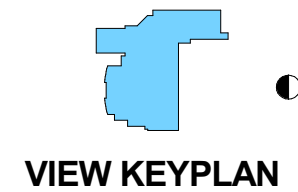




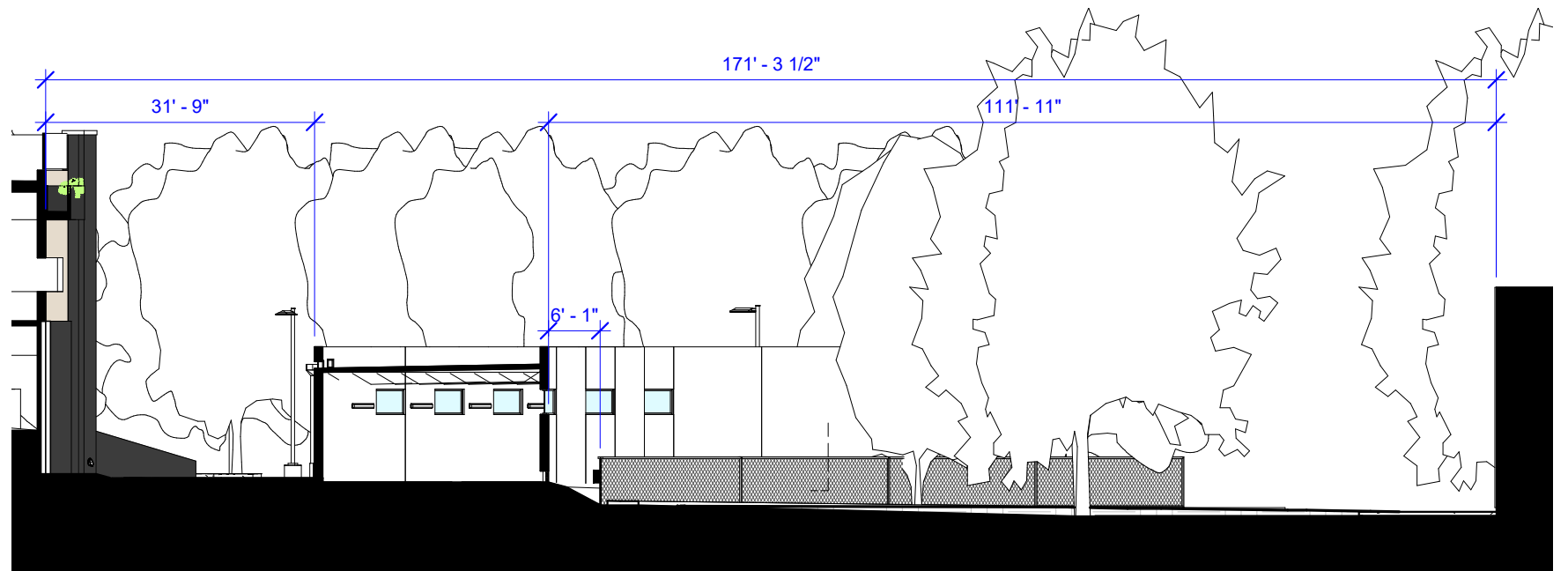
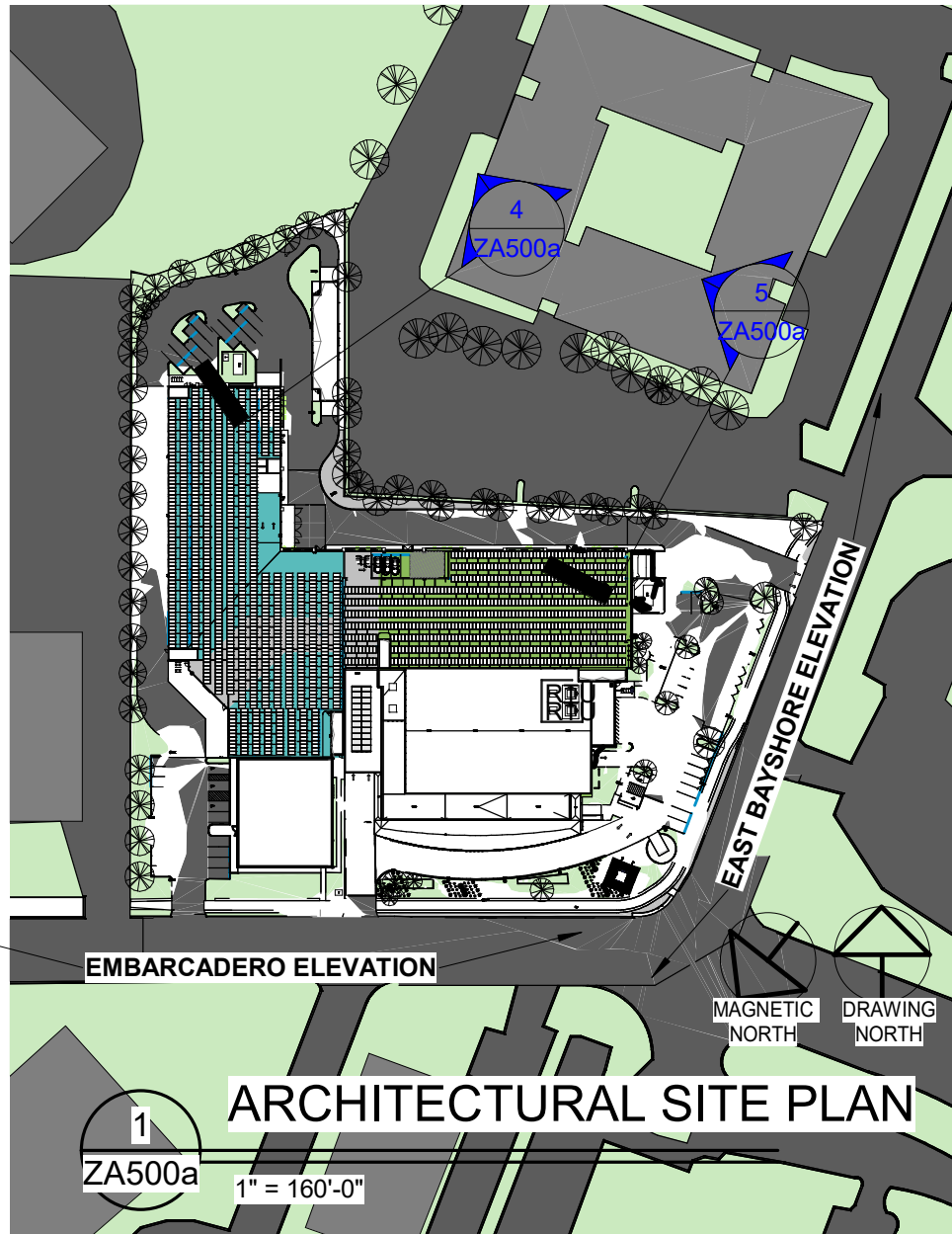
MERCEDES BENZ / AUDI of PALO ALTO
PLANNING REVIEW 2/5/2020

VIEW FROM BAYSHORE

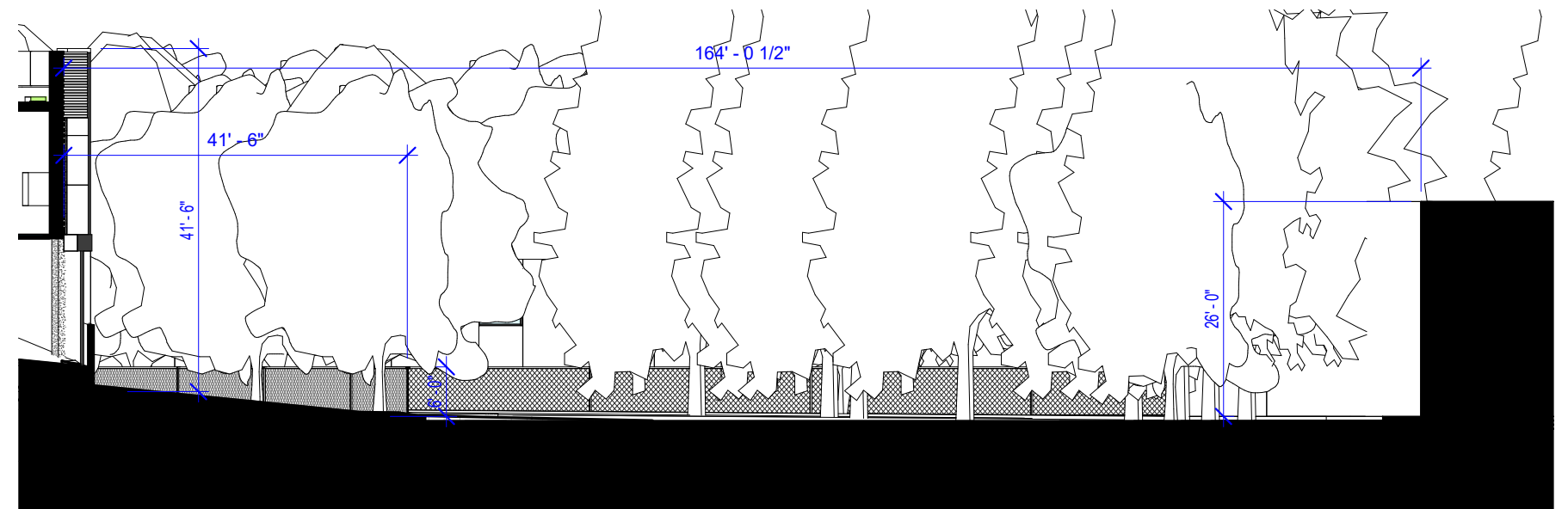
— ZA 415a —



ysm
DESIGN
www.ysmdesign.com
Copyright (c) 2016 YSM Design, P.C.



4 Clearance at Carwash
ZA500a 1" = 20'-0"



5 Distance Between Structures
ZA500a 1" = 20'-0"

| Code Section | Y | N | Plan Sheet, Spec or Attachment Reference | Compliance Path Verification | | | |
|--|---|---|---|------------------------------|-------------------------------|----------------------------|----------------------------|
| | | | | Plan Check | Rough GB Inspection IIR # 112 | Final Inspection IIR # 112 | Final Inspection IIR # 112 |
| 5.1 Planning and Design | | | | | | | |
| Mandatory | | | Storm water pollution prevention | | | | |
| Mandatory | | | Local storm water pollution prevention | | | | |
| Mandatory | | | Best management practices | | | | |
| Mandatory | | | Bicycle parking | | | | |
| Mandatory | | | Short term bicycle parking | | | | |
| Mandatory | | | Long term bicycle parking | | | | |
| Mandatory | | | (Bicycle) Parking stall markings | | | | |
| Tier 2 Mand. | | | Designated parking - 12% of Parking Capacity | | | | |
| Tier 2 Mand. | | | Electric vehicle (EV) charging by Non-Residential Structures (EVSE[N]) New Construction, shall provide conduit only, EVSE: Ready Outlet, or EVSE, installed for at least 20% of parking spaces, among which at least 5% (and no fewer than one) shall be EVSE, installed. | | | | |
| Mandatory | | | Light pollution reduction | | | | |
| Mandatory | | | Grading and paving (exception for additions and alterations not affecting the drainage path) | | | | |
| Tier 2 Mand. | | | Control for reduction of heat island effect: 30% of 10' x 2' 1/2' and 50% of 2' 1/2' x 2' 1/2' | | | | |
| Electives | | | Community connectivity | | | | |
| Electives | | | Greenfield or greyfield site redevelopment or new development | | | | |
| Electives | | | Reduce development footprint and optimize open space | | | | |
| Electives | | | Existing building structure (75%) | | | | |
| Electives | | | Existing non-structure elements (50%) | | | | |
| Electives | | | Salvage | | | | |
| Electives | | | Storm water runoff rate and quantity | | | | |
| Electives | | | Storm water runoff quality | | | | |
| Electives | | | Low impact development (LID) | | | | |
| Electives | | | Greyfield or new site | | | | |
| Electives | | | Changing rooms | | | | |
| Electives | | | Parking capacity | | | | |
| Electives | | | Reduce parking capacity | | | | |
| Electives | | | Interior wall shading: Fenestration-East and west walls | | | | |
| Electives | | | Exterior wall shading: Fenestration-South walls | | | | |
| Electives | | | Exterior wall shading: opaque wall areas | | | | |
| Electives | | | Heat island effect: Hardscape alternatives and cool roof reduction | | | | |
| Electives | | | Heat island effect: Cool roof for reduction of heat island | | | | |
| Electives | | | Heat island effect: Solar reflectance | | | | |
| Electives | | | Heat island effect: Thermal emittance | | | | |
| Electives | | | Heat island effect: Solar reflectance index alternative | | | | |
| PAMC 16.17 Energy Reach Code | | | | | | | |
| Mandatory | | | Energy performance approach specified within the 2016 California Energy Code shall be used to demonstrate that the TOV Energy of proposed non-residential construction is at least Ten percent less than TOV energy of the Standard Design if the proposed building does not include a photovoltaic system or includes a photovoltaic system smaller than 5kW | | | | |
| Mandatory | | | Option 2: Performance approach specified within the 2016 California Energy Code shall be used to demonstrate that the TOV Energy of proposed non-residential construction is at least Equal to the TOV Energy of the Standard Design if the proposed building includes a 5kW or greater photovoltaic system | | | | |
| Mandatory | | | Energy Star portfolio manager: All new construction or renovation projects greater than \$100,000 in value | | | | |
| Mandatory | | | Performance Review: For projects over 10,000 SF | | | | |
| 5.2 Water Efficiency and Conservation | | | | | | | |
| Mandatory | | | Water Use (Meters) | | | | |
| Mandatory | | | New buildings or additions in excess of 50,000 square feet | | | | |
| Mandatory | | | Excess consumption (Submeters for additions that consume over 1,000 gal day) | | | | |
| Tier 2 Mand. | | | Water Use Reduction: 20% savings over the "water use baseline" table AS 503.2.3.1 | | | | |
| Mandatory | | | Indoor Water Use: Water closets (shall not exceed 1.20 gallons per flush) | | | | |
| Mandatory | | | Indoor Water Use: Wall-mounted urinals (0.125gpf) | | | | |
| Mandatory | | | Indoor Water Use: Floor-mounted urinals (0.5 gpf) | | | | |
| Mandatory | | | Indoor Water Use: Single showerhead (2.0 gpm at 80 psi) | | | | |
| Mandatory | | | Indoor Water Use: Multiple showerheads serving one shower (flow rate of 2.0 gpm at 80 psi) | | | | |
| Mandatory | | | Indoor Water Use: Non-residential lavatory faucets (0.5 gpm at 60 psi) | | | | |
| Mandatory | | | Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi) | | | | |
| Mandatory | | | Indoor Water Use: Wash basins (1.8 gpm at 60 psi) | | | | |
| Mandatory | | | Indoor Water Use: Metering faucets (0.3 gallons/cycle) | | | | |
| Mandatory | | | Indoor Water Use: Metering faucets for wash basins (0.2 gallons/cycle) | | | | |
| Mandatory | | | Commercial kitchen equipment | | | | |
| Mandatory | | | Food waste disposers | | | | |
| Mandatory | | | Indoor water use: Areas of addition or alteration | | | | |
| Mandatory | | | Out plumbing | | | | |
| Mandatory | | | Indoor Water Use: Standards for plumbing fixtures and fittings (2016 Cal Plumbing Code) | | | | |
| Mandatory | | | Outdoor Water Use: Landscape areas > 500 SF | | | | |
| Mandatory | | | Outdoor Water Use: Subirrigated landscape projects > 2,500 SF | | | | |
| Mandatory | | | Outdoor Water Use: Landscape areas of 2,500 SF | | | | |
| Mandatory | | | Outdoor Water Use: Graywater or Rainwater Use: Landscape areas > 2,500 SF | | | | |
| Mandatory | | | Potable water elimination | | | | |
| Mandatory | | | New construction: recycled water use for irrigation (See recycled water ordinance # 3002, of PAMC 16.12) | | | | |
| Mandatory | | | Invasive species prohibited | | | | |
| Mandatory | | | Non-residential enhanced water budget | | | | |
| Electives | | | Indoor water use: 25% reduction | | | | |
| Electives | | | Nonpotable water systems for indoor water use | | | | |
| Electives | | | Appliances and fixtures for commercial applications | | | | |
| Electives | | | Weatherstripped vents | | | | |
| Electives | | | Outdoor Water Use: Restoration of areas disturbed by construction | | | | |
| Electives | | | Outdoor Water Use: Physically developed sites: restore or protect 50 % of site area | | | | |
| Electives | | | Outdoor Water Use: Graywater irrigation system | | | | |
| Electives | | | Nonpotable water systems | | | | |
| Electives | | | Irrigation system | | | | |
| 5.4 Material Conservation and Resource Efficiency | | | | | | | |
| Tier 2 Mand. | | | Recycled content: Use materials with a total recycled content of 15% | | | | |
| Mandatory | | | Weather protection | | | | |
| Mandatory | | | Mold/moisture control: Sprinklers | | | | |
| Mandatory | | | Mold/moisture control: Entries + Openings | | | | |
| Mandatory | | | Mold/moisture control: Exterior door protection | | | | |
| Mandatory | | | Mold/moisture control: Flashing | | | | |
| Mandatory | | | Construction waste management | | | | |
| Mandatory | | | Construction waste management plan | | | | |
| Mandatory | | | Waste management company | | | | |
| Mandatory | | | Waste stream reduction alternative | | | | |
| Mandatory | | | Documentation: Construction waste management plan, waste management company, waste stream reduction alternative | | | | |
| Mandatory | | | Excavated soil and land clearing debris (100% reuse or recycle) | | | | |
| Tier 2 Mand. | | | Enhanced construction waste reduction (80% diversion rate for projects exceeding \$25,000 in value; 65% diversion rate for projects less than \$25,000) | | | | |
| Mandatory | | | Recycling by occupants | | | | |
| Mandatory | | | Commissioning (or 10,000 SF) [N] | | | | |
| Mandatory | | | Commissioning plan [N] | | | | |
| Mandatory | | | Functional performance testing [N] | | | | |
| Mandatory | | | Documentation and Training: Systems manual | | | | |
| Mandatory | | | Documentation and Training: Systems operations training [N] | | | | |
| Mandatory | | | Commissioning report [N] | | | | |
| Mandatory | | | Testing and adjusting for [N] buildings < 10,000 SF or new systems that serve additions or alterations [AA] | | | | |
| Mandatory | | | Testing and adjusting for systems: HVAC, lighting, water heating, renewable energy, landscape irrigation, and water reuse | | | | |
| Mandatory | | | Testing and adjusting: Procedures | | | | |
| Mandatory | | | Testing and adjusting: HVAC balancing | | | | |
| Mandatory | | | Testing, adjusting and balancing: Reporting for HVAC balancing | | | | |
| Mandatory | | | Operation and maintenance (O&M) manual | | | | |
| Mandatory | | | Performance reviews- Water (at least 1 acre) | | | | |
| Mandatory | | | Inspection and reports [AA] + [N] < 10,000 SF | | | | |

| Code Section | Y | N | Plan Sheet, Spec or Attachment Reference | Compliance Path Verification | | | |
|--|---|---|---|------------------------------|-------------------------------|----------------------------|----------------------------|
| | | | | Plan Check | Rough GB Inspection IIR # 112 | Final Inspection IIR # 112 | Final Inspection IIR # 112 |
| 5.4 Material Conservation and Resource Efficiency, continued | | | | | | | |
| Electives | | | Wood Framing: Structural or fire-resistive details | | | | |
| Electives | | | Wood Framing: Framing specifications | | | | |
| Electives | | | Regional materials | | | | |
| Electives | | | Soil-based materials: Certified wood | | | | |
| Electives | | | Soil-based materials: Locally renewable materials | | | | |
| Electives | | | Reused materials | | | | |
| Electives | | | Alternate method for concrete | | | | |
| Electives | | | Concrete and concrete: Cement | | | | |
| Electives | | | Concrete and concrete: Concrete | | | | |
| Electives | | | Additional means of compliance - Cement: Alternative tests | | | | |
| Electives | | | Additional means of compliance - Cement: Alternative tests | | | | |
| Electives | | | Additional means of compliance - Concrete: Alternative energy | | | | |
| Electives | | | Additional means of compliance - Concrete: Recycled aggregate | | | | |
| Electives | | | Additional means of compliance - Concrete: Blending water | | | | |
| Electives | | | Additional means of compliance - Concrete: High strength concrete | | | | |
| Electives | | | Choice of materials: Service life | | | | |
| Electives | | | Choice of materials: Reduced maintenance | | | | |
| Electives | | | Choice of materials: Recyclability | | | | |
| Electives | | | Life Cycle Assessment shall be ISO 14044 compliant | | | | |
| Electives | | | Whole building life cycle assessment | | | | |
| Electives | | | Materials and system assemblies | | | | |
| Electives | | | Sustainability of prescriptive materials | | | | |
| Electives | | | Verification of compliance | | | | |
| 5.5 Environmental Quality | | | | | | | |
| Mandatory | | | Fungicides | | | | |
| Mandatory | | | Wood preservatives | | | | |
| Mandatory | | | Mercury-containing material (MER) (B) | | | | |
| Mandatory | | | Covering of duct openings and protection of mechanical equipment during construction | | | | |
| Mandatory | | | Adhesives, sealants and caulks: Comply with VOC limits (Table 5.504.4.1 and 5.504.4.2) | | | | |
| Mandatory | | | Paints and Coatings: Comply with VOC Limits (Table 5.504.4.3) | | | | |
| Mandatory | | | Removal: paints and coatings | | | | |
| Mandatory | | | Verification: for paints and coatings | | | | |
| Mandatory | | | Carpet systems: Carpet cushion | | | | |
| Mandatory | | | Carpet systems: Carpet adhesive | | | | |
| Mandatory | | | Composite wood products: Formaldehyde limits (Table 5.504.4.4) | | | | |
| Mandatory | | | Composite wood products: Documentation | | | | |
| Tier 2 Mand. | | | Resilient Flooring system: 100% | | | | |
| Tier 2 Mand. | | | No added formaldehyde- Tier 2 level | | | | |
| Tier 2 Mand. | | | Thermal insulation | | | | |
| Tier 2 Mand. | | | Roofs: U-value (U) | | | | |
| Mandatory | | | Environmental tobacco smoke (ETS) control | | | | |
| Mandatory | | | Outdoor air delivery (For Indoor Air Quality) | | | | |
| Mandatory | | | Carbon dioxide (CO2) monitoring (For Indoor Air Quality) | | | | |
| Mandatory | | | Acoustical control (STC Values per ASTM E411 and ASTM E413) | | | | |
| Mandatory | | | Exterior noise transmission, prescriptive method | | | | |
| Mandatory | | | Exterior noise transmission, performance method | | | | |
| Mandatory | | | Interior noise transmission | | | | |
| Mandatory | | | Acoustic ceiling and greenhouse gas reduction | | | | |
| Mandatory | | | Chlorofluorocarbons | | | | |
| Mandatory | | | Halons | | | | |
| Mandatory | | | Supermarket refrigerant leak reduction | | | | |
| Mandatory | | | Refrigerant piping | | | | |
| Mandatory | | | Refrigerant piping valves | | | | |
| Mandatory | | | Refrigerant piping access valves | | | | |
| Mandatory | | | Refrigerant service case | | | | |
| Mandatory | | | Refrigerant receivers | | | | |
| Mandatory | | | Process testing | | | | |
| Mandatory | | | Evacuation (after pressure testing) | | | | |
| Electives | | | Indoor air quality (IAQ) during construction: Temporary ventilation | | | | |
| Electives | | | Indoor air quality (IAQ) during construction: Additional IAQ measures | | | | |
| Electives | | | ACI preconstruction | | | | |
| Electives | | | ACI testing | | | | |
| Electives | | | Maximum levels of contaminants | | | | |
| Electives | | | Test protocols | | | | |
| Electives | | | Active systems (to control pollutants) | | | | |
| Electives | | | Non-occupying building areas | | | | |
| Electives | | | No added formaldehyde: Tier 2 requirement | | | | |
| Electives | | | Acoustical ceiling and wall panels | | | | |
| Electives | | | Hazardous particulates and chemical pollutants | | | | |
| Electives | | | Active systems (to control pollutants) | | | | |
| Electives | | | Isolation of pollutant sources to control pollutants | | | | |
| Electives | | | Lighting and thermal comfort controls: Single occupant spaces- Lighting and Thermal Comfort | | | | |
| Electives | | | Lighting and thermal comfort controls: Multi-occupant spaces | | | | |
| Electives | | | Lighting: Daylighting and nightlighting | | | | |
| Electives | | | Views: Direct line of sight to outdoors | | | | |
| Electives | | | Views: Multi-occupant spaces | | | | |
| Electives | | | Hydro-chlorofluorocarbons (HCFCs) (for HVAC and refrigeration equipment) | | | | |
| Electives | | | Hydro-Fluorocarbons (HFCs) (for HVAC, refrigeration and for refrigeration equipment) | | | | |
| Required Additional Electives (Choose 3 additional Electives from any category) | | | | | | | |
| Tier 2 Mand. | | | AS 509.3.1 | | | | |
| Tier 2 Mand. | | | AS 509.3.1 | | | | |
| Tier 2 Mand. | | | AS 509.3.1 | | | | |

Acknowledgement

This project is required to comply with the State California Green Building Code (Title 24 Part 11) and the City of Palo Alto's local amendments (PAMC 16.14). I, the property owner / legal representative, acknowledge and understand the requirements and penalties for noncompliance (\$500 per ton of waste not diverted from the landfill with a minimum of \$1000), and \$200 a day for the remaining green building measure non-compliance. I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the requirements. I understand that the project may be subject to a **Green Building Incremental Verification (IVR #112)** during Rough Inspection and a **Green Building Final Inspection (IVR #112)** prior to scheduling the final inspection. The team will consult the **Palo Alto Green Building Inspection Checklist** to verify compliance. I also understand that my project may be subject to an energy or water performance review to assess compliance with the program after construction and during operation.

Note: In lieu of a signature, an attachment letter is acceptable if the owner is not local and cannot sign this GB-1 sheet.

Signature: _____ Date: _____

Print Full Name: _____

Phone or Email: _____

SCHEDULE A GREEN BUILDING INCREMENTAL VERIFICATION (IVR#112) DURING ROUGH INSPECTION

Schedule a Green Building Incremental Verification (IVR#112) if any of the following CALGreen provisions or PAMC Sections are marked with an "X" under the "Y" column of this sheet.

- CALGreen 5.303.1.1 Separate Meters
- CALGreen 5.303.1.2 Separate Meters
- PAMC 16.14.100 Recycled Water Indoor Infrastructure
- PAMC 16.14.200 Recycled Water for Irrigation
- CALGreen 5.504.1.3 Temporary Ventilation
- CALGreen 5.504.3 Duct & HVAC Protection
- CALGreen AS 504.1.02 During Construction

SECTION TO BE COMPLETED AFTER CONSTRUCTION

In order to schedule a final building inspection with the Building Department, follow the procedures below.

Schedule a **pre-GB-1** Final Green Building Inspection with the City Green Building Personnel in accordance with the Palo Alto Non-Residential Green Building Inspection Guideline.

LEGEND

| | | | | | |
|---|---------------------------|-----|----------------------|-------|-----------------------|
| ⊕ | FIRE HYDRANT | AC | ASPHALT PAVEMENT | SC0 | SEWER CLEAN OUT |
| — | EDGE PAVEMENT | BFD | BACK FLOW DEVICE | SDCO | STORM DRAIN CLEAN OUT |
| M | WATER VALVE | FH | FIRE HYDRANT | SDMH | STORM DRAIN MANHOLE |
| □ | METER, PULL BOX | FS | FIRE SERVICE | SMH | SEWER MANHOLE |
| + | SIGN | GI | GRATE INLET | TRANS | TRANSFORMER |
| — | CONCRETE | GM | GAS METER | WM | WATER METER |
| — | BLOCK WALL | GP | GUARD POST | EP | EDGE OF PAVEMENT |
| ⊙ | LIGHT STANDARD | GV | GAS VALVE | FC | FINISHED CONCRETE |
| ⊙ | TRAFFIC SIGNAL | L | LOT LINE | FF | FINISHED FLOOR |
| ⊙ | STREET LIGHT | MH | MAN HOLE | FL | FLOW LINE |
| ⊙ | HANDICAP STALL | PB | PULL BOX | NG | NATURAL GROUND |
| ⊙ | WROUGHT IRON FENCE | PE | PEDESTAL | TC | TOP OF CURB |
| — | WOOD FENCE | PV | POST INDICATOR VALVE | TG | TOP OF GRATE |
| — | CHAINLINK FENCE | PL | PROPERTY LINE | RM | RIM OF MANHOLE |
| ⊙ | PARKING COUNT | RAD | RADIAL | R/W | RIGHT OF WAY |
| △ | BUILDING HEIGHT INDICATOR | | | | |

BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF EMBARCADERO ROAD BEARING NORTH 52°42'10" EAST AS SHOWN ON PARCEL MAP BOOK 483 PAGE 40 RECORDS OF SAID COUNTY.

LIST OF ENCROACHMENTS

NONE TO STATE

ZONING INFORMATION

NONE PROVIDED

BENCHMARK

BENCHMARK NO. 2407
 DESCRIPTION: BD "L13" S.E. COR
 ELEVATION: 5.73

EASEMENT NOTES

THE FOLLOWING ITEMS WERE FOUND IN TITLE REPORT NO. NCS-782250-9-PHIL DATED MARCH 8, 2016 BY FIRST AMERICAN TITLE INSURANCE COMPANY

- AN EASEMENT FOR STORM WATER DRAINAGE AND INCIDENTAL PURPOSES, RECORDED AUGUST 07, 1963 AS BOOK 6136, PAGE 331 OF OFFICIAL RECORDS, IN FAVOR OF: CITY OF PALO ALTO, A MUNICIPAL CORPORATION, EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.
- AN EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND IMPROVEMENTS AND INCIDENTAL PURPOSES, RECORDED JULY 27, 1983 AS BOOK 4808, PAGE 0048 OF OFFICIAL RECORDS, IN FAVOR OF: CITY OF PALO ALTO, A MUNICIPAL CORPORATION, EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.
- AN EASEMENT FOR PRIVATE INGRESS/EGRESS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 13, 1998 AS INSTRUMENT NO. 14053157 OF OFFICIAL RECORDS, IN FAVOR OF: FABER PLACE, L.L.C. A LIMITED LIABILITY COMPANY AND ANDERSON DEALERSHIP REALTY CORP. A DELAWARE CORPORATION, EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.

FLOOD ZONE INFORMATION

ZONE: AE (EL 11)
 BASE FLOOD ELEVATIONS DETERMINED
 PANEL NO. 06085C 0030H
 DATED: MAY 18, 2009
 NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 PARCEL ONE:

PARCEL 4, AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED JULY 1, 1969 IN BOOK 255, PAGE 54 OF MAPS, RECORDS OF SANTA CLARA COUNTY, CALIFORNIA.

PARCEL TWO:

AN EXCLUSIVE EASEMENT; 20.00 FEET IN WIDTH FOR THE PURPOSE OF INGRESS AND EGRESS, AS CREATED BY THAT CERTAIN EASEMENT AGREEMENT DATED FEBRUARY 13, 1998 AND RECORDED FEBRUARY 13, 1998, INSTRUMENT NO. 14053158, UPON THE TERMS AND PROVISIONS CONTAINED THEREIN, THE CENTERLINE OF SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1 OF THAT CERTAIN PARCEL MAP FILED APRIL 29, 1981 IN BOOK 483 OF MAPS, AT PAGE 40, OFFICIAL RECORDS OF SANTA CLARA COUNTY, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF THE AFOREMENTIONED PARCEL 1 (483 M SAID MOST EASTERLY CORNER BEING A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF FABER PLACE 60 FEET IN WIDTH AS SAID RIGHT OF WAY SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED OCTOBER 23, 1987 IN BOOK 229 OF MAPS AT PAGE 24, OFFICIAL RECORDS OF SANTA CLARA COUNTY; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE ALONG THE ARC OF A 3030.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS, NORTH 52 DEG. 38' 11" EAST THROUGH A CENTRAL ANGLE OF 3 DEG. 31' 03" AN ARC DISTANCE OF 186.02 FEET, TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE LEAVING SAID SOUTHWESTERLY RIGHT OF WAY LINE, SOUTH 56 DEG. 06' 34" WEST, 4.74 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 35 DEG. 21' 55" AN ARC DISTANCE OF 12.34 FEET TO A POINT OF REVERSE CURVATURE, THENCE WESTERLY ALONG A 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 32 DEG. 01' 57", AN ARC DISTANCE OF 11.18 FEET; THENCE SOUTH 52 DEG. 46' 36" WEST, 82.58 FEET; THENCE WESTERLY AND SOUTHERLY ALONG THE ARC ON A 20.00 FOOT RADIUS, TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 90 DEG. 13' 34", AN ARC DISTANCE OF 31.49 FEET, THENCE SOUTH 37 DEG. 26' 58" EAST, 0.74 FEET; THENCE SOUTHERLY AND SOUTHWESTERLY ALONG THE ARC OF 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90 DEG. 09' 21", AN ARC DISTANCE OF 31.47 FEET; THENCE SOUTH 52 DEG. 42' 23" WEST, 181.89 FEET; THENCE SOUTHWESTERLY AND WESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 67 DEG. 04' 48" AN ARC DISTANCE OF 23.42 FEET TO A POINT OF REVERSE CURVATURE; THENCE WESTERLY AND SOUTHWESTERLY ALONG ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 67 DEG. 05' 02", AN ARC DISTANCE OF 23.42 FEET; THENCE SOUTH 52 DEG. 42' 10" WEST 7.16 FEET TO THE WESTERLY LINE OF SAID PARCEL 1 (483 MAPS 40) AND THE SOUTHWESTERLY TERMINUS OF THIS DESCRIPTION, THE SIDELINES OF SAID STRIP ARE TO BE SHORTENED OR LENGTHENED TO TERMINATE AT THE EASTERLY AND WESTERLY BOUNDARY LINE OF SAID PARCEL 1 (483 MAPS 40).

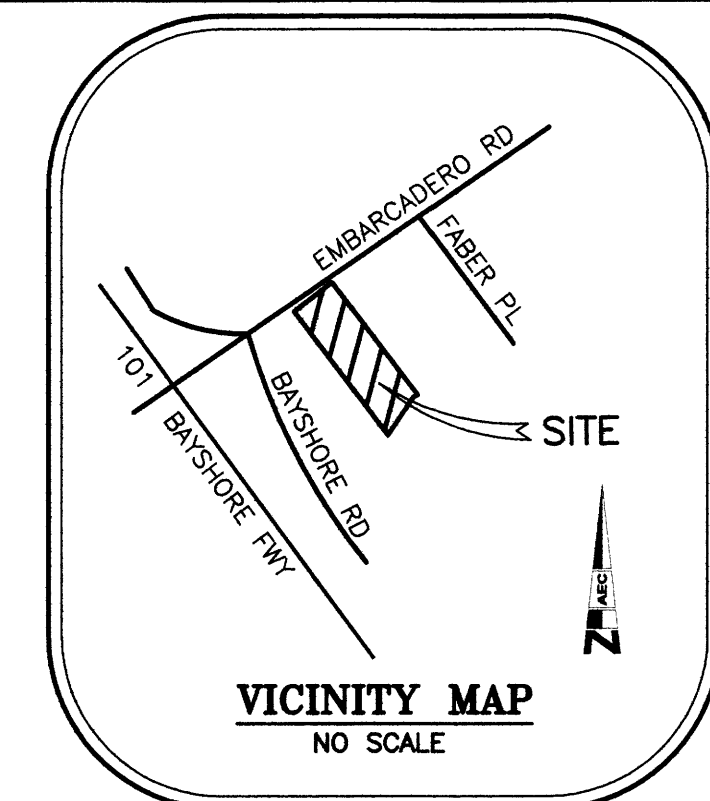
PARCEL THREE:
 AN EASEMENT FOR THE PURPOSE OF PRIVATE INGRESS AND EGRESS, AS CREATED BY THAT CERTAIN EASEMENT AGREEMENT DATED FEBRUARY 13, 1998 AND RECORDED FEBRUARY 18, 1998, INSTRUMENT NO. 14058216, UPON THE TERMS AND PROVISIONS CONTAINED THEREIN, UPON AND ACROSS A STRIP OF LAND DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1 OF THAT CERTAIN PARCEL MAP FILED APRIL 29, 1981, IN BOOK 483 OF MAPS, AT PAGE 40, OFFICIAL RECORDS OF SAID SANTA CLARA COUNTY, FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY CORNER OF THE AFOREMENTIONED PARCEL 1 (483 M 40) SAID MOST WESTERLY CORNER BEING A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF EMBARCADERO ROAD, 68 FEET IN WIDTH AS SAID RIGHT OF WAY IS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED OCTOBER 23, 1987, IN BOOK 229 OF MAPS AT PAGE 24, OFFICIAL RECORDS, OF SANTA CLARA COUNTY; THENCE ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE NORTH 52 DEG. 42' 10" EAST, 40.33 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE SOUTH 38 DEG. 41' 01" EAST, 64.35 FEET; THENCE SOUTH 37 DEG. 49' 47" EAST,

60.67 FEET; THENCE SOUTH 52 DEG. 10' 51" WEST, 22.86 FEET; THENCE WESTERLY AND SOUTHWESTERLY ALONG THE ARC OF A 4.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 74 DEG. 08' 48", AN ARC DISTANCE OF 5.18 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF A 50.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, THE CENTER OF WHICH BEARS SOUTH 58 DEG. 25' 22" WEST, THROUGH A CENTRAL ANGLE OF 41 DEG. 28' 07", AN ARC DISTANCE OF 36.19 FEET TO THE WESTERLY LINE OF SAID PARCEL 1 (483 M 40); THENCE ALONG SAID WESTERLY LINE NORTH 37 DEG. 17' 50" WEST 159.85 FEET TO THE POINT OF BEGINNING.

APN: 008-03-066
 ARB: 008-03-066

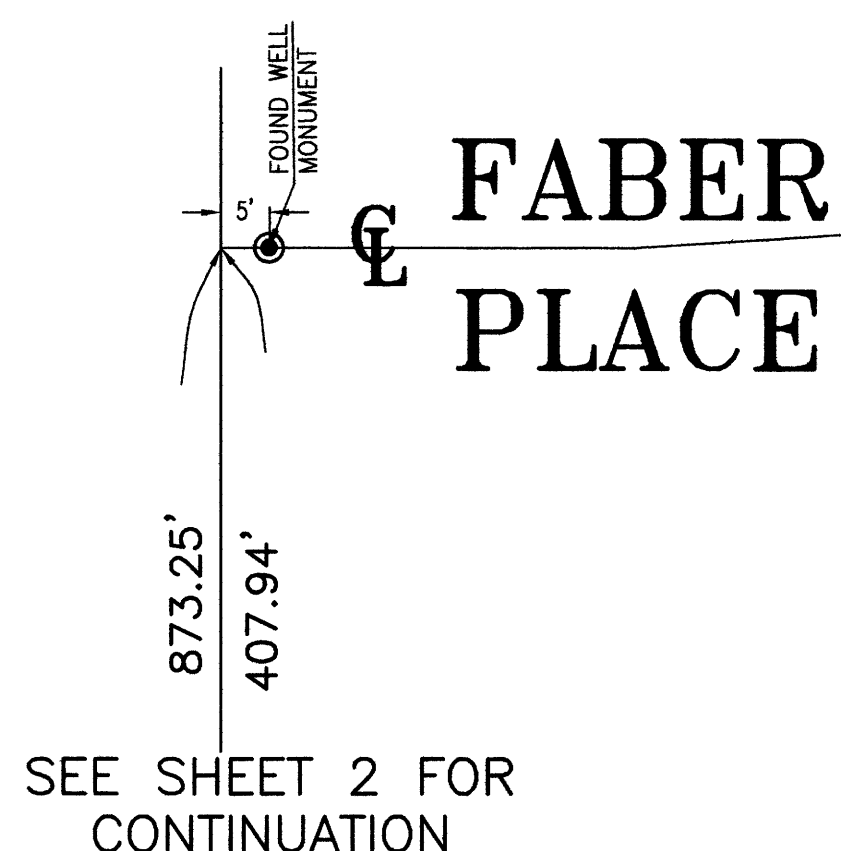


LAND AREA

9,9350 SQUARE FEET
 2.280 ACRES

PARKING COUNT

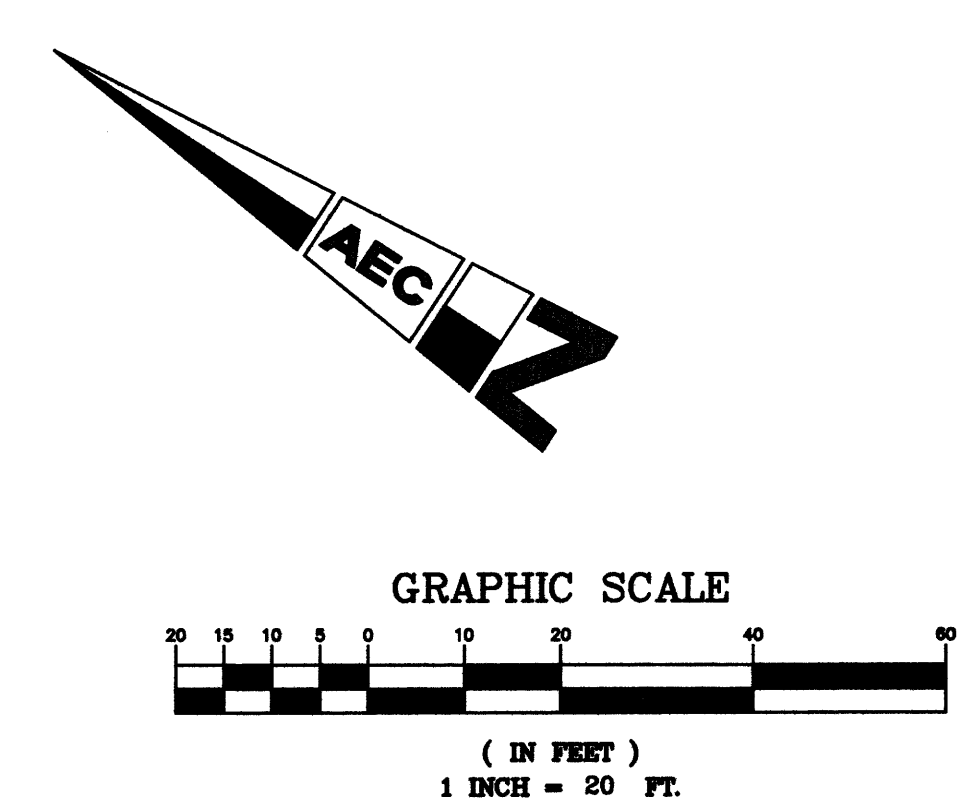
REGULAR STALLS - 17
 ADA STALLS - 5
 TOTAL STALLS - 22



SEE SHEET 2 FOR CONTINUATION

GENERAL NOTES

- SURVEYOR HAS RELIED UPON INFORMATION SUPPLIED IN THE CURRENT TITLE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY REPORT NO. NCS-782250-9-PHIL DATED MARCH 8, 2016 TO DISCLOSE RECORD EASEMENTS THAT BURDEN OR BENEFIT THIS PROPERTY.
- BUILDING SETBACK LINES SHOWN HEREON REFLECT THE INFORMATION AS EXPLAINED BY THE CITY REPRESENTATIVE INDICATED HEREON.
- THE PHRASE "FLOOD HAZARD" WITHIN THE CERTIFICATION HEREON REFERS TO "SPECIAL FLOOD HAZARD AREA" AS DEFINED BY FEMA AND THE NFIP AND ONLY REFERS TO THOSE AREAS ON FLOOD INSURANCE RATE MAPS AS BEING WITHIN ZONES A OR V OF SAID MAPS.
- BY OBSERVATION NO CEMETERIES ARE KNOWN OR FOUND ON SUBJECT PROPERTY.
- NO MONUMENTATION WAS FOUND OR SET AT THE PROPERTY CORNERS UNLESS NOTED OTHERWISE.
- ASSESSORS PARCEL NUMBER FOR THIS PROPERTY IS 008-03-066.
- BEARINGS AND DISTANCES ARE RECORDED AND MEASURED PER PARCEL MAP BOOK 483 PAGE 40 RECORDS OF SAID COUNTY, UNLESS NOTED OTHERWISE.
- SURVEYOR TAKES NO RESPONSIBILITY OF ITEMS OMITTED DUE TO A RESULT OF VISUAL OBSTRUCTIONS, SUCH AS AUTOMOBILES, EQUIPMENT & THICK SHRUBBERY.
- THE BUILDING SQUARE FOOTAGE INDICATED ON THIS PLAN IS BASED ON EXTERIOR DIMENSIONS AT GROUND LEVEL ONLY.
- THIS PLAN AND/OR DATA FILES INCLUDING ALL CONTENTS HEREIN ARE FOR THE SOLE USES AND PARTIES INDICATED HEREON INCLUDING THEIR SUCCESSORS AND ASSIGNS. ANY DEVIATION OR MISUSE OF THIS PLAN AND/OR DATA FILES WITHOUT PRIOR WRITTEN AGREEMENTS BY ANACAL ENGINEERING IS PROHIBITED AND IS THE RESPONSIBILITY OF THE PARTIES USING SAID DRAWING AND/OR DATA FILES, UPON THE REUSE OF THIS PLAN AND/OR DATA FILES ANACAL ENGINEERING RELINQUISHES ALL RESPONSIBILITIES OF THE ACCURACY AND GENERAL CONTENT OF SAID PLAN AND/OR DATA FILES CONTAINED HEREIN.
- NO WETLANDS REPORT WAS PROVIDED AT THE TIME OF THIS SURVEY AND NO WETLANDS WERE INDICATED BY VISUAL INSPECTION.
- THERE IS NO EVIDENCE OF EARTH MOVING WORK, EXTERIOR BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED THAT HAVE BEEN DONE WITHIN RECENT MONTHS.
- THERE IS NO EVIDENCE OF SOLID WASTE DUMP, SLUMP OR SANITARY LAND FILL USE.
- RESEARCH DONE AT THE CITY'S &/OR COUNTY'S PUBLIC WORKS DEPARTMENTS INDICATE THAT THERE ARE NO CHANGES IN THE STREET RIGHT OF WAY LINES AS SHOWN HEREON. FURTHERMORE THERE IS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, HOWEVER IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSION TO VERIFY THIS INFORMATION PRIOR TO ANY FUTURE DESIGN WORK.
- THIS PLAN DOES NOT CONTAIN SUFFICIENT DATA FOR DESIGN PURPOSES AND IS NOT FOR CONSTRUCTION PURPOSES.
- BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION.
- IF UNDERGROUND UTILITIES OR OTHER STRUCTURES, ZONES, SETBACK AND/OR STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCY'S PUBLIC COUNTER AND/OR OTHER SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION DUE TO CHANGED CONDITIONS NOT REFLECTED IN THE STANDARD RESEARCH PERFORMED FOR THIS PROJECT. ANY USER OF SAID INFORMATION ARE URGED TO CONTACT THE UTILITY COMPANY OR LOCAL AGENCY DIRECTLY.
- ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM SPECIFICATIONS UNLESS OTHERWISE NOTED.
- SITE HAS DIRECT ACCESS FROM EMBARCADERO ROAD AND FABER PLACE THROUGH AN EASEMENT PARCEL BOTH PUBLIC RIGHT OF WAYS.
- SURVEYOR DOES NOT ASCERTAIN OWNERSHIP OF FENCES AND PERIMETER WALLS.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENT, SERVITUDES, AND ENCROACHMENTS, ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- ALL RECIPROCAL EASEMENT (IF ANY) THAT THE SURVEYOR HAS BEEN MADE AWARE OF HAVE BEEN DENOTED ON THIS SURVEY. THE LIMITS OF ANY OFFSITE EASEMENTS THAT THE SURVEYOR HAS BEEN MADE AWARE OF ARE ALSO SHOWN (IF ANY).
- THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTIONS OR REPAIRS.
- THE DIFFERENCES BETWEEN CALLS OF RECORD AND THOSE THAT WERE FOUND DO NOT CREATE ANY GAPS OR OTHER TITLE PROBLEMS.
- THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF CALIFORNIA.
- THE PROPERTY HEREON IS THE SAME PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY REPORT NO. NCS-782250-9-PHIL DATED MARCH 8, 2016 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
- ALL AREAS IN RECIPROCAL EASEMENT AGREEMENTS (REAS) HAVE BEEN DENOTED THE SURVEY, THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS ARE ALSO SHOWN ON THE SURVEY, THE LIMITS OF ANY REAS OF OFFSITE APPURTENANT AND BENEFICIAL EASEMENTS TO THE LAND SUBJECT TO THE SURVEY ARE REPORTED, THAT THE SURVEYOR HAS BEEN MADE AWARE OF, INCLUDING THE LOCATIONS OF ALL BUILDINGS, PARKING SPACES, AND OTHER IMPROVEMENTS ON THOSE LANDS.
- THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT OR ANY EXCEPTIONS HAVE BEEN NOTED.
- THE ZONING CLASSIFICATION IF SHOWN ON THE SURVEY, INCLUDING A) THE ZONING CLASSIFICATION AND THE NAME OF THAT DISTRICT, IF ANY; B) THE PERMITTED USES WITHIN THAT CLASSIFICATION; C) IF THE EXISTING USE IS NON-CONFORMING BUT PERMITTED WHETHER THE USE IS "GRAND FATHERED" OR PERMITTED BY ANY SPECIAL APPROVAL, THE DATE OF THAT APPROVAL AND BY WHOM; AND D) THE SOURCE OF INFORMATION (AUTHORITY, NAME AND TITLE), AS PROVIDED TO THE SURVEYOR PER ALTA/ACSM LAND TITLE SURVEY REQUIREMENTS DATED 2005 TABLE A ITEM 6 (A) & (B) AS PROVIDED BY INSURER
- SITE IS CURRENTLY UNDER CONSTRUCTION TEMPORARY CONSTRUCTION FENCE IS NOT SHOWN AREAS OF RIGHT OF WAY AND SITE ARE IN CONSTANT CHANGES DUE TO CONSTRUCTION.



SEE SHEET 2 FOR CONTINUATION

SURVEYORS CERTIFICATE

THE UNDERSIGNED, BEING A REGISTERED SURVEYOR OF THE STATE OF CALIFORNIA CERTIFIES TO (I) FIELDER GROUP (II) HOLMAN AUTOMOTIVE INC. (III) FIRST AMERICAN TITLE INSURANCE COMPANY, AS FOLLOWS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 2, 3, 4, 5, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(g) (LOCATION OF UTILITIES PER VISIBLE, ABOVEGROUND, ON-SITE OBSERVATION) 13, 14, 16, 17, 18, 19, AND 21 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THE CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THE FIELD WORK WAS COMPLETED ON APRIL 1, 2016.

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS.

THE PARTIES LISTED ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.



C. QUEVREL, LS 2988 DATE 4/20/16

NOTE: SECTION 8770.8 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

PROJECT ENGINEER
ANACAL ENGINEERING COMPANY
 CIVIL ENGINEERING & LAND SURVEYING
 1900 EAST LA PALMA AVENUE ~ SUITE 202 ~ ANAHEIM, CALIFORNIA 92805
 PHONE: (714) 774-1763 FAX: (714) 774-4680
 E-MAIL ADDRESS: anacal@anacalengineering.com
 WEB SITE: anacalengineering.com

DATE: 4/19/16
 SCALE: 1" = 20'
 DRAWN: M.L.
 CHECKED: C.J.
 PALO ALTO, CALIFORNIA

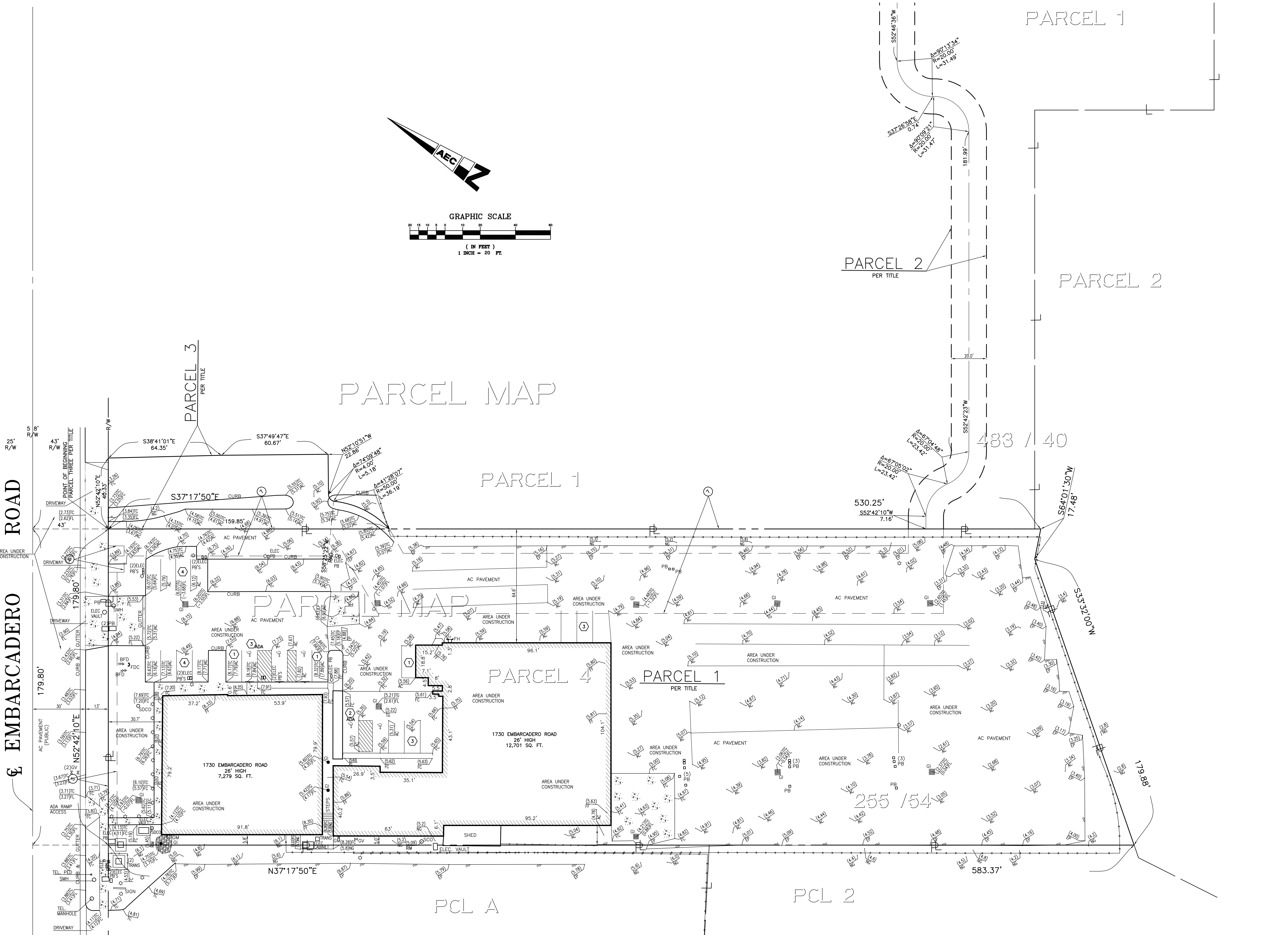
A.L.T.A./A.C.S.M. LAND TITLE SURVEY

1730 EMBARCADERO ROAD

SHEET NO. 1 OF 2
 JOB NO. 16-088AT

SEE SHEET 1 FOR CONTINUATION

SEE SHEET 1 FOR CONTINUATION



EMBARCADERO ROAD

PROJECT ENGINEER
ANACAL ENGINEERING COMPANY
 CIVIL ENGINEERING & LAND SURVEYING
 1900 EAST LA PALMA AVENUE, SUITE 202 ~ ANAHEIM, CALIFORNIA
 92805 PHONE: (714) 774-1763 FAX: (714) 774-4690
 E-MAIL: ADDRESS: anacal@anacalengineering.com WEB SITE: anacalengineering.com

DATE: 4/19/16
 SCALE: 1" = 20'
 DRAWN: M. L.
 CHECKED: C. J. G.

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

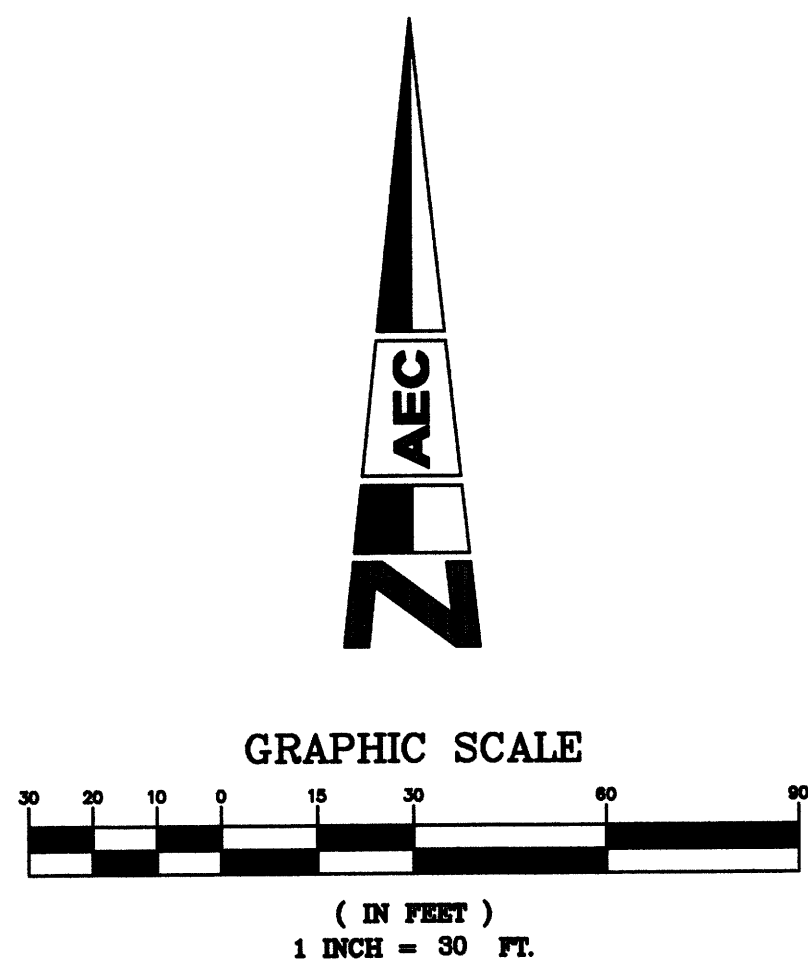
1730 EMBARCADERO ROAD

PALO ALTO, CALIFORNIA

SHEET TITLE: PROJECT: SHEET NO. 2 OF 2
 JOB NO. 16-089AT

LEGEND

Table with 2 columns: Symbol and Description. Includes items like FIRE HYDRANT, ASPHALT PAVEMENT, WATER VALVE, etc.



BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF EMBARCADERO ROAD BEARING NORTH 52°42'10" EAST AS SHOWN ON RECORD OF SURVEY BOOK 838, PAGE 11 RECORDS OF SAID COUNTY.

LIST OF ENCROACHMENTS

NONE TO STATE

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING ALL OF PARCEL 3 AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON JULY 11, 1989 IN BOOK 255 OF MAPS AT PAGE 54 SANTA CLARA COUNTY RECORDS AND A PORTION OF PARCEL 1 AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON OCTOBER 23, 1967 IN BOOK 229 OF MAPS AT PAGE 24, SANTA CLARA COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERLY LINE OF EAST BAYSHORE ROAD AT THE NORTHWEST CORNER OF SAID PARCEL 3;

THENCE ALONG SAID EASTERLY LINE NORTH 16°19.50' WEST, 248.63 FEET;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET, THROUGH A CENTRAL ANGLE OF 49°05.08' FOR AN ARC DISTANCE OF 42.84 FEET TO A POINT ON THE SOUTHERLY LINE OF EMBARCADERO ROAD;

THENCE ALONG SAID SOUTHERLY LINE NORTH 52°42.10' EAST 251.52 TO THE MOST NORTHERLY CORNER OF THE LANDS OF THE HC INVESTMENT ASSOCIATES LP AS DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED ON JULY 11, 2006 AS DOCUMENT NO. 19010187, SANTA CLARA COUNTY RECORDS;

THENCE ALONG THE EASTERLY LINE OF SAID LANDS OF HC INVESTMENT ASSOCIATES LP AND THE EASTERLY LINE OF SAID PARCEL 3, SOUTH 37°17.50' EAST, 341.83 TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL 3;

THENCE ALONG SAID SOUTHERLY LINE, SOUTH 55°41.07' WEST, 393.67 FEET TO A POINT ON THE EASTERLY LINE OF EAST BAYSHORE ROAD;

THENCE ALONG SAID EASTERLY LINE NORTH 16°19.50' WEST, 84.13 FEET TO THE POINT OF BEGINNING AS DESCRIBED IN THAT CERTIFICATE OF COMPLIANCE (LOT LINE ADJUSTMENT MERGER) RECORDED DECEMBER 17, 2009 AS INSTRUMENT NO. 20544106 OF OFFICIAL RECORDS.

APN: 008-03-084 ARB: 008-03-084 AND 008-03-085

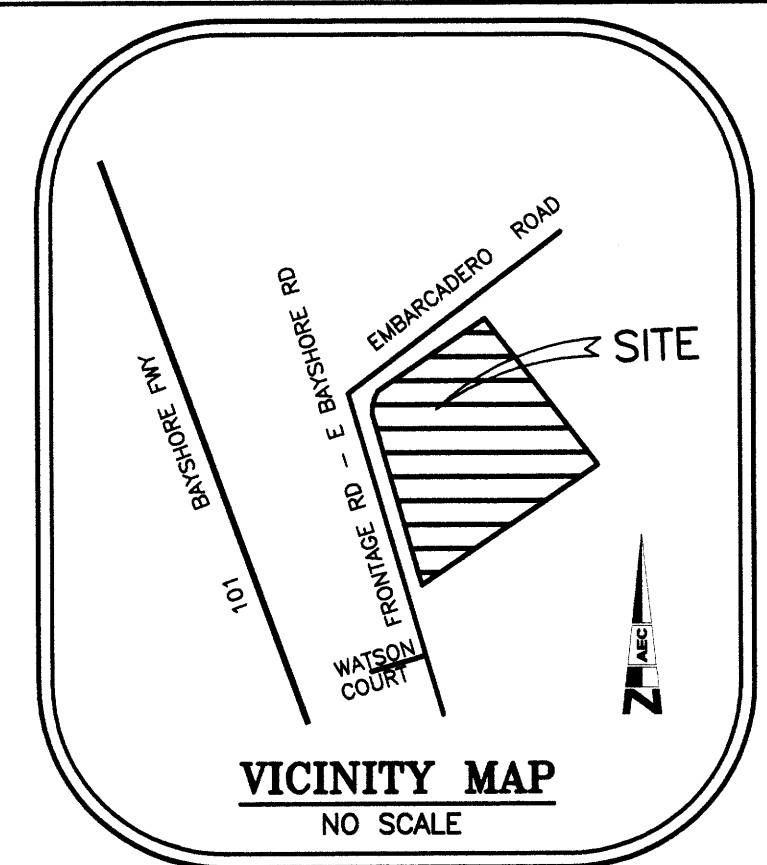


Table with 2 columns: Category and Value. Includes LAND AREA (170,378 SQUARE FEET), PARKING COUNT (REGULAR STALLS - 84, ADA STALLS - 6, TOTAL STALLS - 90).

EASEMENT NOTES

THE FOLLOWING ITEMS WERE FOUND IN TITLE REPORT NO. NCS-713746-SM DATED FEBRUARY 2, 2015 BY FIRST AMERICAN TITLE INSURANCE COMPANY:

- 3 RIGHT TO ERECT AND MAINTAIN A DOUBLE LINE OF POLES AND WIRES STRUNG THEREON AND A RIGHT OF WAY FOR THE SAME OVER A STRIP OF LAND 40 FEET IN WIDTH TOGETHER WITH THE RIGHT OF ENTRY FOR THE PURPOSE OF ERECTING AND MAINTAINING THE SAID POLES AND WIRES AND THEIR APPURTENANCES AS AWARDED TO STANDARD ELECTRIC COMPANY, BY THAT CERTAIN DECREE IN CONDEMNATION ENTERED OCTOBER 18, 1904 IN THAT CERTAIN ACTION HAD IN THE SUPERIOR COURT OF THE STATE OF CALIFORNIA, IN AND FOR THE COUNTY OF SANTA CLARA ENTITLED, "STANDARD ELECTRIC COMPANY, PLAINTIFF VS. THOMAS SEALE ET AL DEFENDANTS", CASE NO. 13815, (AFFECTS THE SOUTHWESTERLY 40 FEET OF SAID LAND), PORTION AFFECTS SUBJECT FEE PROPERTY AND IS PLOTTED HEREON.

