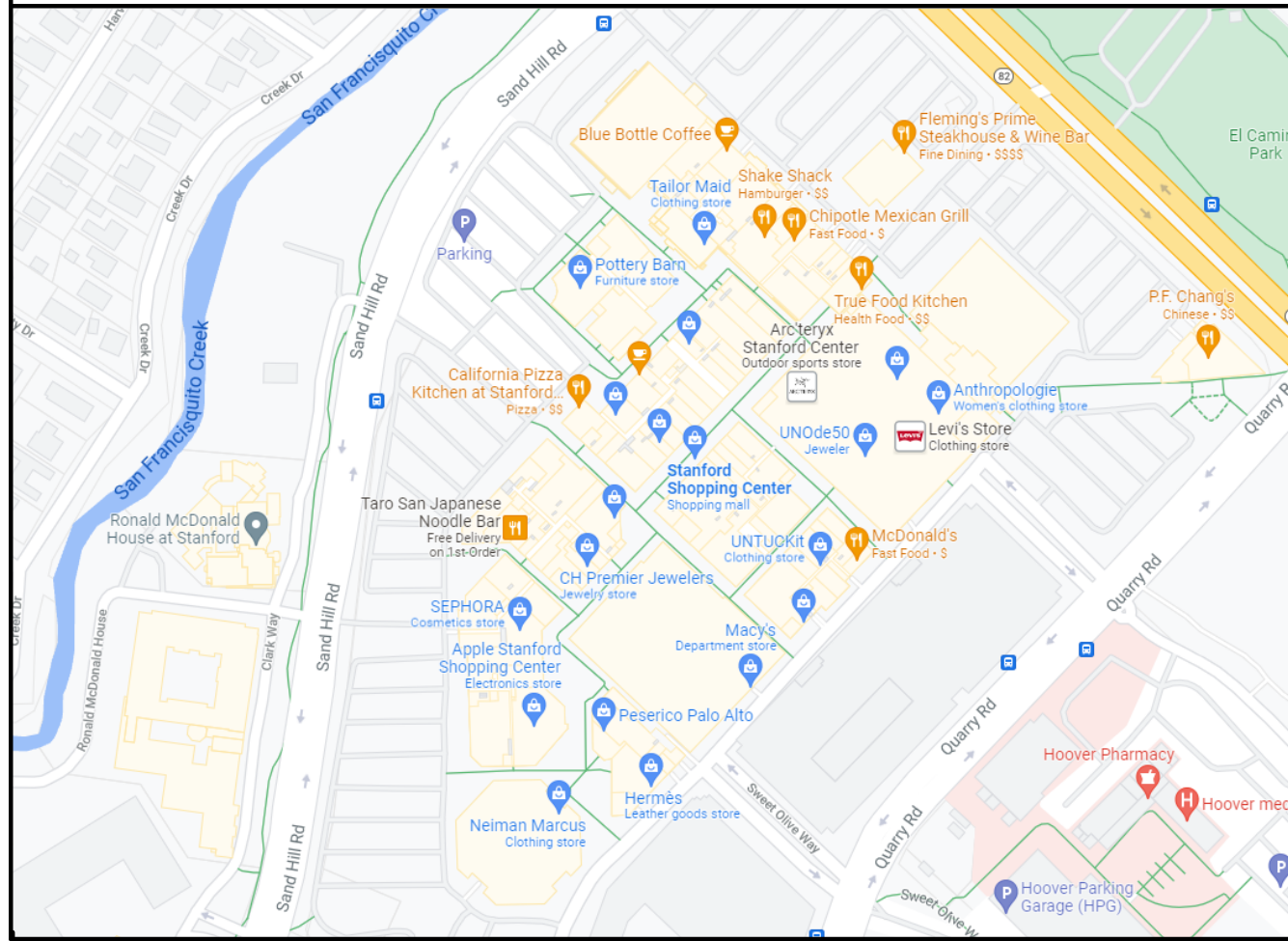
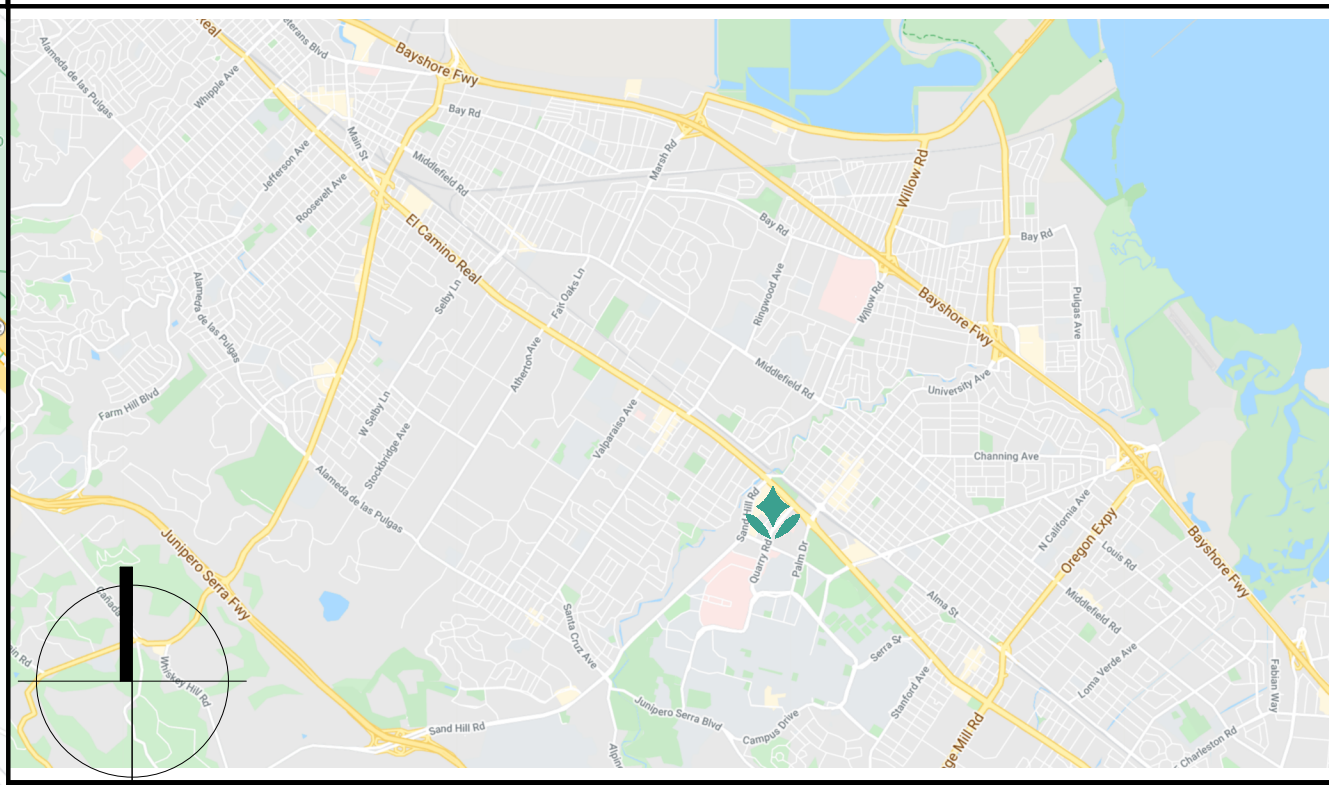




