



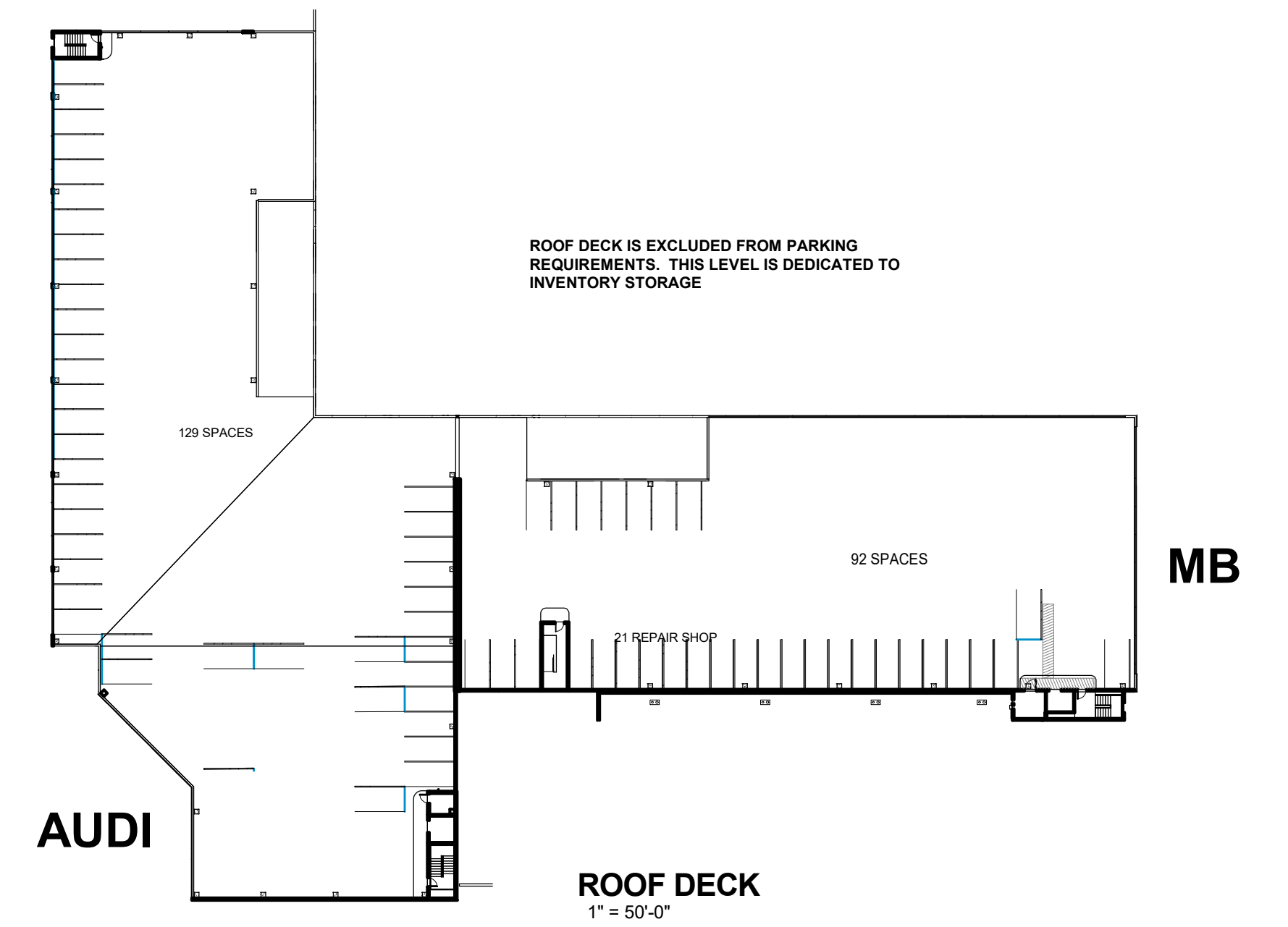
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ZA133	TOP FLOOR AND ROOF
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PARKING CALCULATIONS				FAR CALCULATIONS		BUILDING FOOTPRINT	
FAR AREA DESCRIPTION	AREA	PARKING RATIO	REQD. PARKING	PARCEL AREA	209,888 SF	FAR AREA DESCRIPTION	Area
BASE / OCCUPIED SPACE	75,037 SF	400	187.0	BUILDING FOOTPRINT	84,418 SF	AUTOMATED PARKING	10,983 SF
SHOWROOM	21,057 SF	400	52.6	LOT COVERAGE	40.2%	BASE / OCCUPIED SPACE	52,378 SF
	96,094 SF		240.3			SHOWROOM	21,057 SF
							84,418 SF
<b>PROVIDED:</b> SURFACE PARKING = 71 DECK 2ND FLOOR PARKING = 111 AUTOMATED VEHICLE STORAGE (ON TWO LEVELS SHOWN) = 101 TOTAL = 283				<b>SHOWROOM - VEHICLE SALES (FIRST FLOOR ONLY)</b> <b>BASE / OCCUPIED SPACE - SERVICES AND OPERATIONS</b> <b>PARKING - REQUIRED PARKING DOES NOT COUNT AGAINST FAR MAXIMUM</b> <b>AUTOMATED VEHICLE STORAGE - UNOCCUPIED SYSTEM FOR HIGH PILE STORAGE OF MOTOR VEHICLES. (EXCLUDED FROM FAR CALCULATION)</b> <b>ROOF DECK - DEDICATED PARKING FOR INVENTORY STORAGE (EXCLUDED FROM FAR CALCULATIONS)</b>		<b>FAR GSF AREA ALL FLOORS</b> FAR AREA DESCRIPTION Area BASE / OCCUPIED SPACE = 75,037 SF SHOWROOM = 21,057 SF	
<b>BICYCLES</b> PROPOSED EMPLOYEES = 114 BICYCLE PARKING REQ'D (1/10) = 12 PROVIDED = 15				<b>BASE AREA = 75,037 SF = 35.7% OF SITE</b> <b>SHOWROOM AREA = 21,057 SF = 10% OF SITE</b> <b>COMBINED = 45.7% PREVIOUSLY APPROVED = 55%</b>		<b>BUILDING AREAS ARE CALCULATED USING "GROSS AREA" RULES PER CBC / IBC.</b>	

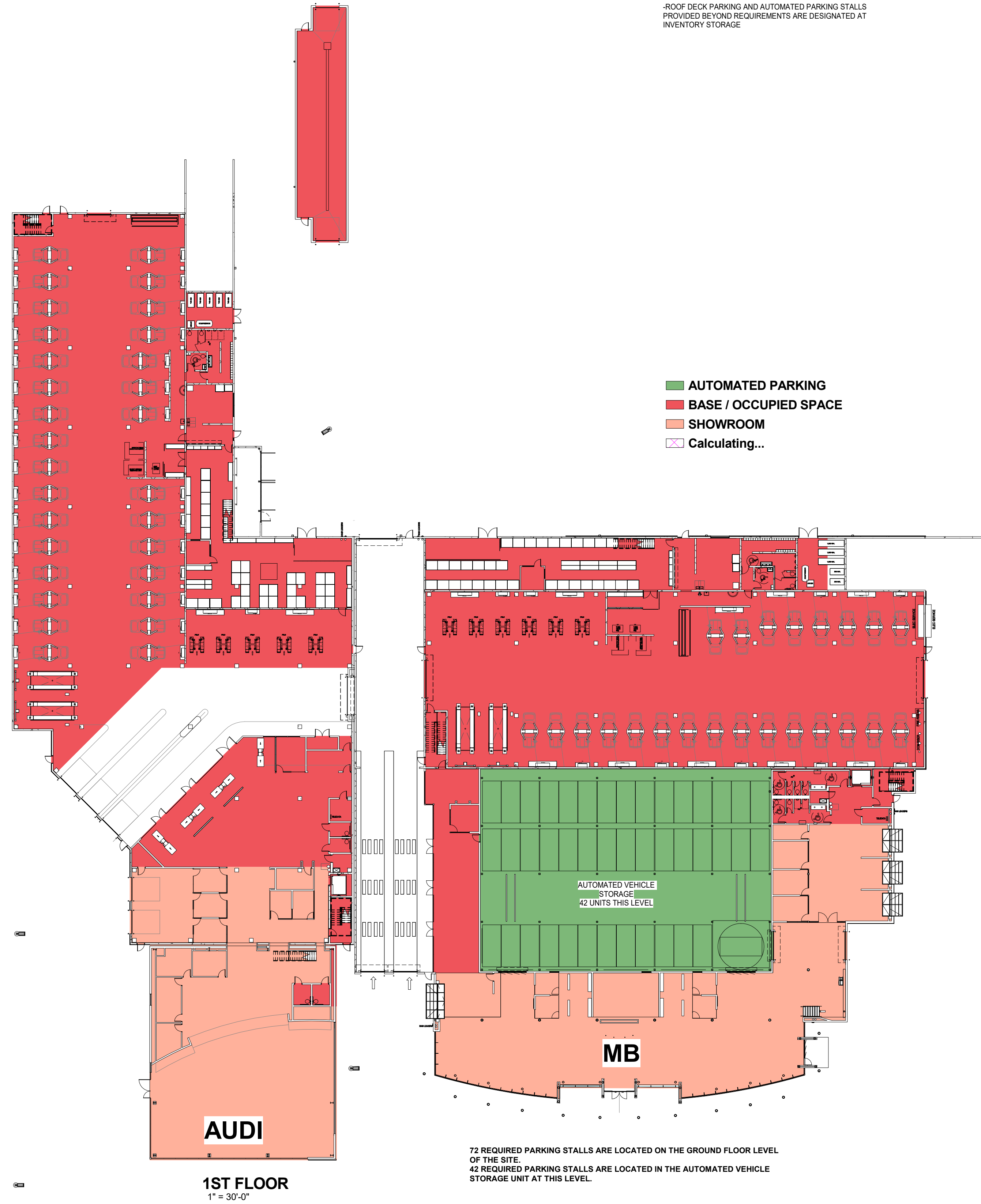
-ROOF DECK PARKING AND AUTOMATED PARKING STALLS PROVIDED BEYOND REQUIREMENTS ARE DESIGNATED AT INVENTORY STORAGE

-BUILDING AREAS ARE CALCULATED USING "GROSS AREA" RULES PER CBC / IBC.



- AUTOMATED PARKING
- BASE / OCCUPIED SPACE
- SHOWROOM
- Calculating...

- AUTOMATED PARKING
  - BASE / OCCUPIED SPACE
  - PARKING
- REQUIRED PARKING TO BE PROVIDED ON THIS LEVEL AND IN THE AUTOMATED VEHICLE STORAGE UNIT



1ST FLOOR  
1" = 30'-0"



2ND FLOOR  
1" = 30'-0"

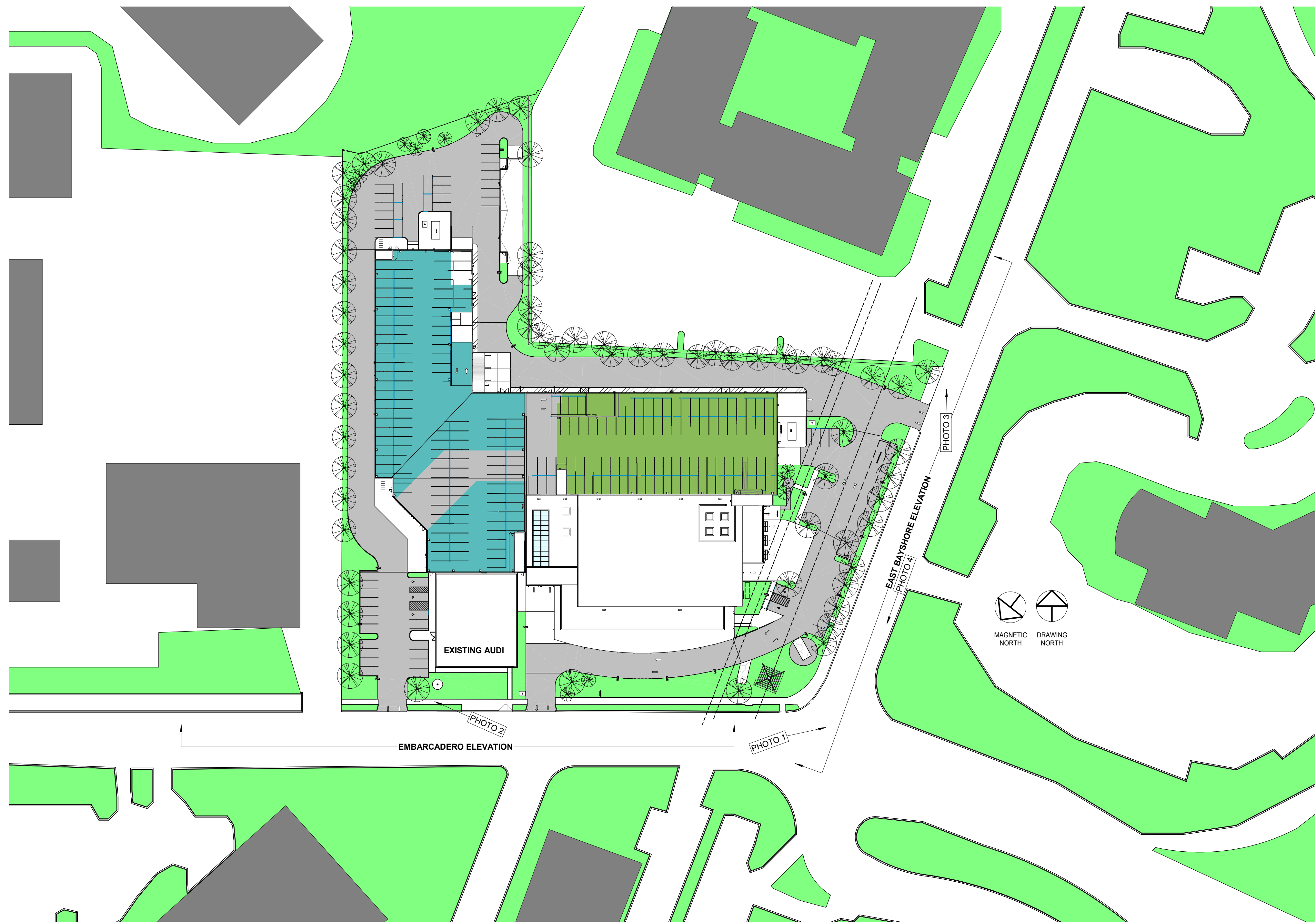


PHOTO 1 - EMBARCADERO WEST



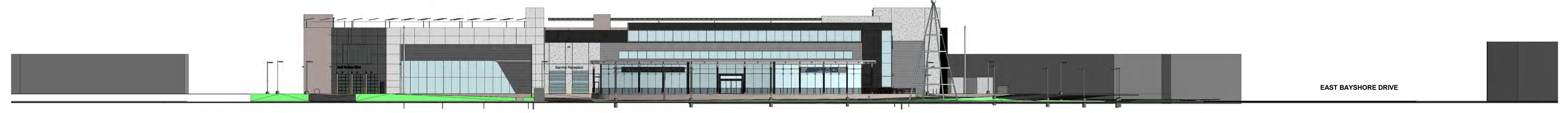
PHOTO 2 - EMBARCADERO EAST



PHOTO 3 - EAST BAYSHORE - SOUTH



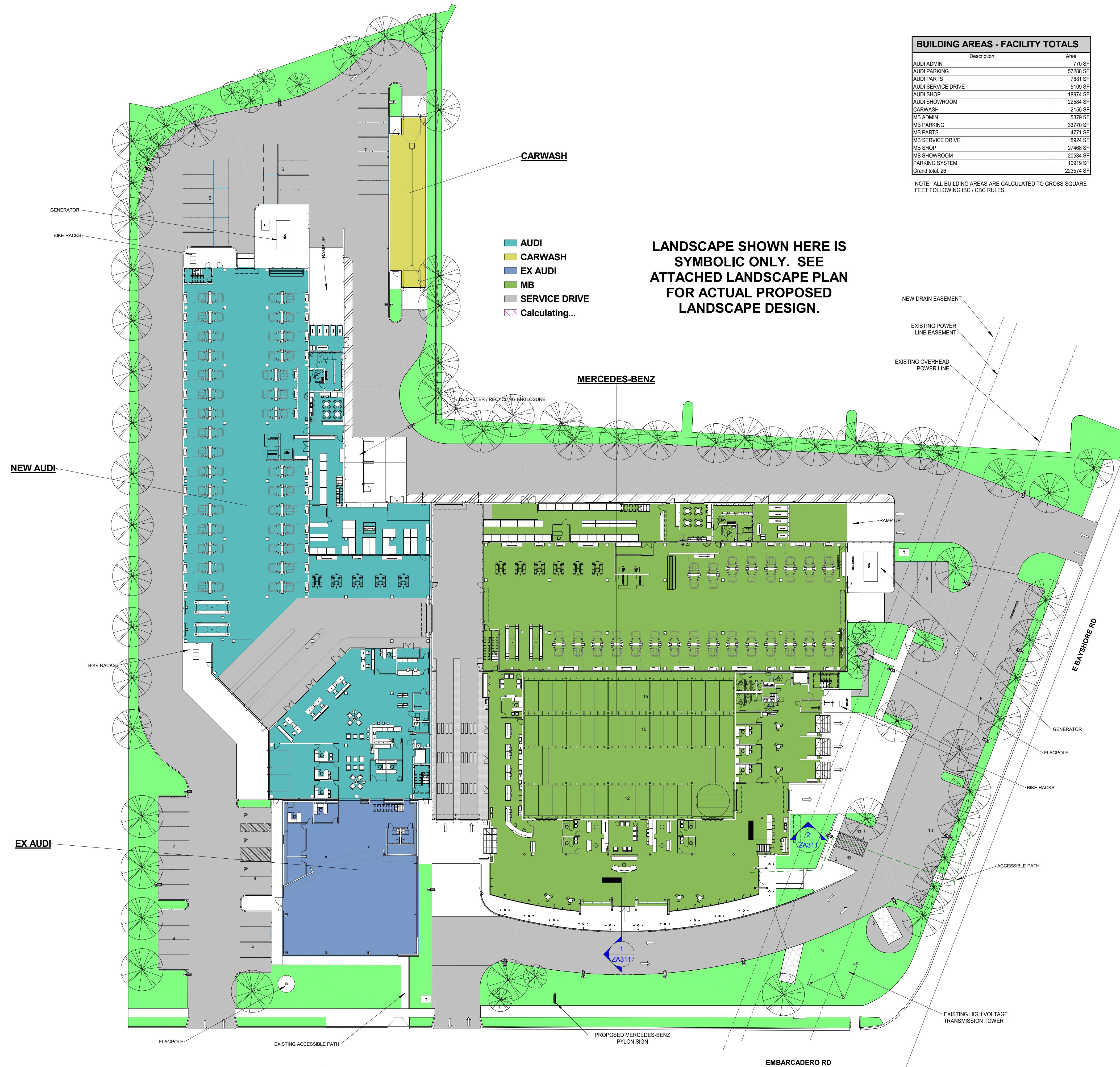
PHOTO 4 - EAST BAYSHORE @ EMBARCADERO



**MERCEDES BENZ / AUDI of PALO ALTO**

CONTEXT  
ZA050

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**BUILDING AREAS - FACILITY TOTALS**

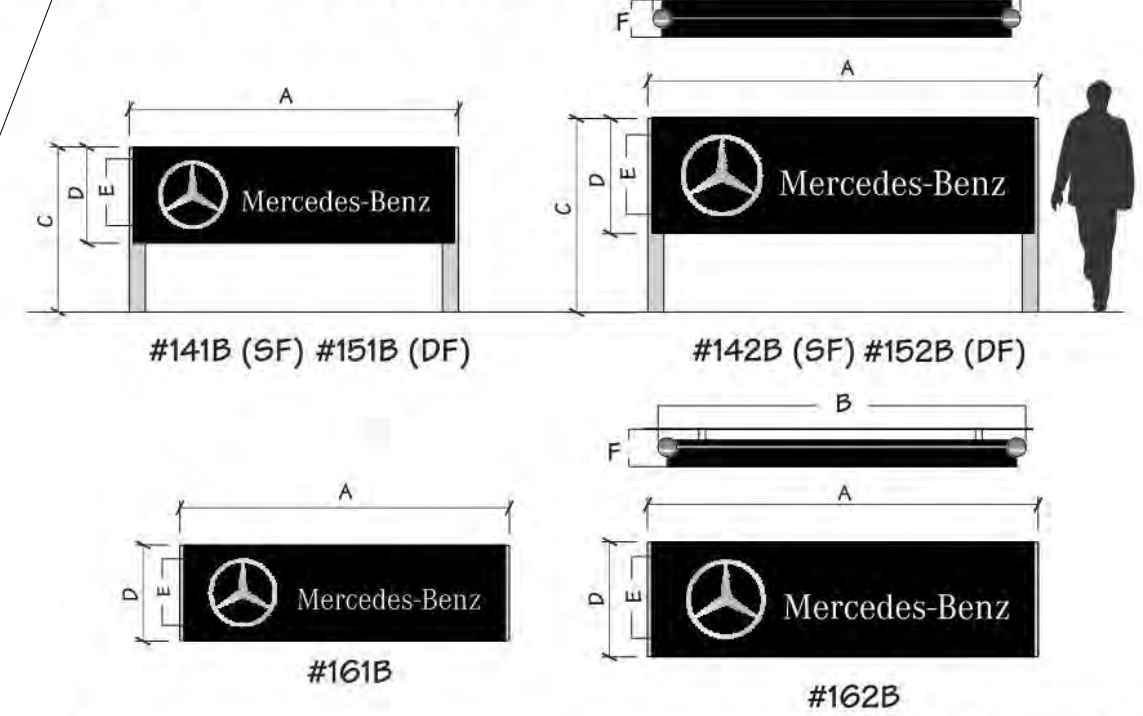
Description	Area
AUDI ADMIN	770 SF
AUDI PARKING	5728 SF
AUDI PARTS	7881 SF
AUDI SERVICE DRIVE	5109 SF
AUDI SHOP	18974 SF
AUDI SHOWROOM	22584 SF
CARWASH	2156 SF
MB ADMIN	5379 SF
MB PARKING	33770 SF
MB PARTS	4771 SF
MB SERVICE DRIVE	5924 SF
MB SHOP	27468 SF
MB SHOWROOM	20584 SF
PARKING SYSTEM	10919 SF
Grand total: 26	223574 SF

NOTE: ALL BUILDING AREAS ARE CALCULATED TO GROSS SQUARE FEET FOLLOWING IBC / CBC RULES.

LANDSCAPE SHOWN HERE IS SYMBOLIC ONLY. SEE ATTACHED LANDSCAPE PLAN FOR ACTUAL PROPOSED LANDSCAPE DESIGN.

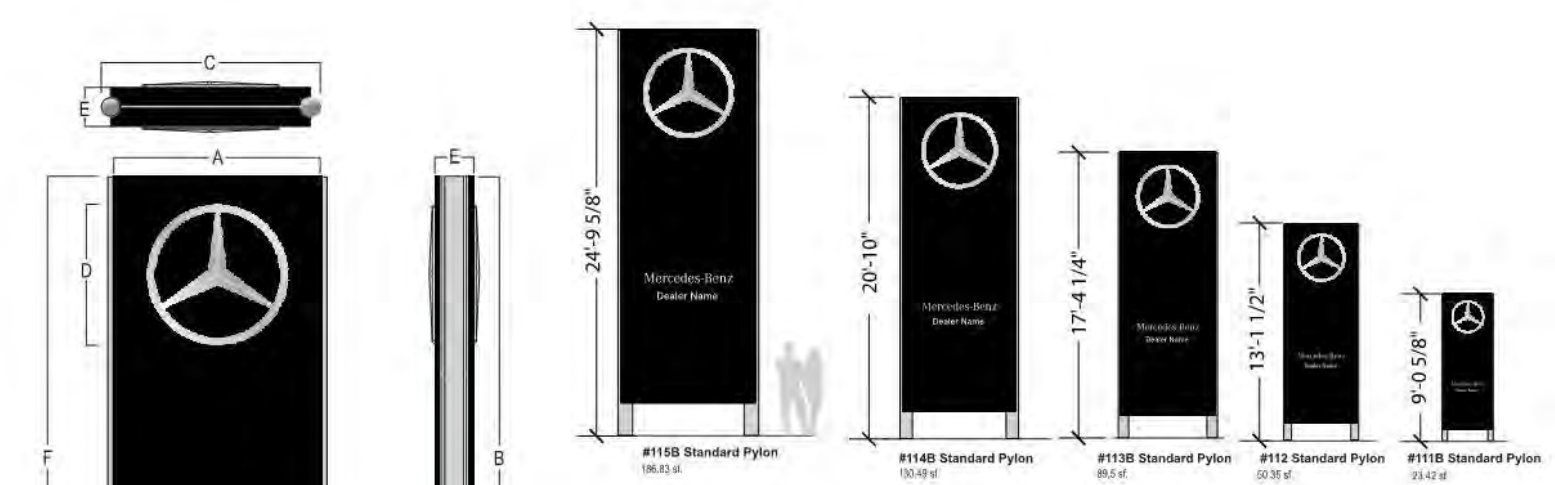
- AUDI
- CARWASH
- EX AUDI
- MB
- SERVICE DRIVE
- Calculating...

140B / 150B / 160B SERIES - HORIZONTAL PYLON



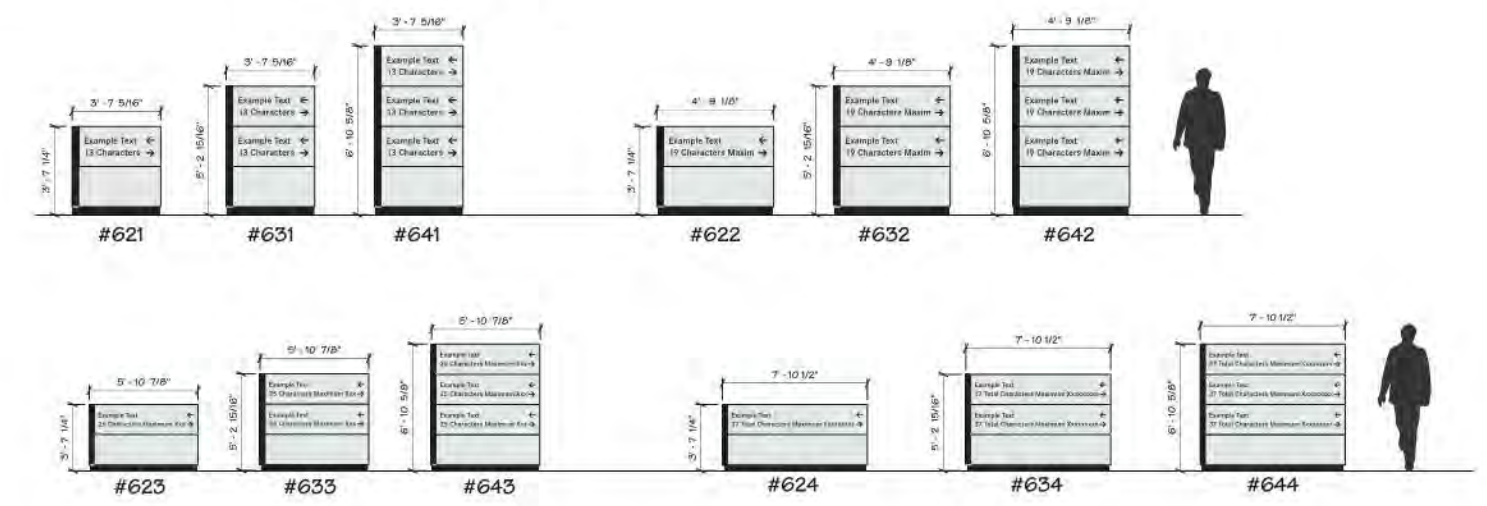
Model No.	Dimensions						No. of Faces	Square Footage
	A	B	C	D	E	F		
141B	8'-3 5/8"	8'-6 1/8"	4'-3"	2'-6"	1'-9 1/16"	11"	1	21.28
151B	8'-3 5/8"	8'-6 1/8"	4'-3"	2'-6"	1'-9 1/16"	11"	2	21.28
142B	9'-10 9/16"	10'-1 1/16"	5'-0 1/8"	2'-11 15/16"	2'-1 3/4"	11"	1	30.21
152B	9'-10 9/16"	10'-1 1/16"	5'-0 1/8"	2'-11 15/16"	2'-1 3/4"	11"	2	30.21
161B	8'-3 5/8"	8'-6 1/8"	N/A	2'-6"	1'-9 1/16"	11"	1	21.28
162B	9'-10 9/16"	10'-1 1/16"	N/A	2'-11 15/16"	2'-1 3/4"	11"	1	30.21

110B Series - Standard Pylon Sign

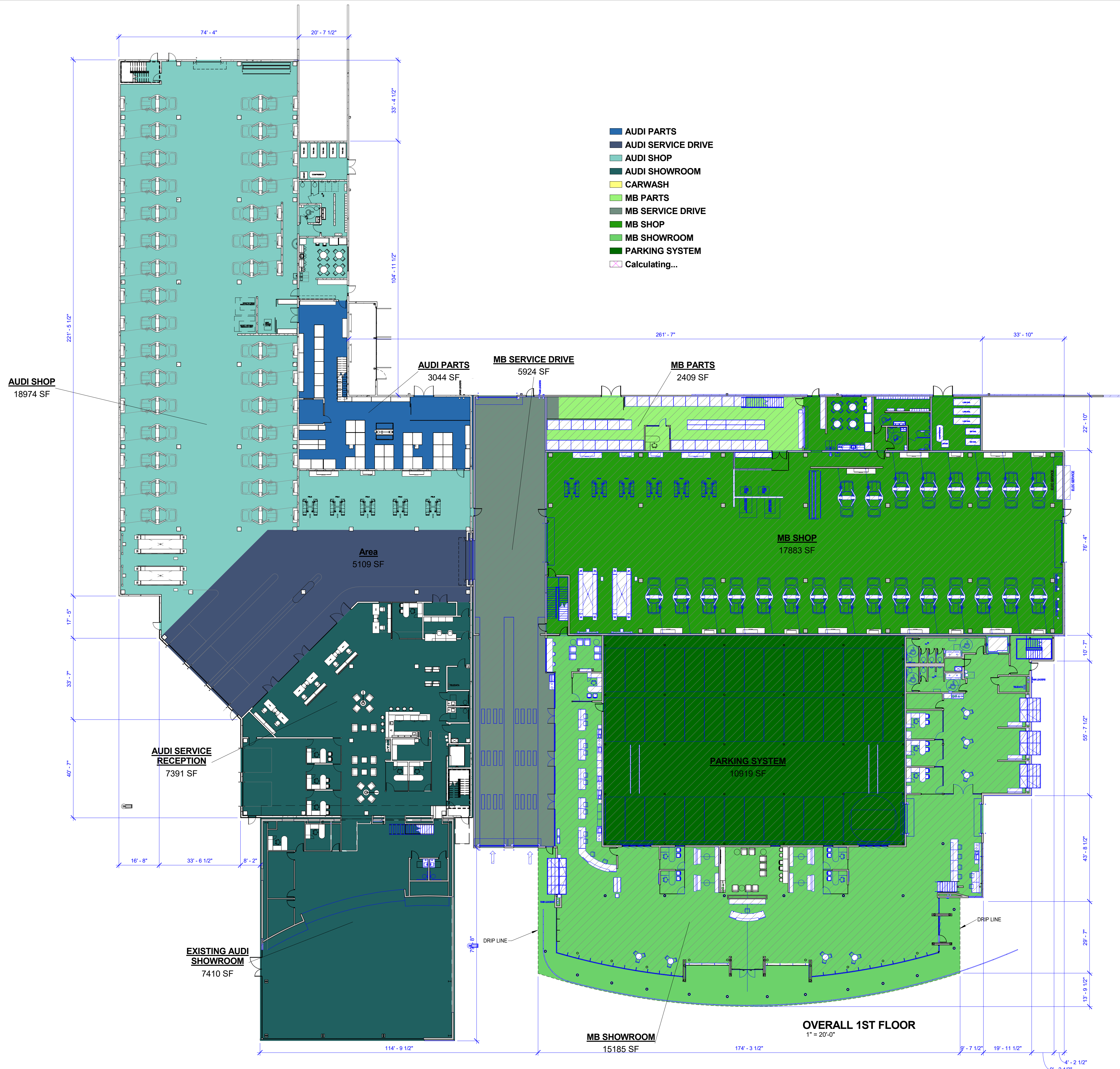


Model No.	Dimensions							Square Footage Total
	A	B	C	D	E	F	G	
111B	2'-10 1/2"	9'-0 5/8"	3'-0 1/4"	1'-11 1/8"	7'-3/4"	8'-1 3/4"	2'-5/8"	23.42
112B	4'-0 7/8"	13'-1 1/2"	4'-5 11/16"	2'-10 1/4"	11'-1/2"	11'-10 1/2"	3'-5/8"	50.35
113B	5'-7 1/2"	17'-4 1/4"	5'-10 13/16"	3'-9 11/16"	1'-0 13/16"	15'-10 15/16"	4'-3/4"	88.5
114B	6'-9 7/8"	20'-0"	4'-7 1/2"	4'-7 1/2"	1'-2 11/16"	19'-1 1/2"	5'-7/8"	130.49
115B	8'-2 3/8"	24'-0 5/8"	6'-7 5/16"	6'-4"	1'-8 11/16"	22'-0"	7'-1/8"	186.83

Freestanding Informational Signs

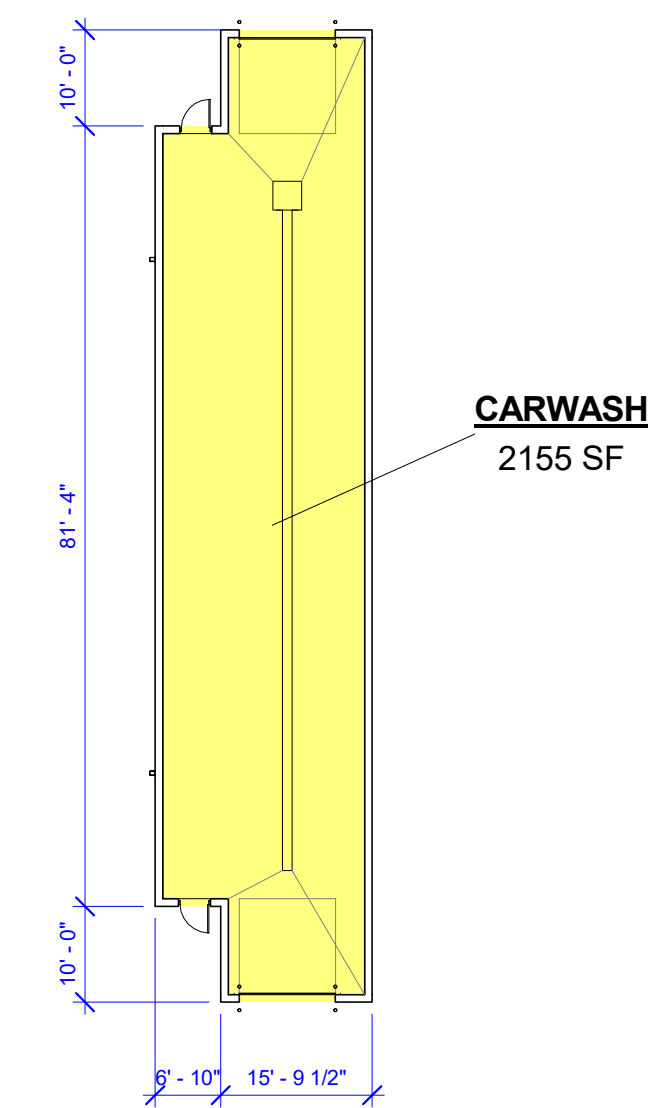


- Designed to help customers navigate dealership premises
- \* Illuminated or Non-Illuminated
  - \* Single or Double Side
  - \* Indicate direction to customer relevant areas
  - \* Up to three lines of text per panel
  - \* Bottom panel to remain blank
  - \* Brand marks are not permitted



BUILDING AREAS - FIRST FLOOR	
Description	Area
AUDI ADMIN	770 SF
AUDI PARKING	3354 SF
AUDI PARTS	5996 SF
AUDI SERVICE DRIVE	5109 SF
AUDI SHOP	18974 SF
AUDI SHOWROOM	14801 SF
CARWASH	2155 SF
MB ADMIN	5379 SF
MB PARKING	22588 SF
MB PARTS	4771 SF
MB SERVICE DRIVE	5924 SF
MB SHOP	17883 SF
MB SHOWROOM	16978 SF
PARKING SYSTEM	10919 SF

NOTE: ALL BUILDING AREAS ARE CALCULATED TO GROSS SQUARE FEET FOLLOWING IBC / CBC RULES.