SURVEYORS CERTIFICATE

THE UNDERSIGNED, BEING A REGISTERED SURVEYOR OF THE STATE OF CALIFORNIA CERTIFIES TO (I) MERCEDES-BENZ FINANCIAL SERVICES USA LLC, ITS SUCCESSORS AND/OR ASSIGNS (II) JONES PALO ALTO REAL PROPERTY, LLC (III) FIRST AMERICAN TITLE INSURANCE COMPANY AS FOLLOWS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011 AND INCLUDES ITEMS 2, 3, 4, 6, 7(c), 7(b)(1), 7(c), 8, 9, 10, 11(c) (LOCATION OF UTILITIES PER VISIBLE ABOVEGROUND, ON-SITE OBSERVATION) 13, 14, 16, 17, 18, 19, AND 21 OF TABLE A THEREOF TO THE ACCURACY STANDARDS AS SET FORTH BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THE CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."

THE PARTIES LISTED ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.



D. C. QUEYREL, LS 7709 DATE 5/15/15

FLOOD ZONE INFORMATION

ZONE: AE (EL.10.5) BASE FLOOD ELEVATION DETERMINED PANEL NO. 0608500303H DATE: MAY 18, 2009

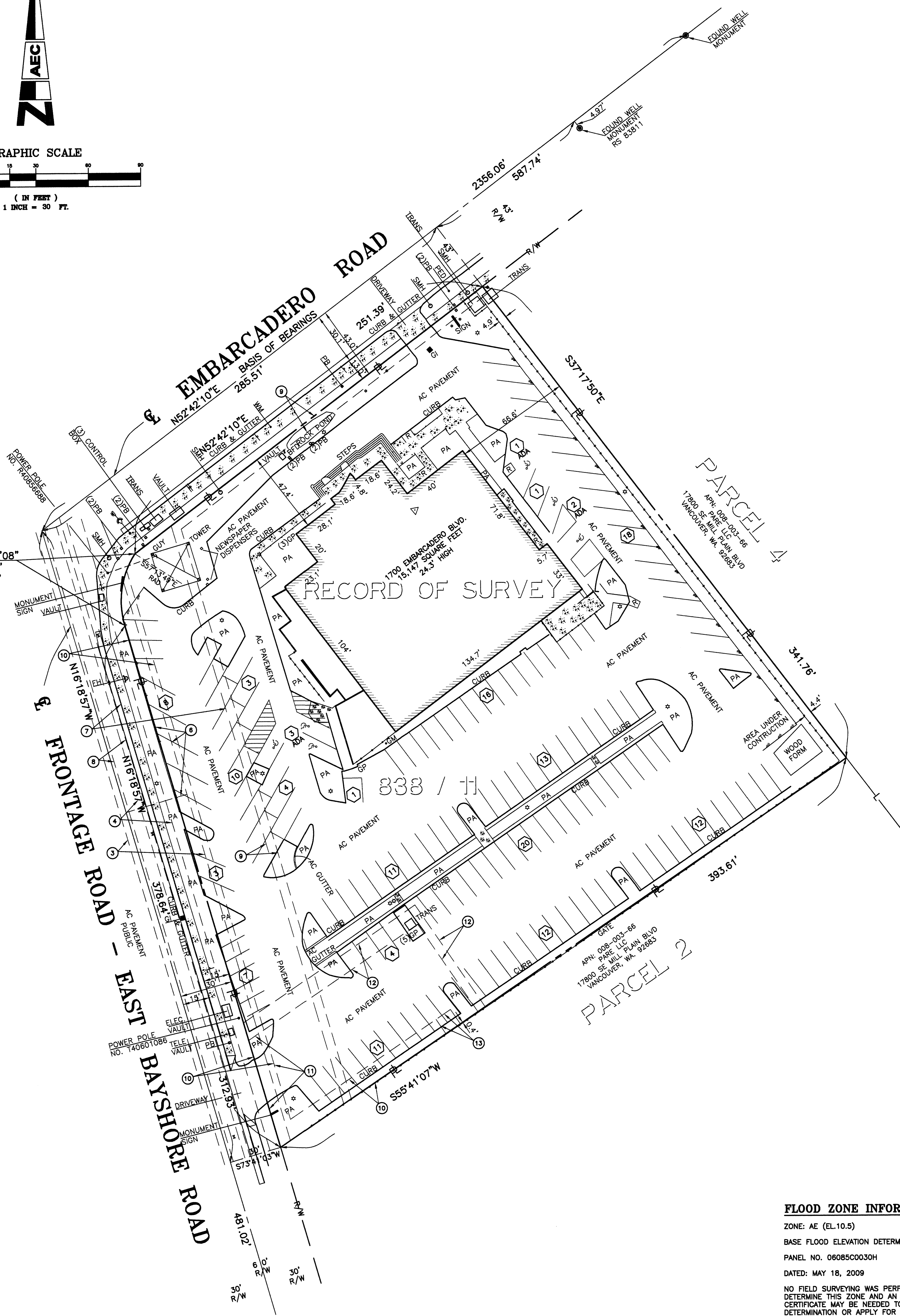
NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONING INFORMATION

ZONE: CS (D) SERVICE COMMERCIAL SETBACKS: FRONT: 0'-10' TO CREATE AN 8'-12' SIDEWALK SIDE: 0 STREET: N/A REAR: 0 BULK: 0.4:1 FLOOR AREA RATIO HEIGHT: 50' PARKING RESTRICTIONS: 1 SPACE PER 60 GROSS FLOOR AREA OF PUBLIC SERVICE AREA PLUS 1 SPACE PER 200 GROSS FLOOR AREA FOR ALL OTHER AREAS, BICYCLE PARKING 1 PER 600 GROSS FLOOR AREA OF PUBLIC SERVICE PLUS 1 PER 200 GROSS FLOOR AREA OF ALL OTHER AREAS.

GENERAL NOTES

- 1. SURVEYOR HAS RELIED UPON INFORMATION SUPPLIED IN THE CURRENT TITLE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY REPORT NO. NCS-713746-SM DATED FEBRUARY 2, 2015 TO DISCLOSE RECORD EASEMENTS THAT BURDEN OR BENEFIT THIS PROPERTY.
- 2. BUILDING SETBACK LINES SHOWN HEREON REFLECT THE INFORMATION AS EXPLAINED BY THE CITY REPRESENTATIVE INDICATED HEREON.
- 3. THE PHRASE "FLOOD HAZARD" WITHIN THE CERTIFICATION HEREON REFERS TO "SPECIAL FLOOD HAZARD AREA" AS DEFINED BY FEMA AND THE NFIP AND ONLY REFERS TO THOSE AREAS ON FLOOD INSURANCE RATE MAPS AS BEING WITHIN ZONES A OR X OF SAID MAPS.

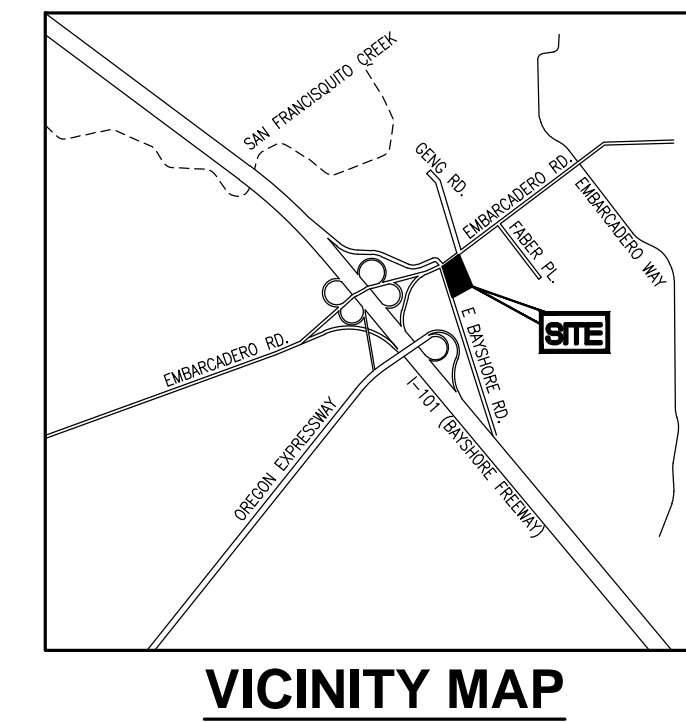


Vertical sidebar containing project information: ANACAL ENGINEERING COMPANY, PROJECT ENGINEER, A.L.T.A./A.C.S.M. LAND TITLE SURVEY, 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA, SHEET TITLE, SHEET NO. 1, JOB NO. 15-044A.

MERCEDES BENZ / AUDI OF PALO ALTO

DESIGN DEVELOPMENT PLANS

1700/1730 E. EMBARCADERO ROAD | PALO ALTO, CALIFORNIA 94303



| PROPOSED | LEGEND | EXISTING |
|----------|-------------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| --- | 1-FOOT CONTOUR | --- |
| --- | 5-FOOT CONTOUR | --- |
| --- | WATER LINE | --- |
| --- | FIRE PROTECTION WATER LINE | --- |
| --- | SANITARY SEWER LINE | --- |
| --- | STORM DRAIN LINE | --- |
| --- | OVERHEAD ELECTRIC | --- |
| --- | UNDERGROUND ELECTRIC | --- |
| --- | GAS LINE (INSTALLED BY CPAU FORCES) | --- |
| X | FENCE | X |
| | TREE | |
| | SIGN | |
| | FIRE HYDRANT | |
| | WATER METER/VALVE | |
| | WATER BACK FLOW PREVENTER | |
| | SEWER MANHOLE | |
| | CLEANOUT | |
| | STORM MANHOLE/INLET | |
| | GAS METER/VALVE | |
| | ELECTRIC BOX/Vault/PEDESTAL/MANHOLE | |
| | ELECTRIC TRANSFORMER | |
| | TELEPHONE PEDESTAL/MANHOLE | |
| | LIGHT POLE, UTILITY POLE | |
| | LIGHT/TRAFFIC POLE | |

| PAVING LEGEND | |
|---------------|--|
| [Pattern] | PROPOSED LANDSCAPED AREA |
| [Pattern] | PROPOSED RIVER ROCK |
| [Pattern] | PROPOSED PCC SIDEWALK |
| [Pattern] | PROPOSED HEAVY DUTY PCC PAVEMENT |
| [Pattern] | PROPOSED HEAVY DUTY AC PAVEMENT |
| [Pattern] | PROPOSED STANDARD DUTY AC PAVEMENT |
| [Pattern] | PROPOSED TRUNCATED DOME DETECTABLE WARNING SURFACE |
| [Pattern] | PROPOSED STORMWATER BMP |
| [Pattern] | MILL AND OVERLAY |
| [Pattern] | STAMPED CONCRETE (DECORATIVE) |

EXISTING LEGAL DESCRIPTION:

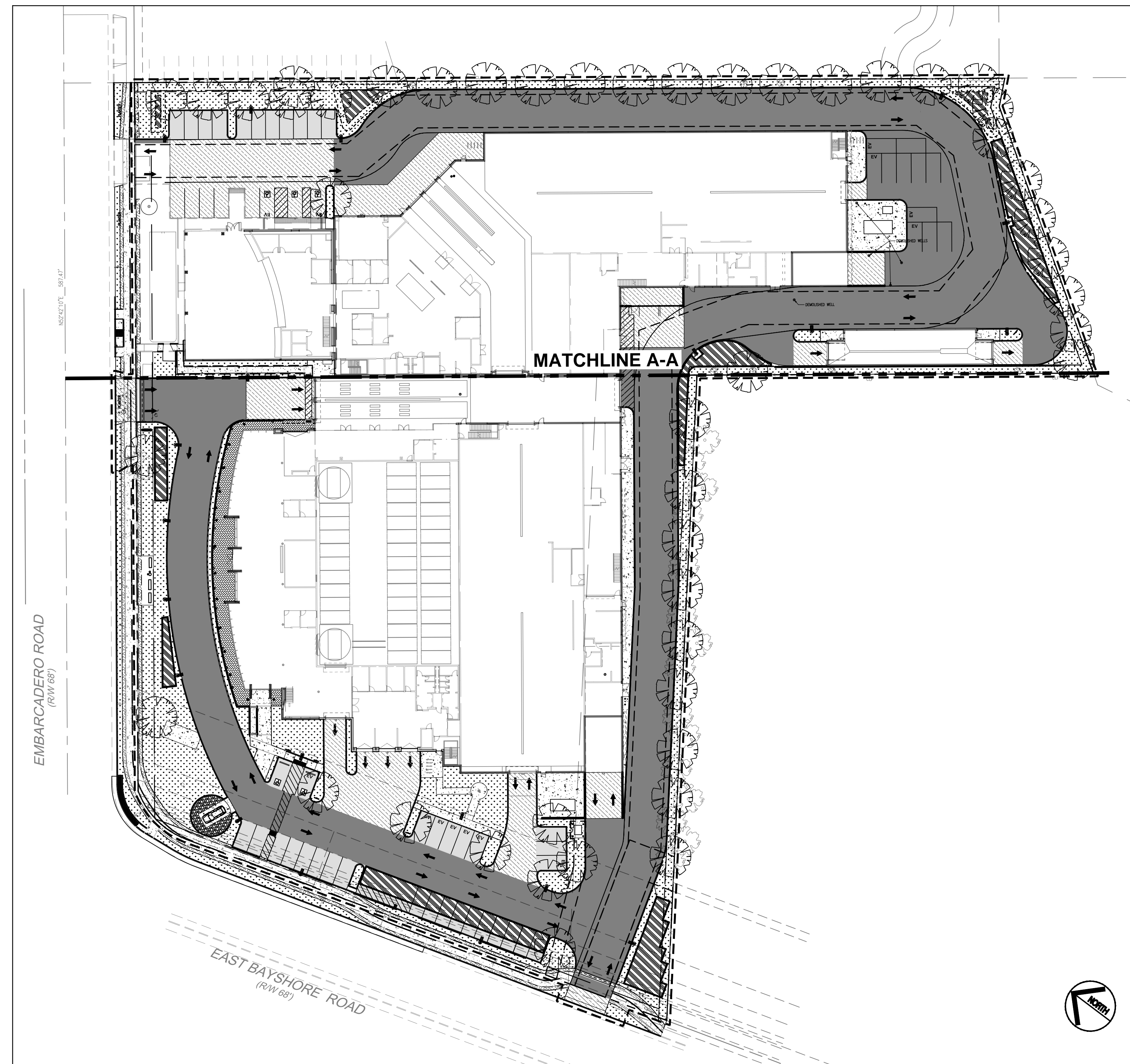
REAL PROPERTY IN THE CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:
PARCEL 4, AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED JULY 1, 1969 IN BOOK 255, PAGE 54 OF MAPS, RECORDS OF SANTA CLARA COUNTY, CALIFORNIA.

PARCEL TWO:
AN EXCLUSIVE EASEMENT: 20.00 FEET IN WIDTH FOR THE PURPOSE OF INGRESS AND EGRESS, AS CREATED BY THAT CERTAIN EASEMENT AGREEMENT DATED FEBRUARY 13, 1998 AND RECORDED FEBRUARY 13, 1998, INSTRUMENT NO. 14053158, UPON THE TERMS AND PROVISIONS CONTAINED THEREIN, THE CENTERLINE OF SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1 OF THAT CERTAIN PARCEL MAP FILED APRIL 29, 1981 IN BOOK 483 OF MAPS, AT PAGE 40, OFFICIAL RECORDS OF SANTA CLARA COUNTY, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF THE AFOREMENTIONED PARCEL 1 (483 M 40), SAID MOST EASTERLY CORNER BEING A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF FABER PLACE 60 FEET IN WIDTH AS SAID RIGHT OF WAY SHOWN ON THAT CERTAIN RECORD OF SANTA CLARA COUNTY; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE ALONG THE ARC OF A 3030.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS, NORTH 52°38'11" EAST THROUGH A CENTRAL ANGLE OF 3°11'03" AN ARC DISTANCE OF 186.02 FEET, TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE LEAVING SAID SOUTHWESTERLY RIGHT OF WAY LINE, SOUTH 56°06'34" WEST, 4.74 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF 20.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 35°21'55" AN ARC DISTANCE OF 12.34 FEET TO A POINT OF REVERSE CURVATURE; THENCE WESTERLY ALONG A 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 32°01'57", AND ARC DISTANCE OF 11.18 FEET; THENCE SOUTH 52°46'36" WEST, 82.58 FEET; THENCE WESTERLY AND SOUTHERLY ALONG THE ARC ON A 20.00 FEET RADIUS, TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 90°13'34", AN ARC DISTANCE OF 31.49 FEET; THENCE SOUTH 37°26'58" EAST, 0.74 FEET; THENCE SOUTHERLY AND SOUTHWESTERLY ALONG THE ARC OF 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°09'21", AN ARC DISTANCE OF 31.47 FEET; THENCE SOUTH 52°42'23" WEST, 181.99 FEET; THENCE SOUTHWESTERLY AND WESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 67°04'48" AN ARC DISTANCE OF 23.42 FEET TO A POINT OF REVERSE CURVATURE; THENCE WESTERLY AND SOUTHWESTERLY ALONG ARC OF A 20.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 67°05'02", AN ARC DISTANCE OF 23.42 FEET; THENCE SOUTH 52°42'10" WEST 7.16 FEET TO THE WESTERLY LINE OF SAID PARCEL 1 (483 MAPS 40) AND THE SOUTHWESTERLY TERMINUS OF THE DESCRIPTION; THE SIDELINES OF SAID STRIP ARE TO BE SHORTENED OR LENGTHENED TO TERMINATE AT THE EASTERLY AND WESTERLY BOUNDARY LINE OF SAID PARCEL 1 (483 MAPS 40).



CIVIL ON-SITE CIVIL IMPROVEMENT PLANS / LIMITS OF CONSTRUCTION
SCALE: 1"=40'

ABBREVIATIONS

| | | | | | | | |
|----------|---|------|----------------------------------|--------|-------------------------------------|------|----------------------------|
| AC | ASPHALT CONCRETE | EX | EXISTING | MTR | METER | ST | STREET |
| ADA | AMERICANS WITH DISABILITIES ACT | FDC | FIRE DEPARTMENT CONNECTION | N | NORTH | STD | STANDARD |
| APN | ASSESSORS PARCEL NUMBER | FF | FINISHED FLOOR | NG | NATURAL GROUND | STLT | STREET LIGHT |
| APWA | AMERICAN PUBLIC WORKS ASSOCIATION | FG | FINISHED GRADE | N.I.C. | NOT IN CONTRACT | SW | SIDEWALK |
| AVE | AVENUE | FL | FIRE FLOW LINE | NO | NUMBER | T | TELEPHONE |
| BLDG | BUILDING | FND | FOUND | N.T.S. | NOT TO SCALE | TBM | TEMPORARY BENCHMARK |
| BLVD | BOULEVARD | FOC | FACE OF CURB | O.C. | ON CENTER | TC | TOP OF CURB |
| BOOK | BOOK | OH | OVERHEAD | OV | OVERHANG | TCD | TRAFFIC CONTROL DEVICE |
| BM | BENCHMARK | FP | FIRE PROTECTION FINISHED SURFACE | P | PAVEMENT | TEV | TELEPHONE VAULT |
| BOP | BOTTOM OF PIPE | FS | FINISHED SURFACE | PB | PULL BOX | TL | TRAFFIC LIGHT |
| BSM | BIO-TREATMENT SOIL MIX | FT | FEET | PCC | PORTLAND CEMENT CONCRETE | TOE | TOE OF SLOPE |
| C | CONCRETE | FW | FRONT OF WALK | PW | PARKWAY | TOP | TOP OF SLOPE / TOP OF PIPE |
| CA | CALIFORNIA | FWC | FACE OF WALL CONCRETE | PV | POST INDICATOR VALVE | TS | TRAFFIC SIGNAL |
| CASQA | CALIFORNIA STORMWATER QUALITY ASSOCIATION | G | GAS | POC | POINT OF CONNECTION | TSPB | TRAFFIC SIGNAL PULL BOX |
| CB | CATCH BASIN | GB | GRADE BREAK | PP | POWER POLE | TULT | TELEPHONE VAULT |
| CCTV | CLOSED-CIRCUIT TELEVISION | GV | GAS VALVE | PVC | POLYVINYL CHLORIDE | TOW | TOP OF WALL |
| CL | CENTERLINE | HDPE | HIGH-DENSITY POLYETHYLENE | RD | ROAD | TPP | TYPICAL |
| CLP | CLEAR | HWY | HIGHWAY | RPPA | REDUCED PRESSURE PRINCIPLE ASSEMBLY | UE | UNDERGROUND ELECTRIC |
| COMM | COMMUNICATION | HYD | HYDRANT | S | SLOPE / SANITARY / SOUTH | UT | UNDERGROUND TELEPHONE |
| CONC | CONCRETE | IE | INVERT ELEVATION | INVERT | INVERT | UTIL | UTILITY |
| CULT | COMMUNICATION VAULT | INV | INVERT | VAR | VARIABLE | VAT | VACUUM AIR TUBE |
| DCV | DETECTOR CHECK VALVE | IV | IRRIGATION VALVE | VAC | VACUUM | VLT | VAULT |
| DCDA | DOUBLE CHECK DETECTOR | JP | JOINT POLE | VLT | VACUUM | W | WEST |
| ASSEMBLY | | L | LENGTH | W | WITH | WM | WATER METER |
| DIA | DROP INLET | L/S | LANDSCAPE | WF | WATER FINISH | WTR | WATER LINE |
| DWG | DRAWING | LF | LINAL FEET | SL | STREET LIGHT | WV | WATER VALVE |
| ECAB | ELECTRIC / EAST | LT | LUMEN | SLPB | STREET LIGHT PULL BOX | WVL | WATER VAULT |
| ELVT | ELECTRIC VAULT | LUM | LUMINAIRE | SP | SPECIFIC PLAN | | |
| | | MAX | MAXIMUM | SPEC | SPECIFICATION | | |
| | | MH | MANHOLE | SSCO | SANITARY SEWER CLEAN OUT | | |
| | | MIN | MINIMUM | SSMH | SANITARY SEWER MANHOLE | | |
| | | MON | MONUMENT | | | | |

CIVIL SHEET INDEX

| | |
|--------|--|
| C00.00 | CIVIL COVER SHEET |
| C01.00 | EXISTING CONDITIONS PLAN |
| C01.01 | EXISTING CONDITIONS PLAN |
| C01.02 | DEMOLITION PLAN |
| C01.03 | DEMOLITION PLAN |
| C02.00 | SITE AND PAVING PLAN |
| C02.01 | SITE AND PAVING PLAN |
| C02.02 | SITE CROSS SECTIONS |
| C03.00 | GRADING AND DRAINAGE PLAN |
| C03.01 | GRADING AND DRAINAGE PLAN |
| C04.00 | STORM WATER CONTROL PLAN (SWCP) |
| C04.01 | RELOCATED STORM SEWER PLAN AND PROFILE |
| C05.00 | ON-SITE PRIVATE UTILITY PLAN |
| C05.01 | ON-SITE PRIVATE UTILITY PLAN |

SITE INFORMATION:

APN: 008-03-066, 008-03-084
ZONING: CS (D) - COMMERCIAL SERVICES
FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE 'AE' PER FIRM PANEL NO. 06085C0030H, DATED X, ZONE AE IS DEFINED AS AREAS DETERMINED TO BE INSIDE THE 100 YEAR FLOOD WITH A BASE ELEVATION OF 10.5.

| SUMMARY: | |
|------------------------------|-----------------------------|
| PARCEL AREA | = 209,888± SF (4.82± ACRES) |
| TOTAL DISTURBED AREA | = 209,888± SF (4.82± ACRES) |
| TOTAL ON-SITE DISTURBED AREA | = 194,030± SF (4.45± ACRES) |

| ON-SITE AREA SUMMARY: | |
|---------------------------|----------------------|
| EXISTING IMPERVIOUS AREA | = 161,431± SF |
| EXISTING PERVIOUS AREA | = 32,196± SF |
| PROPOSED IMPERVIOUS AREA | = 164,968± SF |
| PROPOSED PERVIOUS AREA | = 29,922± SF |
| CHANGE IN IMPERVIOUS AREA | = 3,537± SF INCREASE |

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROWING ENGINEERS, INC. TITLED, "GEO-TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP, 1700/1730 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303," DATED AUGUST 2015. FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06085C0030H DATED MAY 18, 2009.

TREE PROTECTION NOTES:

- ALL TREE PROTECTION AND INSPECTION SCHEDULE MEASURES, DESIGN RECOMMENDATIONS, WATERING AND CONSTRUCTION SCHEDULING SHALL BE IMPLEMENTED IN FULL BY OWNER AND CONTRACTOR, AS STATED ON SHEET T-1, IN THE TREE PROTECTION REPORT, AND THE APPROVED PLANS.
- UTILITY TRENCHING SHALL NOT OCCUR WITHIN THE TPZ OF PROTECTED TREES. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT NO TRENCHING OCCURS WITHIN THE TPZ OF THE PROTECTED TREES BY CONTRACTORS, CITY CREWS OR FINAL LANDSCAPE WORKERS.
- PRUNING RESTRICTIONS - NO PRUNING OR CLEARANCE CUTTING OF BRANCHES IS PERMITTED ON CITY TREES. CONTRACTOR SHALL OBTAIN A PUBLIC TREE PERMIT FROM URBAN FORESTRY (650-496-5953) FOR ANY WORK ON TREES.
- EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN THE RESPECTIVE DRIP LINES FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 650-496-5953. ANY CHANGES SHALL BE APPROVED BY THE SAME.

WORK IN THE RIGHT OF WAY NOTES:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ON-SITE OR WITHIN PRIVATE PROPERTY.

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
CIVIL COVER SHEET

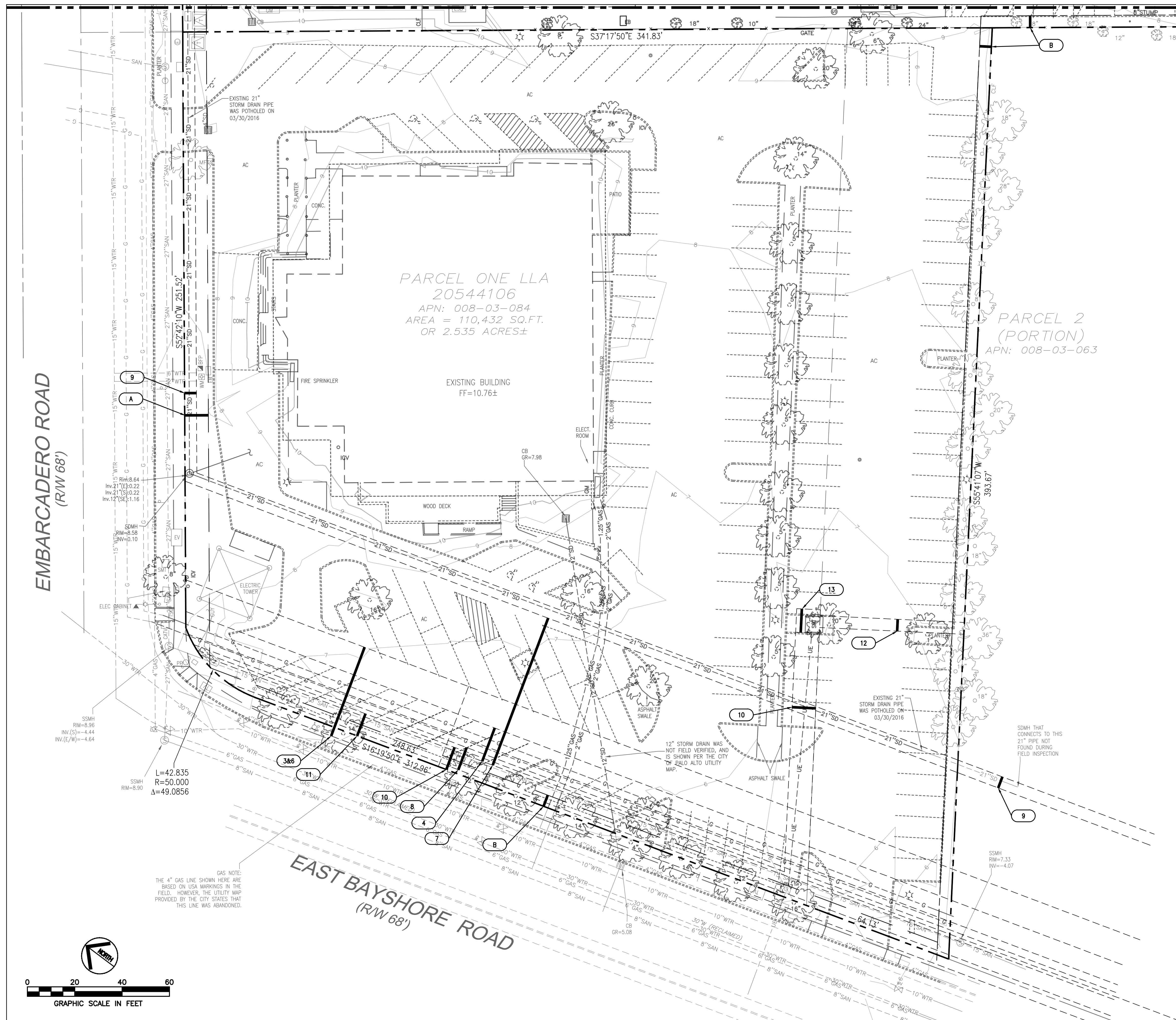
Sheet Number:
C00.00



ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR CHANGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

CALL 811 OR 1-800-227-2600
WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG

MATCHLINE A-A: SEE SHEET C01.01



| PROPOSED | LEGEND | EXISTING |
|----------|-------------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| 9 | 1-FOOT CONTOUR | 9 |
| 10 | 5-FOOT CONTOUR | 10 |
| WTR | WATER LINE | WTR |
| FP | FIRE PROTECTION WATER LINE | FP |
| SS | SANITARY SEWER LINE | SAN |
| SD | STORM DRAIN LINE | SD |
| OE | OVERHEAD ELECTRIC | OE |
| UE | UNDERGROUND ELECTRIC | UE |
| 2"G | GAS LINE (INSTALLED BY CPAU FORCES) | G |
| X | FENCE | X |
| + | TREE | + |
| + | SIGN | + |
| + | FIRE HYDRANT | + |
| + | WATER METER/VALVE | + |
| + | WATER BACK FLOW PREVENTER | + |
| + | SEWER MANHOLE | + |
| + | CLEANOUT | + |
| + | STORM MANHOLE/INLET | + |
| + | GAS METER/VALVE | + |
| + | ELECTRIC BOX/WALY/PEDESTAL/MANHOLE | + |
| + | ELECTRIC TRANSFORMER | + |
| + | TELEPHONE PEDESTAL/MANHOLE | + |
| + | LIGHT POLE, UTILITY POLE | + |
| + | LIGHT/TRAFFIC POLE | + |

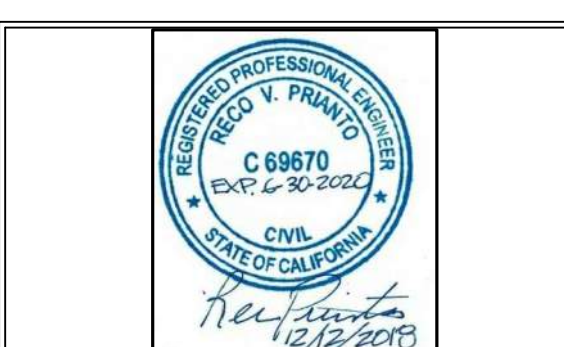
ysm DESIGN
 RETAILAUTOMOTIVEARCHITECTURE

1320 Ellsworth Industrial Blvd
 Suite A-100
 Atlanta GA 30318
 404-249-4555 tel
 404-355-6394 fax

www.ysmdesign.com

CALICHI

CALICHI DESIGN GROUP
 1 N. LASALLE SUITE 3950
 CHICAGO, IL 60602
 (312) 940-4393
 www.calichi.com



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-063 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06065C0030H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

EASEMENT KEY NOTES

- ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
- EXISTING 15' PG&E GAS LINE EASEMENT PER (468 O.R. 94).
- EXISTING 40' PG&E GAS METERING EASEMENT PER (656 O.R. 394).
- EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
- EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 568).
- EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
- EXISTING 5' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8517 O.R. 596).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8535 O.R. 632).
- EXISTING 15' X 9' CITY OF PALO ALTO PUBLIC UTILITY EASEMENT (M908 O.R. 0048).
- EXISTING 20' PRIVATE ACCESS EASEMENT (DOC. NO. 23442600).

SETBACK KEY NOTES

- (A) EXISTING 10' FRONT LANDSCAPE SETBACK
- (B) EXISTING 5' SIDE/REAR LANDSCAPE SETBACK

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

CALL 811 OR 1-800-227-2600

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

WWW.USANORTH.ORG
 CALL TWO WORKING DAYS BEFORE YOU DIG

Client:
Holman Automotive

1730 Embarcadero Rd
 Palo Alto, CA 94303

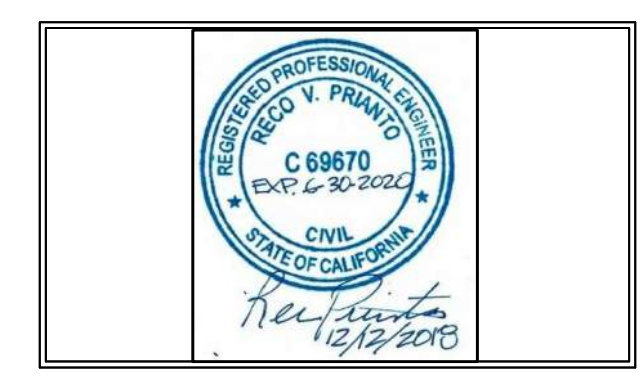
Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
 Palo Alto, CA 94303

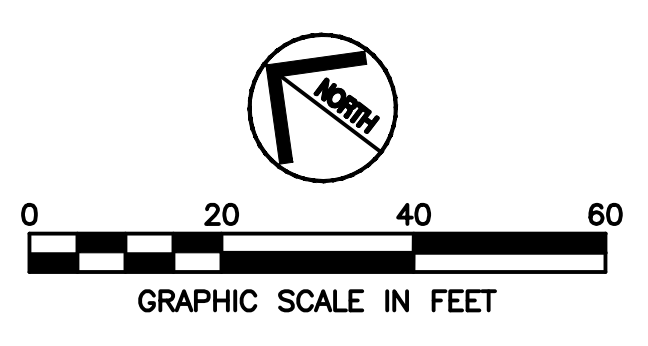
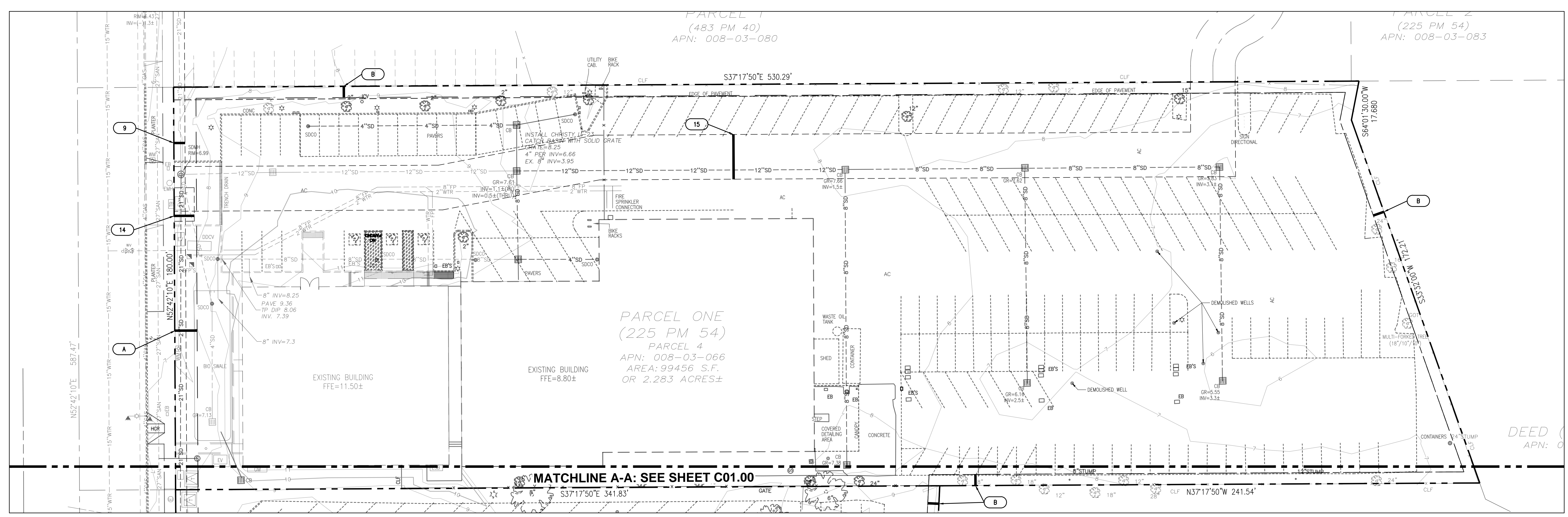
Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
EXISTING CONDITIONS PLAN

Sheet Number:
C01.00



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |



| PROPOSED | LEGEND | EXISTING |
|----------|-------------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| 9 | 1-FOOT CONTOUR | 9 |
| 10 | 5-FOOT CONTOUR | 10 |
| WTR | WATER LINE | WTR |
| FP | FIRE PROTECTION WATER LINE | FP |
| SS | SANITARY SEWER LINE | SAN |
| SD | STORM DRAIN LINE | SD |
| OE | OVERHEAD ELECTRIC | OE |
| UE | UNDERGROUND ELECTRIC | UE |
| 2" G | GAS LINE (INSTALLED BY CP&U FORCES) | G |
| X | FENCE | X |
| | TREE | |
| | SIGN | |
| | FIRE HYDRANT | |
| | WATER METER/VALVE | |
| | WATER BACK FLOW PREVENTER | |
| | SEWER MANHOLE | |
| | CLEANOUT | |
| | STORM MANHOLE/INLET | |
| | GAS METER/VALVE | |
| | ELECTRIC BOX/WAULT/PEDESTAL/MANHOLE | |
| | ELECTRIC TRANSFORMER | |
| | TELEPHONE PEDESTAL/MANHOLE | |
| | LIGHT POLE, UTILITY POLE | |
| | LIGHT/TRAFFIC POLE | |

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-066 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06085C0030H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

EASEMENT KEY NOTES

- ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
- EXISTING 15' PG&E GAS LINE EASEMENT PER (468 O.R. 94).
- EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
- EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 568).
- EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
- EXISTING 5' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8517 O.R. 596).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8535 O.R. 632).
- EXISTING 15' X 9' CITY OF PALO ALTO PUBLIC UTILITY EASEMENT (M908 O.R. 0048).
- EXISTING 20' PRIVATE ACCESS EASEMENT (DOC. NO. 23442600).

SETBACK KEY NOTES

- (A) EXISTING 10' FRONT LANDSCAPE SETBACK
- (B) EXISTING 5' SIDE/REAR LANDSCAPE SETBACK

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303," DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

CALL 811 OR 1-800-227-2600

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

WWW.USANORTH.ORG
 CALL TWO WORKING DAYS BEFORE YOU DIG

Client:
Holman Automotive

1730 Embarcadero Rd
 Palo Alto, CA 94303

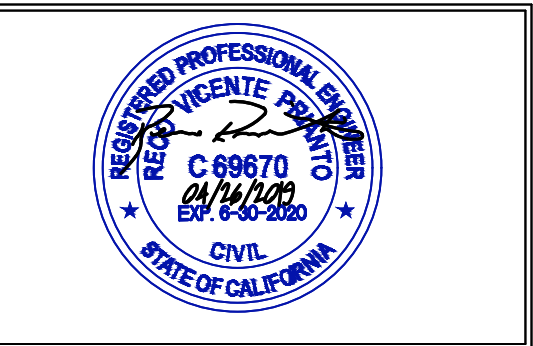
Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
 Palo Alto, CA 94303

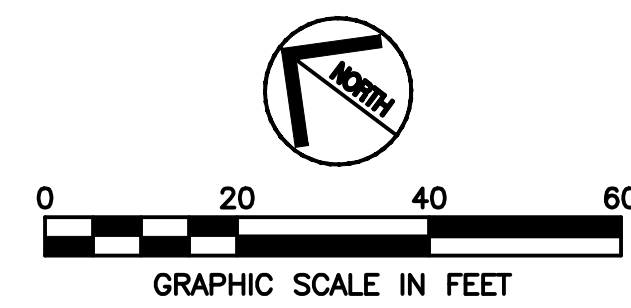
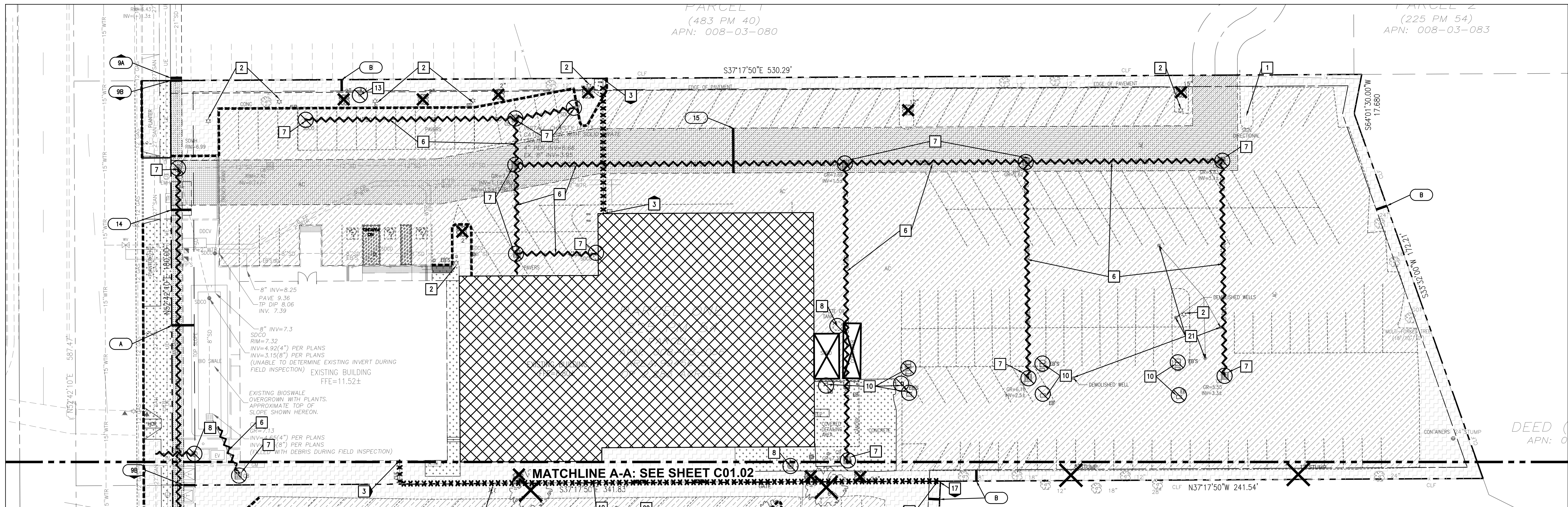
Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
EXISTING CONDITIONS PLAN

Sheet Number:
C01.01



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |
| Z8 | 11/05/19 | Planning Commission |



| PROPOSED | LEGEND | EXISTING |
|----------|-------------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| 9 | 1-FOOT CONTOUR | 9 |
| 10 | 5-FOOT CONTOUR | 10 |
| WTR | WATER LINE | WTR |
| FP | FIRE PROTECTION WATER LINE | FP |
| SS | SANITARY SEWER LINE | SS |
| SD | STORM DRAIN LINE | SD |
| OE | OVERHEAD ELECTRIC | OE |
| UE | UNDERGROUND ELECTRIC | UE |
| 2"G | GAS LINE (INSTALLED BY CPAU FORCES) | 2"G |
| X | FENCE | X |
| | TREE | |
| | SIGN | |
| | FIRE HYDRANT | |
| | WATER METER/VALVE | |
| | WATER BACK FLOW PREVENTER | |
| | SEWER MANHOLE | |
| | CLEANOUT | |
| | STORM MANHOLE/INLET | |
| | GAS METER/VALVE | |
| | ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE | |
| | ELECTRIC TRANSFORMER | |
| | TELEPHONE PEDESTAL/MANHOLE | |
| | LIGHT POLE, UTILITY POLE | |
| | LIGHT/TRAFFIC POLE | |

| DEMOLITION LEGEND | DEMOLITION PLAN KEY NOTES |
|-------------------|--|
| [Pattern] | 1 DEMO AND REMOVE EXISTING SIGN |
| [Pattern] | 2 DEMO AND REMOVE EXISTING LIGHT POLE, REUSE OR RELOCATE IF POSSIBLE |
| [Pattern] | 3 DEMO AND REMOVE EXISTING FENCE |
| [Pattern] | 4 DEMO AND REMOVE EXISTING WOOD DECK |
| [Pattern] | 5 DEMO AND REMOVE EXISTING STAIRS |
| [Pattern] | 6 DEMO AND REMOVE EXISTING STORM LINE |
| [Pattern] | 7 DEMO AND REMOVE EXISTING STORM STRUCTURE |
| [Pattern] | 8 DEMO AND REMOVE EXISTING SANITARY STRUCTURE |
| [Pattern] | 9 DEMO AND REMOVE EXISTING BURIED ELECTRICAL UTILITY LINE |
| [Pattern] | 10 DEMO AND REMOVE EXISTING ELECTRICAL UTILITY EQUIPMENT / VAULTS |
| [Pattern] | 11 DEMO AND REMOVE EXISTING BURIED GAS LINE |
| [Pattern] | 12 DEMO AND REMOVE EXISTING GAS UTILITY EQUIPMENT |
| [Pattern] | 13 DEMO AND REMOVE EXISTING WATER UTILITY STRUCTURE |
| [Pattern] | 14 DEMO AND REMOVE EXISTING WALL |
| [Pattern] | 15 EXISTING ELECTRICAL TOWER TO REMAIN - PROTECT IN PLACE |
| [Pattern] | 16 EXISTING FIRE HYDRANT TO REMAIN - PROTECT IN PLACE |
| [Pattern] | 17 EXISTING FENCE TO REMAIN - PROTECT IN PLACE |
| [Pattern] | 18 RELOCATE EXISTING FIRE HYDRANT |
| [Pattern] | 19 EXISTING WELL PER STATE OF CALIFORNIA DEPARTMENT OF WATER RESOURCES. PROTECT IN PLACE/ADJUST TO FINISHED GRADE. |
| [Pattern] | 20 EXISTING WELL PER STATE OF CALIFORNIA DEPARTMENT OF WATER RESOURCES. RELOCATION IS REQUIRED. |
| [Pattern] | 21 APPROXIMATE LOCATION OF PREVIOUSLY DEMOLISHED WELL. |
| [Pattern] | 22 EXISTING TELECOM VAULT TO BE RELOCATED. SEE SHEET C05.00 FOR REVISED LOCATION. |

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-083 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 060650030H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

EASEMENT KEY NOTES

- 3 ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
- 4 EXISTING 15' PG&E GAS LINE EASEMENT PER (468 O.R. 94) TO BE VACATED AS A PART OF THIS PROJECT.
- 6 EXISTING 40' PG&E GAS METERING EASEMENT PER (656 O.R. 394) TO BE VACATED AS A PART OF THIS PROJECT.
- 7 EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
- 8 EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 568).
- 9A EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331) TO REMAIN.
- 9B EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331) TO BE VACATED.
- 10A EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634) TO REMAIN.
- 10B EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634) TO BE VACATED.
- 11 EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
- 12 EXISTING 5' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8517 O.R. 596) TO BE VACATED.
- 13 EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8535 O.R. 632) TO BE VACATED.

- 14 EXISTING 15' X 9' CITY OF PALO ALTO PUBLIC UTILITY EASEMENT (#908 O.R. 0048)
- 15 EXISTING 20' PRIVATE ACCESS EASEMENT (DOC. NO. 23442600) TO BE VACATED.

SETBACK KEY NOTES

- A EXISTING 10' FRONT LANDSCAPE SETBACK
- B EXISTING 5' SIDE/REAR LANDSCAPE SETBACK

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO-TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303," DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

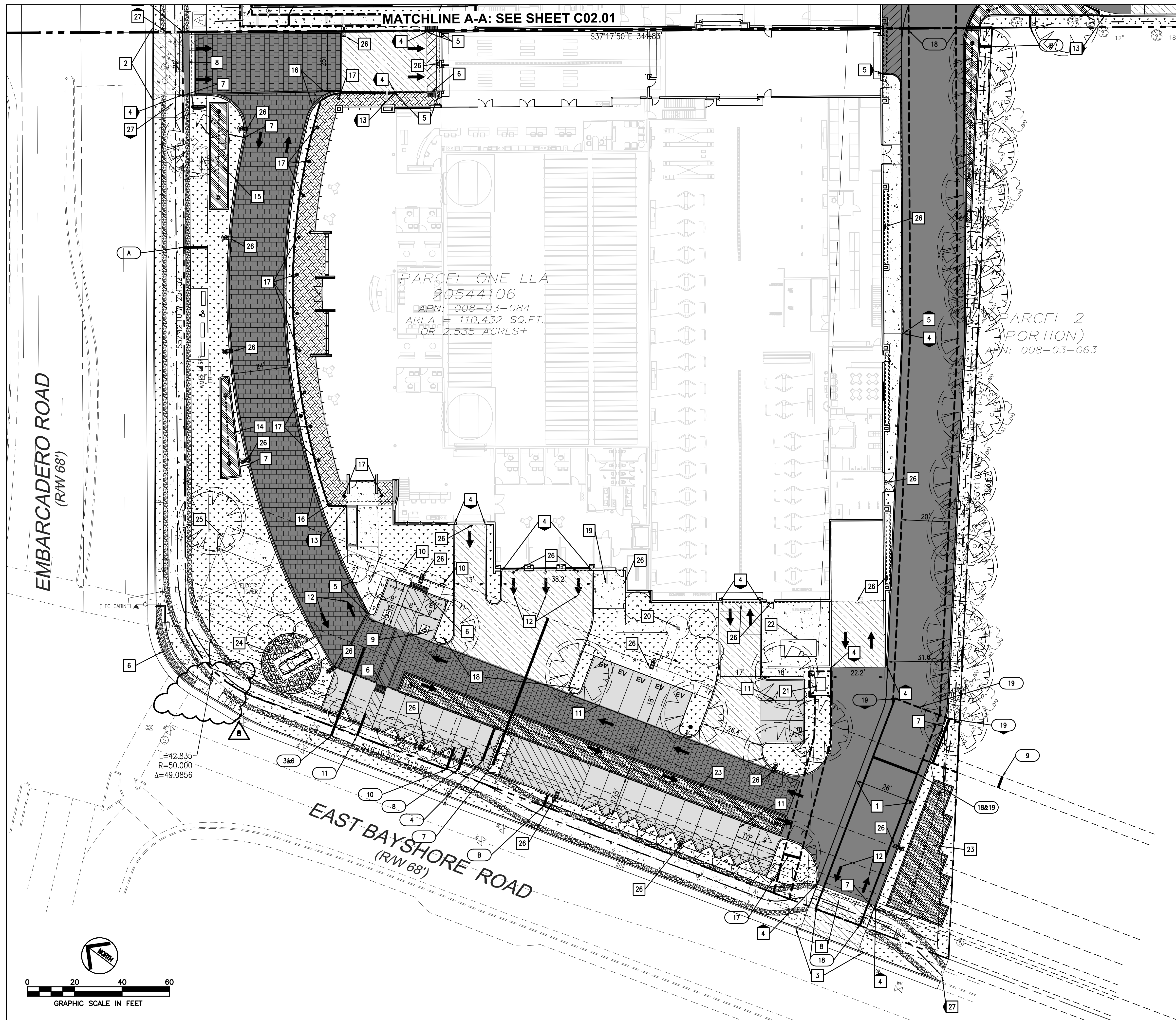
Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
DEMOLITION PLAN

Sheet Number:
C01.03



| PROPOSED | LEGEND | EXISTING |
|----------|-------------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| 9 | 1-FOOT CONTOUR | 9 |
| 10 | 5-FOOT CONTOUR | 10 |
| --- | WATER LINE | --- |
| WTR | FIRE PROTECTION WATER LINE | WTR |
| FP | SANITARY SEWER LINE | SAN |
| SS | STORM DRAIN LINE | SD |
| SD | OVERHEAD ELECTRIC | OE |
| OE | UNDERGROUND ELECTRIC | UE |
| UE | GAS LINE (INSTALLED BY CP&U FORCES) | G |
| 2"G | FENCE | X |
| X | TREE | + |
| + | SIGN | + |
| + | FIRE HYDRANT | + |
| + | WATER METER/VALVE | + |
| + | WATER BACK FLOW PREVENTER | + |
| + | SEWER MANHOLE | + |
| + | CLEANOUT | + |
| + | STORM MANHOLE/INLET | + |
| + | GAS METER/VALVE | + |
| + | ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE | + |
| + | ELECTRIC TRANSFORMER | + |
| + | TELEPHONE PEDESTAL/MANHOLE | + |
| + | LIGHT POLE, UTILITY POLE | + |
| + | LIGHT/TRAFFIC POLE | + |

| SITE PLAN LEGEND | |
|------------------|--|
| --- | EASEMENT WIDTH INDICATOR |
| [Pattern] | PROPOSED LANDSCAPED AREA |
| [Pattern] | PROPOSED RIVER ROCK |
| [Pattern] | PROPOSED PCC SIDEWALK |
| [Pattern] | PROPOSED HEAVY DUTY PCC PAVEMENT |
| [Pattern] | PROPOSED HEAVY DUTY AC PAVEMENT |
| [Pattern] | PROPOSED STANDARD DUTY AC PAVEMENT |
| [Pattern] | PROPOSED TRUNCATED DOME DETECTABLE WARNING SURFACE |
| [Pattern] | PROPOSED STORMWATER BMP |
| [Pattern] | MILL AND OVERLAY |
| --- | PROPOSED FLUSH CURB |
| [Pattern] | STAMPED CONCRETE (DECORATIVE) |
| [Pattern] | TREE PROTECTION FENCING |
| [Pattern] | HEAVY DUTY AC WITH PAVING PATTERN, SEE LANDSCAPE PLANS FOR DETAILS |

| SITE PLAN KEY NOTES | |
|---------------------|---|
| 1 | PROPOSED 26 FOOT WIDE FIRE LANE. |
| 2 | PROPOSED DRIVEWAY TYPE "A" CURB & GUTTER PER PALO ALTO STANDARD DETAIL 120. |
| 3 | PROPOSED DRIVEWAY TYPE "A" CURB WITH ADJACENT BIKEPATH. |
| 4 | PROPOSED 6" TALL PCC BARRIER CURB. |
| 5 | PROPOSED FLUSH (0" HEIGHT) CURB. |
| 6 | PROPOSED ACCESSIBLE CURB RAMP (WITH TRUNCATED DOME WARNING SURFACE ONLY WHEN ADJACENT TO VEHICULAR RIGHT-OF-WAY). |
| 7 | PROPOSED 2' WIDE CURB CUT FOR STORM WATER CONVEYANCE. |
| 8 | PROPOSED 2' WIDE VALLEY GUTTER - MODIFIED PALO ALTO STANDARD DRAWING 132A. |
| 9 | PROPOSED ACCESSIBLE PARKING STALL, WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA, AND ACCESSIBLE MARKINGS PER STATE OF CALIFORNIA TITLE 24. |
| 10 | PROPOSED ACCESSIBLE SIGNAGE. |
| 11 | PROPOSED 4" PARKING STALL STRIPE, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. (TYP) |
| 12 | PROPOSED DIRECTIONAL ARROW AND/OR TEXT, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. DIMENSIONS PER MUTCD STANDARDS. (TYP) |
| 13 | PROPOSED STRUCTURAL RETAINING WALL. |
| 14 | PROPOSED TREATMENT CONTROL BIORETENTION PLANTER WITH 4" PERFORATED PVC UNDERDRAIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS. |
| 15 | PROPOSED BIORETENTION BASIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS. |
| 16 | PROPOSED LIMITS OF BUILDING OVERHANG. |
| 17 | PROPOSED BUILDING COLUMN. (TYP) |
| 18 | PROPOSED "EXIT ONLY DO NOT ENTER" SIGN. |
| 19 | PROPOSED BICYCLE RACKS. SEE ARCHITECTURAL PLANS FOR DETAILS. |
| 20 | PROPOSED FLAGPOLE. SEE ARCHITECTURAL PLANS FOR DETAILS. |
| 21 | PROPOSED TRANSFORMER ON CONCRETE PAD. |
| 22 | PROPOSED GENERATOR ON CONCRETE PAD. |
| 23 | PROPOSED FLOW-THROUGH PLANTER WITH 4" PERFORATED PVC UNDERDRAIN AND DRIVING SURFACE GRATE. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS. |
| 24 | PROPOSED FLUSH VEHICLE DISPLAY. |
| 25 | CONCRETE PAD TO BE CONSTRUCTED PER PG&E DIRECTION. |
| 26 | PROPOSED LIGHTING FIXTURE. SEE ARCHITECTURAL AND LIGHTING PLANS. |
| 27 | PROPOSED 8' WIDE MULTI-USE PATH W/ 2' GRAVEL SHOULDERS. |
| 28 | PROPOSED BARRIER FENCE ON TOP OF PLANTER WALL. |

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-063 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06085C0030H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

EASEMENT KEY NOTES

- ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
- EXISTING 15' PG&E GAS LINE EASEMENT PER (468 O.R. 94) TO BE VACATED AS A PART OF THIS PROJECT.
- EXISTING 40' PG&E GAS METERING EASEMENT PER (656 O.R. 394) TO BE VACATED AS A PART OF THIS PROJECT.
- EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
- EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 568).
- EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
- EXISTING 15' X 9' CITY OF PALO ALTO PUBLIC UTILITY EASEMENT (M908 O.R. 0040).
- PROPOSED 5' WIDE ACCESS EASEMENT FROM MB BUILDING TO EMBARCADERO ROAD ROW.
- PROPOSED ELECTRICAL SERVICE DUCT BANK EASEMENT. EASEMENT WIDTH TO BE WIDTH OF DUCT BANK PLUS 2.5' ON EITHER SIDE.
- PROPOSED 20' WIDE ACCESS EASEMENT TO BE DEDICATED AS A PART OF THIS PROJECT.
- PROPOSED 20' WIDE STORM DRAIN EASEMENT.