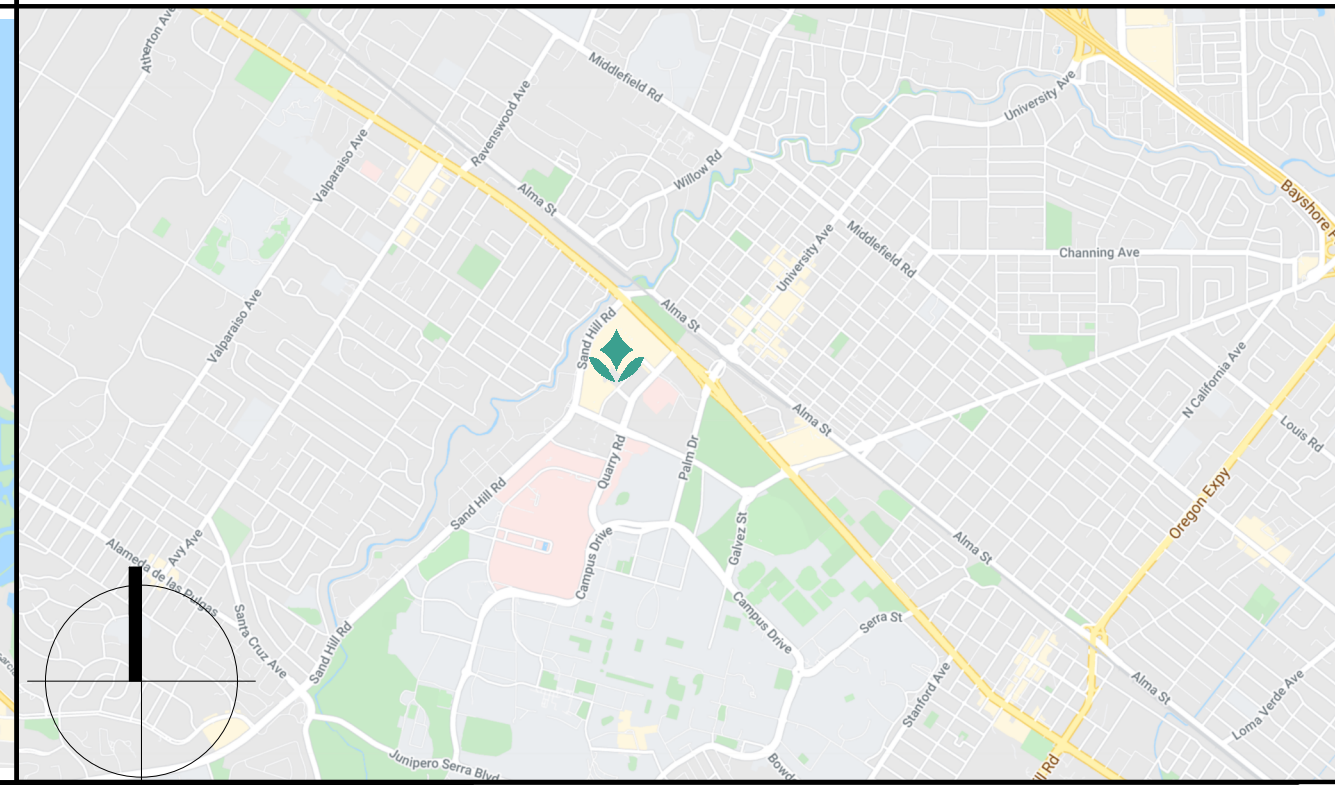
VICINITY MAP



CITY MAP



NEIGHBORHOOD MAP



GENERAL NOTES

1. DO NOT SCALE THE DRAWING
2. VERIFY FIELD DOCUMENTS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
3. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
4. DIMENSIONS ARE TO THE STRUCTURAL GRID OR TO FINISH SURFACES. UNLESS OTHERWISE INDICATED.
5. DOORS AND CASED OPENINGS INDICATED NEARBY WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF THE FINISH OPENING IS SIX INCHES FROM THE FACE OF THE NEARBY WALL UNLESS OTHERWISE INDICATED. ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED BETWEEN ADJACENT WALL INTERSECTIONS.

GENERAL FIRE NOTES

1. EXIST SIGNS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE DEPARTMENT LOCK BOX AND ADDRESS POSTING LOCATIONS TO BE FIELD VERIFIED BY FIRE INSPECTOR.
2. SEPARATE PERMIT REQUIRED FOR MODIFICATION TO THE FIRE SPRINKLER/FIRE ALARM SYSTEMS.
3. IF ANY CONSTRUCTION/TENANT IMPROVEMENT WORK IS DONE THAT MAY IMPACT THE BUILDING FIRE ALARM SYSTEM THEN THE FIRE MONITORING COMPANY MUST BE NOTIFIED. IF THE FIRE ALARM SYSTEM IS ACCIDENTALLY ACTIVATED IMMEDIATELY CALL THE CITY OF PALO ALTO COMMUNICATION CENTER AT 650-329-2613 TO REPORT THE INCIDENT. MULTIPLE FALSE ALARMS WILL RESULT IN FINES.
4. ANY ONSITE CONSTRUCTION ACTIVITY THAT EMITS/PRODUCES HEAT OR FLAME INCLUDING WELDING, BRAZING, HEATING OR USE OF LARGE/SMALL GENERATORS REQUIRES A HOT WORK PERMIT FROM THE PALO ALTO FD. EMAIL "FIRE@CITYOFPALOALTO.ORG" TO OBTAIN A HOT WORK PERMIT PRIOR TO A HOT WORK ACTIVITY.

2019 CAL GREEN STANDARDS CODE, TITLE 24
PART 11, CHAPTER 5 - NONRESIDENTIAL
MANDATORY MEASURES

1. GC TO COMPLY WITH CONSTRUCTION WASTE MANAGEMENT PROCEDURES PER 5.408.1-4
2. GC TO COMPLY WITH ENHANCED CONSTRUCTION WASTE MANAGEMENT PROCEDURES PER PAMC 16.14.370 SECTION A5.408
3. GC TO COMPLY WITH UNIVERSAL WASTE PROCEDURES PER 5.408.2
4. GC TO PROVIDE OWNER WITH OPERATION AND MAINTENANCE (O&M) MANUAL PER 5410.4.5 & 5410.4.5.1
5. GC TO PROVIDE TEMPORARY VENTILATION DURING CONSTRUCTION PER 5.504.1