CARWASH  
1" = 20'-0"

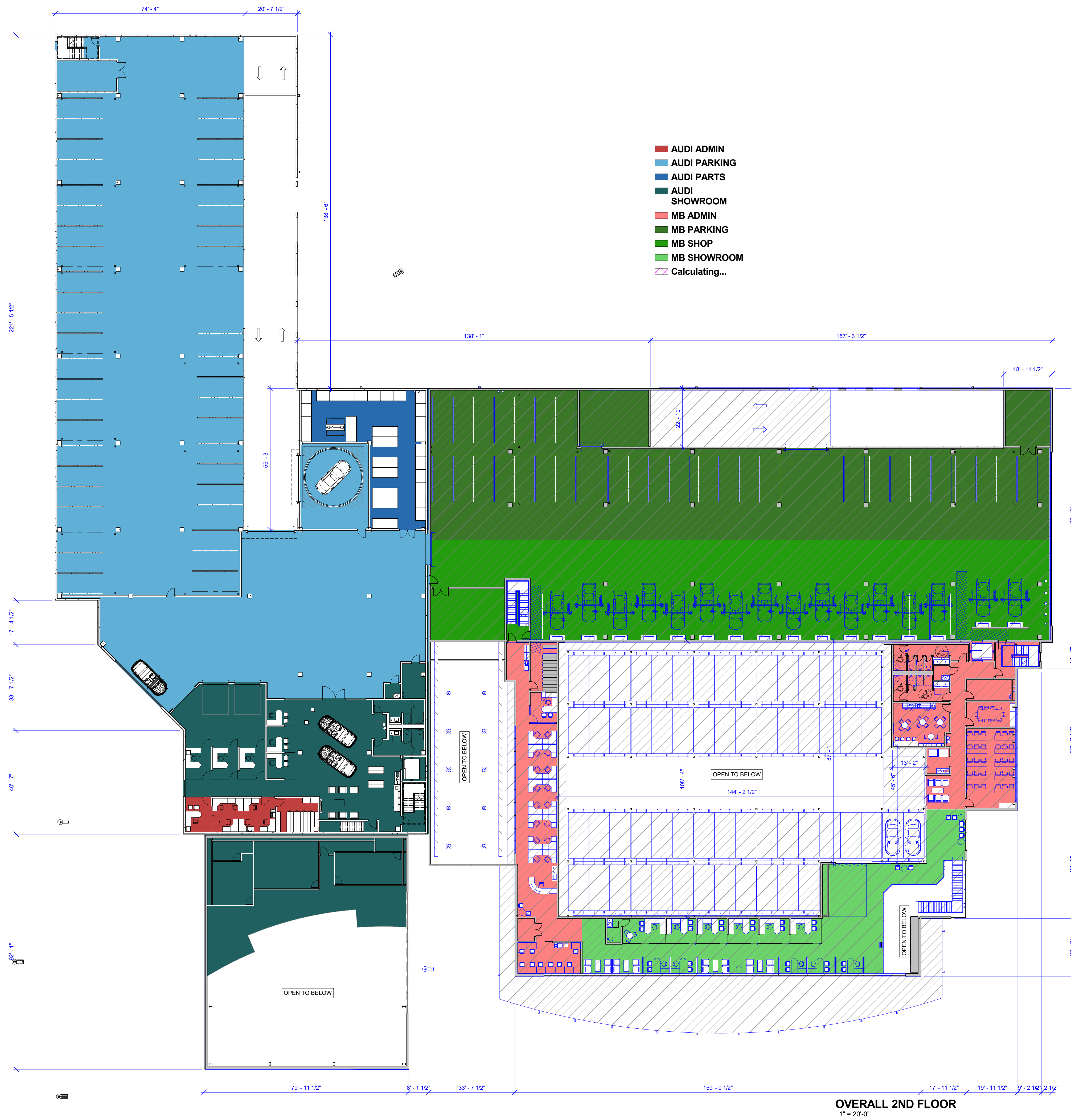
# MERCEDES BENZ / AUDI of PALO ALTO

## FIRST FLOOR ZA131

**BUILDING AREAS - SECOND FLOOR**

Description	Area
AUDI PARKING	23742 SF
AUDI PARTS	1885 SF
AUDI SHOWROOM	7783 SF
MB PARKING	11183 SF
MB SHOP	9585 SF
MB SHOWROOM	3605 SF

NOTE: ALL BUILDING AREAS ARE CALCULATED TO GROSS SQUARE FEET FOLLOWING IBC / CBC RULES.



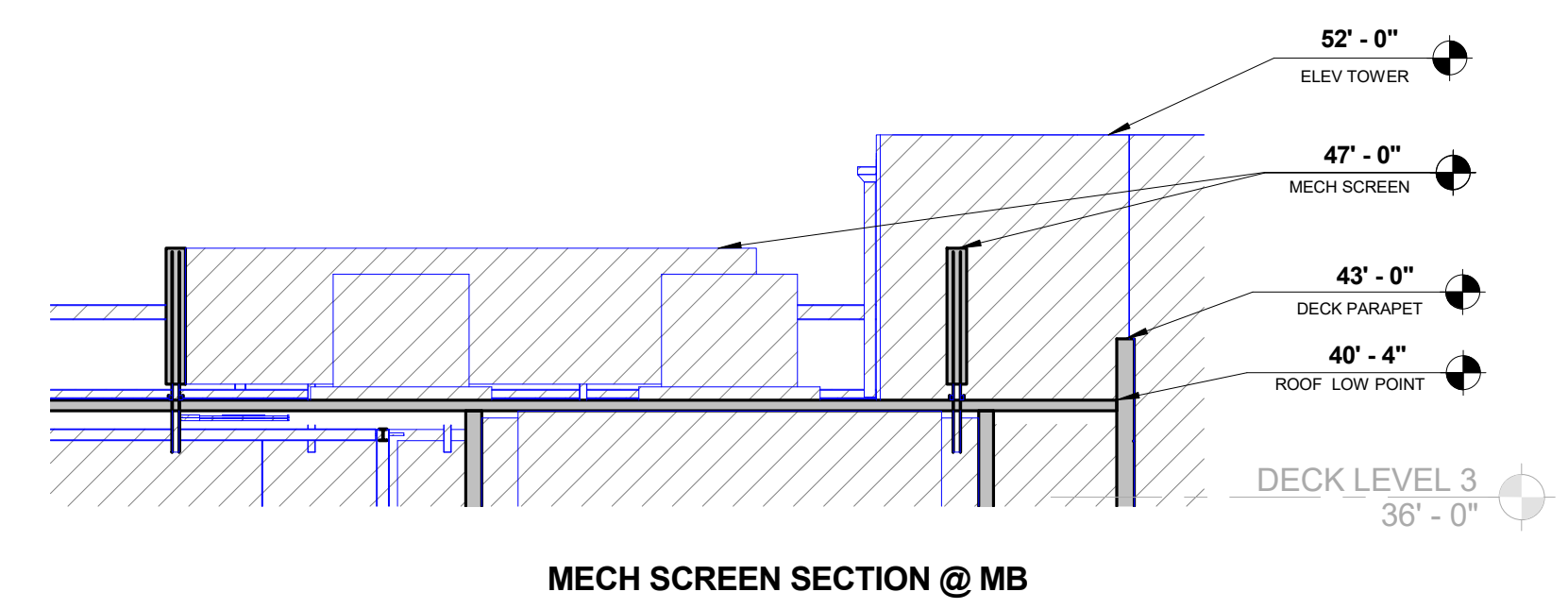
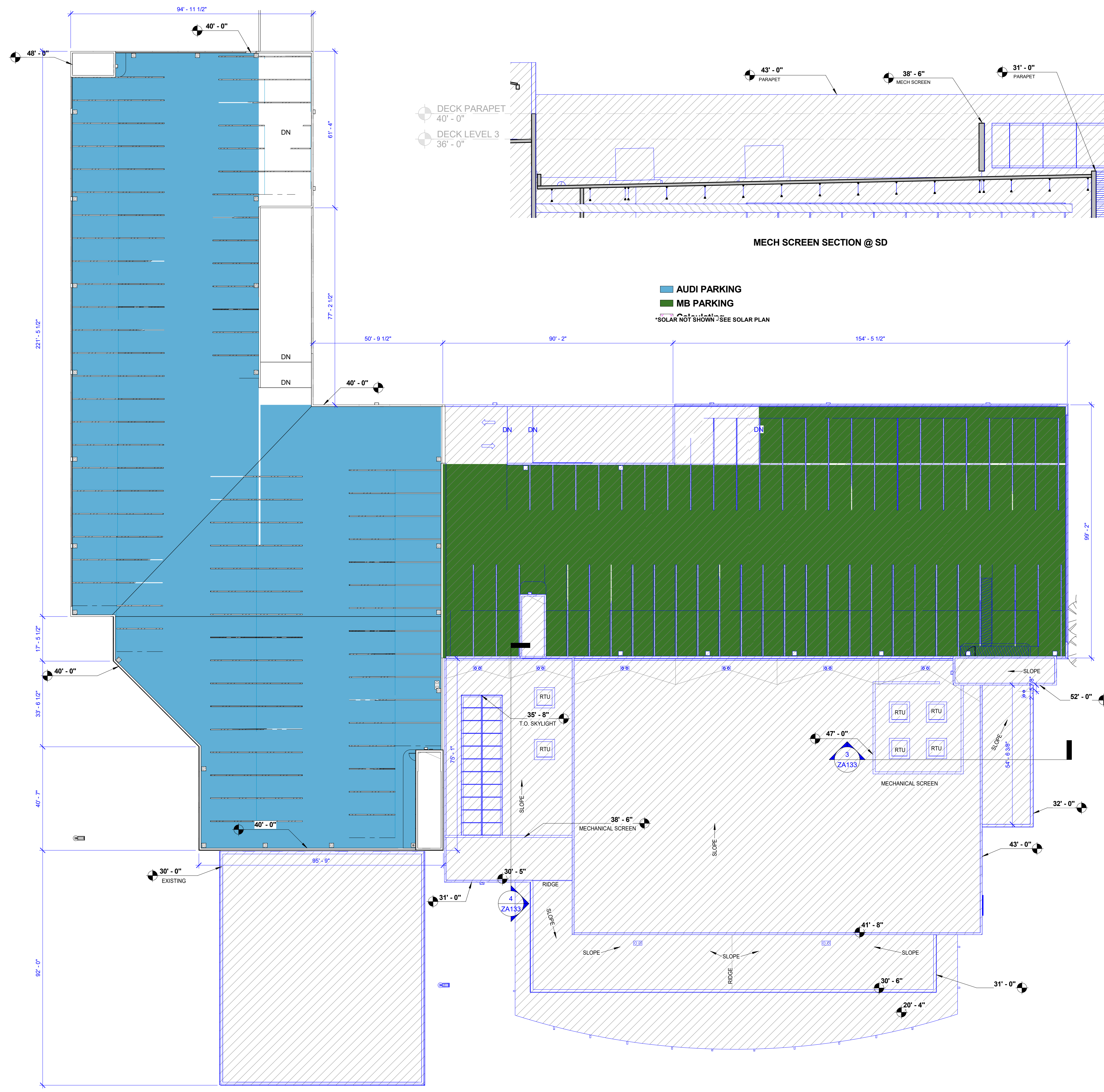
OVERALL 2ND FLOOR  
1" = 20'-0"

**MERCEDES BENZ / AUDI of PALO ALTO**

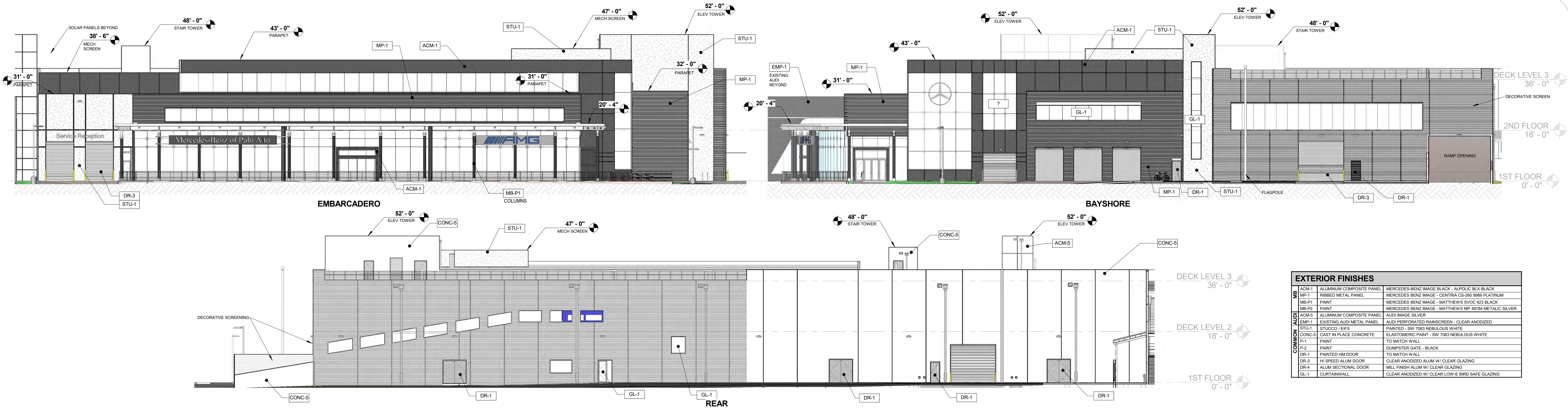
**SECOND FLOOR**  
ZA132

BUILDING AREAS - SECOND FLOOR		
Description	Area	
AUDI PARKING	33545 SF	
MB PARKING	22588 SF	

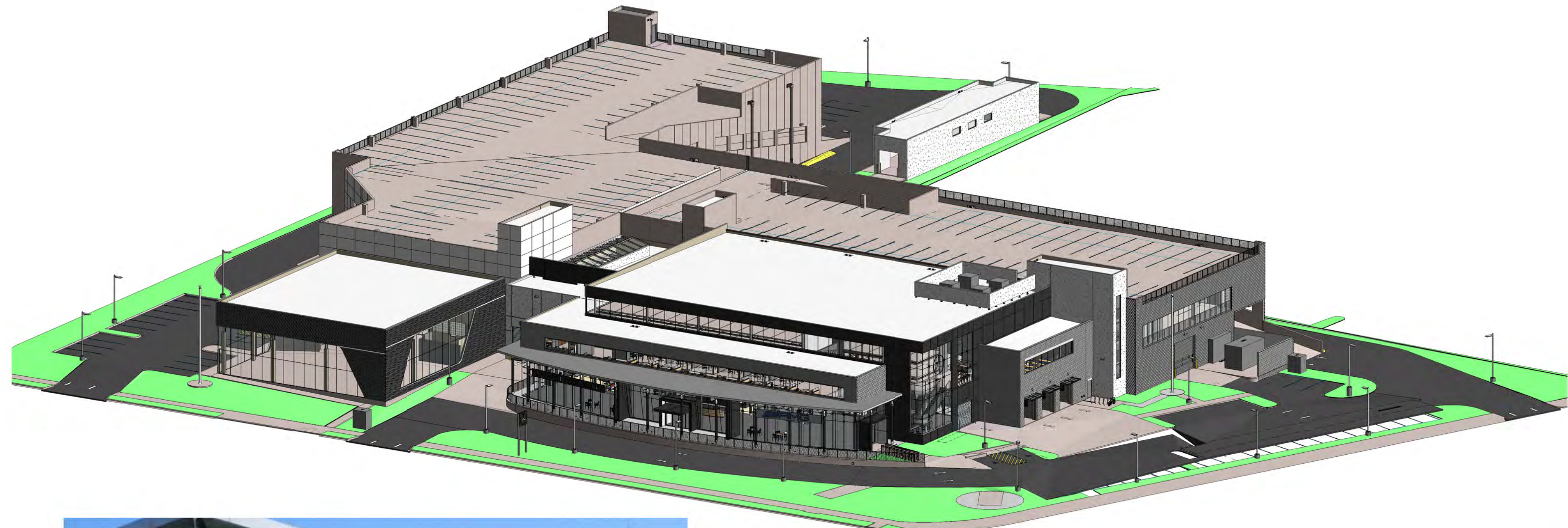
NOTE: ALL BUILDING AREAS ARE CALCULATED TO GROSS SQUARE FEET FOLLOWING IBC / CBC RULES.



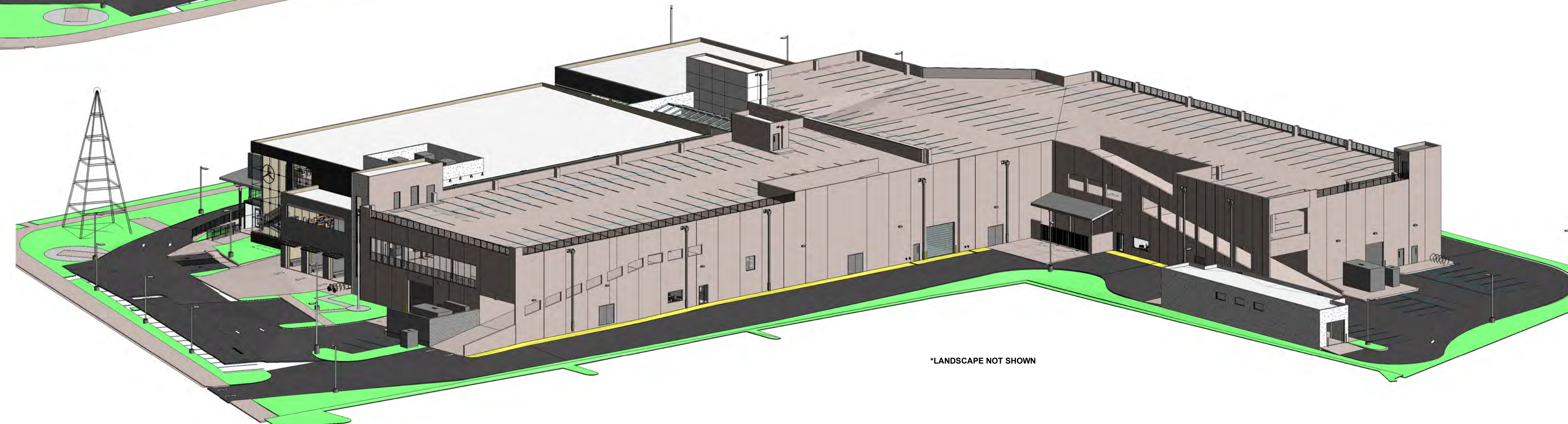
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EXTERIOR FINISHES		
ACM-1	ALUMINUM COMPOSITE PANEL	MERCEDES-BENZ IMAGE BLACK - ALPOLIC BLX BLACK
MP-1	RIBBED METAL PANEL	MERCEDES BENZ IMAGE - CENTRIA CS-280 9898 BLACK
MB-P1	PAINT	MERCEDES BENZ IMAGE - MATTHEWS SV02 923 BLACK
MB-P2	PAINT	MERCEDES BENZ IMAGE - MATTHEWS MP 49784 METALIC SILVER
ACM-5	ALUMINUM COMPOSITE PANEL	AUDI IMAGE SILVER
EMP-1	EXISTING ALUM. METAL PANEL	AUDI PERFORATED RAINSCREEN - CLEAR ANODIZED
STU-1	STUCCO / EIFS	PAINTED - SW 7063 NEBULOUS WHITE
CONC-5	CAST IN PLACE CONCRETE	ELASTOMERIC PAINT - SW 7063 NEBULOUS WHITE
P-1	PAINT	TO MATCH WALL
P-2	PAINT	DUMPSTER GATE - BLACK
DR-1	PAINTED HM DOOR	TO MATCH WALL
DR-3	HI SPEED ALUM DOOR	CLEAR ANODIZED ALUM W/ CLEAR GLAZING
DR-4	ALUM SECTIONAL DOOR	MILL FINISH ALUM W/ CLEAR GLAZING
GL-1	CURTAINWALL	CLEAR ANODIZED W/ CLEAR LOW-E BIRD SAFE GLAZING



MB FRONT



MB REAR



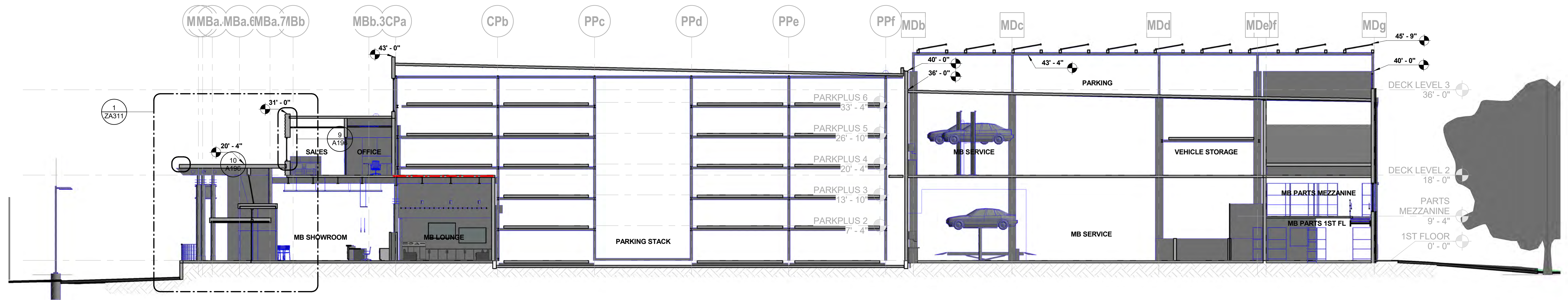
BRAND IMAGE SAMPLE

# MERCEDES BENZ / AUDI of PALO ALTO

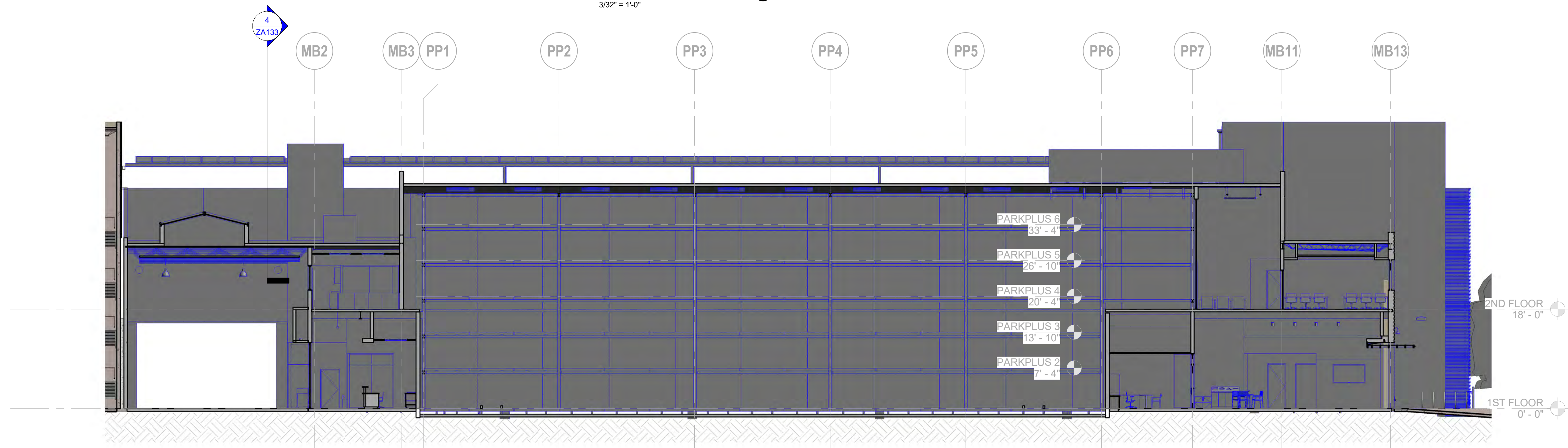
## MERCEDES-BENZ ELEVATIONS ZA201

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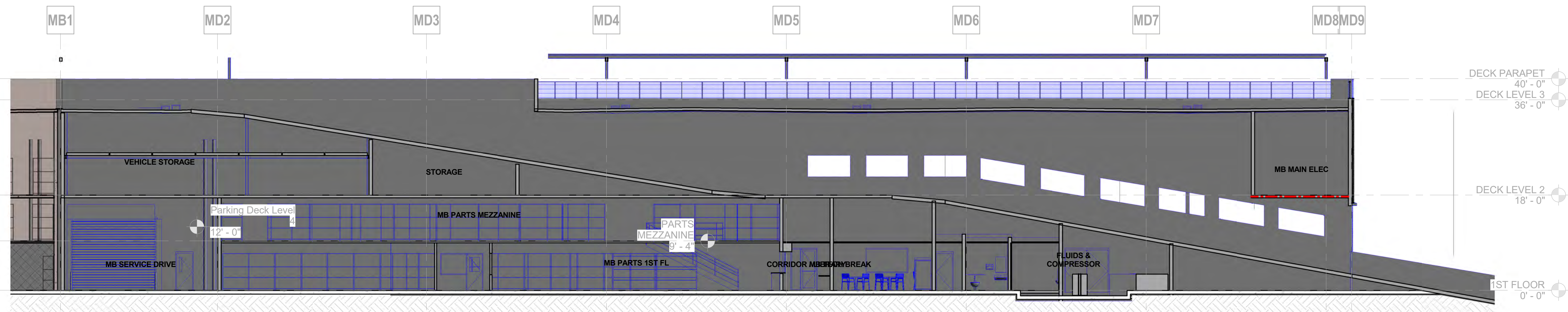




**LONGITUDINAL SECTION @ M-B**  
3/32" = 1'-0"



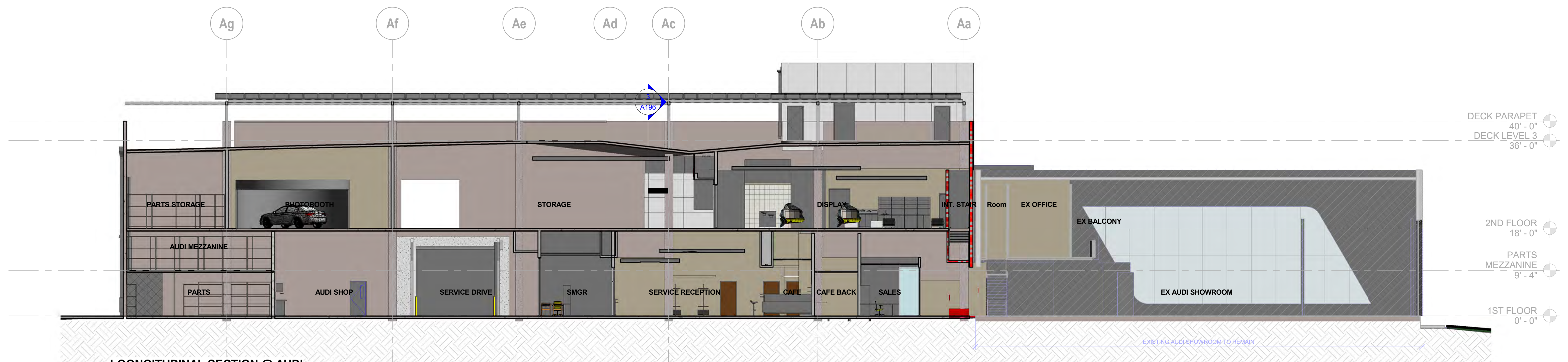
**TRANSVERSE SECTION @ M-B**  
3/32" = 1'-0"



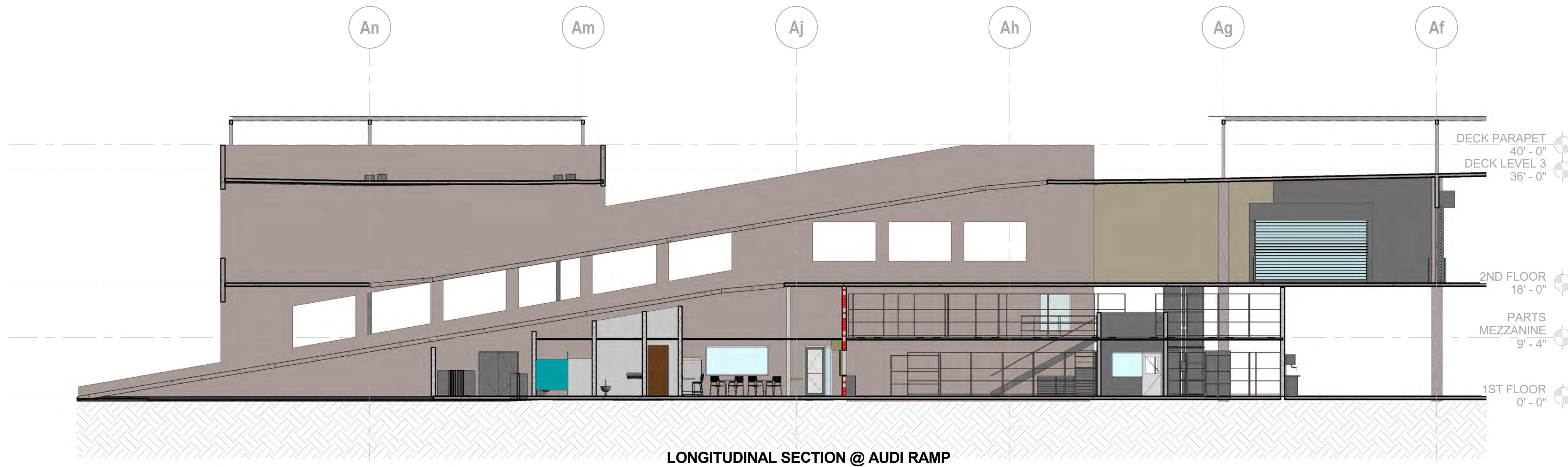
**TRANSVERSE SECTION @ M-B RAMP**  
3/32" = 1'-0"



TRANSVERSE SECTION @ AUUDO SHOWROOM

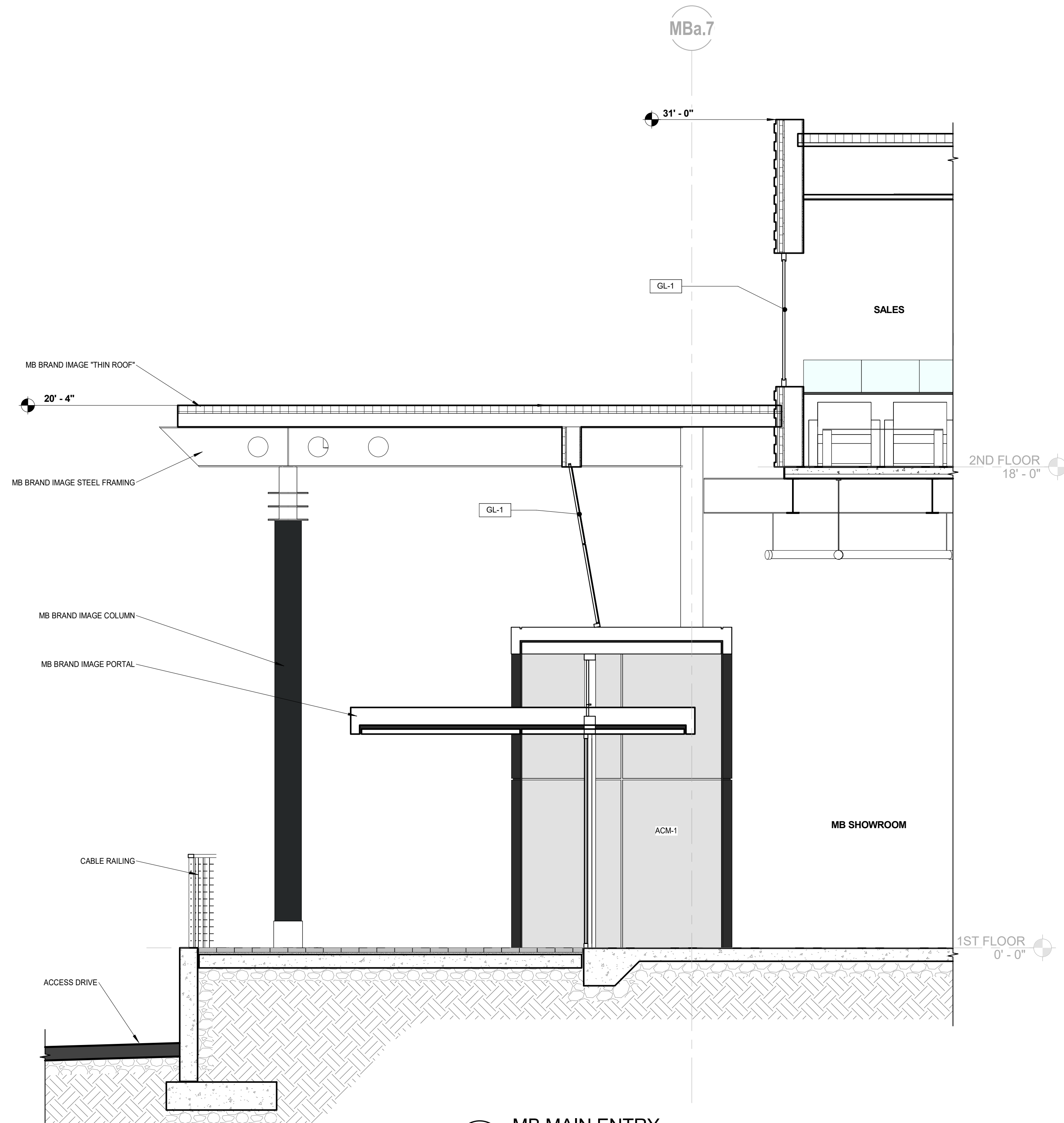


LONGITUDINAL SECTION @ AUDI SHOWROOM

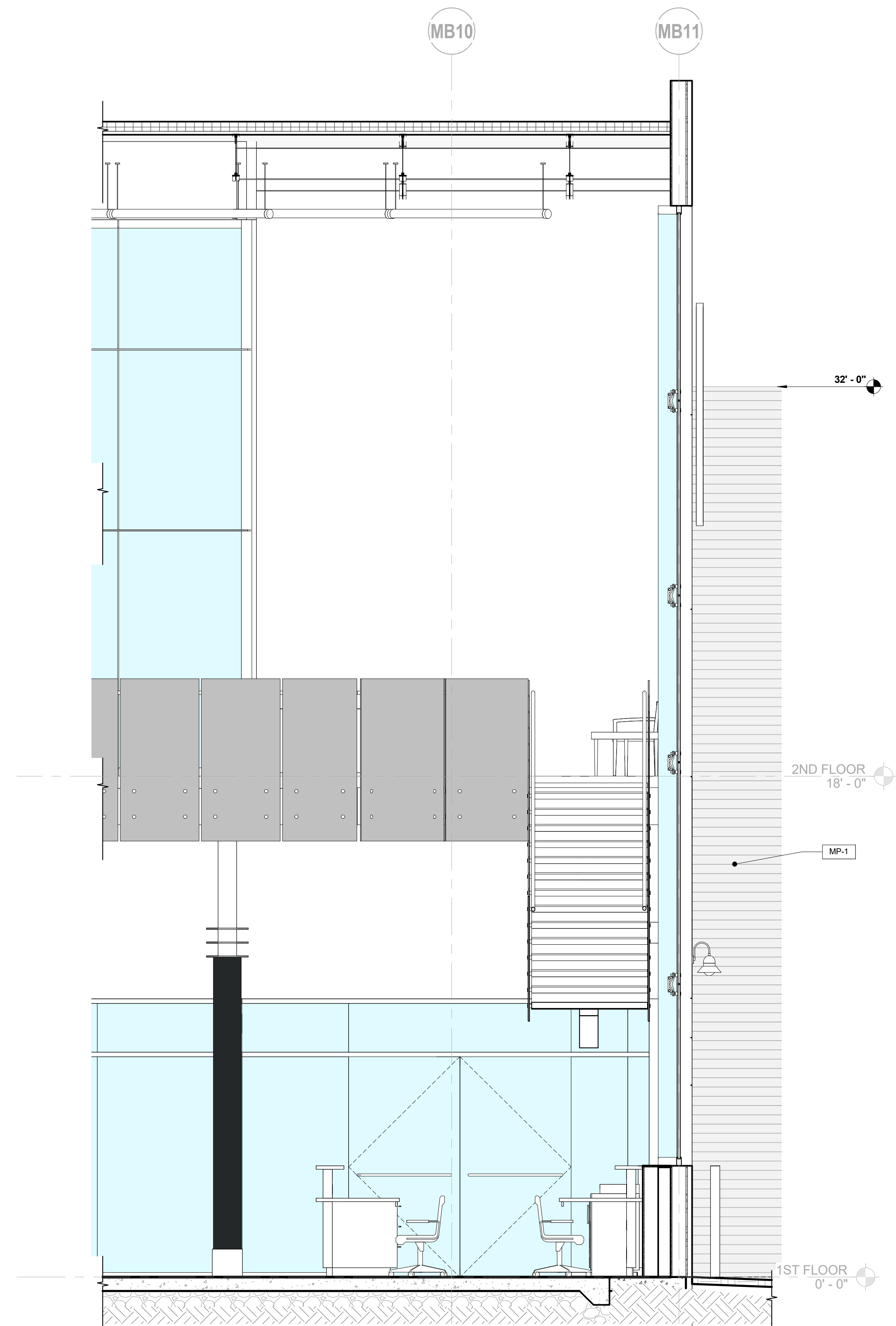


LONGITUDINAL SECTION @ AUDI RAMP  
3/32" = 1'-0"