SETBACK KEY NOTES

- A EXISTING 10' FRONT LANDSCAPE SETBACK
- B EXISTING 5' SIDE/REAR LANDSCAPE SETBACK

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO-TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303," DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVERCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

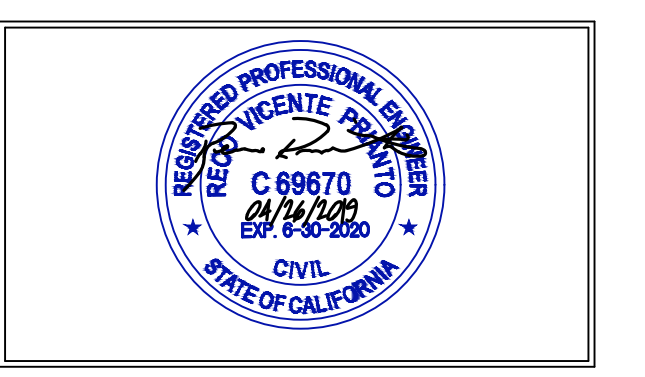
CALL 811 OR 1-800-227-2600
CALL BEFORE YOU DIG
 THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
 WWW.USANORTH.ORG
 CALL TWO WORKING DAYS BEFORE YOU DIG

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

ysm DESIGN
 RETAIL/AUTOMOTIVE ARCHITECTURE
 1320 Ellsworth Industrial Blvd
 Suite A-100
 Atlanta GA 30318
 404-249-4555 tel
 404-355-6394 fax
 www.ysmdesign.com

CALICHI
 CALICHI DESIGN GROUP
 1 N. LASALLE SUITE 3950
 CHICAGO, IL 60602
 (312) 940-4393
 WWW.CALICHI.COM



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |
| Z8 | 11/05/19 | Planning Commission |

Client:
Holman Automotive
 1730 Embarcadero Rd
 Palo Alto, CA 94303

Project:
MERCEDES BENZ / AUDI of PALO ALTO
 1730 Embarcadero Rd
 Palo Alto, CA 94303

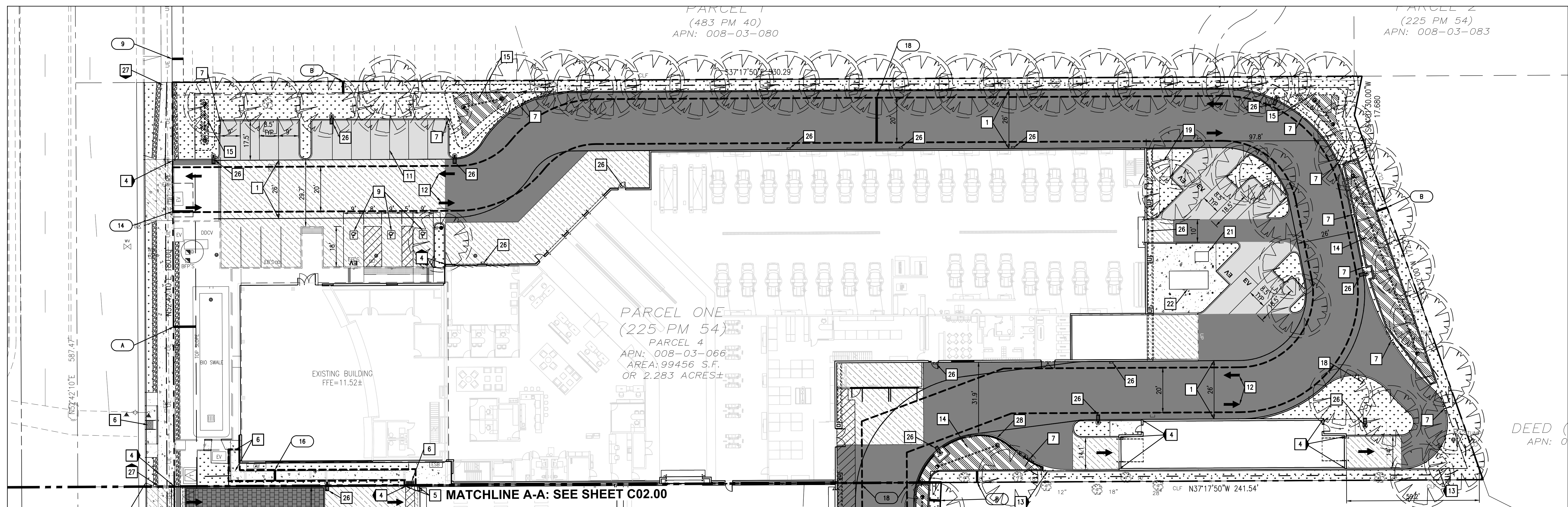
Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
SITE AND PAVING PLAN

Sheet Number:
C02.00



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |
| Z8 | 11/05/19 | Planning Commission |



| PROPOSED | LEGEND | EXISTING |
|----------|-------------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| 9 | 1-FOOT CONTOUR | 9 |
| 10 | 5-FOOT CONTOUR | 10 |
| WTR | WATER LINE | WTR |
| FP | FIRE PROTECTION WATER LINE | FP |
| SS | SANITARY SEWER LINE | SS |
| SD | STORM DRAIN LINE | SD |
| OE | OVERHEAD ELECTRIC | OE |
| UE | UNDERGROUND ELECTRIC | UE |
| 2" G | GAS LINE (INSTALLED BY CPAU FORCES) | 2" G |
| X | FENCE | X |
| ● | TREE | ● |
| ○ | SIGN | ○ |
| ○ WM | FIRE HYDRANT | ○ WM |
| ○ BEE | WATER METER/VALVE | ○ BEE |
| ○ | WATER BACK FLOW PREVENTER | ○ |
| ○ | SEWER MANHOLE | ○ |
| ○ | CLEANOUT | ○ |
| ○ | STORM MANHOLE/INLET | ○ |
| ○ | GAS METER/VALVE | ○ |
| □ | ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE | □ |
| □ | ELECTRIC TRANSFORMER | □ |
| □ | TELEPHONE PEDESTAL/MANHOLE | □ |
| □ | LIGHT POLE, UTILITY POLE | □ |
| □ | LIGHT/TRAFFIC POLE | □ |

| EXISTING | PROPOSED | SITE PLAN LEGEND |
|----------|----------|--|
| --- | --- | EASEMENT WIDTH INDICATOR |
| 9 | 9 | PROPOSED LANDSCAPED AREA |
| 10 | 10 | PROPOSED RIVER ROCK |
| WTR | WTR | PROPOSED PCC SIDEWALK |
| FP | FP | PROPOSED HEAVY DUTY PCC PAVEMENT |
| SS | SS | PROPOSED HEAVY DUTY AC PAVEMENT |
| SD | SD | PROPOSED STANDARD DUTY AC PAVEMENT |
| OE | OE | PROPOSED TRUNCATED DOME DETECTABLE WARNING SURFACE |
| UE | UE | PROPOSED STORMWATER BMP |
| 2" G | 2" G | MILL AND OVERLAY |
| X | X | PROPOSED FLUSH CURB |
| ● | ● | STAMPED CONCRETE (DECORATIVE) |
| ○ | ○ | TREE PROTECTION FENCING |
| □ | □ | HEAVY DUTY AC WITH PAVING PATTERN, SEE LANDSCAPE PLANS FOR DETAILS |

- ### SITE PLAN KEY NOTES
- PROPOSED 26 FOOT WIDE FIRE LANE.
 - PROPOSED DRIVEWAY TYPE "A" CURB & GUTTER PER PALO ALTO STANDARD DETAIL 120.
 - PROPOSED DRIVEWAY TYPE "A" CURB WITH ADJACENT BIKEPATH.
 - PROPOSED 6" TALL PCC BARRIER CURB.
 - PROPOSED FLUSH (0" HEIGHT) CURB.
 - PROPOSED ACCESSIBLE CURB RAMP (WITH TRUNCATED DOME WARNING SURFACE ONLY WHEN ADJACENT TO VEHICULAR RIGHT-OF-WAY).
 - PROPOSED 2' WIDE CURB CUT FOR STORM WATER CONVEYANCE.
 - PROPOSED 2' WIDE VALLEY GUTTER - MODIFIED PALO ALTO STANDARD DRAWING 132A.
 - PROPOSED ACCESSIBLE PARKING STALL, WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA, AND ACCESSIBLE MARKINGS PER STATE OF CALIFORNIA TITLE 24.
 - PROPOSED ACCESSIBLE SIGNAGE.
 - PROPOSED 4" PARKING STALL STRIPE, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. (TYP)
 - PROPOSED DIRECTIONAL ARROW AND/OR TEXT, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. DIMENSIONS PER MUTCD STANDARDS. (TYP)
 - PROPOSED STRUCTURAL RETAINING WALL.
 - PROPOSED TREATMENT CONTROL BIORETENTION PLANTER WITH 4" PERFORATED PVC UNDERDRAIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
 - PROPOSED BIORETENTION BASIN. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
 - PROPOSED LIMITS OF BUILDING OVERHANG.
 - PROPOSED BUILDING COLUMN. (TYP)
 - PROPOSED "EXIT ONLY DO NOT ENTER" SIGN.
 - PROPOSED BICYCLE RACKS. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED FLAGPOLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED TRANSFORMER ON CONCRETE PAD.
 - PROPOSED GENERATOR ON CONCRETE PAD.
 - PROPOSED FLOW-THROUGH PLANTER WITH 4" PERFORATED PVC UNDERDRAIN AND DRIVING SURFACE GRATE. SEE SHEET C03.00 FOR DETAILS. SEE LANDSCAPE PLANS FOR PLANTINGS.
 - PROPOSED FLUSH VEHICLE DISPLAY.
 - CONCRETE PAD TO BE CONSTRUCTED PER PG&E DIRECTION.
 - PROPOSED LIGHTING FIXTURE. SEE ARCHITECTURAL AND LIGHTING PLANS.
 - PROPOSED 8' WIDE MULTI-USE PATH W/ 2' GRAVEL SHOULDERS.
 - PROPOSED BARRIER FENCE ON TOP OF PLANTER WALL.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-083 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06065C0030H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

EASEMENT KEY NOTES

- ORIGINAL 40' WIDE EASEMENT FOR DOUBLE LINE OF POLES AND WIRES TO STANDARD ELECTRIC CO. BY DECREE IN CONDEMNATION OCT. 18, 1904 OF SANTA CLARA COUNTY SUPERIOR COURT CASE NO. 13,815.
- EXISTING 15' PG&E GAS LINE EASEMENT PER (468 O.R. 94) TO BE VACATED AS A PART OF THIS PROJECT.
- EXISTING 40' PG&E GAS METERING EASEMENT PER (656 O.R. 394) TO BE VACATED AS A PART OF THIS PROJECT.
- EXISTING 60' PG&E TOWER LINE AND STEEL POLE LINE EASEMENT PER (790 O.R. 287).
- EXISTING 10' CITY OF PALO ALTO SANITARY SEWER LINE EASEMENT PER (4441 O.R. 568).
- EXISTING 5' CITY OF PALO ALTO STORM DRAINAGE EASEMENT PER (6138 O.R. 331).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8047 O.R. 634).
- EXISTING 10' CITY OF PALO ALTO UNDERGROUND ELECTRICAL EASEMENT PER (8054 O.R. 680).
- EXISTING 15' X 9' CITY OF PALO ALTO PUBLIC UTILITY EASEMENT (M908 O.R. 0046).
- PROPOSED 5' WIDE ACCESS EASEMENT FROM MB BUILDING TO EMBARCADERO ROAD ROW.
- PROPOSED ELECTRICAL SERVICE DUCT BANK EASEMENT. EASEMENT WIDTH TO BE WIDTH OF DUCT BANK PLUS 2.5' ON EITHER SIDE.
- PROPOSED 20' WIDE ACCESS EASEMENT TO BE DEDICATED AS A PART OF THIS PROJECT.
- PROPOSED 20' WIDE STORM DRAIN EASEMENT

NOTE: THE RIGHTS OF AVIATION AND OVERFLIGHT ABOVE ELEVATIONS 154' AMSL ACROSS THE ENTIRE PARCEL WERE GRANTED TO THE CITY OF PALO ALTO MAY 6, 2010, BY DOCUMENT NO 20702116.

SETBACK KEY NOTES

- EXISTING 10' FRONT LANDSCAPE SETBACK
- EXISTING 5' SIDE/REAR LANDSCAPE SETBACK

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

CALL 811 OR 1-800-227-2600
CALL BEFORE YOU DIG

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

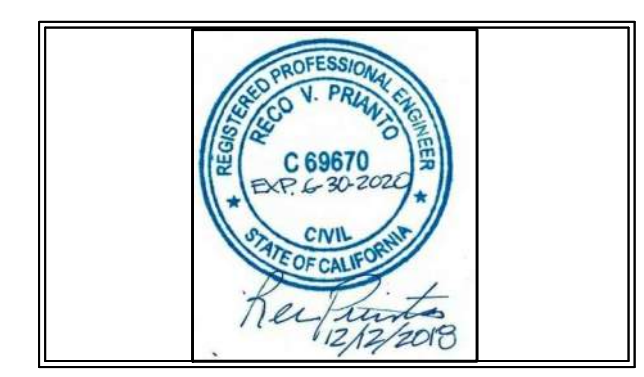
Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
SITE AND PAVING PLAN

Sheet Number:
C02.01



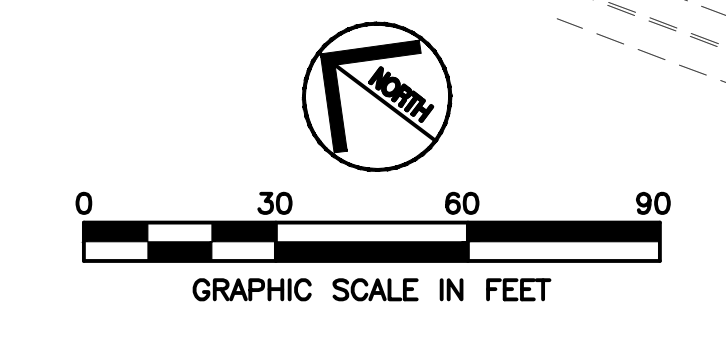
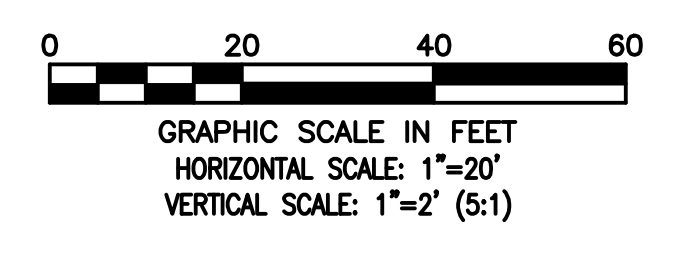
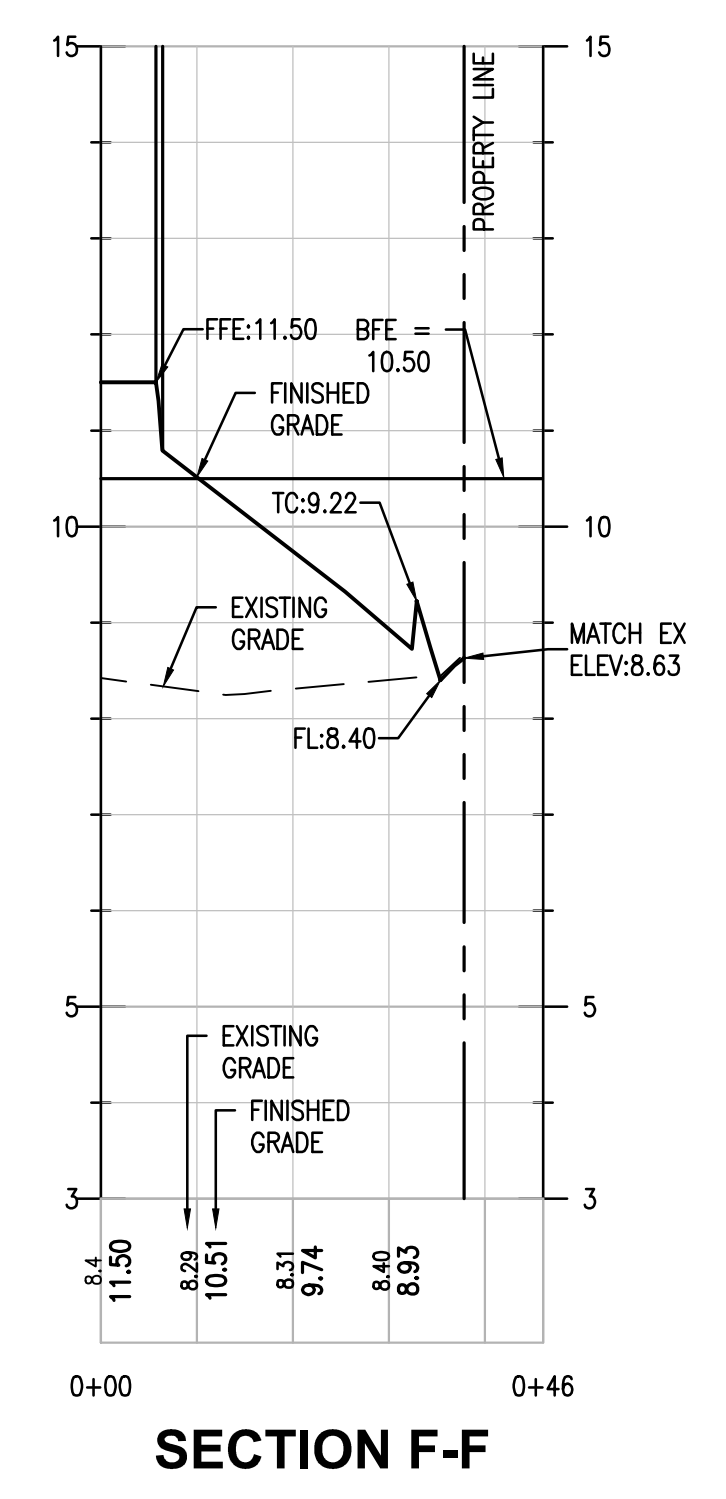
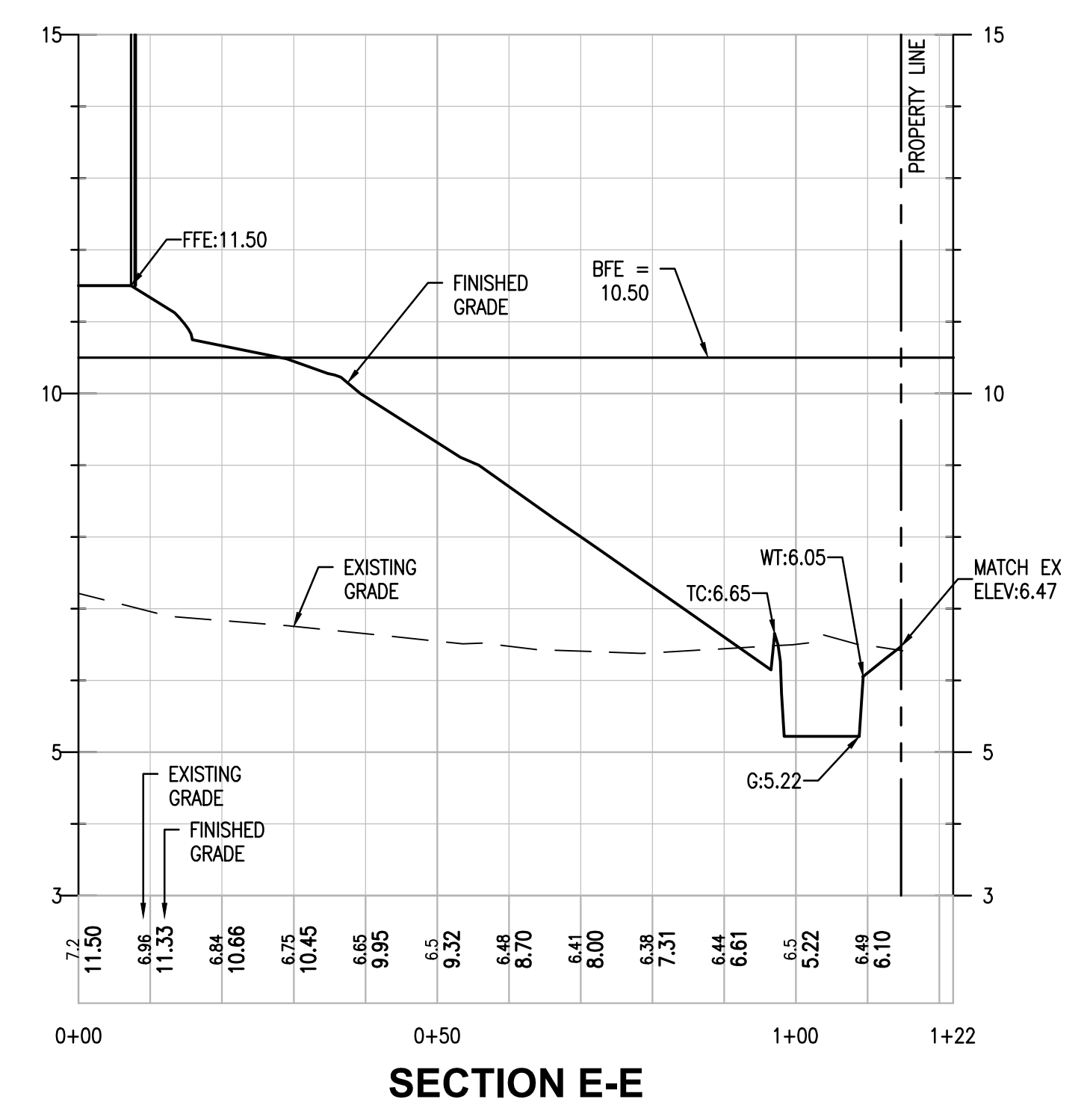
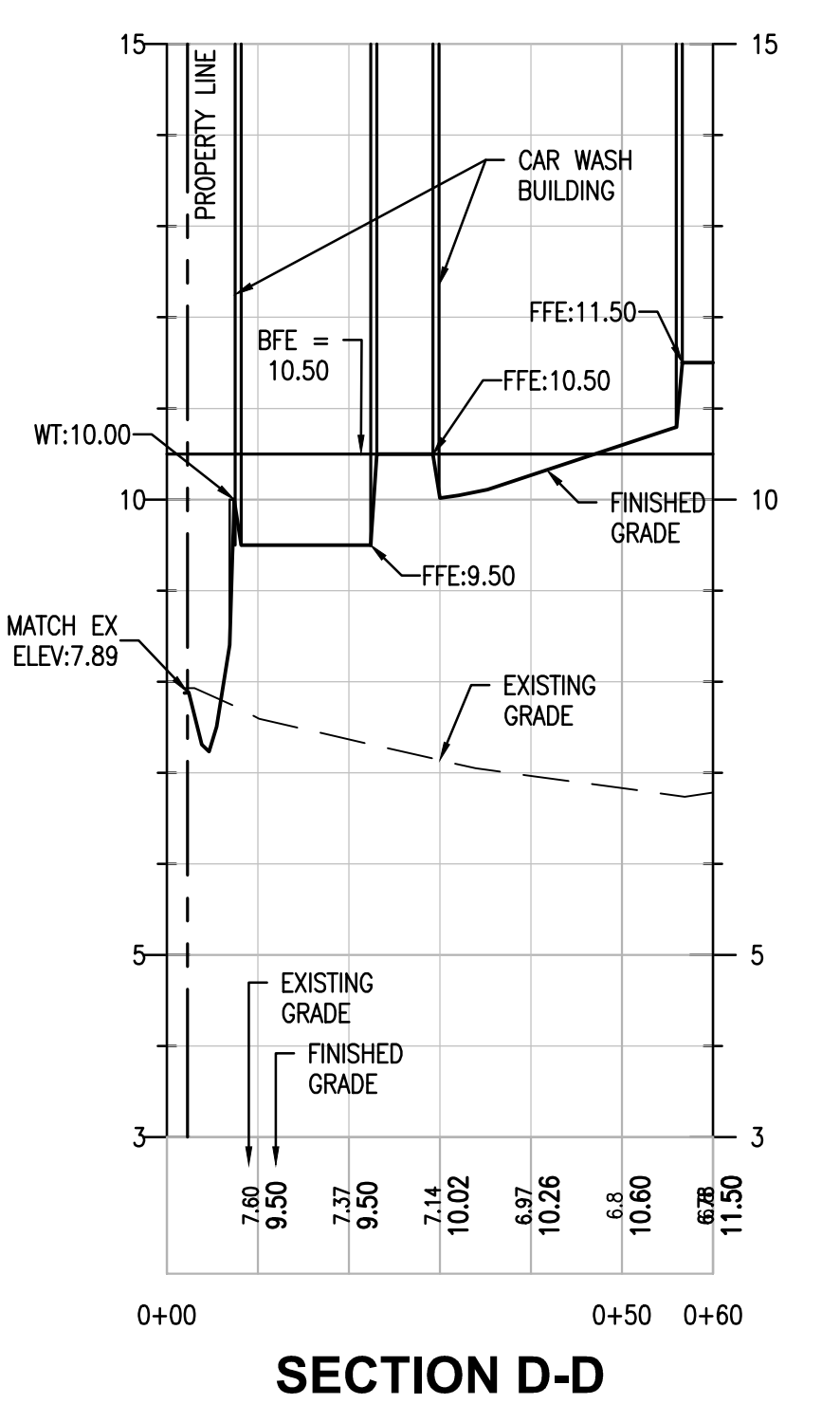
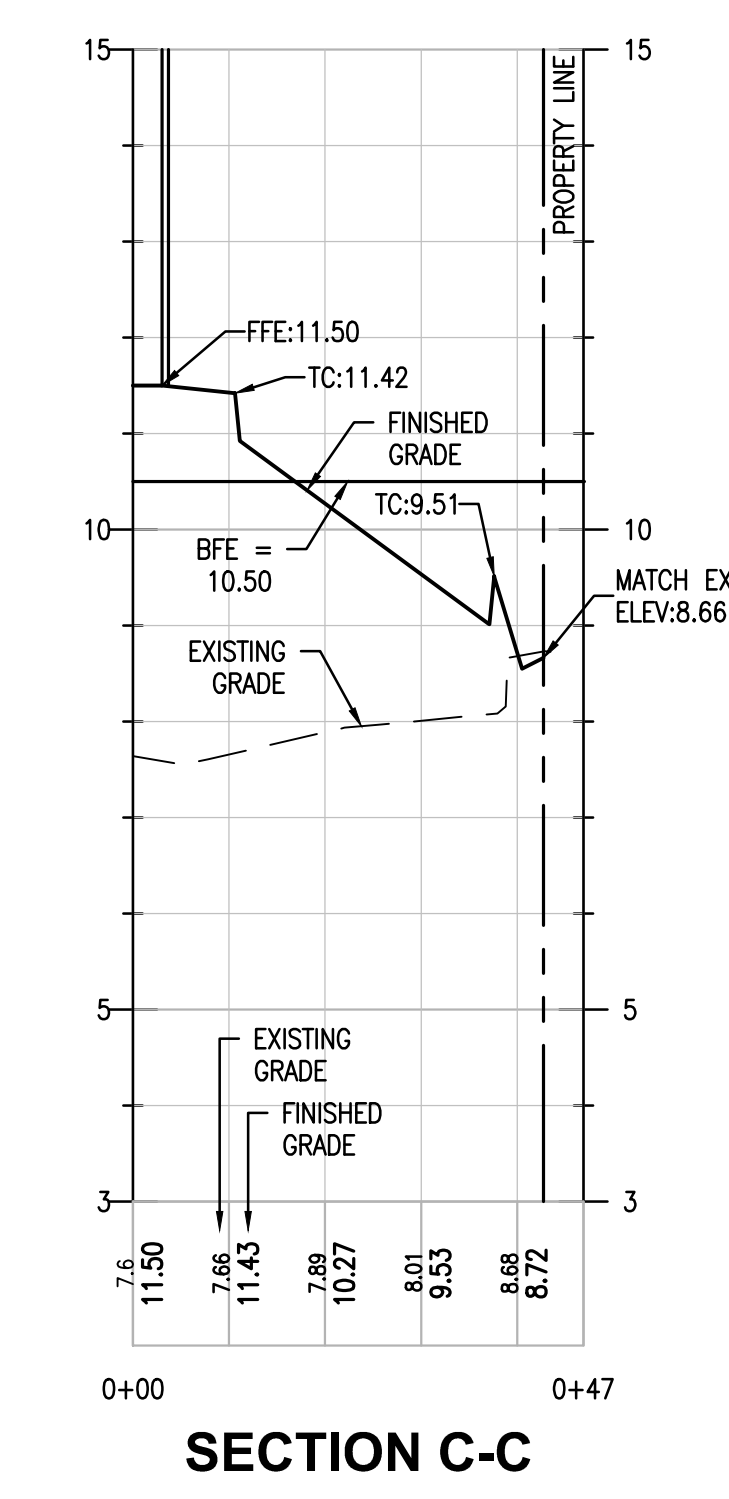
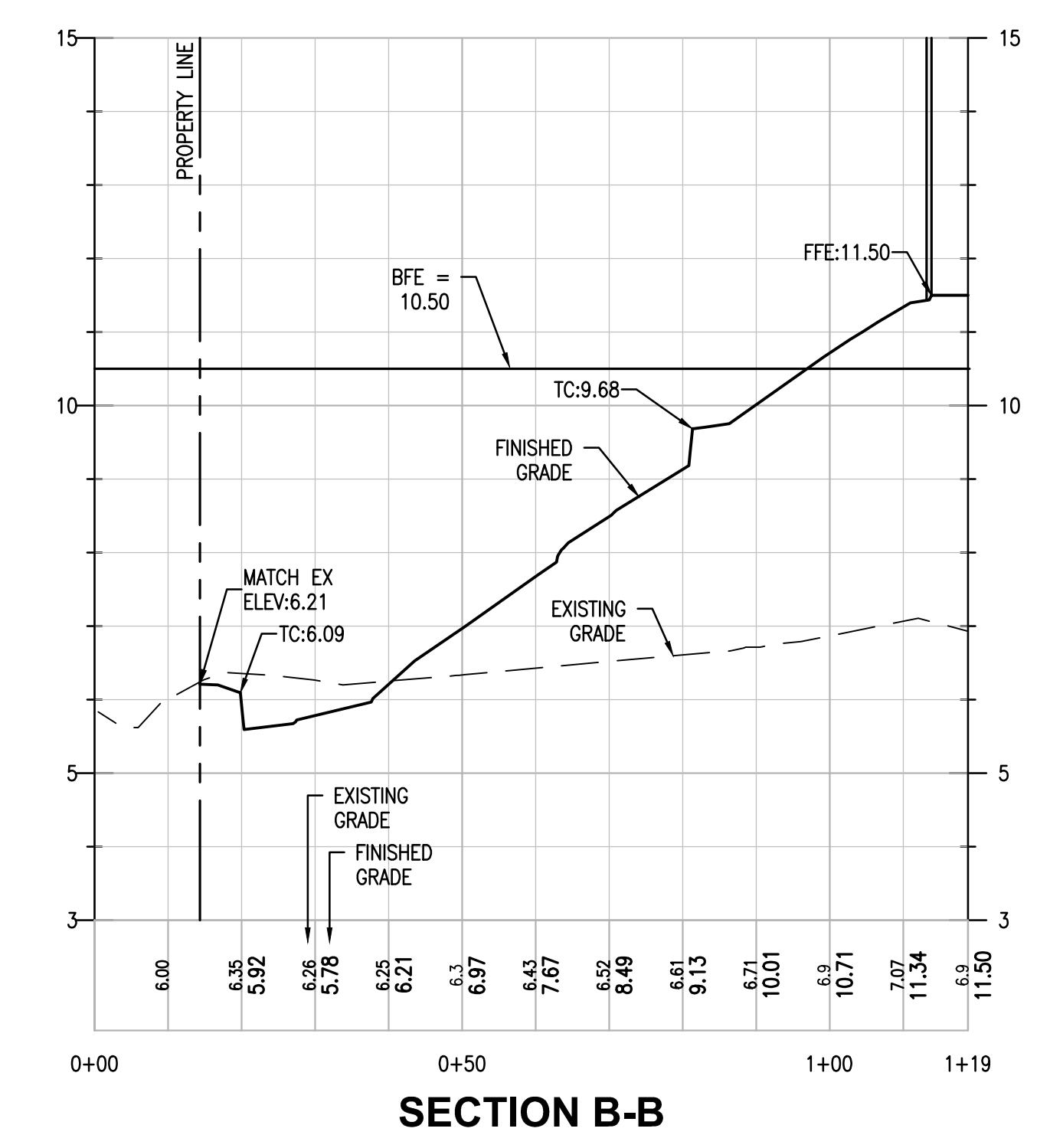
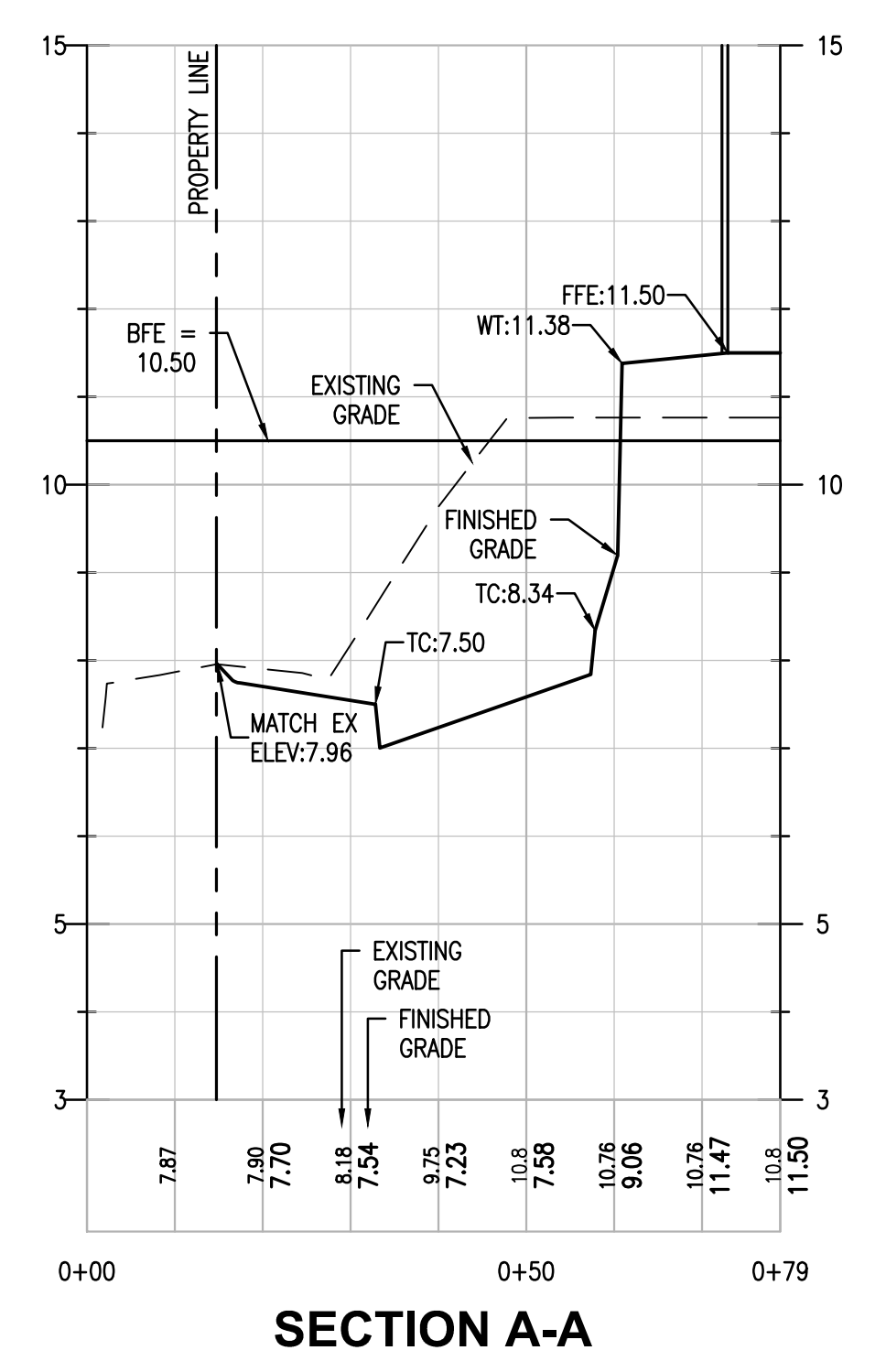
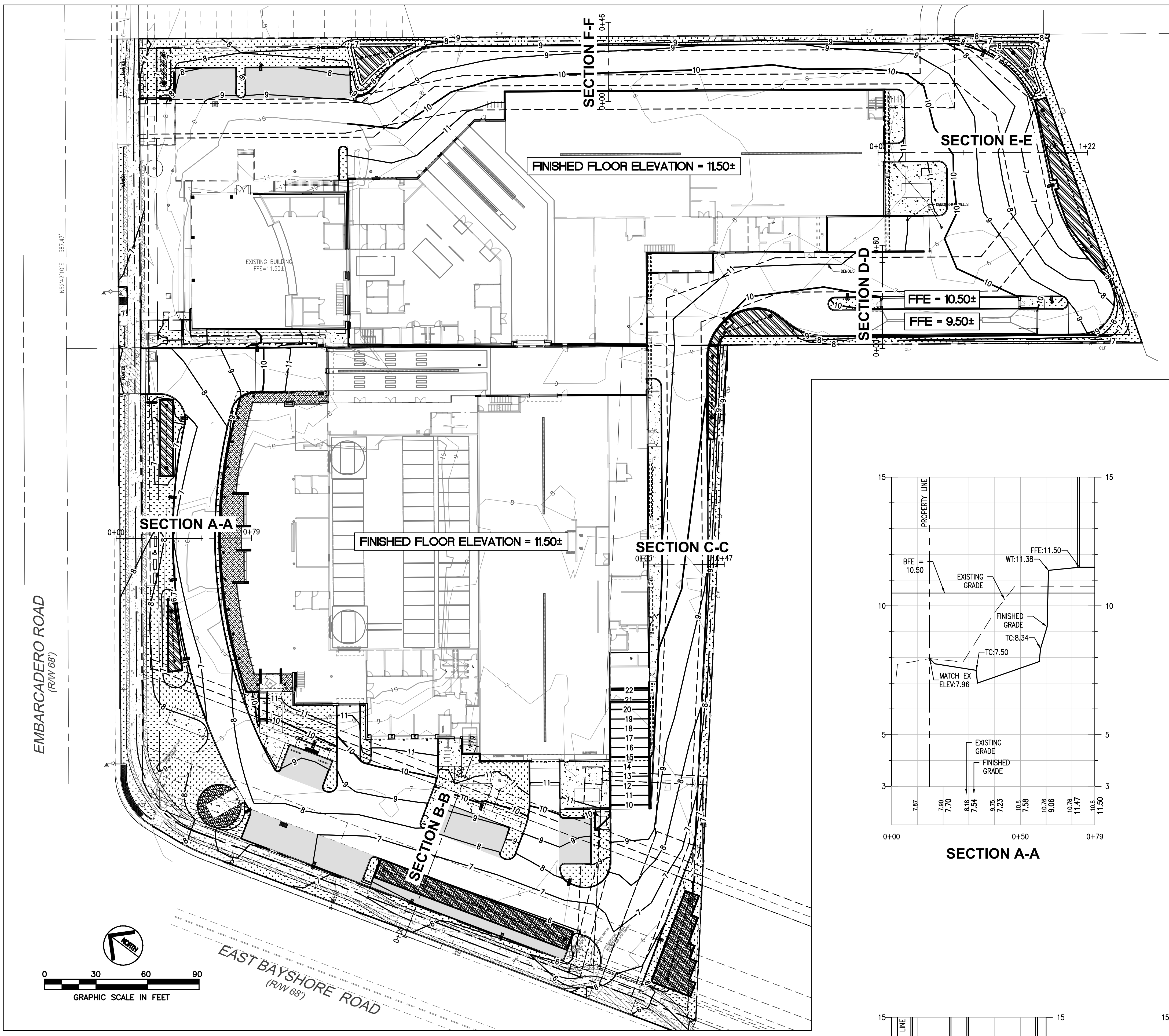
| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |

PROPOSED

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- 1-FOOT CONTOUR
- 5-FOOT CONTOUR
- WATER LINE
- FIRE PROTECTION WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- GAS LINE (INSTALLED BY CPAU FORCES)
- FENCE
- TREE
- SIGN
- FIRE HYDRANT
- WATER METER/VALVE
- WATER BACK FLOW PREVENTER
- SEWER MANHOLE
- CLEANOUT
- STORM MANHOLE/WILET
- GAS METER/VALVE
- ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL/MANHOLE
- LIGHT POLE, UTILITY POLE
- LIGHT/TRAFFIC POLE

EXISTING

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- 1-FOOT CONTOUR
- 5-FOOT CONTOUR
- WATER LINE
- FIRE PROTECTION WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- GAS LINE
- FENCE
- TREE
- SIGN
- FIRE HYDRANT
- WATER METER/VALVE
- WATER BACK FLOW PREVENTER
- SEWER MANHOLE
- CLEANOUT
- STORM MANHOLE/WILET
- GAS METER/VALVE
- ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL/MANHOLE
- LIGHT POLE, UTILITY POLE
- LIGHT/TRAFFIC POLE



SURVEY NOTES:

1. TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES, RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
2. BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
3. BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

CALL 811 OR 1-800-227-2600
CALL BEFORE YOU DIG
 WWW.USANORTH.ORG
 CALL TWO WORKING DAYS BEFORE YOU DIG

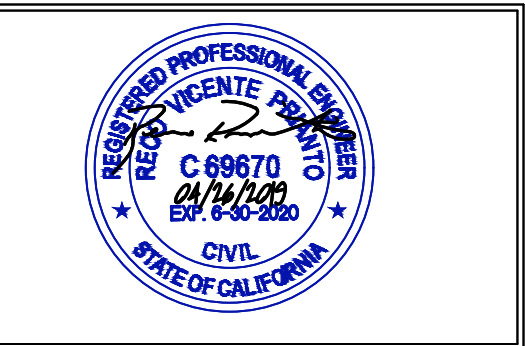
Client:
Holman Automotive
 1730 Embarcadero Rd
 Palo Alto, CA 94303

Project:
MERCEDES BENZ / AUDI of PALO ALTO
 1730 Embarcadero Rd
 Palo Alto, CA 94303

Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
SITE CROSS SECTIONS

Sheet Number:
C02.02



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |
| Z8 | 11/05/19 | Planning Commission |

| PROPOSED | LEGEND | EXISTING |
|----------|-------------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| 9 | 1-FOOT CONTOUR | 9 |
| 10 | 5-FOOT CONTOUR | 10 |
| WTR | WATER LINE | WTR |
| FP | FIRE PROTECTION WATER LINE | FP |
| SS | SANITARY SEWER LINE | SS |
| SD | STORM DRAIN LINE | SD |
| OE | OVERHEAD ELECTRIC | OE |
| UE | UNDERGROUND ELECTRIC | UE |
| 2"G | GAS LINE (INSTALLED BY CPAU FORCES) | G |
| X | FENCE | X |
| + | TREE | + |
| + | SIGN | + |
| + | FIRE HYDRANT | + |
| + | WATER METER/VALVE | + |
| + | WATER BACK FLOW PREVENTER | + |
| + | SEWER MANHOLE | + |
| + | CLEANOUT | + |
| + | STORM MANHOLE/INLET | + |
| + | GAS METER/VALVE | + |
| + | ELECTRIC BOX/WAULT/PEDESTAL/MANHOLE | + |
| + | ELECTRIC TRANSFORMER | + |
| + | TELEPHONE PEDESTAL/MANHOLE | + |
| + | LIGHT POLE, UTILITY POLE | + |
| + | LIGHT/TRAFFIC POLE | + |

| GRADING LEGEND | |
|----------------|--|
| X | EXISTING SPOT GRADE |
| X | PROPOSED SPOT GRADE: TOP OF CONCRETE |
| X | PROPOSED SPOT GRADE: TOP OF CURB |
| X | PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF CONCRETE |
| X | PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF PAVEMENT |
| X | PROPOSED SPOT GRADE: FINISHED FLOOR ELEVATION |
| X | PROPOSED SPOT GRADE: FLOWLINE |
| X | PROPOSED SPOT GRADE: FINISHED GROUND |
| X | PROPOSED SPOT GRADE: TOP OF PAVEMENT |
| X | PROPOSED SPOT GRADE: TOP OF WALL |
| X | PROPOSED SPOT GRADE: TOP OF WALL EQUALS CONCRETE |
| X | PROPOSED SPOT GRADE: TOP OF WALL EQUALS FINISHED GROUND |
| X | PROPOSED SPOT GRADE: BOTTOM OF WALL |
| X | PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS CONCRETE |
| X | PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS FINISHED GROUND |
| 1.0% | PROPOSED SLOPE |
| --- | DRAINAGE SWALE WITH 0.5% MINIMUM SLOPE |

| GRADING & DRAINAGE KEY NOTES | |
|------------------------------|---|
| 1 | CONCRETE WALLED FLOW-THROUGH PLANTER |
| 2 | LINED BIORETENTION BASIN |
| 3 | INSTALL PVC STORM SEWER. SIZE AND SLOPE TBD. |
| 4 | INSTALL STORM MANHOLE TYPE 1 |
| 5 | INSTALL OVERFLOW RISER WITH YARD/BEEHIVE GRATE. INSTALL ABOVE LOCATION OF EXISTING STORM LINE, AND MAKE SADDLE INSTALLATION. |
| 6 | INSTALL 4" PERFORATED UNDERDRAIN. MINIMUM SLOPE OF 0.5%. |
| 7 | INSTALL STORM DRAIN TERMINAL CLEANOUT IN BIORETENTION BMP |
| 8 | INSTALL 2" WIDE CURB CUT/LEAVE-OUT FOR STORM WATER CONVEYANCE |
| 9 | RECONSTRUCT/RELOCATE 21" STORM LINE PER CITY DIRECTION. |
| 10 | CONCRETE FLOW-THROUGH PLANTER WITH TRAFFIC-RATED METAL GRATE. FOR STRUCTURAL DETAILS, SEE STRUCTURAL PLANS. |
| 11 | ROOM IS DERESSED, TO ELEVATION 10.50. |
| 12 | FLOW THROUGH PLANTER WITH TRAFFIC RATE GRATE SHALL HAVE A GRATE WITH RELATIVELY LARGE OPENINGS TO MAXIMIZE AIR FLOW, A MINIMUM OF 12" BETWEEN THE TOP OF THE SOIL AND THE GRATE, AND LOW GROWING, SHADE TOLERANT PLANTS SUCH AS CAREX TUMULICOLA/DIVULSA OR CAREX PRAEGRACILIS. |

| EARTHWORK CALCULATIONS | |
|------------------------|--------------------------|
| SITE CUT | 9,743 CUBIC YARDS |
| SITE FILL | 18,540 CUBIC YARDS |
| NET | 8,797 CUBIC YARDS (FILL) |

NOTE: QUANTITIES SHOWN ARE BASED UPON PAVEMENT RECOMMENDATIONS, UNSUITABLE SOIL ESTIMATES, AND OTHER INFORMATION CONTAINED IN A GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY ROMIG ENGINEERS, INC., DATED AUGUST, 2015, AND ARE PROVIDED AS A COURTESY ONLY. BIDDER IS RESPONSIBLE TO VERIFY. NO SHRINK/SWELL FACTORS HAVE BEEN TAKEN INTO ACCOUNT.

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

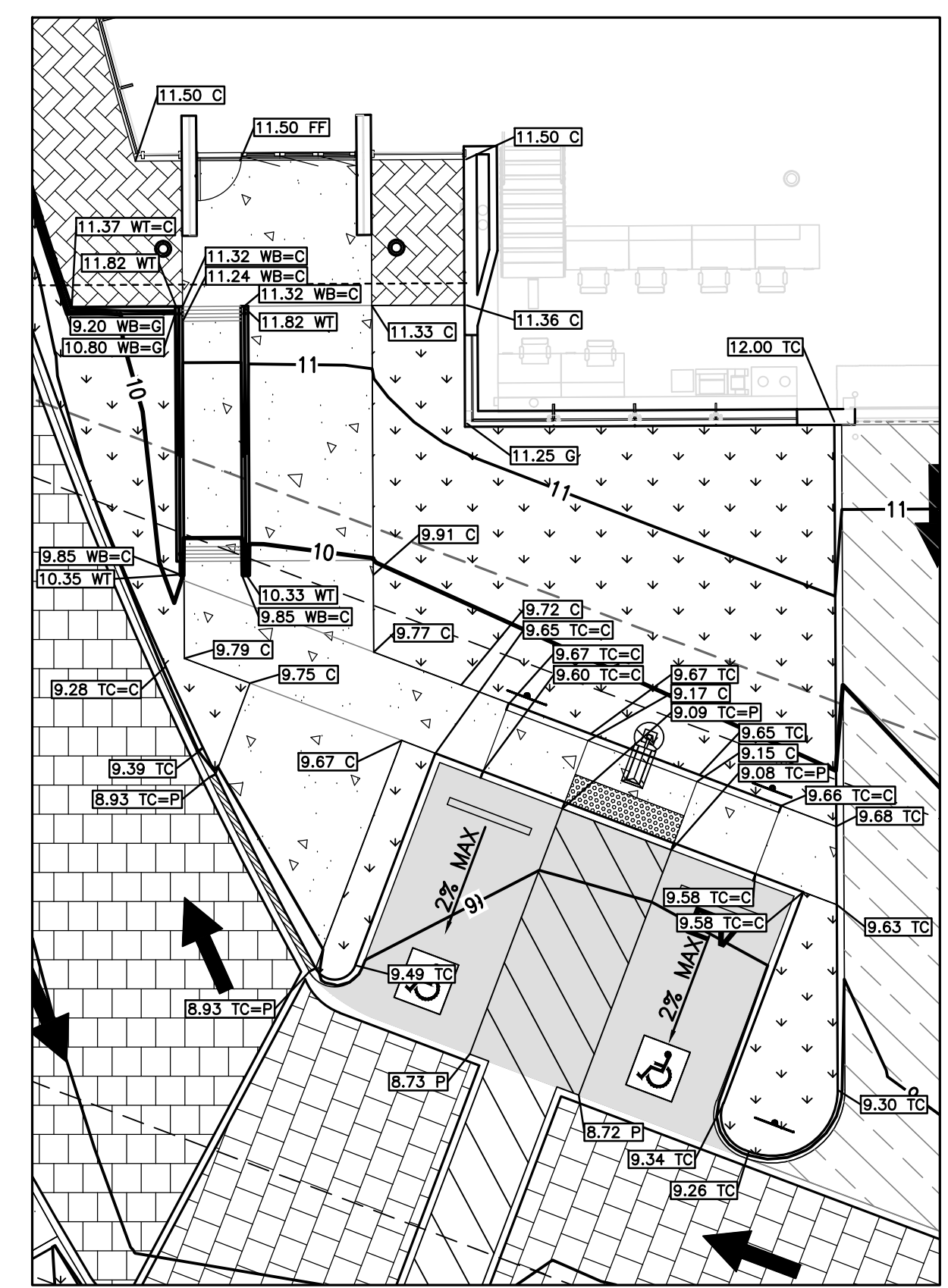
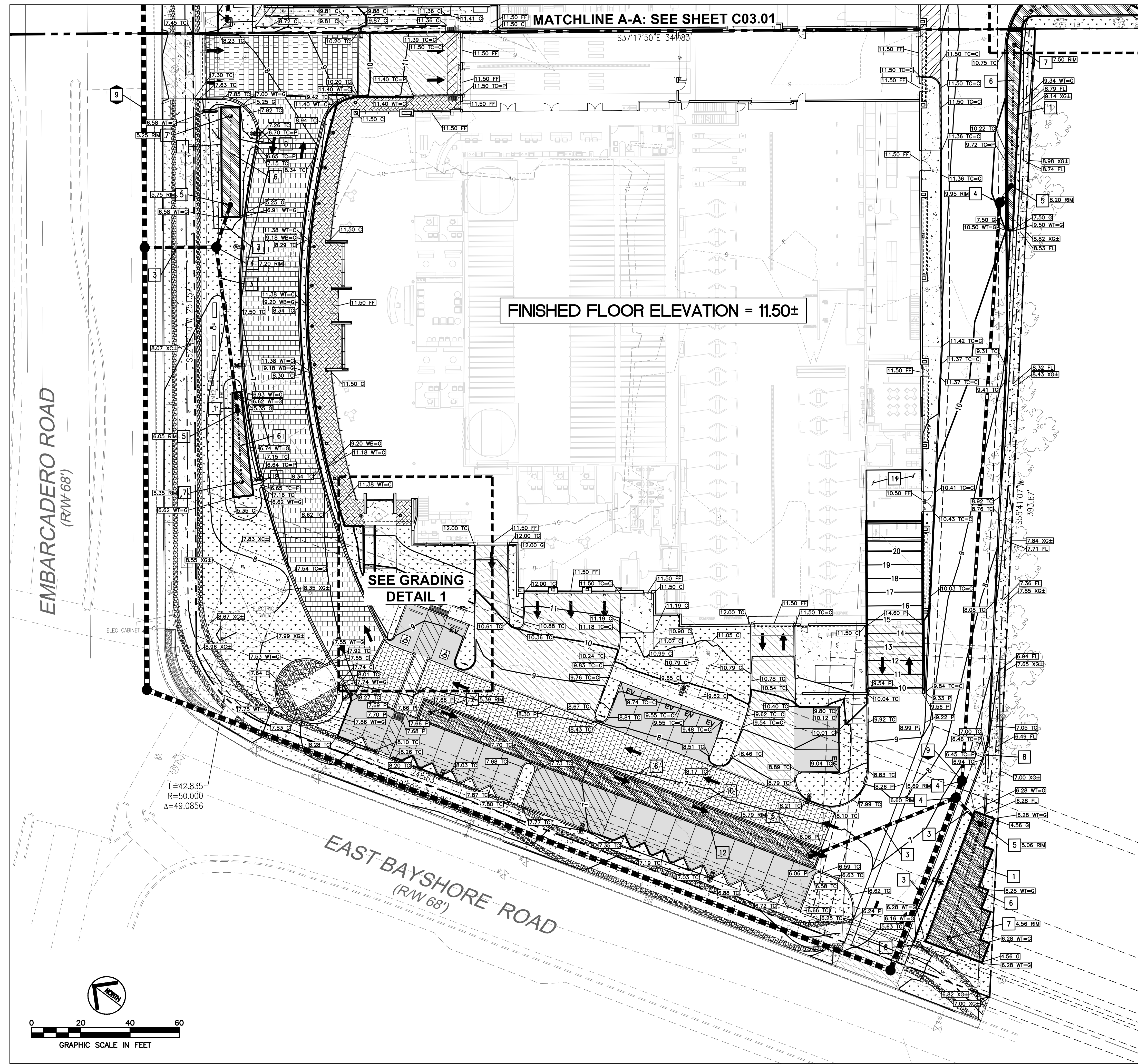
Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
GRADING AND DRAINAGE PLAN

Sheet Number:
C03.00



GRADING DETAIL 1
SCALE: 1" = 10'

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ON-SITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06065C0030H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

GRADING NOTES:

- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

ENVIRONMENTAL NOTE:

ROMIG ENGINEERS PREVIOUSLY PROVIDED PHASE 1 AND PHASE 2 ENVIRONMENTAL SITE ASSESSMENTS (ESAs) FOR THE SUBJECT PROPERTY. IT IS ASSUMED THAT THE RECOMMENDATIONS INCLUDED IN THAT REPORT WILL BE FOLLOWED.

STORMWATER MANAGEMENT NOTE:

THE STORMWATER DESIGN SHOWN IS IN COMPLIANCE WITH THE SANTA CLARA COUNTY CALIFORNIA DRAINAGE MANUAL (2007). ADDITIONAL HYDROLOGIC MODELING/CALCULATIONS AND HYDRAULIC ANALYSIS HAVE BEEN PERFORMED, AND CAN BE PROVIDED UPON REQUEST. THE 10-YEAR HYDRAULIC GRADE LINE IS BELOW THE CROWN OF ALL PROPOSED STORM SEWER PIPES, AND THE 100-YEAR HYDRAULIC GRADE LINE IS MORE THAN ONE FOOT (1') BELOW THE FINISHED GRADE SURFACES IN ALL INSTANCES.

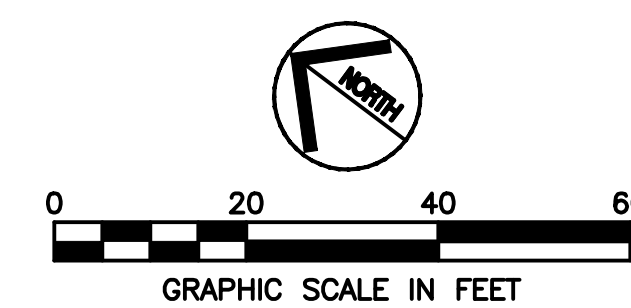
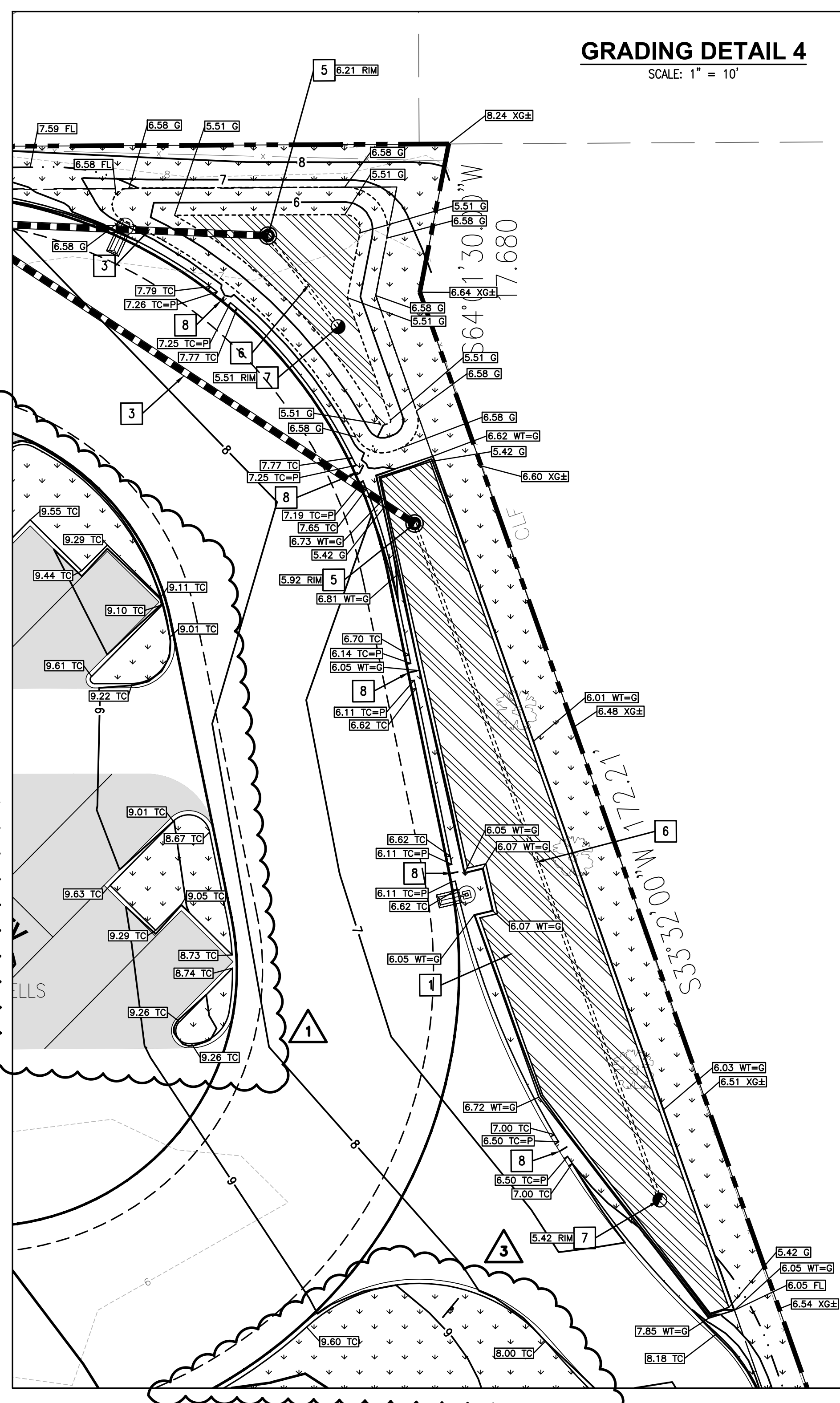
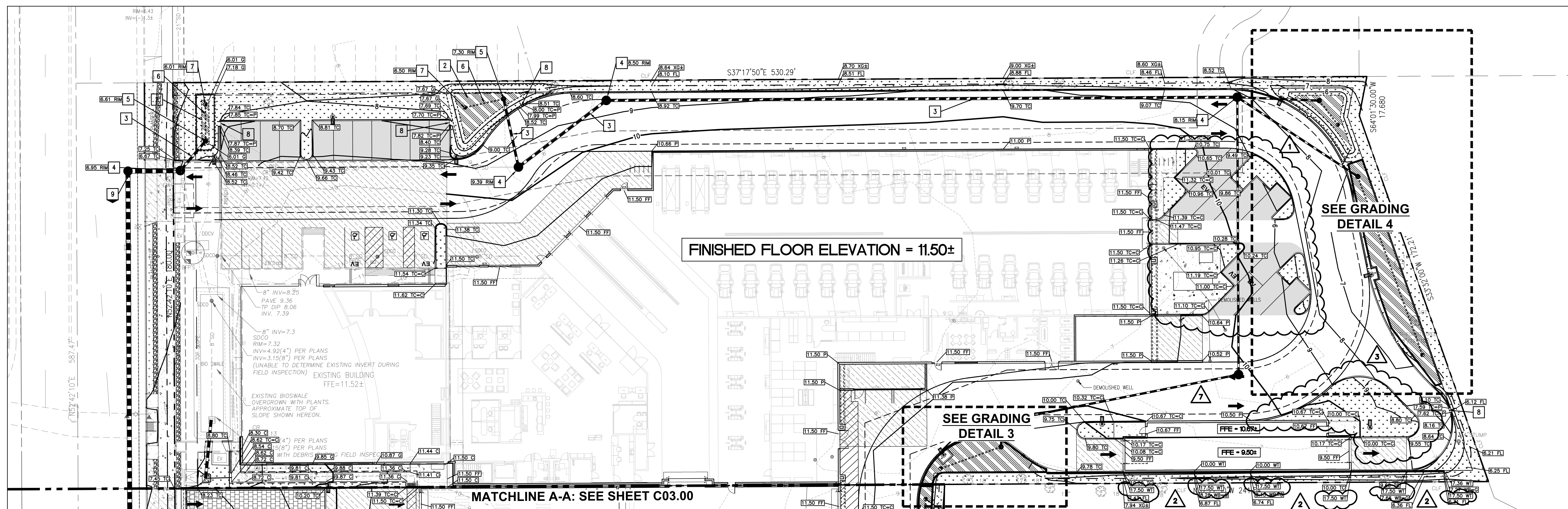
WATER QUALITY NOTE:

THESE DESIGN PLANS COMPLY WITH THE JUNE, 2016 SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK. ALL ON-SITE DRAINAGE THAT PASSES OVER PROPOSED IMPERVIOUS AREAS (ROOF AND PAVEMENT) ARE DIRECTED TO ON-SITE FLOW-THROUGH PLANTERS.

CALL 811 OR 1-800-227-2600
CALL BEFORE YOU DIG
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
WWW.USANORTH.ORG
CALL THE WORKING DAYS BEFORE YOU DIG

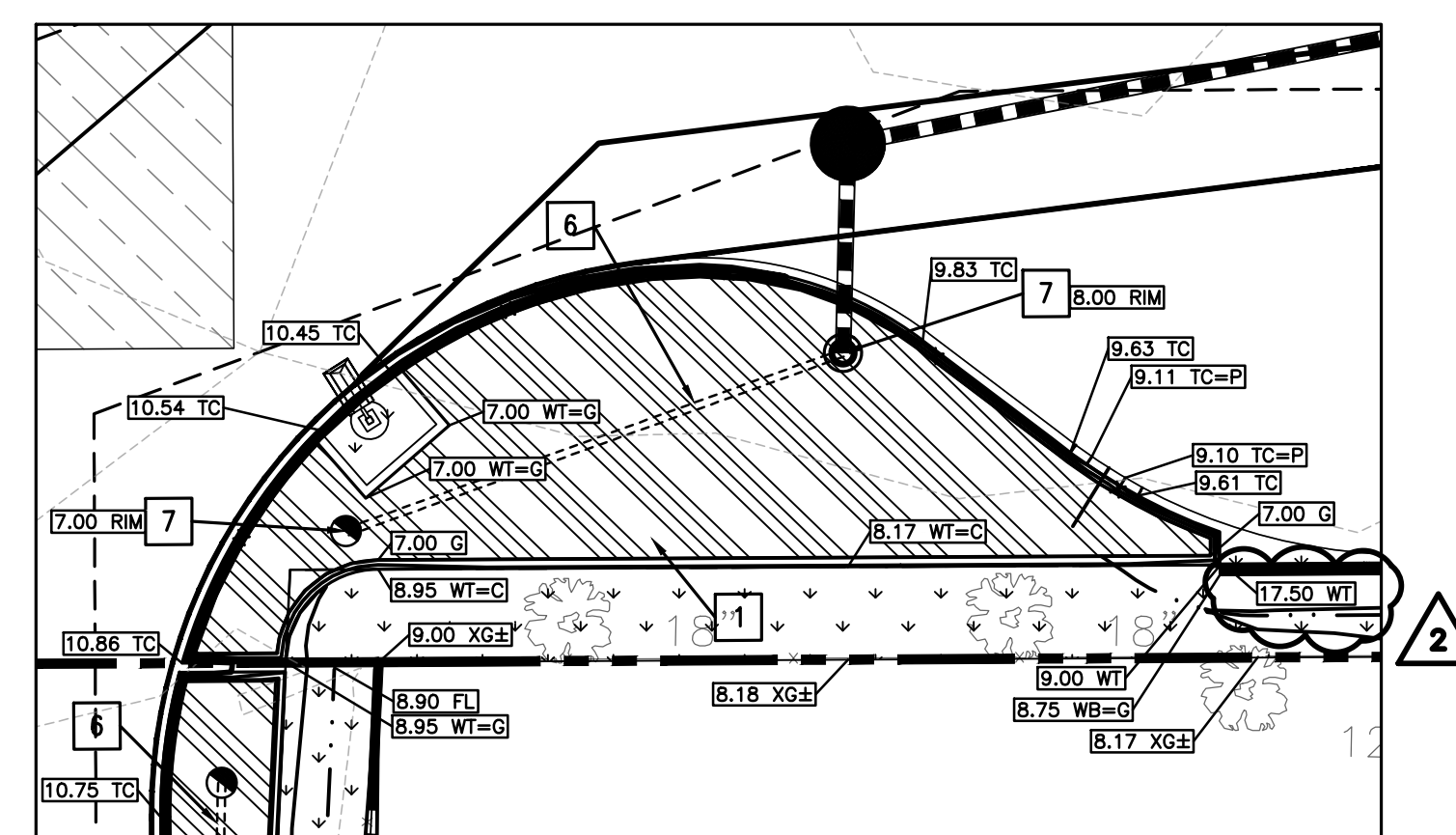


| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |
| Z8 | 11/05/19 | Planning Commission |



GRADING & DRAINAGE KEY NOTES

- 1 CONCRETE WALLED FLOW-THROUGH PLANTER
- 2 LINED BIORETENTION BASIN
- 3 INSTALL PVC STORM SEWER, SIZE AND SLOPE TBD.
- 4 INSTALL STORM MANHOLE TYPE 1
- 5 INSTALL OVERFLOW RISER WITH YARD/BEEHIVE GRATE. INSTALL ABOVE LOCATION OF EXISTING STORM LINE, AND MAKE SADDLE INSTALLATION.
- 6 INSTALL 4" PERFORATED UNDERDRAIN. MINIMUM SLOPE OF 0.5%.
- 7 INSTALL STORM DRAIN TERMINAL CLEANOUT IN BIORETENTION BMP
- 8 INSTALL 2" WIDE CURB CUT/LEAVE-OUT FOR STORM WATER CONVEYANCE
- 9 RECONSTRUCT/RELOCATE 21" STORM LINE PER CITY DIRECTION.
- 10 CONCRETE FLOW-THROUGH PLANTER WITH TRAFFIC-RATED METAL GRATE. FOR STRUCTURAL DETAILS, SEE STRUCTURAL PLANS.
- 11 ROOM IS DEPRESSED, TO ELEVATION 10.50.



GRADING DETAIL 3
SCALE: 1" = 10'

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEOTECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALTRANS, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
2. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
3. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
4. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
5. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

1. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
2. CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.



ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

GRADING LEGEND

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE: TOP OF CONCRETE
- PROPOSED SPOT GRADE: TOP OF CURB
- PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF CONCRETE
- PROPOSED SPOT GRADE: TOP OF CURB EQUALS TOP OF PAVEMENT
- PROPOSED SPOT GRADE: FINISHED FLOOR ELEVATION
- PROPOSED SPOT GRADE: FLOWLINE
- PROPOSED SPOT GRADE: FINISHED GROUND
- PROPOSED SPOT GRADE: TOP OF PAVEMENT
- PROPOSED SPOT GRADE: TOP OF WALL
- PROPOSED SPOT GRADE: TOP OF WALL EQUALS CONCRETE
- PROPOSED SPOT GRADE: TOP OF WALL EQUALS FINISHED GROUND
- PROPOSED SPOT GRADE: BOTTOM OF WALL
- PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS CONCRETE
- PROPOSED SPOT GRADE: BOTTOM OF WALL EQUALS FINISHED GROUND
- PROPOSED SLOPE
- DRAINAGE SWALE WITH 0.5% MINIMUM SLOPE

EARTHWORK CALCULATIONS

| | |
|-----------|--------------------------|
| SITE CUT | 9,743 CUBIC YARDS |
| SITE FILL | 18,540 CUBIC YARDS |
| NET | 8,797 CUBIC YARDS (FILL) |

NOTE: *QUANTITIES SHOWN ARE BASED UPON PAVEMENT RECOMMENDATIONS, UNSUITABLE SOIL ESTIMATES, AND OTHER INFORMATION CONTAINED IN A GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY ROMIG ENGINEERS, INC., DATED AUGUST, 2015, AND ARE PROVIDED AS A COURTESY ONLY. BIDDER IS RESPONSIBLE TO VERIFY. NO SHRINK/SWELL FACTORS HAVE BEEN TAKEN INTO ACCOUNT.