6. GC TO COMPLY WITH COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION PER 5.504.3

GENERAL NOTES

RESPONSIBILITY SCHEDULE													
A (MG2)			T (BE)			G.C.		L.L.		E		(E) TO REMAIN	
DESIGN	FURNISH	INSTALL	DESIGN	FURNISH	INSTALL	DESIGN	FURNISH	INSTALL	DESIGN	FURNISH	INSTALL		
•						•							WORK DESCRIPTION - SEE ALSO SPECS.
•							•						DEMOLITION
													SUITE INTERIOR
													EXISTING EXTERIOR STOREFRONT
•							•						GENERAL CONSTRUCTION
													SUITE INTERIOR
													EXTERIOR STOREFRONT CONSTRUCTION
•							•						EXTERIOR STOREFRONT
													STRUCTURAL
												•	STRUCTURAL
													MECHANICAL
							•	•			•		HVAC EQUIPMENT
													PLUMBING
							•	•					PLUMBING DISTRIBUTION & STACKING
													PLUMBING FIXTURE SPECIFICATIONS
•											•		PLUMBING FIXTURE LOCATIONS
													FIRE PROTECTION
							•	•					SPRINKLER LOCATIONS & DISTRIBUTION***
							•				•		ALARM PANELS, DEVICES & DISTRIBUTION
								•			•		FIRE ALARM HORN & STROBE LOCATIONS***
													ELECTRICAL
							•	•			•		ELECTRICAL DEVICES, PANELS &...
								•			•		ELECTRICAL DEVICE LOCATIONS
													LIGHT FIXTURES
•	•										•	•	LIGHT FIXTURES SPECIFICATIONS
•													LIGHT FIXTURE LOCATIONS
											•		LIGHT SWITCH / OCC. SENSOR
													LOW VOLTAGE
							•	•			•		TELEPHONE/ DATA CABLING & DEVICES
•							•	•					TELEPHONE/ DATA LOCATIONS
							•	•			•		AUDIO/ VISUAL CABLING & DEVICES
							•	•			•		AUDIO/ VISUAL DEVICE LOCATIONS
													CAMERA DEVICES
•											•		CAMERA LOCATIONS
							•	•			•		ELECTRICAL STRIKE DEVICES
											•	•	ELECTRICAL STRIKE LOCATIONS
													EQUIPMENT & SPECIALTIES
													SAFE
•													EXTERIOR SIGNAGE
•													INTERIOR "BRILLIANT EARTH" SIGNAGE
													FURNISHINGS
•							•	•					KITCHEN MILLWORK/ WINDOW FRAMES
								•					JEWELRY DISPLAY FIXTURES AND TABLES**
•													PERIMETER WINDOW TREATEMENTS
•													FURNITURE
							•	•					APPLIANCES
													PERMITS
													ACCELERATED APPLICATION
													PERMITS & FEES
													INSPECTIONS