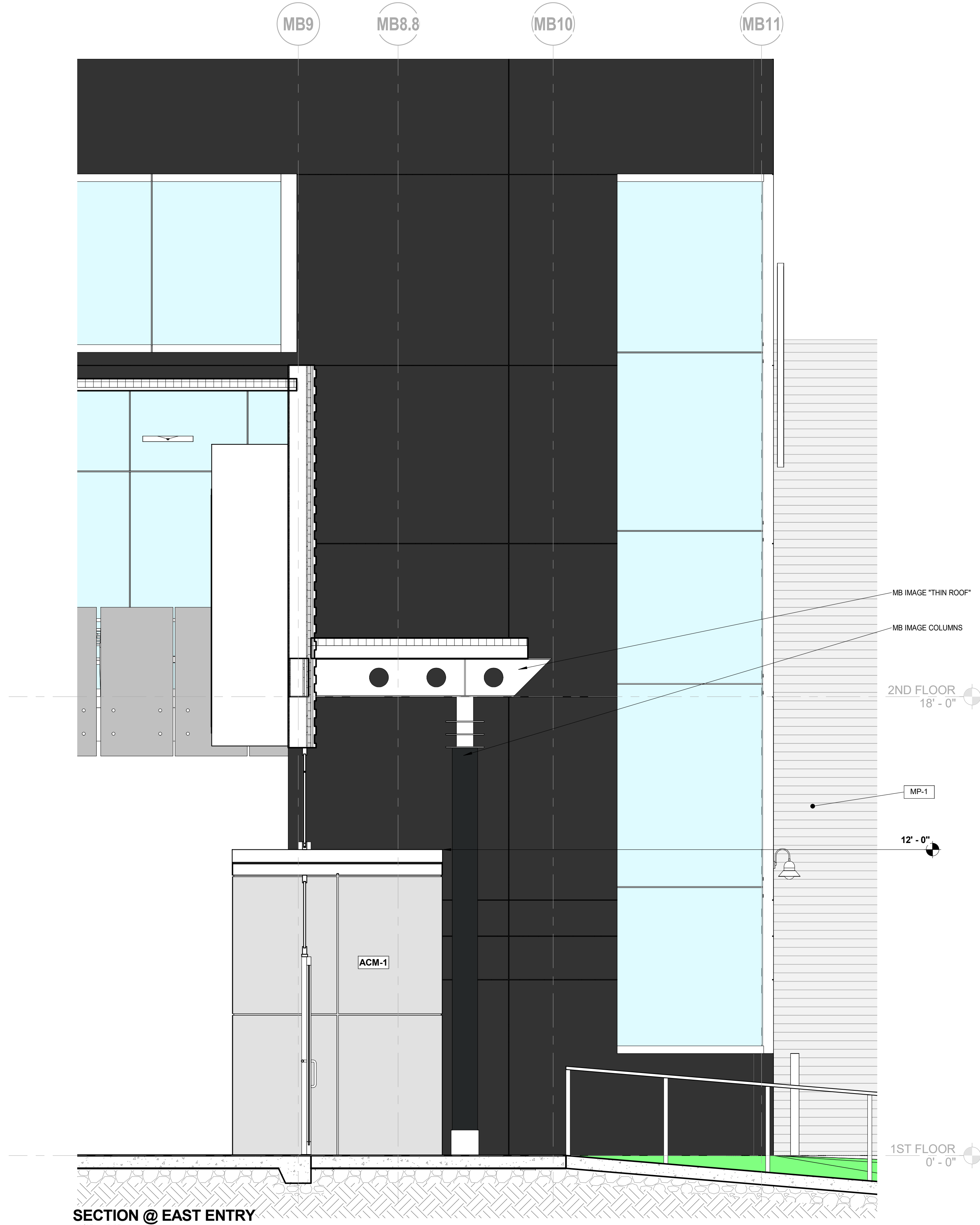
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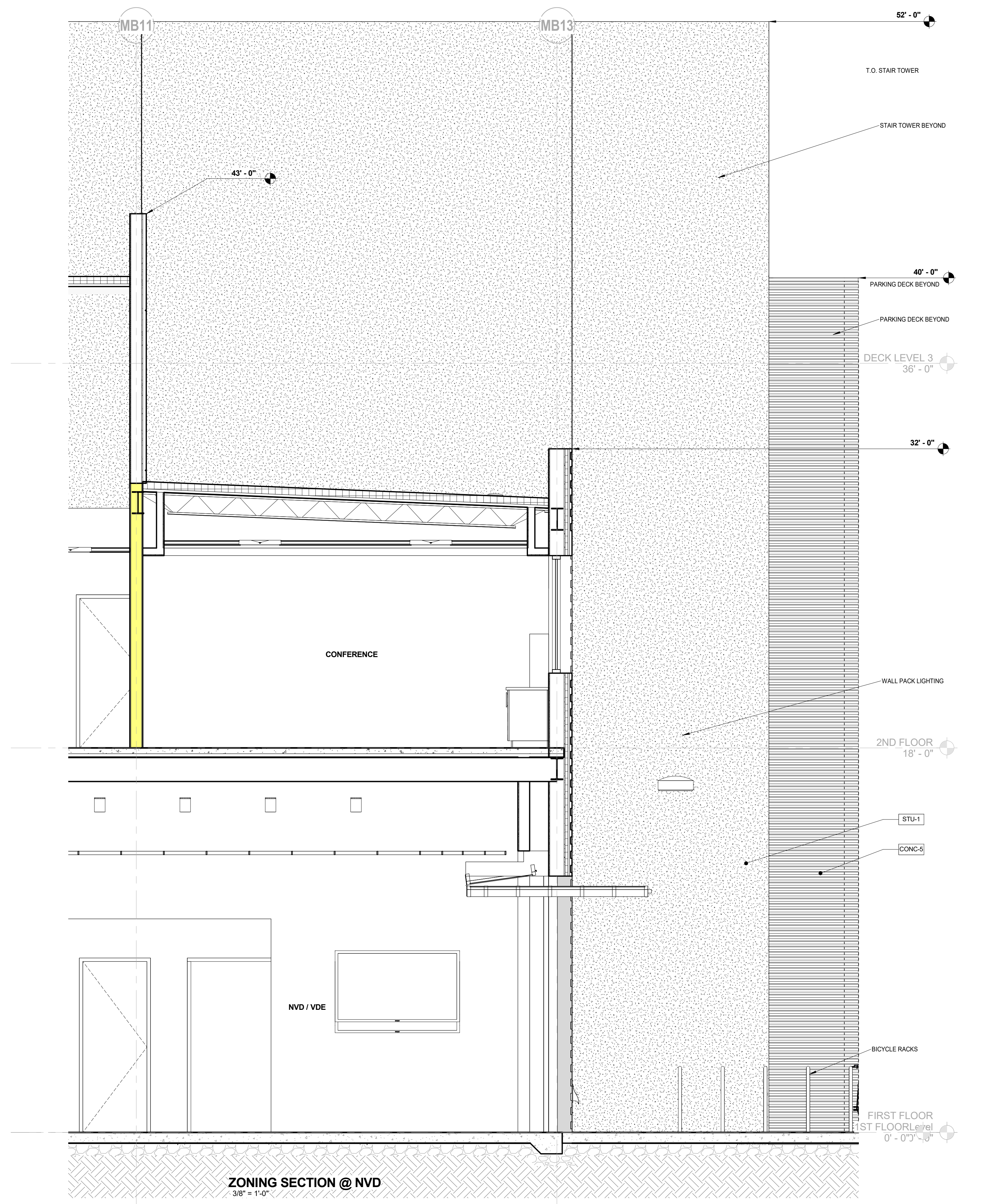
1 MB MAIN ENTRY  
ZA311 3/8" = 1'-0"



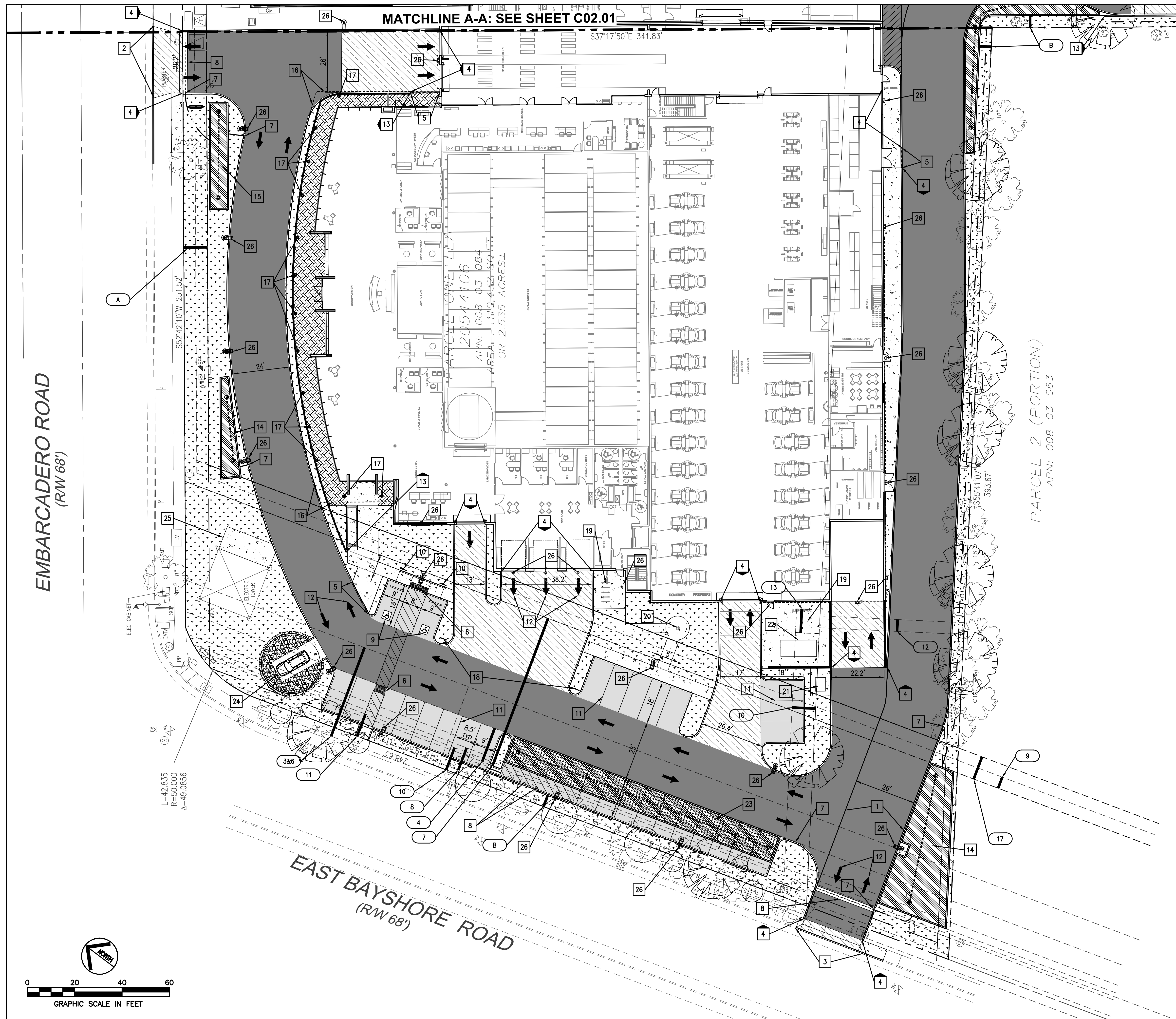
2 SECTION @ GREENHOUSE  
ZA311 3/8" = 1'-0"



SECTION @ EAST ENTRY  
3/8" = 1'-0"



ZONING SECTION @ NVD  
3/8" = 1'-0"



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
---	WATER LINE	---
WTR	FIRE PROTECTION WATER LINE	WTR
FP	SANITARY SEWER LINE	SAN
SS	STORM DRAIN LINE	SD
SD	OVERHEAD ELECTRIC	OE
OE	UNDERGROUND ELECTRIC	UE
UE	GAS LINE	G
G	FENCE	X
X	TREE	+
	SIGN	+
	FIRE HYDRANT	+
	WATER METER/VALVE	+
	WATER BACK FLOW PREVENTER	+
	SEWER MANHOLE	+
	CLEANOUT	+
	STORM MANHOLE/INLET	+
	GAS METER/VALVE	+
	ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE	+
	ELECTRIC TRANSFORMER	+
	TELEPHONE PEDESTAL/MANHOLE	+
	LIGHT POLE, UTILITY POLE	+
	LIGHT/TRAFFIC POLE	+

SITE PLAN LEGEND	
---	EASEMENT WIDTH INDICATOR
[Pattern]	PROPOSED LANDSCAPED AREA
[Pattern]	PROPOSED RIVER ROCK
[Pattern]	PROPOSED PCC SIDEWALK
[Pattern]	PROPOSED HEAVY DUTY PCC PAVEMENT
[Pattern]	PROPOSED HEAVY DUTY AC PAVEMENT
[Pattern]	PROPOSED STANDARD DUTY AC PAVEMENT
[Pattern]	PROPOSED TRUNCATED DOME DETECTABLE WARNING SURFACE
[Pattern]	PROPOSED STORMWATER BMP
---	PROPOSED FLUSH CURB

- ### SITE PLAN KEY NOTES
- PROPOSED 26 FOOT WIDE FIRE LANE.
  - PROPOSED DRIVEWAY TYPE "A" CURB & GUTTER PER PALO ALTO STANDARD DETAIL 120.
  - PROPOSED DRIVEWAY TYPE "A" CURB WITH ADJACENT SIDEWALK PER CITY OF PALO ALTO STANDARD DETAIL 122.
  - PROPOSED 6" TALL PCC BARRIER CURB.
  - PROPOSED FLUSH (0" HEIGHT) CURB.
  - PROPOSED ACCESSIBLE CURB RAMP.
  - PROPOSED 2" WIDE CURB CUT FOR STORM WATER CONVEYANCE.
  - PROPOSED 2" WIDE VALLEY GUTTER - MODIFIED PALO ALTO STANDARD DRAWING 132A.
  - PROPOSED ACCESSIBLE PARKING STALL, WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA, AND ACCESSIBLE MARKINGS PER STATE OF CALIFORNIA TITLE 24.
  - PROPOSED ACCESSIBLE SIGNAGE.
  - PROPOSED 4" PARKING STALL STRIPE, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. (TYP)
  - PROPOSED DIRECTIONAL ARROW AND/OR TEXT, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. DIMENSIONS PER MUTCD STANDARDS. (TYP)
  - PROPOSED STRUCTURAL RETAINING WALL.
  - PROPOSED TREATMENT CONTROL BIORETENTION PLANTER WITH 4" PERFORATED PVC UNDERDRAIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
  - PROPOSED BIORETENTION BASIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
  - PROPOSED LIMITS OF BUILDING OVERHANG.
  - PROPOSED BUILDING COLUMN. (TYP)
  - PROPOSED "EXIT ONLY DO NOT ENTER" SIGN.
  - PROPOSED BICYCLE RACKS. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - PROPOSED FLAGPOLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - PROPOSED TRANSFORMER ON CONCRETE PAD.
  - PROPOSED GENERATOR ON CONCRETE PAD.
  - PROPOSED FLOW-THROUGH PLANTER WITH 4" PERFORATED PVC UNDERDRAIN AND DRIVING SURFACE GRATE. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
  - PROPOSED RAISED VEHICLE DISPLAY.
  - EXISTING CONCRETE PAD TO REMAIN/BE CONSTRUCTED PER PG&E DIRECTION.
  - PROPOSED LIGHTING FIXTURE. SEE ARCHITECTURAL AND LIGHTING PLANS.

- ### EASEMENT KEY NOTES
- ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
  - EXISTING 15' PG&E GAS LINE EASEMENT PER (488 O.R. 94).
  - EXISTING 40' PG&E GAS METERING EASEMENT PER (856 O.R. 394).
  - EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
  - EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 588).
  - EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331) TO BE PARTIALLY VACATED.
  - EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634).
  - EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
  - EXISTING 5' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8517 O.R. 596).
  - EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8535 O.R. 632).
  - PROPOSED 10' CITY OF PALO ALTO STORM DRAINAGE EASEMENT.
  - PROPOSED 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT.
- NOTE: THE RIGHTS OF AVIATION AND OVERFLIGHT ABOVE ELEVATIONS 154' AMSL ACROSS THE ENTIRE PARCEL WERE GRANTED TO THE CITY OF PALO ALTO MAY 6, 2010, BY DOCUMENT NO 20702116.

**ysm DESIGN**  
 RETAILAUTOMOTIVEARCHITECTURE

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RECO PRIANTO, PE  
 CALIFORNIA PE # C69670  
 EXPIRES 6/30/18

Rev	Date	Comments
1	05/07/18	ARB Submittal

**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
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CALL 811 OR 1-800-277-2600  
 3 DAYS BEFORE YOU DIG  
 WWW.USANORTH.ORG  
 CALL THE WORKING DAYS BEFORE YOU DIG

**CIVIL SHEET INDEX**

- C02.00 SITE AND PAVING PLAN
- C02.01 SITE AND PAVING PLAN
- C03.00 GRADING AND DRAINAGE PLAN
- C03.01 GRADING AND DRAINAGE PLAN
- C04.00 STORM WATER CONTROL PLAN (SWCP)
- C05.00 ON-SITE PRIVATE UTILITY PLAN
- C05.01 ON-SITE PRIVATE UTILITY PLAN

**SITE INFORMATION:**

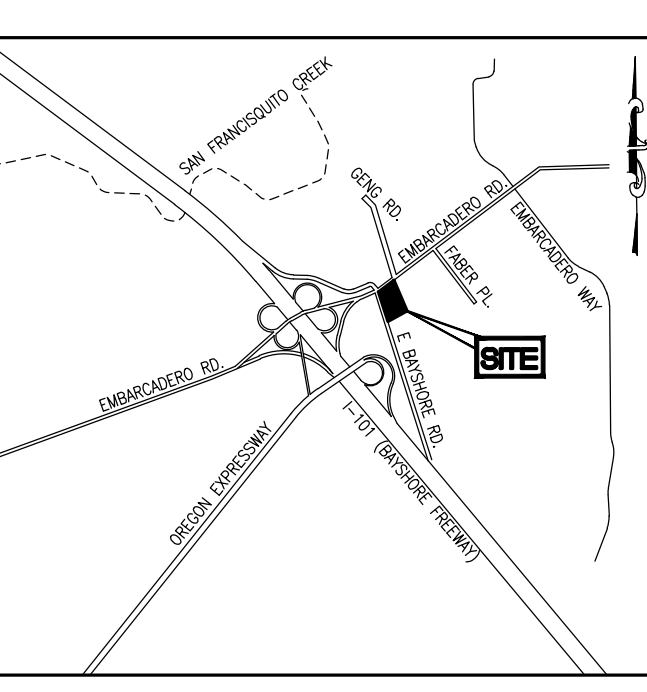
APN: 008-03-066, 008-03-084  
 ZONING: OS (D) - COMMERCIAL SERVICES  
 FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE "AE" PER FIRM PANEL NO. 06085C0030H. X. ZONE AE IS DEFINED AS AREAS DETERMINED TO BE INSIDE THE 100 YEAR FLOOD WITH A BASE ELEVATION OF 10.5.

**SUMMARY:**  
 PARCEL AREA = 209,888± SF (4.82± ACRES)  
 TOTAL DISTURBED AREA = 193,627± SF (4.45± ACRES)

**ON-SITE AREA SUMMARY:**  
 EXISTING IMPERVIOUS AREA = 161,431± SF  
 EXISTING PERVIOUS AREA = 32,196± SF  
 PROPOSED IMPERVIOUS AREA = 163,150± SF  
 PROPOSED PERVIOUS AREA = 30,477± SF  
 CHANGE IN IMPERVIOUS AREA = 1,719± SF DECREASE

**SETBACK KEY NOTES**

- A EXISTING 10' FRONT LANDSCAPE SETBACK
- B EXISTING 5' SIDE/REAR LANDSCAPE SETBACK



Client:  
**Holman Automotive**

1730 Embarcadero Rd  
 Palo Alto, CA 94303

Project:  
**MERCEDES BENZ / AUDI of PALO ALTO**

1730 Embarcadero Rd  
 Palo Alto, CA 94303

Project Number: 17019  
 Drawn By: AJH/MRJ  
 Checked By: RVP  
 Approved By: RVP

Sheet Title:  
**SITE AND PAVING PLAN**

Sheet Number:  
**C02.00**

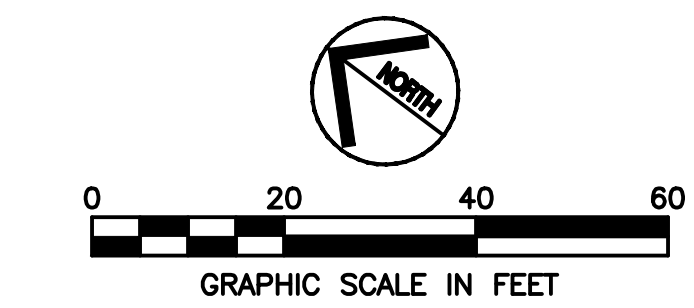
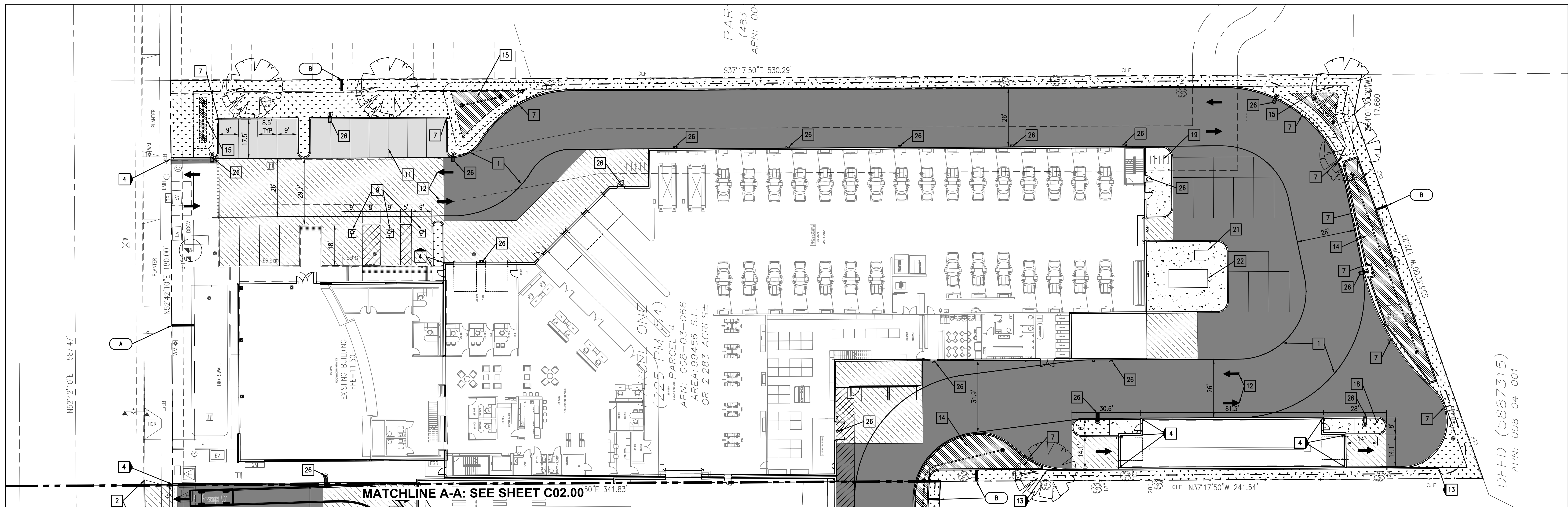


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RECO PRIANTO, PE  
CALIFORNIA PE # C69870  
EXPIRES 6/30/18

Rev	Date	Comments
1	05/07/18	ARB Submittal



**SITE PLAN LEGEND**

	EASEMENT WIDTH INDICATOR
	PROPOSED LANDSCAPED AREA
	PROPOSED RIVER ROCK
	PROPOSED PCC SIDEWALK
	PROPOSED HEAVY DUTY PCC PAVEMENT
	PROPOSED HEAVY DUTY AC PAVEMENT
	PROPOSED STANDARD DUTY AC PAVEMENT
	PROPOSED TRUNCATED DOME DETECTABLE WARNING SURFACE
	PROPOSED STORMWATER BMP
	PROPOSED FLUSH CURB

**PROPOSED**

	PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	1-FOOT CONTOUR
	5-FOOT CONTOUR
	WATER LINE
	FIRE PROTECTION WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	GAS LINE
	FENCE
	TREE
	SIGN
	FIRE HYDRANT
	WATER METER/VALVE
	WATER BACK FLOW PREVENTER
	SEWER MANHOLE
	CLEANOUT
	STORM MANHOLE/WILET
	GAS METER/VALVE
	ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE
	ELECTRIC TRANSFORMER
	TELEPHONE PEDESTAL/MANHOLE
	LIGHT POLE, UTILITY POLE
	LIGHT/TRAFFIC POLE

**LEGEND**

**EXISTING**

	PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	1-FOOT CONTOUR
	5-FOOT CONTOUR
	WATER LINE
	FIRE PROTECTION WATER LINE
	SANITARY SEWER LINE
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**SITE PLAN KEY NOTES**

- 1 PROPOSED 26 FOOT WIDE FIRE LANE.
- 2 PROPOSED DRIVEWAY TYPE "A" CURB & GUTTER PER PALO ALTO STANDARD DETAIL 120.
- 3 PROPOSED DRIVEWAY TYPE "A" CURB WITH ADJACENT SIDEWALK PER CITY OF PALO ALTO STANDARD DETAIL 122.
- 4 PROPOSED 6" TALL PCC BARRIER CURB.
- 5 PROPOSED FLUSH (0" HEIGHT) CURB.
- 6 PROPOSED ACCESSIBLE CURB RAMP.
- 7 PROPOSED 2' WIDE CURB CUT FOR STORM WATER CONVEYANCE.
- 8 PROPOSED 2' WIDE VALLEY GUTTER - MODIFIED PALO ALTO STANDARD DRAWING 132A.
- 9 PROPOSED ACCESSIBLE PARKING STALL, WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA, AND ACCESSIBLE MARKINGS PER STATE OF CALIFORNIA TITLE 24.
- 10 PROPOSED ACCESSIBLE SIGNAGE.
- 11 PROPOSED 4" PARKING STALL STRIPE, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. (TYP)
- 12 PROPOSED DIRECTIONAL ARROW AND/OR TEXT, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. DIMENSIONS PER MUTCD STANDARDS. (TYP)
- 13 PROPOSED STRUCTURAL RETAINING WALL.
- 14 PROPOSED TREATMENT CONTROL BIORETENTION PLANTER WITH 4" PERFORATED PVC UNDERDRAIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
- 15 PROPOSED BIORETENTION BASIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
- 16 PROPOSED LIMITS OF BUILDING OVERHANG.
- 17 PROPOSED BUILDING COLUMN. (TYP)
- 18 PROPOSED "EXIT ONLY DO NOT ENTER" SIGN.
- 19 PROPOSED BICYCLE RACKS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 20 PROPOSED FLAGPOLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 21 PROPOSED TRANSFORMER ON CONCRETE PAD.
- 22 PROPOSED GENERATOR ON CONCRETE PAD.
- 23 PROPOSED FLOW-THROUGH PLANTER WITH 4" PERFORATED PVC UNDERDRAIN AND DRIVING SURFACE GRATE. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
- 24 PROPOSED RAISED VEHICLE DISPLAY.
- 25 EXISTING CONCRETE PAD TO REMAIN/BE CONSTRUCTED PER PG&E DIRECTION.
- 26 PROPOSED LIGHTING FIXTURE. SEE ARCHITECTURAL AND LIGHTING PLANS.

**SETBACK KEY NOTES**

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**EASEMENT KEY NOTES**

- 3 ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
- 4 EXISTING 15' PG&E GAS LINE EASEMENT PER (488 O.R. 94).
- 6 EXISTING 40' PG&E GAS METERING EASEMENT PER (656 O.R. 394).
- 7 EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
- 8 EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 568).
- 9 EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331) TO BE PARTIALLY VACATED.
- 10 EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634).
- 11 EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
- 12 EXISTING 5' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8517 O.R. 596).
- 13 EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8535 O.R. 632).
- 16 PROPOSED 10' CITY OF PALO ALTO STORM DRAINAGE EASEMENT.
- 17 PROPOSED 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT.

NOTE: THE RIGHTS OF AVIATION AND OVERFLIGHT ABOVE ELEVATIONS 154' AMSL ACROSS THE ENTIRE PARCEL WERE GRANTED TO THE CITY OF PALO ALTO MAY 6, 2010, BY DOCUMENT NO 20702116.

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Project:  
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BENZ / AUDI  
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Project Number: 17019  
Drawn By: AJH/MRJ  
Checked By: RVP  
Approved By: RVP

Sheet Title:  
**SITE AND PAVING  
PLAN**

Sheet Number:  
**C02.01**

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RECO PRIANTO, PE  
 CALIFORNIA PE # C69670  
 EXPIRES 6/30/18

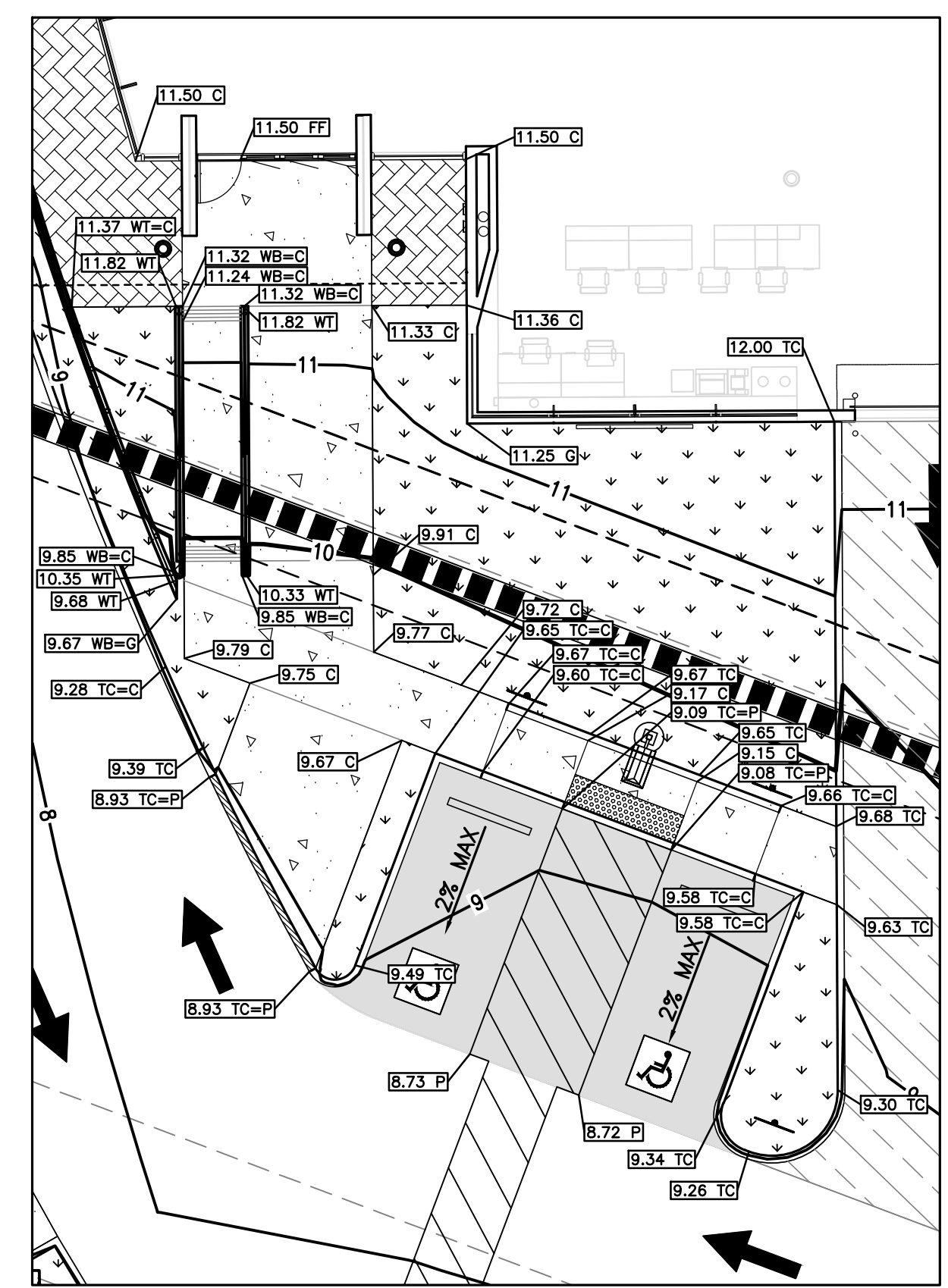
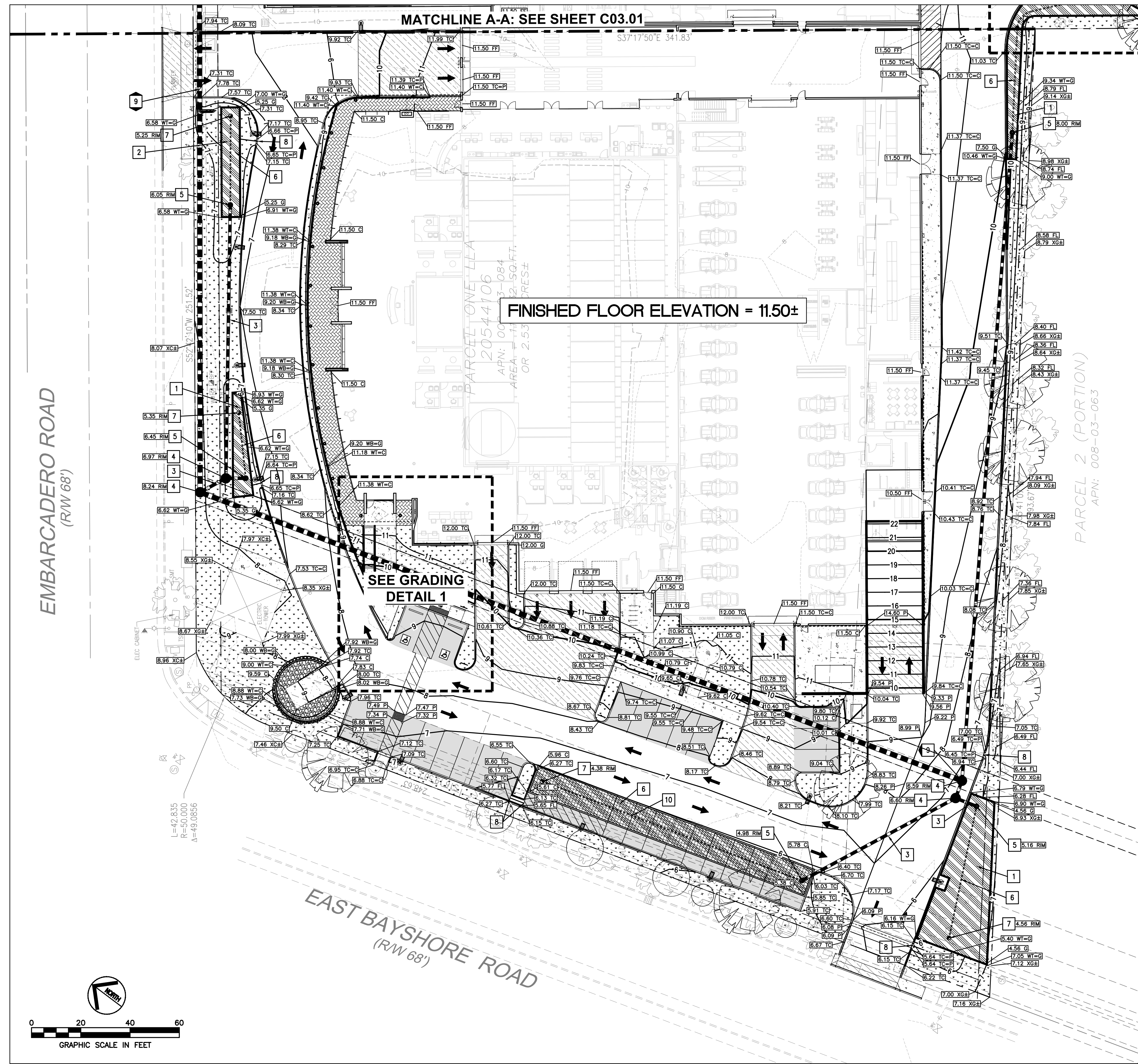
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PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	FP
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
OE	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
G	GAS LINE	G
X	FENCE	X
+	TREE	+
+	SIGN	+
+	FIRE HYDRANT	+
+	WATER METER/VALVE	+
+	WATER BACK FLOW PREVENTER	+
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+	CLEANOUT	+
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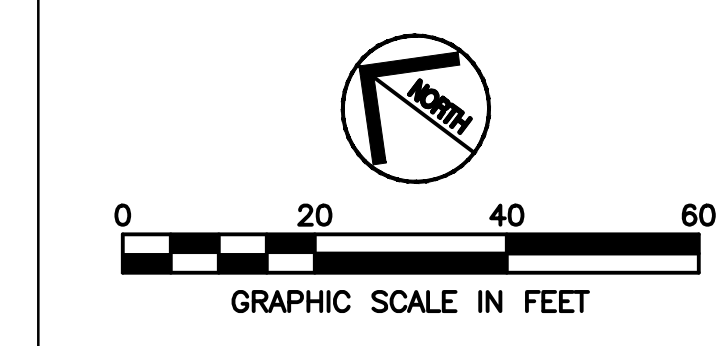
**GRADING LEGEND**

X 119.76 X	EXISTING SPOT GRADE
X 119.76 C	PROPOSED SPOT GRADE: TOP OF CONCRETE
X 119.76 TC	PROPOSED SPOT GRADE: TOP OF CURB
X 119.76 TC=	PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF CONCRETE
X 119.76 TC=P	PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF PAVEMENT
X 119.76 FF	PROPOSED SPOT GRADE: FINISHED FLOOR ELEVATION
X 119.76 FL	PROPOSED SPOT GRADE: FLOWLINE
X 119.76 F	PROPOSED SPOT GRADE: FINISHED GROUND
X 119.76 P	PROPOSED SPOT GRADE: TOP OF PAVEMENT
X 119.76 W	PROPOSED SPOT GRADE: TOP OF WALL
X 119.76 WC	PROPOSED SPOT GRADE: TOP OF WALL EQUALS CONCRETE
X 119.76 WC=P	PROPOSED SPOT GRADE: TOP OF WALL EQUALS FINISHED GROUND
X 119.76 B	PROPOSED SPOT GRADE: BOTTOM OF WALL
X 119.76 BC	PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS CONCRETE
X 119.76 BC=P	PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS FINISHED GROUND
1.0%	PROPOSED SLOPE
---	DRAINAGE SWALE WITH 0.5% MINIMUM SLOPE

- GRADING & DRAINAGE KEY NOTES**
- CONCRETE WALLED FLOW-THROUGH PLANTER
  - LINED BIORETENTION BASIN
  - INSTALL PVC STORM SEWER. SIZE AND SLOPE TBD.
  - INSTALL STORM MANHOLE TYPE I
  - INSTALL OVERFLOW RISER WITH YARD/BEEHIVE GRATE. INSTALL ABOVE LOCATION OF EXISTING STORM LINE, AND MAKE SADDLE INSTALLATION.
  - INSTALL 4" PERFORATED UNDERDRAIN. MINIMUM SLOPE OF 0.5%.
  - INSTALL STORM DRAIN TERMINAL CLEANOUT IN BIORETENTION BMP
  - INSTALL 2' WIDE CURB CUT/LEAVE-OUT FOR STORM WATER CONVEYANCE
  - RECONSTRUCT 21" STORM LINE AND WIDEN EASEMENT TO 10' PER CITY DIRECTION.
  - CONCRETE FLOW-THROUGH PLANTER WITH TRAFFIC-RATED METAL GRATE. FOR STRUCTURAL DETAILS, SEE STRUCTURAL PLANS.



**GRADING DETAIL 1**  
 SCALE: 1" = 10'



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- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

CALL 811 OR 1-800-277-2600 BEFORE YOU DIG

**ENGINEERS NOTE TO THE CONTRACTOR:**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

WWW.USANORTH.ORG  
 CALL TWO WORKING DAYS BEFORE YOU DIG

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**ENVIRONMENTAL NOTE:**

ROMIG ENGINEERS PREVIOUSLY PROVIDED PHASE 1 AND PHASE 2 ENVIRONMENTAL SITE ASSESSMENTS (ESA) FOR THE SUBJECT PROPERTY. IT IS ASSUMED THAT THE RECOMMENDATIONS INCLUDED IN THAT REPORT WILL BE FOLLOWED.