FLOOD ZONE NOTES:

1. THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
2. ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06G85C003003 DATED MAY 18, 2009.

SURVEY NOTES:

1. TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES; RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
2. BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM07 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD.
3. BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

LEGEND

- | PROPOSED | LEGEND | EXISTING |
|----------|-------------------------------------|----------|
| --- | PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| 9 | 1-FOOT CONTOUR | 9 |
| 10 | 5-FOOT CONTOUR | 10 |
| WTR | WATER LINE | WTR |
| FP | FIRE PROTECTION WATER LINE | FP |
| SS | SANITARY SEWER LINE | SAN |
| SD | STORM DRAIN LINE | SD |
| OE | OVERHEAD ELECTRIC | OE |
| UE | UNDERGROUND ELECTRIC | UE |
| 2"G | GAS LINE (INSTALLED BY CFAU FORCES) | G |
| x | FENCE | x |
| + | TREE | + |
| + | SIGN | + |
| + | FIRE HYDRANT | + |
| + | WATER METER/VALVE | + |
| + | WATER BACK FLOW PREVENTER | + |
| + | SEWER MANHOLE | + |
| + | CLEANOUT | + |
| + | STORM MANHOLE/INLET | + |
| + | GAS METER/VALVE | + |
| + | ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE | + |
| + | ELECTRIC TRANSFORMER | + |
| + | TELEPHONE PEDESTAL/MANHOLE | + |
| + | LIGHT POLE, UTILITY POLE | + |
| + | LIGHT/TRAFFIC POLE | + |

GRADING NOTES:

1. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

ENVIRONMENTAL NOTE:

ROMIG ENGINEERS PREVIOUSLY PROVIDED PHASE 1 AND PHASE 2 ENVIRONMENTAL SITE ASSESSMENTS (ESAs) FOR THE SUBJECT PROPERTY. IT IS ASSUMED THAT THE RECOMMENDATIONS INCLUDED IN THAT REPORT WILL BE FOLLOWED.

STORMWATER MANAGEMENT NOTE:

THE STORMWATER DESIGN SHOWN IS IN COMPLIANCE WITH THE SANTA CLARA COUNTY CALIFORNIA DRAINAGE MANUAL (2007). ADDITIONAL HYDROLOGIC MODELING/CALCULATIONS AND HYDRAULIC ANALYSIS HAVE BEEN PERFORMED, AND CAN BE PROVIDED UPON REQUEST. THE 10-YEAR HYDRAULIC GRADE LINE IS BELOW THE CROWN OF ALL PROPOSED STORM SEWER PIPES, AND THE 100-YEAR HYDRAULIC GRADE LINE IS MORE THAN ONE FOOT (1') BELOW THE FINISHED GRADE SURFACES IN ALL INSTANCES.

WATER QUALITY NOTE:

THESE DESIGN PLANS COMPLY WITH THE JUNE, 2016 SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK. ALL ON-SITE DRAINAGE THAT PASSES OVER PROPOSED IMPERVIOUS AREAS (ROOF AND PAVEMENT) ARE DIRECTED TO ON-SITE FLOW-THROUGH PLANTERS.

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

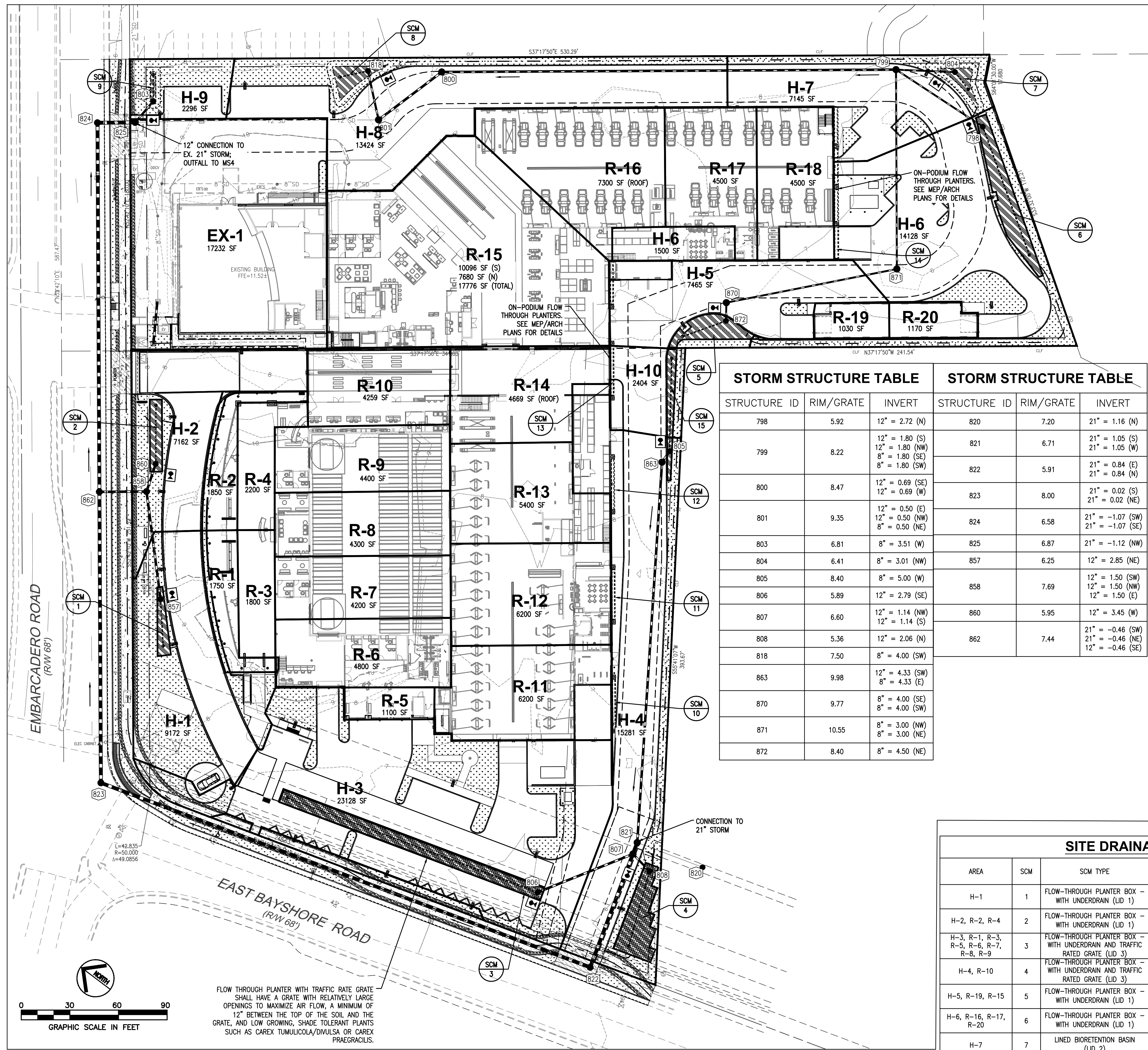
Project:
**MERCEDES
BENZ / AUDI
of PALO ALTO**

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
**GRADING AND
DRAINAGE PLAN**

Sheet Number:
C03.01



| STORM STRUCTURE TABLE | | | STORM STRUCTURE TABLE | | |
|-----------------------|-----------|---|-----------------------|-----------|--|
| STRUCTURE ID | RIM/GRATE | INVERT | STRUCTURE ID | RIM/GRATE | INVERT |
| 798 | 5.92 | 12" = 2.72 (N) | 820 | 7.20 | 21" = 1.16 (N) |
| 799 | 8.22 | 12" = 1.05 (S) 12" = 1.80 (NW) 8" = 1.80 (SE) 8" = 1.80 (SW) | 821 | 6.71 | 21" = 1.05 (W) |
| 800 | 8.47 | 12" = 0.69 (SE) 12" = 0.69 (W) | 822 | 5.91 | 21" = 0.84 (E) 21" = 0.84 (N) |
| 801 | 9.35 | 12" = 0.50 (E) 12" = 0.50 (NW) 8" = 0.50 (NE) | 823 | 8.00 | 21" = 0.02 (S) 21" = 0.02 (NE) |
| 803 | 6.81 | 8" = 3.51 (W) | 824 | 6.58 | 21" = -1.07 (SW) 21" = -1.07 (SE) |
| 804 | 6.41 | 8" = 3.01 (NW) | 825 | 6.87 | 21" = -1.12 (NW) |
| 805 | 8.40 | 8" = 5.00 (W) | 857 | 6.25 | 12" = 2.85 (NE) |
| 806 | 5.89 | 12" = 2.79 (SE) | 858 | 7.69 | 12" = 1.50 (SW) 12" = 1.50 (NW) 12" = 1.50 (E) |
| 807 | 6.60 | 12" = 1.14 (NW) 12" = 1.14 (S) | 860 | 5.95 | 12" = 3.45 (W) |
| 808 | 5.36 | 12" = 2.06 (S) | 862 | 7.44 | 21" = -0.46 (SW) 21" = -0.46 (NE) 12" = -0.46 (SE) |
| 818 | 7.50 | 8" = 4.00 (SW) | | | |
| 863 | 9.98 | 12" = 4.33 (SW) 8" = 4.33 (E) | | | |
| 870 | 9.77 | 8" = 4.00 (SE) 8" = 4.00 (SW) | | | |
| 871 | 10.55 | 8" = 3.00 (NW) 8" = 3.00 (NE) | | | |
| 872 | 8.40 | 8" = 4.50 (NE) | | | |

INSPECTION AND MAINTENANCE:

RESPONSIBLE PARTY FOR BMP MAINTENANCE: TBD

ON-SITE FLOW-THROUGH PLANTER MAINTENANCE PLAN:

ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):

- INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
- INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDED WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
- INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
- CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.
- BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):
- PRUNE AND WEED THE PLANTER AREA.
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
- AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THE USE OF PESTICIDES AND FERTILIZERS.
- MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).

ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):

- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

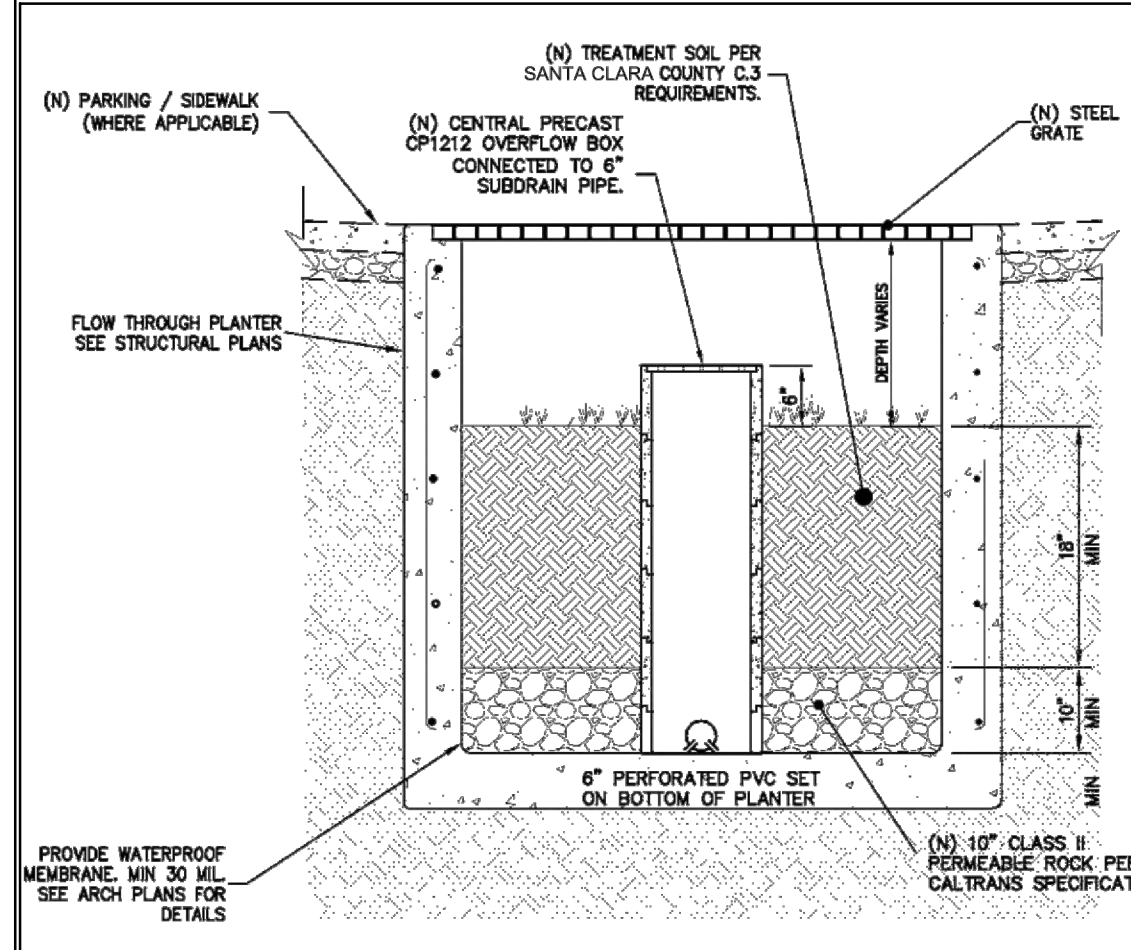
ON-SITE LINED BIORETENTION BASIN MAINTENANCE PLAN:

ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):

- INSPECT THE BASIN SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
- INSPECT BASIN AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY AND THAT THE BASIN IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDED WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
- INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
- CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.
- BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):
- PRUNE AND WEED THE BASIN AREA.
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
- AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THE USE OF PESTICIDES AND FERTILIZERS.
- MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).

ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):

- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

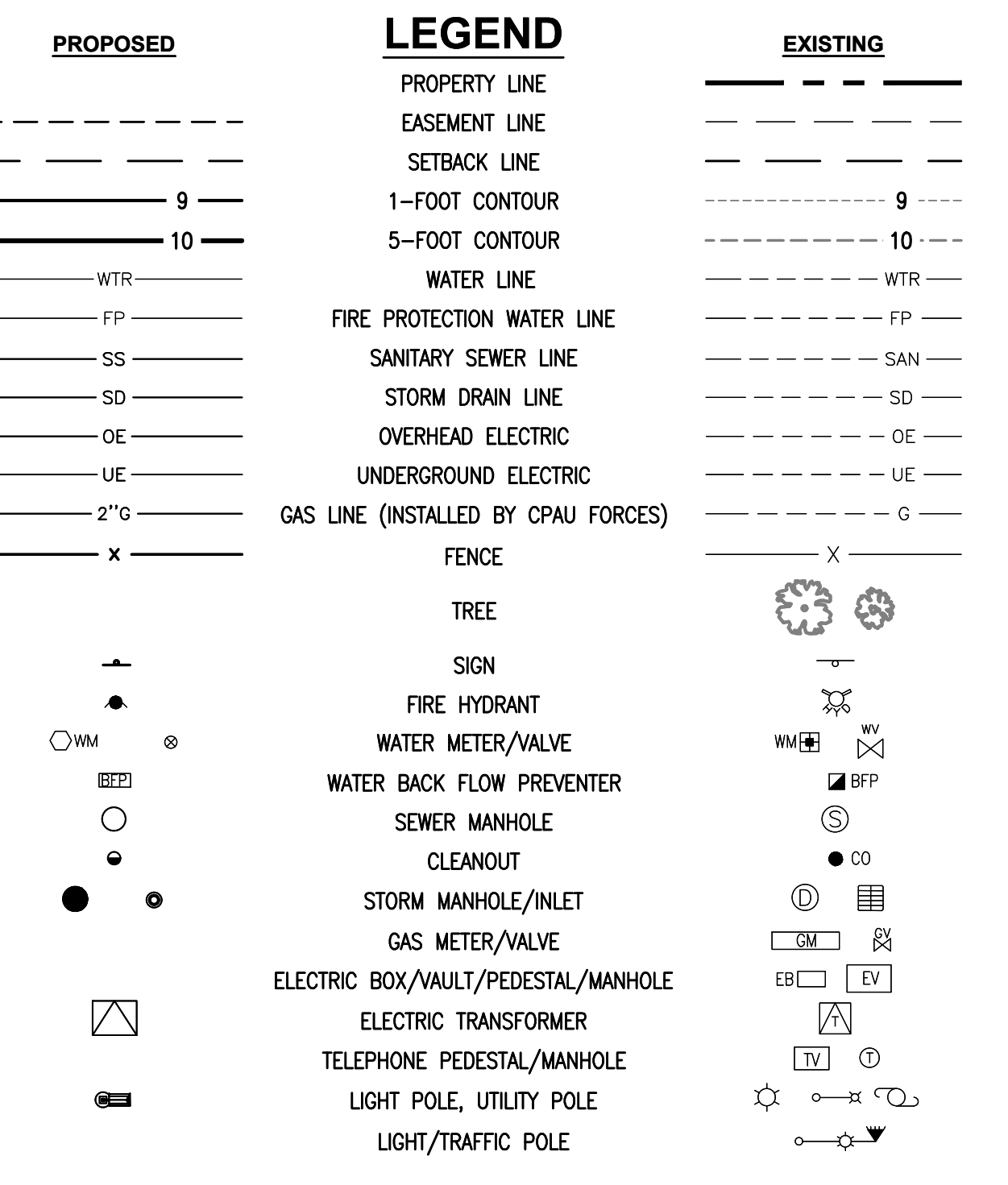


LID-3: FLOW-THROUGH PLANTER WITH TRAFFIC-RATED GRATE

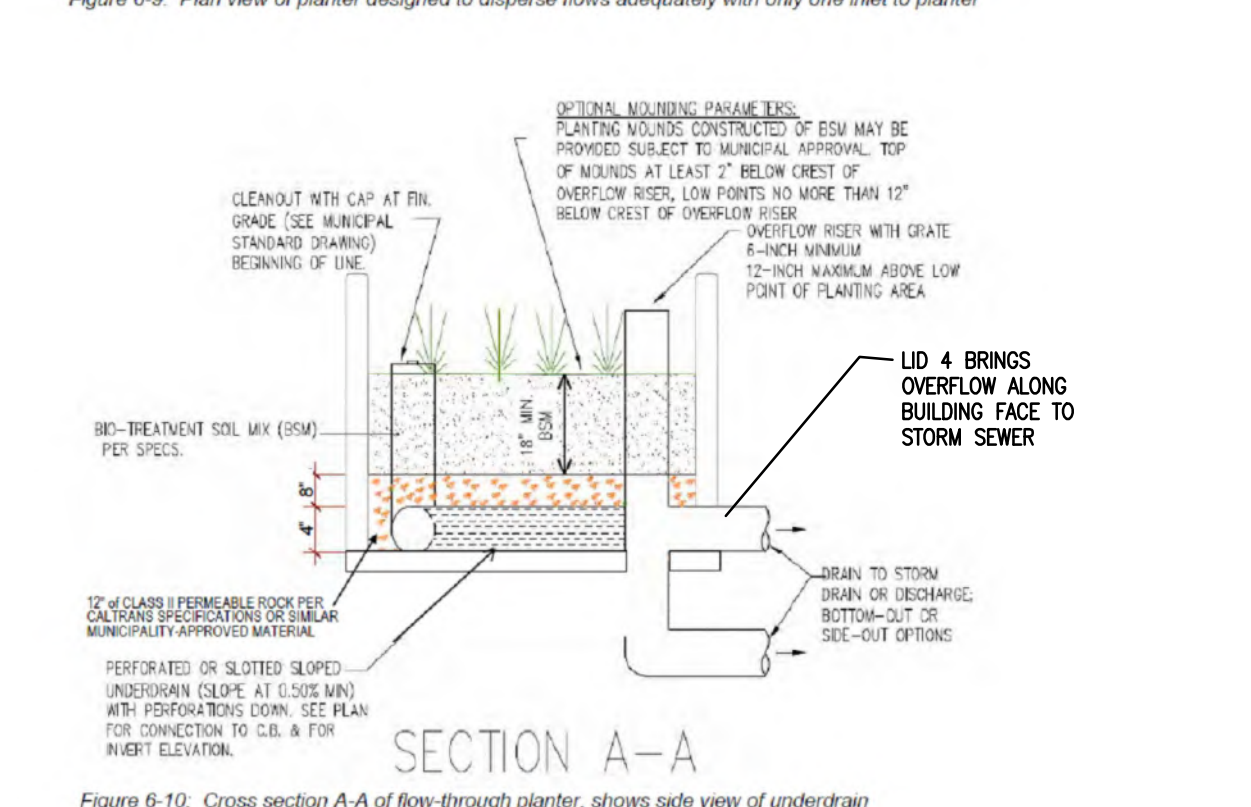
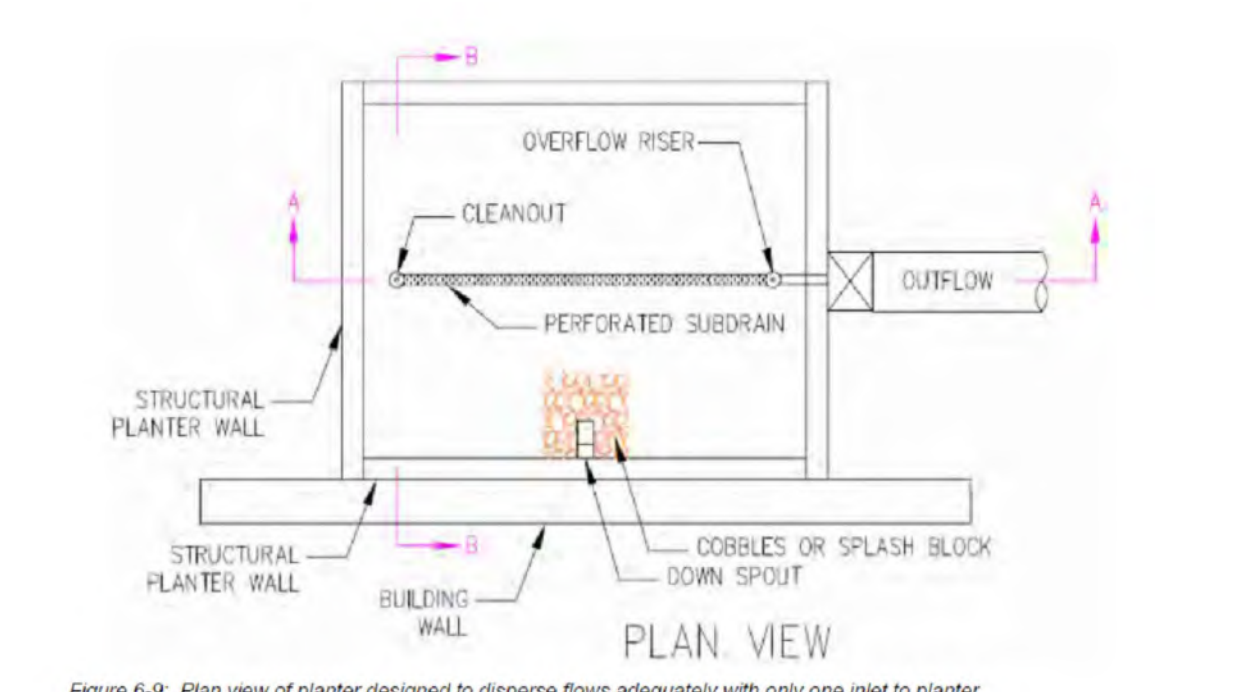
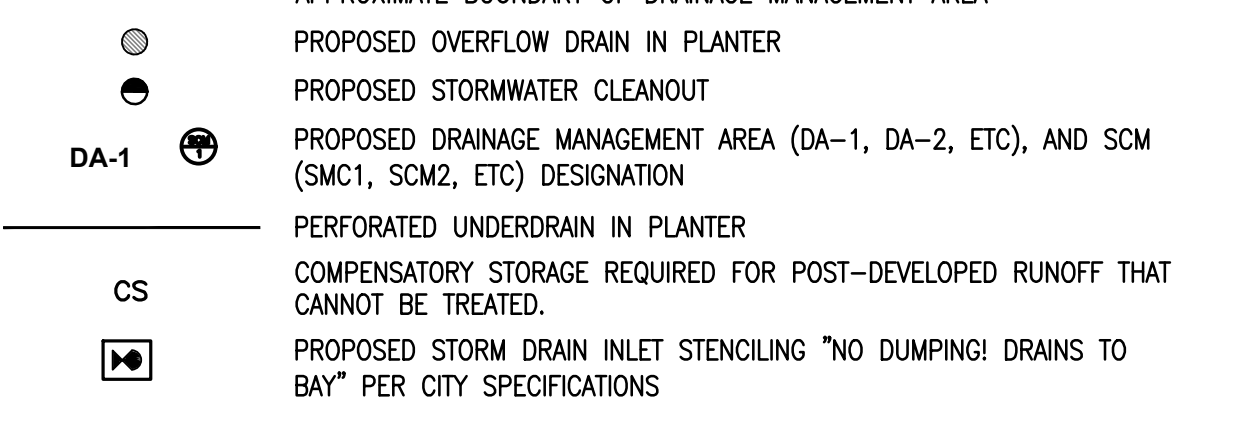
SITE DRAINAGE AREAS AND SCM'S

| AREA | SCM | SCM TYPE | TOTAL DRAINAGE AREA [SF] | IMPERVIOUS AREA [SF] | SCM AREA REQUIRED [SF] | SCM AREA PROVIDED [SF] |
|--|-----|--|--------------------------|-----------------------|------------------------|------------------------|
| H-1 | 1 | FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1) | 9172 | 4612 4560 | 218 | 221 |
| H-2, R-2, R-4 | 2 | FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1) | 11212 | 9434 1778 | 288 | 308 |
| H-3, R-1, R-3, R-5, R-6, R-7, R-8, R-9 | 3 | FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN AND TRAFFIC RATED GRATE (LID 3) | 45478 | 41220 4258 | 1249 | 1282 |
| H-4, R-10 | 4 | FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN AND TRAFFIC RATED GRATE (LID 3) | 19540 | 15939 3601 | 784 | 848 |
| H-5, R-19, R-15 | 5 | FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1) | 26271 | 25466 805 | 523 | 523 |
| H-6, R-16, R-17, R-20 | 6 | FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1) | 28598 | 24891 3707 | 758 | 965 |
| H-7 | 7 | LINED BIORETENTION BASIN (LID 2) | 7145 | 5421 1724 | 168 | 174 |
| H-8 | 8 | LINED BIORETENTION BASIN (LID 2) | 13424 | 7339 6085 | 302 | 316 |
| H-9 | 9 | LINED BIORETENTION BASIN (LID 2) | 2296 | 799 1497 | 57 | 63 |
| R-11 | 10 | MOUNTED FLOW-THROUGH PLANTER BOX (LID 4) | 6200 | 6200 0 | 186 | 38 * |
| R-12 | 11 | MOUNTED FLOW-THROUGH PLANTER BOX (LID 4) | 6200 | 6200 0 | 186 | 39 * |
| R-13 | 12 | MOUNTED FLOW-THROUGH PLANTER BOX (LID 4) | 5400 | 5400 0 | 162 | 39 * |
| R-14 | 13 | MOUNTED FLOW-THROUGH PLANTER BOX (LID 4) | 4669 | 4669 0 | 140 | 39 * |
| R-18 | 14 | MOUNTED FLOW-THROUGH PLANTER BOX (LID 4) | 4500 | 4500 0 | 135 | 153 |
| H-10 | 15 | FLOW-THROUGH PLANTER BOX WITH UNDERDRAIN (LID 1) | 2404 | 1862 542 163952 | 57 | 291 |
| TOTAL | | | 192509 | 28557 | 5128 | 5271 |

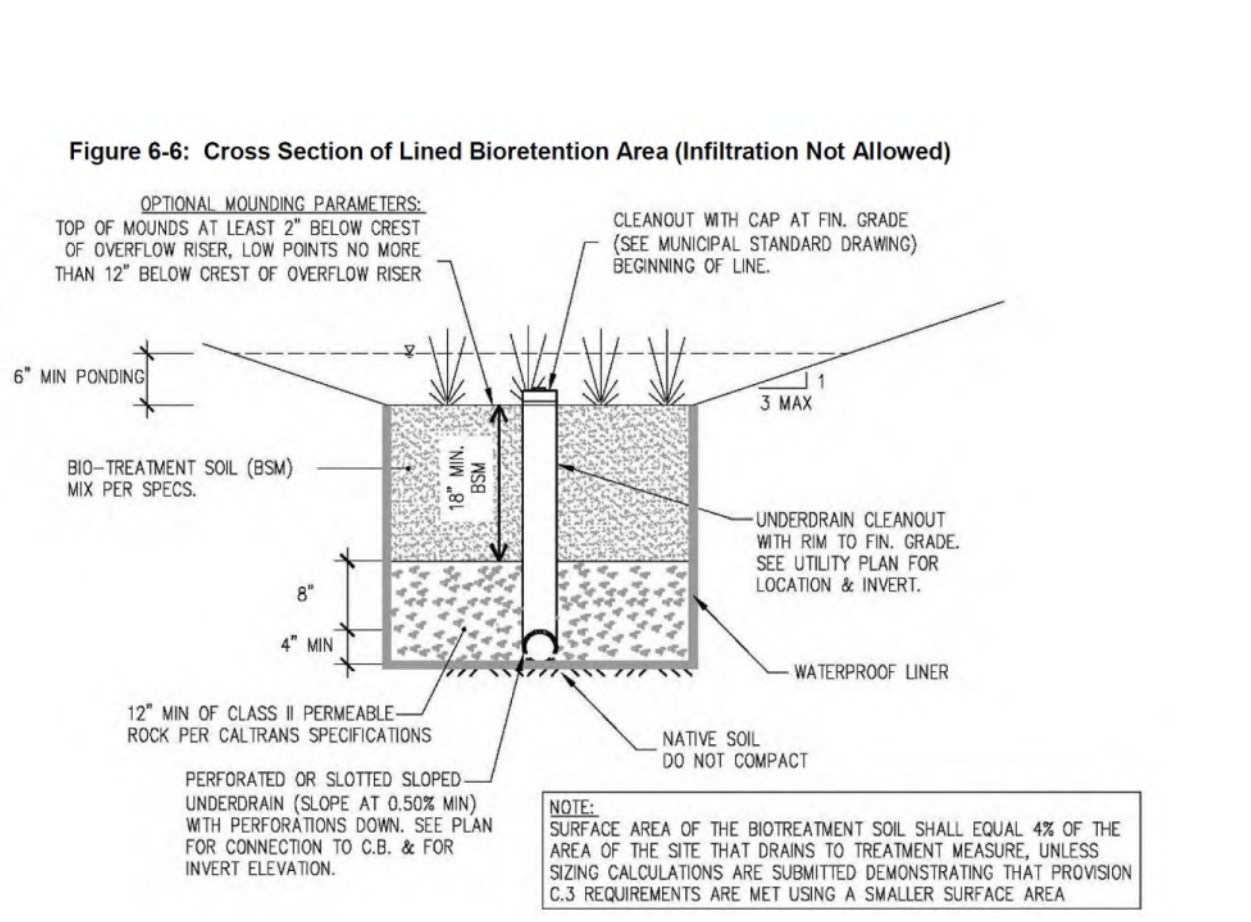
LID-4: WALL MOUNTED PLANTER BOX (SEE ARCH PLANS)



STORMWATER CONTROL LEGEND



LID-1: FLOW-THROUGH PLANTER (COUNTY STANDARD)



LID-2: LINED BIORETENTION BASIN (COUNTY STANDARD)



SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO-TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

STORM WATER NOTES:

- PLANTER WALL FOR FLOW THROUGH PLANTERS SHALL BE 6"-WIDE CONCRETE - SEE DETAILS ON THIS SHEET. SEE LANDSCAPE PLANS FOR PLANT SELECTION.
- GROUNDWATER WAS ENCOUNTERED AS SHALLOW AS 7 FEET BELOW EXISTING GRADE, AS SUCH, UNDERDRAINS ARE OMITTED IN ALL AREAS EXCEPT FROM THE LID TYPES 1, 2 AND 3) AS TO AVOID DIRECTING GROUNDWATER TO THE CITY STORM SEWER SYSTEM.
- OVERFLOW FROM ALL OVERFLOW BMP'S SHALL BE CONVEYED TO THE PUBLIC RIGHT OF WAY VIA STORMWATER FLOW.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
- ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 0608500304H DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES, RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT EBM07 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD. ELEVATION = 8.91 FEET, NAVD88 DATUM.
- BASIS OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

CALL 811 OR 1-800-277-2600

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG

ysm DESIGN
RETAIL/AUTOMOTIVE/ARCHITECTURE

1320 Ellsworth Industrial Blvd
Suite A-100
Atlanta GA 30318
404-249-4555 tel
404-355-6394 fax
www.ysmdesign.com

CALICHI
CALICHI DESIGN GROUP
1 N. LASSALLE SUITE 3950
CHICAGO, IL 60602
(312) 940-4393
WWW.CALICHI.COM

REGISTERED PROFESSIONAL ENGINEER
C 68670
IN CALIFORNIA
CIVIL

| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |
| Z8 | 11/05/19 | Planning Commission |

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
Palo Alto, CA 94303

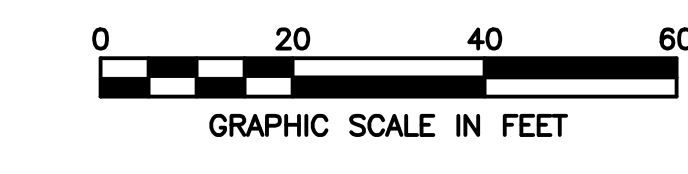
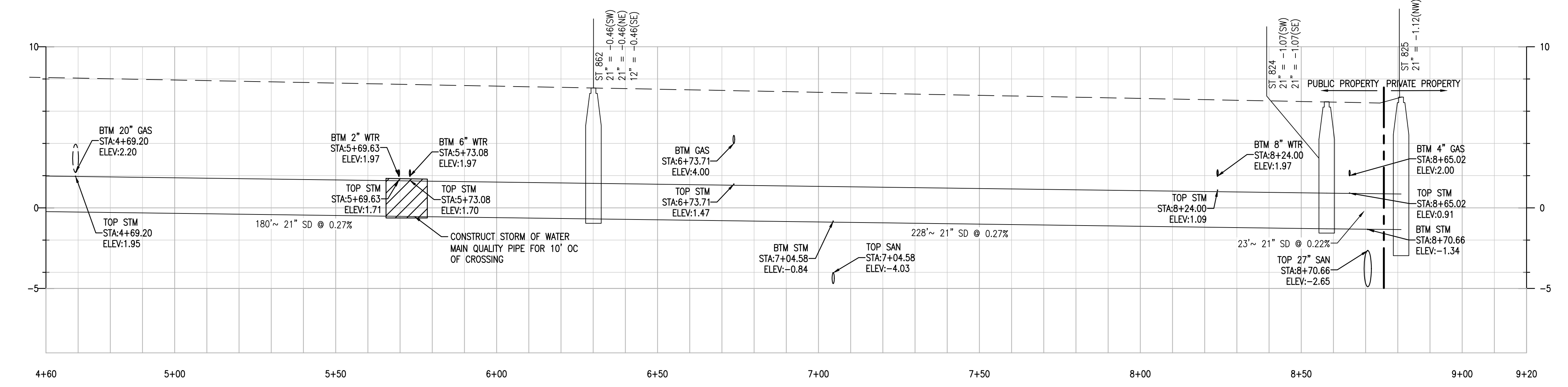
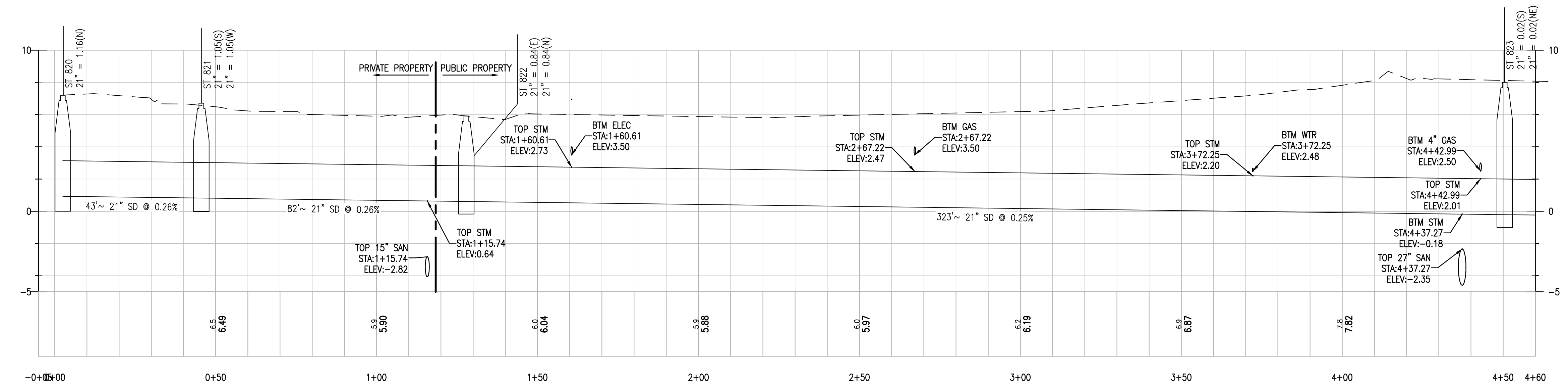
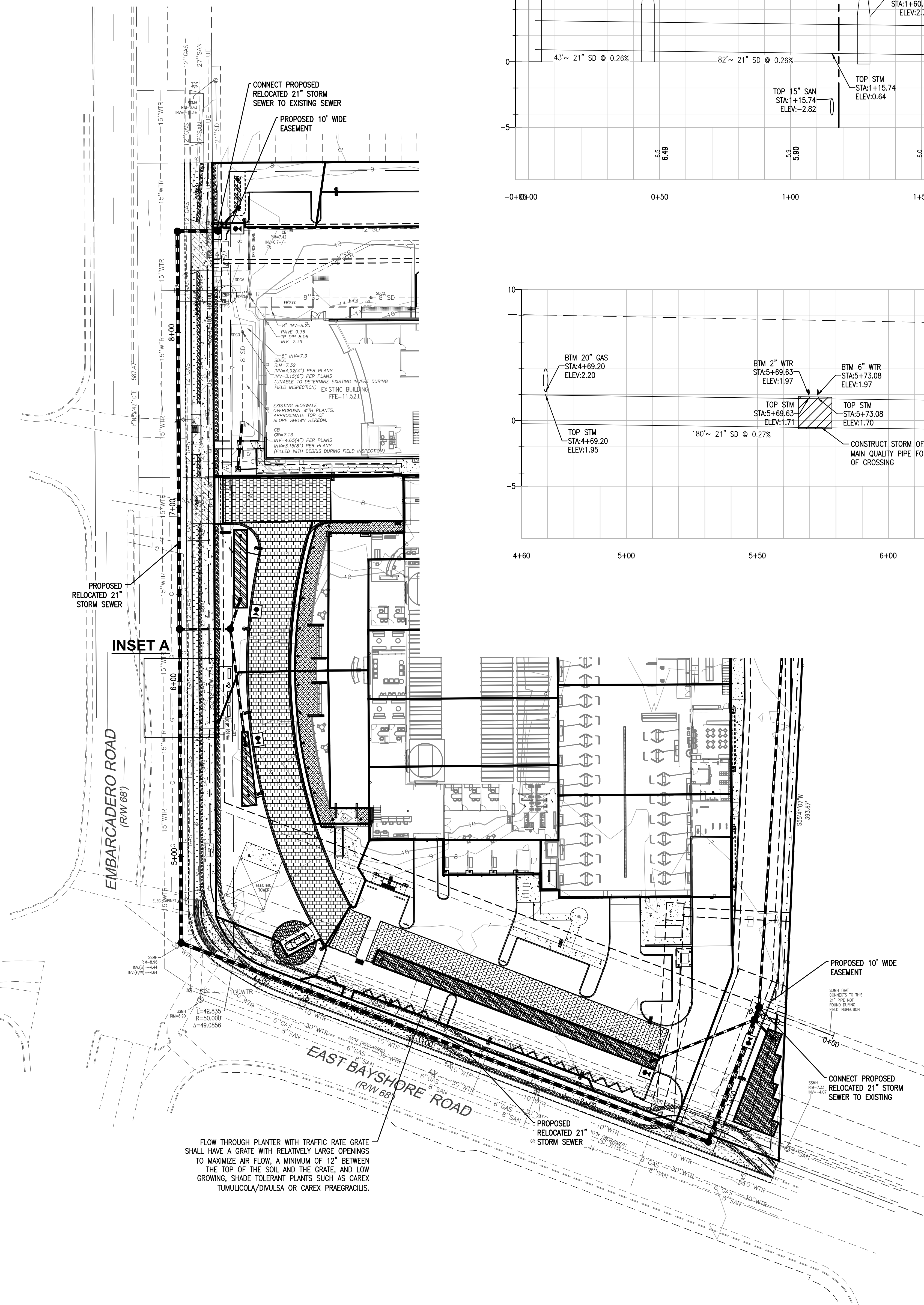
Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
STORM WATER CONTROL PLAN (SWCP)

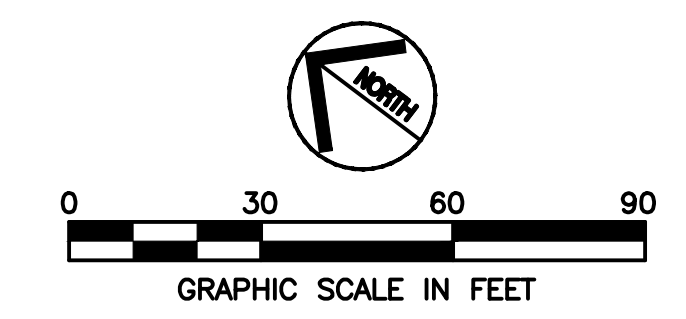
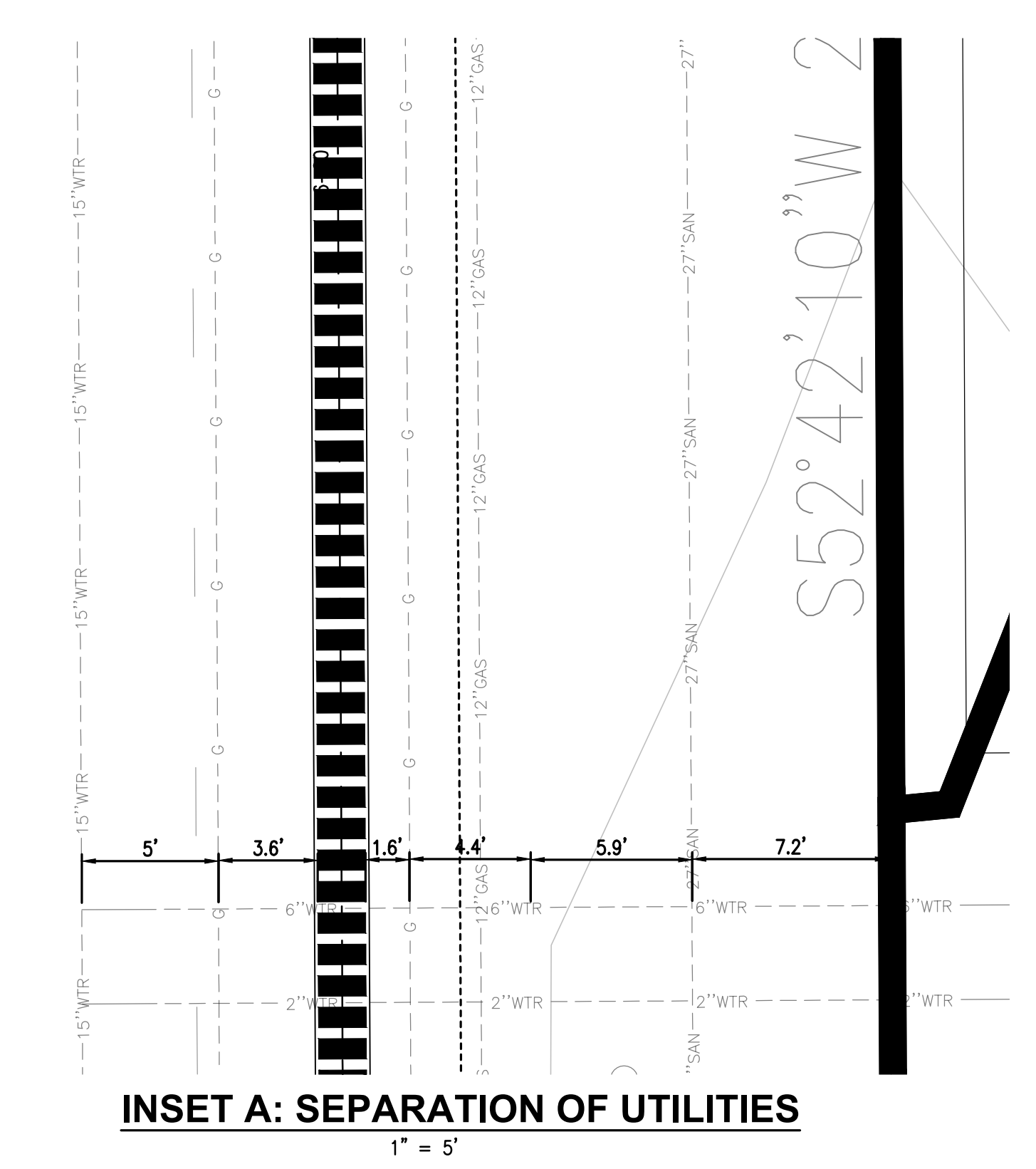
Sheet Number:
C04.00



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |



ASSUMED BURIED DEPTHS FOR EXISTING UTILITIES
 GAS: PER 1959 RECORD DRAWINGS, 3.5' OTHERWISE
 ELECTRIC: 3.5'
 DATA: 3.5'
 WATER: 3.5'
 STORM: PER SURVEY
 SANITARY: PER SURVEY



Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

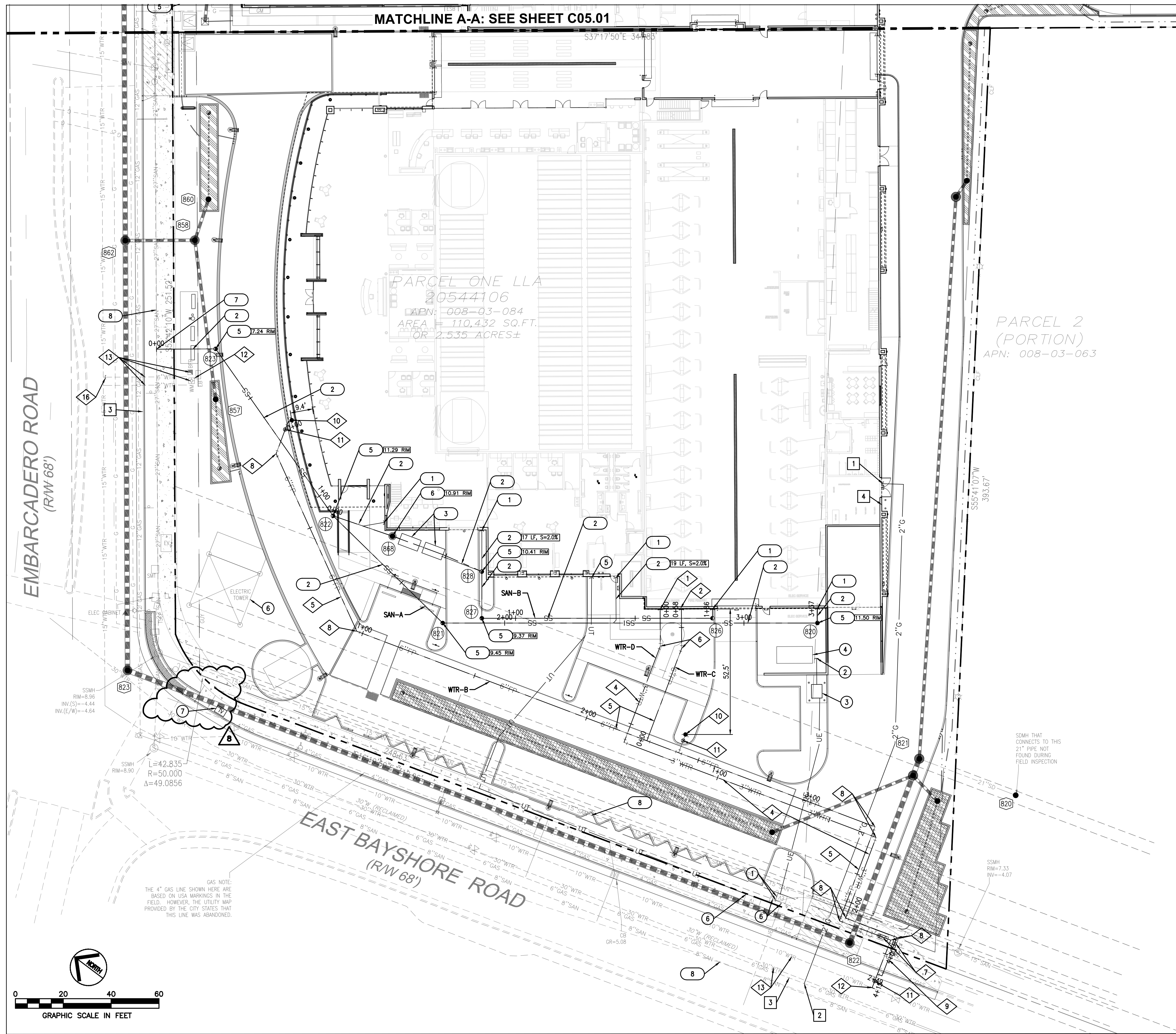
Project:
**MERCEDES
BENZ / AUDI
of PALO ALTO**

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
 Drawn By: AJH/MRJ
 Checked By: RVP
 Approved By: RVP

Sheet Title:
**RELOCATED STORM
SEWER PLAN AND
PROFILE**

Sheet Number:
C04.01



PROPOSED

LEGEND

EXISTING

PROPERTY LINE
EASEMENT LINE
SETBACK LINE
1-FOOT CONTOUR
5-FOOT CONTOUR
WTR
FP
SS
SD
OE
UE
2" G
X

FIRE PROTECTION WATER LINE
SANITARY SEWER LINE
STORM DRAIN LINE
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
GAS LINE (INSTALLED BY CPAU FORCES)

FENCE
TREE
SIGN
FIRE HYDRANT
WATER METER/VALVE
WATER BACK FLOW PREVENTER
SEWER MANHOLE
CLEANOUT
STORM MANHOLE/INLET
GAS METER/VALVE
ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE
ELECTRIC TRANSFORMER
TELEPHONE PEDESTAL/MANHOLE
LIGHT POLE, UTILITY POLE
LIGHT/TRAFFIC POLE

- WATER KEY NOTES**
- CONNECT PROPOSED 3" DOMESTIC WATER SERVICE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION.
 - CONNECT PROPOSED 6" FIRE WATER PROTECTION SERVICE TO BUILDING SERVICE STUB. FDC TO BE MOUNTED ON BUILDING WALL. SEE BUILDING PLUMBING AND FIRE PROTECTION PLANS FOR CONTINUATION.
 - NOT USED
 - PROPOSED 3" DOMESTIC WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
 - PROPOSED 6" DEDICATED FIRE WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
 - PROPOSED 2" RECYCLED WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING WG-04.
 - PROPOSED DEDICATED FIRE REDUCED PRESSURE DETECTOR ASSEMBLY WITH DETECTOR METER AND COUPLINGS FURNISHED BY CITY PER PALO ALTO STANDARD DRAWING WD-17A. INSTALL COMMERCIAL BOLLARDS AS SHOWN PER PALO ALTO STANDARD DETAIL WG-05.
 - PROPOSED BEND. THRUST BLOCKS TO BE PROVIDED PER PALO ALTO STANDARD DETAIL WD-19.
 - PROPOSED WATER METER PER PALO ALTO STANDARD DRAWING WD-06.
 - PROPOSED FIRE HYDRANT. LOCATION TO BE APPROVED BY PALO ALTO FIRE DEPARTMENT.
 - PROPOSED GATE VALVE TO BE PROVIDED PER PALO ALTO STANDARD DETAIL WD-20.
 - PROPOSED CONNECTION TO EXISTING WATER MAIN.
 - CONTRACTOR TO PROTECT EXISTING WATER LINE/STRUCTURE TO REMAIN.
 - NOT USED
 - NOT USED
 - EXISTING FIRE LATERAL TO BE DISCONNECTED AND ABANDONED AT WATER MAIN PER WG STANDARDS.

- PRIVATE SANITARY SEWER KEY NOTES**
- CONNECT SANITARY SEWER LATERAL TO BUILDING. SEE BUILDING PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
 - PROPOSED PVC-SDR 35 SANITARY SEWER SERVICE PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
 - PROPOSED RECLAIM TANK. SEE BUILDING PLUMBING PLANS FOR DETAILS. RIM AND INVERT PER PLAN.
 - NOT USED
 - PROPOSED 4" TWO-WAY SANITARY SEWER CLEANOUT PER PALO ALTO STANDARD DRAWING WWD-02. TRAFFIC RATED CLEANOUT BOX PER PALO ALTO STANDARD DRAWING WWD-04. RIM AND INVERT PER PLAN.
 - PROPOSED 48" SANITARY SEWER MANHOLE PER PALO ALTO STANDARD DETAIL WWD-09. FRAME AND COVER PER PALO ALTO STANDARD DRAWING WWD-12.
 - CONNECT PROPOSED HDPE, SDR 17 SANITARY SEWER TO EXISTING 27" MAIN PER PALO ALTO STANDARD DRAWING WWD-05 AND WWD-06. RIM AND INVERT PER PLAN.
 - EXISTING SANITARY SEWER/STRUCTURE TO REMAIN. SIZE PER PLAN. LOCATION PER RECORDS, NOT FIELD VERIFIED. GENERAL CONTRACTOR TO CONFIRM DEPTH SIZE AND LOCATION - PROTECT IN PLACE.

- DRY UTILITY KEY NOTES**
- PROPOSED CONNECTION POINT OF PROPOSED PRIMARY UNDERGROUND ELECTRICAL CONDUITS TO EXISTING UTILITY POLE. COORDINATE ROUTING AND POINT OF CONNECTION WITH SCE PRIOR TO CONSTRUCTION.
 - PROPOSED SECONDARY ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SEE ONSITE ELECTRICAL PLANS AND ELECTRICAL PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
 - PROPOSED PRIVATE TRANSFORMER OR 1600 AMP SERVICE. SEE MEP PLANS.
 - PROPOSED PRIVATE GENERATOR. SEE MEP PLANS.
 - PROPOSED DATA AND TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SEE ONSITE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS. SEE BUILDING ELECTRICAL PLANS FOR CONTINUATION.
 - ASSUMED CONNECTION POINT OF PROPOSED UNDERGROUND DATA AND TELEPHONE CONDUITS TO EXISTING UNDERGROUND VAULT. COORDINATE ROUTING AND POINT OF CONNECTION WITH DATA AND TELEPHONE SERVICE PROVIDER PRIOR TO CONSTRUCTION.
 - RELOCATED TELECOMM VAULT

- GAS SERVICE KEY NOTES**
- CONNECT PROPOSED 2" GAS SERVICE TO BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR CONTINUATION. METER TO BE LOCATED PER PALO ALTO STANDARD DRAWING GD-01.
 - CONNECT PROPOSED 2" GAS SERVICE TO EXISTING GAS MAIN PER PALO ALTO STANDARD DRAWING GD-01.
 - CONTRACTOR TO PROTECT EXISTING GAS LINE TO REMAIN.
 - PROPOSED GAS METER

SANITARY STRUCTURE TABLE

| STRUCTURE ID | RIM | INVERT |
|--------------|-------|--|
| 820 | 11.50 | 4" = -1.00 (NE) 4" = -1.00 (NW) |
| 821 | 9.45 | 4" = -2.50 (SE) 4" = -2.50 (N) |
| 822 | 11.29 | 4" = -3.00 (S) 6" = -3.00 (N) 4" = -3.00 (S) |
| 823 | 7.24 | 6" = -3.75 (S) 6" = -3.75 (NW) |
| 826 | 11.50 | 4" = -1.00 (NE) 4" = -1.00 (NW) |
| 827 | 9.37 | 4" = -2.00 (SE) 4" = -2.00 (NE) |
| 828 | 10.41 | 4" = -2.25 (SW) 4" = -2.25 (N) |
| 868 | 10.91 | 4" = -2.70 (N) 4" = -2.70 (S) |

SOILS REPORT NOTE:
REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEOTECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT SECTIONS, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO, CALIFORNIA, STATE OF CALIFORNIA TITLE 24 AND SANTA CLARA COUNTY STANDARDS AND SPECIFICATIONS.
 - ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
 - ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
 - THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

- FLOOD ZONE NOTES:**
- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
 - ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06085003004 DATED MAY 18, 2009.

- SURVEY NOTES:**
- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES, RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
 - BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT EM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD.
 - BASE OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

- UTILITY NOTES:**
- SEE SHEET C04.00 FOR ADDITIONAL STORM DRAIN UTILITY DESIGN INFORMATION. EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
 - LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
 - SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS.
 - UNLESS NOTED OTHERWISE, ALL RAIN WATER LEADERS TO SPLASH ONTO PAVED SURFACES. IF RAINWATER LEADER TERMINATES IN A LANDSCAPE AREA, CONTRACTOR TO INSTALL SPLASH BLOCK OR APPROVED EQUIVALENT.
 - JOINT TRENCH: ELECTRICAL, DATA, AND GAS ARE SHOWN FOR REFERENCE ONLY. SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS.
 - PROPOSED SANITARY SEWER LATERAL PIPES TO MEET MINIMUM SLOPE STANDARDS:
4"SS SLOPE = 2.0% MIN.
6"SS SLOPE = 1.1% MIN.
8"SS SLOPE = 0.77% MIN.

- WORK IN THE RIGHT OF WAY NOTE:**
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ASSURANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
 - CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ONSITE OR WITHIN PRIVATE PROPERTY.

ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

CALL 811 OR 1-800-277-2600
CALL BEFORE YOU DIG
WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG

ysm DESIGN
RETAIL/AUTOMOTIVE ARCHITECTURE

1320 Ellsworth Industrial Blvd
Suite A-100
Atlanta GA 30318
404-249-4555 tel
404-355-6394 fax

www.ysmdesign.com

CALICHI DESIGN GROUP
1 N. LASALLE SUITE 3950
CHICAGO, IL 60662
(312) 940-4393
WWW.CALICHI.COM



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |
| Z8 | 11/05/19 | Planning Commission |

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

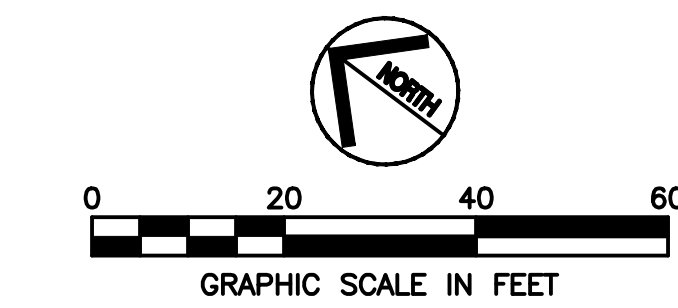
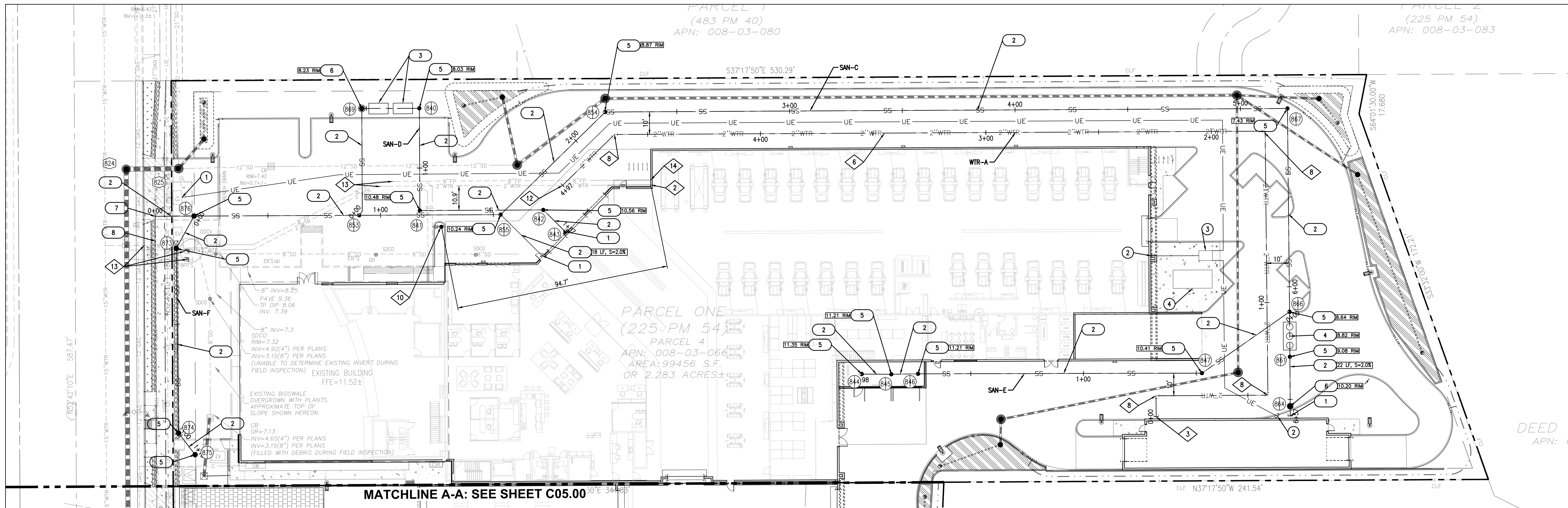
Project:
MERCEDES BENZ / AUDI of PALO ALTO

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
ON-SITE PRIVATE UTILITY PLAN

Sheet Number:
C05.00



MATCHLINE A-A: SEE SHEET C05.00

PROPOSED

| | |
|-----|-------------------------------------|
| --- | PROPERTY LINE |
| --- | EASEMENT LINE |
| --- | SETBACK LINE |
| --- | 1-FOOT CONTOUR |
| --- | 5-FOOT CONTOUR |
| --- | WATER LINE |
| --- | FIRE PROTECTION WATER LINE |
| --- | SANITARY SEWER LINE |
| --- | STORM DRAIN LINE |
| --- | OVERHEAD ELECTRIC |
| --- | UNDERGROUND ELECTRIC |
| --- | GAS LINE (INSTALLED BY CPAU FORCES) |
| --- | FENCE |
| --- | TREE |
| --- | SIGN |
| --- | FIRE HYDRANT |
| --- | WATER METER/VALVE |
| --- | WATER BACK FLOW PREVENTER |
| --- | SEWER MANHOLE |
| --- | CLEANOUT |
| --- | STORM MANHOLE/INLET |
| --- | GAS METER/VALVE |
| --- | ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE |
| --- | ELECTRIC TRANSFORMER |
| --- | TELEPHONE PEDESTAL/MANHOLE |
| --- | LIGHT POLE, UTILITY POLE |
| --- | LIGHT/TRAFFIC POLE |

LEGEND

EXISTING

| | |
|-----|-------------------------------------|
| --- | PROPERTY LINE |
| --- | EASEMENT LINE |
| --- | SETBACK LINE |
| --- | 1-FOOT CONTOUR |
| --- | 5-FOOT CONTOUR |
| --- | WATER LINE |
| --- | FIRE PROTECTION WATER LINE |
| --- | SANITARY SEWER LINE |
| --- | STORM DRAIN LINE |
| --- | OVERHEAD ELECTRIC |
| --- | UNDERGROUND ELECTRIC |
| --- | GAS LINE (INSTALLED BY CPAU FORCES) |
| --- | FENCE |
| --- | TREE |
| --- | SIGN |
| --- | FIRE HYDRANT |
| --- | WATER METER/VALVE |
| --- | WATER BACK FLOW PREVENTER |
| --- | SEWER MANHOLE |
| --- | CLEANOUT |
| --- | STORM MANHOLE/INLET |
| --- | GAS METER/VALVE |
| --- | ELECTRIC BOX/VAULT/PEDESTAL/MANHOLE |
| --- | ELECTRIC TRANSFORMER |
| --- | TELEPHONE PEDESTAL/MANHOLE |
| --- | LIGHT POLE, UTILITY POLE |
| --- | LIGHT/TRAFFIC POLE |

WATER KEY NOTES

- NOT USED
- CONNECT PROPOSED 6" FIRE WATER PROTECTION SERVICE TO BUILDING SERVICE STUB. FDC TO BE MOUNTED ON BUILDING WALL. SEE BUILDING PLUMBING AND FIRE PROTECTION PLANS FOR CONTINUATION.
- CONNECT PROPOSED 2" RECYCLED WATER SERVICE TO CAR WASH STUB. BFP LOCATED INSIDE OF BUILDING. SEE CAR WASH PLUMBING PLANS FOR CONTINUATION.
- NOT USED
- NOT USED
- PROPOSED 2" RECYCLED WATER SERVICE LINE. PIPE BEDDING PER PALO ALTO STANDARD DRAWING W6W-04.
- NOT USED
- PROPOSED BEND. THRUST BLOCKS TO BE PROVIDED PER PALO ALTO STANDARD DETAIL WD-19.
- NOT USED
- NOT USED
- NOT USED
- PROPOSED CONNECTION TO EXISTING WATER MAIN.
- CONTRACTOR TO PROTECT EXISTING WATER LINE/STRUCTURE TO REMAIN.
- CONNECT PROPOSED DOMESTIC WATER SERVICE FROM EXISTING WATER LINE TO BUILDING SERVICE STUB. SEE PLUMBING PLANS FOR CONTINUATION.
- NOT USED
- NOT USED

PRIVATE SANITARY SEWER KEY NOTES

- CONNECT SANITARY SEWER LATERAL TO BUILDING. SEE BUILDING PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
- PROPOSED PVC-SDR 35 SANITARY SEWER SERVICE PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
- PROPOSED RECLAIM TANK. SEE BUILDING PLUMBING PLANS FOR DETAILS. RIM AND INVERT PER PLAN.
- PROPOSED OIL/SAND SEPARATION UNIT. SEE BUILDING PLUMBING PLANS FOR DETAILS. RIM AND INVERT PER PLAN.
- PROPOSED 4" TWO-WAY SANITARY SEWER CLEANOUT PER PALO ALTO STANDARD DRAWING WWD-02. TRAFFIC RATED CLEANOUT BOX PER PALO ALTO STANDARD DRAWING WWD-04. RIM AND INVERT PER PLAN.
- NOT USED
- CONNECT PROPOSED HOPE, SDR 17 SANITARY SEWER TO EXISTING 27" MAIN PER PALO ALTO STANDARD DRAWING WWD-05 AND WWD-06. RIM AND INVERT PER PLAN.
- EXISTING SANITARY SEWER/STRUCTURE TO REMAIN. SIZE PER PLAN. LOCATION PER RECORDS, NOT FIELD VERIFIED. GENERAL CONTRACTOR TO CONFIRM DEPTH SIZE AND LOCATION - PROTECT IN PLACE.