KEY:

A

ARCHITECT (MG2)

T

TENANT OR SEPARATE CONTRACTOR CONTRACTED DIRECTLY WITH TENANT

LL

LANDLORD OR SEPARATE CONTRACTOR CONTRACTED DIRECTLY WITH LANDLORD

E

CONSULTING ENGINEER

GC

GENERAL CONTRACTOR

NOTES:

•

GC RESPONSIBLE FOR ALL FINAL WATER/ DRAIN LINE CONNECTIONS

**

GC RESPONSIBLE FOR FINAL ELECTRICAL CONNECTIONS WHERE APPLICABLE

WHERE LOCATIONS OF FIRE ALARM HORNS/ STROBE ARE DESIGN/BUILD,
GC TO COORDINATE PROPOSED LOCATIONS WITH ARCHITECT PRIOR TO WORK

GENERAL NOTE

THIS SCHEDULE IS INTENDED AS A 'QUICK' REFERENCE. ALL ITEMS LISTED HERE ARE SPECIFIED AND DETAILED ON THESE DRAWINGS.
IF THE CONTRACTOR ENCOUNTERS ITEMS THAT ARE CONTRADICTORY THEN IT IS HIS RESPONSIBILITY TO INFORM TENANTS'S
CONSTRUCTION MANAGER SO THAT THESE ITEMS CAN BE CLARIFIED FOR THE CONTRACTOR.

DRAWING INDEX

Sheet	Name
00 GENERAL	
G001	COVER SHEET
G00A	GENERAL ARCHITECTURAL INFORMATION
G001	GENERAL NOTES & SCHEDULE OF DUTIES
G002	SITE PLAN
G002B	EXTERIOR RENDERINGS
G003	LIFE SAFETY PLAN
G005	TREE PROTECTION PLAN
G012	PARKING ANALYSIS
01 DEMOLITION	
AD101	DEMOLITION FLOOR PLAN
AD104	DEMOLITION REFLECTED CEILING PLAN
02 ARCHITECTURAL	
A101	FLOOR PLANS
A102	FINISH PLAN
A102A	FINISH SCHEDULE
A102B	EXTERIOR FINISH BOARD
A103	FIXTURE / FURNITURE PLAN & SCHEDULES
A201	EXTERIOR ELEVATIONS
A401	WALL SECTIONS
A804	EXTERIOR DETAILS
A810	SIGNAGE DETAILS
A811	PHOTOMETRIC PLAN

TERRY W. ODLE, ARCHITECT

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PLAN CHECK EXPEDITOR
LANDSHARK DEVELOPMENT SERVICES
GROUP
JASON SMITH
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e: JSmith@landsharkdevelopment.com

PROJECT SCOPE

NEW TENANT IMPROVEMENT ON GROUND LEVEL OF EXISTING "M" OCCUPANCY BUILDING UP TO TENANT LEASE LINE. EXTERIOR SCOPE INCLUDES NEW STOREFRONT AND LIGHTING. INTERIOR SCOPE INCLUDES NEW PARTITIONS; FLOOR, CEILING, AND WALL FINISHES; HVAC DUCTING, NEW LIGHTING AND NEW PLUMBING FIXTURES FOR KITCHENETTE.