**STORMWATER MANAGEMENT NOTE:**

THE STORMWATER DESIGN SHOWN IS IN COMPLIANCE WITH THE SANTA CLARA COUNTY CALIFORNIA DRAINAGE MANUAL (2007). ADDITIONAL HYDROLOGIC MODELING/CALCULATIONS AND HYDRAULIC ANALYSIS HAVE BEEN PERFORMED, AND CAN BE PROVIDED UPON REQUEST. THE 10-YEAR HYDRAULIC GRADE LINE IS BELOW THE CROWN OF ALL PROPOSED STORM SEWER PIPES, AND THE 100-YEAR HYDRAULIC GRADE LINE IS MORE THAN ONE FOOT (1') BELOW THE FINISHED GRADE SURFACES IN ALL INSTANCES.

**WATER QUALITY NOTE:**

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Client:  
**Holman Automotive**

1730 Embarcadero Rd  
 Palo Alto, CA 94303

Project:  
**MERCEDES BENZ / AUDI of PALO ALTO**

1730 Embarcadero Rd  
 Palo Alto, CA 94303

Project Number: 17019  
 Drawn By: AJH/MRJ  
 Checked By: RVP  
 Approved By: RVP

Sheet Title:  
**GRADING AND DRAINAGE PLAN**

Sheet Number:  
**C03.00**

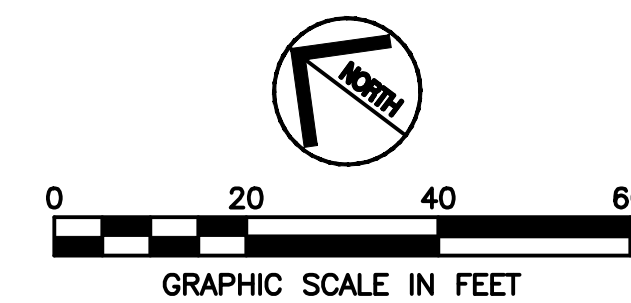
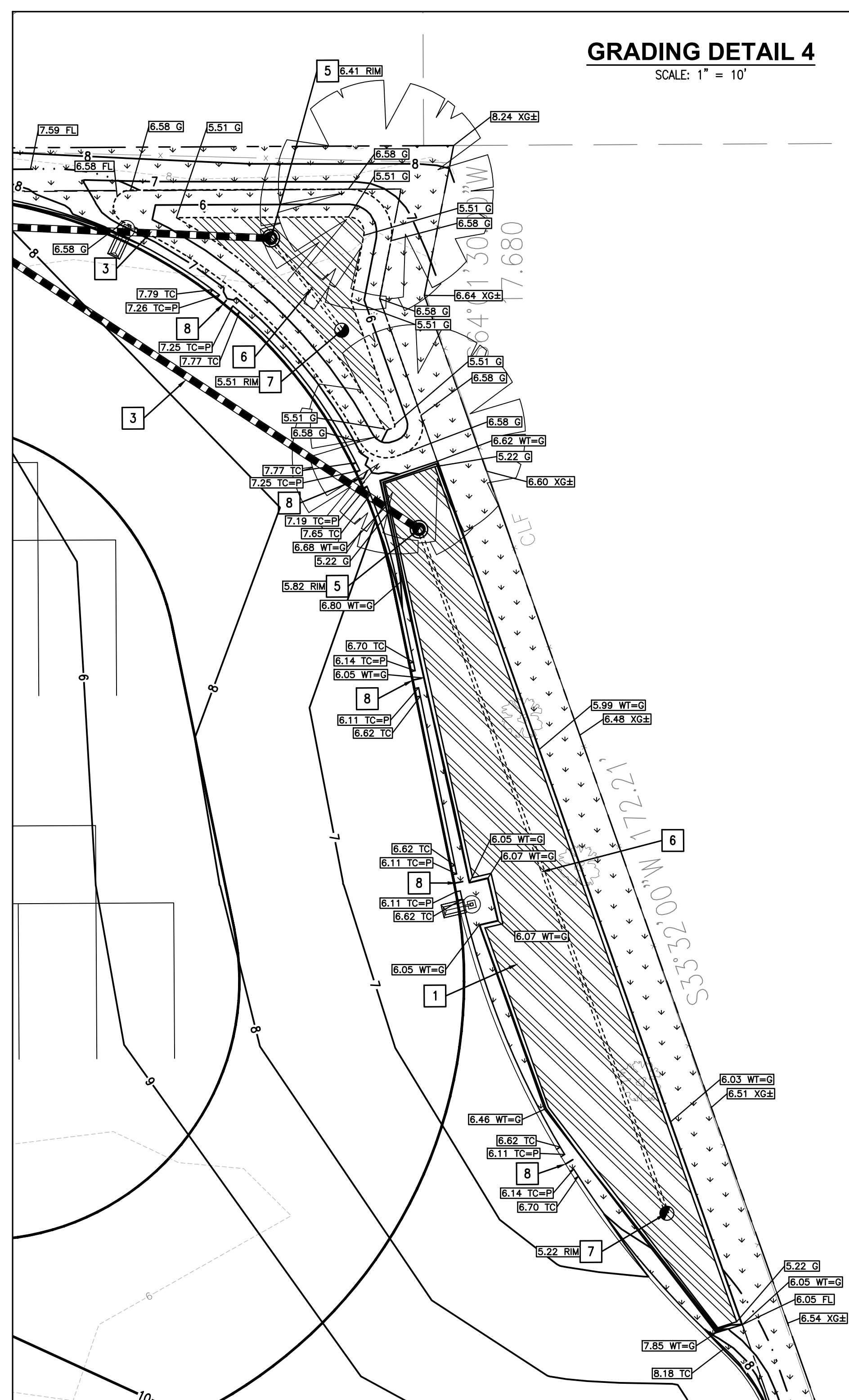
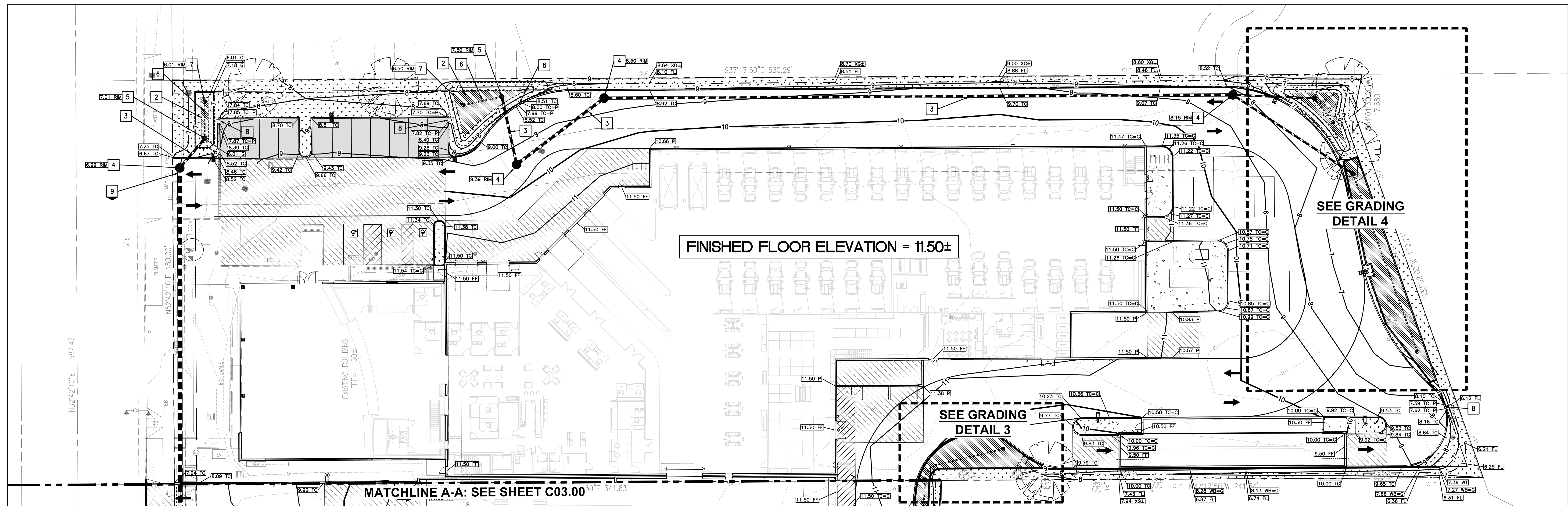


**PRELIMINARY**

THESE DOCUMENTS ARE INCOMPLETE AND NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.

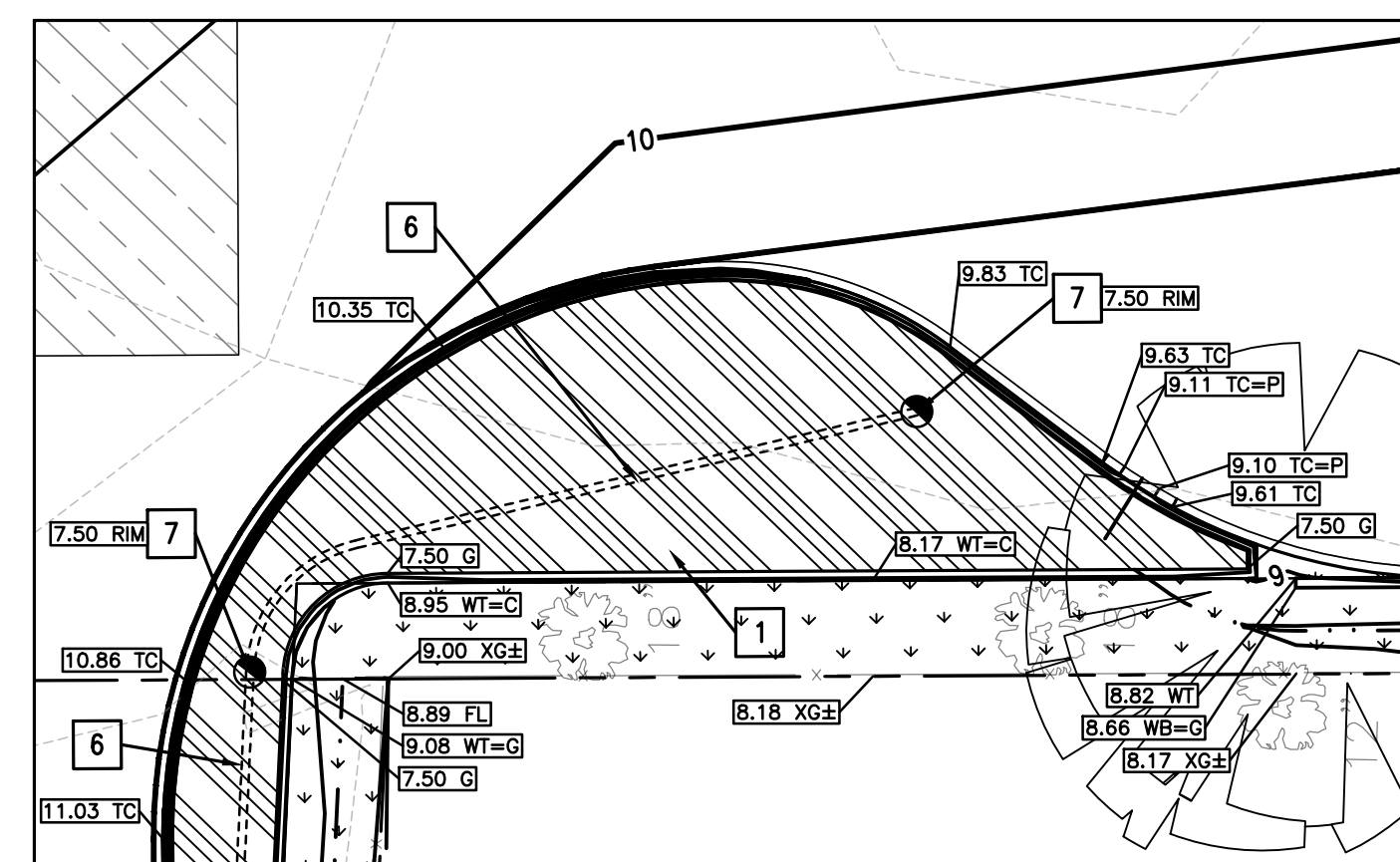
RECO PRIANTO, PE  
CALIFORNIA PE # C69870  
EXPIRES 6/30/18

Rev	Date	Comments
1	05/07/18	ARB Submittal



**GRADING & DRAINAGE KEY NOTES**

- 1 CONCRETE WALLED FLOW-THROUGH PLANTER
- 2 LINED BIORETENTION BASIN
- 3 INSTALL PVC STORM SEWER, SIZE AND SLOPE TBD.
- 4 INSTALL STORM MANHOLE TYPE I
- 5 INSTALL OVERFLOW RISER WITH YARD/BEEHIVE GRATE. INSTALL ABOVE LOCATION OF EXISTING STORM LINE, AND MAKE SADDLE INSTALLATION.
- 6 INSTALL 4" PERFORATED UNDERDRAIN, MINIMUM SLOPE OF 0.5%.
- 7 INSTALL STORM DRAIN TERMINAL CLEANOUT IN BIORETENTION BMP
- 8 INSTALL 2" WIDE CURB CUT/LEAVE-OUT FOR STORM WATER CONVEYANCE
- 9 RECONSTRUCT 21" STORM LINE AND WIDEN EASEMENT TO 10' PER CITY DIRECTION.
- 10 CONCRETE FLOW-THROUGH PLANTER WITH TRAFFIC-RATED METAL GRATE. FOR STRUCTURAL DETAILS, SEE STRUCTURAL PLANS.



**GRADING DETAIL 3**  
SCALE: 1" = 10'

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**SURVEY NOTES:**

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**BENCHMARK:**  
SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.

**BASIS OF BEARINGS:**  
THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

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**GRADING LEGEND**

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE: TOP OF CONCRETE
- PROPOSED SPOT GRADE: TOP OF CURB
- PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF CONCRETE
- PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF PAVEMENT
- PROPOSED SPOT GRADE: FINISHED FLOOR ELEVATION
- PROPOSED SPOT GRADE: FLOWLINE
- PROPOSED SPOT GRADE: FINISHED GROUND
- PROPOSED SPOT GRADE: TOP OF PAVEMENT
- PROPOSED SPOT GRADE: TOP OF WALL
- PROPOSED SPOT GRADE: TOP OF WALL EQUALS CONCRETE
- PROPOSED SPOT GRADE: TOP OF WALL EQUALS FINISHED GROUND
- PROPOSED SPOT GRADE: BOTTOM OF WALL
- PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS CONCRETE
- PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS FINISHED GROUND
- PROPOSED SLOPE
- DRAINAGE SWALE WITH 0.5% MINIMUM SLOPE

**PROPOSED**

- 9 1-FOOT CONTOUR
- 10 5-FOOT CONTOUR
- WTR WATER LINE
- FP FIRE PROTECTION WATER LINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- OE OVERHEAD ELECTRIC
- UE UNDERGROUND ELECTRIC
- G GAS LINE
- X FENCE

**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
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- 5-FOOT CONTOUR
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- SD STORM DRAIN LINE
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- UE UNDERGROUND ELECTRIC
- G GAS LINE
- X FENCE
- TREE
- SIGN
- FIRE HYDRANT
- WATER METER/VALVE
- WATER BACK FLOW PREVENTER
- SEWER MANHOLE
- CLEANOUT
- STORM MANHOLE/INLET
- GAS METER/VALVE
- ELECTRIC BOX/WAULT/PEDESTAL/MANHOLE
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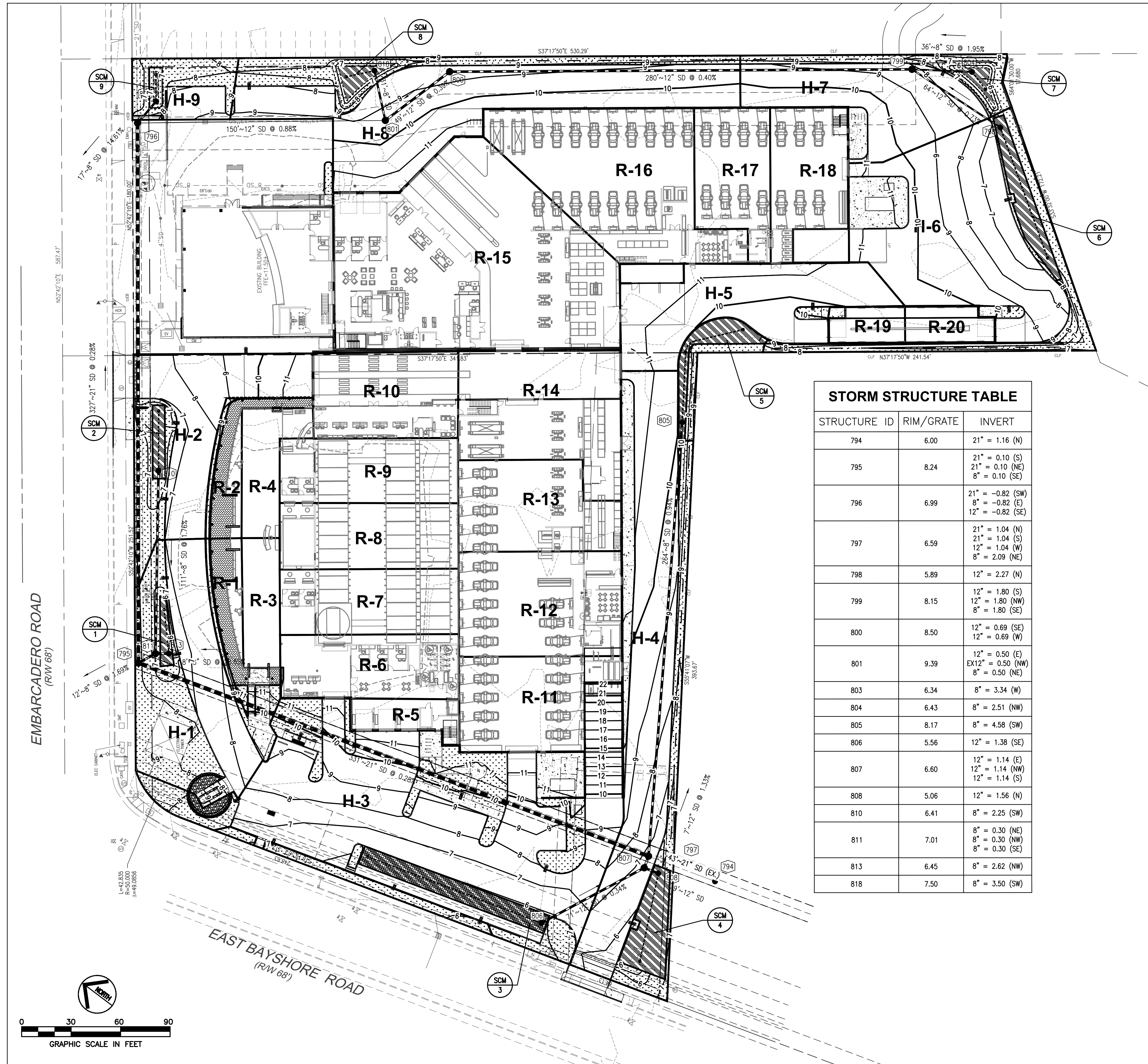
Project:  
**MERCEDES  
BENZ / AUDI  
of PALO ALTO**

1730 Embarcadero Rd  
Palo Alto, CA 94303

Project Number: 17019  
Drawn By: AJH/MRJ  
Checked By: RVP  
Approved By: RVP

Sheet Title:  
**GRADING AND  
DRAINAGE PLAN**

Sheet Number:  
**C03.01**



STORM STRUCTURE TABLE			
STRUCTURE ID	RIM/GRATE	INVERT	
794	6.00	21" = 1.16 (N)	
795	8.24	21" = 0.10 (S) 21" = 0.10 (NE) 8" = 0.10 (SE)	
796	6.99	21" = -0.82 (SW) 8" = -0.82 (E) 12" = -0.82 (SE)	
797	6.59	21" = 1.04 (N) 21" = 1.04 (S) 12" = 1.04 (W) 8" = 2.09 (NE)	
798	5.89	12" = 2.27 (N)	
799	8.15	12" = 1.80 (S) 12" = 1.80 (NW) 8" = 1.80 (SE)	
800	8.50	12" = 0.69 (SE) 12" = 0.69 (W)	
801	9.39	12" = 0.50 (E) EX12" = 0.50 (NW) 8" = 0.50 (NE)	
803	6.34	8" = 3.34 (W)	
804	6.43	8" = 2.51 (NW)	
805	8.17	8" = 4.58 (SW)	
806	5.56	12" = 1.38 (SE)	
807	6.60	12" = 1.14 (E) 12" = 1.14 (NW) 12" = 1.14 (S)	
808	5.06	12" = 1.56 (N)	
810	6.41	8" = 2.25 (SW)	
811	7.01	8" = 0.30 (NE) 8" = 0.30 (NW) 8" = 0.30 (SE)	
813	6.45	8" = 2.62 (NW)	
818	7.50	8" = 3.50 (SW)	

**INSPECTION AND MAINTENANCE:**

RESPONSIBLE PARTY FOR BMP MAINTENANCE: TBD

**ON-SITE FLOW-THROUGH PLANTER MAINTENANCE PLAN:**

- ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):
  - INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
  - INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDED WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE FILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
  - INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
  - CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.
  - BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):
    - PRUNE AND WEED THE PLANTER AREA.
    - REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
    - TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
    - AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THE USE OF PESTICIDES AND FERTILIZERS.
    - MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).
- ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):
  - APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

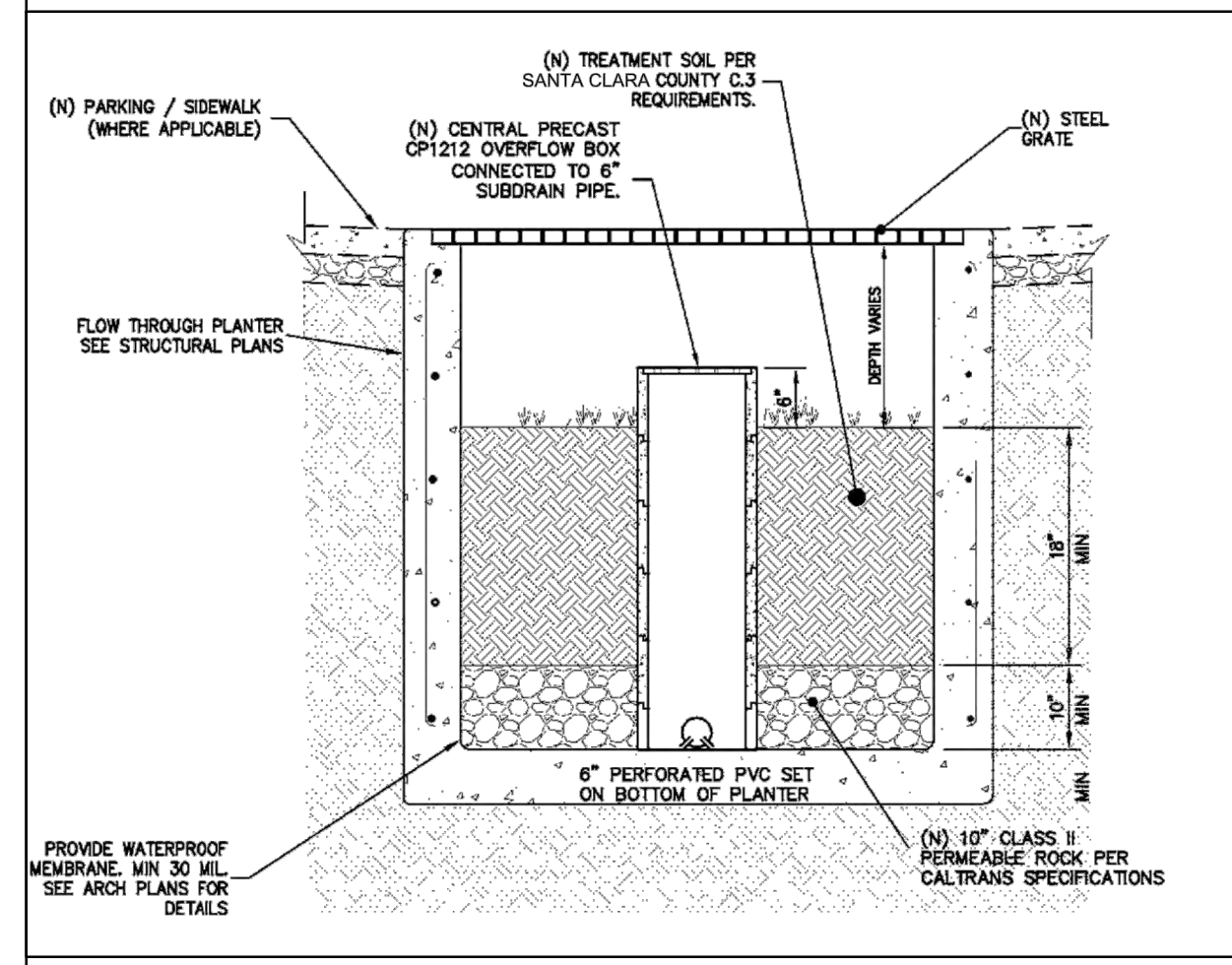
**ON-SITE LINED BIORETENTION BASIN MAINTENANCE PLAN:**

- ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):
  - INSPECT THE BASIN SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
  - INSPECT BASIN AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY AND THAT THE BASIN IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDED WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE FILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
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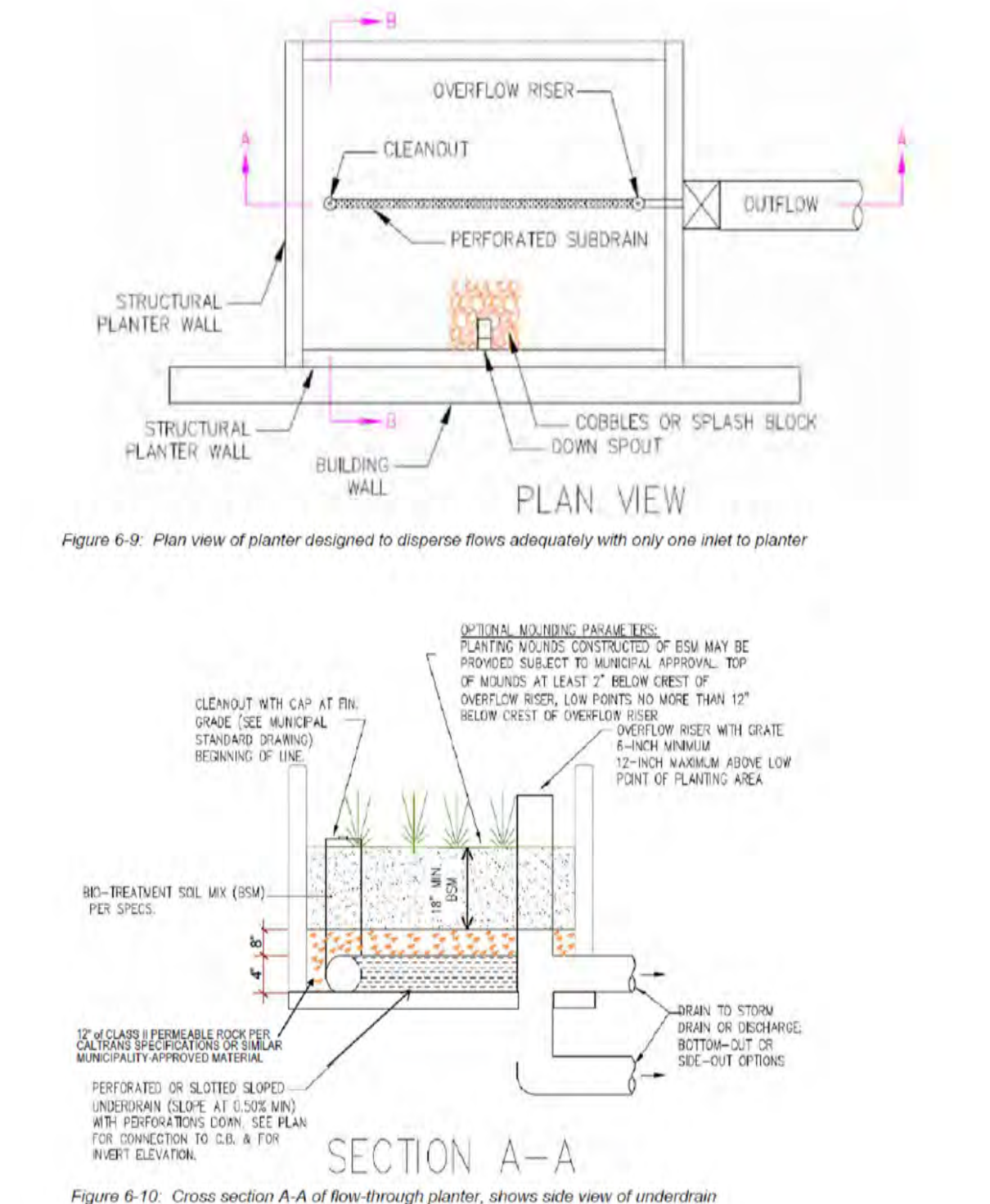
PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	FP
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
OE	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
G	GAS LINE	G
X	FENCE	X
	TREE	
	SIGN	
	FIRE HYDRANT	
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**STORMWATER CONTROL LEGEND**

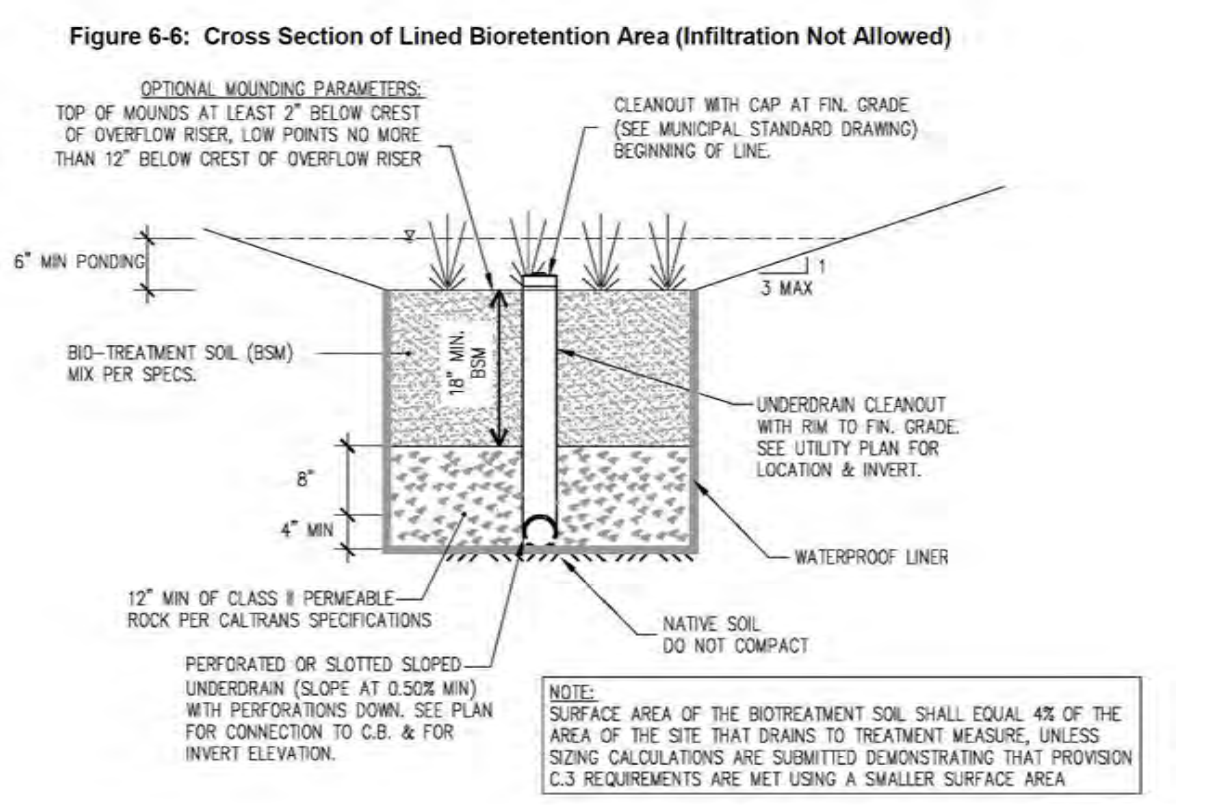
- APPROXIMATE BOUNDARY OF DRAINAGE MANAGEMENT AREA
- PROPOSED OVERFLOW DRAIN IN PLANTER
- PROPOSED STORMWATER CLEANOUT
- PROPOSED DRAINAGE MANAGEMENT AREA (DA-1, DA-2, ETC), AND SCM (SCM1, SCM2, ETC) DESIGNATION
- PERFORATED UNDERDRAIN IN PLANTER
- COMPENSATORY STORAGE REQUIRED FOR POST-DEVELOPED RUNOFF THAT CANNOT BE TREATED.



**LID-3: FLOW-THROUGH PLANTER WITH TRAFFIC-RATED GRATE**



**LID-1: FLOW-THROUGH PLANTER (COUNTY STANDARD)**



**LID-2: LINED BIORETENTION BASIN (COUNTY STANDARD)**

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THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON.

**SOILS REPORT NOTE:**

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEOTECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303," DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAI PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

**STORM WATER NOTES:**

- PLANTER WALL FOR FLOW THROUGH PLANTERS SHALL BE 6"-WIDE CONCRETE - SEE DETAILS ON THIS SHEET. SEE LANDSCAPE PLANS FOR PLANT SELECTION.
- GROUNDWATER WAS ENCOUNTERED AS SHALLOW AS 7 FEET BELOW EXISTING GRADE. AS SUCH, UNDERDRAINS ARE OMITTED IN ALL AREAS (EXCEPT FROM THE FLOW-THROUGH PLANTER BOXES WHICH HAVE CONCRETE BASES) AS TO AVOID DIRECTING GROUNDWATER TO THE CITY STORM SEWER SYSTEM.