DRY UTILITY KEY NOTES

- PROPOSED CONNECTION POINT OF PROPOSED PRIMARY UNDERGROUND ELECTRICAL CONDUITS TO EXISTING UTILITY POLE. COORDINATE ROUTING AND POINT OF CONNECTION WITH SEE PRIOR TO CONSTRUCTION.
- PROPOSED SECONDARY ELECTRICAL SERVICE CONDUITS FROM TRANSFORMER TO BUILDING. SEE ON-SITE ELECTRICAL PLANS AND ELECTRIC PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
- PROPOSED PRIVATE TRANSFORMER OR 1600 AMP SERVICE. SEE MEP PLANS.
- PROPOSED PRIVATE GENERATOR. SEE MEP PLANS.
- NOT USED
- NOT USED
- NOT USED

SANITARY STRUCTURE TABLE

| STRUCTURE ID | RIM | INVERT |
|--------------|-------|--|
| 840 | 8.03 | 4" = -2.50 (NW) 4" = -2.50 (SW) |
| 841 | 10.48 | 4" = -1.50 (NE) 4" = -1.50 (SE) |
| 842 | 10.58 | 4" = -0.50 (NW) 4" = -0.50 (S) |
| 843 | 11.39 | 4" = 0.00 (N) |
| 844 | 11.35 | 4" = 2.40 (SE) |
| 845 | 11.21 | 4" = 2.20 (NW) 4" = 2.20 (SE) |
| 846 | 11.21 | 4" = 2.00 (NW) 4" = 2.00 (SE) |
| 847 | 10.41 | 4" = 0.50 (NW) 4" = 0.50 (E) |
| 853 | 10.65 | 6" = -3.50 (NW) 4" = -3.50 (E) 4" = -3.50 (SE) |
| 854 | 8.88 | 4" = -2.50 (SE) 4" = -2.50 (W) |
| 855 | 10.24 | 4" = -3.00 (E) 4" = -3.00 (NW) |
| 861 | 9.08 | 4" = -0.04 (NE) 4" = -0.04 (SW) |
| 864 | 10.20 | 4" = 0.10 (NE) 4" = 0.10 (SW) |
| 866 | 8.64 | 4" = 0.00 (W) 4" = -0.17 (NE) 4" = -0.17 (SW) |
| 867 | 7.43 | 4" = -0.75 (SW) 4" = -0.75 (NW) |
| 869 | 8.22 | 4" = -3.00 (SE) 4" = -3.00 (SW) |
| 873 | 7.07 | 6" = -3.80 (E) 6" = -3.80 (SW) |
| 874 | 7.18 | 6" = -3.00 (NE) 6" = -3.00 (S) |
| 875 | 7.55 | 6" = -2.50 (N) |
| 876 | 7.61 | 6" = -3.90 (W) 6" = -3.90 (NW) |

SOILS REPORT NOTE:

REFER TO THE SOIL STUDY BY ROMIG ENGINEERS, INC. TITLED, "GEO-TECHNICAL INVESTIGATION FOR MERCEDES-BENZ DEALERSHIP 1700 EMBARCADERO ROAD, PALO ALTO, CALIFORNIA 94303", DATED AUGUST, 2015, FOR ALL PROJECT SPECIFICATIONS, REQUIREMENTS, RECOMMENDATIONS AND PROCEDURES IN REGARDS TO PAVEMENT CONSTRUCTION, PAD PREPARATION, SITE CLEARING REQUIREMENTS, OVEREXCAVATION, COMPACTION, SOIL REMEDIATION, ETC.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CALTRANS STANDARDS, OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WORK IN THE RIGHT OF WAY NOTE:

- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED STREET OPENING PERMIT PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIALS AND EQUIPMENT ON-SITE OR WITHIN PRIVATE PROPERTY.

FLOOD ZONE NOTES:

- THE PROPOSED PROJECT IS A SUBSTANTIAL IMPROVEMENT AND SHALL COMPLY WITH PALO ALTO MUNICIPAL CODE CHAPTER 16.52 FLOOD HAZARD REGULATIONS AND FEMA'S REQUIREMENTS.
- ASSESSOR'S PARCEL 008-03-065 IS LOCATED WITHIN FEMA'S SPECIAL FLOOD HAZARD AREA ZONE AE WHERE THE BASE FLOOD ELEVATION (BFE) WAS DETERMINED TO BE 10.5 AS SHOWN ON THE FIRM PANEL NUMBER 06085500304 DATED MAY 18, 2009.

SURVEY NOTES:

- TOPOGRAPHIC SURVEY PROVIDED BY AMS & ASSOCIATES, RECEIVED APRIL 11, 2017. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT EM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD.
- BASE OF BEARINGS: THE TIE BETWEEN FOUND MONUMENTS ON FABER PLACE, TAKEN AS SOUTH 37° 17' 44" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

UTILITY LOCATION NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF CITY OF PALO ALTO RECORDS, AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN HEREON. THE EXISTING 21" STORM DRAIN WAS POTHOLED ON 3-30-16, AND ITS LOCATION AND DEPTH DETERMINED.

UTILITY NOTES:

- SEE SHEET C04.00 FOR ADDITIONAL STORM DRAIN UTILITY DESIGN INFORMATION.
- EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
- LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- UNLESS NOTED OTHERWISE, ALL RAIN WATER LEADERS TO SPLASH ONTO PAVED SURFACES. IF RAINWATER LEADER TERMINATES IN A LANDSCAPE AREA, CONTRACTOR TO INSTALL SPLASH BLOCK OR APPROVED EQUIVALENT.
- JOINT TRENCH: ELECTRICAL, DATA, AND GAS ARE SHOWN FOR REFERENCE ONLY. SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS.
- PROPOSED SANITARY SEWER LATERAL PIPES TO MEET MINIMUM SLOPE STANDARDS:
4"SS SLOPE = 2.0% MIN.
6"SS SLOPE = 1.1% MIN.
8"SS SLOPE = 0.77% MIN.



| Rev | Date | Comments |
|-----|----------|----------------------|
| 1 | 05/07/18 | ARB Submittal |
| Z1 | 07/26/18 | ARB Resubmittal No.1 |
| Z2 | 09/11/18 | ARB Resubmittal No.2 |
| Z3 | 10/10/18 | ARB Resubmittal No.3 |
| Z4 | 12/12/18 | Planning Review |
| Z5 | 02/04/19 | Planning Review |
| Z6 | 03/27/19 | Planning Commission |
| Z7 | 04/26/19 | Planning Commission |
| Z8 | 11/05/19 | Planning Commission |

Client:
Holman Automotive

1730 Embarcadero Rd
Palo Alto, CA 94303

Project:
**MERCEDES
BENZ / AUDI
of PALO ALTO**

1730 Embarcadero Rd
Palo Alto, CA 94303

Project Number: 17019
Drawn By: AJH/MRJ
Checked By: RVP
Approved By: RVP

Sheet Title:
**ON-SITE PRIVATE
UTILITY PLAN**

Sheet Number:
C05.01

CALL 811 OR 1-800-277-2600
CALL BEFORE YOU DIG

ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG

MERCEDES BENZ AUDI OF PALO ALTO

ARCHITECTURAL REVIEW BOARD: LANDSCAPE PLANS

DESIGN INTENT

THE LANDSCAPE DESIGN FOR THIS PROJECT EMBRACES THE BAYLANDS NATURAL PRESERVE WHICH IS THEN OVERLAID WITH THE MODERN MERCEDES BENZ BRAND. THE PLANTS WERE SELECTED FOR THEIR NATIVE SPECIES DESIGNATION, AS WELL AS, THEIR LOW-WATER USE REQUIREMENTS. ALL PLANTS CAN BE FOUND ON ONE OR MORE OF THE FOLLOWING LISTS:

- THE SANTA CLARA VALLEY WATER DISTRICT'S APPROVED PLANT LIST
- THE BAY-FRIENDLY RATED PLANT LIST
- LANDSCAPE PLANTS FROM THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM

THE BAYLANDS NATURAL PRESERVE IS LOCATED JUST EAST/SOUTHEAST OF THE EXISTING AUDI FACILITY (APPROXIMATELY 172' LINEAR FEET ALONG THE BACK LOT OF THEIR FACILITY). THE PLANTS SELECTED HERE ARE ONLY OF NATIVE SPECIES AND COMPLIMENTARY TO THE BAYLANDS NATURAL PRESERVE. THESE PLANTS INCLUDE: NATIVE OAKS, BIG LEAF MAPLE, COFFEEBERRY, NEVIN MAHONIA, DEER GRASS AND NATIVE SEDGES. THESE PLANTS ARE SENSITIVE TO THE BAYLAND TRAIL VIEW CORRIDORS (IN RESPECT TO COLOR AND HEIGHT) AS WELL AS TO WILDLIFE IN THE AREA SOFTENING THE CONNECTION BETWEEN THE TWO (2) USES. TO MINIMIZE THE ARCHITECTURAL MATERIALS AND HEIGHT THAT FACES THE BAYLANDS PRESERVE, GREEN SCREENS AND FLOW-THROUGH PLANTERS HAVE BEEN PLACED APPROXIMATELY 4'-0" DOWN FROM THE PARAPET ON THE FAÇADE OF THE BUILDING. THESE FULLY PLANTED WALLS WILL PROVIDE AN EXTENSION OF THE LANDSCAPE TO ENHANCE THE VIEW INTO THE SITE FROM THE TRAIL.

THE FOUNDATION LANDSCAPE SURROUNDING THE NEW MERCEDES BUILDING IS DESIGNED TO FRAME THE MODERN MARQUEE ENTRANCE OF THE BUILDING AND ITS SHOWROOM; WHILE PROVIDING ACCENTS AT PRIMARY ENTRY AREAS.

THE EXISTING AND ADJOINING AUDI FACILITY HAS STORMWATER BIORETENTION PLANTERS WITH NATIVE SEDGES IN A LINEAR AND/OR GRID PATTERN. THIS SAME DESIGN TECHNIQUE AND PLANT MATERIAL WAS INCORPORATED INTO THE VARIOUS STORMWATER BIORETENTION PLANTERS ON THE NEW MERCEDES SITE.

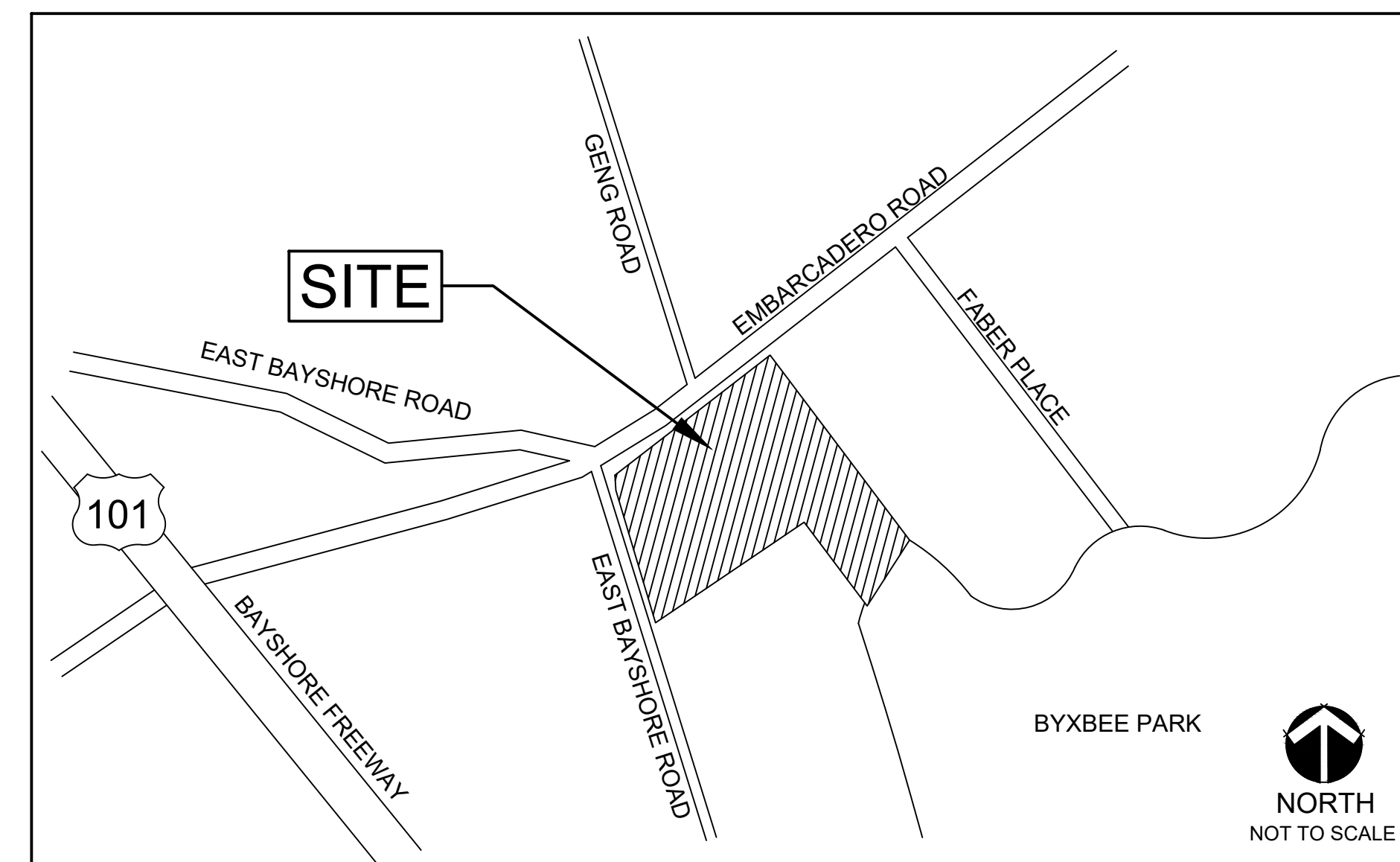
ALONG EMBARCADERO ROAD AND EAST BAYSHORE ROAD GRASSES AND OTHER ACCENT PLANTS ARE USED IN A SIMILAR LINEAR DESIGN FOR CONTINUITY ALONG THE STREETScape. THE STREETScape EMPHASIZES A MODERN AND CLEAN LANDSCAPE DESIGN WHICH HIGHLIGHTS THE NEW FACILITY ARCHITECTURE. THE STREETScape ALSO PROVIDES A BAY TRAIL CONNECTION AND REST STOP FOR TRAIL USERS, EITHER ON FOOT OR BIKE, TO REST, GET WATER AND/OR ADJUST THEIR BIKES.

FINALLY, THE REMAINING PERIMETER LANDSCAPES FOUND ADJACENT TO OTHER USES TO THE SITE FOCUSES ON SIMILAR PLANT SELECTIONS AS WELL PLANTS THAT CREATE BUFFERS.

IRRIGATION STATEMENT:
THE IRRIGATION SYSTEM WILL BE DESIGNED TO COMPLY WITH THE WATER CONSERVATION LANDSCAPE ORDINANCE. THE EQUIPMENT SHALL UTILIZE THE MOST UP TO DATE WATER CONSERVATION METHODS INCLUDING DRIP IRRIGATION AND AN ET WEATHER MONITORING CONTROLLER.

DRAINAGE STATEMENT:
DRAINAGE ON THE SITE SHALL CONFORM TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND C-3 REQUIREMENTS WHERE REQUIRED.

VICINITY MAP



DEVELOPMENT TEAM

CLIENT / DEVELOPER:

HOLMAN AUTOMOTIVE GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
PH: (954) 335-2200
CONTACT: STEVEN PRESSON

CONSULTANTS:

LANDSCAPE ARCHITECT

LAI DESIGN GROUP
88 INVERNESS CIRCLE EAST
BUILDING J, SUITE 101
ENGLEWOOD, COLORADO 80112
PH: (303) 734 - 1777
CONTACT: JENNIFER CARPENTER, RLA

CIVIL ENGINEER

CALICHI DESIGN GROUP
1 NORTH LASALLE, SUITE 3950
CHICAGO IL 60602
OFFICE: (312) 940-4393
CONTACT: AUSTIN HAHN, PE

ARCHITECT

YSM DESIGN
305 NORTH COAST HIGHWAY, SUITE L
LAGUNA BEACH, CA 92651
PH: (949) 715 - 4275
CONTACT: LYLE HUTSON

SHEET INDEX

| SHEET | DESCRIPTION |
|-----------|---|
| L-1 | COVER SHEET |
| L-2 | LANDSCAPE ILLUSTRATIVE PLAN |
| L-3 ~ L-4 | PLANTING PLANS |
| L-5 | SHADE CALCULATION |
| L-6 | LANDSCAPE DETAILS |
| L-7 | SITE DETAILS |
| L-8 | GREEN SCREEN DETAILS |
| L-9 | PLANT IMAGES |
| T-1 | TREE PROTECTION (CITY OF PALO ALTO) |
| T-2 ~ T-4 | ARBORIST ASSESSMENT AND REPORT FOR PROTECTED AND DESIGNATED TREES |
| T-5 ~ T-6 | TREE PROTECTION PLANS |
| B-1 | BAYLANDS - OFF-SITE IMPROVEMENTS |

ARCHITECT / PLANNER



88 Inverness Circle East,
Bldg. J, Suite 101
Englewood, Colorado 80112
T 303.734.1777 | F 303.734.1778
Architecture | Planning | Golf Design
Landscape Architecture | Visual Media
www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE
GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
COVER SHEET

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JC/KP

ISSUE RECORD

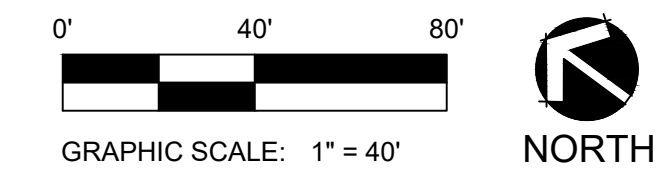
| | |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

SHEET NUMBER

L-1

1 OF 16

Copyright © 2019 LAI Design Group
 These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.



ARCHITECT / PLANNER



world wide
 88 Inverness Circle East,
 Bldg. J, Suite 101
 Englewood, Colorado 80112
 T 303.734.1777 | F 303.734.1778
 Architecture | Planning | Golf Design
 Landscape Architecture | Visual Media
 www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE
 GROUP, INC.
 911 NE 2ND AVENUE
 FORT LAUDERDALE, FL 33304
 (954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
ILLUSTRATIVE PLAN

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
 DRAWN BY: JC
 CHECKED BY: JC/KP

ISSUE RECORD

| | |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

SHEET NUMBER

L-2

2 OF 16

Copyright © 2019 LAI Design Group. These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.

EMBARCADERO ROAD (R/W 68')

EAST BAYSHORE ROAD (R/W 68')

NEW MERCEDES-BENZ FACILITY

PARCEL ONE LLA
20544106
APN: 008-03-084
= 110,432 SQ. FT.
OR 2.535 ACRES±

LEGEND (not to scale)

| | | | |
|--|--|--|-----------------------------------|
| | SHADE TREES | | EXISTING TREE |
| | ORNAMENTAL TREES | | ROLL TOP STEEL EDGE |
| | EVERGREEN SHRUBS | | BIKE RACKS RE: A / L-7 |
| | ORNAMENTAL GRASSES | | TRASH RECEPTACLES RE: B / L-7 |
| | ORNAMENTAL GRASSES UNDER GRATE CONDITION | | RECTANGLE PLANTERS RE: C / L-7 |
| | AGAVE | | ROUND PLANTERS RE: D / L-7 |
| | PERENNIALS | | BENCHES RE: E / L-7 |
| | COBBLE (SEE PLAN FOR SIZE) | | DECOMPOSED GRANITE |

NOTE: COBBLE AND D.G. HATCH NOT SHOWN IN ALL PLANTING AREAS FOR CLARITY

PLANT LIST (TOTAL COUNTS)

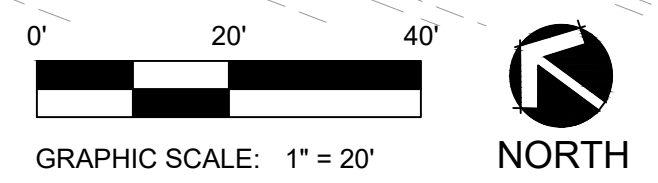
| LABEL | QTY | BOTANICAL NAME | COMMON NAME | MIN. SIZE |
|---|------|--|--------------------------------|-----------|
| SHADE TREES | | | | |
| BLM | 31 | Acer macrophyllum (N) | Big Leaf Maple | 36" BOX |
| BOK | 24 | Quercus douglasii (L,N) | Blue Oak | 36" BOX |
| CLO | 6 | Quercus agrifolia (L,N) | Coast Live Oak | 36" BOX |
| FOL | 3 | Olea europaea 'Swan Hill' (L) | Fruitless Olive Tree | 36" BOX |
| VOK | 12 | Quercus lobata (N) | Valley Oak | 36" BOX |
| WHB | 6 | Celtis reticulata (L,N) | Western Hackberry | 36" BOX |
| ORNAMENTAL TREES | | | | |
| CHT | 12 | Vitex agnus castus (L) | Chaste Tree | 36" BOX |
| CRH | 19 | Ceanothus 'Ray Hartman' (L,N) | California Lilac 'Ray Hartman' | 36" BOX |
| MPV | 1 | Parkinsonia aculeata (L) | Mexican Palo Verde | SALVAGE |
| TCS | 7 | Caesalpinia cacalaco 'Smoothie' (L) | Thornless Cascalote | 36" BOX |
| TML | 8 | Sephora secundiflora (L) | Texas Mountain Laurel | 36" BOX |
| WRB | 2 | Cercis occidentalis (L,N,S) | Western Redbud | 36" BOX |
| PERENNIAL & EVERGREEN SHRUBS | | | | |
| BUC | 30 | Rhamnus alaternus | Italian Buckthorn | 5 GAL |
| CFB | 100 | Rhamnus californica (B,N,L,S) | Coffeeberry | 5 GAL |
| CML | 112 | Ceanothus concha (B,N,L,S) | California Mountain Lilac | 5 GAL |
| MNZ | 413 | Arcostaphylos densiflora 'Harmony' (B,N,L) | Harmony Manzanita | 5 GAL |
| NMH | 122 | Mahonia nevini (L,N,S) | Nevin Mahonia | 5 GAL |
| SBL | 167 | Lupinus albus (B,N,L,S) | Silver Bush Lupine | 5 GAL |
| WBC | 59 | Trichostema lanatum (N,L) | Woolly Blue Curly | 5 GAL |
| ORNAMENTAL GRASSES / ACCENTS | | | | |
| BKS | 564 | Carex divulsa (B,L,N,S) | Berkeley Sedge | 1 GAL |
| DEG | 596 | Mulherbergia rigens (B,L,N,S) | Deer Grass | 5 GAL |
| DNS | 2207 | Carex pansa (B,L,N,S) | Dune Sedge | 1 GAL |
| FRG | 276 | Calamagrostis acutiflora 'Kari Foerster' (L,N,S) | Feather Reed Grass | 1 GAL |
| MRG | 2466 | Calamagrostis foliosa (L,N,S) | Mendocino Reed Grass | 1 GAL |
| FTA | 33 | Agave attenuata (L,S) | Foxtail Agave | 15 GAL |
| ACCENTS IN PLANTERS | | | | |
| ASD | 24 | Sedum rupestre 'Angelina' (L,S) | Angelina Stonecrop | 1 GAL |
| CFG | 18 | Cordalyne x 'JURed' Plant (L) | Festival Burgundy Cordalyne | 2 GAL |
| ACCENTS ON GREEN SCREEN | | | | |
| YSD | TBD | Sedum spathulifolium (L,N,S) | Yellow Stonecrop | 1/2 GAL |

ALL PLANTS ON THIS LIST ARE MODERATE TO LOW-WATER USE. DESIGNATION IF FOUND ON AN APPROVED PLANT LIST, NATIVE SPECIES OR LOW-WATER USE:
(B)=BAY-FRIENDLY RATED PLANT LIST
(L)= LOW WATER USE
(N)=NATIVE SPECIES
(S)=SANTA CLARA VALLEY WATER DISTRICT'S APPROVED PLANT LIST

*NOTE: (1) MPV IS TO BE RELOCATED FROM THE EXISTING AUDI FACILITY TO THE MERCEDES BENZ SITE

- ### NOTES
- SEE SHEET L-6 FOR LANDSCAPE DETAILS.
 - PLANT SPACING IS PER PLANS.
 - DECOMPOSED GRANITE SHALL BE PROVIDED IN ALL PLANTING AREAS EXCEPT:
 - COBBLE MULCH SHALL BE PROVIDED IN ALL SWALES AND WHERE INDICATED ON PLANS. TYPE IS TO BE MULTICOLORED RIVER ROCK/COBBLE WITH A BLEND OF 50% AREA COVERED WITH 2-3" DIA. AND 50% COVERED WITH 3-4" OR 3-6" DIA. REFER TO SPECIFIC NOTATION PER LOCATION FOR SIZING.
 - 3-5" DIA. BLACK MEXICAN PEBBLE IN AGAVE PLANTING STRIPS.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF AND PROTECT ALL UTILITIES DURING THE PLACEMENT OF TREES.

- ### 60' PG&E EASEMENT:
- NO VEGETATION IS ALLOWED TO BE PLANTED THAT WILL REACH A HEIGHT AT MATURITY OF OVER 15FT. THIS RULE ALSO APPLIES TO ANY LIGHTING FIXTURES.



ARCHITECT / PLANNER

88 Inverness Circle East,
Bldg. J, Suite 101
Englewood, Colorado 80112
T 303.734.1777 | F 303.734.1778
Architecture | Planning | Golf Design
Landscape Architecture | Visual Media
www.LAIdesigngroup.com

OWNER/CLIENT
HOLMAN AUTOMOTIVE GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
LANDSCAPE PLAN

PROFESSIONAL STAMP

PROJECT INFORMATION
PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JCK/P

ISSUE RECORD

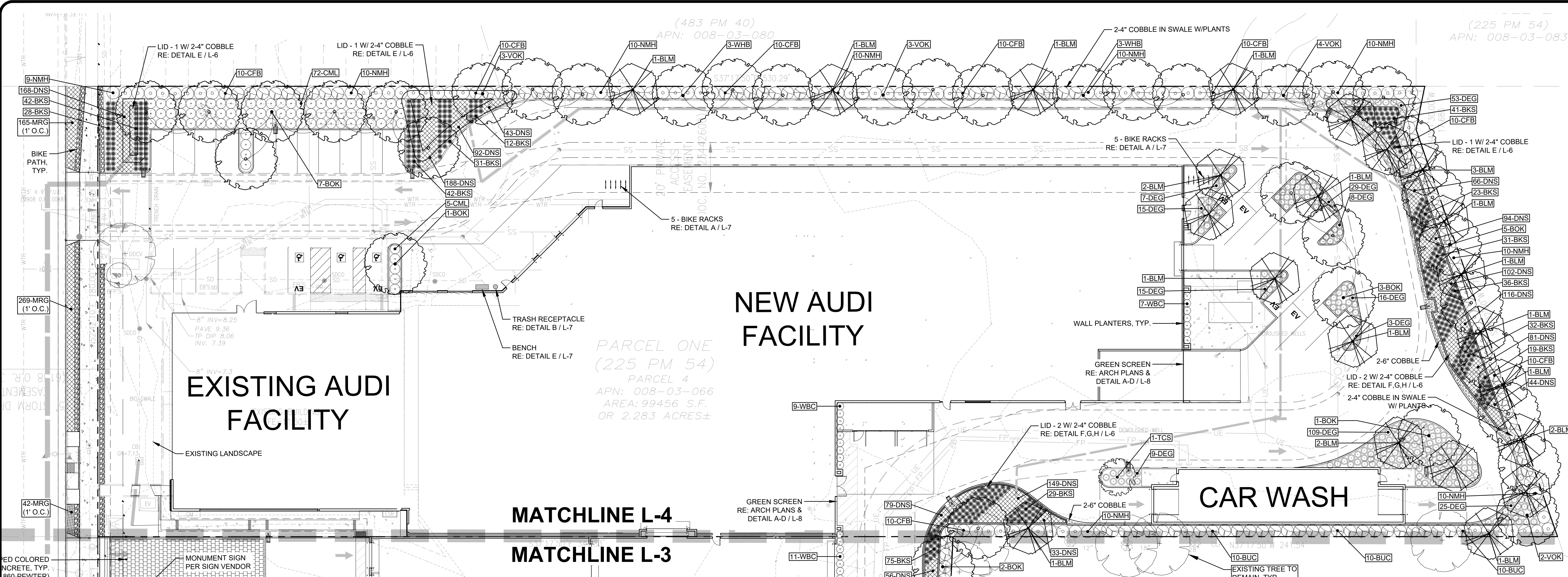
| REV | DATE | DESCRIPTION |
|--------------|------------|-------------|
| ARB (REVIEW) | 08/20/2019 | |
| ARB (REVIEW) | 09/10/2019 | |
| ARB (REVIEW) | 10/22/2019 | |
| ARB | 11/06/2019 | |
| ARB | 01/09/2020 | |
| ARB | 03/05/2020 | |

SHEET NUMBER

L-3

3 OF 16

Copyright © 2019 LAI Design Group. These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.



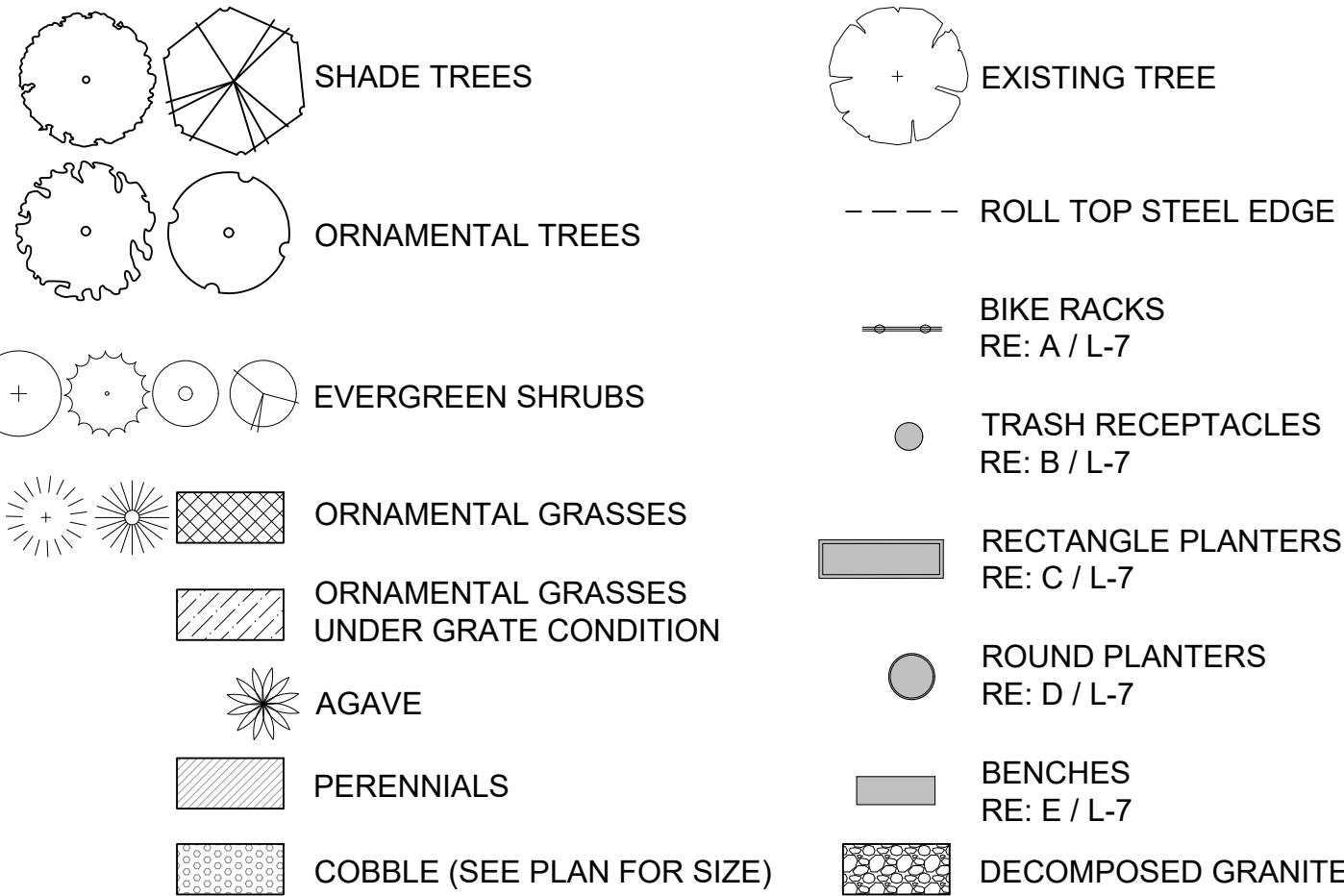
NEW AUDI FACILITY

EXISTING AUDI FACILITY

CAR WASH

MATCHLINE L-4
MATCHLINE L-3

LEGEND (not to scale)



NOTE: COBBLE AND D.G. HATCH NOT SHOWN IN ALL PLANTING AREAS FOR CLARITY

NOTES

- SEE SHEET L-6 FOR LANDSCAPE DETAILS.
- PLANT SPACING IS PER PLANS.
- DECOMPOSED GRANITE SHALL BE PROVIDED IN ALL PLANTING AREAS EXCEPT: COBBLE MULCH SHALL BE PROVIDED IN ALL SWALES AND WHERE INDICATED ON PLANS. TYPE IS TO BE MULTICOLORED RIVER ROCK/COBBLE WITH A BLEND OF 50% AREA COVERED WITH 2-3" DIA. AND 50% COVERED WITH 3-4" OR 3-6" DIA. REFER TO SPECIFIC NOTATION PER LOCATION FOR SIZING.
- 3-5" DIA. BLACK MEXICAN PEBBLE IN AGAVE PLANTING STRIPS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF AND PROTECT ALL UTILITIES DURING THE PLACEMENT OF TREES.

PLANT LIST (TOTAL COUNTS)

| LABEL | QTY | BOTANICAL NAME | COMMON NAME | MIN. SIZE |
|---|------|--|--------------------------------|-----------|
| SHADE TREES | | | | |
| BLM | 31 | Acer macrophyllum (N) | Big Leaf Maple | 36" BOX |
| BOK | 24 | Quercus douglasii (L,N) | Blue Oak | 36" BOX |
| CLO | 6 | Quercus agrifolia (L,N) | Coast Live Oak | 36" BOX |
| FOL | 3 | Olea europaea 'Swan Hill' (L) | Fruitless Olive Tree | 36" BOX |
| VOK | 12 | Quercus lobata (N) | Valley Oak | 36" BOX |
| WHB | 6 | Celtis reticulata (L,N) | Western Hackberry | 36" BOX |
| ORNAMENTAL TREES | | | | |
| CHT | 12 | Vitex agnus castus (L) | Chaste Tree | 36" BOX |
| CRH | 19 | Ceanothus 'Ray Hartman' (L,N) | California Lilac 'Ray Hartman' | 36" BOX |
| MPV | 1 | Parkinsonia aculeata (L) | Mexican Palo Verde | SALVAGE |
| TCS | 7 | Caesalpinia catalaco 'Smoothie' (L) | Thornless Cascadote | 36" BOX |
| TML | 8 | Sephora secundiflora (L) | Texas Mountain Laurel | 36" BOX |
| WRB | 2 | Cercis occidentalis (L,N,S) | Western Redbud | 36" BOX |
| PERENNIAL & EVERGREEN SHRUBS | | | | |
| BUC | 30 | Rhamnus alaternus | Italian Buckthorn | 5 GAL |
| CFB | 100 | Rhamnus californica (B,N,L,S) | Coffeeberry | 5 GAL |
| CML | 112 | Ceanothus concha (B,N,L,S) | California Mountain Lilac | 5 GAL |
| MNZ | 413 | Arcostaphylos densiflora 'Harmony' (B,N,L) | Harmony Manzanita | 5 GAL |
| NMH | 122 | Mahonia nevinii (L,N,S) | Nevin Mahonia | 5 GAL |
| SBL | 167 | Lupinus albus (B,N,L,S) | Silver Bush Lupine | 5 GAL |
| WBC | 59 | Trichostema lanatum (N,L) | Woolly Blue Curly | 5 GAL |
| ORNAMENTAL GRASSES / ACCENTS | | | | |
| BKS | 564 | Carex divulsa (B,L,N,S) | Berkeley Sedge | 1 GAL |
| DEG | 596 | Mulhenbergia rigens (B,L,N,S) | Deer Grass | 5 GAL |
| DNS | 2207 | Carex pansa (B,L,N,S) | Dune Sedge | 1 GAL |
| FRG | 276 | Calamagrostis acutiflora 'Karl Foerster' (L,N,S) | Feather Reed Grass | 1 GAL |
| MRG | 2466 | Calamagrostis foliosa (L,N,S) | Mendocino Reed Grass | 1 GAL |
| FTA | 33 | Agave attenuata (L,S) | Foxtail Agave | 15 GAL |
| ACCENTS IN PLANTERS | | | | |
| ASD | 24 | Sedum rupestre 'Angelina' (L,S) | Angelina Stonecrop | 1 GAL |
| CFG | 18 | Cordalyne x 'JURed' Plant (L) | Festival Burgundy Cordalyne | 2 GAL |
| ACCENTS ON GREEN SCREEN | | | | |
| YSD | TBD | Sedum spathulifolium (L,N,S) | Yellow Stonecrop | 1/2 GAL |

ALL PLANTS ON THIS LIST ARE MODERATE TO LOW-WATER USE. DESIGNATION IF FOUND ON AN APPROVED PLANT LIST, NATIVE SPECIES OR LOW-WATER USE:
(B)=BAY-FRIENDLY RATED PLANT LIST
(L)= LOW WATER USE
(N)=NATIVE SPECIES
(S)=SANTA CLARA VALLEY WATER DISTRICT'S APPROVED PLANT LIST

*NOTE: (1) MPV IS TO BE RELOCATED FROM THE EXISTING AUDI FACILITY TO THE MERCEDES BENZ SITE

60' PG&E EASEMENT:

- NO VEGETATION IS ALLOWED TO BE PLANTED THAT WILL REACH A HEIGHT AT MATURITY OF OVER 15FT. THIS RULE ALSO APPLIES TO THE INSTALLATION OF ANY LIGHTING FIXTURES.

GREEN SCREEN MAINTENANCE NOTE:

- THE MAINTENANCE OF THE GREEN SCREEN SYSTEM WILL BE MAINTAINED THROUGH THE MANUFACTURER'S MAINTENANCE PROGRAM OR PER OWNER.
- THE MAINTENANCE SCHEDULE SHALL BE EVERY 3-4 WEEKS FOR PRUNING, CHECKING CONTROLS & IRRIGATION SYSTEM FOR PROPER FUNCTIONING, AND ANY REPLACEMENT OF PLANT MATERIAL.

| LANDSCAPE DATA | |
|--|---------|
| TOTAL SITE AREA | 209,888 |
| TOTAL LANDSCAPE AREA | 26,680 |
| % OF SITE LANDSCAPE (minimum 10%) | 13% |
| PARKING & DRIVES AREA (REFER TO SHEET L-5) | 66,832 |
| SHADED AREA (REFER TO SHEET L-5) | 39,368 |
| % SHADED PARKING AREA (REFER TO SHEET L-5) | 59% |
| # OF SHRUBS AT PARKING AREA | 603 |
| # OF 5 GAL SHRUBS AT PARKING AREA | 387 |
| % 5+ GAL SHRUBS AT PARKING AREA (MIN. 50%) | 64% |

ARCHITECT / PLANNER

88 Inverness Circle East,
Bldg. J, Suite 101
Englewood, Colorado 80112
T 303.734.1777 | F 303.734.1778
Architecture | Planning | Golf Design
Landscape Architecture | Visual Media
www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
LANDSCAPE PLAN

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JC/KP

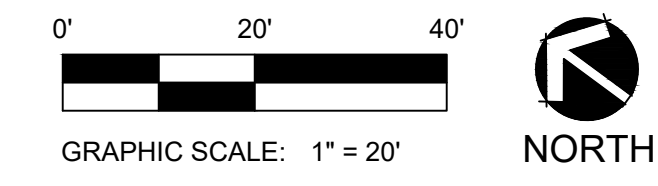
ISSUE RECORD

| | |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

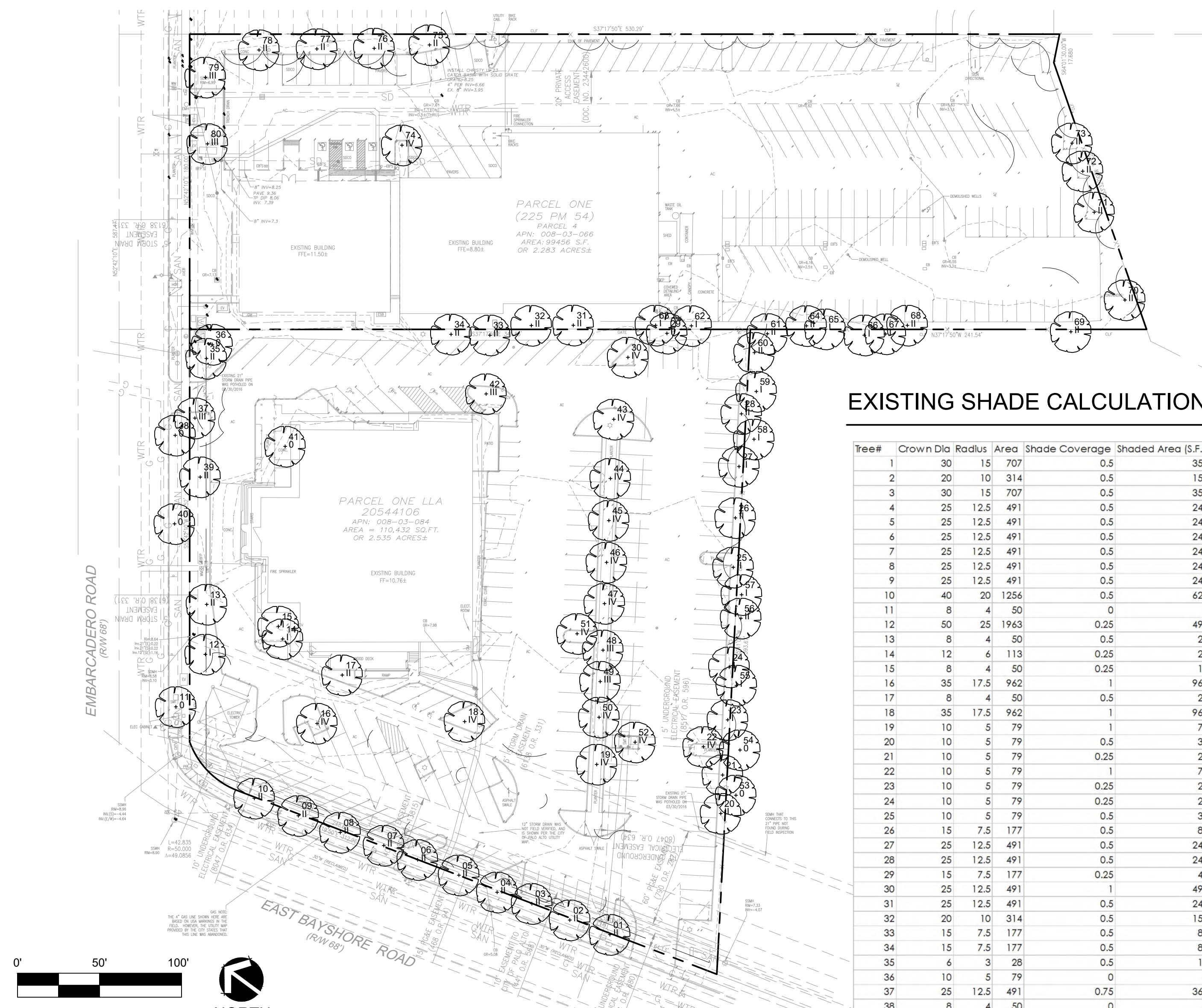
SHEET NUMBER

L-4

4 OF 16



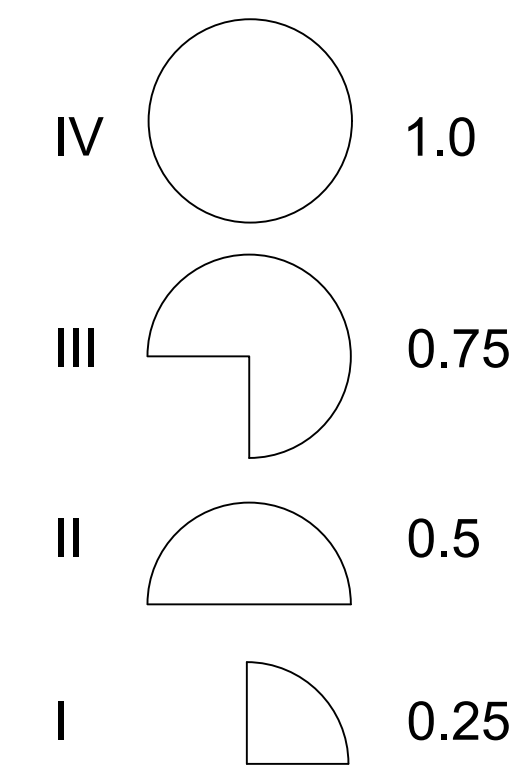
EXISTING SHADE CALCULATION PLAN



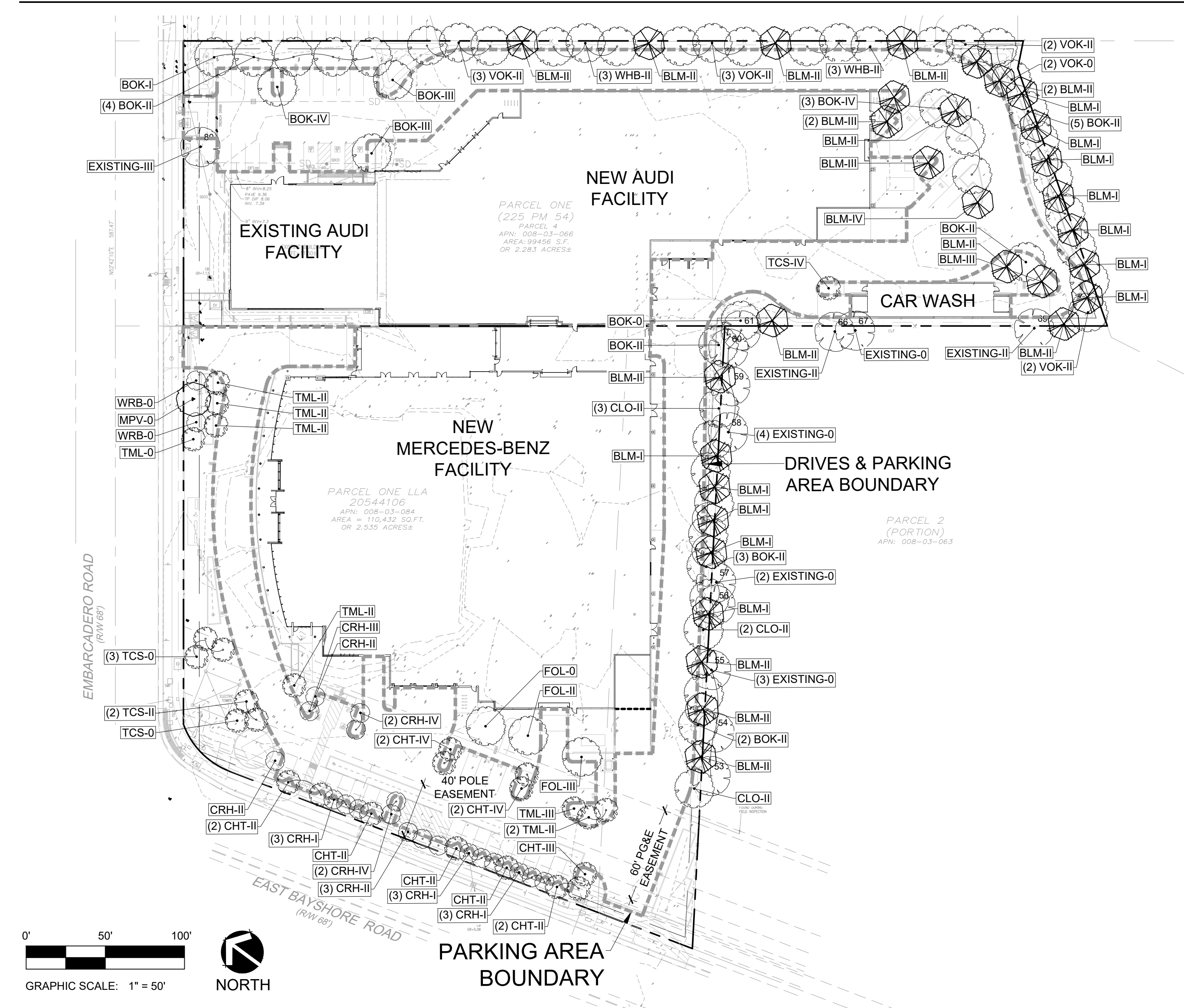
EXISTING SHADE CALCULATION

| Tree# | Crown Dia | Radius | Area | Shade Coverage | Shaded Area (S.F.) |
|--------|-----------|--------|------|----------------|--------------------|
| 1 | 30 | 15 | 707 | 0.5 | 353 |
| 2 | 20 | 10 | 314 | 0.5 | 157 |
| 3 | 30 | 15 | 707 | 0.5 | 353 |
| 4 | 25 | 12.5 | 491 | 0.5 | 245 |
| 5 | 25 | 12.5 | 491 | 0.5 | 245 |
| 6 | 25 | 12.5 | 491 | 0.5 | 245 |
| 7 | 25 | 12.5 | 491 | 0.5 | 245 |
| 8 | 25 | 12.5 | 491 | 0.5 | 245 |
| 9 | 25 | 12.5 | 491 | 0.5 | 245 |
| 10 | 40 | 20 | 1256 | 0.5 | 628 |
| 11 | 8 | 4 | 50 | 0 | 0 |
| 12 | 50 | 25 | 1963 | 0.25 | 491 |
| 13 | 8 | 4 | 50 | 0.5 | 25 |
| 14 | 12 | 6 | 113 | 0.25 | 28 |
| 15 | 8 | 4 | 50 | 0.25 | 13 |
| 16 | 35 | 17.5 | 962 | 1 | 962 |
| 17 | 8 | 4 | 50 | 0.5 | 25 |
| 18 | 35 | 17.5 | 962 | 1 | 962 |
| 19 | 10 | 5 | 79 | 1 | 79 |
| 20 | 10 | 5 | 79 | 0.5 | 39 |
| 21 | 10 | 5 | 79 | 0.25 | 20 |
| 22 | 10 | 5 | 79 | 1 | 79 |
| 23 | 10 | 5 | 79 | 0.25 | 20 |
| 24 | 10 | 5 | 79 | 0.25 | 20 |
| 25 | 10 | 5 | 79 | 0.5 | 39 |
| 26 | 15 | 7.5 | 177 | 0.5 | 88 |
| 27 | 25 | 12.5 | 491 | 0.5 | 245 |
| 28 | 25 | 12.5 | 491 | 0.5 | 245 |
| 29 | 15 | 7.5 | 177 | 0.25 | 44 |
| 30 | 25 | 12.5 | 491 | 1 | 491 |
| 31 | 25 | 12.5 | 491 | 0.5 | 245 |
| 32 | 20 | 10 | 314 | 0.5 | 157 |
| 33 | 15 | 7.5 | 177 | 0.5 | 88 |
| 34 | 15 | 7.5 | 177 | 0.5 | 88 |
| 35 | 6 | 3 | 28 | 0.5 | 14 |
| 36 | 10 | 5 | 79 | 0 | 0 |
| 37 | 25 | 12.5 | 491 | 0.75 | 368 |
| 38 | 8 | 4 | 50 | 0 | 0 |
| 39 | 8 | 4 | 50 | 0.5 | 25 |
| 40 | 30 | 15 | 707 | 0 | 0 |
| 41 | 12 | 6 | 113 | 0 | 0 |
| 42 | 40 | 20 | 1256 | 0.75 | 942 |
| 43 | 30 | 15 | 707 | 1 | 707 |
| 44 | 10 | 5 | 79 | 1 | 79 |
| 45 | 10 | 5 | 79 | 1 | 79 |
| 46 | 10 | 5 | 79 | 1 | 79 |
| 47 | 10 | 5 | 79 | 1 | 79 |
| 48 | 10 | 5 | 79 | 0.75 | 59 |
| 49 | 10 | 5 | 79 | 0.75 | 59 |
| 50 | 10 | 5 | 79 | 1 | 79 |
| 51 | 12 | 6 | 113 | 1 | 113 |
| 52 | 18 | 9 | 254 | 1 | 254 |
| 53 | 40 | 20 | 1256 | 0 | 0 |
| 54 | 40 | 20 | 1256 | 0.5 | 628 |
| 55 | 40 | 20 | 1256 | 0.25 | 314 |
| 56 | 40 | 20 | 1256 | 0.5 | 628 |
| 57 | 40 | 20 | 1256 | 0.25 | 314 |
| 58 | 40 | 20 | 1256 | 0.25 | 314 |
| 59 | 40 | 20 | 1256 | 0.25 | 314 |
| 60 | 40 | 20 | 1256 | 0.5 | 628 |
| 61 | 40 | 20 | 1256 | 0.5 | 628 |
| 62 | 25 | 12.5 | 491 | 0.25 | 123 |
| 63 | 25 | 12.5 | 491 | 0.25 | 123 |
| 64 | 45 | 22.5 | 1590 | 0.5 | 795 |
| 65 | 45 | 22.5 | 1590 | 0.25 | 397 |
| 66 | 45 | 22.5 | 1590 | 0.25 | 397 |
| 67 | 45 | 22.5 | 1590 | 0.25 | 397 |
| 68 | 20 | 10 | 314 | 0.5 | 157 |
| 69 | 45 | 22.5 | 1590 | 0.5 | 795 |
| 70 | 25 | 12.5 | 491 | 0.5 | 245 |
| 71 | 30 | 15 | 707 | 0.5 | 353 |
| 72 | 30 | 15 | 707 | 0.5 | 353 |
| 73 | 35 | 17.5 | 962 | 0.5 | 481 |
| 74 | 15 | 7.5 | 177 | 1 | 177 |
| 75 | 15 | 7.5 | 177 | 0.5 | 88 |
| 76 | 15 | 7.5 | 177 | 0.5 | 88 |
| 77 | 15 | 7.5 | 177 | 0.5 | 88 |
| 78 | 15 | 7.5 | 177 | 0.5 | 88 |
| 79 | 20 | 10 | 314 | 0.75 | 236 |
| 80 | 20 | 10 | 314 | 0.75 | 236 |
| 19,146 | | | | | |

TREE VALUES



PROPOSED SHADE CALCULATION PLAN



PROPOSED SHADE CALCULATION

| SYMBOL (CANOPY/SQ.FT.) | BOTANICAL NAME (COMMON NAME) | FULL SQ.FT. | 3/4 SQ.FT. | 1/2 SQ.FT. | 1/4 SQ.FT. | TOTAL SQ.FT. |
|---|--|-------------|------------|------------|------------|---------------|
| BLM (40/1256) | Acer macrophyllum (Big Leaf Maple) | 1 @ 1256 | 4 @ 942 | 14 @ 628 | 12 @ 314 | 17584 |
| CLO (20/314) | Quercus agrifolia (Coast Live Oak) | | 1 @ 236 | 6 @ 157 | | 1178 |
| BOK (20/314) | Quercus douglasii (Blue Oak) | 4 @ 314 | 2 @ 236 | 16 @ 157 | 1 @ 79 | 4318 |
| WHB (45/1590) | Celtis reticulata (Western Hackberry) | | | 6 @ 795 | | 4770 |
| VOK (30/707) | Quercus lobata (Valley Oak) | | | 10 @ 354 | | 3535 |
| FOL (25/491) | Olea europaea 'Swan Hill' (Fruitless Olive Tree) | | 1 @ 368 | 1 @ 246 | | 614 |
| WRB (14/154) | Cercis occidentalis (Western Redbud) | | | | | 0 |
| CRH (14/154) | Ceanothus 'Ray Hartman' (California Lilac 'Ray Hartman') | 4 @ 154 | 1 @ 116 | 5 @ 77 | 9 @ 39 | 1463 |
| CHT (20/314) | Vitex agnus castus (Chaste Tree) | 4 @ 314 | 1 @ 236 | 7 @ 157 | | 2277 |
| TCS (20/314) | Caesalpinia cacalaco 'Smoothie' (Thornless Cascalote) | 1 @ 314 | | 2 @ 157 | | 628 |
| TML (20/314) | Sophora secundiflora (Texas Mountain Laurel) | | 1 @ 236 | 6 @ 157 | | 1178 |
| Existing Trees to Remain | refer to existing shade calculations list | | | | | 1825 |
| TOTAL PROPOSED SHADED AREA (S.F.) | | | | | | 39,368 |
| TOTAL PROPOSED AREA (S.F.) OF DRIVES & PARKING | | | | | | 66,832 |
| % OF SHADED AREA REQUIRED | | | | | | 50% |
| % OF SHADED AREA PROVIDED | | | | | | 59% |

Copyright © 2019 LAI Design Group. These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.