SEQUOIA 2.0

180 EL CAMINO REAL, BLDG D
STE #71, GROUND LEVEL
PALO ALTO, CA, 94304

PROJECT NUMBER:21-6008-01A

ARB SET

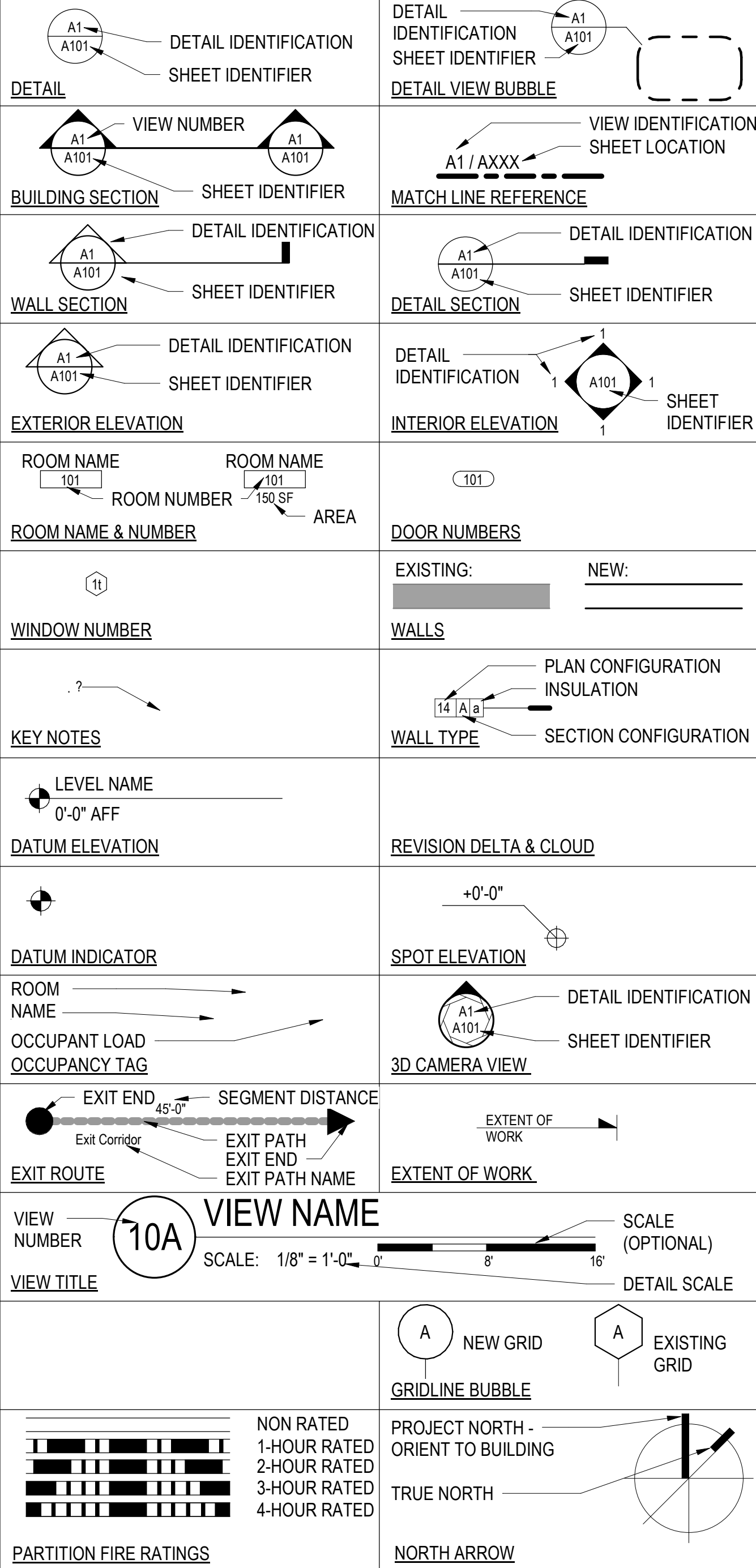
01.25.2022

BRILLIANT EARTH









SIMON

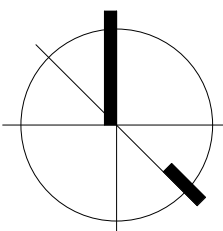
ACOUST	ACOUSTICAL	MAS	MASONRY
ACSF	ACCESS FLOORING	MAX	MAXIMUM
ACT	ADJACENT CEILING TILE OR PANEL	MECH	MECHANICAL
ADJ	ADJACENT	MEZZ	MEZZANINE
AFF	ABOVE FINISHED FLOOR	MFOR	MANUFACTURER
AL	ALUMINUM	MH	MANHOLE
ALT	ALTERNATE	MHO	MAGNETIC HOLD OPEN
ANOD	ANODIZED	MIN	MINIMUM, MINUTES
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
ARCH	ARCHITECTURAL	MO	MASONRY OPENING
ASPH	ASPHALT	MR	MOISTURE RESISTANT
BD	BOARD	MTD	MOUNTED
BIT	BITUMINOUS	MTG	MOUNTING
BLDG	BUILDING	MTL	METAL
BLKG	BLUING	MULL	MULLION
BO	BOTTOM OF	NA	NOT APPLICABLE
BOT	BOTTOM	NIC	NOT IN CONTRACT
BTW	BETWEEN	NIO	NUMBER
CABN	CABINET	NOM	NOMINAL
CB	CATCH BASIN	NTS	NOT TO SCALE
CEM	CEMENT	OC	ON CENTER
CG	CORNER GUARD	OD	OUTSIDE DIAMETER
CI	CAST IRON	OH	OVERHEAD
CIP	CAST IN PLACE	OPNG	OPENING
CJ	CONSTRUCTION JOINT, CONTROL JOINT	OPP	OPPOSITE
CLG	CENTERLINE	PERP	PERPENDICULAR
CLG	CEILING	PL	PROPERTY LINE, PLATE
CLR	CLEAR	PLAM	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT	PLAS	PLASTER
COL	COLUMN	PLBG	PLUMBING
CONC	CONCRETE	PLT	PLATE
CONN	CONNECTION	PLYWD	PLYWOOD
CONST	CONSTRUCTION	PNL	PANEL
CONT	CONTINUOUS	PR	PAIR
CORR	CORRIDOR	PREFIN	PREFINISHED
CPT	CARPET	PRESS T	PRESSURE TREATED
CR	CARD READER	PROG	PROJECT
CT	CERAMIC TILE	PT	POST-TENSIONED, POINT, PAINT
CU FT	CUBIC FEET	QT	QUARRY TILE
DEPT	DEPARTMENT	QTR	QUARTER
DF	DRINKING FOUNTAIN	R	RISER
DIA	DIAMETER	RB	RESILIENT BASE, RUBBER BASE
DIM	DIMENSION	RCP	REFLECTED CEILING PLAN
DISP	DISPENSER	RD	ROOF DRAIN
DN	DOWN	RECD	RECEIVED
DS	DOWNSPOUT	REF	REFERENCE
DTL	DETAIL	REFR	REFRIGERATOR
DWG	DRAWING	REINF	REINFORCING
E	EACH	REQO	REQUIRED
EAS	EXTERIOR FINISH SYSTEM	RF	RUBBER FLOORING
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	RM	ROOM
EJ	EXPANSION JOINT	RO	ROOF OPENING
EL	ELEVATION	ROW	RIGHT OF WAY
ELEC	ELECTRICAL	SAN	SANITARY
ELEV	ELEVATOR	SC	SOLID CORE
EPT	EPOXY PAINT	SCHED	SCHEDULE
EPX	EPOXY-QUARTZ FLOORING	SECT	SECTION
EQ	EQUAL	SF	SQUARE FEET
EQUIP	EQUIPMENT	SHT	SHEET
EW	EAGE WAY	SHT MTL	SHEET METAL