**ENGINEERS NOTE TO THE CONTRACTOR:**

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**SITE DRAINAGE AREAS AND SCM'S**

AREA	SCM	SCM TYPE	TOTAL DRAINAGE AREA [SF]	IMPERVIOUS AREA [SF]	PERVIOUS AREA [SF]	SCM AREA REQUIRED [SF]	SCM AREA PROVIDED [SF]
H-1	1	** FLOW-THROUGH PLANTER BOX - WITH UNDERDRAIN	9126	4501	4625	199	221
H-2, R-2, R-4	2	** FLOW-THROUGH PLANTER BOX - WITH UNDERDRAIN	11152	9135	2017	280	308
H-3, R-1, R-3, R-5, R-6, R-7, R-8, R-9	3	** FLOW-THROUGH PLANTER BOX - WITH UNDERDRAIN AND TRAFFIC RATED GRATE	45182	40924	4258	1240	1282
H-4, R-10, R-11, R-12, R-13, R-14	4	** FLOW-THROUGH PLANTER BOX - WITH UNDERDRAIN	43606	39677	3929	1202	1210
H-5, R-15, R-19	5	** FLOW-THROUGH PLANTER BOX - WITH UNDERDRAIN	26896	25676	1220	774	778
H-6, R-16, R-17, R-18, R-20	6	** FLOW-THROUGH PLANTER BOX - WITH UNDERDRAIN	35147	31440	3707	954	965
H-7	7	BASIN	7228	5504	1724	170	174
H-8	8	BASIN	13397	7312	6085	301	316
H-9	9	BASIN	2296	799	1497	51	63
TOTAL			194030	164968	29062	5172	5318

**ysm DESIGN**  
RETAIL/AUTOMOTIVE/ARCHITECTURE

1320 Ellsworth Industrial Blvd  
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RECO PRIANTO, PE  
CALIFORNIA PE # C69670  
EXPIRES 6/30/18

Rev	Date	Comments
1	05/07/18	ARB Submittal

Client:  
**Holman Automotive**

1730 Embarcadero Rd  
Palo Alto, CA 94303

Project:  
**MERCEDES BENZ / AUDI of PALO ALTO**

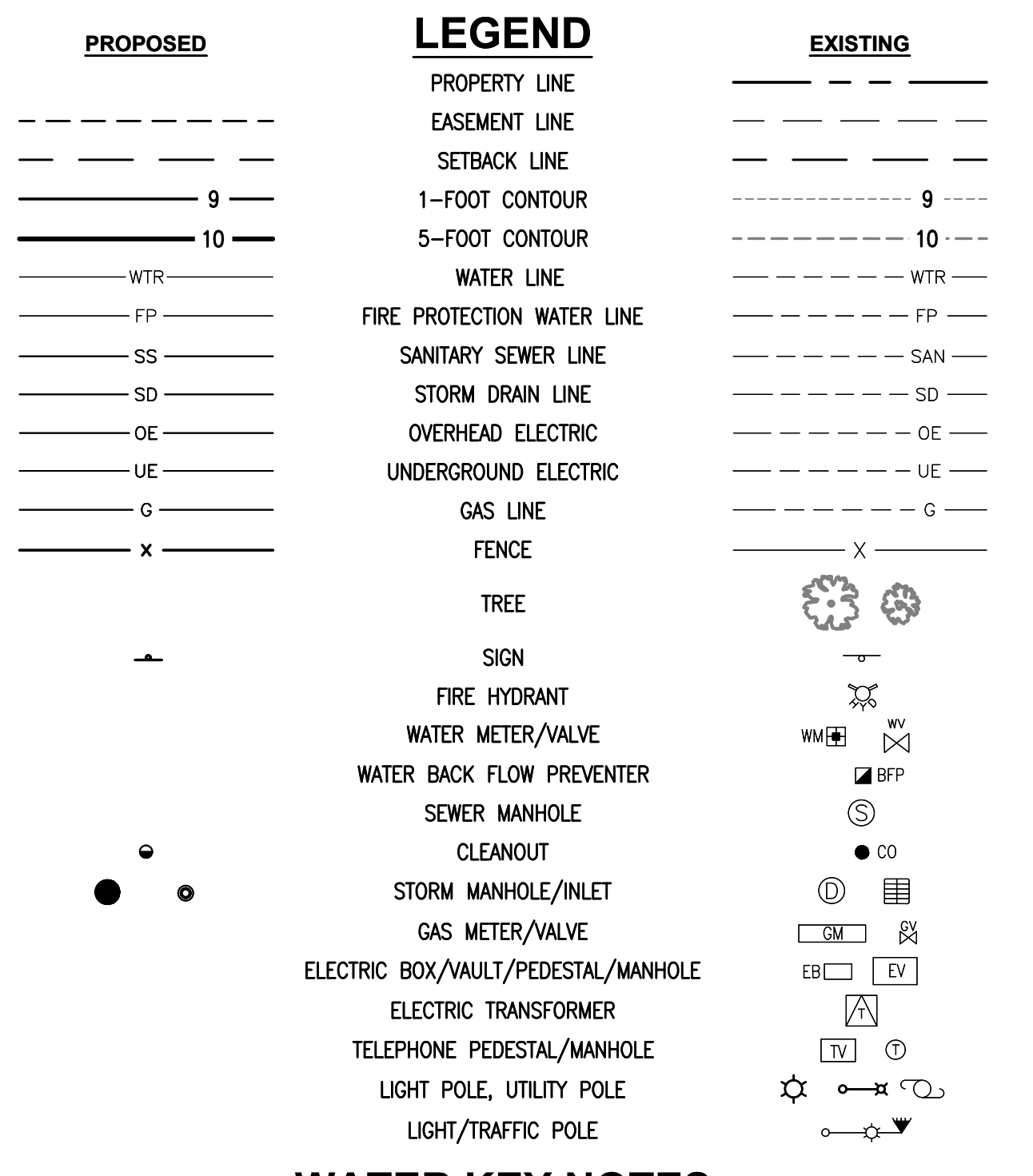
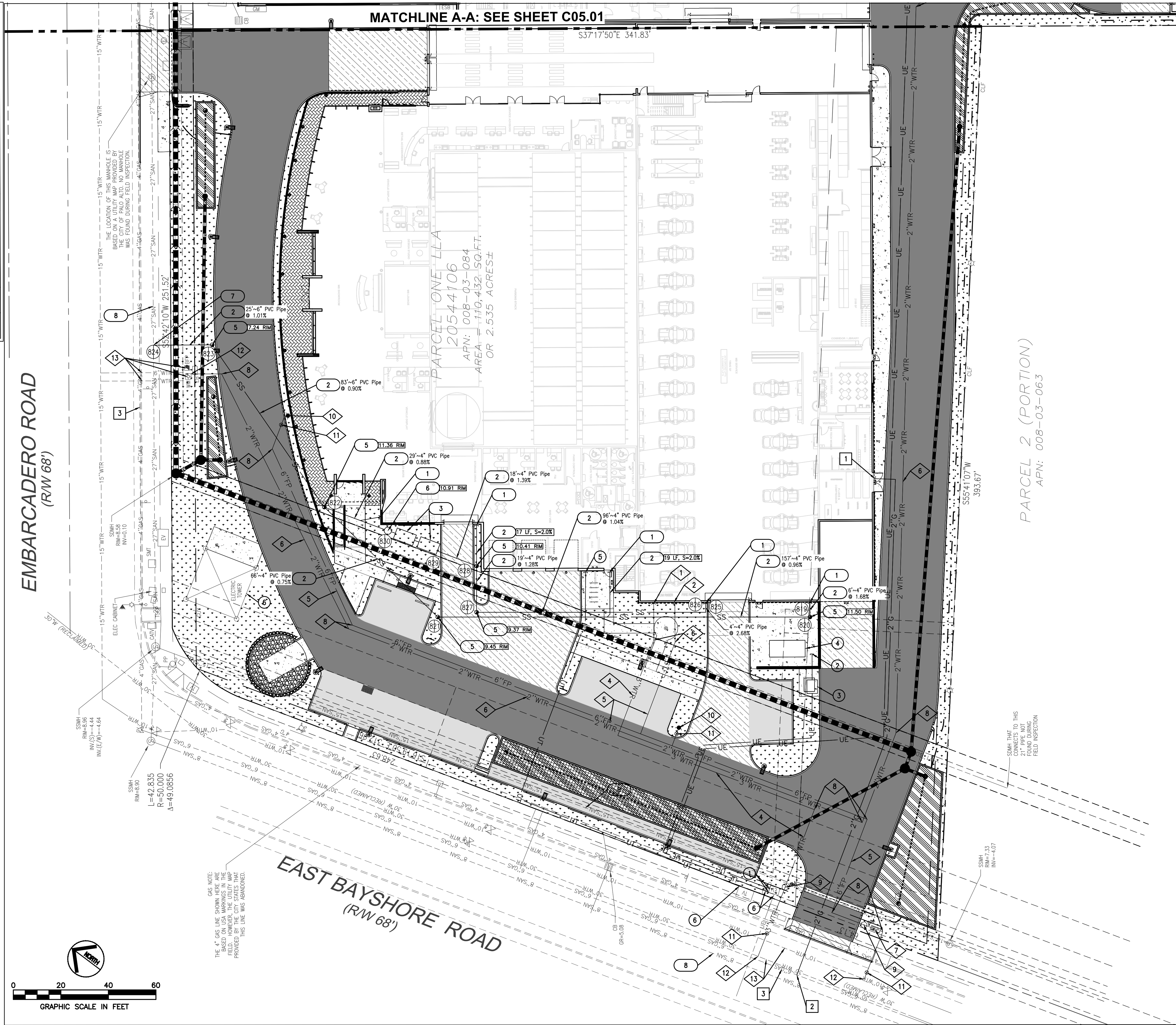
1730 Embarcadero Rd  
Palo Alto, CA 94303

Project Number: 17019  
Drawn By: AJH/MRJ  
Checked By: RVP  
Approved By: RVP

Sheet Title:  
**STORM WATER CONTROL PLAN (SWCP)**

Sheet Number:  
**C04.00**

SANITARY STRUCTURE TABLE		
STRUCTURE ID	RIM	INVERT
819	11.50	4" = -0.90 (SW) 4" = -1.00 (NE)
820	11.50	4" = -1.00 (NE) 4" = -1.00 (NW)
821	9.45	4" = -2.50 (SE) 4" = -2.50 (N)
822	11.36	4" = -3.00 (S) 6" = -3.00 (N) 4" = -3.00 (S)
823	7.24	6" = -3.75 (S) 6" = -3.75 (NW)
824	0.77	6" = -4.00 (SE)
825	11.50	4" = -0.90 (SW)
826	11.50	4" = -1.00 (NE) 4" = -1.00 (NW)
827	9.37	4" = -2.00 (SE) 4" = -2.00 (NE)
828	10.41	4" = -2.25 (SW) 4" = -2.25 (N)
829	11.06	4" = -2.50 (S) 4" = -2.50 (N)
830	10.91	4" = -2.75 (S) 4" = -2.75 (N)



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- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

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**SURVEY NOTES:**

TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**BENCHMARK:**  
SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD83 DATUM.

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Project:  
**MERCEDES BENZ / AUDI of PALO ALTO**

1730 Embarcadero Rd  
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Project Number: 17019  
Drawn By: AJH/MRJ  
Checked By: RVP  
Approved By: RVP

Sheet Title:  
**ON-SITE PRIVATE UTILITY PLAN**

Sheet Number:  
**C05.00**

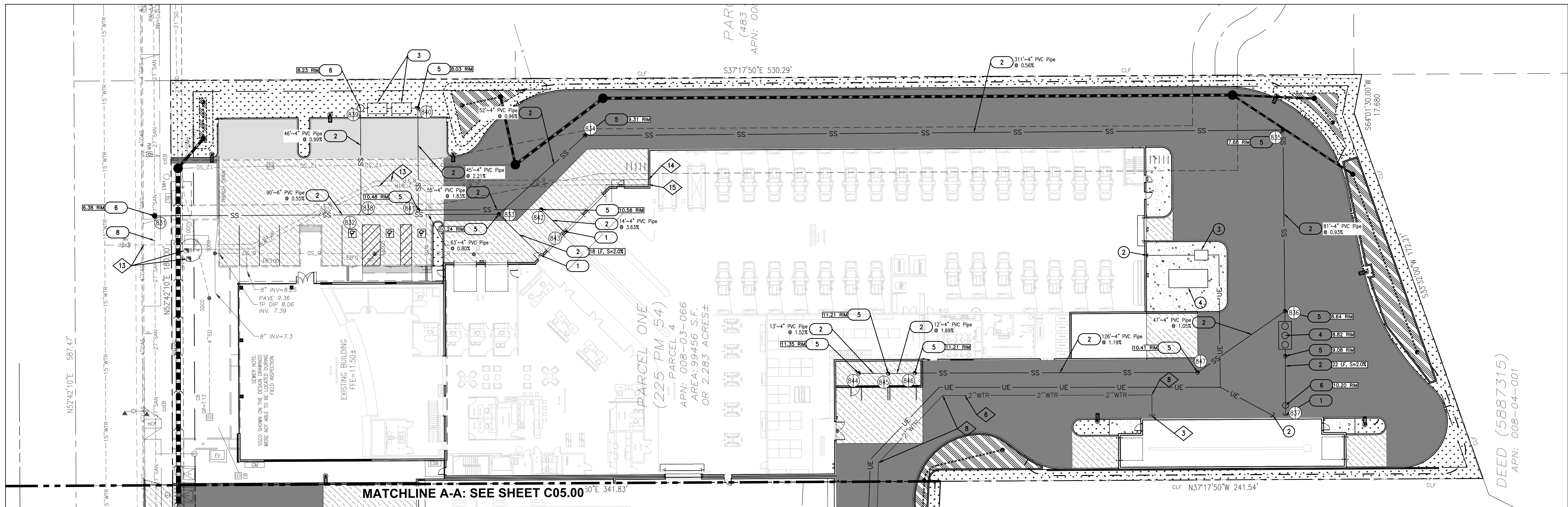


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RECO PRIANTO, PE  
CALIFORNIA PE # C69870  
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**WATER KEY NOTES**

1. CONNECT PROPOSED 3" DOMESTIC WATER SERVICE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION.
2. CONNECT PROPOSED 6" FIRE WATER PROTECTION SERVICE TO BUILDING SERVICE STUB. FDC TO BE MOUNTED ON BUILDING WALL. SEE BUILDING PLUMBING AND FIRE PROTECTION PLANS FOR CONTINUATION.
3. CONNECT PROPOSED 2" RECYCLED WATER SERVICE TO CAR WASH STUB. BFP LOCATED INSIDE OF BUILDING. SEE CAR WASH PLUMBING PLANS FOR CONTINUATION.
4. PROPOSED 3" DOMESTIC WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
5. PROPOSED 6" DEDICATED FIRE WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
6. PROPOSED 2" RECYCLED WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
7. PROPOSED DEDICATED FIRE REDUCED PRESSURE DETECTOR ASSEMBLY WITH DETECTOR METER AND COUPLINGS FURNISHED BY CITY PER PALO ALTO STANDARD DRAWING WD-18A. INSTALL COMMERCIAL BOLLARDS AS SHOWN PER PALO ALTO STANDARD DETAIL WG-05.
8. PROPOSED BEND, THRUST BLOCKS TO BE PROVIDED PER PALO ALTO STANDARD DETAIL WD-19.
9. PROPOSED WATER METER PER PALO ALTO STANDARD DRAWING WD-06.
10. PROPOSED FIRE HYDRANT. LOCATION TO BE APPROVED BY PALO ALTO FIRE DEPARTMENT.
11. PROPOSED GATE VALVE TO BE PROVIDED PER PALO ALTO STANDARD DETAIL WD-20.
12. PROPOSED CONNECTION TO EXISTING WATER MAIN.
13. CONTRACTOR TO PROTECT EXISTING WATER LINE/STRUCTURE TO REMAIN.
14. CONNECT PROPOSED DOMESTIC WATER SERVICE FROM EXISTING WATER LINE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION.
15. CONNECT PROPOSED FIRE WATER PROTECTION SERVICE FROM EXISTING FIRE PROTECTION LINE TO BUILDING SERVICE STUB. FDC TO BE MOUNTED ON BUILDING WALL. SEE BUILDING PLUMBING AND FIRE PROTECTION PLANS FOR CONTINUATION.

**PRIVATE SANITARY SEWER KEY NOTES**

1. CONNECT SANITARY SEWER LATERAL TO BUILDING. SEE BUILDING PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
2. PROPOSED PVC-SDR 35 SANITARY SEWER SERVICE PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
3. PROPOSED RECLAIM TANK. SEE BUILDING PLUMBING PLANS FOR DETAILS. RIM AND INVERT PER PLAN.
4. PROPOSED OIL/SAND SEPARATION UNIT. SEE BUILDING PLUMBING PLANS FOR DETAILS. RIM AND INVERT PER PLAN.
5. PROPOSED 4" TWO-WAY SANITARY SEWER CLEANOUT PER PALO ALTO STANDARD DRAWING WWD-02. TRAFFIC RATED CLEANOUT BOX PER PALO ALTO STANDARD DRAWING WWD-04. RIM AND INVERT PER PLAN.
6. PROPOSED 48" SANITARY SEWER MANHOLE PER PALO ALTO STANDARD DETAIL WWD-09. FRAME AND COVER PER PALO ALTO STANDARD DRAWING WWD-12.
7. CONNECT PROPOSED HOPE, SDR 17 SANITARY SEWER TO EXISTING 27" MAIN PER PALO ALTO STANDARD DRAWING WWD-05 AND WWD-06. RIM AND INVERT PER PLAN.
8. EXISTING SANITARY SEWER/STRUCTURE TO REMAIN. SIZE PER PLAN. LOCATION PER RECORDS. NOT FIELD VERIFIED. GENERAL CONTRACTOR TO CONFIRM DEPTH SIZE AND LOCATION - PROTECT IN PLACE.

**GAS SERVICE KEY NOTES**

1. CONNECT PROPOSED 2" GAS SERVICE TO BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR CONTINUATION. METER TO BE LOCATED PER PALO ALTO STANDARD DRAWING GD-01.
2. CONNECT PROPOSED 2" GAS SERVICE TO EXISTING GAS MAIN PER PALO ALTO STANDARD DRAWING GD-01.
3. CONTRACTOR TO PROTECT EXISTING GAS LINE TO REMAIN.

**DRY UTILITY KEY NOTES**

1. PROPOSED CONNECTION POINT OF PROPOSED PRIMARY UNDERGROUND ELECTRICAL CONDUITS TO EXISTING UTILITY POLE. COORDINATE ROUTING AND POINT OF CONNECTION WITH SEE PRIOR TO CONSTRUCTION.
2. PROPOSED SECONDARY ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SEE ON-SITE ELECTRICAL PLANS AND ELECTRIC PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
3. PROPOSED PRIVATE TRANSFORMER OR 1600 AMP SERVICE. SEE MEP PLANS.
4. PROPOSED PRIVATE GENERATOR. SEE MEP PLANS.
5. PROPOSED DATA AND TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SEE ON-SITE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS. SEE BUILDING ELECTRIC PLANS FOR CONTINUATION.
6. ASSUMED CONNECTION POINT OF PROPOSED UNDERGROUND DATA AND TELEPHONE CONDUITS TO EXISTING UNDERGROUND VAULT. COORDINATE ROUTING AND POINT OF CONNECTION WITH DATA AND TELEPHONE SERVICE PROVIDER PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO PROTECT EXISTING ELECTRIC SERVICE/STRUCTURE TO REMAIN.

**SANITARY STRUCTURE TABLE**

STRUCTURE ID	RIM	INVERT
831	0.77	6" = -4.00 (SE)
832	0.00	6" = -3.50 (NW) 4" = -3.50 (SE)
833	10.24	4" = -3.00 (NW) 4" = -3.00 (E)
834	9.31	4" = -2.50 (W) 4" = -2.50 (SE)
835	7.68	4" = -0.75 (NW) 4" = -0.75 (SW)
836	8.64	4" = 0.00 (NE) 4" = 0.00 (SW) 4" = 0.00 (W)
837	10.18	4" = 1.00 (NE)
838	0.00	4" = -3.45 (W) 4" = -3.45 (NE)
839	8.90	4" = -3.00 (SW) 4" = -3.00 (SE)
840	8.03	4" = -2.50 (NW) 4" = -2.50 (SW)
841	3.51	4" = -1.50 (NE) 4" = -1.50 (SE)
842	11.25	4" = -0.50 (NW) 4" = -0.50 (S)
843	11.39	4" = 0.00 (N)
844	11.35	4" = 2.40 (SE)
845	11.21	4" = 2.20 (NW) 4" = 2.20 (SE)
846	11.21	4" = 2.00 (NW) 4" = 2.00 (SE)
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**ENGINEERS NOTE TO THE CONTRACTOR:**  
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

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Client:  
**Holman Automotive**

1730 Embarcadero Rd  
Palo Alto, CA 94303

Project:  
**MERCEDES BENZ / AUDI of PALO ALTO**

1730 Embarcadero Rd  
Palo Alto, CA 94303

Project Number: 17019  
Drawn By: AJH/MRJ  
Checked By: RVP  
Approved By: RVP

Sheet Title:  
**ON-SITE PRIVATE UTILITY PLAN**

Sheet Number:  
**C05.01**

# MERCEDES BENZ AUDI OF PALO ALTO

## ARCHITECTURAL REVIEW BOARD: LANDSCAPE PLANS

### DESIGN INTENT

THE LANDSCAPE DESIGN FOR THIS PROJECT WILL TAKE THE BAYLANDS NATURAL PRESERVE STYLE INTERWIND WITH THE MODERN LOOK OF THE MERCEDES BENZ BRAND.

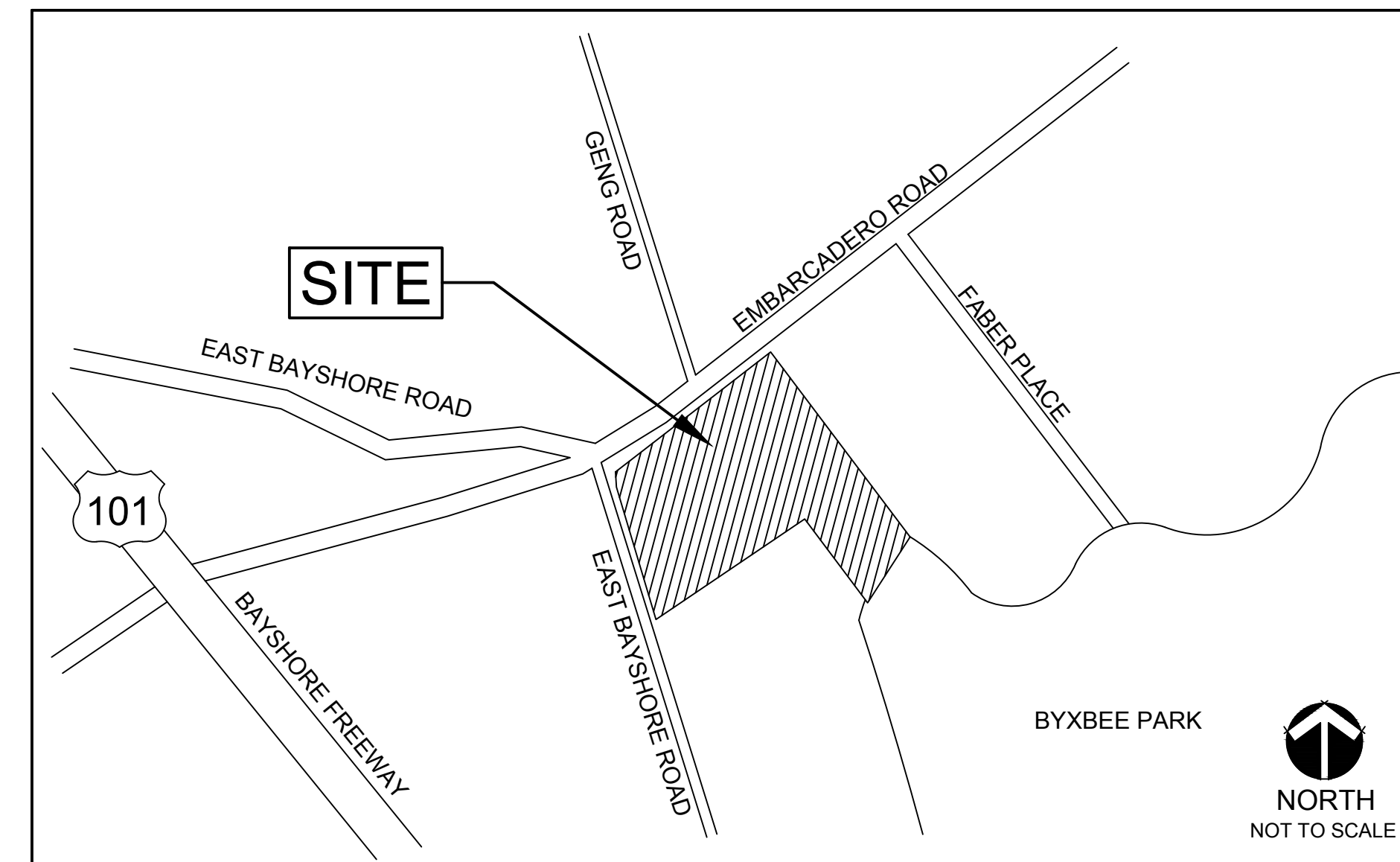
THE LANDSCAPE SURROUNDING THE BUILDING WILL BE DESIGNED TO FRAME THE MARQUE ENTRANCE OF THE BUILDING AND ITS SHOWROOM AND PROVIDE ACCENTS AT FOCAL AREAS. THE LANDSCAPE DESIGN ADDRESSES THE BUFFERING OF THE NEIGHBORING OPEN SPACE AREA, AS WELL AS, ALL OTHER NEIGHBORING PROPERTIES WITH A HEAVY SHRUB AND TREE SCREEN.

THE STREETScape WILL PROVIDE ELEMENTS FROM THE BAYLANDS MASTER PLAN. THOSE ELEMENTS INCLUDE, BUT ARE NOT LIMITED TO, NATIVE AND LOW-WATER USE PLANTS, SENSITIVITY TO TRAIL AND VIEW CORRIDORS, AND RESTING AREAS FOR BIKERS, WHERE THEY CAN PARK, GET WATER, AND MAKE MINOR ADJUSTMENTS ON THEIR BIKES.

**IRRIGATION STATEMENT:**  
THE IRRIGATION SYSTEM WILL BE DESIGNED TO COMPLY WITH THE WATER CONSERVATION LANDSCAPE ORDINANCE. THE EQUIPMENT SHALL UTILIZE THE MOST UP TO DATE WATER CONSERVATION METHODS INCLUDING DRIP IRRIGATION AND AN ET WEATHER MONITORING CONTROLLER.

**DRAINAGE STATEMENT:**  
DRAINAGE ON THE SITE SHALL CONFORM TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND C-3 REQUIREMENTS WHERE REQUIRED.

### VICINITY MAP



### DEVELOPMENT TEAM

#### CLIENT / DEVELOPER:

HOLMAN AUTOMOTIVE GROUP, INC.  
911 NE 2ND AVENUE  
FORT LAUDERDALE, FL 33304  
PH: (954) 335-2200  
CONTACT: STEVEN PRESSON

#### CONSULTANTS:

##### LANDSCAPE ARCHITECT

LAI DESIGN GROUP  
88 INVERNESS CIRCLE EAST  
BUILDING J, SUITE 101  
ENGLEWOOD, COLORADO 80112  
PH: (303) 734 - 1777  
CONTACT: JENNIFER CARPENTER, RLA

##### CIVIL ENGINEER

CALICHI DESIGN GROUP  
1 NORTH LASALLE, SUITE 3950  
CHICAGO IL 60602  
OFFICE: (312) 940-4393  
CONTACT: AUSTIN HAHN, PE

##### ARCHITECT

YSM DESIGN  
305 NORTH COAST HIGHWAY, SUITE L  
LAGUNA BEACH, CA 92651  
PH: (949) 715 - 4275  
CONTACT: LYLE HUTSON

### SHEET INDEX

SHEET	DESCRIPTION
L-1	COVER SHEET
L-2 ~ L-3	PLANTING PLANS
L-4	SHADE CALCULATION
L-5	LANDSCAPE DETAILS
L-6	SITE DETAILS
T-1	TREE PROTECTION (CITY OF PALO ALTO)
T-2 ~ T-4	ARBORIST ASSESSMENT AND REPORT FOR PROTECTED AND DESIGNATED TREES
T-5 ~ T-6	TREE PROTECTION PLANS

ARCHITECT / PLANNER



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#### OWNER/CLIENT

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**MERCEDES BENZ AUDI OF PALO ALTO**  
**1700 EMBARCADERO ROAD**  
**PALO ALTO, CA 94303**  
**COVER SHEET**

#### PROFESSIONAL STAMP

#### PROJECT INFORMATION

PROJECT #: 181021  
DRAWN BY: ZZ/CR  
CHECKED BY: JC

#### ISSUE RECORD

ARB #1 05/07/2018

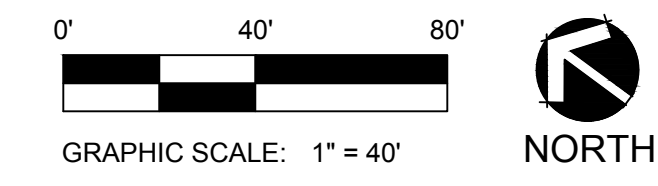
#### SHEET NUMBER

L-1

1 OF 13



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MERCEDES BENZ AUDI OF PALO ALTO  
 1700 EMBARCADERO ROAD  
 PALO ALTO, CA 94303  
 ILLUSTRATIVE PLAN

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021  
 DRAWN BY: ZZ/CR  
 CHECKED BY: JC

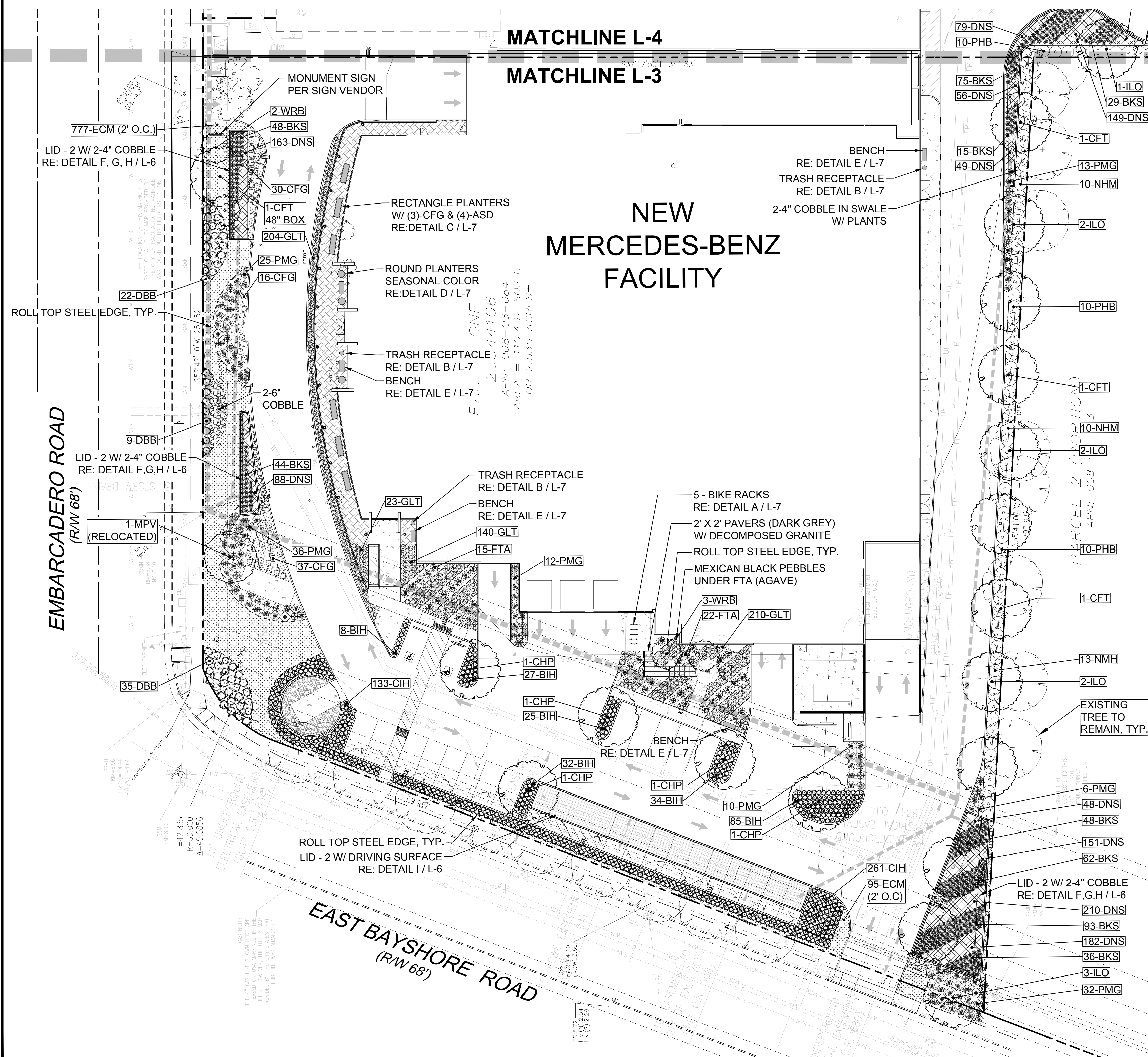
ISSUE RECORD

ARB #1 05/07/2018

SHEET NUMBER

L-2

2 OF 13



# NEW MERCEDES-BENZ FACILITY

### LEGEND (not to scale)

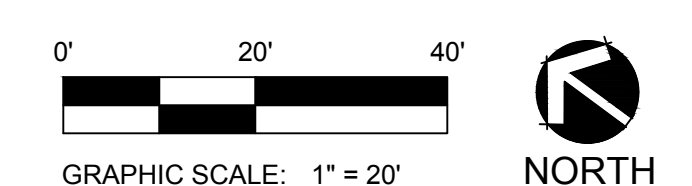
	SHADE TREES		EXISTING TREE
	ORNAMENTAL TREES		ROLL TOP STEEL EDGE
	SEMI-EVERGREEN SHRUBS		BIKE RACKS RE: A / L-7
	ORNAMENTAL GRASSES		TRASH RECEPTACLES RE: B / L-7
	AGAVE		RECTANGLE PLANTERS RE: C / L-7
	GROUNDCOVER		ROUND PLANTERS RE: D / L-7
	COBBLE (SEE PLAN FOR SIZE)		BENCHES RE: E / L-7

### PLANT LIST

LABEL	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE
<b>SHADE TREES</b>				
WHB	6	Celtis reticulata	Western Hackberry	36" BOX
CFT	4	Koelreuteria bipinnata	Chinese Flame Tree	(3) 36" (1) 48" BOX
CHP	9	Pistacia chinensis	Chinese Pistache	(4) 36" (5) 48" BOX
ILO	25	Quercus wislizenii	Interior Live Oak	36" BOX
<b>ORNAMENTAL TREES</b>				
WRB	7	Cercis occidentalis	Western Redbud	36" BOX
MPV	1	Parkinsonia aculeata	Mexican Palo Verde	36" BOX
<b>SEMI-EVERGREEN SHRUB</b>				
DBB	59	Callistemon 'Little John'	Dwarf bottlebrush	5 GAL
PHB	120	Dodonaea viscosa 'purpurea'	Purple-leaved Hop-bush	5 GAL
NMH	133	Mahonia nevinii	Nevin Mahonia	5 GAL
BIH	210	Rhaphiolepis indica 'Ballerina'	Ballerina Indian Hawthorne	5 GAL
CIH	394	Rhaphiolepis indica 'Conor'	Eleanor Tabor Indian Hawthorne	5 GAL
<b>ORNAMENTAL GRASSES / (ACCENTS)</b>				
FTA	27	Agave attenuata	Foxtail Agave	15 GAL
BKS	797	Carex divulsa	Berkeley Sedge	1 GAL
DNS	2024	Carex pansa	Dune Sedge	1 GAL
CFG	101	Cordalyne x 'JUReD' Plant	Festival Burgundy Cordalyne	2 GAL
GLT	577	Liriope gigantea	Giant Lily Turf	1 GAL
PMG	178	Mulhenbergia capillaris	Pink Muhly Grass	5 GAL
<b>GROUNDCOVER</b>				
ECM	872	Arctostaphylos 'Emerald Carpet'	Emerald Carpet Manzanita	2 GAL
ASD	24	Sedum rupestre 'Angelina'	Angelina Stonecrop	1 GAL

NOTE: (1) MPV IS TO BE RELOCATED FROM THE EXISTING AUDI FACILITY TO THE MERCEDES BENZ SITE.

- ### NOTES
- SEE SHEET L-6 FOR LANDSCAPE DETAILS.
  - PLANT SPACING IS PER PLANS.
  - ALL PLANTS ARE LOW WATER-USE EXCEPT FOR (\*) WHICH ARE MEDIUM WATER USE.
  - COBBLE MULCH SHALL BE PROVIDED IN ALL SWALES AND WHERE INDICATED ON PLANS. TYPE IS TO BE MULTICOLORED RIVER ROCK/COBBLE WITH A BLEND OF 50% AREA COVERED WITH 2-3" DIA. AND 50% COVERED WITH 3-4" OR 3-6" DIA. REFER TO SPECIFIC NOTATION PER LOCATION FOR SIZING.
  - ALL SHRUB BED AREAS WITH ORNAMENTAL GRASS OR PERENNIAL PLANTINGS SHALL BE MULCHED WITH DOUBLE-SHREDDED CEDAR MULCH TO A MINIMUM DEPTH OF 4" UNLESS OTHERWISE NOTED ON PLANS. ALL MULCHED AREAS SHALL BE INSTALLED WITH A COMMERCIAL GRADE WEED BARRIER FABRIC PINNED IN PLACE.
  - 3-5" DIA. BLACK MEXICAN PEBBLE IN AGAVE PLANTING STRIPS.