ARCHITECT / PLANNER

LAI
Design
Group
world wide

88 Inverness Circle East,
Bldg. J, Suite 101
Englewood, Colorado 80112
T 303.734.1777 | F 303.734.1778
Architecture | Planning | Golf Design
Landscape Architecture | Visual Media
www.LAIdesigngroup.com

OWNER/CLIENT
HOLMAN AUTOMOTIVE GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
SHADE CALCULATION

PROFESSIONAL STAMP

PROJECT INFORMATION
PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JC/KP

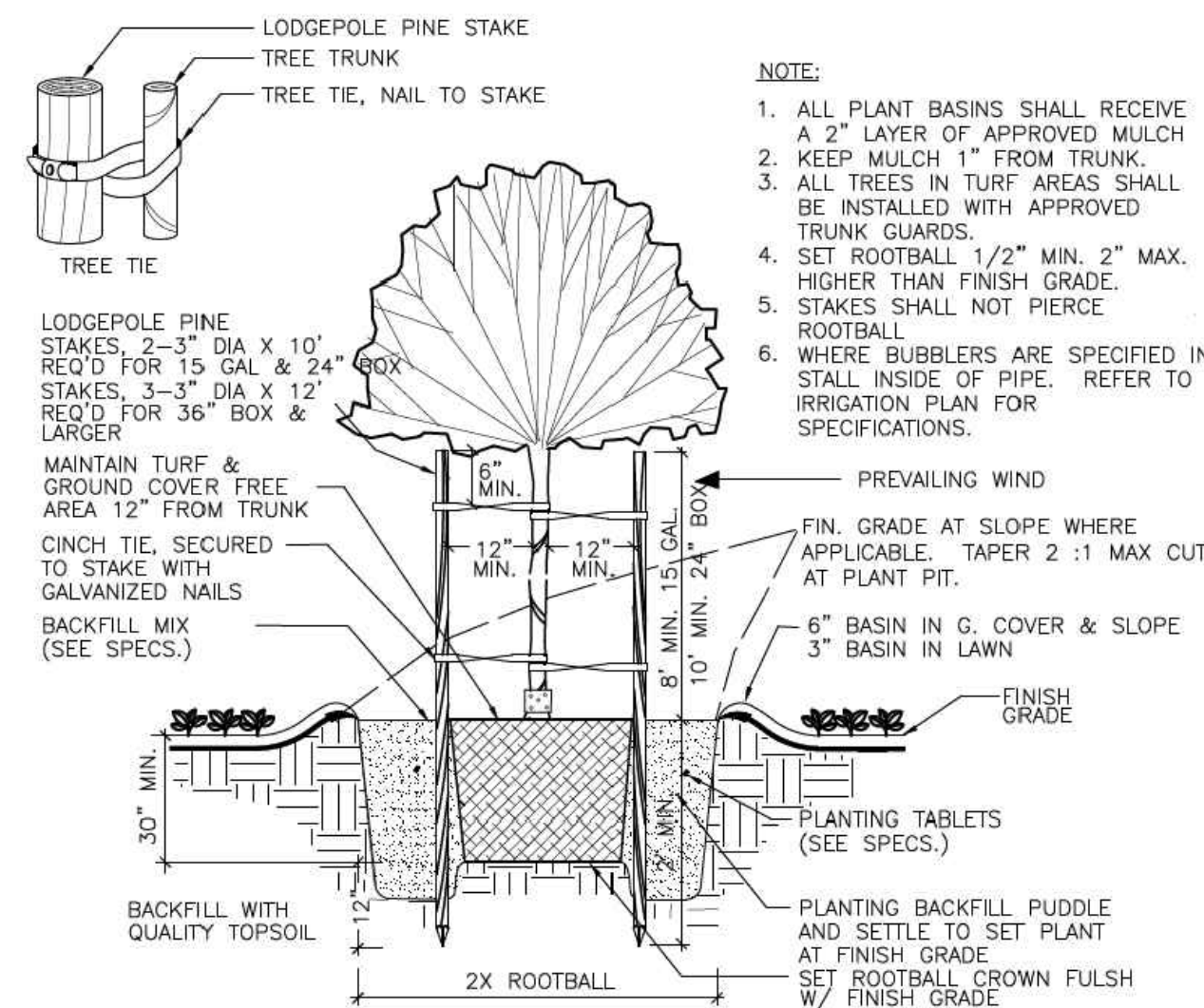
ISSUE RECORD
ARB (REVIEW) 08/20/2019
ARB (REVIEW) 09/10/2019
ARB (REVIEW) 10/22/2019
ARB 11/06/2019
ARB 01/09/2020
ARB 03/05/2020

SHEET NUMBER

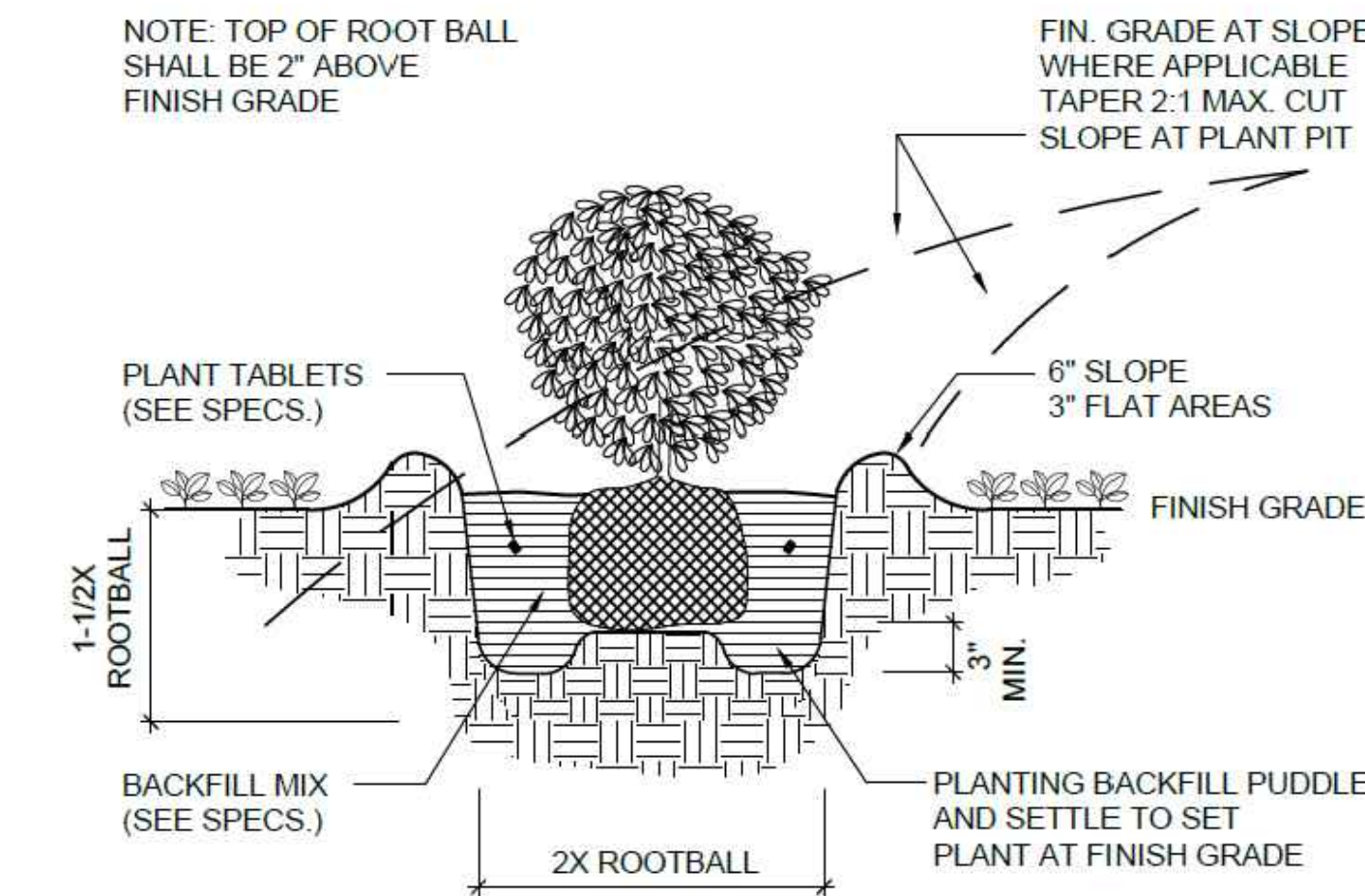
L-5

5 OF 16

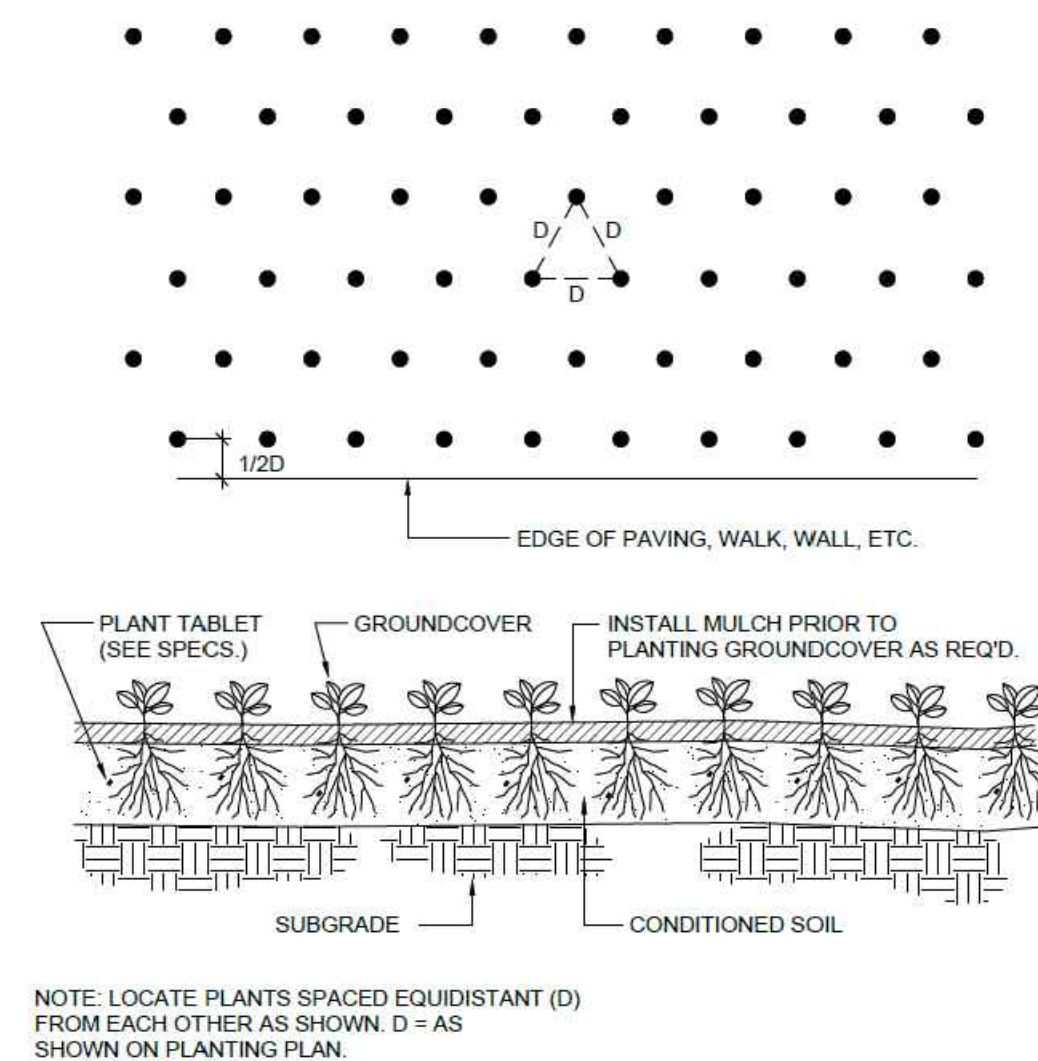
Copyright © 2019 LAI Design Group. These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.



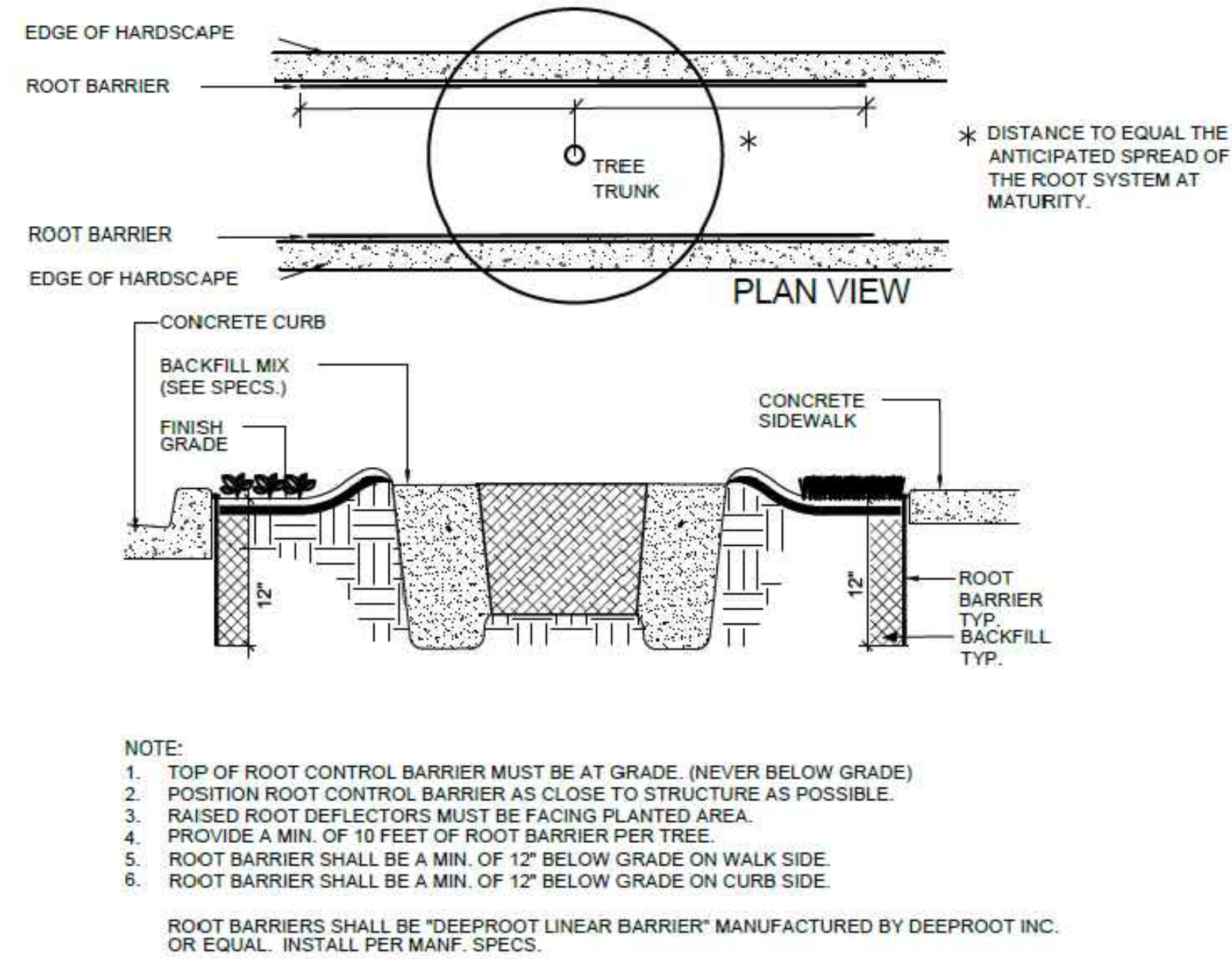
A TREE PLANTING
SCALE: NTS



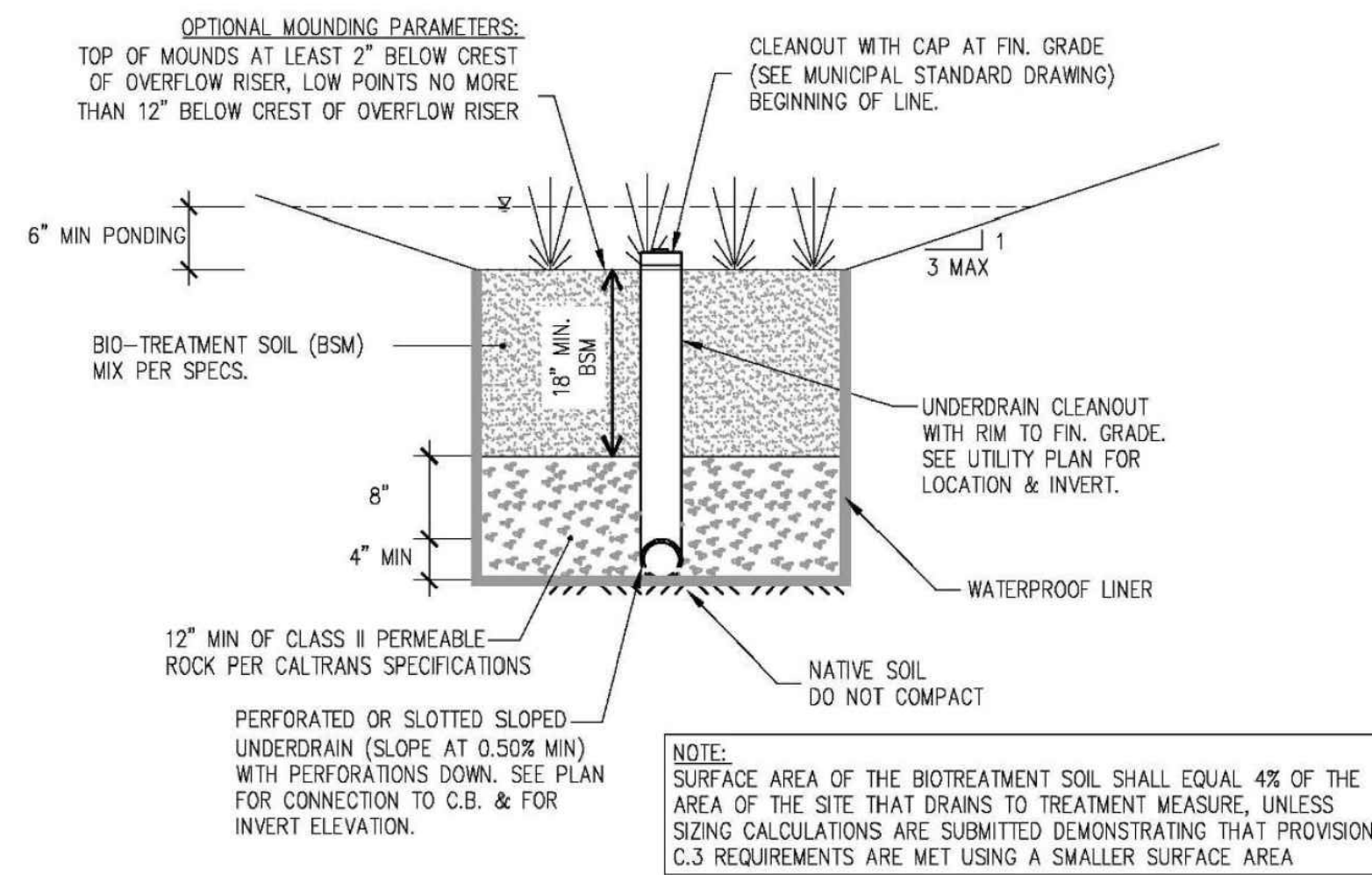
B SHRUB PLANTING
SCALE: NTS



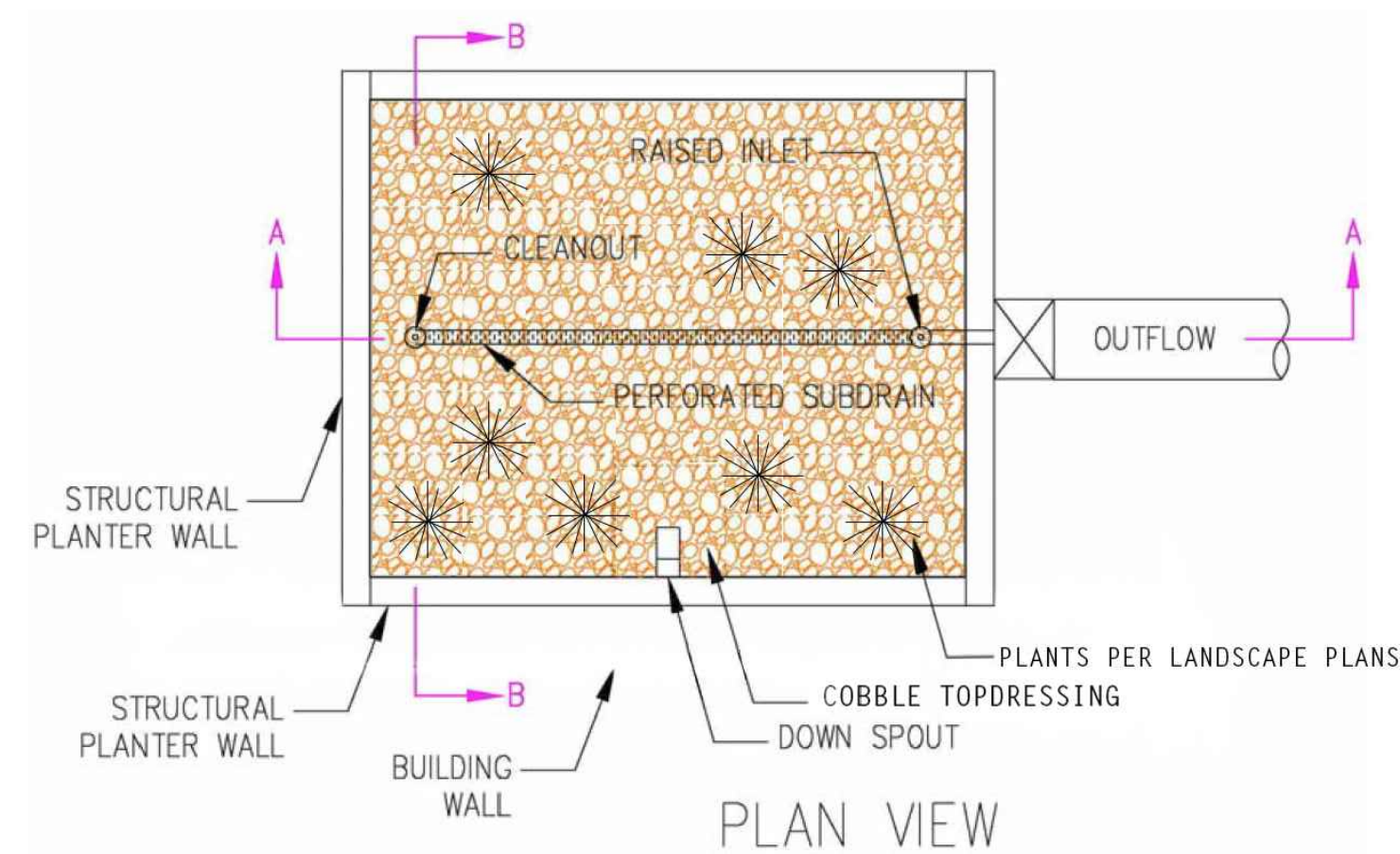
C GROUNDCOVER SPACING
SCALE: NTS



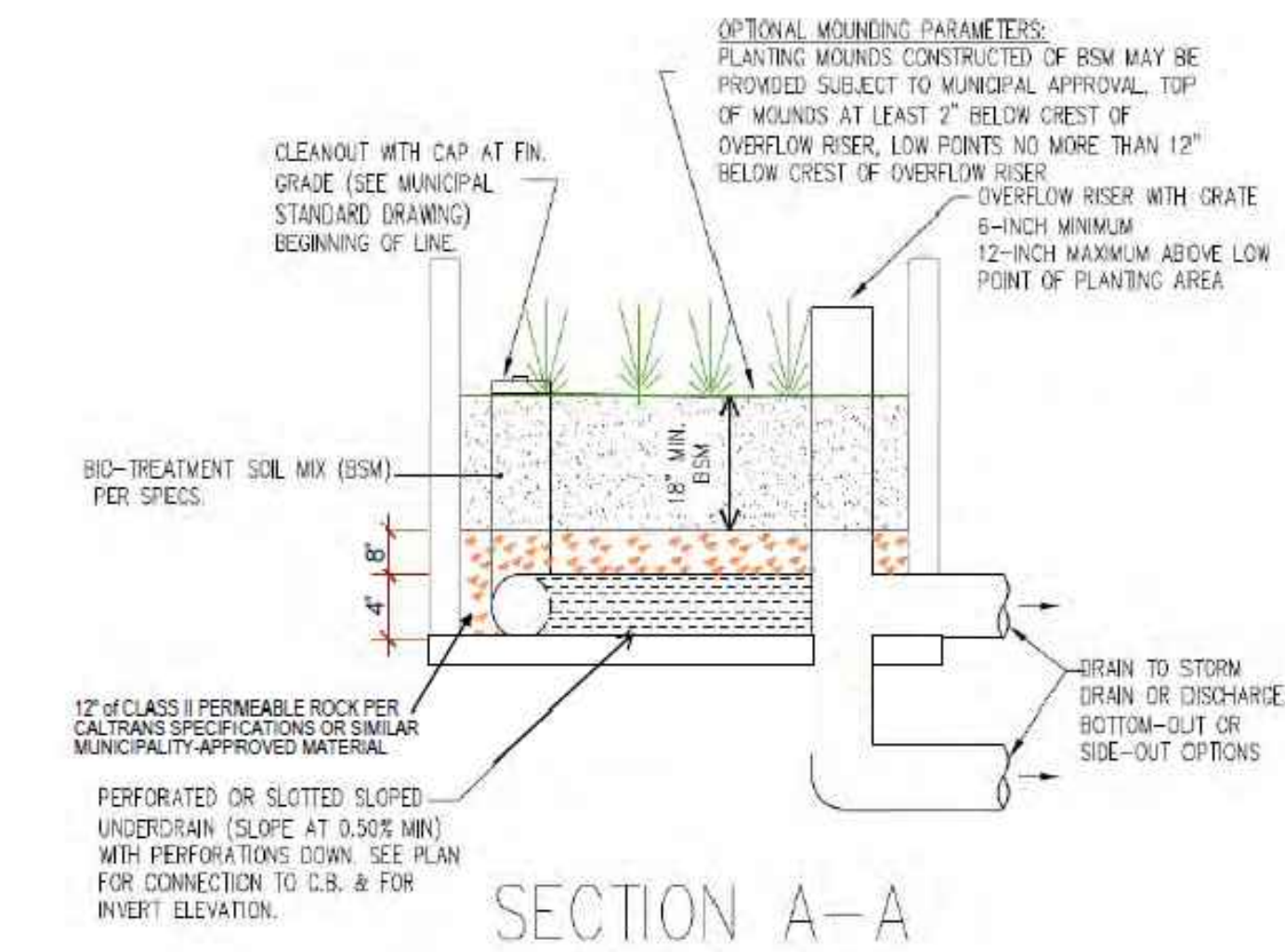
D ROOT BARRIER
SCALE: NTS



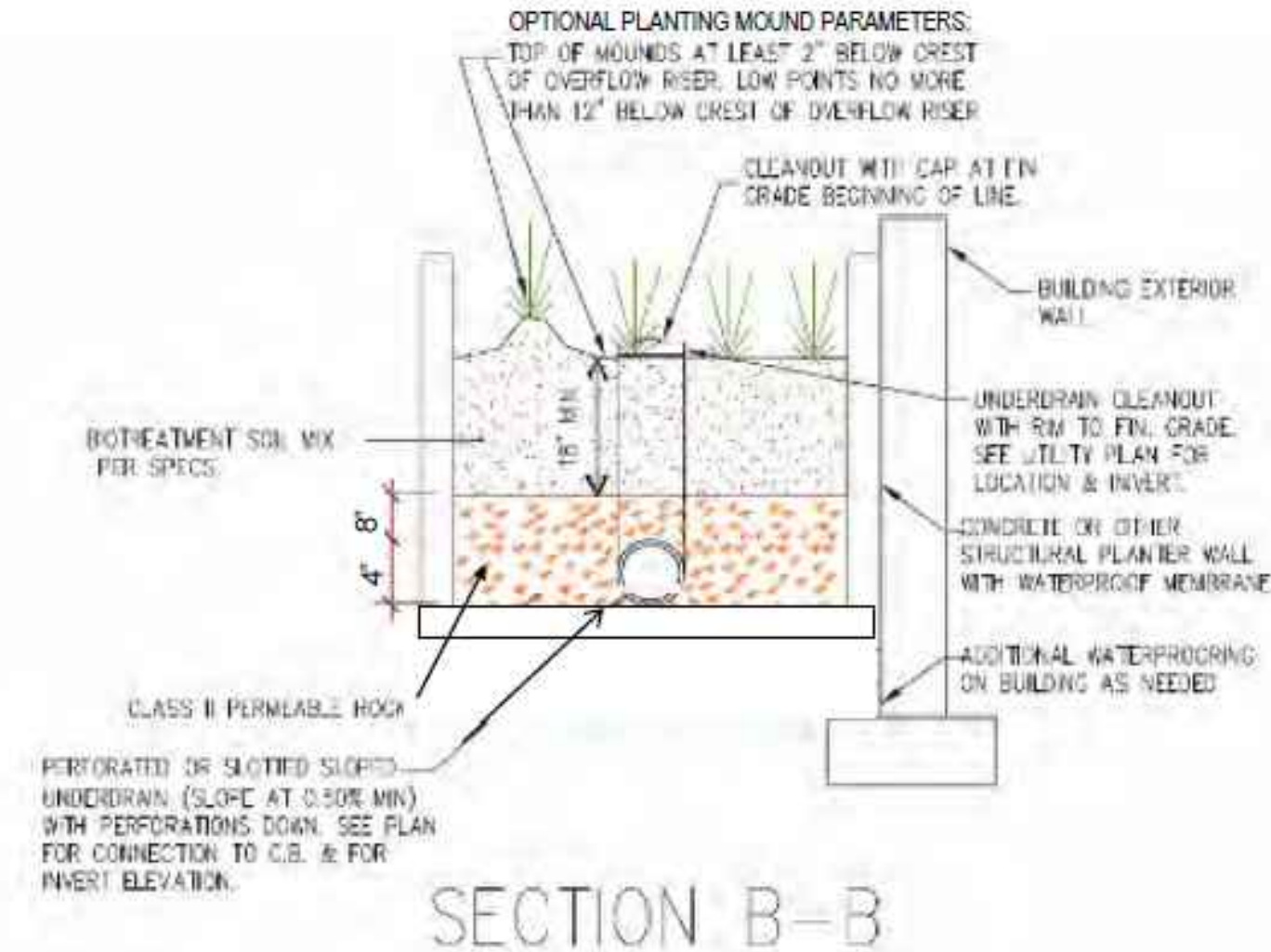
E LID - 1 LINED BIORETENTION
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



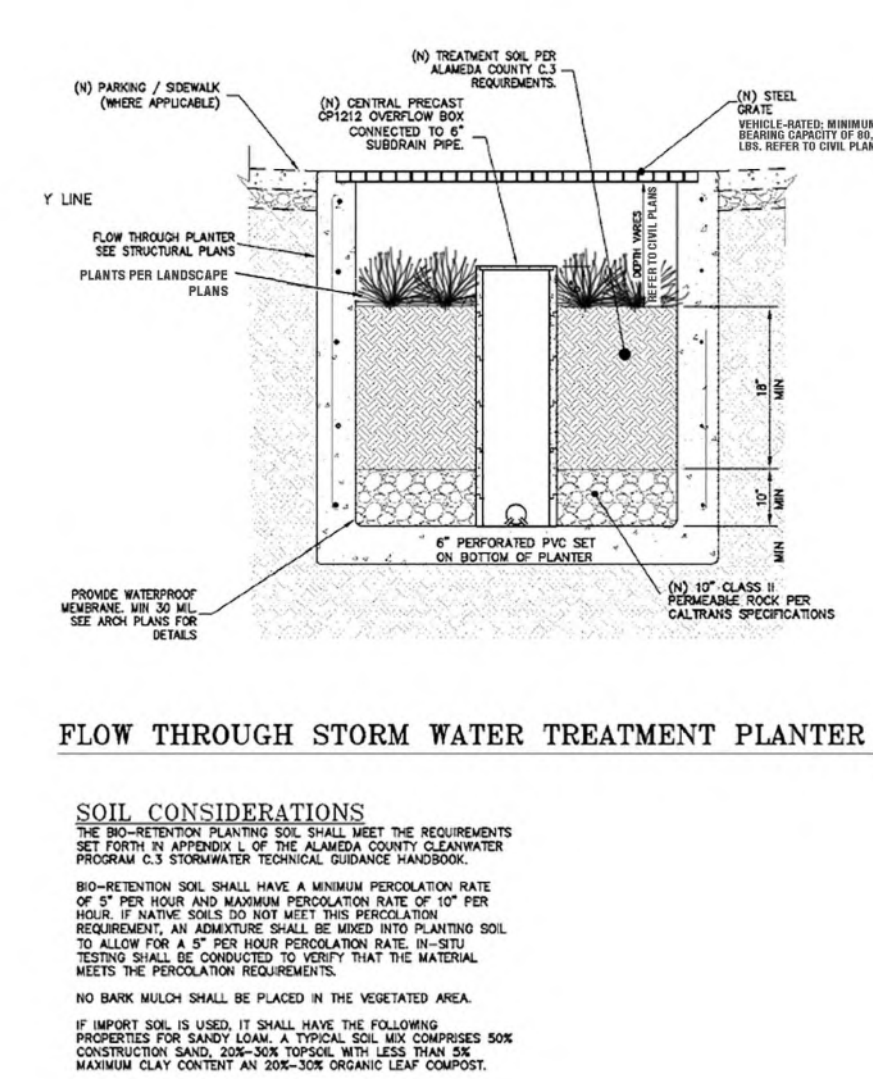
F LID - 2 FLOW-THROUGH PLANTER (PLAN VIEW)
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



G LID - 2 FLOW-THROUGH PLANTER (SECTION A-A)
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



H LID - 2 FLOW-THROUGH PLANTER (SECTION B-B)
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



I FLOW-THROUGH PLANTER W/ GRATE
SCALE: NTS PER CITY OF PALO ALTO C.3 STORMWATER HANDBOOK



OWNER/CLIENT

HOLMAN AUTOMOTIVE GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
LANDSCAPE DETAILS

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JC/KP

ISSUE RECORD

| REV | DATE | DESCRIPTION |
|--------------|------------|-------------|
| ARB (REVIEW) | 08/20/2019 | |
| ARB (REVIEW) | 09/10/2019 | |
| ARB (REVIEW) | 10/22/2019 | |
| ARB | 11/06/2019 | |
| ARB | 01/09/2020 | |
| ARB | 03/05/2020 | |

SHEET NUMBER



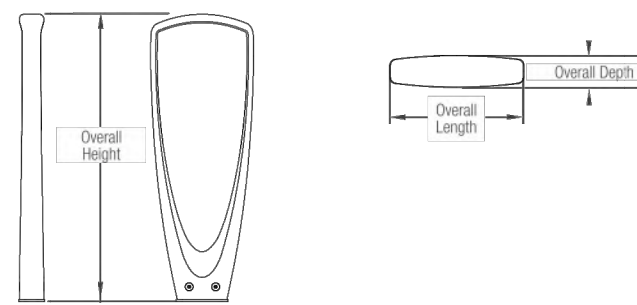
TRIO™ BIKE RACK

PRODUCT DATA

The Trio Bike Rack is the perfect complement to our Trio product line. Providing an excellent opportunity for design continuity, the Trio Bike Rack draws on the same triangular shape and exaggerated void seen in both our Trio Bench and Trio Lighting. Contemporary in design, its simple yet sculptural form allows it to be integrated into a myriad of settings.

| MATERIAL & FINISHES | | INSTALLATION & MAINTENANCE | | |
|---|---|--|---|--|
| MATERIAL | FINISHES | GUIDELINES & SECURITY | INSTALLATION | MAINTENANCE |
| • Body is made of corrosion-resistant cast aluminum with powdercoat finish. | • See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge. • Due to the inherent nature of metal castings, gloss powdercoats are not offered for cast components. | • Meets Association of Pedestrian and Bicycle Professionals (APBP) guidelines. • A locking point detail and mounting configurations that meet APBP guidelines can be found on pages 1 and 2 of this document. | • Trio Bike Racks must be surface mounted with embedded anchors. • Stainless steel anchors and tamper-resistant stainless steel screws are included. | • Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners. |

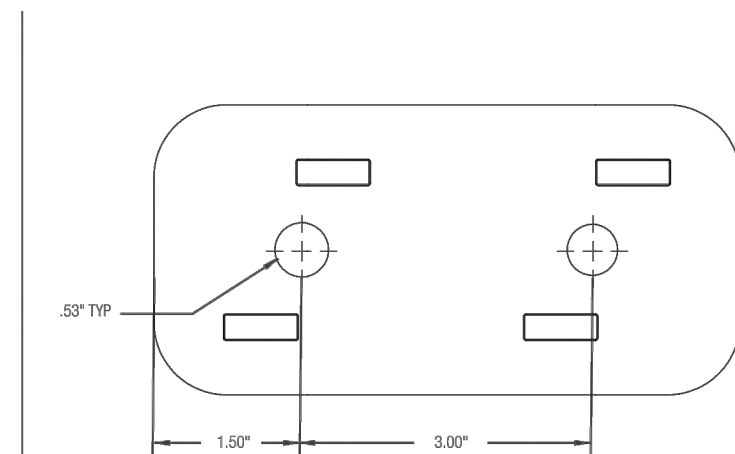
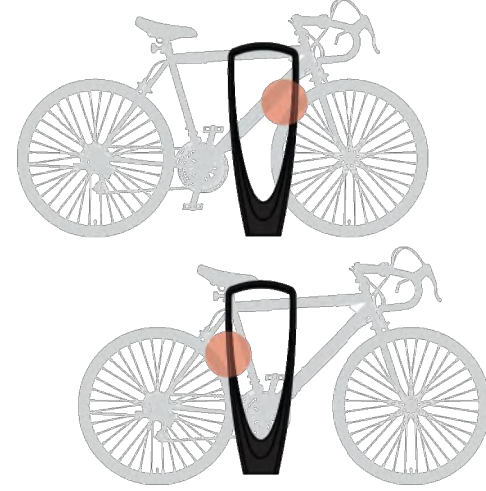
NOMINAL DIMENSIONS



| OVERALL LENGTH | OVERALL DEPTH | OVERALL HEIGHT | WEIGHT |
|----------------|---------------|----------------|------------------|
| 12" (305 mm) | 2.75" (70 mm) | 33.5" (851 mm) | 25 lbs (11.3 kg) |

LOCKING POINT AND CONFIGURATION EXAMPLES

The Trio Bike Rack was designed to allow for a multitude of locking point and configuration options to meet your individual needs. Please note that for optimal performance, Forms+Surfaces recommends a 36" center-to-center placement. See diagrams below and the separate installation instructions document for more details.



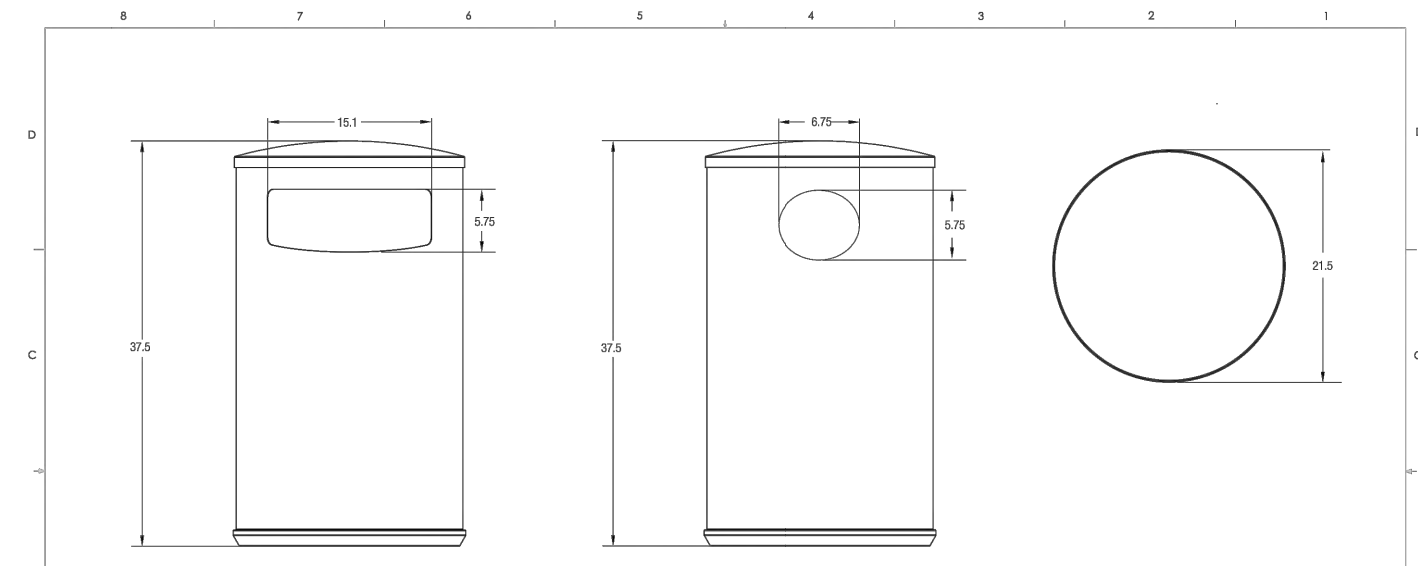
LOCKING POINT EXAMPLE
T 800.451.0410 | www.forms-surfaces.com

FORMS+SURFACES™

MATERIAL: CAST ALUMINUM
FINISH: POWDERCOAT
COLOR: ALUMINUM-TEXTURE
INSTALLATION: SURFACE MOUNT

A BIKE RACK (QTY: 15)

SCALE: NTS



MATERIAL: STAINLESS STEEL
FINISH: SATIN
INSTALLATION: FREESTANDING
CONFIGURATION: 30 GALLON,
SIDE OPENING, DOME LID

MATERIAL & CONSTRUCTION DETAILS

| CONFIGURATIONS | GRAPHICS | BODY PATTERNS | INSTALLATION |
|---|---|---|---|
| <ul style="list-style-type: none"> Universal Receptacles are available in top- and side-opening configurations with 36-, 30-, 24-, and 12-gallon capacities. Top-opening configurations have the same number of liners as lid openings. Side-opening configurations can be specified with one full liner or two half liners with an internal baffle. | <ul style="list-style-type: none"> Instructional graphics are available with a variety of standard messages that clearly indicate the use for each opening. Graphics have white letters and symbols with black, blue, or green backgrounds. Graphics are printed on the back of clear, highly textured polycarbonate, protecting them from wear over time. Perforation patterns offer unique designs. | <ul style="list-style-type: none"> Eight different body patterns are available for an upcharge; see pages 8 and 9 for standard patterns. Archs, levers, and stainless steel mounting screws are provided when surface mounting is specified; levers are supplied for all polyethylene base receptacles. Impression designs have stamped, high-contrast patterns. Perforation patterns offer unique designs. | <ul style="list-style-type: none"> Universal Receptacles may be used freestanding or surface mounted. Archs, levers, and stainless steel mounting screws are provided when surface mounting is specified; levers are supplied for all polyethylene base receptacles. |
| LIDS | BODY FINISHES | BASES | MAINTENANCE |
| <ul style="list-style-type: none"> Standard lids for 36-, 24-, and 12-gallon receptacles are molded from polyethylene with a UL94HB fire rating, and are Slate with a light texture. Top-opening lids for 36-, 24-, and 12-gallon receptacles with 10" and 7" diameter openings are available in Stainless Steel with a Satin finish for an upcharge. Standard lids for 30-gallon receptacles are available in Stainless Steel only. Concealed with lids in Stainless Steel with Satin finish are available for 12-gallon, side-opening receptacles. Teether cables are available to connect receptacle lid to body. | <ul style="list-style-type: none"> Stainless Steel with Sandstone, Seastone, Linen, Diamond, or Satin finish are available for all Universal Receptacles. Fused Bronze and Fused Nickel Silver bodies with Sandstone, Seastone, and Diamond finishes are available on 12-gallon receptacles for an upcharge. | <ul style="list-style-type: none"> Standard 1.5" high tapered bases are available for an upcharge. Black Sand concrete bases are available for an upcharge. | <ul style="list-style-type: none"> Polyethylene and metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners. Use caution when cleaning over graphics. Tensioned rubber bag straps and drain holes can be specified on polyethylene liners. |

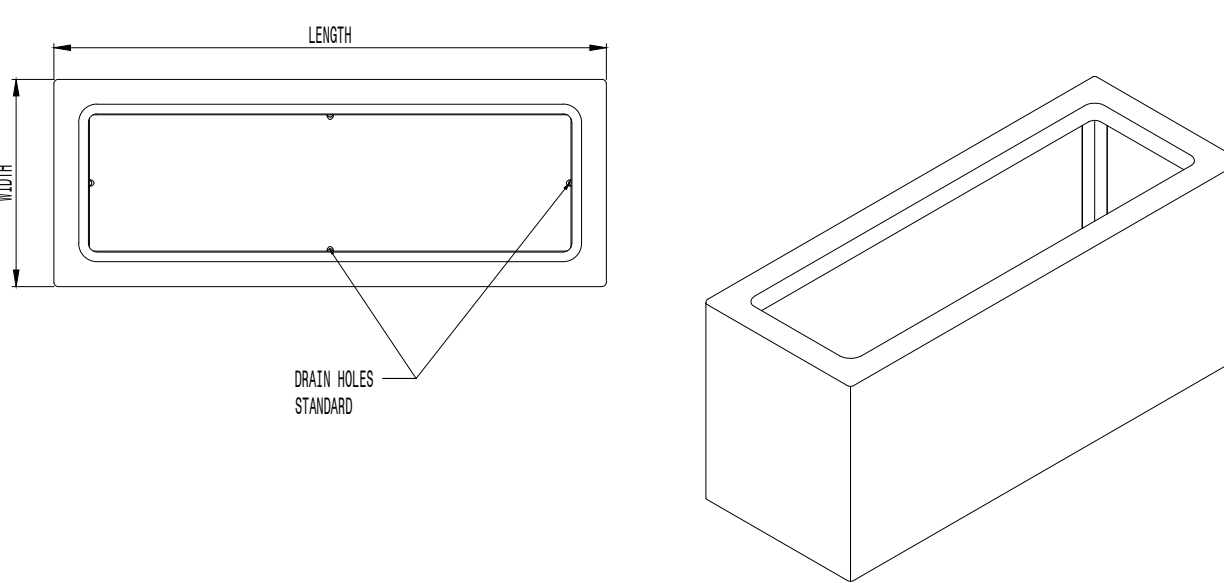
B TRASH RECEPTACLE (QUANTITY: 4)

SCALE: NTS



P.O. DRAHER 830 • DUNKIRK, MD 20754 USA
TOLL FREE: (800) 388-2573 (USA & CANADA)
TEL: (301) 855-8300 • FAX: (410) 257-7579
WEB SITE: HTTP://WWW.VICTORSTANLEY.COM

* ALL DIMENSIONS ARE IN INCHES *



| WIDTH | LENGTH | HEIGHT |
|-------|--------|--------|
| 12 | 48 | 60 |
| 15 | 48 | 60 |
| 18 | 48 | 60 |
| 24 | 48 | 60 |
| 30 | 60 | 72 |
| 48 | 60 | 72 |

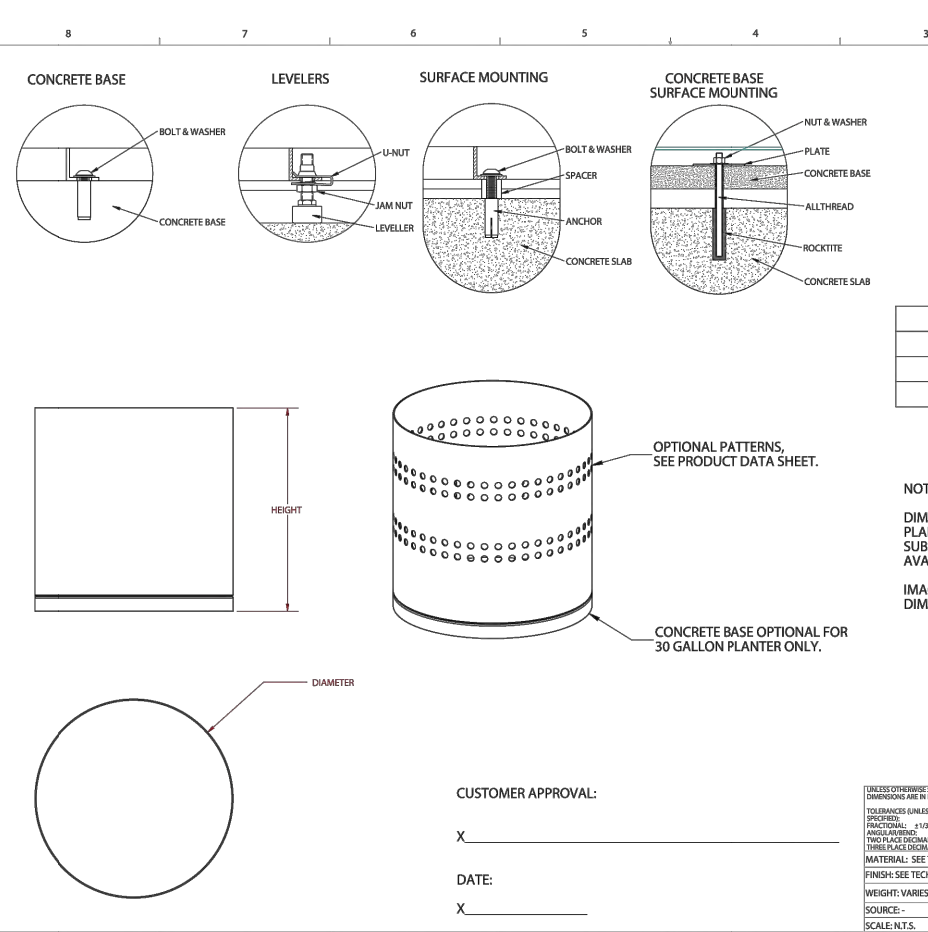
AVAILABLE OPTIONS:
FINISHES:
WHITE OR GRAY
COLORS: BLACK, ESPRESSO, GINGER, MUSHROOM, PEBBLE, SANDAL, SPRUCE
METALLIC:
COLORS: BRONZE, SILVER, HAZEL SILVER, TITANIUM
CONCRETE:
COLORS: AVENUE, FAWN, HEATHER, RIVER BED, SAND

FEATURES:
AVAILABLE WITH DRAIN HOLE REMOVAL (NOT RECOMMENDED FOR COLD CLIMATES), CONCEALED CASTERS, FIRE-RETARDANT RESIN, COLORED BASE, AND FAUX BOTTOM WITH DRAIN HOLES REMOVED

MATERIAL: FIBERGLASS
FINISH: METALLIC
COLOR: TITANIUM
INSTALLATION: SURFACE MOUNT
SIZE: 30" x 72" x 24"
NOTE: IRRIGATION SLEEVE CONNECTED TO PLANTER

C RECTANGLE PLANTER (QTY: 6)

SCALE: NTS



MATERIAL: STAINLESS STEEL
FINISH: SATIN
INSTALLATION: FREESTANDING
CONFIGURATION: 100 GALLON
NOTE: IRRIGATION SLEEVE CONNECTED TO PLANTER

| GALLONS | DIAMETER | HEIGHT |
|---------|----------|--------|
| 30 | 24" | 21.25" |
| 100 | 36" | 28.50" |
| 190 | 48" | 34.50" |

NOTE:
DIMENSIONS SHOWN FOR 100 AND 190 GALLON PLANTERS ARE FOR REFERENCE ONLY. THE SUBSTRATE, LEVELERS AND CONCRETE BASES ARE NOT AVAILABLE FOR THESE MODELS.
IMAGES ARE NOT TO SCALE. SEE ABOVE CHART FOR TRUE DIMENSIONS.

MATERIAL & CONSTRUCTION DETAILS

| CONSTRUCTION | BODY FINISHES | INSTALLATION | MAINTENANCE |
|--|--|--|--|
| <ul style="list-style-type: none"> Body and internal structure are both made entirely of stainless steel. Concrete bases are 3.25" thick (2.5" visible) and are available in Black Sand color. Drip pans included for 100- & 190-gallon planters. | <ul style="list-style-type: none"> Planter comes in three standard stainless steel finishes: Sandstone, Diamond, and Satin, or can be powdercoated. See the Forms+Surfaces Powdercoat Chart for standard and premium color options. Custom RAL colors are available for an upcharge. | <ul style="list-style-type: none"> 30 gallon Universal Planters may be used freestanding with or without adjustable stainless steel levers & nylon feet, freestanding with concrete base, or surface mounted directly to substrate or with concrete base. 100- & 190-gallon Universal Planters may be used freestanding without levers or surface mounted directly to substrate. Archs, levers and stainless steel mounting screws are provided when specified. | <ul style="list-style-type: none"> Surfaces can be cleaned as needed using soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners. |
| LINEARS | BODY PATTERNS | | |
| <ul style="list-style-type: none"> Universal Planters use independent, replaceable internal liners. Liners are molded from durable black polyethylene with a UL94HB fire rating. | <ul style="list-style-type: none"> Six different body patterns are available for an upcharge; see below and page 2 for standard patterns. Eco-Etch designs are applied using an advanced photolithographic bead-blasting system. Perforation patterns offer unique designs. | | |

D ROUND PLANTER (QUANTITY: 3)

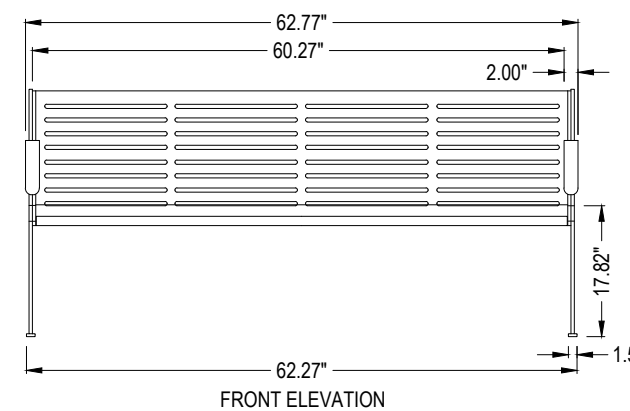
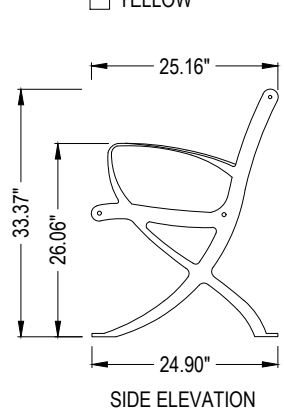
SCALE: NTS



ANOVA
211 NORTH LINDBERGH, 2ND FLOOR
ST. LOUIS, MO 63141
TOLL FREE: 1-888-535-5005
PHONE: (800) 231-1327
FAX: (314) 754-0835
www.anovafurnishings.com

SELECT DESIRED COLOR:

- BLACK
- BRONZE
- BROWN
- BURGUNDY
- CAMEL
- CHARCOAL
- EVERGREEN
- GRAY
- NAVY
- ORANGE
- PURPLE
- RED
- SAGE
- SILVER
- TEAL
- VANILLA
- WHITE
- YELLOW



FINISH: FUSION ADVANTAGE™ - HEAT INFUSED PLASTISOL COATING THAT RESISTS UV DETERIORATION, MILDEW STAINING AND FADING. FUSIONGUARD® PRIMER IS APPLIED TO ALL THE UNDER SUPPORTS
MATERIAL: 10-GAUGE STEEL WITH 5" WIDE SLOT PATTERN
ARMRESTS & LEGS: STEEL

THE BENCH REQUIRES SOME ASSEMBLY. STAINLESS STEEL ASSEMBLY HARDWARE IS INCLUDED.
20 YEAR LIMITED STRUCTURAL WARRANTY - 7 YEAR COMPREHENSIVE WARRANTY

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info
REFERENCE NUMBER 928-368.

EXPOSITION COLLECTION
LEXCS - EXPOSITION 5' CONTOUR BENCH

MATERIAL: STEEL
FINISH: PLASTISOL COATING
COLOR: SILVER
INSTALLATION: SURFACE MOUNT
REVISION DATE: 06/12/016
www.CADetails.com

E BENCH (QTY: 6)

SCALE: NTS



MODEL 4420BF1UDB and
MODEL 4420BF1LDB

GENERAL:
Endura II™ Steel Outdoor Dual Station Fountain with Pet Fountain and Bottle Filling Station with rounded corner design, heavy-duty steel with textured powder-coat finish and E-Coat immersion for year-round beauty with minimum maintenance. The E-Coat immersion process coats the inside and outside for the ultimate in corrosion protection.

BOTTLE FILLER:
Provides a quick fill at 1 gallon per minute. Laminar flow provides a clean fill with minimal splash and easy maintenance.

BUBBLER:
Vandal-resistant bubbler is one-piece, heavy-duty construction. Unit has integral hood guard design to prevent contamination from other users, airborne deposits and tampering.

BASE:
Contour-formed stainless steel design with rounded edges reduces splatter, ensures proper drainage and prevents standing water.

FILTRATION ACTION MECHANISM:
Self-cleaning, vandal-resistant pet fountain does not require grasping or twirling.

INLET STRAINER:
Easily cleaned 3/8" strainer screen traps particles of 140 microns or larger before they enter the waterway.

WATER INLET & DRAIN OUTLET:
Inlet: 3/8" O.D. Tubing
Outlet: 1-1/2" hose outlet for 1-1/2" slip-joint connection

ACCESS PANELS:
Heavy-gauge steel with vandal-resistant screws. Provides access for easy hook-up of all plumbing connections.

PET FOUNTAIN:
Adjustable by upper push-button. Slow drainage feature for easy drinking.

SUGGESTED SPECIFICATIONS:
Unit shall include powder-coated finish with vandal-resistant push-button actuation, vandal-resistant bubblers with integral hood guard, and contour-formed rounded basins to reduce splash and prevent standing water. Bottle Filler shall include a laminar flow for minimal splash and provide 1 gallon per minute fill rate. Fountain shall comply with ANSI 117.1 and ADA for visual and motion disabilities. The manufacturer shall certify the unit to meet the requirements of NSF/ANSI 61, and the Safe Drinking Water Act.

| Model | Bottle Filler Placement | Color Option | ADA Compliant | NSF/ANSI 61 Certified |
|------------|-------------------------|---------------------------------|---------------|-----------------------|
| 4420BF1UDB | Upper | (Refer to Finish Color Options) | * | * |
| 4420BF1LDB | Lower | (Refer to Finish Color Options) | * | * |

* Select color option to complete model number. Example: 4420BF1UDB06
Note: Continued product improvement makes specifications subject to change without notice. See Halsey Taylor website for most current spec sheet.

Endura II™ Outdoor Tubular Bottle Filling Station

Dual Station with Pet Fountain

Model 4420BF1LDB

Model 4420BF1UDB

OPERATING PRESSURE:
Supply water 20 - 100 psi maximum

INSTALLATION INSTRUCTIONS AND PLUMBING CONNECTIONS:
Provide solid, well-drained surface to mount pedestal fountain (concrete pad recommended). Mount on a smooth, flat, finished surface with adequate support (200 lb. load minimum). Secure unit with (8) 3/8" minimum fasteners (not included). Refer to rough-in. Should be attached firmly to mounting surface in order to secure unit.

Modified low stream height bubbler for pet fountain.
Locate and install plumbing through ground as required. NOTE: Unit is not furnished with service valve.

Position pedestal over plumbing and secure base to fasteners. Remove access panels and connect supply and water lines. Turn on water supply and check for leaks. Reassemble access panels to pedestal.
Trap and service stop not included.

FRONT & SIDE VIEWS

FINISH COLOR OPTIONS - Choose color option to complete your model number, add as suffix example: 4420BF1UDB06
Metal Finish: Evergreen = EVG
Glass Finish:
 Beige = BGE Gray = GRAY TerraCotta = TER
 Black = BLK Orange = ORN White = WHT
 Blue = BLU Purple = PUR Yellow = YLW
 Brown = BRN Red = RED

OPTIONS:
• Hose Bib (Locking) - 4471LHP (Choose color option to complete your model number)
• Hose Bib (Non-Locking) - 4470LHP (Choose color option to complete your model number)
• Direct Buy Kit - 9789CC

Halsey Taylor
HALSEY TAYLOR, 2222 Camden Court, Oak Brook, IL 60023
SPIC00411 (11/13)

Endura II™ Outdoor Tubular Bottle Filling Station

MODEL 4420BF1UDB

OPERATING PRESSURE:
Supply water 20 - 100 psi maximum

INSTALLATION INSTRUCTIONS AND PLUMBING CONNECTIONS:
Provide solid, well-drained surface to mount pedestal fountain (concrete pad recommended). Mount on a smooth, flat, finished surface with adequate support (200 lb. load minimum). Secure unit with (8) 3/8" minimum fasteners (not included). Refer to rough-in. Should be attached firmly to mounting surface in order to secure unit.

Modified low stream height bubbler for pet fountain.
Locate and install plumbing through ground as required. NOTE: Unit is not furnished with service valve.

Position pedestal over plumbing and secure base to fasteners. Remove access panels and connect supply and water lines. Turn on water supply and check for leaks. Reassemble access panels to pedestal.
Trap and service stop not included.

FRONT & SIDE VIEWS

FINISH COLOR OPTIONS - Choose color option to complete your model number, add as suffix example: 4420BF1UDB06
Metal Finish: Evergreen = EVG
Glass Finish:
 Beige = BGE Gray = GRAY TerraCotta = TER
 Black = BLK Orange = ORN White = WHT
 Blue = BLU Purple = PUR Yellow = YLW
 Brown = BRN Red = RED

OPTIONS:
• Hose Bib (Locking) - 4471LHP (Choose color option to complete your model number)
• Hose Bib (Non-Locking) - 4470LHP (Choose color option to complete your model number)
• Direct Buy Kit - 9789CC

Halsey Taylor
HALSEY TAYLOR, 2222 Camden Court, Oak Brook, IL 60023
SPIC00411 (11/13)

ARCHITECT / PLANNER



88 Inverness Circle East,
Bldg. J, Suite 101
Englewood, Colorado 80112
T 303.734.1777 | F 303.734.1778
Architecture | Planning | Golf Design
Landscape Architecture | Visual Media
www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE
GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO

1700 EMBARCADERO ROAD

PALO ALTO, CA 94303

SITE DETAILS

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JCK/P

ISSUE RECORD

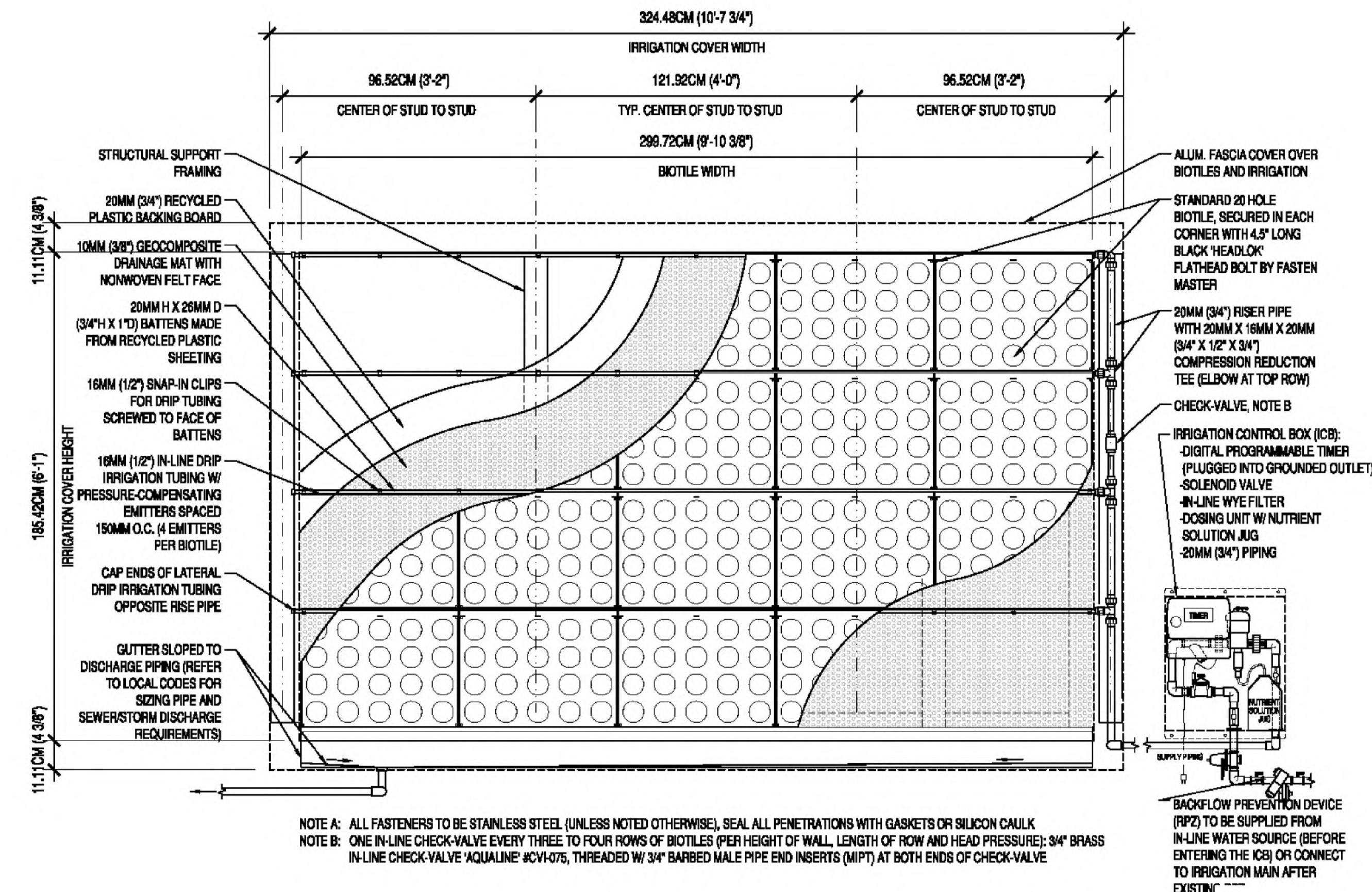
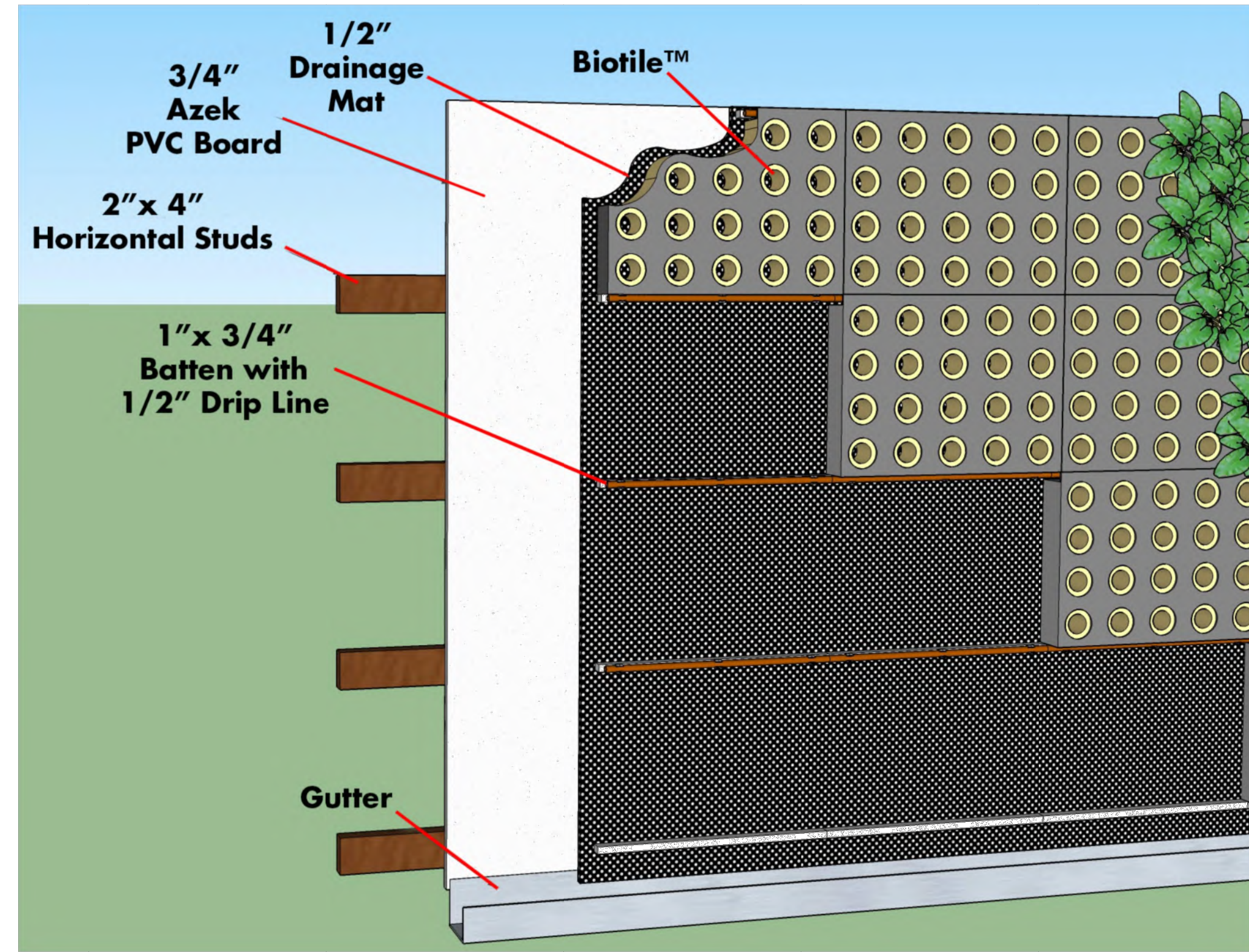
| ARB (REVIEW) | DATE |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

SHEET NUMBER

L-7

7 OF 16

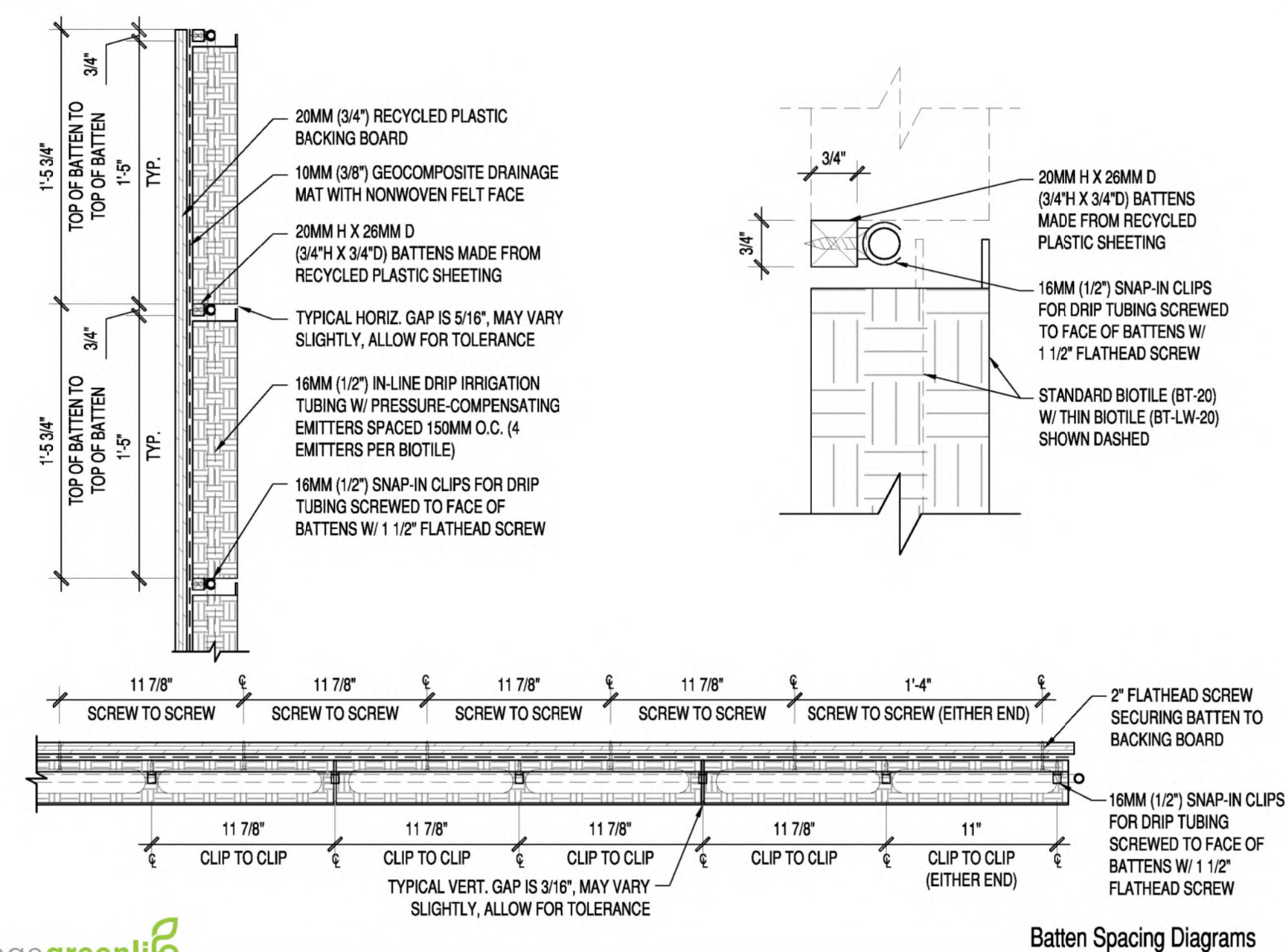
Copyright © 2019 LAI Design Group. These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.