EW	ELECTRIC WATER COOLER	SIM	SIMILAR
EW	ELECTRIC WATER HEATER	SJ	SCORE JOINT
EXH	EXHAUST	SPEC	SPECIFIED, SPECIFICATION
EXIST	EXISTING	SQ	SQUARE
EXP	EXPOSED STRUCTURE	SS	SANITARY SEWER
EXTOR	EXTRACTOR	ST	STAINLESS STEEL
FAC FIN	FACTORY FINISH	ST	STONE MASONRY OR TILE
FDN	FLOOR DRAIN	STD	STANDARD
FE	FOUNDATION	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FE	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FF	FINISHED FLOOR	SUSP	SUSPENDED
FF&E	FURNITURE, FIXTURES & EQUIPMENT	SYM	SYMBOLICAL
FIN	FINISH	SYS	SYSTEM
FLR	FLOOR	T	TOP, TREAD
FO	FACE OF	T&B	TOP AND BOTTOM
FOC	FACE OF CONCRETE	T&G	TONGUE & GROOVE
FOF	FACE OF FINISH	T&D	TO BE DETERMINED
FOIC	FURNISHED BY OWNER	TEL	TELEPHONE
FOIO	INSTALLED BY CONTRACTOR	TEMP	TEMPORARY
	FURNISHED BY OWNER	TER	TERRAZZO
	INSTALLED BY OWNER	TOC	TOP OF CONCRETE
FOS	FACE OF STUD	TOJ	TOP OF JOIST
FRP	FIBER REINFORCED PLASTIC	TOM	TOP OF MASONRY
FRP	FIRE RETARDANT TREATED	TOP	TOP OF PARAPET
FS	FLOOR SINK	TOS	TOP OF STEEL / STUD
FTG	FOOT FEET	TOW	TOP OF WALL
FTG	FOOTING	TWP	TYPICAL
FURN	FURNISHED	UL	UNDERWRITER'S LABORATORIE
FURR	FURRING	UNO	UNLESS NOTED OTHERWISE
FWP	FABRIC WRAP WALL PANEL	UTL	UTILITY
GA	GALVANIZED	VAR	VARNISH
GALV	GALVANIZED	VB	VINYL BASE
GB	GRAB BAR	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	VERT	VERTICAL
GI	GALVANIZED IRON	VEST	VESTIBULE
GLSS	GLASS	VIF	VERIFY IN FIELD
GWB	GYPSSUM WALLBOARD	VP	VENEER PLASTER
GYP	GYPSSUM	VT	VINYL TILE
HB	HOSE BIBB	VTF	VINYL TILE FLOORING
HC	HOLLOW CORE	W	WITH
HDWR	HARDWARE	W/O	WITHOUT
HG	HARDWARE GROUP	WB	WOOD BASE
HM	HOLLOW METAL	WC	WATER CLOSET, WALL COVERING
HORIZ	HORIZONTAL	WD	WOOD
HP	HIGH POINT	WDC	WOOD CEILING
HT	HEIGHT	WDP	WOOD PANELING
HTR	HEATER	WF	WOOD FLOORING
HVAC	HEATING, VENTILATION & AIR CONDITIONING	WIN	WINDOW
IBC	INTERNATIONAL BUILDING CODE	WOM	WALK OF MAT OR CARPET
IDB	INSIDE DIAMETER	WP	WATER PROOF, OR WORK POINT
IE	INVERT ELEVATION	WR	WATER RESISTANT
ING	INGRESS	WRB	WEATHER RESISTANT BARRIER
INSUL	INSULATION	WS	WEATHERSTRIP
INT	INTERIOR	WSC	WEINSCOT
JAN	JANITOR	WT	WEIGHT
JT	JOINT	WWF	WELDED WIRE FABRIC
L	LENGTH, LONG	YD	YARD
LAM	LAMINATE		
LB	POUND		
LF	LINEAR FEET		
LQ	LIQUID		
LMC	LINEAR METAL CEILING		
LP	LOW POINT		
LT	LIGHT		
LH WT	LIGHT WEIGHT		