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## MERCEDES BENZ AUDI OF PALO ALTO 1700 EMBARCADERO ROAD PALO ALTO, CA 94303 LANDSCAPE PLAN

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021  
DRAWN BY: ZZ/CR  
CHECKED BY: JC

ISSUE RECORD

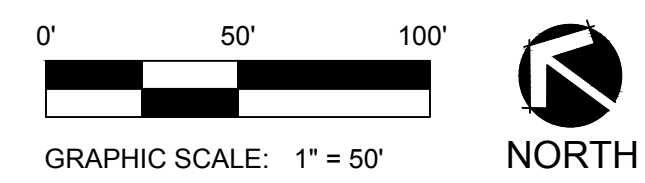
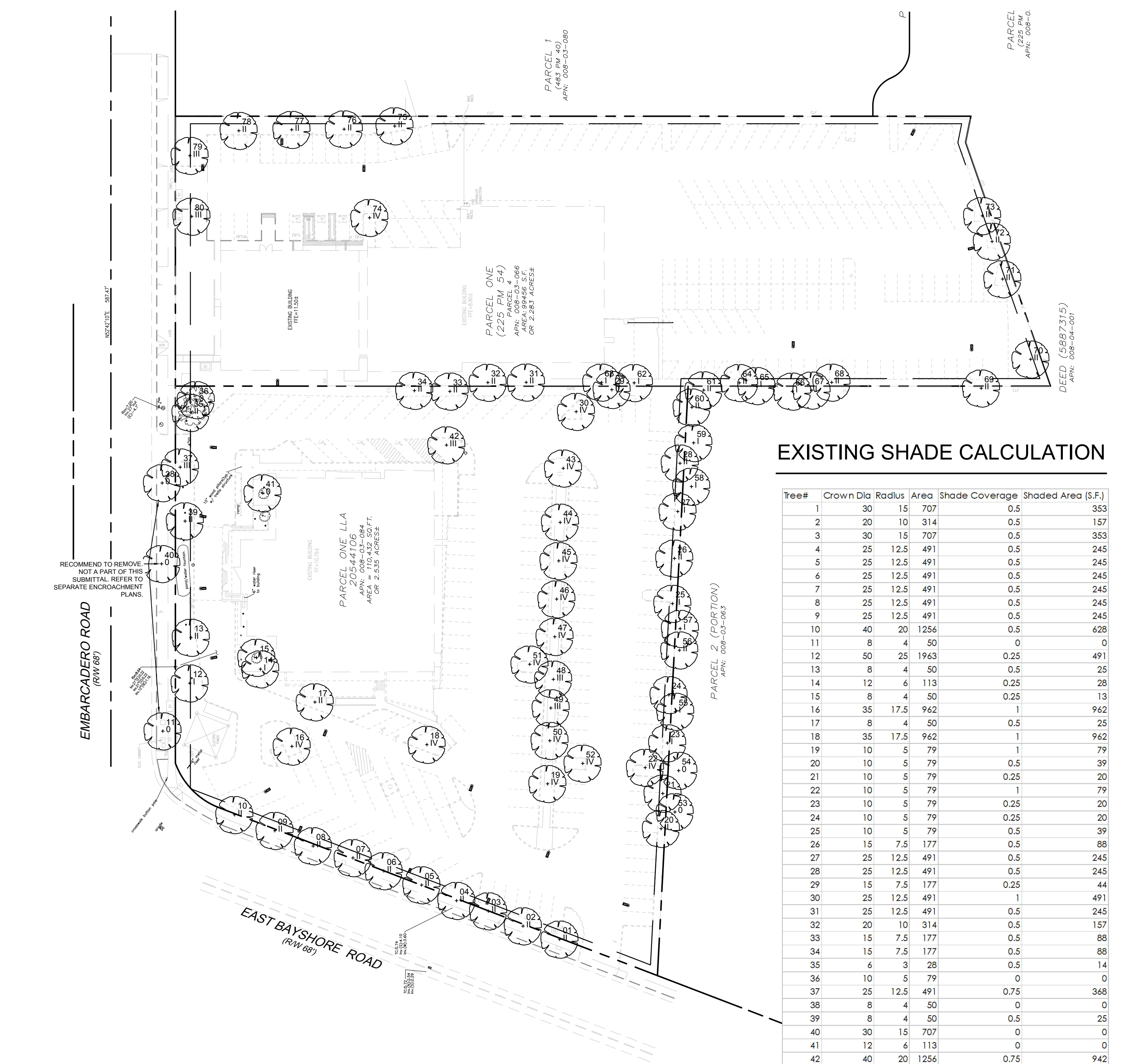
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SHEET NUMBER

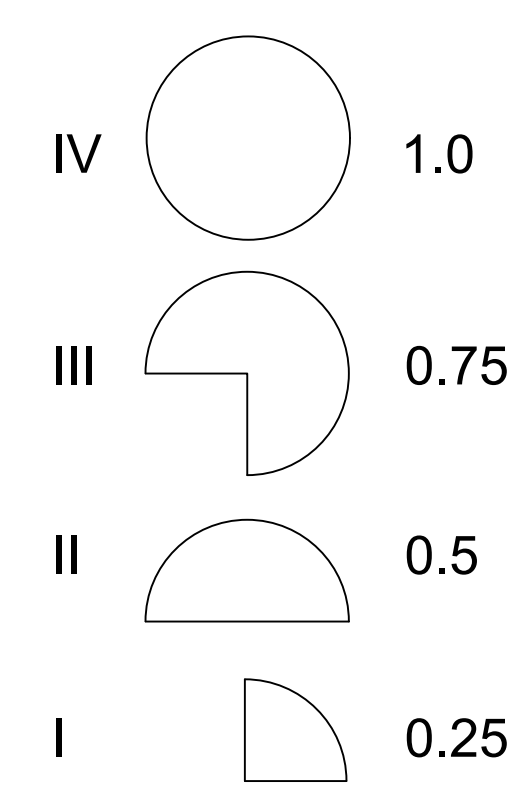
L-3  
3 OF 13



EXISTING SHADE CALCULATION PLAN



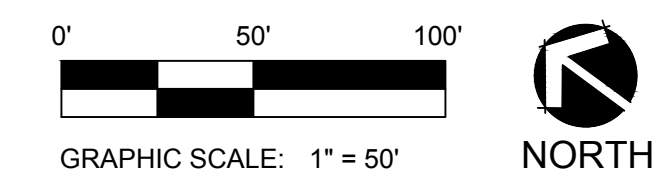
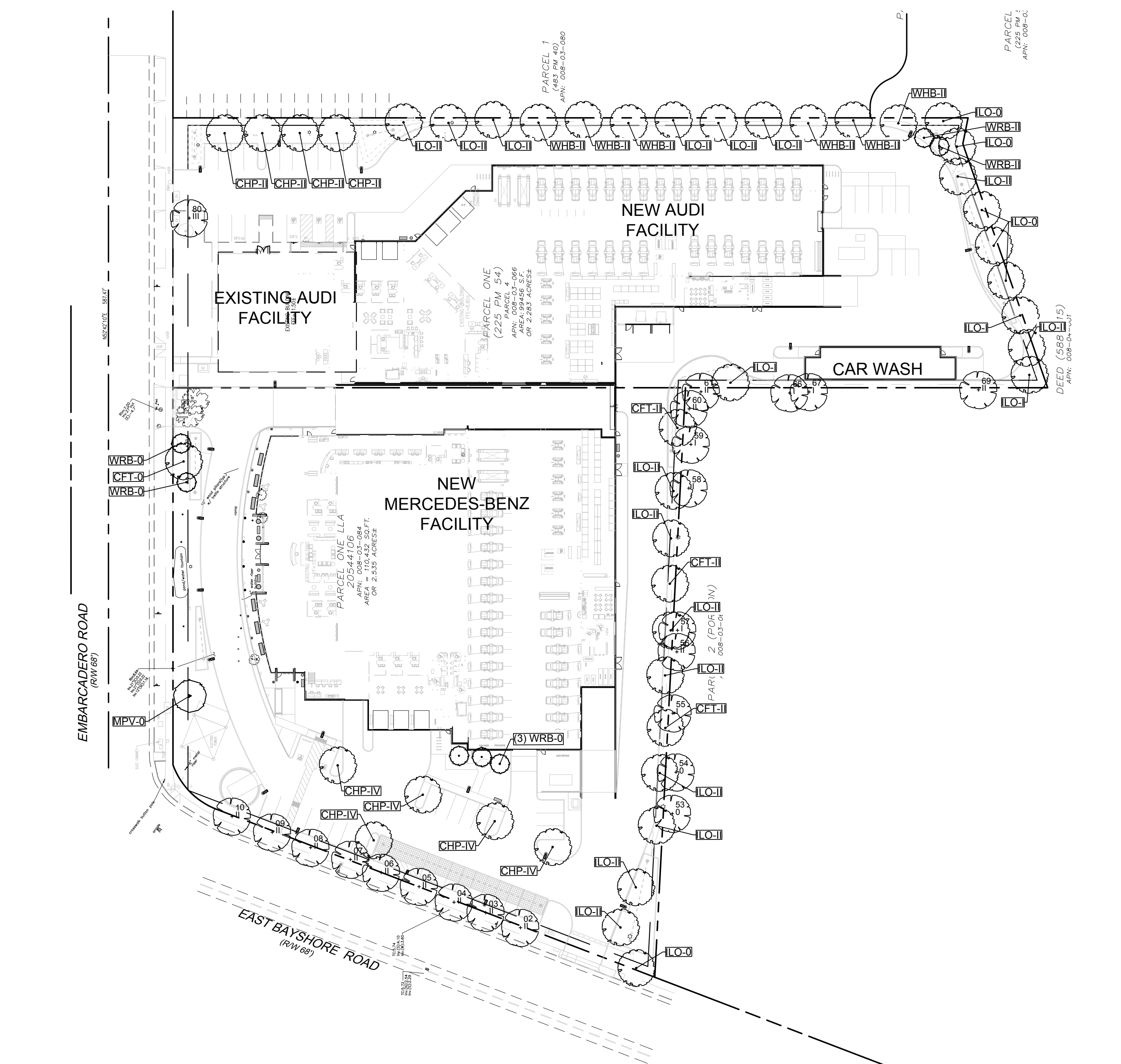
TREE VALUES



EXISTING SHADE CALCULATION

Tree #	Crown Dia	Radius	Area	Shade Coverage	Shaded Area (S.F.)
1	30	15	707	0.5	353
2	20	10	314	0.5	157
3	30	15	707	0.5	353
4	25	12.5	491	0.5	245
5	25	12.5	491	0.5	245
6	25	12.5	491	0.5	245
7	25	12.5	491	0.5	245
8	25	12.5	491	0.5	245
9	25	12.5	491	0.5	245
10	40	20	1256	0.5	628
11	8	4	50	0	0
12	50	25	1963	0.25	491
13	8	4	50	0.5	25
14	12	6	113	0.25	28
15	8	4	50	0.25	13
16	35	17.5	962	1	962
17	8	4	50	0.5	25
18	35	17.5	962	1	962
19	10	5	79	0.5	39
20	10	5	79	0.5	39
21	10	5	79	0.25	20
22	10	5	79	1	79
23	10	5	79	0.25	20
24	10	5	79	0.25	20
25	10	5	79	0.5	39
26	15	7.5	177	0.5	88
27	25	12.5	491	0.5	245
28	25	12.5	491	0.5	245
29	15	7.5	177	0.25	44
30	25	12.5	491	1	491
31	25	12.5	491	0.5	245
32	20	10	314	0.5	157
33	15	7.5	177	0.5	88
34	15	7.5	177	0.5	88
35	6	3	28	0.5	14
36	10	5	79	0	0
37	25	12.5	491	0.75	368
38	8	4	50	0	0
39	8	4	50	0.5	25
40	30	15	707	0	0
41	12	6	113	0	0
42	40	20	1256	0.75	942
43	30	15	707	1	707
44	10	5	79	1	79
45	10	5	79	1	79
46	10	5	79	1	79
47	10	5	79	1	79
48	10	5	79	0.75	59
49	10	5	79	0.75	59
50	10	5	79	1	79
51	12	6	113	1	113
52	18	9	254	1	254
53	40	20	1256	0	0
54	40	20	1256	0	0
55	40	20	1256	0.25	314
56	40	20	1256	0.5	628
57	40	20	1256	0.25	314
58	40	20	1256	0.25	314
59	40	20	1256	0.25	314
60	40	20	1256	0.5	628
61	40	20	1256	0.5	628
62	25	12.5	491	0.25	123
63	25	12.5	491	0.25	123
64	45	22.5	1590	0.5	795
65	45	22.5	1590	0.25	397
66	45	22.5	1590	0.25	397
67	45	22.5	1590	0.25	397
68	20	10	314	0.5	157
69	45	22.5	1590	0.5	795
70	25	12.5	491	0.5	245
71	30	15	707	0.5	353
72	30	15	707	0.5	353
73	35	17.5	962	0.5	481
74	15	7.5	177	1	177
75	15	7.5	177	0.5	88
76	15	7.5	177	0.5	88
77	15	7.5	177	0.5	88
78	15	7.5	177	0.5	88
79	20	10	314	0.75	236
80	20	10	314	0.75	236

PROPOSED SHADE CALCULATION PLAN



PROPOSED SHADE CALCULATION

SYMBOL (CANOPY/SQ.FT.)	BOTANICAL NAME (COMMON NAME)	FULL SQ.FT.	3/4 SQ.FT.	1/2 SQ.FT.	1/4 SQ.FT.	TOTAL SQ.FT.
WRB (10/79)	Cercis occidentalis (Western Redbud)			2 @ 39.5		79
WHB (30/707)	Celtis reticulata (Western Hackberry)			6 @ 353.5		2121
CFT (25/491)	Koelreuteria bipinnata (Chinese Flame Tree)			3 @ 245.5		737
MPV (15/177)	Parkinsonia aculeata (Mexican Palo Verde)					
CHP (25/491)	Pistacia chinensis 'Keith Davey' (Chinese Pistache)	5 @ 491		4 @ 245.5		3437
ILO (30/707)	Quercus wislizenii (Interior Live Oak)			17 @ 353.5	3 @ 176.75	6540
Existing Trees to Remain	refer to existing shade calculations list					7575
<b>TOTAL PROPOSED SHADED AREA (S.F.)</b>						<b>20489</b>

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MERCEDES BENZ AUDI OF PALO ALTO  
 1700 EMBARCADERO ROAD  
 PALO ALTO, CA 94303  
 SHADE CALCULATION

PROFESSIONAL STAMP

PROJECT INFORMATION  
 PROJECT #: 181021  
 DRAWN BY: ZZ/CR  
 CHECKED BY: JC

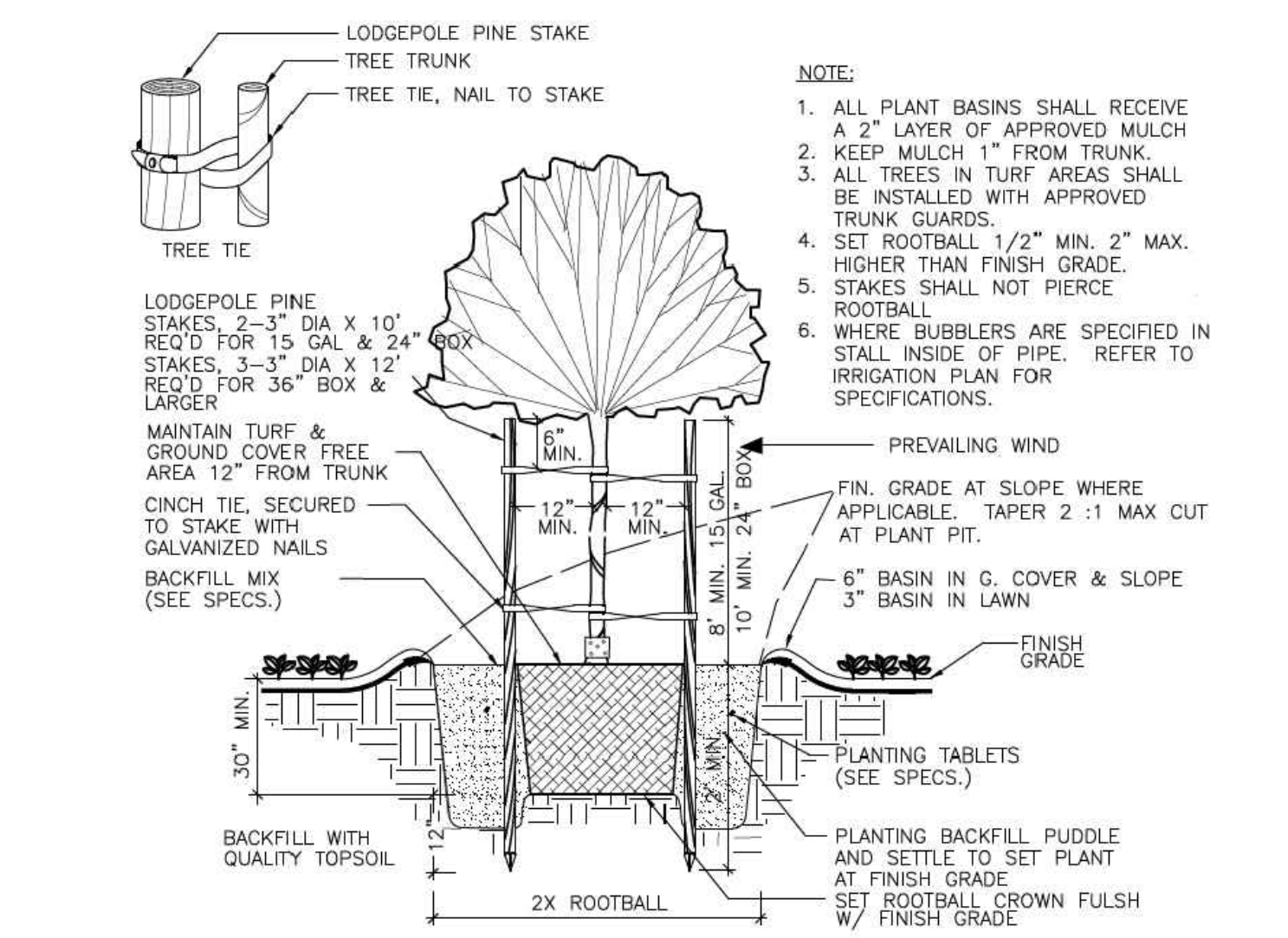
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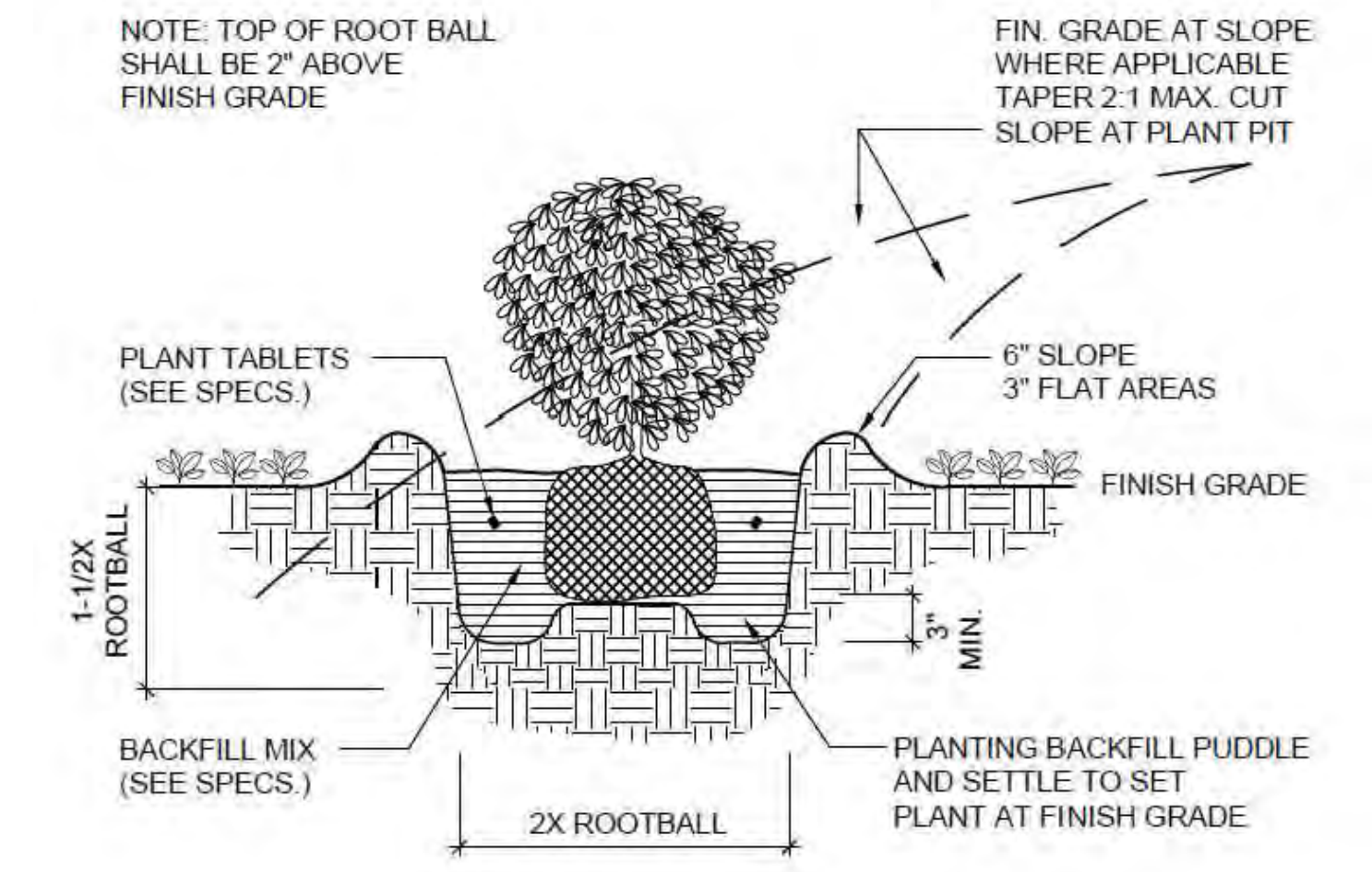
SHEET NUMBER

L-5

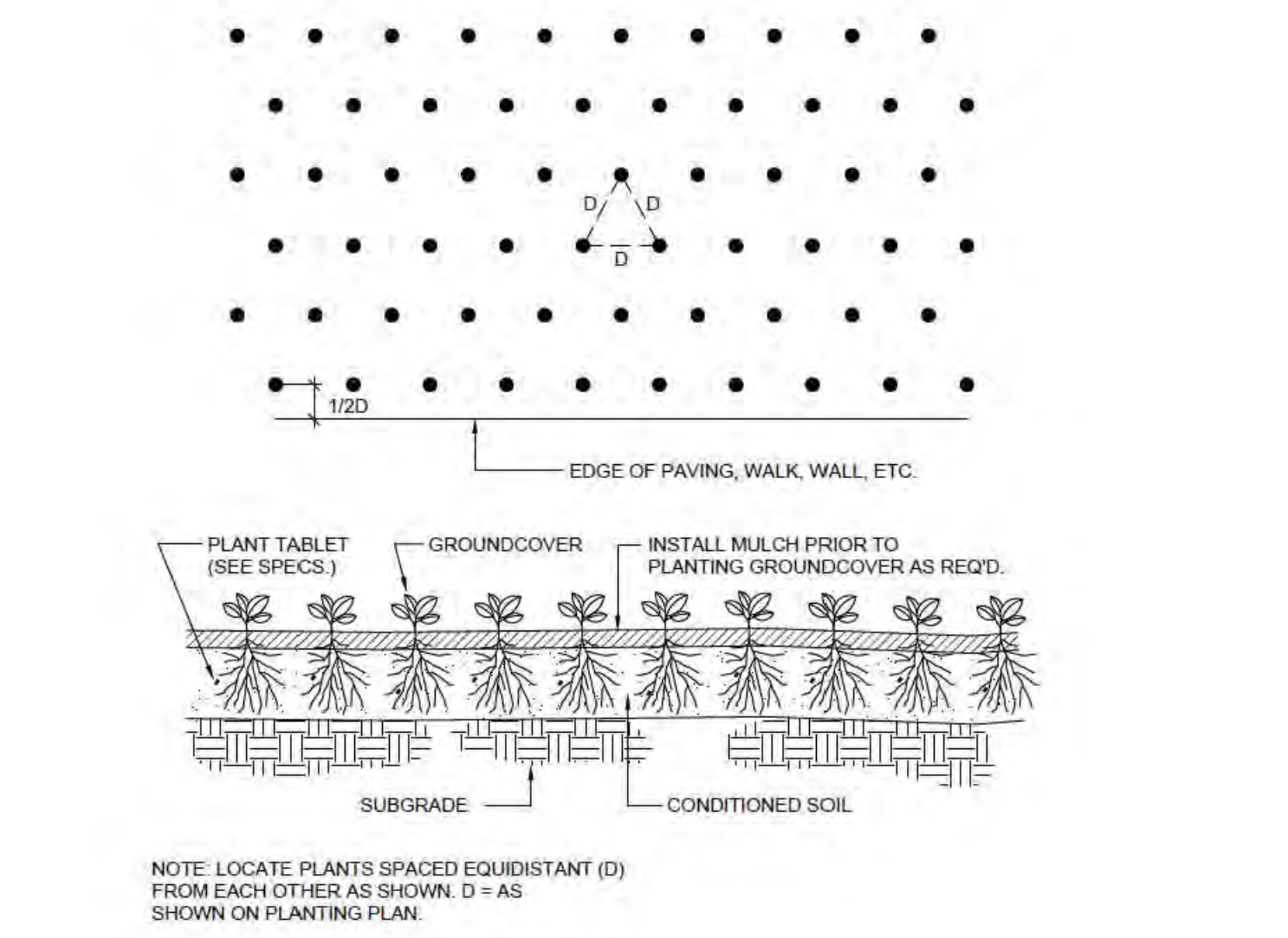
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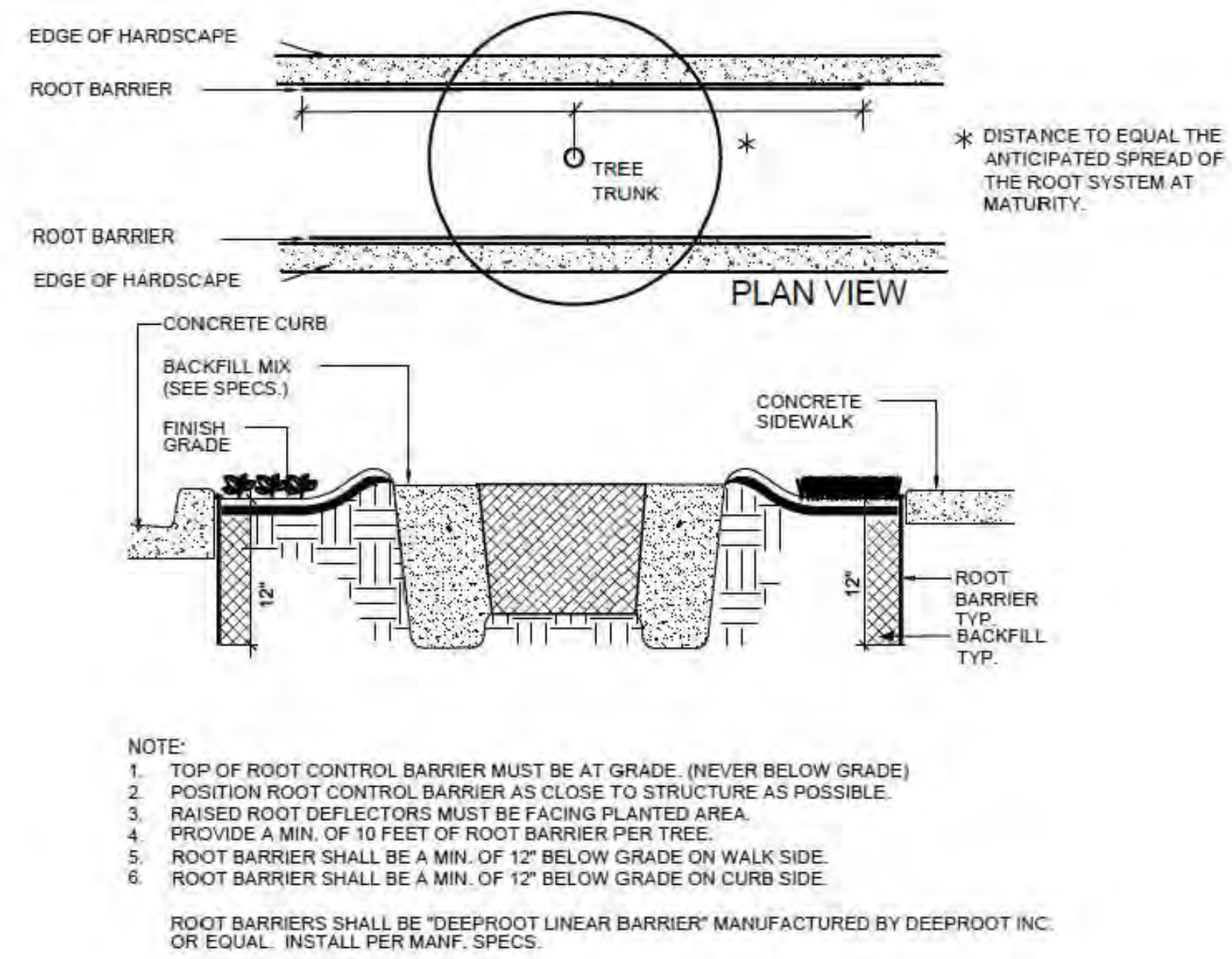
**A** TREE PLANTING  
SCALE: NTS



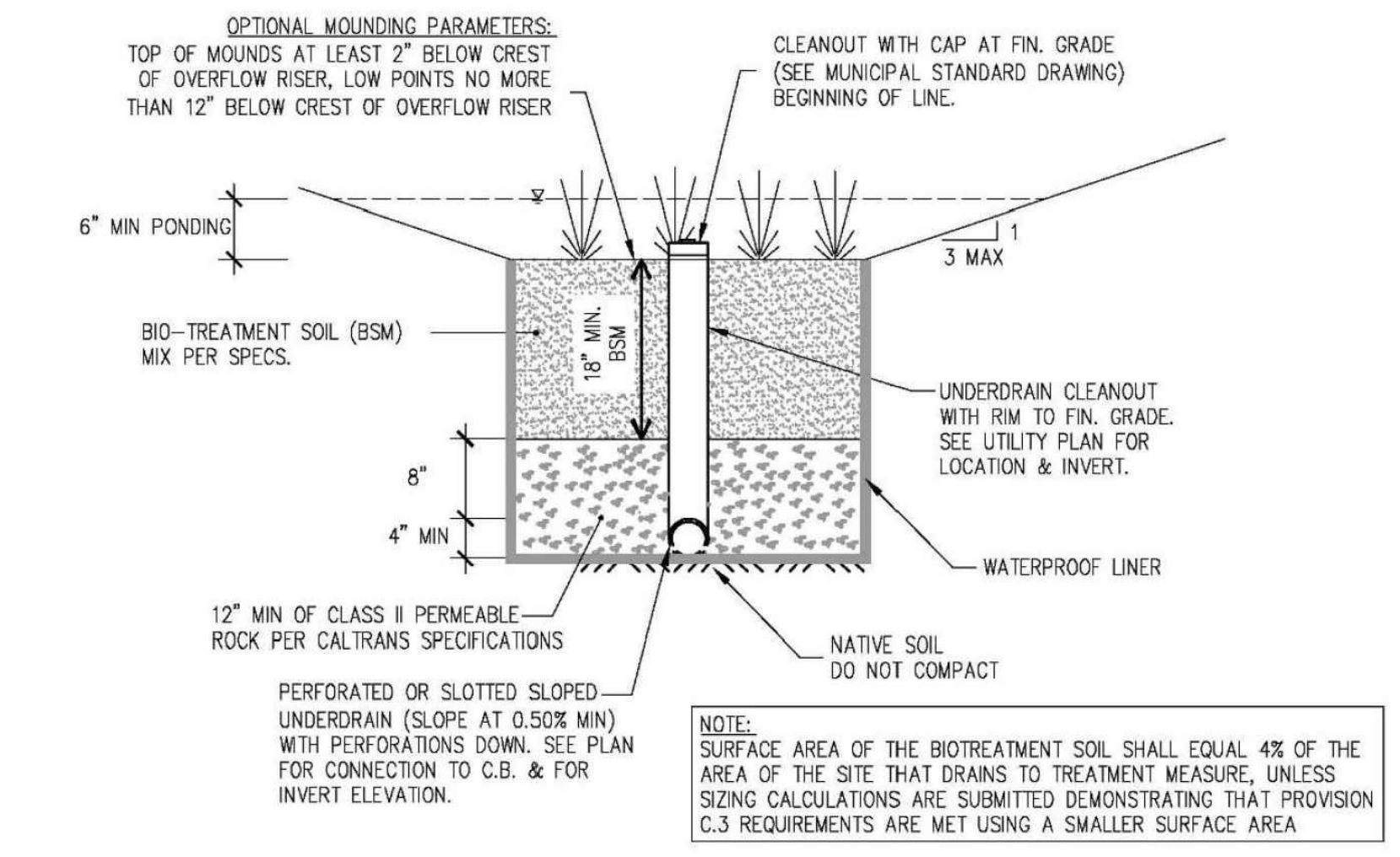
**B** SHRUB PLANTING  
SCALE: NTS



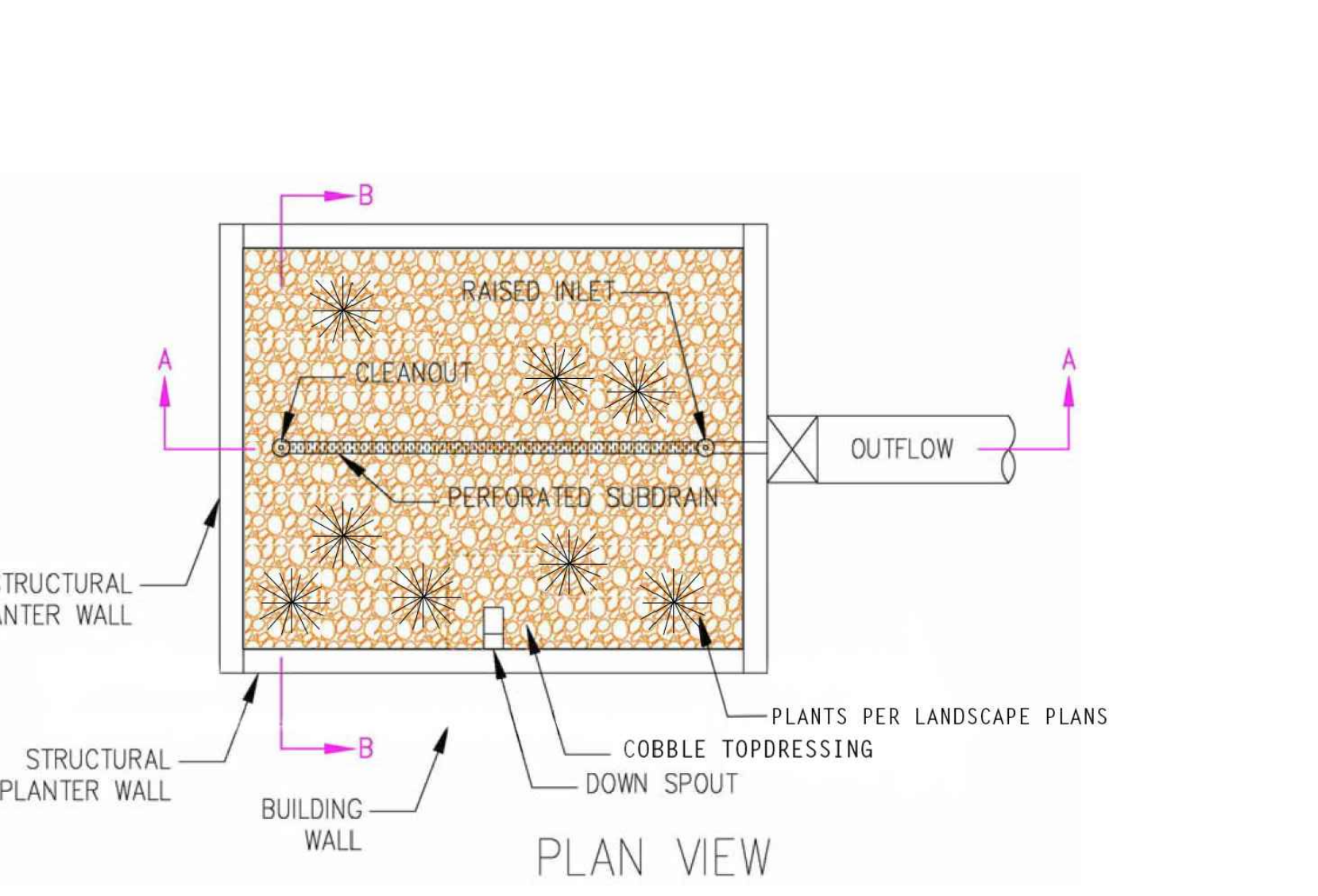
**C** GROUND COVER SPACING  
SCALE: NTS



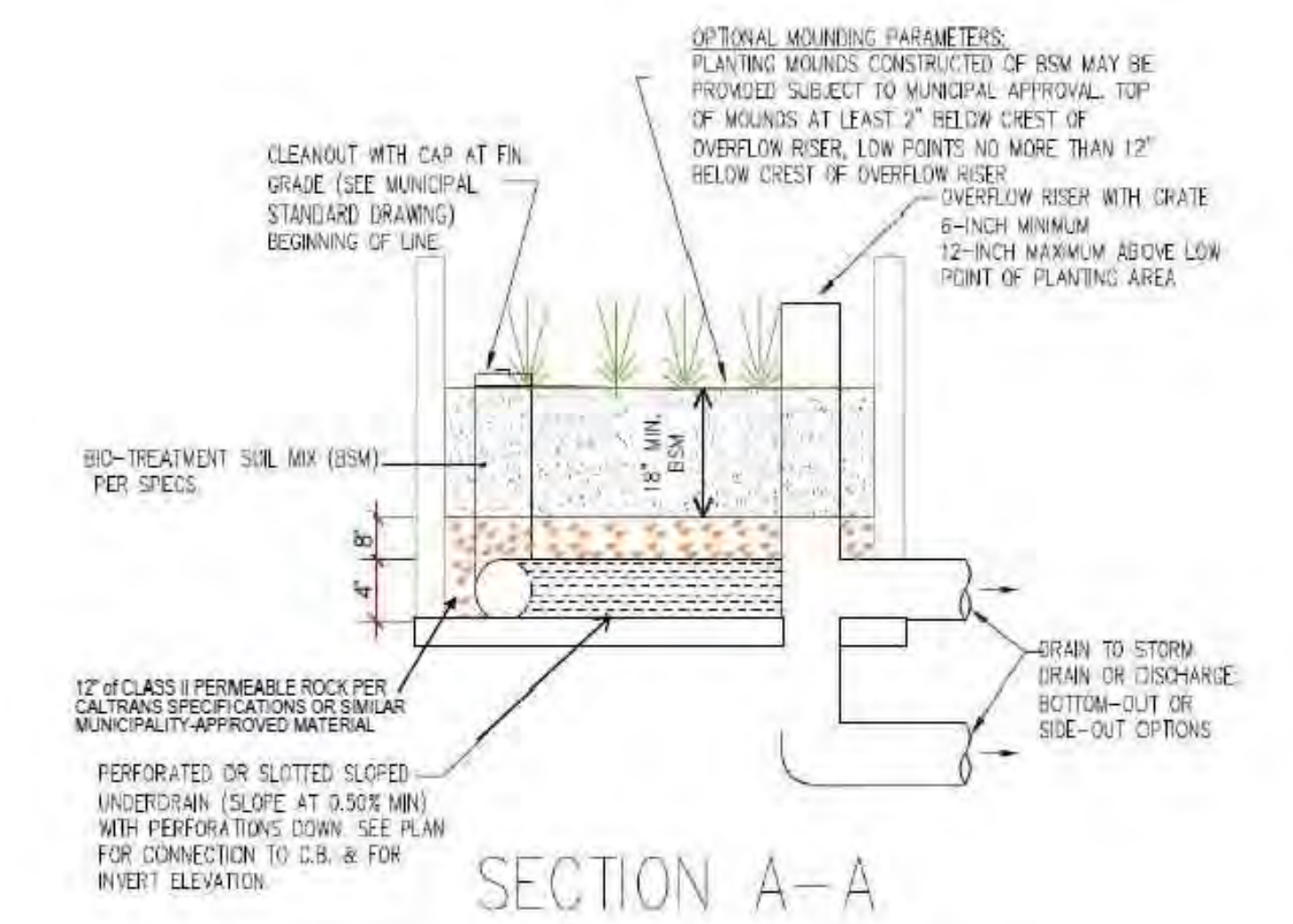
**D** ROOT BARRIER  
SCALE: NTS



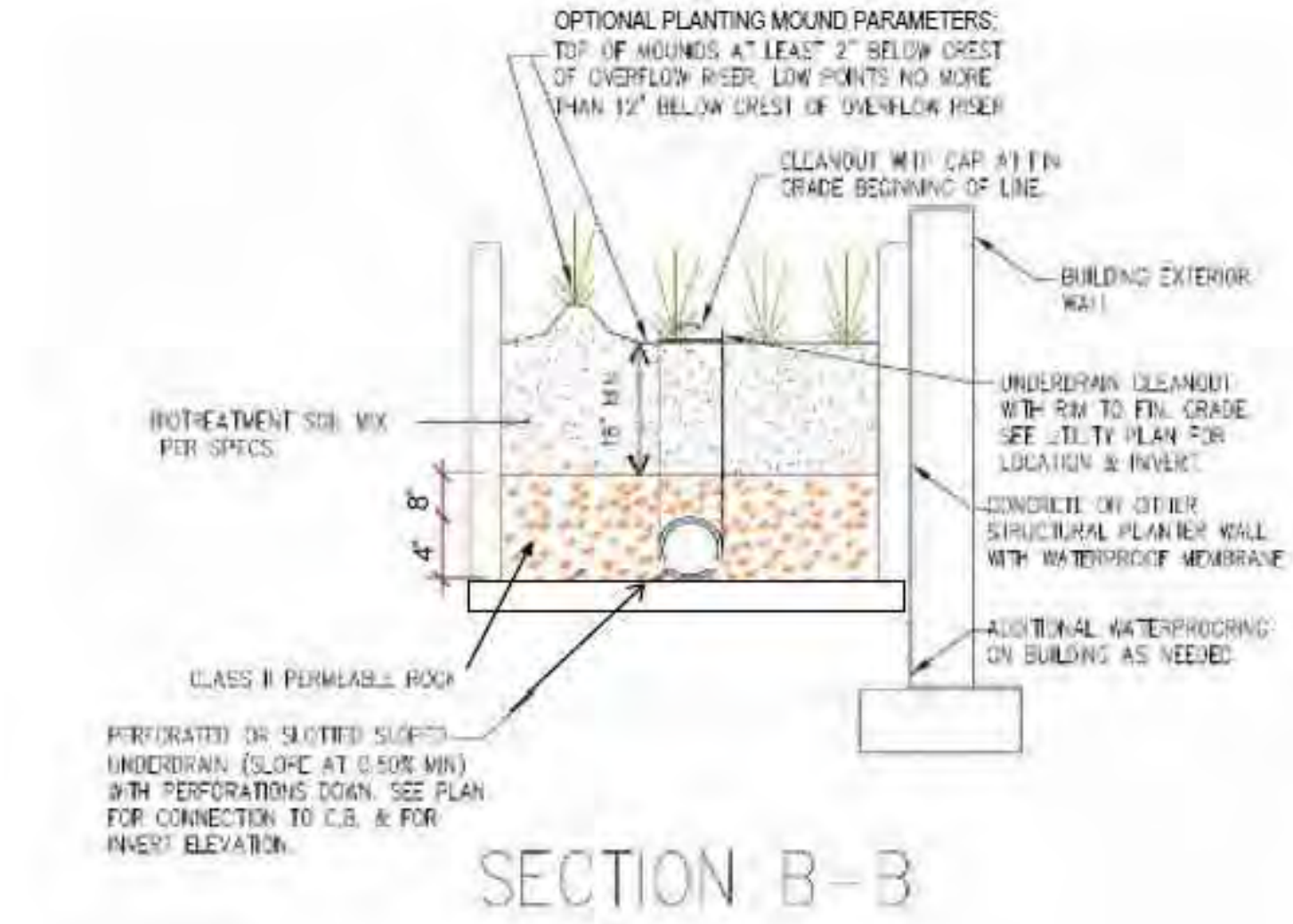
**E** LID - 1 LINED BIORETENTION  
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