Typical Wall Mounted Installation With In-line Plumbing Connect

©Sage Botanic Media Treestanding Media Gardens® and the ©Sage Vertical Garden System are protected by U.S. and international Patents Pending. All Rights Reserved. 2019

A TYPICAL WALL MOUNTED INSTALLATION
SCALE: NTS

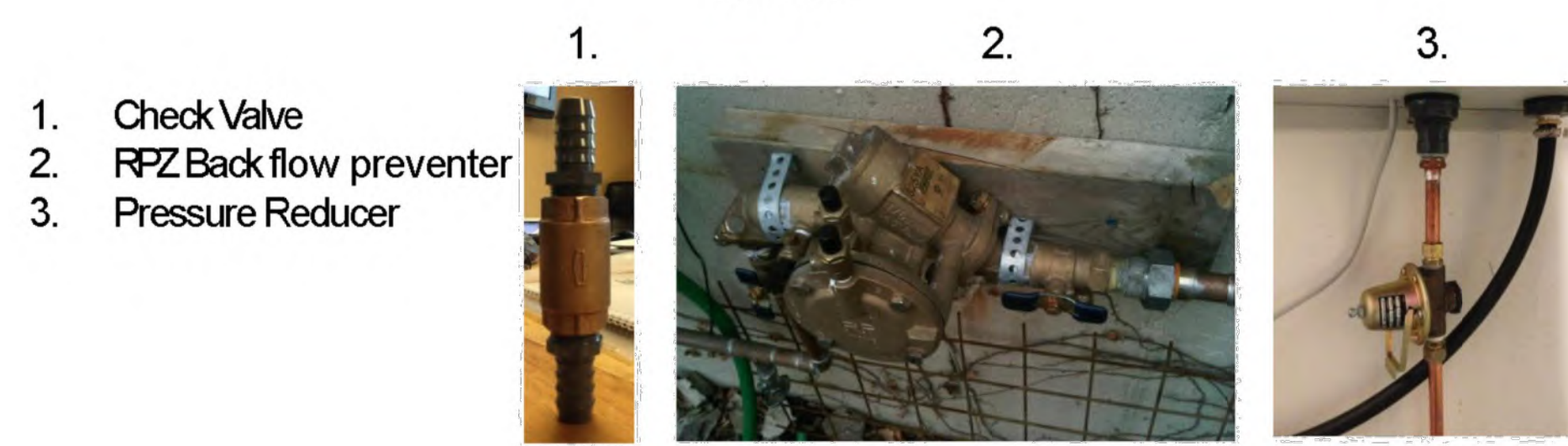
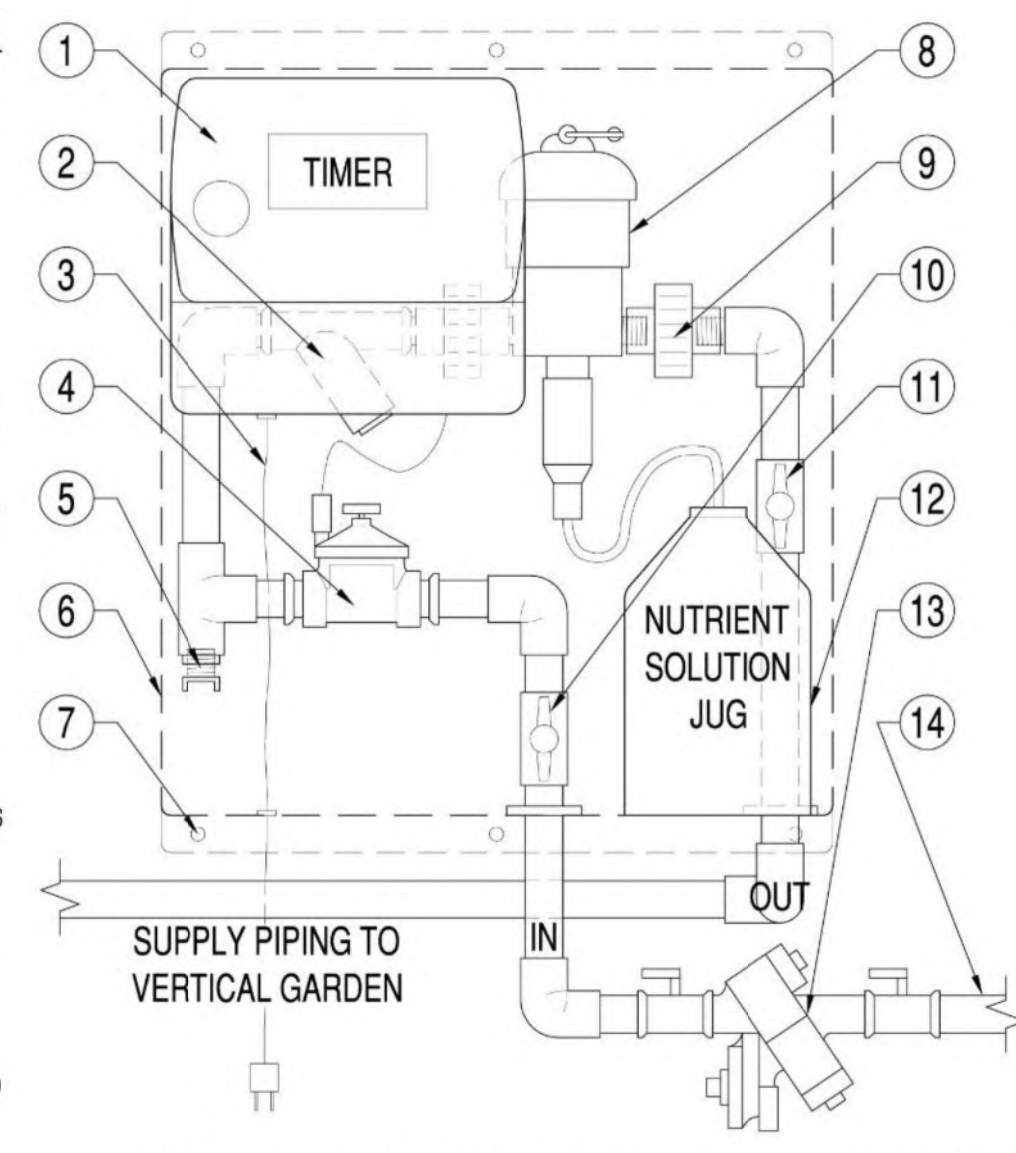


Batten Spacing Diagrams

B BATTEN SPACING
SCALE: NTS

Irrigation/Fertigation controls range as determined by the project

1. TIMER PRESETS MAY BE ADJUSTED FOR OUTDOOR LOCATIONS. USE PROGRAM BUTTON OR SEASONAL ADJUSTMENT FEATURE)
2. RINSE WYE FILTER CARTRIDGE EVERY 4-6 WEEKS
3. 3-PRONG CORD EXTENDS APPROX. 4' FROM BOTTOM OF ICB (PROVIDE GFCI OR HARD-WIRED CONNECTION)
4. SOLENOID VALVE
5. BRASS TEE-HANDLE DRAIN VALVE
6. 16"W X 20"H X 11.5"D ICB CABINET MAY BE LOCKED BY OWNER/MAINTAINER
7. MOUNT ICB TO WALL WITH CORROSION-RESISTANT FASTENERS/ANCHORS AS REQUIRED, NOT INCLUDED
8. FLIP FERTILIZER DOSING UNIT TO 'OFF' POSITION UNTIL SYSTEM IS TESTED AND BIOTILES ARE INSTALLED
9. PVC UNIONS FOR REPLACEMENT OF DOSING UNIT
10. 1" SHUT-OFF VALVE TO REMAIN SHUT UNTIL RPZ IS TESTED FOR LEAKS, ETC
11. 'OUT' SHUT-OFF VALVE
12. NUTRIENT SOLUTION JUG, CAULK AROUND HOSE PENETRATION THROUGH LID
13. BACKFLOW PREVENTION DEVICE (RPZ) WITH BALL VALVES, INSTALL PER LOCAL CODE, NOT INCLUDED
14. 3/4" PVC 1/2" IN-LINE WATER SOURCE

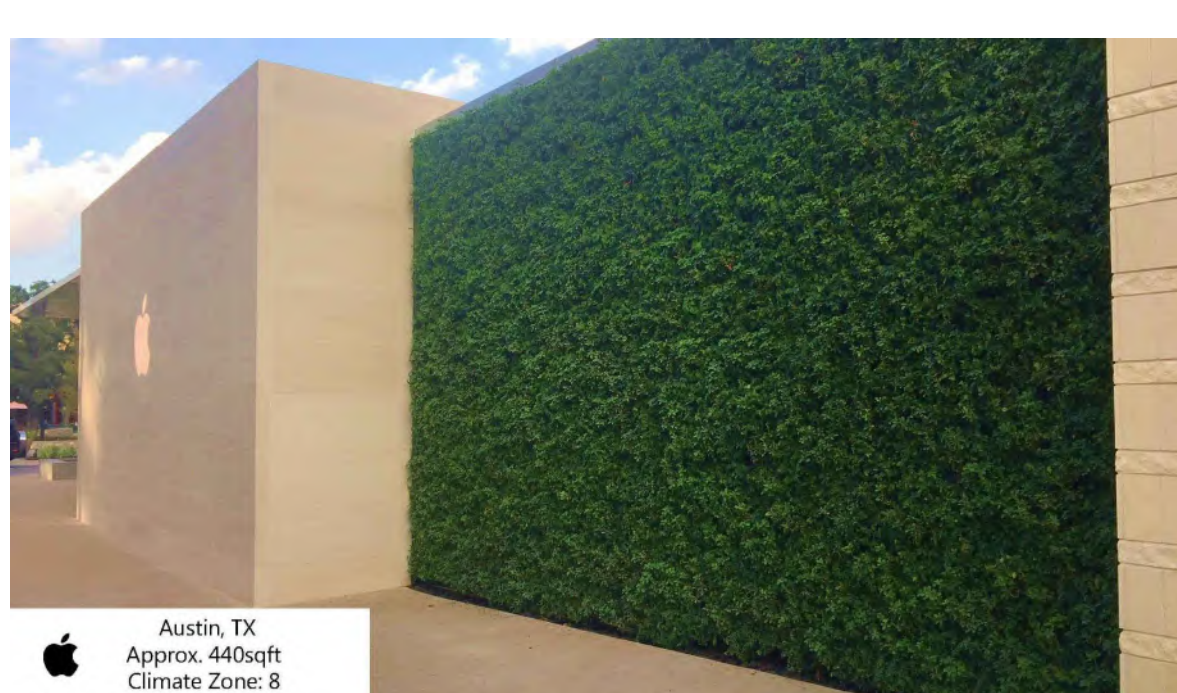
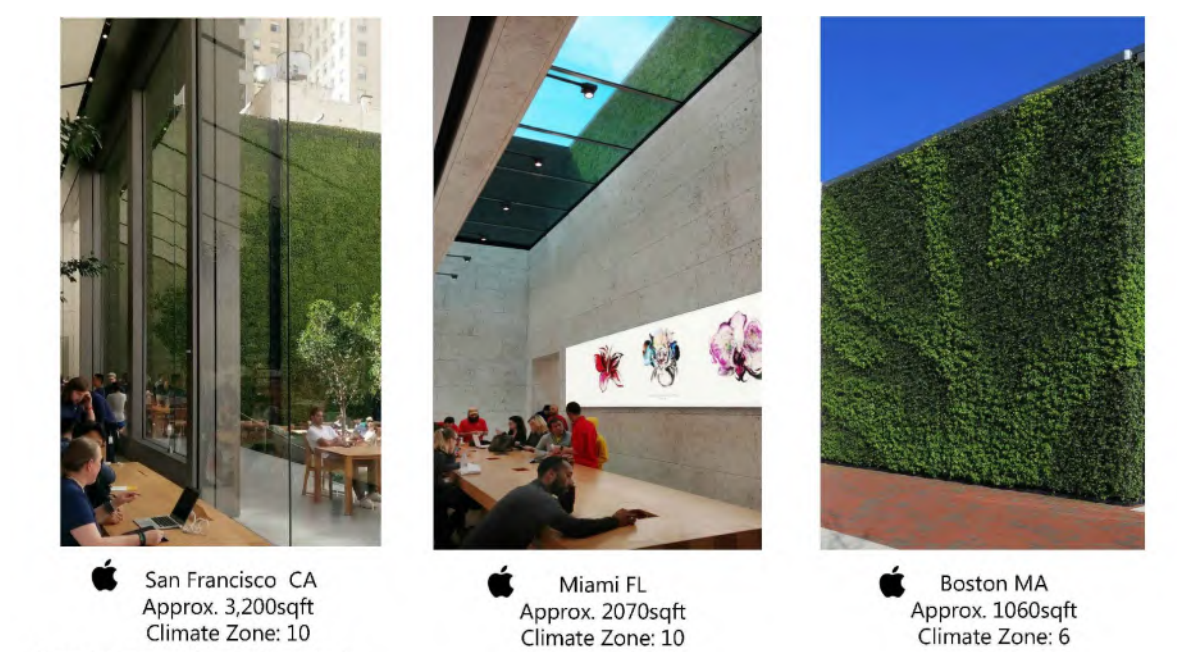


C TYPICAL IRRIGATION/FERTIGATION CONTROLS
SCALE: NTS

Multi Valve & Multi Zone ICB



Two Valve ICB



D GREEN WALL SYSTEM EXAMPLES
SCALE: NTS



OWNER/CLIENT

HOLMAN AUTOMOTIVE GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
GREEN SCREEN DETAILS

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JCK/P

ISSUE RECORD

| | |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

SHEET NUMBER

Copyright © 2019 LAI Design Group. These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.

PLANT LIST (TOTAL COUNTS)

| LABEL | QTY | BOTANICAL NAME | COMMON NAME | MIN. SIZE |
|---|------|--|--------------------------------|-----------|
| SHADE TREES | | | | |
| BLM | 31 | Acer macrophyllum (N) | Big Leaf Maple | 36" BOX |
| BOK | 24 | Quercus douglasii (L,N) | Blue Oak | 36" BOX |
| CLO | 6 | Quercus agrifolia (L,N) | Coast Live Oak | 36" BOX |
| FOL | 3 | Olea europaea 'Swan Hill' (L) | Fruitless Olive Tree | 36" BOX |
| VOK | 12 | Quercus lobata (N) | Valley Oak | 36" BOX |
| WHB | 6 | Celtis reticulata (L,N) | Western Hackberry | 36" BOX |
| ORNAMENTAL TREES | | | | |
| CHT | 12 | Vitex agnus castus (L) | Chaste Tree | 36" BOX |
| CRH | 19 | Ceanothus 'Ray Hartman' (L,N) | California Lilac 'Ray Hartman' | 36" BOX |
| MPV | 1 | Parkinsonia aculeata (L) | Mexican Palo Verde | SALVAGE |
| TCS | 7 | Caesalpinia cacalaco 'Smoothie' (L) | Thornless Cascalote | 36" BOX |
| TML | 8 | Sephora secundiflora (L) | Texas Mountain Laurel | 36" BOX |
| WRB | 2 | Cercis occidentalis (L,N,S) | Western Redbud | 36" BOX |
| PERENNIAL & EVERGREEN SHRUBS | | | | |
| BUC | 30 | Rhamnus alaternus | Italian Buckthorn | 5 GAL |
| CFB | 100 | Rhamnus californica (B,N,L,S) | Coffeeferry | 5 GAL |
| CML | 112 | Ceanothus concha (B,N,L,S) | California Mountain Lilac | 5 GAL |
| MNZ | 413 | Arcostaphylos densiflora 'Harmony' (B,N,L) | Harmony Manzanita | 5 GAL |
| NMH | 122 | Mahonia nevinii (L,N,S) | Nevin Mahonia | 5 GAL |
| SBL | 167 | Lupinus albifrons (B,N,L,S) | Silver Bush Lupine | 5 GAL |
| WBC | 59 | Trichostema lanatum (N,L) | Woolly Blue Curis | 5 GAL |
| ORNAMENTAL GRASSES / ACCENTS | | | | |
| BKS | 564 | Carex divulsa (B,L,N,S) | Berkeley Sedge | 1 GAL |
| DEG | 596 | Mulhenbergia rigens (B,L,N,S) | Deer Grass | 5 GAL |
| DNS | 2207 | Carex pansa (B,L,N,S) | Dune Sedge | 1 GAL |
| FRG | 276 | Calamagrostis acutiflora 'Karl Foerster' (L,N,S) | Feather Reed Grass | 1 GAL |
| MRG | 2466 | Calamagrostis foliosa (L,N,S) | Mendocino Reed Grass | 1 GAL |
| FTA | 33 | Agave attenuata (L,S) | Foxtail Agave | 15 GAL |
| ACCENTS IN PLANTERS | | | | |
| ASD | 24 | Sedum rupestre 'Angelina' (L,S) | Angelina Stonecrop | 1 GAL |
| CFG | 18 | Cordalyne x 'JUReD' Plant (L) | Festival Burgundy Cordalyne | 2 GAL |
| ACCENTS ON GREEN SCREEN | | | | |
| YSD | TBD | Sedum spathulifolium (L,N,S) | Yellow Stonecrop | 1/2 GAL |

ALL PLANTS ON THIS LIST ARE MODERATE TO LOW-WATER USE. DESIGNATION IF FOUND ON AN APPROVED PLANT LIST, NATIVE SPECIES OR LOW-WATER USE:
 (B)=BAY-FRIENDLY RATED PLANT LIST
 (L)= LOW WATER USE
 (N)=NATIVE SPECIES
 (S)=SANTA CLARA VALLEY WATER DISTRICT'S APPROVED PLANT LIST

SHADE TREES



Acer macrophyllum
Big Leaf Maple
60"H X 40" W
CA NATIVE



Quercus douglasii
Blue Oak
40"H X 25"W
CA NATIVE



Quercus agrifolia
Coast Live Oak
40"H X 25"W
CA NATIVE



Quercus lobata
Valley Oak
55"H X 40"W
CA NATIVE



Celtis reticulata
Western Hackberry
45"H X 45"W
CA NATIVE



Olea europaea 'Swan Hill'
Fruitless Olive Tree
30"H X 25"W

ORNAMENTAL TREES



Caesalpinia cacalaco 'Smoothie'
Thornless Cascalote
15-18"H X 15-18" W
*Semi-evergreen, non-native, low water use



Ceanothus 'Ray Hartman'
California Lilac 'Ray Hartman'
12-20"H x 10-20"W
CA NATIVE



Cercis occidentalis
Western Redbud
15"H X 15"W
CA NATIVE



Sophora secundiflora
Texas Mountain Laurel
15'-18"H X 10-15"W
*Evergreen, non-native, low water use



Vitex agnus-castus
Chaste Tree
15-20"H x 20"W
*Deciduous, non-native, low water use, fast growing, accepts pruning for shape and smaller form

SHRUBS



Rhamnus alaternus
Italian Buckthorn
12-16"H X 6-8" W
CA NATIVE



Ceanothus concha
California Mountain Lilac
4"H X 4"W
CA NATIVE



Arcostaphylos densiflora 'Harmony'
Harmony Manzanita
3"H X 6"W
CA NATIVE



Mahonia nevinii
Nevin Mahonia
8-10"H X 9"W
CA NATIVE



Lupinus albifrons
Silver Bush Lupine
3"H X 3"W
CA NATIVE



Trichostema lanatum
Woolly Blue Curis
3"H X 4"W
CA NATIVE

ORNAMENTAL GRASSES / ACCENTS



Carex divulsa
Berkeley Sedge
2"H X 2" W
CA NATIVE



Mulhenbergia rigens
Deer Grass
4"H X 5"W
CA NATIVE



Carex pansa
Dune Sedge
1"H X 1"W
CA NATIVE



Calamagrostis x acutiflora 'Karl Foerster'
Feather Reed Grass
3"H X 2"W
CA NATIVE



Agave attenuata
Foxtail agave
5"H X 6"W



Calamagrostis foliosa
Mendocino Reed Grass
18"H X 18"W
CA NATIVE

ACCENTS FOR PLANTERS/GREEN SCREEN



Sedum rupestre 'Angelina'
Angelina Stonecrop
4"H X 3" W



Cordalyne x 'JUReD'
Festival Burgundy Cordalyne
3"H X 3"W



Sedum spathulifolium
Yellow stonecrop
4"H X 8"W

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 1700 EMBARCADERO ROAD PALO ALTO, CA 94303

Are there Regulated trees on or adjacent to the property? YES NO (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

- On the property
- On adjacent property overhanging the project site
- In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving your permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? YES (Check where applicable) NO

- Protected Tree (s)
- Designated Tree (s)
- On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? YES NO

If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, Tree Protection, its Part of the Plan, per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? YES NO

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM - Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: _____ Print: _____ Date: _____
(Prop. Owner or Agent)

FOR STAFF USE:

Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

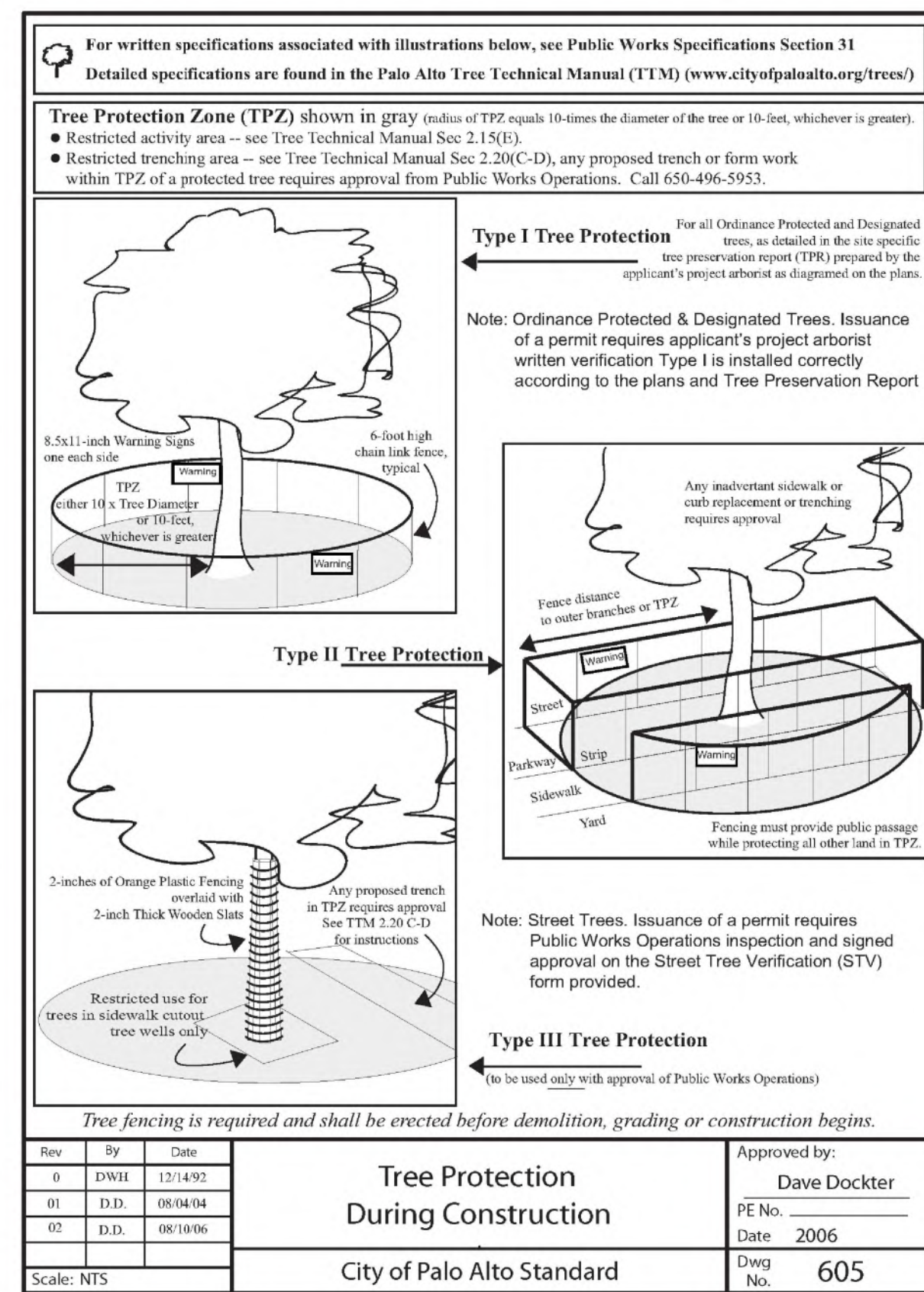
5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES NO
(N/A if there are no protected trees, check here)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. YES NO
(N/A if there are no street trees, check here)

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 5'4" above natural grade, and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

* Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/tree-technical-manual.html>

S:\Plan\Draw\Arborist\Tree Protection info\Tree Disclosure Statement Revised 08/06



PALO ALTO STREET TREE PROTECTION INSTRUCTIONS SECTION 31

31-1 General

a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a diameter of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail 605 - Illustration of situations described below.

b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)

- Trenching Restriction Zones (TTM, Section 2.20(C))
- Arborist Reporting Protocol (TTM, Section 6.30)
- Site Plan Requirements (TTM, Section 6.35)
- Tree Disclosure Statement (TTM, Appendix J)

c. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planter strip, only the planter strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. **Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **Warning signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110".

f. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

g. **During construction**

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
 - No storage of material, spoil, vehicles or equipment shall be permitted within the TPZ.
 - The ground under and around the tree canopy area shall not be altered.
 - Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Project, PWE, Section 31
Revised 08/06

Table 2-2 Palo Alto Tree Technical Manual CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).
- Pre-Construction Meeting Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).
- Inspection of Rough Grading or Trenching Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).
- Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

City of Palo Alto Tree Department Public Works Operations PO Box 10250 Palo Alto, CA 94303 650-496-5953 FAX: 650-852-9289 treeprotection@CityofPaloAlto.org

Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____

APPLICANT'S NAME: _____

APPLICANT'S ADDRESS: _____

APPLICANT'S TELEPHONE & FAX NUMBERS: _____

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: YES NO
* If NO, go to #2 below

Inspected by: _____

Date of Inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant: _____

Subsequent Inspection

Street trees at above address were found to be adequately protected: YES NO
* If NO, indicate in "Notes" below the disposition of case.

Inspected by: _____

Date of Inspection: _____

Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.
S:\PWO\PS\Tree\DS\ST Tree\Protect 6/7/06

City of Palo Alto Tree Technical Manual ADDENDUM 11 Arborist Firm Data Here

RCA/ISA Certified Arborist #WS-800
Contract #C-14

Monthly Tree Activity Report- Construction Site

| Inspection Date: | Site address: | Contractor- Main Site Contact Information | #1: Job site superintendent Company: Email: Job site Office: Cell: Mail: |
|------------------|-----------------------------------|---|---|
| | Palo Alto, CA | | |
| Inspection #: | | Also present: | |
| Distribution: | 1. City of Palo Alto 2. Others | Attn: Dave Dockter | Dave.dockter@cityofpaloalto.org 650-329-2440 |

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits)
 - Pre-construction meeting requirement with sub-contractors
 - Inspect to verify that tree protection measures are in place
 - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
 - Tree Protection Fences (TPF) are ...
 - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - Tree Protection Fence (TPF) needs adjusting (tree # x, x, x)
 - Root zone buffer material (wood chips) can be installed next
 - Schedule sewer trench, foundation dig with ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
- Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____

Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

---WARNING---

Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

| SPECIAL INSPECTIONS | PLANNING DEPARTMENT |
|---|---------------------|
| TREE PROTECTION INSPECTIONS MANDATORY | |
| PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE. | |
| BUILDING PERMIT DATE: | _____ |
| DATE OF 1 ST TREE ACTIVITY REPORT: | _____ |
| CITY STAFF: | _____ |
| REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.0.0 AND ADDENDUM 11. | |

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

City of Palo Alto
250 Hamilton Avenue, Palo Alto, CA 94301

Search: _____ Advanced Browse By Topic

Home > Planning & Community Environment

Tree Technical Manual

To purchase the Tree Technical Manual

June, 2001 First Edition

View by section:

- Table of Contents (PDF, 87KB)
- Intent and Purpose (PDF, 1.05MB)
- Introduction - Use of Manual (PDF, 1.05MB)
- Section 1.0 - Definitions (PDF, 96KB)
- Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- Section 4.0 - Hazardous Trees (PDF, 105KB)
- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 84KB)

View ALL sections:

- Tree Technical Manual - Full (PDF, 1.84MB)

APPENDICES

A: Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations
B: Tree City - USA
C: ISA Hazard Evaluation Form
D: List of Inherent Failure Patterns for Selected Species (Reference source)
E: ISA Tree Pruning Guidelines (PDF, 1.85MB)
F: Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)
G: Pruning Performance Standards, ANSI A300-1995 (Reference source)
H: Tree Planting Details, Diagram 504 & 505
I: Tree Disclosure Statement
J: Palo Alto Standard Tree Protection Instructions

LAI
Design Group

world wide

88 Inverness Circle East,
Bldg. J, Suite 101
Englewood, Colorado 80112
T 303.734.1777 | F 303.734.1778
Architecture | Planning | Golf Design
Landscape Architecture | Visual Media
www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
TREE PROTECTION

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JC/KP

ISSUE RECORD

| ARB (REVIEW) | DATE |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

SHEET NUMBER



ASCA - Registered Consulting Arborist #496
ISA - Board Certified Master Arborist WF-43418
ICR - Registered Consulting Arborist #14229
CA - Qualified Applicator License #14429

© Copyright Monarch Consulting Arborists LLC, 2018

Table of Contents
Summary 1
Introduction 1
Background 1
Assignment 1
Limits of the assignment 2
Purpose and use of the report 2
Observations 3
Site and Trees 3
Trees and Plans 3
Tree Inventory 4
Condition Rating 5
Suitability for Conservation 5
Impact Level 7
Tree Protection 8
Palo Alto Required Practices 9
Conclusion 13
Recommendations 14
Pre-Construction Phase 15
Construction Phase 15
Post-Construction Phase 15
Bibliography 16
Glossary of Terms 17
Appendix A: Tree Inventory Map 18
Appendix B: Tree Inventory and Disposition Tables 20
Appendix C: Tree Protection Specifications 23
Appendix D: Tree Protection Disposition Tables 23
Appendix E: Photographs 25
C1: Chinese elms #1 through #10 along E. Bayshore Road 25
C2: Privet #11 26

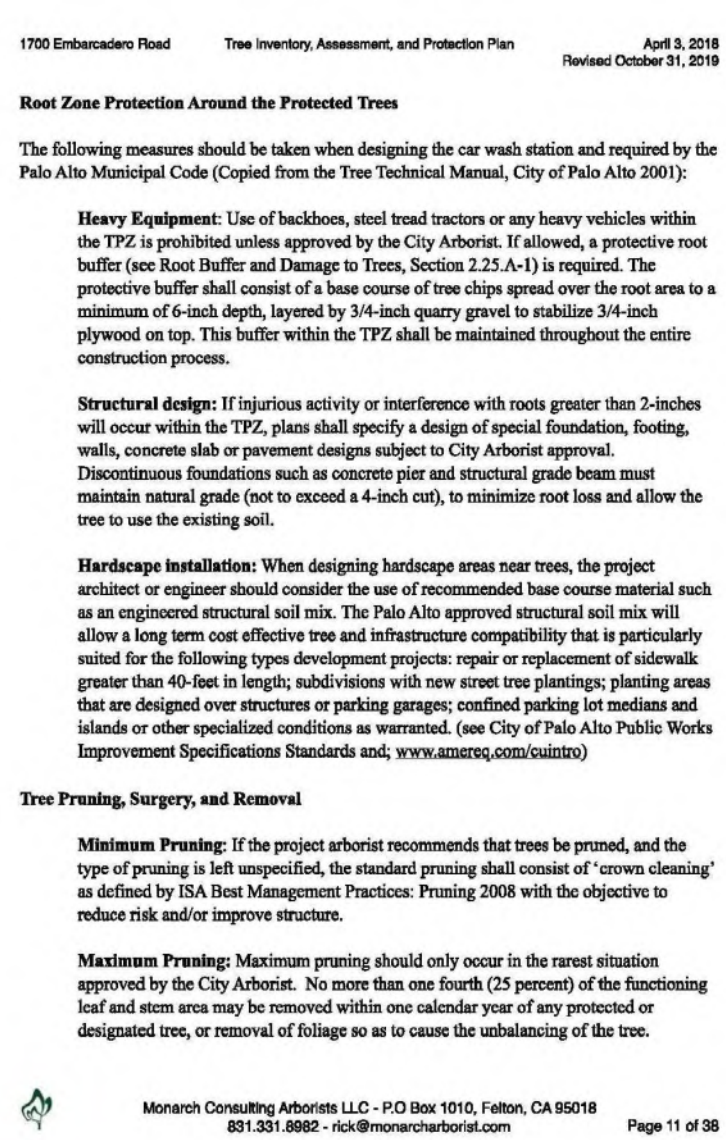
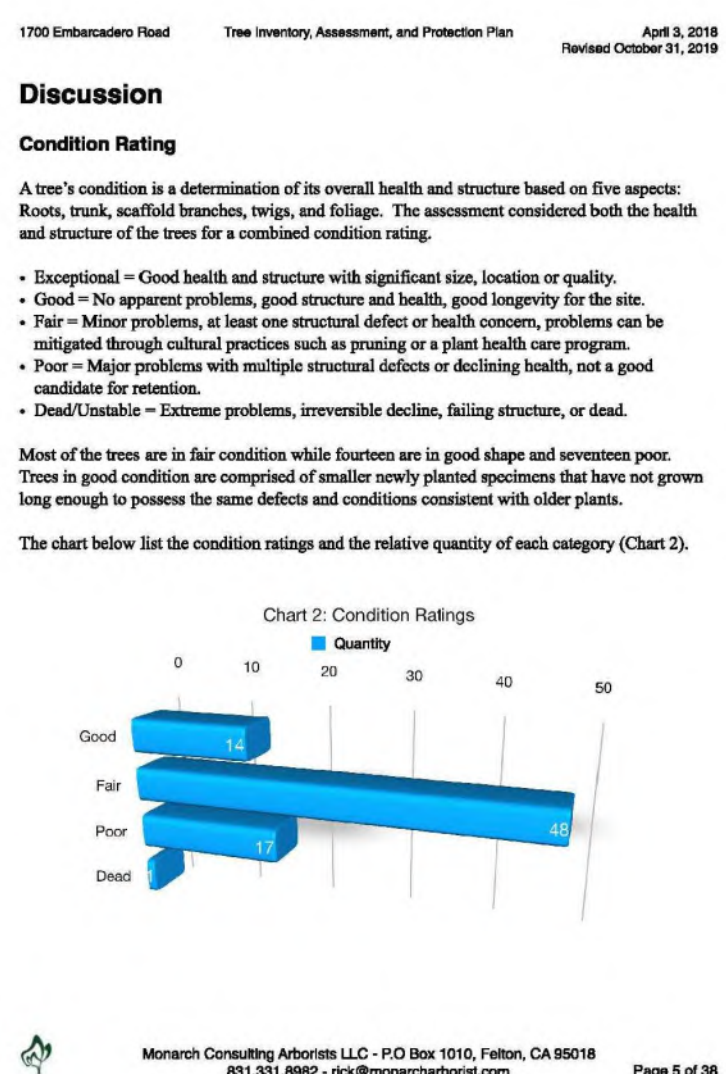


Chart 2: Condition Ratings

Table of Contents
Summary 1
Introduction 1
Background 1
Assignment 1
Limits of the assignment 2
Purpose and use of the report 2
Observations 3
Site and Trees 3
Trees and Plans 3
Tree Inventory 4
Condition Rating 5
Suitability for Conservation 5
Impact Level 7
Tree Protection 8
Palo Alto Required Practices 9
Conclusion 13
Recommendations 14
Pre-Construction Phase 15
Construction Phase 15
Post-Construction Phase 15
Bibliography 16
Glossary of Terms 17
Appendix A: Tree Inventory Map 18
Appendix B: Tree Inventory and Disposition Tables 20
Appendix C: Tree Protection Specifications 23
Appendix D: Tree Protection Disposition Tables 23
Appendix E: Photographs 25
C1: Chinese elms #1 through #10 along E. Bayshore Road 25
C2: Privet #11 26

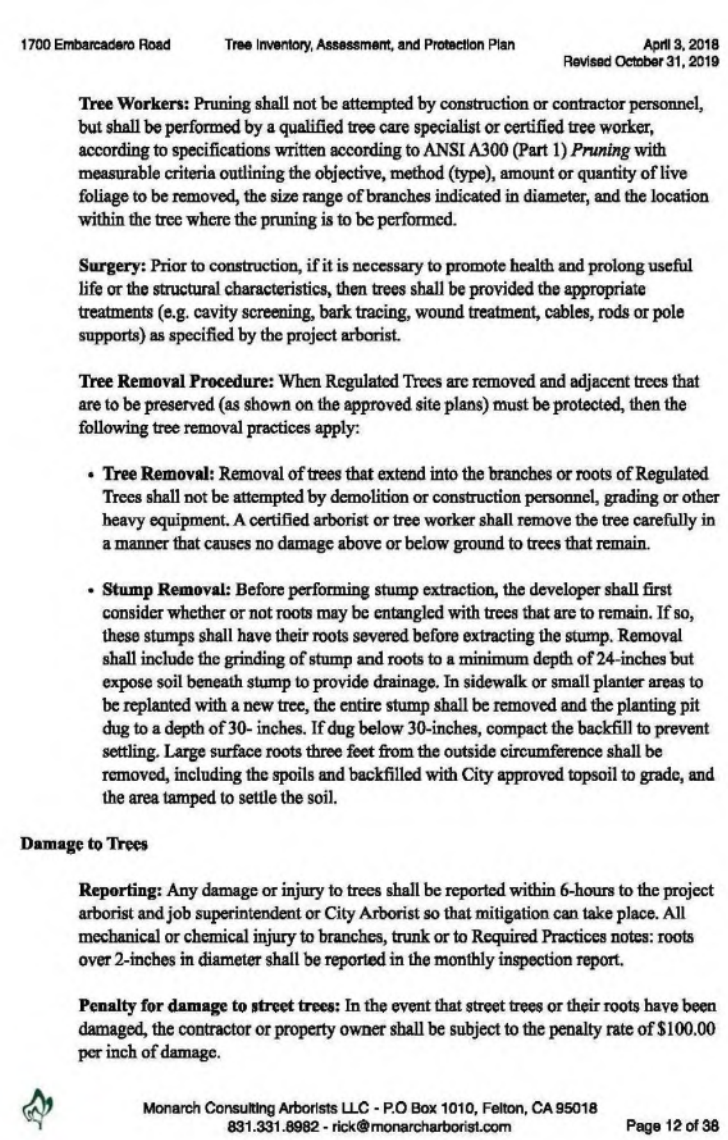
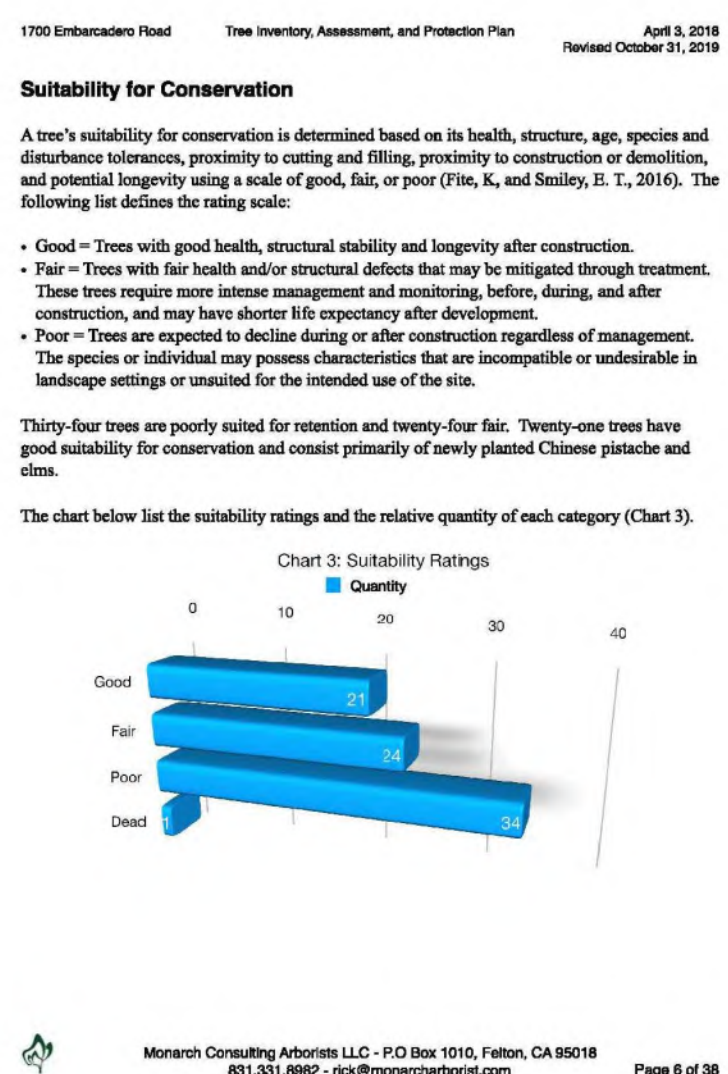


Chart 4: Expected Impact Ratings

Table of Contents
Summary 1
Introduction 1
Background 1
Assignment 1
Limits of the assignment 2
Purpose and use of the report 2
Observations 3
Site and Trees 3
Trees and Plans 3
Tree Inventory 4
Condition Rating 5
Suitability for Conservation 5
Impact Level 7
Tree Protection 8
Palo Alto Required Practices 9
Conclusion 13
Recommendations 14
Pre-Construction Phase 15
Construction Phase 15
Post-Construction Phase 15
Bibliography 16
Glossary of Terms 17
Appendix A: Tree Inventory Map 18
Appendix B: Tree Inventory and Disposition Tables 20
Appendix C: Tree Protection Specifications 23
Appendix D: Tree Protection Disposition Tables 23
Appendix E: Photographs 25
C1: Chinese elms #1 through #10 along E. Bayshore Road 25
C2: Privet #11 26

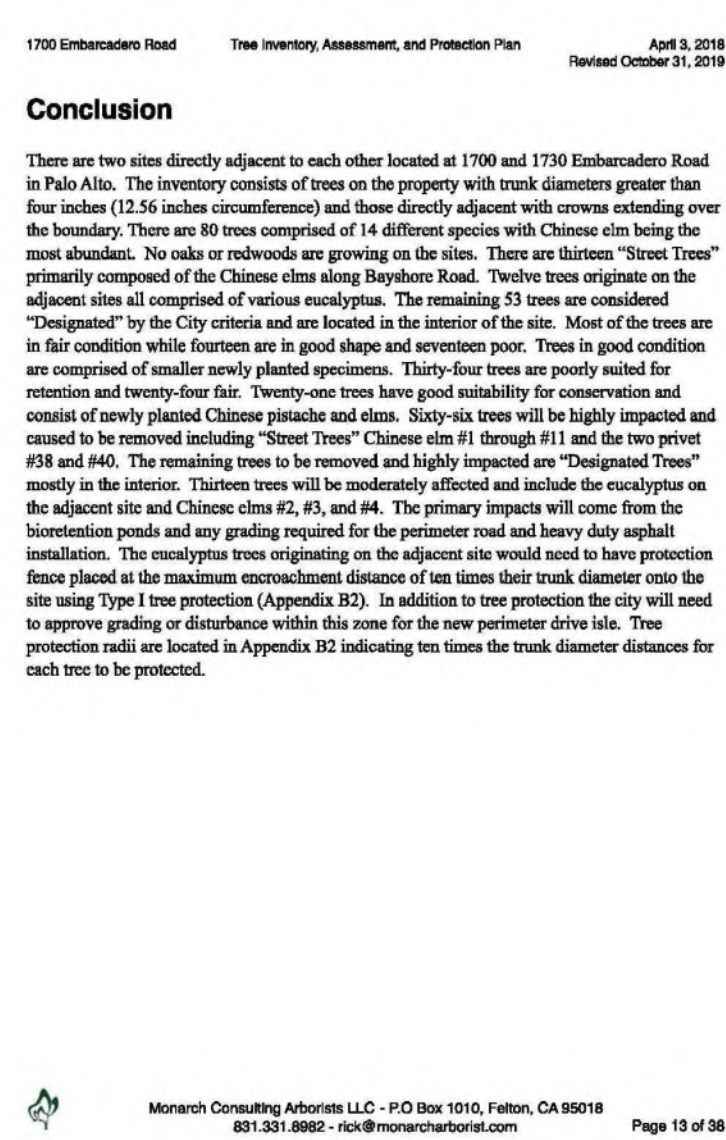
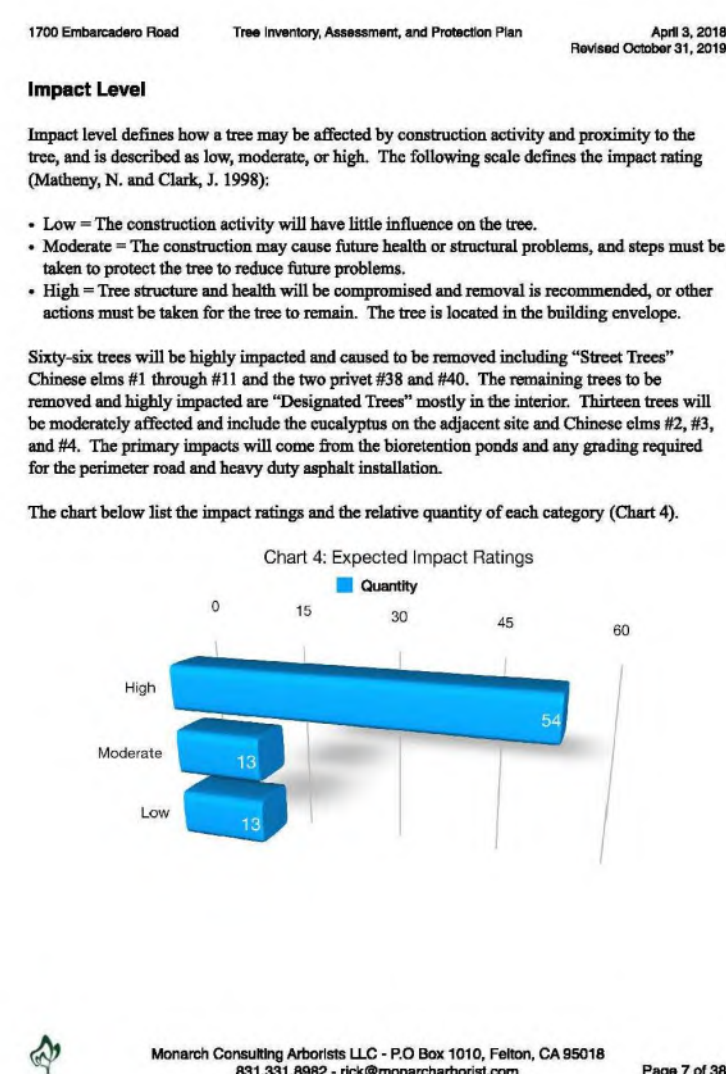


Chart 6: Expected Impact Ratings

Table of Contents
Summary 1
Introduction 1
Background 1
Assignment 1
Limits of the assignment 2
Purpose and use of the report 2
Observations 3
Site and Trees 3
Trees and Plans 3
Tree Inventory 4
Condition Rating 5
Suitability for Conservation 5
Impact Level 7
Tree Protection 8
Palo Alto Required Practices 9
Conclusion 13
Recommendations 14
Pre-Construction Phase 15
Construction Phase 15
Post-Construction Phase 15
Bibliography 16
Glossary of Terms 17
Appendix A: Tree Inventory Map 18
Appendix B: Tree Inventory and Disposition Tables 20
Appendix C: Tree Protection Specifications 23
Appendix D: Tree Protection Disposition Tables 23
Appendix E: Photographs 25
C1: Chinese elms #1 through #10 along E. Bayshore Road 25
C2: Privet #11 26

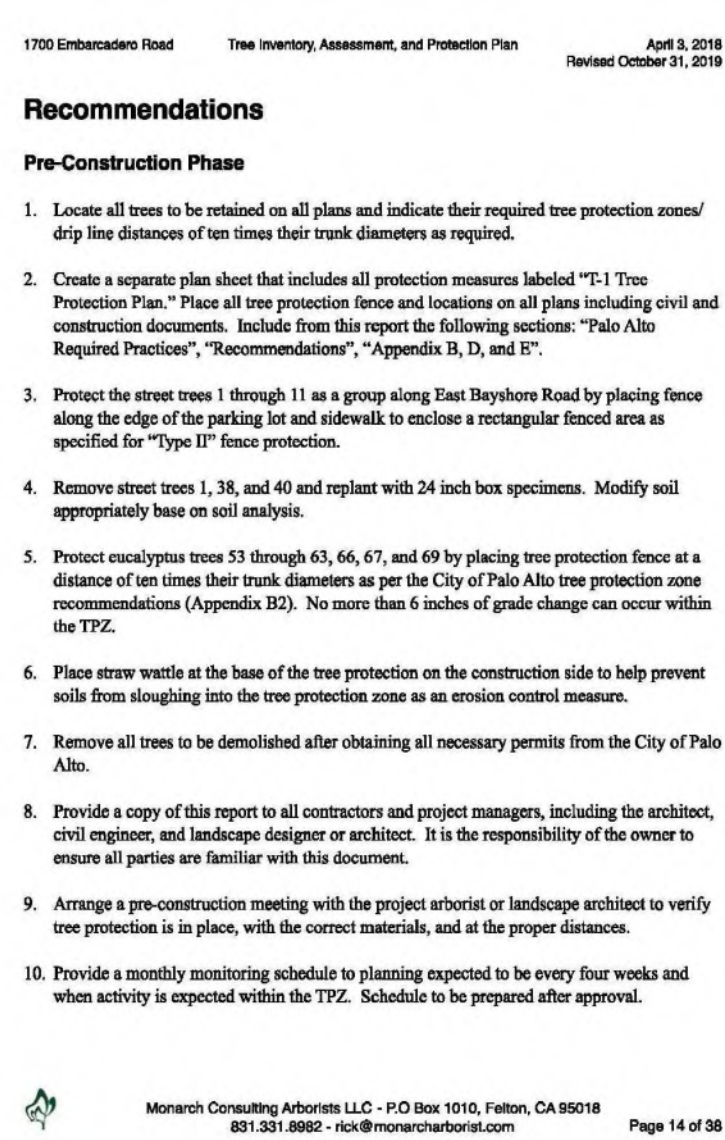
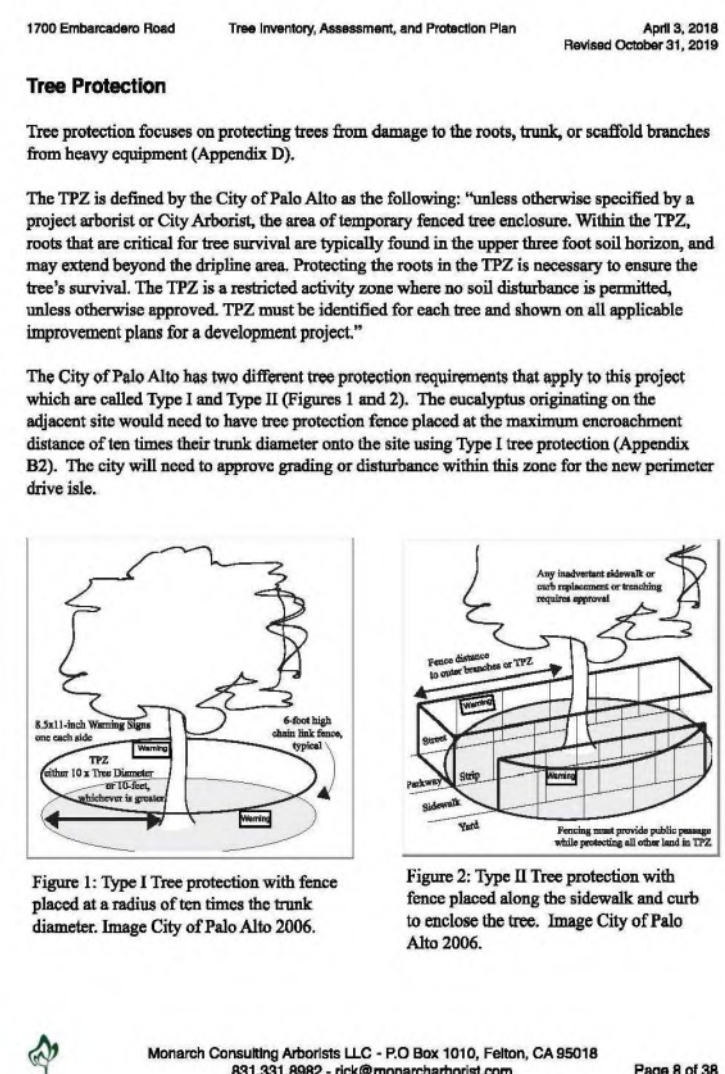


Chart 8: Expected Impact Ratings

Table of Contents
Summary 1
Introduction 1
Background 1
Assignment 1
Limits of the assignment 2
Purpose and use of the report 2
Observations 3
Site and Trees 3
Trees and Plans 3
Tree Inventory 4
Condition Rating 5
Suitability for Conservation 5
Impact Level 7
Tree Protection 8
Palo Alto Required Practices 9
Conclusion 13
Recommendations 14
Pre-Construction Phase 15
Construction Phase 15
Post-Construction Phase 15
Bibliography 16
Glossary of Terms 17
Appendix A: Tree Inventory Map 18
Appendix B: Tree Inventory and Disposition Tables 20
Appendix C: Tree Protection Specifications 23
Appendix D: Tree Protection Disposition Tables 23
Appendix E: Photographs 25
C1: Chinese elms #1 through #10 along E. Bayshore Road 25
C2: Privet #11 26

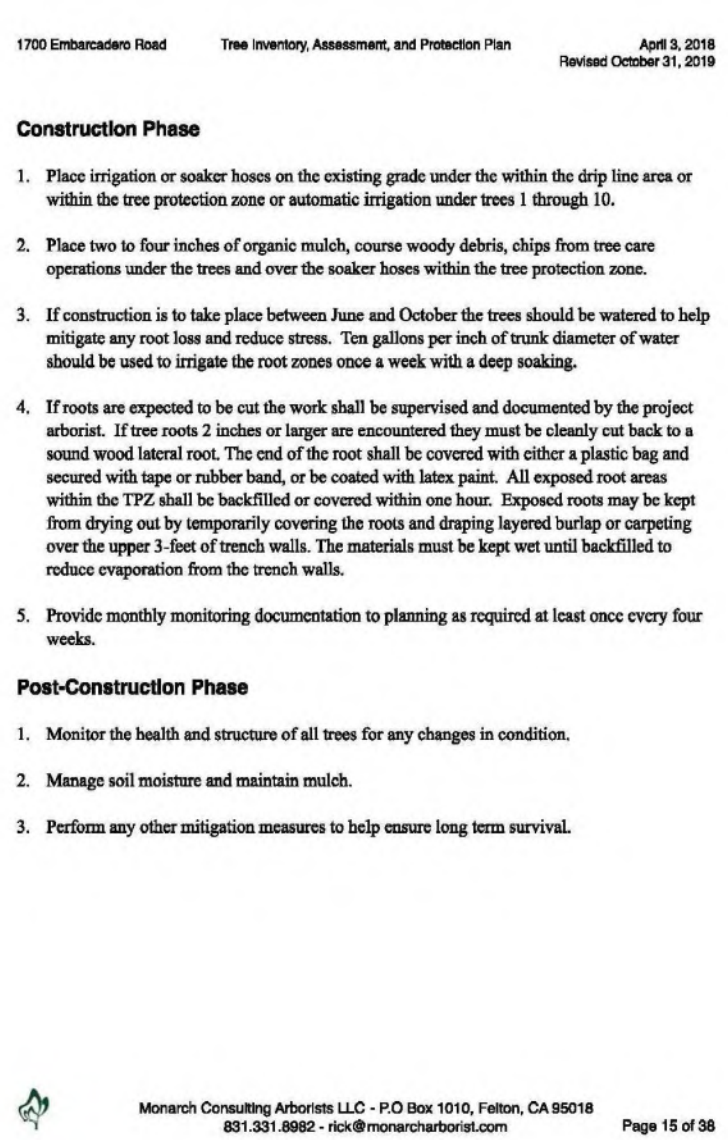
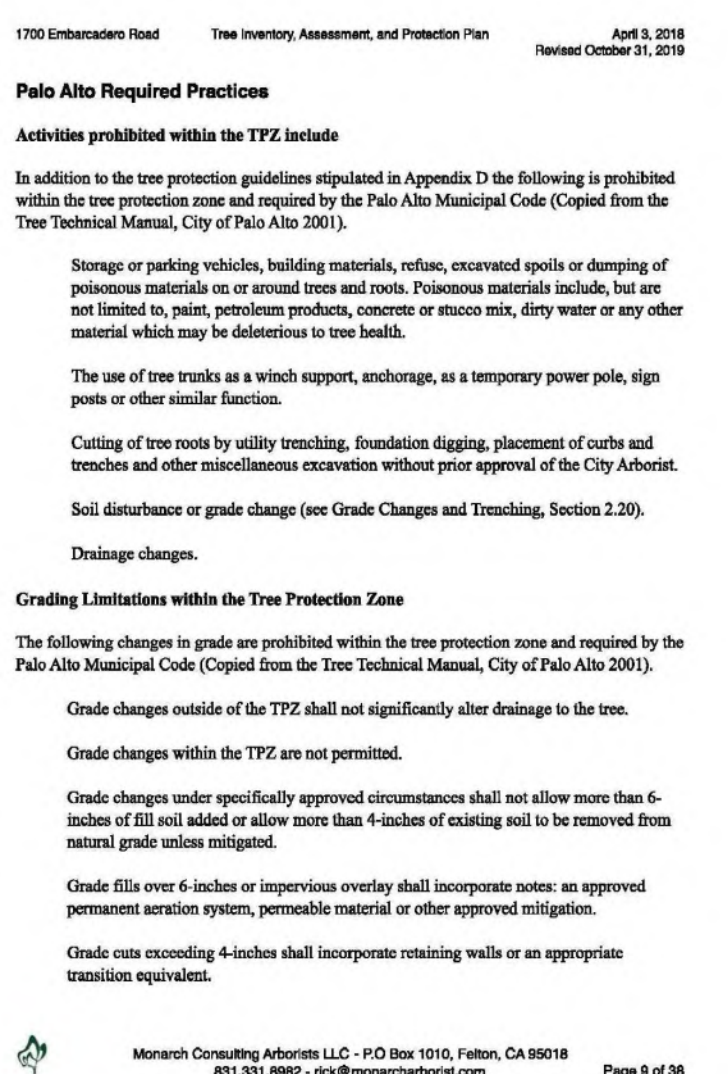


Chart 10: Expected Impact Ratings



88 Inverness Circle East, Bldg. J, Suite 101
Englewood, Colorado 80112
T 303.734.1777 | F 303.734.1778
Architecture | Planning | Golf Design
Landscape Architecture | Visual Media
www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
ARBORIST ASSESSMENT AND REPORT

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JCK/P

ISSUE RECORD

Table with 2 columns: Issue Description, Date. Rows include ARB (REVIEW) 08/20/2019, ARB (REVIEW) 09/10/2019, ARB (REVIEW) 10/22/2019, ARB 11/06/2019, ARB 01/09/2020, ARB 03/05/2020.

SHEET NUMBER

Bibliography

American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management - Standard Practice Management of Trees and Shrubs During Site Planning, Site Development, and Construction (Part 5). Loudon, NH: Secretariat, Tree Care Industry Association, 2012. Print.

Docket, Dave. Tree Technical Manual City of Palo Alto Standards and Specifications, Palo Alto Municipal Code, Chapter 8.10.030. Palo Alto, Calif.: City of Palo Alto, Dept. of Planning and Community Environment, 2001.

Fife, Kelly, and Edges Thomas. *Managing trees during construction*, second edition. Champaign, IL: International Society of Arboriculture, 2016.

ISA. *Glossary of Arboricultural Terms*. Champaign: International Society of Arboriculture, 2011. Print.

Mahony, Nolla P. *Trees and development: A technical guide to preservation of trees during land development*. Redonister, PA: International Society of Arboriculture, 1998.