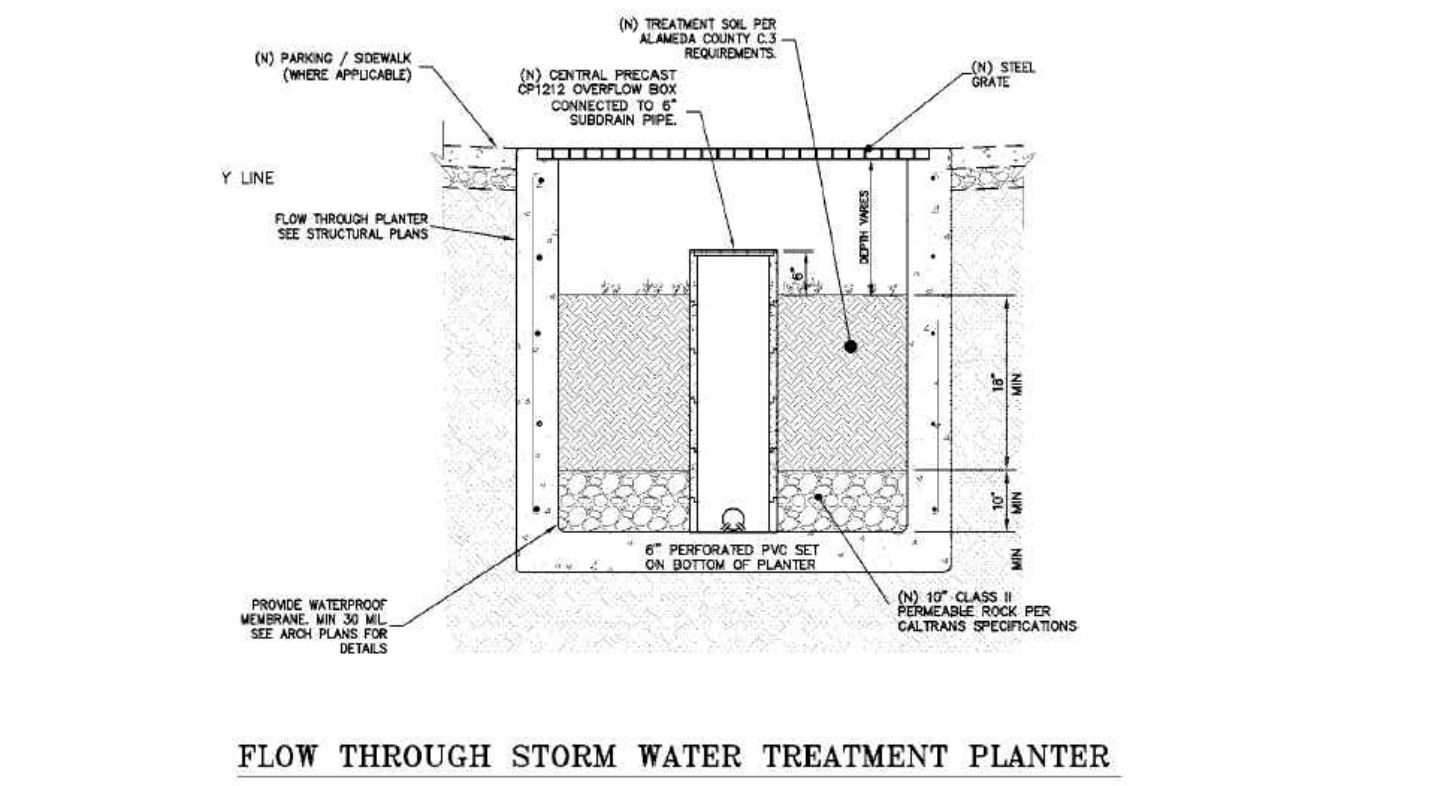
**F** LID - 2 FLOW-THROUGH PLANTER (PLAN VIEW)  
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



**G** LID - 2 FLOW-THROUGH PLANTER (SECTION A-A)  
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



**H** LID - 2 FLOW-THROUGH PLANTER (SECTION B-B)  
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



**I** FLOW-THROUGH PLANTER W/ DRIVING SURFACE  
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK

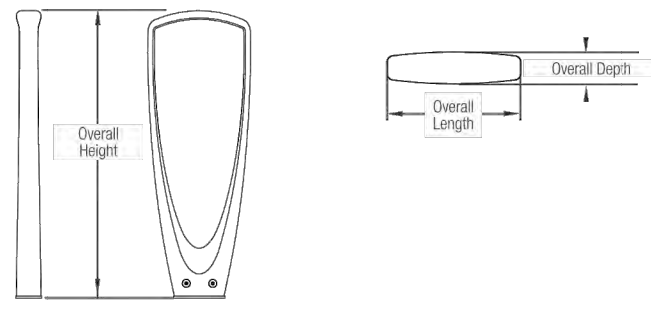
**TRIO™ BIKE RACK**

PRODUCT DATA

The **Trio Bike Rack** is the perfect complement to our Trio product line. Providing an excellent opportunity for design continuity, the Trio Bike Rack draws on the same triangular shape and exaggerated void seen in both our Trio Bench and Trio Lighting. Contemporary in design, its simple yet sculptural form allows it to be integrated into a myriad of settings.

MATERIAL & FINISHES		INSTALLATION & MAINTENANCE	
MATERIAL	FINISHES	GUIDELINES & SECURITY	INSTALLATION
• Body is made of corrosion-resistant cast aluminum with powdercoat finish.	• See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge. • Due to the inherent nature of metal castings, glass powdercoats are not offered for cast components.	• Meets Association of Pedestrian and Bicycle Professionals (APBP) guidelines. • A locking point detail and mounting configurations that meet APBP guidelines can be found on pages 1 and 2 of this document.	• Trio Bike Racks must be surface mounted with embedded anchors. • Stainless steel anchors and tamper-resistant stainless steel screws are included.
			• Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

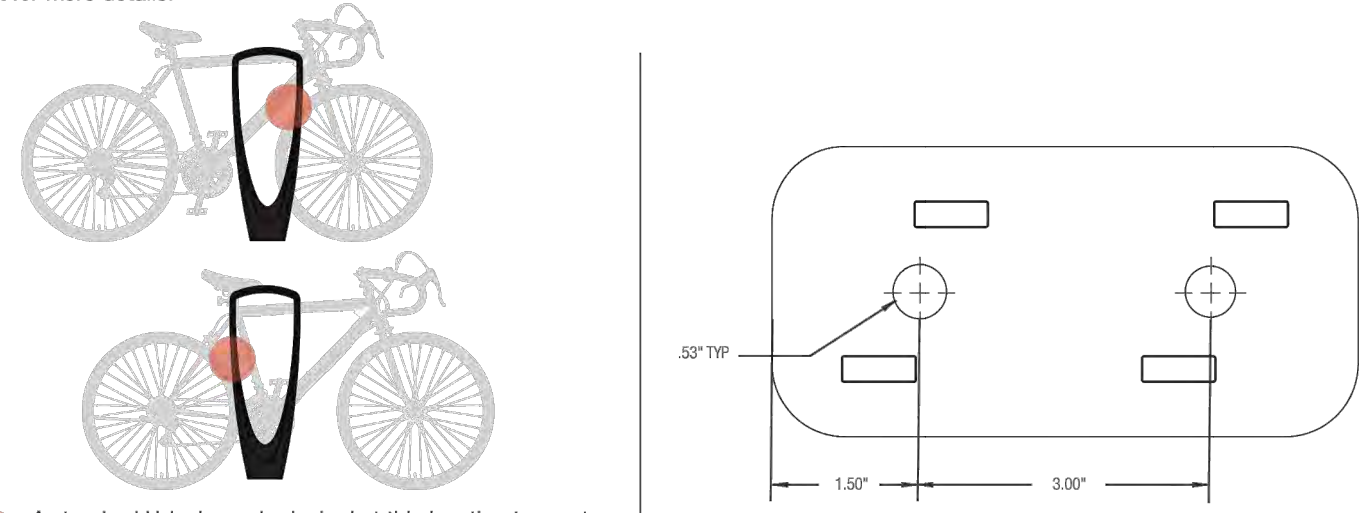
**NOMINAL DIMENSIONS**



OVERALL LENGTH	OVERALL DEPTH	OVERALL HEIGHT	WEIGHT
12" (305 mm)	2.75" (70 mm)	33.5" (851 mm)	25 lbs (11.3 kg)

**LOCKING POINT AND CONFIGURATION EXAMPLES**

The Trio Bike Rack was designed to allow for a multitude of locking point and configuration options to meet your individual needs. Please note that for optimal performance, Forms+Surfaces recommends a 36" center-to-center placement. See diagrams below and the separate installation instructions document for more details.



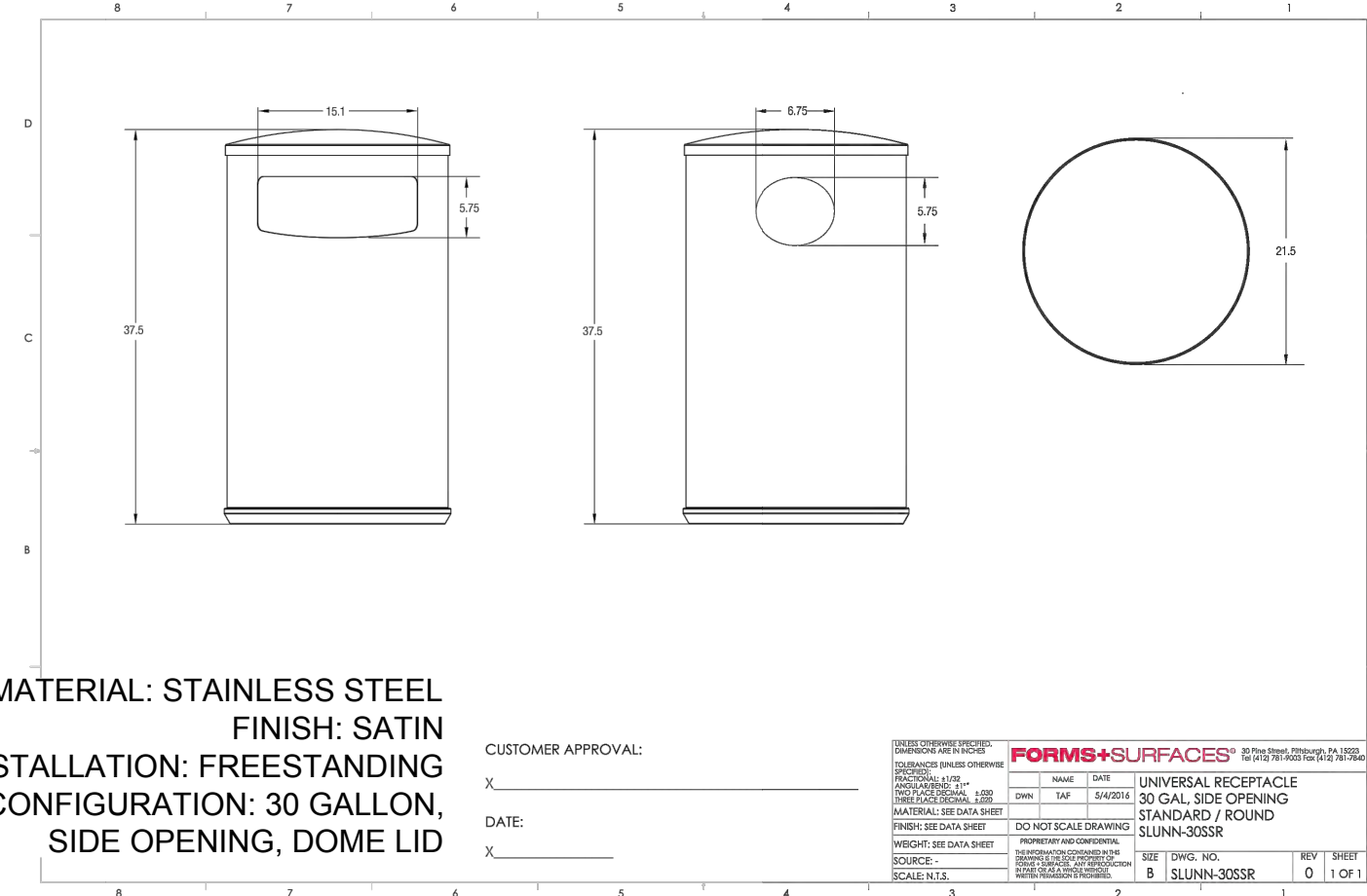
A standard U-lock can be locked at this location to meet APBP guidelines for security and functionality.

**LOCKING POINT EXAMPLE**  
T 800.451.0410 | www.forms-surfaces.com

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**FORMS+SURFACES®**  
MATERIAL: CAST ALUMINUM  
FINISH: POWDERCOAT  
COLOR: ALUMINUM TEXTURE  
INSTALLATION: SURFACE MOUNT

**A BIKE RACK (QTY: 15)**  
SCALE: NTS



MATERIAL & CONSTRUCTION DETAILS		INSTALLATION & MAINTENANCE	
CONFIGURATIONS	GRAPHICS	BODY PATTERNS	INSTALLATION
<ul style="list-style-type: none"> <li>Universal Receptacles are available in top- and side-opening configurations with 36-, 30-, 24-, and 12-gallon capacities.</li> <li>Top-opening configurations have the same number of liners as lid openings.</li> <li>Side-opening configurations can be specified with one full liner or two half liners with an internal baffle.</li> </ul>	<ul style="list-style-type: none"> <li>Instructional graphics are available with a variety of standard messages that clearly indicate the use for each opening.</li> <li>Graphics have white letters and symbols with black, blue, or green backgrounds.</li> <li>Graphics are printed on the back of clear, highly textured polycarbonate, protecting them from wear over time.</li> </ul>	<ul style="list-style-type: none"> <li>Eight different body patterns are available for an upcharge; see pages 8 and 9 for standard patterns.</li> <li>Eco-Etch designs are applied using an advanced photolithographic bead-blasting system.</li> <li>Impression designs have stamped, high-relief patterns.</li> <li>Perforation patterns offer unique designs.</li> </ul>	<ul style="list-style-type: none"> <li>Universal Receptacles may be used freestanding or surface mounted.</li> <li>Anchors, levelers, and stainless steel mounting screws are provided when surface mounting is specified; levelers are supplied for all polyethylene base receptacles.</li> </ul>
LIDS	BODY FINISHES	BASES	MAINTENANCE
<ul style="list-style-type: none"> <li>Standard lids for 36-, 24-, and 12-gallon receptacles are molded from polyethylene with a UL94HB fire rating, and are Slate with a light texture.</li> <li>Top-opening lids for 36-, 24-, and 12-gallon receptacles with 10" and 7" diameter openings are available in Stainless Steel with a Satin finish for an upcharge.</li> <li>Standard lids for 30-gallon receptacles are available in Stainless Steel only.</li> <li>Concealed sun lids in Stainless Steel with Satin finish are available for 12-gallon, side-opening receptacles.</li> <li>Tether cables are available to connect receptacle lid to body.</li> </ul>	<ul style="list-style-type: none"> <li>Stainless Steel with Sandstone, Seastone, Linen, Diamond, or Satin finish are available for all Universal Receptacles.</li> <li>Fused Bronze and Fused Nickel Silver bodies with Sandstone, Seastone, and Diamond finishes are available on 12-gallon receptacles for an upcharge.</li> </ul>	<ul style="list-style-type: none"> <li>Standard 1.5" high tapered bases are molded from polyethylene with a UL94HB fire rating and are Slate with a light texture.</li> <li>Black Sand concrete bases are available for an upcharge.</li> </ul>	<ul style="list-style-type: none"> <li>Polyethylene and metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.</li> <li>Use caution when cleaning over graphics.</li> <li>Tensioned rubber bag straps and drain holes can be specified on polyethylene liners.</li> </ul>

**B TRASH RECEPTACLE (QUANTITY: 4)**  
SCALE: NTS

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\* ALL DIMENSIONS ARE IN INCHES \*

**AVAILABLE OPTIONS:**  
FINISHES: WHITE OR GRAY  
COLORS: BLACK, ESPRESSO, GINGER, MUSHROOM, PEBBLE, SANDAL, SPRUCE  
METALLIC: BRONZE, SILVER, WARM SILVER, TITANIUM  
COARSE: AVENUE, FAUN, HEATHER, RIVER RED, SAND

**NOTES:**  
1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.  
2. FINISHES USING APPLIED LAYERS OF GLASS-FIBER REINFORCED THERMOSETTING RESIN. SEAMLESS CONSTRUCTION.  
3. EACH PLANTER IS DESIGNED AND CONSTRUCTED WITH DRAIN STRUCTURAL REINFORCEMENT TO MINIMIZE WALL DEFLECTION AND TO ACCOMMODATE THE PROPORTIONAL WEIGHT OF A PLANTED TREE.  
4. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.  
5. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.

**FEATURES:**  
AVAILABLE WITH DRAIN HOLE REMOVAL (NOT RECOMMENDED FOR COLD CLIMATES), CONCEALED CASTERS, FIRE-RETARDANT RESIN, COLORED BASE, AND FALSE BOTTOM WITH DRAIN HOLES REMOVED

**URBAN**  
FIBERGLASS SEATERS  
THERMOSETTING RESIN FIBERGLASS PLANTER  
SHOW: LONG PLANTER  
STANDARD DRAIN HOLES

**MATERIAL: FIBERGLASS**  
**FINISH: METALLIC**  
**COLOR: TITANIUM**  
**INSTALLATION: SURFACE MOUNT**  
**SIZE: 30" x 96" x 24"**  
**NOTE: IRRIGATION SLEEVE CONNECTED TO PLANTER**

928-368  
PROJECTED BY COPYRIGHT © 2016 CADDETAILS.COM/LLD

**C RECTANGLE PLANTER (QTY: 6)**  
SCALE: NTS

**MATERIAL: STAINLESS STEEL**  
**FINISH: SATIN**  
**INSTALLATION: FREESTANDING**  
**CONFIGURATION: 100 GALLON**  
**NOTE: IRRIGATION SLEEVE CONNECTED TO PLANTER**

GALLONS	DIAMETER	HEIGHT
30	24"	21.75"
100	30"	28.50"
190	48"	34.50"

**NOTE:**  
DIMENSIONS SHOWN FOR 100 AND 190 GALLON PLANTERS ARE FOR LIDLESS RECEPTACLES ON THE SUBSTRATE. LEVELERS AND CONCRETE BASES ARE NOT AVAILABLE FOR THESE MODELS.  
DIMENSIONS ARE NOT TO SCALE. SEE ABOVE CHART FOR TRUE DIMENSIONS.

CUSTOMER APPROVAL: \_\_\_\_\_  
DATE: \_\_\_\_\_

**FORMS+SURFACES®**  
UNIVERSAL RECEPTACLE  
NO GAL. SIDE OPENING  
STANDARD ROUND  
SUNN-3038  
SCALE: 1/4" = 1'-0"

MATERIAL & CONSTRUCTION DETAILS		INSTALLATION & MAINTENANCE	
CONSTRUCTION	BODY FINISHES	INSTALLATION	MAINTENANCE
<ul style="list-style-type: none"> <li>Body and internal structure are both made entirely of stainless steel.</li> <li>Concrete bases are 3.25" thick (2.5" visible) and are available in Black Sand color.</li> <li>Drip pans included for 100- &amp; 190-gallon planters.</li> </ul>	<ul style="list-style-type: none"> <li>Planter comes in three standard stainless steel finishes, Sandstone, Diamond, and Satin, or can be powdercoated.</li> <li>See the Forms+Surfaces Powdercoat Chart for standard and premium color options. Custom RAL colors are available for an upcharge.</li> </ul>	<ul style="list-style-type: none"> <li>30 gallon Universal Planters may be used freestanding with or without adjustable stainless steel levelers &amp; nylon feet, freestanding with concrete base, or surface mounted directly to substrate or with concrete base.</li> <li>100- &amp; 190-gallon Universal Planters may be used freestanding without levelers or surface mounted directly to substrate.</li> <li>Anchors, levelers and stainless steel mounting screws are provided when specified.</li> </ul>	<ul style="list-style-type: none"> <li>Surfaces can be cleaned as needed using soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.</li> </ul>
LINERS	BODY PATTERNS		
<ul style="list-style-type: none"> <li>Universal Planters use independent, replaceable internal liners.</li> <li>Liners are molded from durable black polyethylene with a UL94HB fire rating.</li> </ul>	<ul style="list-style-type: none"> <li>Six different body patterns are available for an upcharge; see below and page 2 for standard patterns.</li> <li>Eco-Etch designs are applied using an advanced photolithographic bead-blasting system.</li> <li>Perforation patterns offer unique designs.</li> </ul>		

**D ROUND PLANTER (QUANTITY: 3)**  
SCALE: NTS

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 BROWN  SAGE  
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 CAMEL  TEAL  
 CHARCOAL  VANILLA  
 EVERGREEN  WHITE  
 GRAY  YELLOW  
 NAVY

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**MATERIAL: 10-GAUGE STEEL WITH .5" WIDE SLOT PATTERN ARMRESTS & LEGS: STEEL.**  
**THE BENCH REQUIRES SOME ASSEMBLY. STAINLESS STEEL ASSEMBLY HARDWARE IS INCLUDED.**  
**20 YEAR LIMITED STRUCTURAL WARRANTY - 7 YEAR COMPREHENSIVE WARRANTY**

**NOTES:**  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.  
3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) REFERENCE NUMBER: 928-368.

**EXPOSITION COLLECTION**  
LEXCS - EXPOSITION 5' CONTOUR BENCH

**MATERIAL: STEEL**  
**FINISH: PLASTISOL COATING**  
**COLOR: SILVER**  
**INSTALLATION: SURFACE MOUNT**

928-368  
REVISION DATE: 06/21/2016  
www.CADdetails.com

**E BENCH (QTY: 6)**  
SCALE: NTS

ARCHITECT / PLANNER



OWNER/CLIENT

HOLMAN AUTOMOTIVE GROUP, INC.  
911 NE 2ND AVENUE  
FORT LAUDERDALE, FL 33304  
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO  
1700 EMBARCADERO ROAD  
PALO ALTO, CA 94303  
SITE DETAILS

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021  
DRAWN BY: ZZ/CR  
CHECKED BY: JC

ISSUE RECORD

ARB #1 05/07/2018

SHEET NUMBER

L-7

7 OF 13

# City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at [www.cityofpaloalto.org/trees/](http://www.cityofpaloalto.org/trees/).

### TREE DISCLOSURE STATEMENT

**CITY OF PALO ALTO**  
Planning Division, 250 Hamilton Avenue  
Palo Alto, CA 94301  
(650) 329-2441  
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

**PROPERTY ADDRESS:** 1700 EMBARCADERO ROAD PALO ALTO, CA 94303

Are there Regulated trees on or adjacent to the property?  YES  NO (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

- On the property
- On adjacent property overhanging the project site
- In the City planter strip or right-of-way easement within 30' of property line (Street Trees)\*

\*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees?  YES (Check where applicable)  NO

- Protected Tree (s)
- Designated Tree (s)
- On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees?  YES  NO

If Yes, a **Tree Preservation Report** must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, Tree Protection, its Part of the Plan!, per Site Plan Requirements.

4. Are the Site Plan Requirements\*\* completed?  YES  NO

\*\*Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: \_\_\_\_\_ Print: \_\_\_\_\_ Date: \_\_\_\_\_  
(Prop. Owner or Agent)

**FOR STAFF USE:**

Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

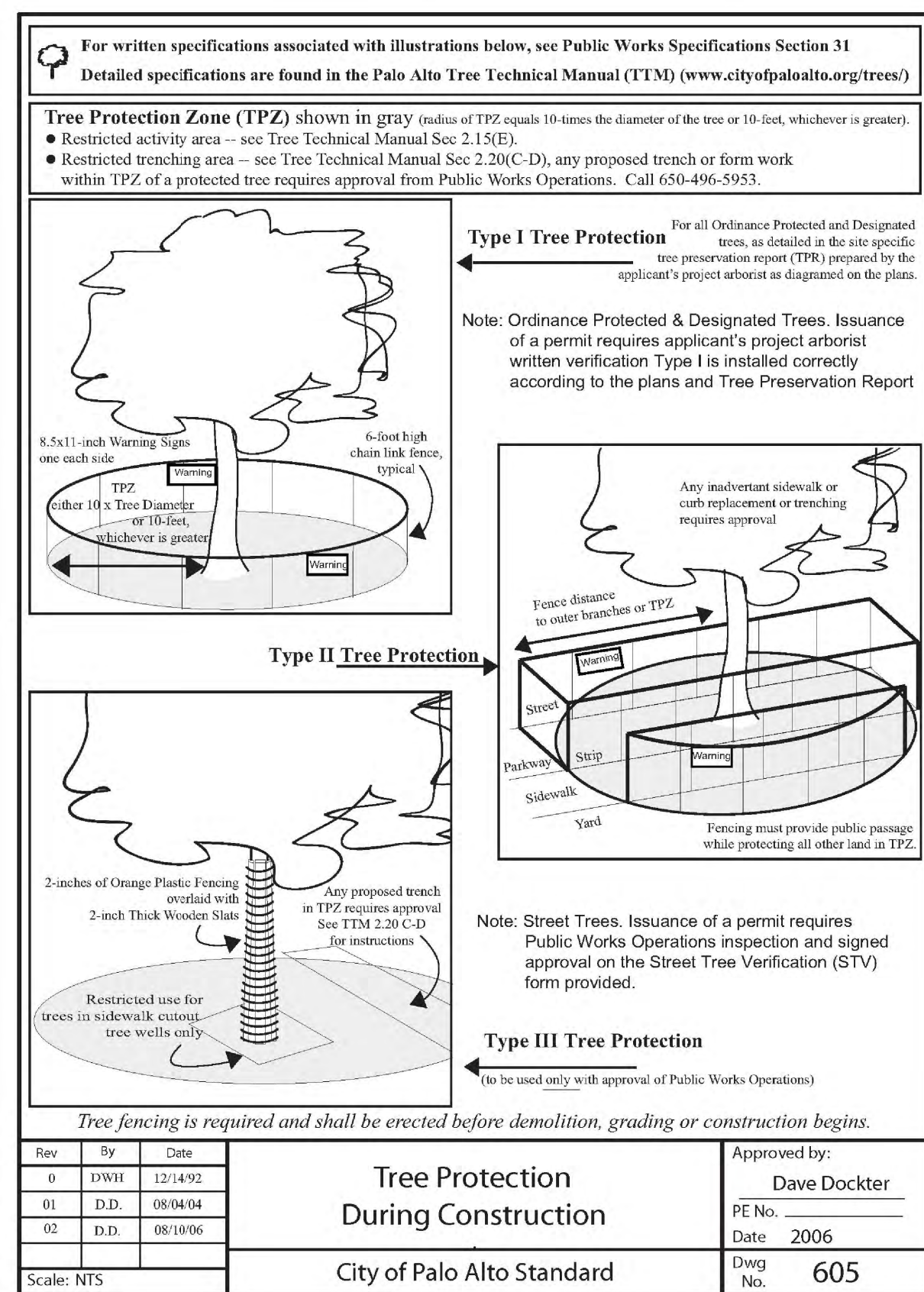
5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES NO  
(N/A if there are no protected trees, check here )

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. YES NO  
(N/A if there are no street trees, check here )

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade, and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/tree-technical-manual.html>

S:\Plan\Arb\Arb\Tree Protection Info\Tree Disclosure Statement Revised 08/06



### Table 2-2 Palo Alto Tree Technical Manual

#### CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference the Palo Alto Tree Technical Manual is available at [www.cityofpaloalto.org/envIRONMENT/](http://www.cityofpaloalto.org/envIRONMENT/)

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing** For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).
- Pre-Construction Meeting** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).
- Inspection of Rough Grading or Trenching** Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections.** The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).
- Special activity within the Tree Protection Zone.** Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection.** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other** (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

City of Palo Alto Tree Technical Manual ADDENDUM 11

Arborist Firm Data Here equal: RCA/ISA Certified Arborist #WE-500  
Contractor C-114

#### Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1: Job site superintendent Company: Email: Job site Office: Cell: Mail:
Inspection #:	Palo Alto, CA	Also present:	• •
Distribution:	1. City of Palo Alto 2. Others	Attn: Dave Dockter	Dave.dockter@cityofpaloalto.org 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits)
  - Pre-construction meeting requirement with sub-contractors
  - Inspect to verify that tree protection measures are in place
  - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
  - Tree Protection Fences (TPF) are ...
  - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
  - Tree Protection Fence (TPF) needs adjusting (see # x, x, x)
  - Root zone buffer material (wood chips) can be installed next
  - Schedule sewer trench, foundation dig with ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
  -
- Past visits (list carry-over items satisfied/still outstanding)
  -

Respectfully submitted,

Project site arborist  
Consultant contact information (include email, cell#, and mailing)  
Cc: \_\_\_\_\_

Enter Date: \_\_\_\_\_ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

## ---WARNING---

# Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day\*

\*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS	PLANNING DEPARTMENT
<b>TREE PROTECTION INSPECTIONS MANDATORY</b>	
PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.	
BUILDING PERMIT DATE:	_____
DATE OF 1 <sup>ST</sup> TREE ACTIVITY REPORT:	_____
CITY STAFF:	_____
REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.10 AND ADDENDUM 11.	

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

### APPENDIX J

#### PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31--

**31-1 General**

a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

**31-2 Reference Documents**

a. Detail 605 - Illustration of situations described below.

b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)

- Trenching Restriction Zones (TTM, Section 2.20(C))
- Arborist Reporting Protocol (TTM, Section 6.30)
- Site Plan Requirements (TTM, Section 6.35)
- Tree Disclosure Statement (TTM, Appendix J)

c. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

**31-3 Execution**

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. **Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **Warning signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110".

f. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

g. **During construction**

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
  - No storage of material, lumps, vehicles or equipment shall be permitted within the TPZ.
  - The ground under and around the tree canopy area shall not be altered.
  - Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION

City of Palo Alto 2004 Standard Drawings and Specifications  
Street Tree Verification of Protection, PWE, Section 31  
Revised 08/06

### City of Palo Alto Tree Department

Public Works Operations  
PO Box 10250 Palo Alto, CA 94303  
650-496-5953 FAX: 650-650-3699  
treeprotection@CityofPaloAlto.org

#### Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE:	_____
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:	_____
APPLICANT'S NAME:	_____
APPLICANT'S ADDRESS:	_____
APPLICANT'S TELEPHONE & FAX NUMBERS:	_____

This section to be filled out by City Tree Staff

1. The Street Trees at the above addresses are adequately protected. The type of protection used is:	YES <input type="checkbox"/>	NO* <input type="checkbox"/>
	* If NO, go to #2 below	
Inspected by:	_____	
Date of Inspection:	_____	
2. The Street Trees at the above addresses are NOT adequately protected. The following modifications are required:	_____	
Indicate how the required modifications were communicated to the applicant.	_____	
Subsequent Inspection	_____	
Street trees at above address were found to be adequately protected:	YES <input type="checkbox"/>	NO* <input type="checkbox"/>
	* If NO, indicate in "Notes" below the disposition of case.	
Inspected by:	_____	
Date of Inspection:	_____	
Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.	_____	

Return approved sheet to Applicant for demolition or building permit issuance.

S:\PW\OPS\Tree\OS\STV\TreeProt31 6/7/06

City of Palo Alto  
250 Hamilton Avenue, Palo Alto, CA 94301

Search:  Advanced  Browse By Topic

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### Tree Technical Manual

To purchase the Tree Technical Manual

June, 2001 First Edition

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- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 84KB)

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APPENDICES

A: Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations  
B: Tree City - USA  
C: ISA Hazard Evaluation Form  
D: List of Inherent Failure Patterns for Selected Species (Reference source)  
E: ISA Tree Pruning Guidelines (PDF, 1.65MB)  
F: Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)  
G: Pruning Performance Standards, ANSI A300-1995 (Reference source)  
H: Tree Planting Details, Diagram 504 & 505  
I: Tree Disclosure Statement  
J: Palo Alto Standard Tree Protection Instructions

ARCHITECT / PLANNER

**LAI**  
Design Group

world wide

88 Inverness Circle East,  
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MERCEDES BENZ AUDI OF PALO ALTO  
1700 EMBARCADERO ROAD  
PALO ALTO, CA 94303  
TREE PROTECTION

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021  
DRAWN BY: ZZ/CR  
CHECKED BY: JC

ISSUE RECORD

ARB #1: 05/07/2018

SHEET NUMBER

T-1

8 OF 13



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PROJECT #: 181021, DRAWN BY: ZZCR, CHECKED BY: JC

ISSUE RECORD

ARB #1 05/07/2018

SHEET NUMBER

1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Observations

There are two sites directly adjacent to each other located at 1700 and 1730 Embarcadero Road. The inventory includes eighty trees with fourteen originating on the adjacent site with canopy extending over the boundary.

All the trees located in the interior of the property are to be demolished including Chinese elm number 12 located near the corner of Embarcadero and East Bayshore Road.

- Wash station directly adjacent to trees #64 through #68 two of which originate on the adjacent site.
Berecration pond directly adjacent to trees #71 through #73.
New entrance approach off Bayshore Road over tree #1.

1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Palo Alto Required Practices

Activities prohibited within the TPZ include:
In addition to the tree protection guidelines outlined in Appendix D the following is prohibited within the tree protection zone and required by the Palo Alto Municipal Code.

- Storage or parking vehicles, building materials, rebar, excavated spoils or dumping of construction materials on or around trees and roots.
Cutting or trenching by utility trenching, foundation digging, placement of curbs and trenches and other miscellaneous excavation without prior approval of the City Arborist.

Grading Limitations within the Tree Protection Zone

The following changes in grade are prohibited within the tree protection zone and required by the Palo Alto Municipal Code.

- Grade changes outside the TPZ shall not significantly alter drainage to the tree.
Grade changes within the TPZ are not permitted.
Grade changes under specifically approved circumstances shall not allow more than 6-inches of fill soil added or allow more than 4-inches of existing soil to be removed.

1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Limits of the assessment

- The information in this report is limited to the condition of the trees during my last inspection on March 6, 2018. No tree risk assessments were performed.
The plans reviewed for this report are located in Table 1 below.

Table 1: Plans Reviewed Checklist

Table with 6 columns: Plan, Date, Sheet, Reviewed, Source, Notes. Lists various site plans including Topographic, Proposed Site, Demotion, Construction, Grading, Utility, Exterior Elevations, Landscape, Irrigation, and T-1 Tree Protection Plan.

Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the property owner's agents, and the City of Palo Alto as a reference for existing conditions to help satisfy planning requirements.

- Provide an arborist's report including an assessment of the trees within the project area.
Provide tree protection specifications and impact ratings for those potentially affected by the proposed project.

1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Tree Protection

Tree protection focuses on protecting trees from damage to the roots, trunk, or scaffold branches from heavy equipment (Appendix D).

The TPZ is defined by the City of Palo Alto as the following: "unless otherwise specified by a project engineer or City Arborist, the area of temporary fenced tree enclosures. Within the TPZ, roots that are critical to tree survival are typically found in the upper three-foot soil horizon, and may extend beyond the drip-line area.

The City of Palo Alto has two different tree protection requirements that apply to this project which are called Type I and Type II (Figures 1 and 2). The enclosures originating on the adjacent site would need to have tree protection fences placed at the maximum encirclement distance of ten times their trunk diameter onto the site using Type I tree protection.

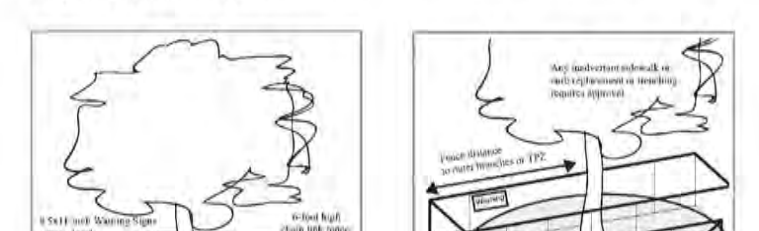
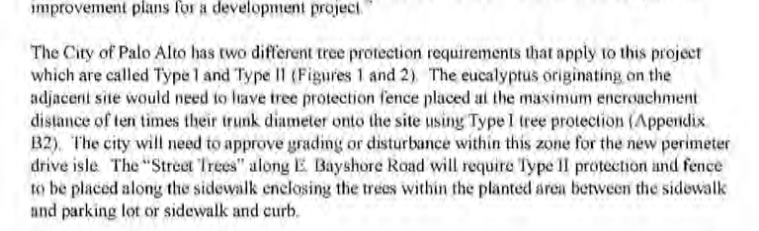


Figure 1: Type I Tree protection with fence placed at a radius of ten times the trunk diameter. Image City of Palo Alto 2006.

Figure 2: Type II Tree protection with fence placed along the sidewalk and curb to enclose the tree. Image City of Palo Alto 2006.

1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Recommendations

Pre-Construction Phase

- Locate all trees to be retained on all plans and indicate their required tree protection zones/ drip line distances to ten times their trunk diameters as required.
Create a separate plan sheet that includes all protection measures labeled "T-1 Tree Protection Plan".
Protect existing trees 53 through 63, 66, 67, and 69 by placing tree protection fence at a distance of ten times their trunk diameters as per the City of Palo Alto tree protection zone recommendations (Appendix B2).

1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Summary

There are two sites directly adjacent to each other located at 1700 and 1730 Embarcadero Road in Palo Alto. The inventory consists of trees on the property with trunk diameters greater than four inches (12.56 inches circumference) and those directly adjacent with crowns extending over the boundary.

Introduction

Background

LAI Design Group was hired to assess the site, trees, and proposed plans to provide a report with my findings and recommendations to help satisfy the City of Palo Alto planning requirements.

Assignment

- Provide an arborist's report including an assessment of the trees within the project area.
Provide tree protection specifications and impact ratings for those potentially affected by the proposed project.

1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Impact Level

Impact level describes how a tree may be affected by construction activity and proximity to the tree, and is defined as low, moderate, or high. The following scale defines the impact rating (Matheny, J. and Clark, J. 1998):

- Low - The construction activity will have little influence on the tree.
Moderate - The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future risk.
High - Tree structure and health will be compromised and removal is recommended, or other action must be taken to protect the tree.

Fifty-four trees will be highly impacted and caused to be removed including "Street Trees" Chinese elm #1 and the remaining #18 and #4. The remaining 36 trees to be removed and highly impacted are "Designated Trees" mostly in the interior.

The chart below list the impact ratings and the relative quantity of each category (Chart 4)

Chart 4: Expected Impact Ratings



1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Conclusion

There are two sites directly adjacent to each other located at 1700 and 1730 Embarcadero Road in Palo Alto. The inventory consists of trees on the property with trunk diameters greater than four inches (12.56 inches circumference) and those directly adjacent with crowns extending over the boundary.

1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

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Background

LAI Design Group was hired to assess the site, trees, and proposed plans to provide a report with my findings and recommendations to help satisfy the City of Palo Alto planning requirements.

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Suitability for Conservation

A tree's suitability for conservation is determined based on its health, structure, age, species and disturbance tolerance, proximity to cutting and filling, proximity to construction or demolition, and potential longevity using a scale of good, fair, or poor (Fin, S, and Hawley, J. T., 2016).

- Good - Trees with good health, structural stability and longevity after construction.
Fair - Trees with fair health and/or structural defects that may be mitigated through treatment.
Moderate - The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future risk.
High - Tree structure and health will be compromised and removal is recommended, or other action must be taken to protect the tree.

Thirty-four trees are poorly suited for retention and twenty-four fair. Twenty-one trees have good suitability for conservation consist primarily of newly planted Chinese pistache and elms.

The chart below list the suitability ratings and the relative quantity of each category (Chart 3)

Chart 3: Suitability Ratings



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Tree Workers

Pruning shall not be attempted by construction or contractor personnel, but shall be performed by a qualified tree care specialist or certified tree worker, according to specifications written according to ANSI Z300 (Part 1) Pruning with measurable criteria outlining the objectives, method (type), amount or quantity of live foliage to be removed, the size range of branches included in diameter, and the location within the tree where the pruning is to be performed.

Structural Pruning: Prior to construction, if it is necessary to promote health and prolong useful life or the structural characteristics, then trees shall be provided the appropriate treatments (e.g. utility screening, butt tracing, wound treatment, cables, rods or pole supports) as specified by the project arborist.

Tree Removal Procedure: When Regulated Trees are removed and adjacent trees that are to be preserved (as shown on the approved site plans) must be protected, then the following tree removal practices apply:

- Tree Removal: Removal of trees that extend into the branches or roots of Regulated Trees shall not be attempted by demolition or construction personnel, grading or other heavy equipment. A certified arborist or tree worker shall remove the tree carefully in a manner that causes no damage above or below ground to trees that remain.
Stump Removal: Before performing stump extraction, the developer shall first consider whether or not roots may be entangled with trees that are to remain. If so, those stumps shall have their roots severed before extracting the stump.

Harborage Installation: When designing landscape areas near trees, the project architect or engineer should consider the use of recommended base course material such as an engineered structural soil mix. The Palo Alto approved structural soil mix will allow a long term cost effective tree and infrastructure compatibility that is particularly suited for the following types development projects: repair or replacement of sidewalks greater than 48-feet in length, sidewalks with new street tree plantings, planting areas that are designed over structures or parking garages, confined parking lot medians and islands or other specialized enclosures as warranted.

Tree Pruning, Surgery, and Removal

Minimum Pruning: If the project arborist recommends that trees be pruned, and the type of pruning is left unspecified, the standard pruning shall consist of "crown cleaning" as defined by ISA Best Management Practices. Pruning 2008 with the objective to reduce risk and/or improve structure.

Maximum Pruning: Maximum pruning should only occur in the event of a hazard situation approved by the City Arborist. Pruning shall consist of 25 percent of the functioning leaf and stem area may be removed within one calendar year of any protected or designated tree, or removal of foliage so as to cause the unbalancing of the tree.

Damage to Trees

Reporting: Any damage or injury to trees shall be reported within 6-hours to the project architect and job superintendent or City Arborist so that mitigation can take place. All mechanical or chemical injury to branches, trunk or to Regulated Practices roots: roots over 2-inches in diameter shall be reported in the monthly inspection report.

Removal of damaged to street trees: In the event that street trees or their roots have been damaged, the contractor or property owner shall be subject to the penalty rate of \$100.00 per inch of damage.

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1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Discussion

Condition Rating

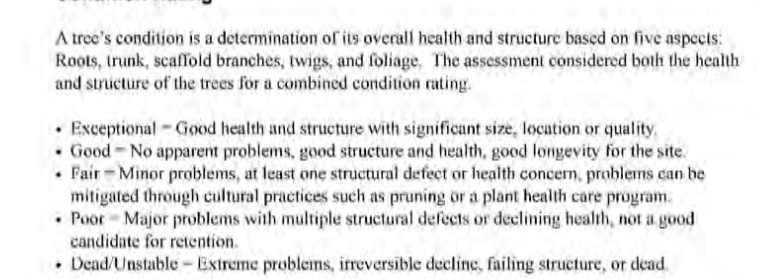
A tree's condition is a determination of its overall health and structure based on five aspects: Roots, trunk, scaffold branches, twigs, and foliage. The assessment considered both the health and structure of the tree for a combined condition rating:

- Excellent - Good health and structure with significant size, location or quality.
Good - No apparent problems, good structure and health, good longevity for the site.
Fair - Minor problems at least one structural defect or health concern, problems can be mitigated through cultural practices such as pruning or a plant health care program.
Poor - Major problems with multiple structural defects or declining health, not a good candidate for retention.
Dead/Unusable - Extensive problems, irreversible decline, falling structure, or dead.

Most of the trees are in fair condition while fourteen are in good shape and seventeen poor. Trees in good condition are comprised of smaller newly planted specimens that have not grown long enough to present the same defect and conditions consistent with older plants.

The chart below list the condition ratings and the relative quantity of each category (Chart 2)

Chart 2: Condition Ratings



1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Tree Inventory

The inventory consists of trees on the property with trunk diameters greater than four inches (12.56 inches circumference) and those directly adjacent with crowns that extending over the boundary. The City of Palo Alto considered the following "Protected Trees": all coast live oaks (Quercus agrifolia) and valley oaks (Quercus lobata) with trunk diameters 1.5-inches or greater (Quercus agrifolia) and all trees with trunk diameter 17-inches in circumference measured at 54-inches above natural grade and coast redwoods (Sequoia sempervirens) that are 18-inches or greater in diameter (17-inches in circumference measured at 54-inches above natural grade) and Heritage Trees, individual trees of any size or species designated as such by City Council.

- Quantity
Cherry (Prunus serrulata)
Chinese elm (Ulmus parvifolius)
Chinese pistache (Pistacia chinensis)
Crape myrtle (Lagerströmia indica)
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1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Root Zone Protection Around the Protected Trees

The following measures should be taken when designing the car wash station and required by the Palo Alto Municipal Code (Copied from the Tree Technical Manual, City of Palo Alto 2001):

Heavy Equipment: Use of backhoes, steel track tractors or any heavy vehicles within the TPZ is prohibited unless approved by the City Arborist. Followed, a protective root buffer (see Root Buffer and Damage to Trees, Section 2.2.5.A-1) is required. The protective root buffer shall consist of a base course of tree chips spread over the root area to a minimum of 6-inch depth, covered by 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. This buffer within the TPZ shall be maintained throughout the entire construction process.

Structural Damage: If vegetation activity or interference with roots greater than 2-inches will occur within the TPZ, plans shall specify a design of special foundation, footing, walls, concrete slab or pavement design subject to City Arborist approval. Discontinuous foundations such as concrete pier and structural grade beams must maintain natural grade (not to exceed a 4-inch slope), to minimize root loss and allow the tree to use the existing soil.

Harborage Installation: When designing landscape areas near trees, the project architect or engineer should consider the use of recommended base course material such as an engineered structural soil mix. The Palo Alto approved structural soil mix will allow a long term cost effective tree and infrastructure compatibility that is particularly suited for the following types development projects: repair or replacement of sidewalks greater than 48-feet in length, sidewalks with new street tree plantings, planting areas that are designed over structures or parking garages, confined parking lot medians and islands or other specialized enclosures as warranted.

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1700 Embarcadero Road This Inventory, Assessment, and Protection Plan April 3, 2018

Tree Inventory, Assessment, and Protection

1700 and 1730 Embarcadero Road Palo Alto, CA 94303

LAI Design Group 88 Inverness Circle East, Suite J101 Englewood, Colorado 80112

April 3, 2018

Prepared By: Monarch Consulting Arborists LLC

ASCA - Registered Consulting Arborist #496 ISA - Board Certified Master Arborist #E-43418 RKS Tree Risk Assessor Qualified CA - Certified Arborist License #C-19239



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MERCEDES BENZ AUDI OF PALO ALTO, 1700 EMBARCADERO ROAD, PALO ALTO, CA 94303, ARBORIST ASSESSMENT AND REPORT

PROFESSIONAL STAMP

PROJECT INFORMATION

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ISSUE RECORD

ARB #1 05/07/2018

SHEET NUMBER

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Glossary of Terms

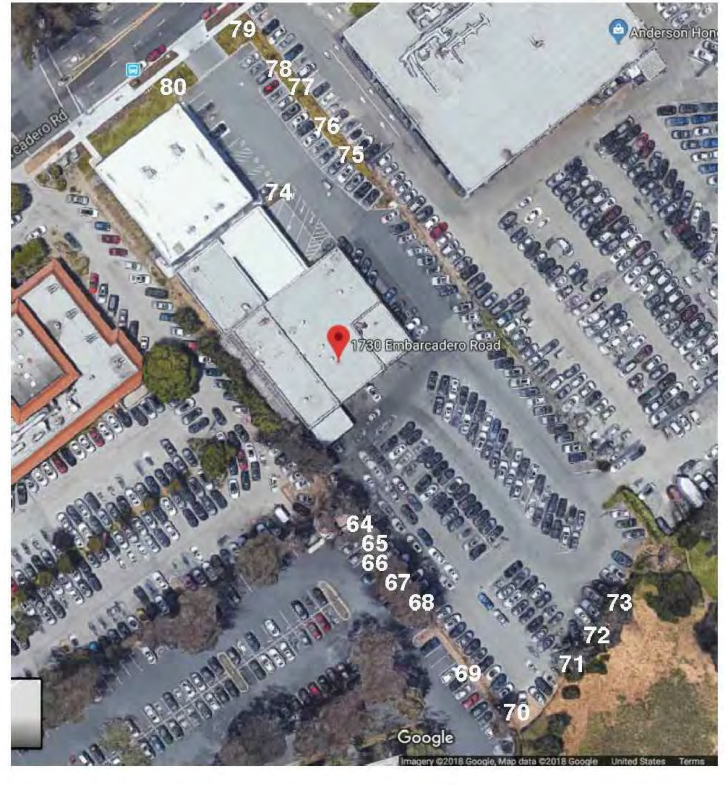
Defect: An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength. Diameter at breast height (DBH): Measure at 1.4 meters (4.5 feet) above ground in the United States, Australia (arborescence), New Zealand, and when using the Guide for Plant Appraisal, 9th edition at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arborescence. Drip Line (as defined by the City of Palo Alto): Means the area within X distance from the trunk of a tree, measured from the perimeter of the trunk of the tree at 54-inches above natural grade, where X equals a distance ten times the diameter of the trunk at 54-inches above natural grade. Scaffold branches: Permanent or structural branches that for the scaffold architecture or structure of a tree. Street Tree: Means any publicly owned tree, shrub or plant growing within the street right-of-way, outside of private property. In some cases, property lines lie several feet behind the sidewalk. A permit from the Public Works Department is required prior to any work on or around these trees. Check with the Public Works Department to verify prior to any work near a street tree (see Introduction - User of This Manual, Regulated Trees). Tree Protection Zone or TPZ (as defined by the City of Palo Alto): means, unless otherwise specified by a project architect or City Arborist, the area of temporary fenced tree enclosures. Within the TPZ, roots that are critical for tree survival are typically found in the upper three foot soil horizon, and may extend beyond the drip-line area. Protecting the roots in the TPZ is necessary to ensure the tree's survival. The TPZ is a restricted activity zone where no soil disturbance is permitted, unless otherwise approved. TPZ must be identified for each tree and shown on all applicable improvement plans for a development project. Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees. Trunk: Stem of a tree. This Glossary of Terms was adapted from the Glossary of Arboricultural Terms (ISA, 2011) and the Palo Alto Tree Technical Manual, 2001.

Appendix A: Tree Inventory Map A1: 1700 Embarcadero Road



Tree inventory map produced and provided by Bay Area Tree Specialists, August 6, 2015.

A2: 1700 Embarcadero Road



Appendix B: Tree Inventory and Disposition Tables

Table 2: Tree Inventory and Disposition Table. Columns: Tree Species, Number, Trunk Diameter (in), Height (ft), Crown Diameter (ft), Condition, Suitability for Conservation, Expected Impact, Protected, Type, Remove/Retain.

Table 1: Tree Inventory and Disposition Table. Columns: Tree Species, Number, Trunk Diameter (in), Height (ft), Crown Diameter (ft), Condition, Suitability for Conservation, Expected Impact, Protected, Type, Remove/Retain.

Table 1: Tree Inventory and Disposition Table. Columns: Tree Species, Number, Trunk Diameter (in), Height (ft), Crown Diameter (ft), Condition, Suitability for Conservation, Expected Impact, Protected, Type, Remove/Retain.

Appendix B2: Tree Protection Distances Table

Table 3: Tree Protection Distance Table. Columns: Tree Species, #, Trunk Diameter, Crown Diameter, Protected, Type, Remove/Retain, TPZ, IXX, DBH (in), radius.

Table 3: Tree Protection Distance Table. Columns: Tree Species, #, Trunk Diameter, Crown Diameter, Protected, Type, Remove/Retain, TPZ, IXX, DBH (in), radius.

Appendix C: Photographs C1: Chinese elms #1 through #10 along E. Bayshore Road



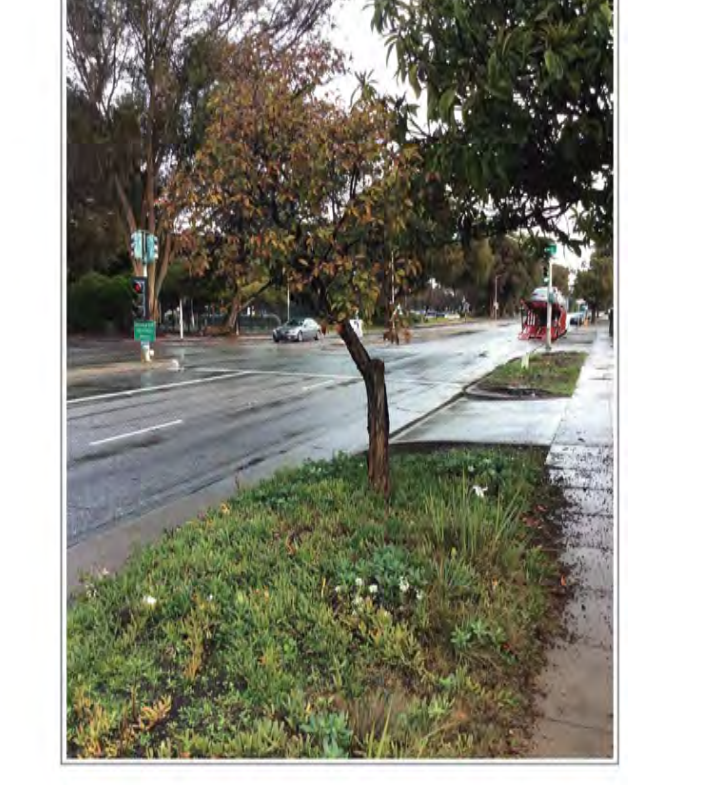
C2: Privet #11



C3: Privet #38



C4: Privet #40



C5: Adjacent Eucalyptus #53 through #61



C6: Adjacent Eucalyptus #62 and #63





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1700 EMBARCADERO ROAD  
PALO ALTO, CA 94303  
ARBORIST ASSESSMENT AND REPORT

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021  
DRAWN BY: ZZ/CR  
CHECKED BY: JC

ISSUE RECORD

ARB #1 05/07/2018

SHEET NUMBER

T-4

11 OF 13

# Warning Tree Protection Zone

This Fence Shall Not Be Removed  
Without City Arborist Approval  
(650) 496-5953

Removal Without Permission is Subject to a  
\$500.00 Fine Per Day

Palo Alto Municipal Code Section 8.10.110

Appendix E: Tree Protection Signs  
E: English

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

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831.331.8882 - rick@monarcharborist.com Page 35 of 38

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

### Appendix D: Tree protection specifications

Tree protection locations should be marked before any fencing contractor arrives.  
**Pre-Construction Meeting with the Project Arborist**  
Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.

**Tree Protection Zones and Fence Specifications**  
Tree protection fences should be established prior to the arrival of construction equipment or materials on site. Fence should be comprised of six-foot high chain link fence mounted on eight-foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

The fence should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper functions.

Fence should be repaired, as necessary, to provide a physical barrier from construction activities.

A final inspection by the city arborist at the end of the project will be required prior to removing any tree protection fence and replacement tree shall be planted at this time.

**Monitoring**  
Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

**Restrictions Within the Tree Protection Zone**  
No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

### Appendix E: Tree Protection Signs

#### Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with hoppers, hand saw, reciprocating saw, or chainsaw rather than left uncut or torn. Roots should be cut beyond either roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with hosing or backfilled within one hour.

#### Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heir) roots. Bore holes should be a minimum of three feet deep.

#### Timing

If the construction is to occur during the summer months supplemental watering and bark beetle treatments should be applied to help ensure survival during and after construction.

#### Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-69 California Contractors License. Tree pruning should be specified according to ANSI A-300A pruning standards and adhere to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.

#### Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix E).

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1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

### Appendix D: Tree protection specifications

Tree protection locations should be marked before any fencing contractor arrives.  
**Pre-Construction Meeting with the Project Arborist**  
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**Monitoring**  
Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

**Restrictions Within the Tree Protection Zone**  
No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

### Appendix E: Tree Protection Signs

#### Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitrations, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

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1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

### Appendix E: Tree Protection Signs

#### Certification of Performance

I, Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment.

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved.

That my analysis, opinions and conclusions stated herein are my own.

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices.

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events.

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist® and Tree Risk Assessor® Qualified. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner

ASCA Registered Consulting Arborist® #496  
ISA Board Certified Master Arborist® WE-4341B  
ISA Tree Risk Assessor® Qualified

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© Copyright 2015, Monarch Consulting Arborists, LLC. Other than specific exception granted for or pipe made by the client for the express use stated in this report, no part of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, recording, or otherwise without the express written permission of the author.

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1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

### Appendix E: Tree Protection Signs

#### C7: Eucalyptus #64 through #68



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1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

### Appendix E: Tree Protection Signs

#### C8: Eucalyptus #71 to #73



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1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018

### Appendix E: Tree Protection Signs

#### E2: Spanish

##### Cuidado Zona De Arbol Pretejido

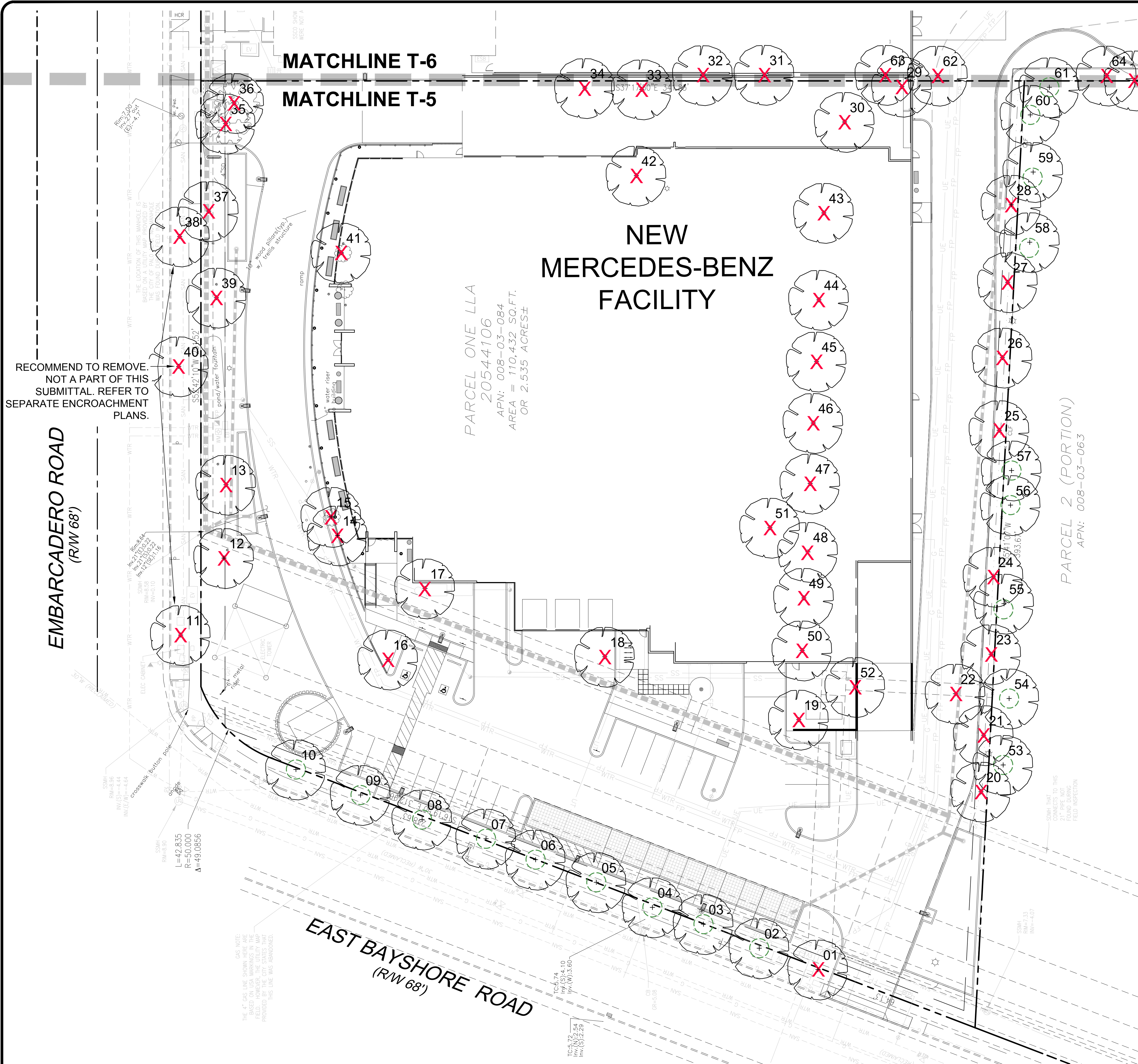
Esta valla no podrán ser sacados  
Sin City Arborist Aprobación

(650) 496-5953

Extracción sin permiso está sujeta a una  
Multa de \$ 500.00 por día

Palo Alto Municipal Code Section 8.10.110

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RECOMMEND TO REMOVE. NOT A PART OF THIS SUBMITTAL. REFER TO SEPARATE ENCROACHMENT PLANS.

MATCHLINE T-6  
MATCHLINE T-5

**NEW  
MERCEDES-BENZ  
FACILITY**

PARCEL ONE LLA  
20544106  
APN: 008-03-084  
AREA = 110,432 SQ.FT.  
OR 2.535 ACRES±

PARCEL 2 (PORTION)  
APN: 008-03-063

DATE NOTE:  
THE GAS LINES SHOWN HERE ARE FIELD-LOCATED. HOWEVER, THE UTILITY MAP PROVIDED BY THE CITY STATES THAT THIS LINE WAS UNKNOWN.

**TREE PROTECTION LEGEND**

- TREE REFERENCE NUMBER PER TREE INVENTORY
- TREES TO BE PRESERVED
- DRIP LINE (10X TREE DIAMETER)
- TREES TO BE REMOVED
- TREES TO BE TRANSPLANTED

**TREES TO BE REMOVED**

#	TREE TYPE
1	Chinese Elm (Ulmus parvifolia)
12	Chinese Elm (Ulmus parvifolia)
13	Cherry (Prunus serrulata)
14	Japanese maple (Acer palmatum)
15	Crape myrtle (Lagerstroemia indica)
16	Chinese pistache (Pistacia chinensis)
17	Purple leaf plum (Prunus cerasifera)
18	Chinese pistache (Pistacia chinensis)
19	Crape myrtle (Lagerstroemia indica)
20	Chinese elm (Ulmus parvifolia)
21	Chinese elm (Ulmus parvifolia)
22	Chinese elm (Ulmus parvifolia)
23	Chinese elm (Ulmus parvifolia)
24	Chinese elm (Ulmus parvifolia)
25	Chinese elm (Ulmus parvifolia)
26	Chinese elm (Ulmus parvifolia)
27	Chinese elm (Ulmus parvifolia)
28	Chinese elm (Ulmus parvifolia)
29	Chinese elm (Ulmus parvifolia)
30	Chinese elm (Ulmus parvifolia)
31	Chinese elm (Ulmus parvifolia)
32	Chinese elm (Ulmus parvifolia)
33	Chinese elm (Ulmus parvifolia)
34	Chinese elm (Ulmus parvifolia)
35	Mugo pine (Pinus mugo)
36	Monterey pine (Pinus radiata)
37	Loquat (Eriobotrya japonica)
38	Privet (Ligustrum lucidum)
39	Cherry (Prunus serrulata)
40	Privet (Ligustrum lucidum)
41	Japanese maple (Acer palmatum)
42	Chinese pistache (Pistacia chinensis)
43	Chinese pistache (Pistacia chinensis)
44	Crape myrtle (Lagerstroemia indica)
45	Crape myrtle (Lagerstroemia indica)
46	Crape myrtle (Lagerstroemia indica)
47	Crape myrtle (Lagerstroemia indica)
48	Crape myrtle (Lagerstroemia indica)
49	Crape myrtle (Lagerstroemia indica)
50	Crape myrtle (Lagerstroemia indica)
51	Purple leaf plum (Prunus cerasifera)
52	Loquat (Eriobotrya japonica)
62	Silver dollar gum (Eucalyptus polyanthemos)
63	Silver dollar gum (Eucalyptus polyanthemos)
64	Silver dollar gum (Eucalyptus polyanthemos)
65	Silver dollar gum (Eucalyptus polyanthemos)
68	Silver dollar gum (Eucalyptus polyanthemos)
70	Red ironbark (Eucalyptus sideroxylon)
71	Silver dollar gum (Eucalyptus polyanthemos)
72	Silver dollar gum (Eucalyptus polyanthemos)
73	Silver dollar gum (Eucalyptus polyanthemos)
74	Chinese pistache (Pistacia chinensis)
75	Chinese pistache (Pistacia chinensis)
76	Chinese pistache (Pistacia chinensis)
77	Chinese pistache (Pistacia chinensis)
78	Chinese pistache (Pistacia chinensis)

**TREES TO BE PRESERVED**

#	TREE TYPE
2	Chinese Elm (Ulmus parvifolia)
3	Chinese Elm (Ulmus parvifolia)
4	Chinese Elm (Ulmus parvifolia)
5	Chinese Elm (Ulmus parvifolia)
6	Chinese Elm (Ulmus parvifolia)
7	Chinese Elm (Ulmus parvifolia)
8	Chinese Elm (Ulmus parvifolia)
9	Chinese Elm (Ulmus parvifolia)
10	Chinese Elm (Ulmus parvifolia)
11	Privet (Ligustrum lucidum)
53	Red ironbark (Eucalyptus sideroxylon)
54	Red ironbark (Eucalyptus sideroxylon)
55	Red ironbark (Eucalyptus sideroxylon)
56	Red ironbark (Eucalyptus sideroxylon)
57	Red ironbark (Eucalyptus sideroxylon)
58	Red ironbark (Eucalyptus sideroxylon)
59	Red ironbark (Eucalyptus sideroxylon)
60	Red gum (Eucalyptus camaldulensis)
61	Red ironbark (Eucalyptus sideroxylon)
66	Red gum (Eucalyptus camaldulensis)
67	Red ironbark (Eucalyptus sideroxylon)
69	Red ironbark (Eucalyptus sideroxylon)
79	Palo verde (Parkinsonia aculeata)
80	Palo verde (Parkinsonia aculeata)

ARCHITECT / PLANNER

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**MERCEDES BENZ AUDI OF PALO ALTO  
1700 EMBARCADERO ROAD  
PALO ALTO, CA 94303  
TREE PROTECTION PLAN**

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021  
DRAWN BY: ZZ/CR  
CHECKED BY: JC

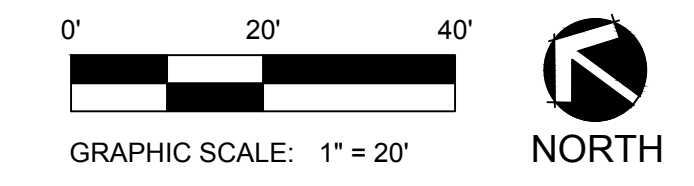
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ARB #1 05/07/2018

SHEET NUMBER

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TREE PROTECTION PLAN

PROFESSIONAL STAMP

PROJECT INFORMATION

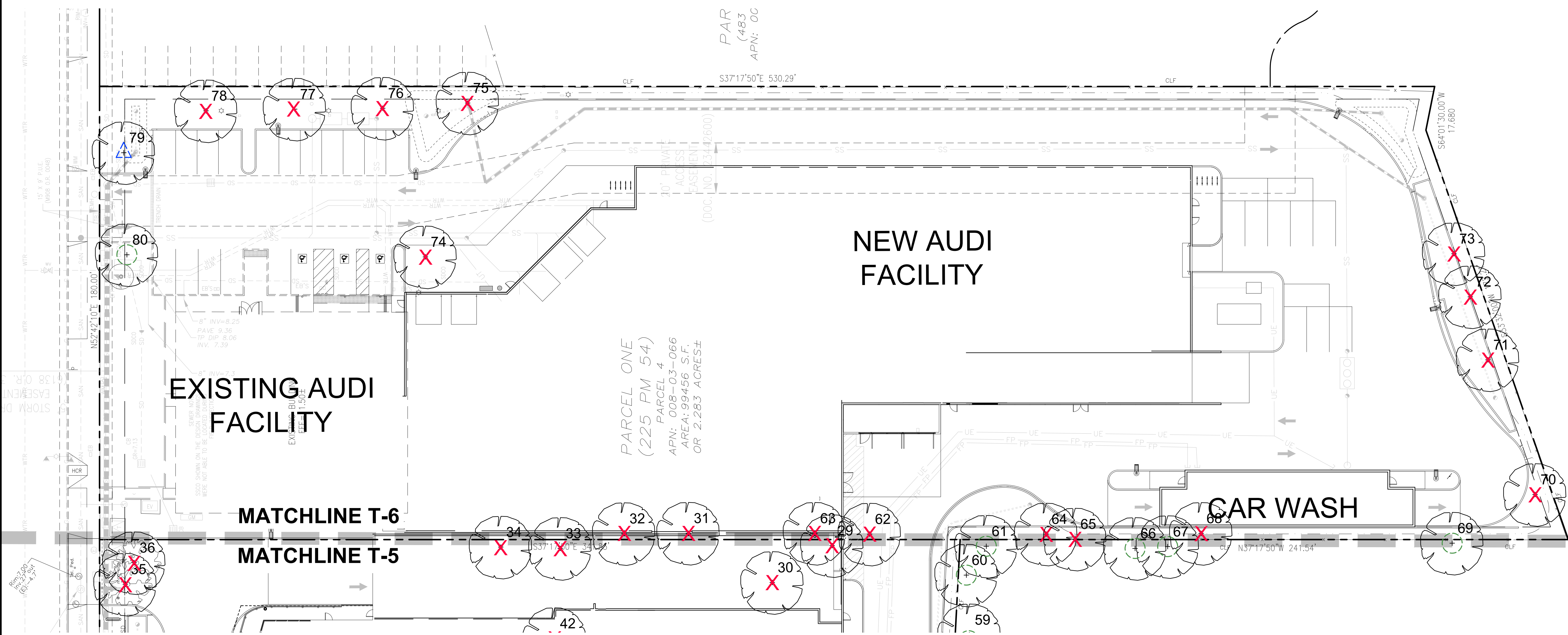
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CHECKED BY: JC

ISSUE RECORD

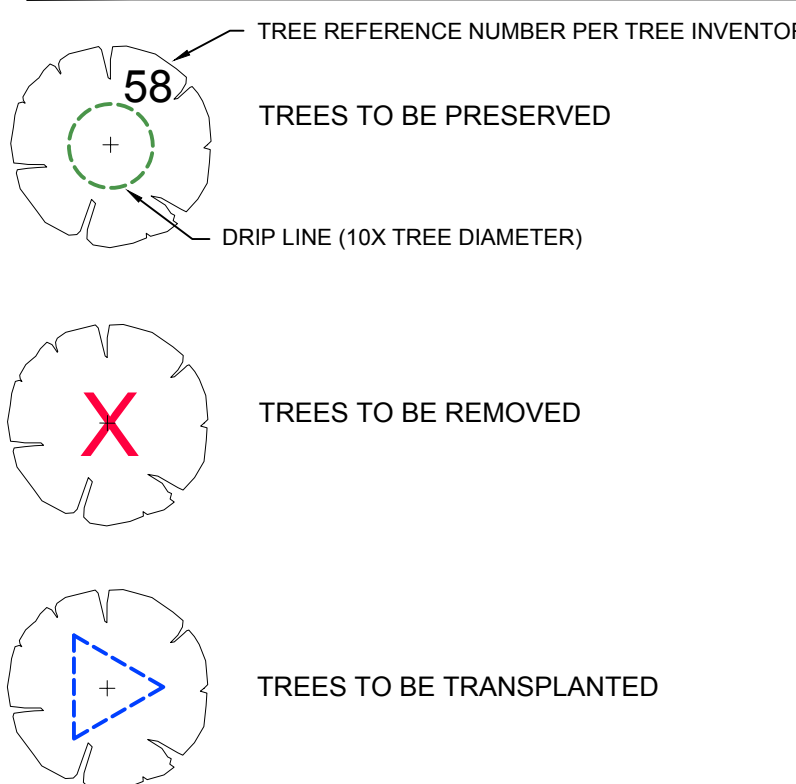
ARB #1 05/07/2018

SHEET NUMBER

T-6  
13 OF 13



TREE PROTECTION LEGEND



TREES TO BE REMOVED

#	TREE TYPE
1	Chinese Elm ( <i>Ulmus parvifolia</i> )
12	Chinese Elm ( <i>Ulmus parvifolia</i> )
13	Cherry ( <i>Prunus serrulata</i> )
14	Japanese maple ( <i>Acer palmatum</i> )
15	Crape myrtle ( <i>Lagerstroemia indica</i> )
16	Chinese pistache ( <i>Pistacia chinensis</i> )
17	Purple leaf plum ( <i>Prunus cerasifera</i> )
18	Chinese pistache ( <i>Pistacia chinensis</i> )
19	Crape myrtle ( <i>Lagerstroemia indica</i> )
20	Chinese elm ( <i>Ulmus parvifolia</i> )
21	Chinese elm ( <i>Ulmus parvifolia</i> )
22	Chinese elm ( <i>Ulmus parvifolia</i> )
23	Chinese elm ( <i>Ulmus parvifolia</i> )
24	Chinese elm ( <i>Ulmus parvifolia</i> )
25	Chinese elm ( <i>Ulmus parvifolia</i> )
26	Chinese elm ( <i>Ulmus parvifolia</i> )
27	Chinese elm ( <i>Ulmus parvifolia</i> )
28	Chinese elm ( <i>Ulmus parvifolia</i> )
29	Chinese elm ( <i>Ulmus parvifolia</i> )
30	Chinese elm ( <i>Ulmus parvifolia</i> )
31	Chinese elm ( <i>Ulmus parvifolia</i> )
32	Chinese elm ( <i>Ulmus parvifolia</i> )
33	Chinese elm ( <i>Ulmus parvifolia</i> )
34	Chinese elm ( <i>Ulmus parvifolia</i> )
35	Mugo pine ( <i>Pinus mugo</i> )
36	Monterey pine ( <i>Pinus radiata</i> )
37	Loquat ( <i>Eriobotrya japonica</i> )
38	Privet ( <i>Ligustrum lucidum</i> )
39	Cherry ( <i>Prunus serrulata</i> )
40	Privet ( <i>Ligustrum lucidum</i> )
41	Japanese maple ( <i>Acer palmatum</i> )

TREES TO BE PRESERVED

#	TREE TYPE
42	Chinese pistache ( <i>Pistacia chinensis</i> )
43	Chinese pistache ( <i>Pistacia chinensis</i> )
44	Crape myrtle ( <i>Lagerstroemia indica</i> )
45	Crape myrtle ( <i>Lagerstroemia indica</i> )
46	Crape myrtle ( <i>Lagerstroemia indica</i> )
47	Crape myrtle ( <i>Lagerstroemia indica</i> )
48	Crape myrtle ( <i>Lagerstroemia indica</i> )
49	Crape myrtle ( <i>Lagerstroemia indica</i> )
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62	Silver dollar gum ( <i>Eucalyptus polyanthemos</i> )
63	Silver dollar gum ( <i>Eucalyptus polyanthemos</i> )
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78	Chinese pistache ( <i>Pistacia chinensis</i> )