Glossary of Terms

Defect An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

Diameter at breast height (DBH): Measure at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboricultural), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

Drop Line (as defined by the City of Palo Alto): Means the area within X distance from the trunk of a tree, measured from the perimeter of the trunk of the tree at 54 inches above natural grade, where X equals a distance ten times the diameter of the trunk at 54 inches above natural grade.

Scaffold branches: Permanent or structural branches that for the scaffold architecture or structure of a tree.

Street Tree: Means any publicly owned tree, shrub or plant growing within the street right-of-way, outside of private property. In some cases, property lines to several feet behind the sidewalk. A permit from the Public Works Department is required prior to any work on or around these trees. Check with the Public Works Department to verify prior to any work near a street tree (see Introduction - Use of The Manual, Regulated Trees).

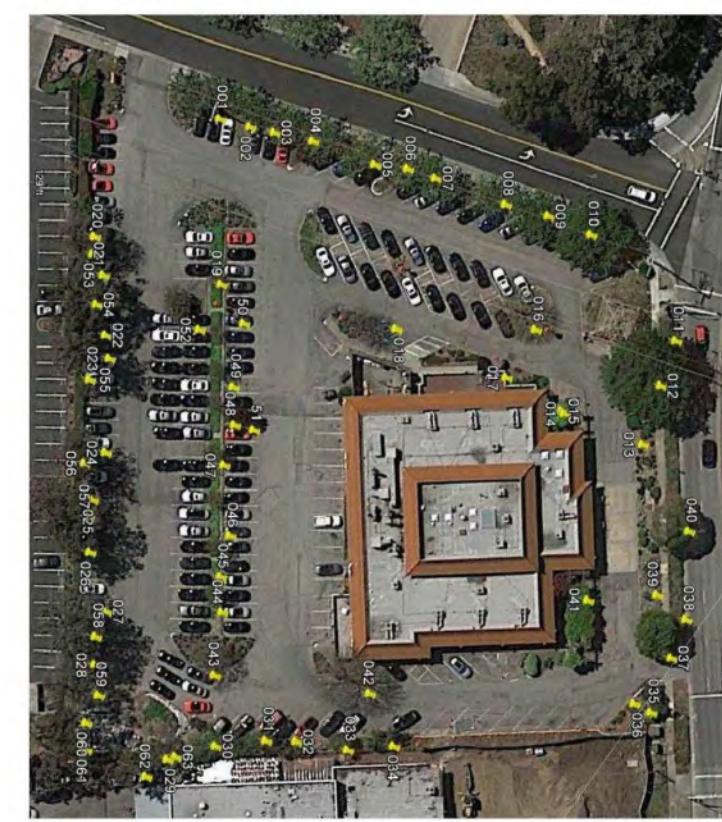
Tree Protection Zone or TPZ (as defined by the City of Palo Alto): means, unless otherwise specified by a project architect or City Arborist, the area of temporary fenced tree enclosure. Within the TPZ, roots that are critical for tree survival are typically found in the upper three foot soil horizon, and may extend beyond the drip-line area. Protecting the roots in the TPZ is necessary to ensure the tree's survival. The TPZ is a restricted activity zone where no soil disturbance is permitted, unless otherwise approved. TPZ must be identified for each tree and shown on all applicable improvement plans for a development project.

Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

Trunk: Stem of a tree.

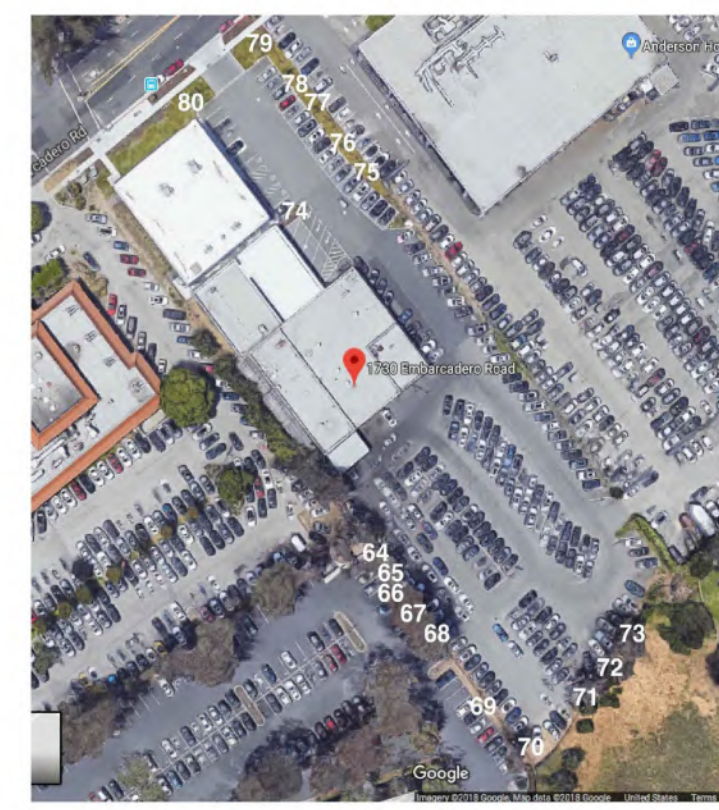
This Glossary of terms was adapted from the Glossary of Arboricultural Terms (ISA, 2011) and the Palo Alto Tree Technical Manual, 2001.

**Appendix A: Tree Inventory Map
A1: 1700 Embarcadero Road**



Tree inventory map produced and provided by Bay Area Tree Specialists, August 8, 2015.

A2: 1730 Embarcadero Road



Tree inventory map produced and provided by Bay Area Tree Specialists, August 8, 2015.

Appendix B: Tree Inventory and Disposition Tables

Table 2: Tree Inventory and Disposition Table

| Tree Species | Number | Trunk Diameter (in.) | Height (ft.) | Crown Diameter (ft.) | Condition | Subsidiary for Conservation | Expected Impact | Protected | Type | Remove/Retain |
|---------------------------------------|--------|----------------------|--------------|----------------------|-----------|-----------------------------|-----------------|------------|-------------|---------------|
| Chinese elm (Ulmus parviflora) | 1 | 12.5 | 30 | 30 | Fair | Good | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 2 | 8.5 | 20 | 30 | Fair | Good | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 3 | 10 | 20 | 30 | Fair | Poor | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 4 | 10 | 20 | 25 | Fair | Good | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 5 | 11 | 20 | 20 | Fair | Good | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 6 | 9.5 | 20 | 25 | Fair | Good | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 7 | 9.5 | 20 | 25 | Fair | Good | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 8 | 8.5 | 20 | 25 | Fair | Good | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 9 | 11 | 20 | 25 | Fair | Good | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 10 | 17 | 20 | 42 | Fair | Good | High | Yes | Street Tree | Remove |
| Privet (Ligustrum lucidum) | 11 | 7.5 | 10 | 8 | Poor | Poor | High | Yes | Street Tree | Remove |
| Chinese elm (Ulmus parviflora) | 12 | 23.5 | 30 | 50 | Fair | High | No | Designated | Remove | |
| Cherry (Prunus serrulata) | 13 | 5 | 8 | 8 | Fair | Poor | High | No | Designated | Remove |
| Japanese maple (Acer palmatum) | 14 | 18 | 12 | 12 | Good | Fair | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 15 | 6 | 10 | 8 | Fair | Poor | High | No | Designated | Remove |
| Chinese pistache (Pistacia chinensis) | 16 | 13 | 25 | 35 | Good | Good | High | No | Designated | Remove |
| Purple leaf plum (Prunus cerasifera) | 17 | 4.5 | 10 | 8 | Fair | Poor | High | No | Designated | Remove |
| Chinese pistache (Pistacia chinensis) | 18 | 12 | 25 | 35 | Good | Good | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 19 | 4.5 | 20 | 10 | Fair | Fair | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 20 | 8.5 | 20 | 10 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 21 | 6.5 | 20 | 10 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 22 | 9.5 | 20 | 10 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 23 | 5.5 | 20 | 10 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 24 | 6 | 20 | 10 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 25 | 6 | 20 | 10 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 26 | 9 | 20 | 15 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 27 | 9.5 | 25 | 25 | Poor | Poor | High | No | Designated | Remove |

| Tree Species | Number | Trunk Diameter (in.) | Height (ft.) | Crown Diameter (ft.) | Condition | Subsidiary for Conservation | Expected Impact | Protected | Type | Remove/Retain |
|---------------------------------------|--------|----------------------|--------------|----------------------|-----------|-----------------------------|-----------------|-----------|--------------------|---------------|
| Chinese elm (Ulmus parviflora) | 28 | 8.5 | 25 | 35 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 29 | 8.5 | 20 | 15 | Fair | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 30 | 9 | 30 | 25 | Fair | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 31 | 8 | 25 | 25 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 32 | 7.5 | 25 | 20 | Poor | Poor | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 33 | 6 | 25 | 15 | Fair | Fair | High | No | Designated | Remove |
| Chinese elm (Ulmus parviflora) | 34 | 7.5 | 25 | 15 | Poor | Poor | High | No | Designated | Remove |
| Mugo pine (Pinus mugo) | 35 | 4.5 | 6 | 6 | Poor | Poor | High | No | Designated | Remove |
| Monterey pine (Pinus radiata) | 36 | 17 | 15 | 10 | Dead | Dead | High | No | Designated | Remove |
| Liquidambar (Liquidambar styraciflua) | 37 | 21 | 25 | 25 | Fair | Good | High | No | Designated | Remove |
| Privet (Ligustrum lucidum) | 38 | 5.5 | 8 | 8 | Poor | Poor | High | Yes | Street Tree | Remove |
| Cherry (Prunus serrulata) | 39 | 6 | 8 | 8 | Fair | Poor | High | No | Designated | Remove |
| Privet (Ligustrum lucidum) | 40 | 18 | 35 | 30 | Poor | Poor | High | Yes | Street Tree | Remove |
| Japanese maple (Acer palmatum) | 41 | 9 | 12 | 12 | Good | Fair | High | No | Designated | Remove |
| Chinese pistache (Pistacia chinensis) | 42 | 20 | 35 | 40 | Good | Fair | High | No | Designated | Remove |
| Chinese pistache (Pistacia chinensis) | 43 | 12.5 | 25 | 30 | Fair | Fair | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 44 | 4 | 20 | 10 | Fair | Poor | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 45 | 4 | 20 | 10 | Fair | Poor | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 46 | 4 | 20 | 10 | Fair | Poor | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 47 | 4.5 | 20 | 10 | Fair | Poor | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 48 | 5.5 | 20 | 10 | Fair | Poor | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 49 | 4 | 20 | 10 | Fair | Poor | High | No | Designated | Remove |
| Crape myrtle (Lagerstroemia indica) | 50 | 4 | 20 | 10 | Fair | Poor | High | No | Designated | Remove |
| Purple leaf plum (Prunus cerasifera) | 51 | 4 | 20 | 12 | Fair | Poor | High | No | Designated | Remove |
| Local (Diospyros japonica) | 52 | 8 | 20 | 18 | Fair | Poor | High | No | Designated | Remove |
| Red ironbark (Eucalyptus sideroxylon) | 53 | 14 | 50 | 40 | Fair | Fair | Moderate | Yes | Adjacent Site Tree | Retain |
| Red ironbark (Eucalyptus sideroxylon) | 54 | 18 | 50 | 40 | Fair | Fair | Moderate | Yes | Adjacent Site Tree | Retain |
| Red ironbark (Eucalyptus sideroxylon) | 55 | 13 | 50 | 40 | Fair | Fair | Moderate | Yes | Adjacent Site Tree | Retain |
| Red ironbark (Eucalyptus sideroxylon) | 56 | 14 | 50 | 40 | Fair | Fair | Moderate | Yes | Adjacent Site Tree | Retain |
| Red ironbark (Eucalyptus sideroxylon) | 57 | 15 | 50 | 40 | Fair | Fair | Moderate | Yes | Adjacent Site Tree | Retain |

| Tree Species | Number | Trunk Diameter (in.) | Height (ft.) | Crown Diameter (ft.) | Condition | Subsidiary for Conservation | Expected Impact | Protected | Type | Remove/Retain |
|--|--------|----------------------|--------------|----------------------|-----------|-----------------------------|-----------------|-----------|--------------------------|---------------|
| Red ironbark (Eucalyptus sideroxylon) | 58 | 17 | 50 | 40 | Fair | Fair | Moderate | Yes | Adjacent Site Tree | Retain |
| Red ironbark (Eucalyptus sideroxylon) | 59 | 13 | 50 | 40 | Fair | Fair | Moderate | Yes | Adjacent Site Tree | Retain |
| Red gum (Eucalyptus camaldulensis) | 60 | 14 | 50 | 40 | Poor | Poor | Moderate | Yes | Adjacent Site Tree | Retain |
| Red ironbark (Eucalyptus sideroxylon) | 61 | 14 | 55 | 40 | Good | Good | Moderate | Yes | Adjacent Site Tree | Retain |
| Silver dollar gum (Eucalyptus polythamnos) | 62 | 15 | 45 | 25 | Fair | Poor | High | No | Designated | Remove |
| Silver dollar gum (Eucalyptus polythamnos) | 63 | 18 | 45 | 25 | Fair | Poor | High | No | Designated | Remove |
| Silver dollar gum (Eucalyptus polythamnos) | 64 | 18 | 45 | 45 | Fair | Fair | High | No | Designated | Remove |
| Red ironbark (Eucalyptus sideroxylon) | 65 | 20 | 45 | 45 | Good | Good | High | No | Designated | Remove |
| Red gum (Eucalyptus camaldulensis) | 66 | 12 | 45 | 45 | Fair | Fair | High | Yes | Adjacent Site Tree | Retain |
| Red ironbark (Eucalyptus sideroxylon) | 67 | 20 | 45 | 45 | Fair | Fair | High | Yes | Adjacent Site Tree | Retain |
| Silver dollar gum (Eucalyptus polythamnos) | 68 | 13 | 20 | 20 | Fair | Fair | Low | No | Designated | Remove |
| Red ironbark (Eucalyptus sideroxylon) | 69 | 30 | 45 | 45 | Fair | Fair | Low | Yes | Adjacent Site Tree | Retain |
| Red ironbark (Eucalyptus sideroxylon) | 70 | 14 | 45 | 25 | Fair | Fair | Moderate | No | Designated | Remove |
| Silver dollar gum (Eucalyptus polythamnos) | 71 | 8, 6, 18 | 45 | 30 | Fair | Fair | High | No | Designated | Remove |
| Red ironbark (Eucalyptus sideroxylon) | 72 | 16 | 45 | 30 | Fair | Fair | High | No | Designated | Remove |
| Silver dollar gum (Eucalyptus polythamnos) | 73 | 24 | 45 | 35 | Fair | Fair | High | No | Designated | Remove |
| Chinese pistache (Pistacia chinensis) | 74 | 3 | 15 | 15 | Good | Good | High | No | Designated | Remove |
| Chinese pistache (Pistacia chinensis) | 75 | 3 | 15 | 15 | Good | Good | High | ? | May be required planting | Remove |
| Chinese pistache (Pistacia chinensis) | 76 | 3 | 15 | 15 | Good | Good | High | ? | May be required planting | Remove |
| Chinese pistache (Pistacia chinensis) | 77 | 3 | 15 | 15 | Good | Good | High | ? | May be required planting | Remove |
| Chinese pistache (Pistacia chinensis) | 78 | 3 | 15 | 15 | Good | Good | High | ? | May be required planting | Remove |
| Palo verde (Parkinsonia aculeata) | 79 | 8 | 20 | 20 | Good | Good | Low | ? | May be required planting | Retain |
| Palo verde (Parkinsonia aculeata) | 80 | 8 | 20 | 20 | Good | Good | Low | ? | May be required planting | Retain |

Appendix B2: Tree Protection Distances Table

| Tree Species | # | Trunk Diameter (in.) | Crown Diameter (ft.) | Protected | Type | Remove/Retain | TPZ 10X DBH (ft. radius) |
|---------------------------------------|----|----------------------|----------------------|-----------|--------------------|---------------|--------------------------|
| Red ironbark (Eucalyptus sideroxylon) | 57 | 15 | 40 | Yes | Adjacent Site Tree | Retain | 15 |
| Red ironbark (Eucalyptus sideroxylon) | 58 | 17 | 40 | Yes | Adjacent Site Tree | Retain | 17 |
| Chinese elm (Ulmus parviflora) | 1 | 12.5 | 30 | Yes | Street Tree | Retain | 11 |
| Chinese elm (Ulmus parviflora) | 2 | 8.5 | 20 | Yes | Street Tree | Retain | 7 |
| Chinese elm (Ulmus parviflora) | 3 | 10 | 30 | Yes | Street Tree | Retain | 8 |
| Chinese elm (Ulmus parviflora) | 4 | 10 | 25 | Yes | Street Tree | Retain | 8 |
| Chinese elm (Ulmus parviflora) | 5 | 11 | 25 | Yes | Street Tree | Retain | 9 |
| Chinese elm (Ulmus parviflora) | 6 | 9.5 | 25 | Yes | Street Tree | Retain | 8 |
| Chinese elm (Ulmus parviflora) | 7 | 9.5 | 25 | Yes | Street Tree | Retain | 8 |
| Chinese elm (Ulmus parviflora) | 8 | 8.5 | 25 | Yes | Street Tree | Retain | 7 |
| Chinese elm (Ulmus parviflora) | 9 | 11 | 25 | Yes | Street Tree | Retain | 9 |
| Chinese elm (Ulmus parviflora) | 10 | 17 | 40 | Yes | Street Tree | Retain | 14 |
| Chinese elm (Ulmus parviflora) | 12 | 23.5 | 50 | No | Interior | Remove | 20 |
| Red ironbark (Eucalyptus sideroxylon) | 59 | 14 | 40 | Yes | Adjacent Site Tree | Retain | 12 |
| Red ironbark (Eucalyptus sideroxylon) | 60 | 14 | 40 | Yes | Adjacent Site Tree | Retain | 12 |
| Red ironbark (Eucalyptus sideroxylon) | 61 | 14 | 40 | Yes | Adjacent Site Tree | Retain | 12 |
| Red ironbark (Eucalyptus sideroxylon) | 62 | 12 | 45 | Yes | Adjacent Site Tree | Retain | 10 |
| Red ironbark (Eucalyptus sideroxylon) | 63 | 20 | 45 | Yes | Adjacent Site Tree | Retain | 17 |
| Red ironbark (Eucalyptus sideroxylon) | 64 | 30 | 45 | Yes | Adjacent Site Tree | Retain | 25 |
| Red ironbark (Eucalyptus sideroxylon) | 65 | 18 | 40 | Yes | Adjacent Site Tree | Retain | 15 |
| Red ironbark (Eucalyptus sideroxylon) | 66 | 13 | 40 | Yes | Adjacent Site Tree | Retain | 11 |
| Red ironbark (Eucalyptus sideroxylon) | 67 | 14 | 40 | Yes | Adjacent Site Tree | Retain | 12 |

| Tree Species | # | Trunk Diameter (in.) | Crown Diameter (ft.) | Protected | Type | Remove/Retain | TPZ 10X DBH (ft. radius) |
|---------------------------------------|----|----------------------|----------------------|-----------|--------------------|---------------|--------------------------|
| Red ironbark (Eucalyptus sideroxylon) | 57 | 15 | 40 | Yes | Adjacent Site Tree | Retain | 15 |
| Red ironbark (Eucalyptus sideroxylon) | 58 | 17 | 40 | Yes | Adjacent Site | | |



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018 Revised October 31, 2019
C7: Eucalyptus #64 through #68

Monarch Consulting Arborists LLC - P.O. Box 1010, Folsom, CA 95618
 831.331.8862 - rick@monarcharborist.com Page 31 of 38



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018 Revised October 31, 2019
C8: Eucalyptus #71 to #73

Monarch Consulting Arborists LLC - P.O. Box 1010, Folsom, CA 95618
 831.331.8862 - rick@monarcharborist.com Page 32 of 38

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018 Revised October 31, 2019

Appendix D: Tree protection specifications

Tree protection locations should be marked before any fencing contractor arrives.

Pre-Construction Meeting with the Project Arborist

Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.

Tree Protection Zones and Fence Specifications

Tree protection fences should be established prior to the arrival of construction equipment or materials on site. Fence should be comprised of 48-foot high chain link fence mounted on eight-foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

The fence should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper function.

Fence should be repaired, as necessary, to provide a physical barrier from construction activities.

A final inspection by the city arborist at the end of the project will be required prior to removing any tree protection fence and replacement tree shall be planted at this time.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Restrictions Within the Tree Protection Zone

No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spills from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.

Monarch Consulting Arborists LLC - P.O. Box 1010, Folsom, CA 95618
 831.331.8862 - rick@monarcharborist.com Page 33 of 38

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018 Revised October 31, 2019

Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, hand saw, reciprocating saw, or chains saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with hurlap or backfilled within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Root holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (beary) roots. Root holes should be a minimum of three feet deep.

Timing

If the construction is to occur during the summer months supplemental watering and bark beetle treatments should be applied to help ensure survival during and after construction.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree pruning should be specified according to ANSI A300-A pruning standards and adhere to ANSI Z12.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction through.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix E).

Monarch Consulting Arborists LLC - P.O. Box 1010, Folsom, CA 95618
 831.331.8862 - rick@monarcharborist.com Page 34 of 38

Monarch Consulting Arborists LLC - P.O. Box 1010, Folsom, CA 95618
 831.331.8862 - rick@monarcharborist.com Page 35 of 38

Warning Tree Protection Zone

This Fence Shall Not Be Removed
Without City Arborist Approval

(650) 496-5953

Removal Without Permission is Subject to a
\$500.00 Fine Per Day

Palo Alto Municipal Code Section 8.10.110

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018 Revised October 31, 2019
Appendix E: Tree Protection Signs
 Et: English

Cuidado Zona De Arbol Pretejido

Esta valla no podrán ser sacados
Sin City Arborist Aprobación

(650) 496-5953

Extracción sin permiso está sujeta a una
Multa de \$ 500.00 por día

Palo Alto Municipal Code Section 8.10.110

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018 Revised October 31, 2019
Et: Spanish

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018 Revised October 31, 2019

Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitrations, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection, and b) the inspection is limited to visual examination of accessible items without excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

Monarch Consulting Arborists LLC - P.O. Box 1010, Folsom, CA 95618
 831.331.8862 - rick@monarcharborist.com Page 37 of 38

1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan April 3, 2018 Revised October 31, 2019

Certification of Performance

I, Richard J. Gensler, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment.

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved.

That the analysis, opinions and conclusions stated herein are my own.

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events.

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist® and Tree Risk Assessor Qualified. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

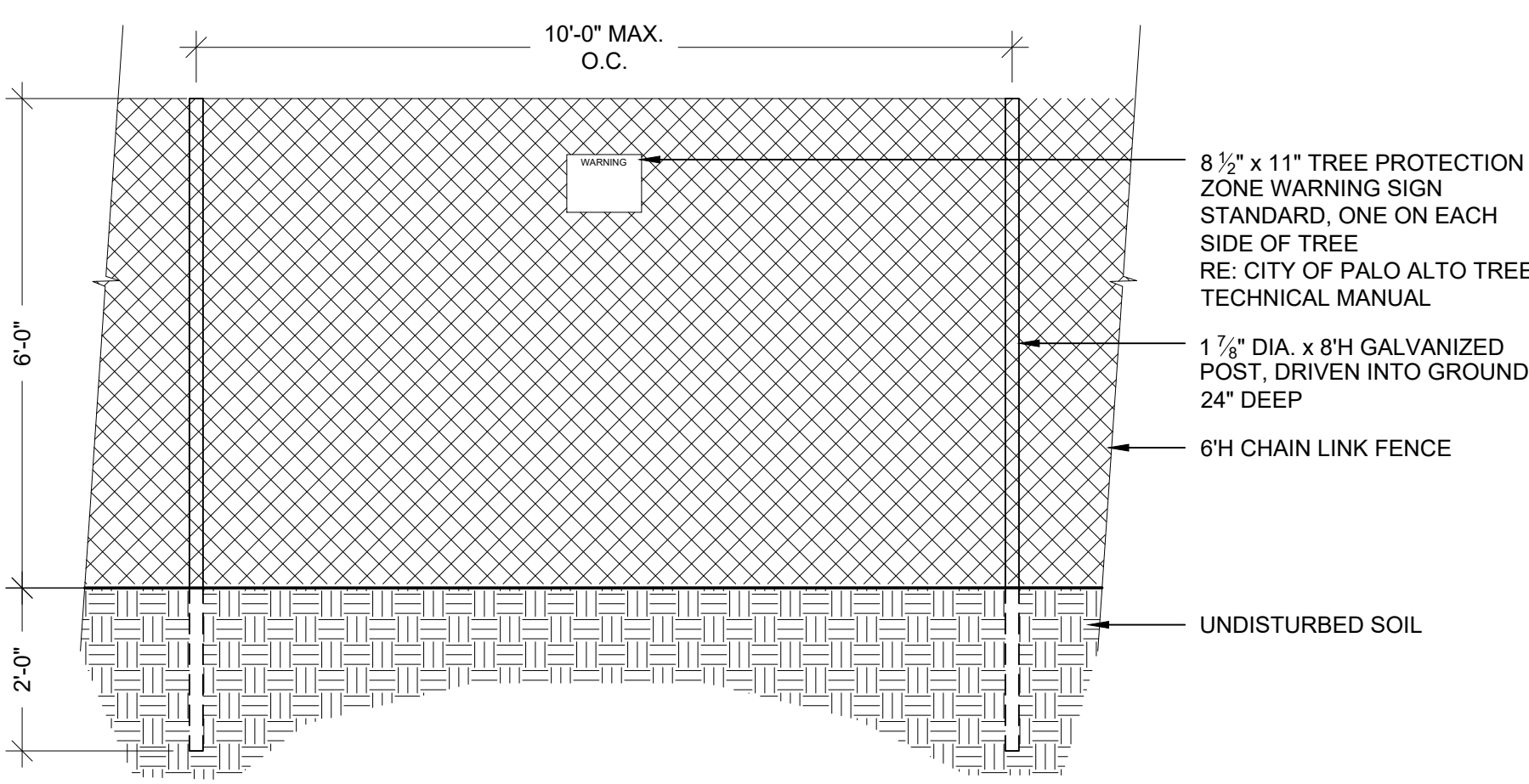
Richard J. Gensler *Richard J. Gensler*

ASCA Registered Consulting Arborist® #490
 ISA Board Certified Master Arborist® WE-41419
 ISA Tree Risk Assessor Qualified

Copyright

© Copyright 2015, Monarch Consulting Arborists LLC. Other than specific exception granted for copies made by the client for the express use stated in this report, no parts of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, recording, or otherwise without the express, written permission of the author.

Monarch Consulting Arborists LLC - P.O. Box 1010, Folsom, CA 95618
 831.331.8862 - rick@monarcharborist.com Page 38 of 38



- 8 1/2" x 11" TREE PROTECTION ZONE WARNING SIGN STANDARD, ONE ON EACH SIDE OF TREE
- RE: CITY OF PALO ALTO TREE TECHNICAL MANUAL
- 1 7/8" DIA. x 8'H GALVANIZED POST, DRIVEN INTO GROUND 24" DEEP
- 6'H CHAIN LINK FENCE
- UNDISTURBED SOIL

- NOTES:**
1. THE TREE PROTECTION FENCE SHALL BE ESTABLISHED PRIOR TO THE ARRIVAL OF CONSTRUCTION EQUIPMENT OR MATERIALS ON SITE.
 2. ONCE ESTABLISHED, THE FENCE MUST REMAIN UNDISTURBED AND BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL FINAL INSPECTION.
 3. THE FENCE SHOULD BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 4. THE FENCE SHOULD BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 5. A FINAL INSPECTION BY THE CITY ARBORIST AT THE END OF THE PROJECT WILL BE REQUIRED PRIOR TO REMOVING ANY TREE PROTECTION FENCE AND ANY REPLACEMENT TREE SHALL BE PLANTED AT THIS TIME.

A TREE PROTECTION FENCE
SCALE: NTS



world wide
 88 Inverness Circle East,
 Bldg. J, Suite 101
 Englewood, Colorado 80112
 T 303.734.1777 | F 303.734.1778
 Architecture | Planning | Golf Design
 Landscape Architecture | Visual Media
 www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE
 GROUP, INC.
 911 NE 2ND AVENUE
 FORT LAUDERDALE, FL 33304
 (954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
ARBORIST ASSESSMENT AND REPORT

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
 DRAWN BY: JC
 CHECKED BY: JCK/P

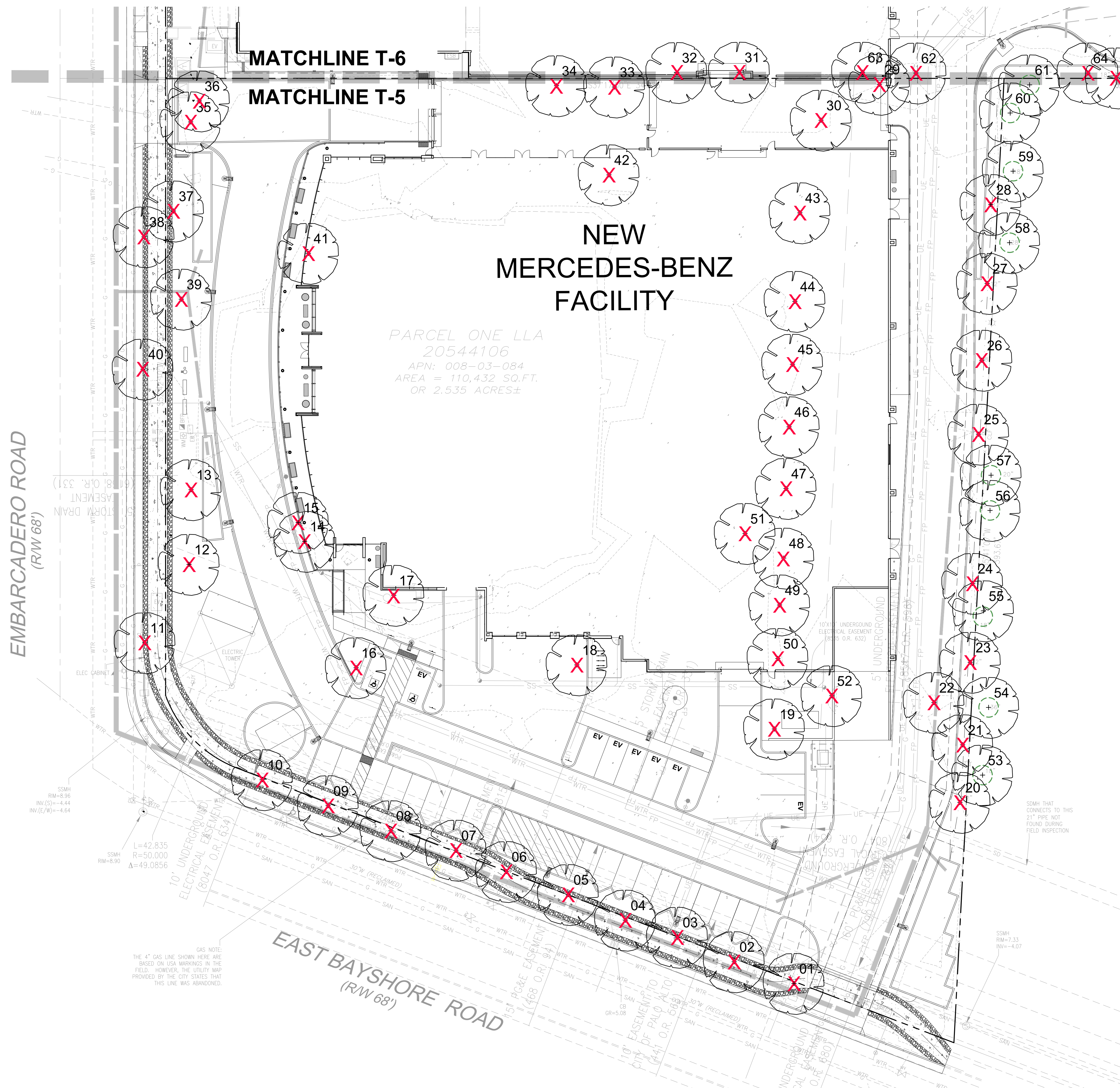
ISSUE RECORD

| | |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

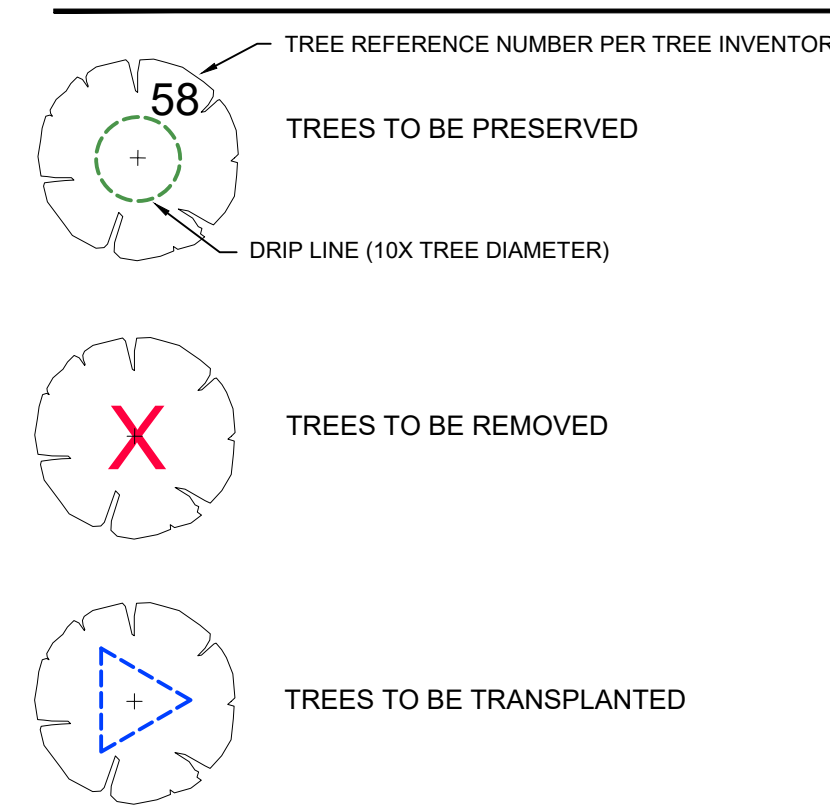
SHEET NUMBER

T-4

Copyright © 2019 LAI Design Group
 These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.



TREE PROTECTION LEGEND



| # | TREE TYPE |
|-------|---|
| 1-10 | Chinese Elm (Ulmus parvifolia) |
| 11 | Privet (Ligustrum lucidum) |
| 12 | Chinese Elm (Ulmus parvifolia) |
| 13 | Cherry (Prunus serrulata) |
| 14 | Japanese maple (Acer palmatum) |
| 15 | Crape myrtle (Lagerstroemia indica) |
| 16 | Chinese pistache (Pistacia chinensis) |
| 17 | Purple leaf plum (Prunus cerasifera) |
| 18 | Chinese pistache (Pistacia chinensis) |
| 19 | Crape myrtle (Lagerstroemia indica) |
| 20-34 | Chinese elm (Ulmus parvifolia) |
| 35 | Mugo pine (Pinus mugo) |
| 36 | Monterey pine (Pinus radiata) |
| 37 | Loquat (Eriobotrya japonica) |
| 38 | Privet (Ligustrum lucidum) |
| 39 | Cherry (Prunus serrulata) |
| 40 | Privet (Ligustrum lucidum) |
| 41 | Japanese maple (Acer palmatum) |
| 42-43 | Chinese pistache (Pistacia chinensis) |
| 44-50 | Crape myrtle (Lagerstroemia indica) |
| 51 | Purple leaf plum (Prunus cerasifera) |
| 52 | Loquat (Eriobotrya japonica) |
| 53-55 | Silver dollar gum (Eucalyptus polyanthemos) |
| 56 | Silver dollar gum (Eucalyptus polyanthemos) |
| 57 | Silver dollar gum (Eucalyptus polyanthemos) |
| 58 | Silver dollar gum (Eucalyptus polyanthemos) |
| 59 | Silver dollar gum (Eucalyptus polyanthemos) |
| 60 | Red ironbark (Eucalyptus sideroxylon) |
| 61 | Red ironbark (Eucalyptus sideroxylon) |
| 62-65 | Red ironbark (Eucalyptus sideroxylon) |
| 66 | Red ironbark (Eucalyptus sideroxylon) |
| 67 | Red ironbark (Eucalyptus sideroxylon) |
| 68 | Red ironbark (Eucalyptus sideroxylon) |
| 69 | Red ironbark (Eucalyptus sideroxylon) |
| 70 | Red ironbark (Eucalyptus sideroxylon) |
| 71-73 | Silver dollar gum (Eucalyptus polyanthemos) |
| 74-78 | Chinese pistache (Pistacia chinensis) |
| 79 | Palo verde (Parkinsonia aculeata) |
| 80 | Palo verde (Parkinsonia aculeata) |
| 66 | TOTAL # TO BE REMOVED |

| # | TREE TYPE |
|-------|---------------------------------------|
| 53-59 | Red ironbark (Eucalyptus sideroxylon) |
| 60 | Red gum (Eucalyptus camaldulensis) |
| 61 | Red ironbark (Eucalyptus sideroxylon) |
| 66 | Red gum (Eucalyptus camaldulensis) |
| 67 | Red ironbark (Eucalyptus sideroxylon) |
| 69 | Red ironbark (Eucalyptus sideroxylon) |
| 79 | Palo verde (Parkinsonia aculeata) |
| 80 | Palo verde (Parkinsonia aculeata) |
| 14 | TOTAL # TO BE PRESERVED |

ARCHITECT / PLANNER

88 Inverness Circle East, Bldg. J, Suite 101
 Englewood, Colorado 80112
 T 303.734.1777 | F 303.734.1778
 Architecture | Planning | Golf Design
 Landscape Architecture | Visual Media
 www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE GROUP, INC.
 911 NE 2ND AVENUE
 FORT LAUDERDALE, FL 33304
 (954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
 1700 EMBARCADERO ROAD
 PALO ALTO, CA 94303
 TREE PROTECTION PLAN

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
 DRAWN BY: JC
 CHECKED BY: JCKP

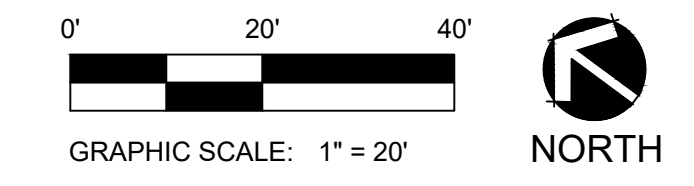
ISSUE RECORD

| | |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

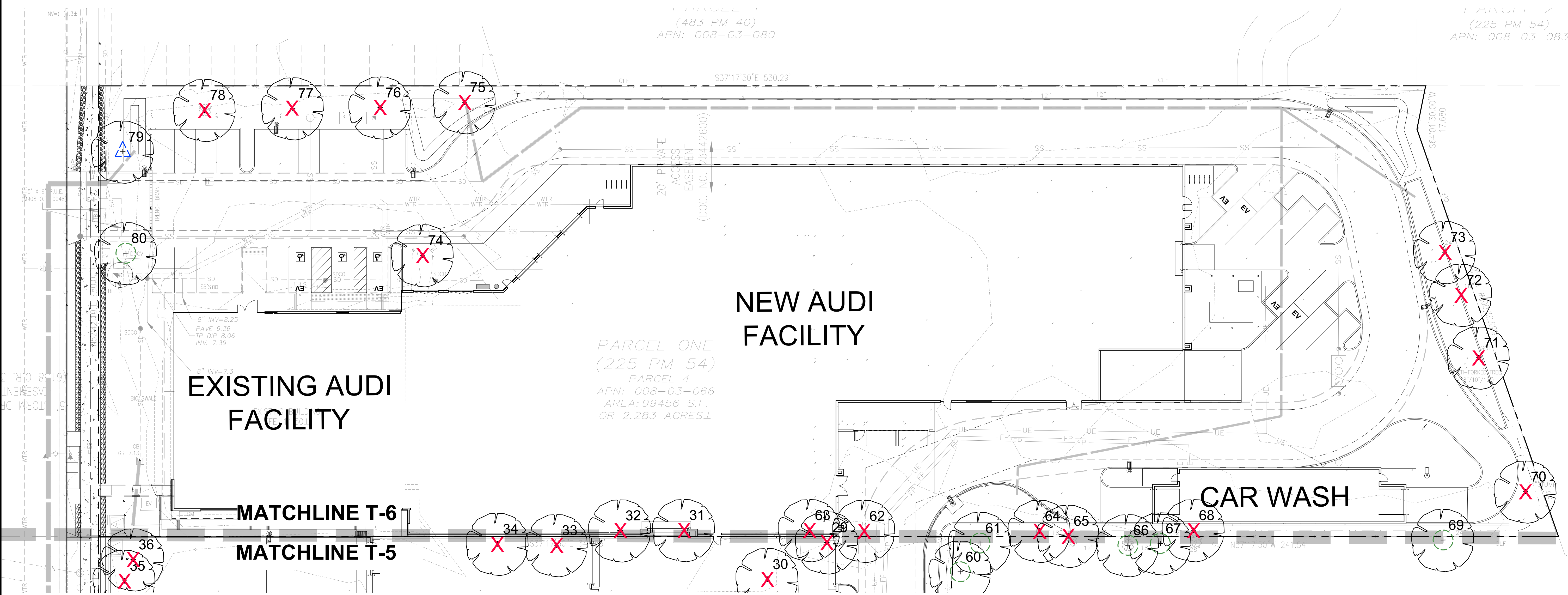
SHEET NUMBER

T-5

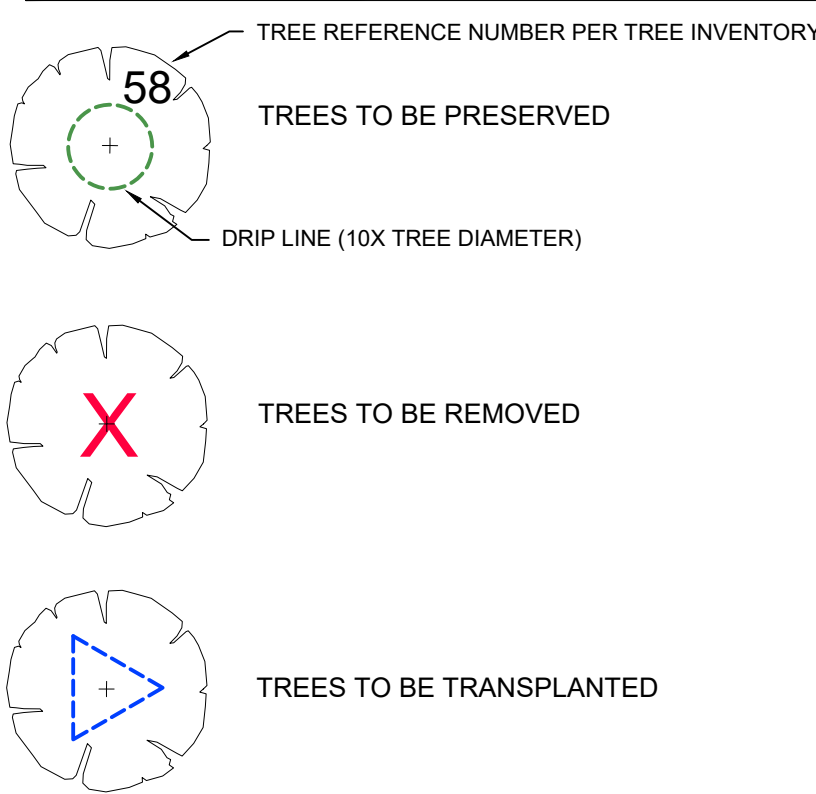
14 OF 16



Copyright © 2019 LAI Design Group. These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.



TREE PROTECTION LEGEND

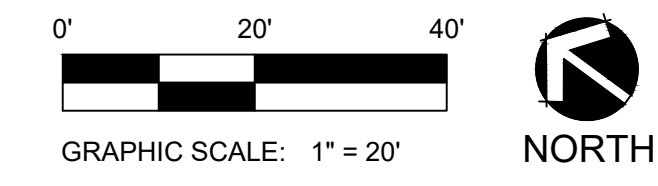


| TREES TO BE REMOVED | |
|---------------------|--|
| # | TREE TYPE |
| 1-10 | Chinese Elm (<i>Ulmus parvifolia</i>) |
| 11 | Privet (<i>Ligustrum lucidum</i>) |
| 12 | Chinese Elm (<i>Ulmus parvifolia</i>) |
| 13 | Cherry (<i>Prunus serrulata</i>) |
| 14 | Japanese maple (<i>Acer palmatum</i>) |
| 15 | Crape myrtle (<i>Lagerstroemia indica</i>) |
| 16 | Chinese pistache (<i>Pistacia chinensis</i>) |
| 17 | Purple leaf plum (<i>Prunus cerasifera</i>) |
| 18 | Chinese pistache (<i>Pistacia chinensis</i>) |
| 19 | Crape myrtle (<i>Lagerstroemia indica</i>) |
| 20-34 | Chinese elm (<i>Ulmus parvifolia</i>) |
| 35 | Mugo pine (<i>Pinus mugo</i>) |
| 36 | Monterey pine (<i>Pinus radiata</i>) |
| 37 | Loquat (<i>Eriobotrya japonica</i>) |
| 38 | Privet (<i>Ligustrum lucidum</i>) |
| 39 | Cherry (<i>Prunus serrulata</i>) |
| 40 | Privet (<i>Ligustrum lucidum</i>) |
| 41 | Japanese maple (<i>Acer palmatum</i>) |
| 42-43 | Chinese pistache (<i>Pistacia chinensis</i>) |
| 44-50 | Crape myrtle (<i>Lagerstroemia indica</i>) |
| 51 | Purple leaf plum (<i>Prunus cerasifera</i>) |
| 52 | Loquat (<i>Eriobotrya japonica</i>) |
| 62-65 | Silver dollar gum (<i>Eucalyptus polyanthemos</i>) |
| 68 | Silver dollar gum (<i>Eucalyptus polyanthemos</i>) |
| 70 | Red ironbark (<i>Eucalyptus sideroxylon</i>) |
| 71-73 | Silver dollar gum (<i>Eucalyptus polyanthemos</i>) |
| 74-78 | Chinese pistache (<i>Pistacia chinensis</i>) |
| 66 | TOTAL # TO BE REMOVED |

| TREES TO BE PRESERVED | |
|-----------------------|--|
| # | TREE TYPE |
| 53-59 | Red ironbark (<i>Eucalyptus sideroxylon</i>) |
| 60 | Red gum (<i>Eucalyptus camaldulensis</i>) |
| 61 | Red ironbark (<i>Eucalyptus sideroxylon</i>) |
| 66 | Red gum (<i>Eucalyptus camaldulensis</i>) |
| 67 | Red ironbark (<i>Eucalyptus sideroxylon</i>) |
| 69 | Red ironbark (<i>Eucalyptus sideroxylon</i>) |
| 79 | Palo verde (<i>Parkinsonia aculeata</i>) |
| 80 | Palo verde (<i>Parkinsonia aculeata</i>) |
| 14 | TOTAL # TO BE PRESERVED |

| TREES TO BE REPLACED | |
|--|------------|
| REQ. # OF TREES TO BE REPLACED W/ 24" BOX (MIN.) | 56 |
| REQ. # OF TREES TO BE REPLACED W/ 36" BOX (MIN.) | 77 |
| TOTAL REQ. # OF TREES | 133 |
| PROPOSED # OF TREES 24" BOX (MIN.) | 56 |
| PROPOSED # OF TREES 36" BOX (MIN.) | 71 |
| TOTAL PROPOSED # OF TREES | 127 |
| TREE DEFECIT | -6 |
| PROPOSED # OF TREES PLANTED OFF-SITE (BAYLANDS) | 6 |

- NOTES:
- CALCULATIONS ARE BASED ACCORDING TO TABLE 3-1 "TREE CANOPY REPLACEMENT STANDARDS" OF THE CITY OF PALO ALTO TECHNICAL MANUAL (JUNE 2001)
 - REPLACEMENT TREES FOR THE REMOVAL OF THE STREET TREES DUE TO THE MULTI-USE PATH HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THIS IS A CITY-MANDATED MULTI-USE PATH AND NOT A RESULT OF THE APPLICANT.
 - REFER TO SHEET B-1, FOR THE TREE PLANTINGS ON THE BAYLANDS PROPERTY.



ARCHITECT / PLANNER

LAI
Design
Group

world wide

88 Inverness Circle East,
Bldg. J, Suite 101
Englewood, Colorado 80112
T 303.734.1777 | F 303.734.1778
Architecture | Planning | Golf Design
Landscape Architecture | Visual Media
www.LAIdesigngroup.com

OWNER/CLIENT

HOLMAN AUTOMOTIVE
GROUP, INC.
911 NE 2ND AVENUE
FORT LAUDERDALE, FL 33304
(954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
1700 EMBARCADERO ROAD
PALO ALTO, CA 94303
TREE PROTECTION PLAN

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 181021
DRAWN BY: JC
CHECKED BY: JC/KP

ISSUE RECORD

| | |
|--------------|------------|
| ARB (REVIEW) | 08/20/2019 |
| ARB (REVIEW) | 09/10/2019 |
| ARB (REVIEW) | 10/22/2019 |
| ARB | 11/06/2019 |
| ARB | 01/09/2020 |
| ARB | 03/05/2020 |

SHEET NUMBER

T-6

15 OF 16

Copyright © 2019 LAI Design Group
 These plans are copyrighted and are subject to copyright protection under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1990, and known as the Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction.



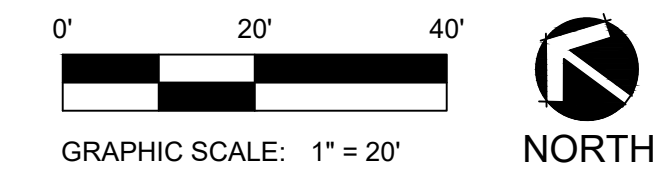
LEGEND (not to scale)

- SHADE TREES
- ORNAMENTAL TREES
- EVERGREEN SHRUBS

| PLANT LIST (TOTAL COUNTS) | | | | |
|---------------------------|-----|-------------------------|----------------------|-----------|
| LABEL | QTY | BOTANICAL NAME | COMMON NAME | MIN. SIZE |
| SHADE TREES | | | | |
| CBU | 2 | Aesculus californica | California Buckeye | 24" BOX |
| CLO | 1 | Quercus agrifolia | Coast Live Oak | 24" BOX |
| VOK | 1 | Quercus lobata | Valley Oak | 24" BOX |
| ORNAMENTAL TREES | | | | |
| BEB | 2 | Sambucus mexicana | Blue Elderberry | 24" BOX |
| EVERGREEN SHRUBS | | | | |
| CSG | 6 | Artemisia californica | California Sagebrush | 5 GAL |
| TOY | 1 | Heteromeles arbutifolia | Toyon | 5 GAL |

NOTES

- TREES AND SHRUBS WILL BE DRIP IRRIGATED SUPPLIED BY THE MERCEDES BENZ AUDI OF PALO ALTO FOR 3 YEARS UNTIL ESTABLISHMENT OF THE PLANTS.



ARCHITECT / PLANNER



OWNER/CLIENT
 HOLMAN AUTOMOTIVE GROUP, INC.
 911 NE 2ND AVENUE
 FORT LAUDERDALE, FL 33304
 (954)335-2200

MERCEDES BENZ AUDI OF PALO ALTO
 1700 EMBARCADERO ROAD
 PALO ALTO, CA 94303
 BAYLANDS - OFF-SITE IMPROVEMENTS

PROFESSIONAL STAMP

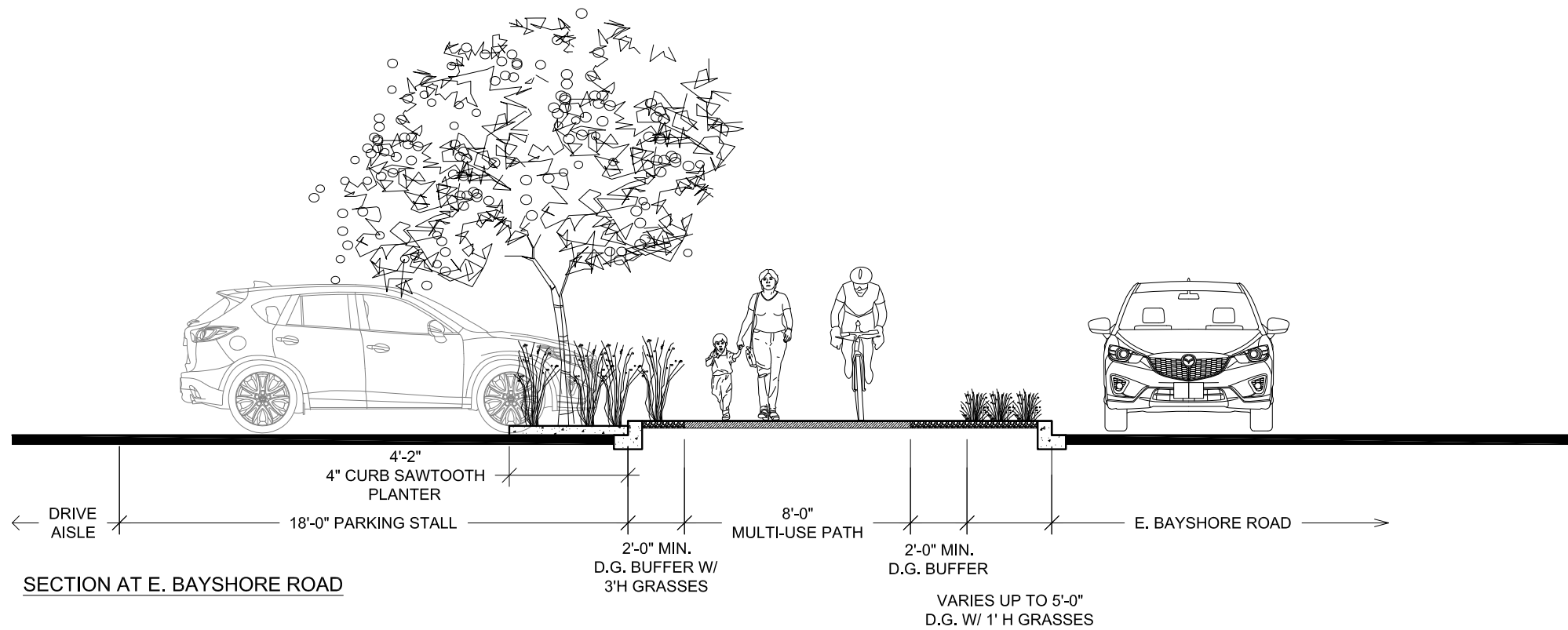
PROJECT INFORMATION
 PROJECT #: 181021
 DRAWN BY: JC
 CHECKED BY: JC/KP

ISSUE RECORD
 ARB (REVIEW) 08/20/2019
 ARB (REVIEW) 09/10/2019
 ARB (REVIEW) 10/22/2019
 ARB 11/06/2019
 ARB 01/09/2020
 ARB 03/05/2020

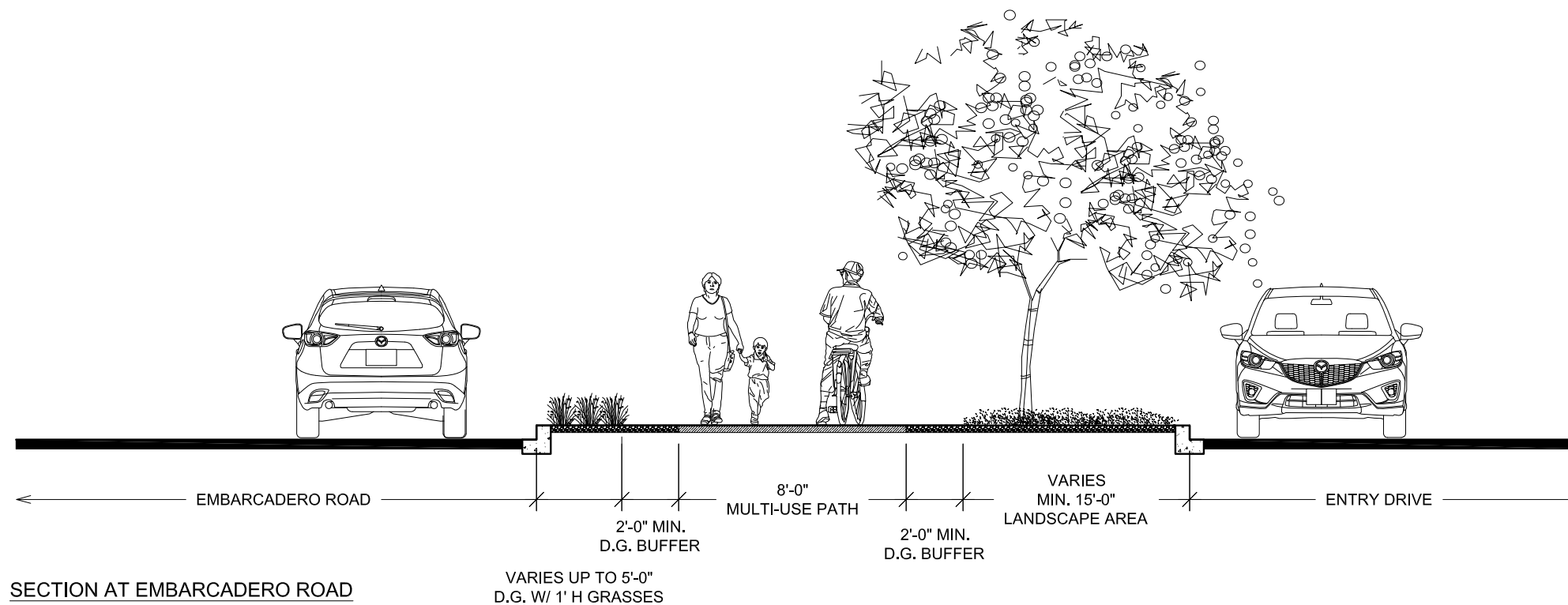
SHEET NUMBER

B-1

16 OF 16



SECTION AT E. BAYSHORE ROAD



SECTION AT EMBARCADERO ROAD



GRAPHIC SCALE: 3/16" = 1'-0"

Mercedes Benz Audi Palo Alto - Multi-Use Path Sections

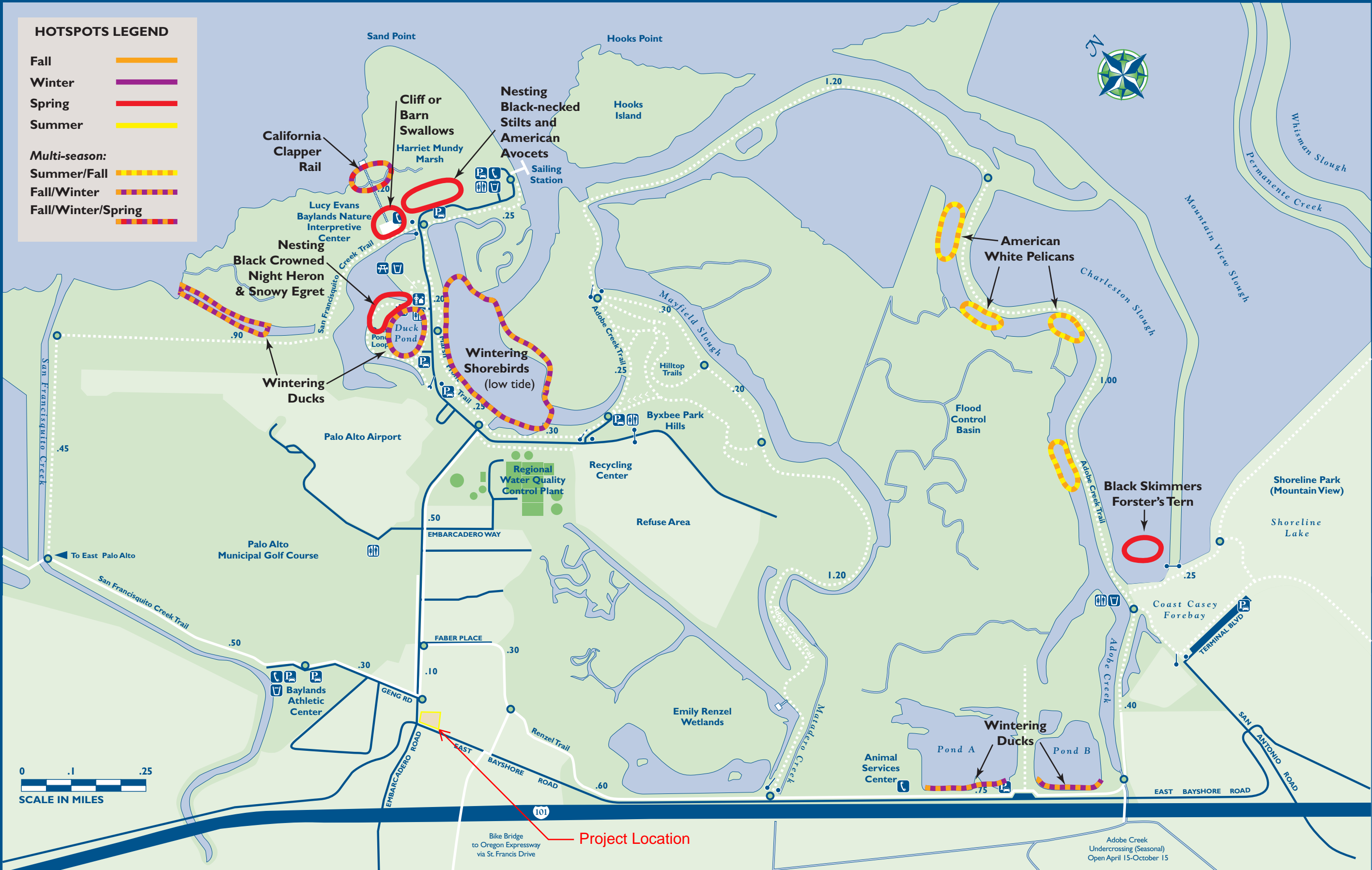


Palo Alto, California
Holman Automotive
May 2, 2019
Project #181021

www.LAIdesigngroup.com
303.734.1777 - Corporate

HOTSPOTS LEGEND

- Fall: Orange line
- Winter: Purple line
- Spring: Red line
- Summer: Yellow line
- Multi-season:
 - Summer/Fall: Yellow and orange dashed line
 - Fall/Winter: Orange and purple dashed line
 - Fall/Winter/Spring: Orange, purple, and red dashed line



ACCESS INFORMATION

- Open to the public 8 am to sunset, every day.
- Dogs permitted on leash unless posted.
- Please do not feed wildlife.
- Park in designated parking areas.

- Paved Trail
- - - Gravel/Boardwalk Trail
- Paved Roadway
- Mileage Markers
- 🚰 Ranger Station
- 🅅 Parking Lot
- 🍷 Picnic Area
- 🚰 Drinking Water
- 🚻 Restrooms
- ☎ Public Phone
- 👁 Wildlife Viewing Platform
- 🚪 Gates
 - open
 - ⊞ area closed

San Francisquito Creek Trail
3.2 miles/1-2 1/2 hours. Easy, flat terrain, can be extremely muddy during rainy season. Mixed terrain trail bed includes decomposed granite, crushed oyster shell, paved sections.

Boardwalk Trail .2 mile (one way) 15 min. Best area to view California clapper rail, Easy, flat terrain; mixed terrain trail bed includes gravel levee and wood boardwalk.

Duck Pond Loop Trail .7 miles 10-15 min. Dogs prohibited. Easy, flat terrain; crushed oyster shell and decomposed granite trail bed; no obstacles.

Renzel Trail .9 mile/20-25 min. Trail passes along the Emily Renzel Wetlands and connects the Adobe Creek Loop Trail with the San Francisquito Creek Trail. Easy, flat terrain; paved.

Hilltop Trails 1.0 mile/ 10-30 min. Bay views, wildlife, wildflowers, landfill conversion process. Hilly terrain/trails are steep in places. Trail bed is decomposed granite and crushed oyster shell.

Marsh Front Trail 1.0 miles 25-30 min. Descriptive natural history panels. Easy, flat terrain; crushed oyster shell and decomposed granite trail bed; no obstacles.

Adobe Creek Loop Trail 5.6 miles/ 2-3 hours. Bay views, bird life, converted landfill. Easy, flat terrain; trail mostly on bayside gravel levees and pavement.

Photography (unless noted otherwise): Rosemary Lombard
Illustration: Virginia Kolence, Laraine Carl, Robt
Graphic Design: Sharon Espamer