LEGEND OF SYMBOLS



REFLECTED CEILING PLAN SYMBOLS

 SPRINKLER	 SPEAKER	
<u>FIRE PROTECTION ITEMS</u>	<u>SOUND SYSTEM COMPONENTS</u>	
 SUPPLY	 CAMERA, CEILING MOUNTED 360	
 RETURN, EXHAUST OR TRANSFER	 CAMERA, CEILING MOUNTED DIRECTIONAL	
 LINEAR TYPE: SUPPLY, RETURN, EXHAUST OR TRANSFER	 CAMERA, WALL MOUNTED	
<u>HVAC ITEMS</u>	<u>SECURITY</u>	



G000A

DIMENSION NOTES

GENERAL NOTES

- ## STANDARDS AND CODES

- ### CONTRACTOR USE OF PREMESIS

- OWNER FURNISHED PRODUCTS

- PRODUCTS TO BE FURNISHED AND PAID FOR BY THE OWNER AND INSTALLED BY THE CONTRACTOR ARE INDICATED AS "OWNER FURNISHED" IN THE DRAWINGS.
2. OWNER'S RESPONSIBILITIES FOR OWNER FURNISHED PRODUCTS:
- A) SUPPLY CONTRACTOR WITH OWNER REVIEWED PRODUCT LITERATURE.
 - B) PRODUCT DATA AND SAMPLES.
 - C) PAY FOR PRODUCT DELIVERY TO SITE.
 - D) REVIEW DAMAGED PRODUCTS PROMPTLY WITH CONTRACTOR.
 - E) SUBMIT CLAIMS FOR TRANSPORTATION DAMAGE. REPLACE DAMAGED, DEFECTIVE OR DEFICIENT ITEMS.
 - F) ARRANGE FOR MANUFACTURER'S WARRANTIES, INSPECTIONS AND SERVICE.
3. CONTRACTOR'S RESPONSIBILITIES FOR OWNER FURNISHED PRODUCTS:
- A) REVIEW SHOP DRAWINGS, PRODUCT DATA AND SAMPLE TO ADEQUATELY ACQUAINT THEMSELVES WITH THE SCOPE OF WORK. SAMPLES MUST BE APPROVED BY OWNER IN ADVANCE.
 - B) REVIEW THE ORDER, SCHEDULE DELIVERY, RECEIVE, UNLOAD AND STORE PRODUCTS AT SITE. INSPECT FOR COMPLETENESS OR DAMAGE. IF ITEMS ARE DAMAGED, GENERAL CONTRACTOR TO NOTIFY PROGRAM MANAGER AND OWNER. IF NOT PROMPTLY NOTIFIED, GC ASSUMES RESPONSIBILITY FOR REPLACEMENT COST AND DELIVERY COST.
 - C) INSTALL AND FINISH PRODUCTS.
 - D) REPLACE ANY ITEMS DAMAGED AFTER RECEIPT.

DIMENSION NOTES

- ## CONSTRUCTION ST

- ## SHOP DRAWING REQUIREMENTS

- 1 GC TO PROVIDE SHOP DRAWINGS FOR THE FOLLOWING
KITCHEN CABINETS, GLASS PARTITIONS, SIGNAGE

FLOORING NOTES

- ### BASE NOTES

- PAINT NOTES

- ### WALL TILE NOTES

- CEILING NOTES:

- ### FINISH SPECIFICATION GENERAL NOTES

1. FINISH MATERIAL SUBMITTALS: CONTRACTOR SHALL SUBMIT (5) 6" x 6" x 6" SAMPLES OF ALL FINISHES WITHIN 5 BUSINESS DAYS OF ISSUANCE OF THE CONTRACT FOR CONSTRUCTION, ALLOWING ADEQUATE TIME FOR REVIEW PRIOR TO REQUIRED ORDER PLACEMENT DATES.
2. CUT SHEET SUBMITTALS: CONTRACTOR SHALL SUBMIT MANUFACTURERS' CUTS AND SPEC SHEETS FOR ALL FIXTURES (INCL LIGHTING), EQUIPMENT, SPECIAL MATERIALS, SPECIALTIES, DOORS, FRAMES AND HARDWARE, ALLOWING ADEQUATE TIME FOR REVIEW PRIOR TO REQUIRED ORDER PLACEMENT DATES.
3. SHOP DRAWING SUBMITTALS: CONTRACTOR SHALL SUBMIT 5 COPIES OF SHOP DRAWINGS AND FINISHED SAMPLES OF ALL NATURAL FINISH WOODWORK FOR ALL MILLWORK & CASEWORK FOR REVIEW, ALLOWING ADEQUATE TIME FOR REVIEW PRIOR TO REQD FABRICATION DATES.
4. SPECIFICATIONS OF MATERIAL AND EQUIPMENT BY THE USE OF NAME, MODEL NUMBER, AND/OR GENERAL DESCRIPTION SHALL BE USED AS A GUIDE ONLY AND SHALL NOT EXCLUDE ALL OF THE REQUIRED ACCESSORIES, FITTINGS, TRIM AND/OR HARDWARE THAT MAY BE REQUIRED FOR A COMPLETE AND PROPER INSTALLATION.
5. MATERIALS ARE SPECIFIED BY NAME, MODEL NUMBER AND DESCRIPTION WHERE PRACTICABLE IN ORDER TO AVOID INACCURACIES. THE CONTRACTOR SHALL REVIEW ALL SPECIFICATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THESE DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK.

180 EL CAMINO REAL,
BLDG D
STE #71, GROUND
LEVEL
PALO ALTO, CA, 94304

MG2

01.25.2022

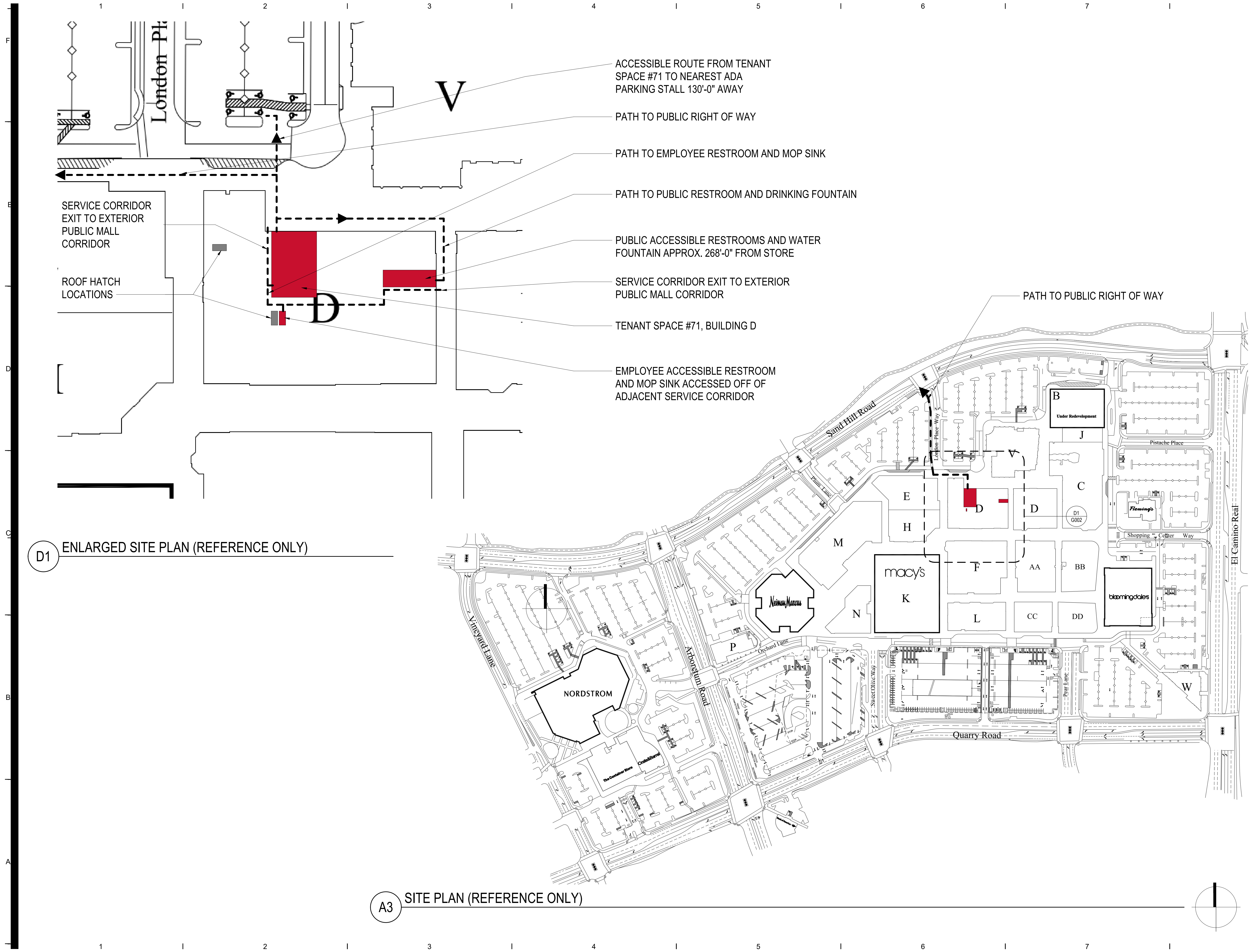
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BRILLIANT EARTH

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BLDG D
STE #71, GROUND
LEVEL
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Seattle, WA 98101
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01.25.2022

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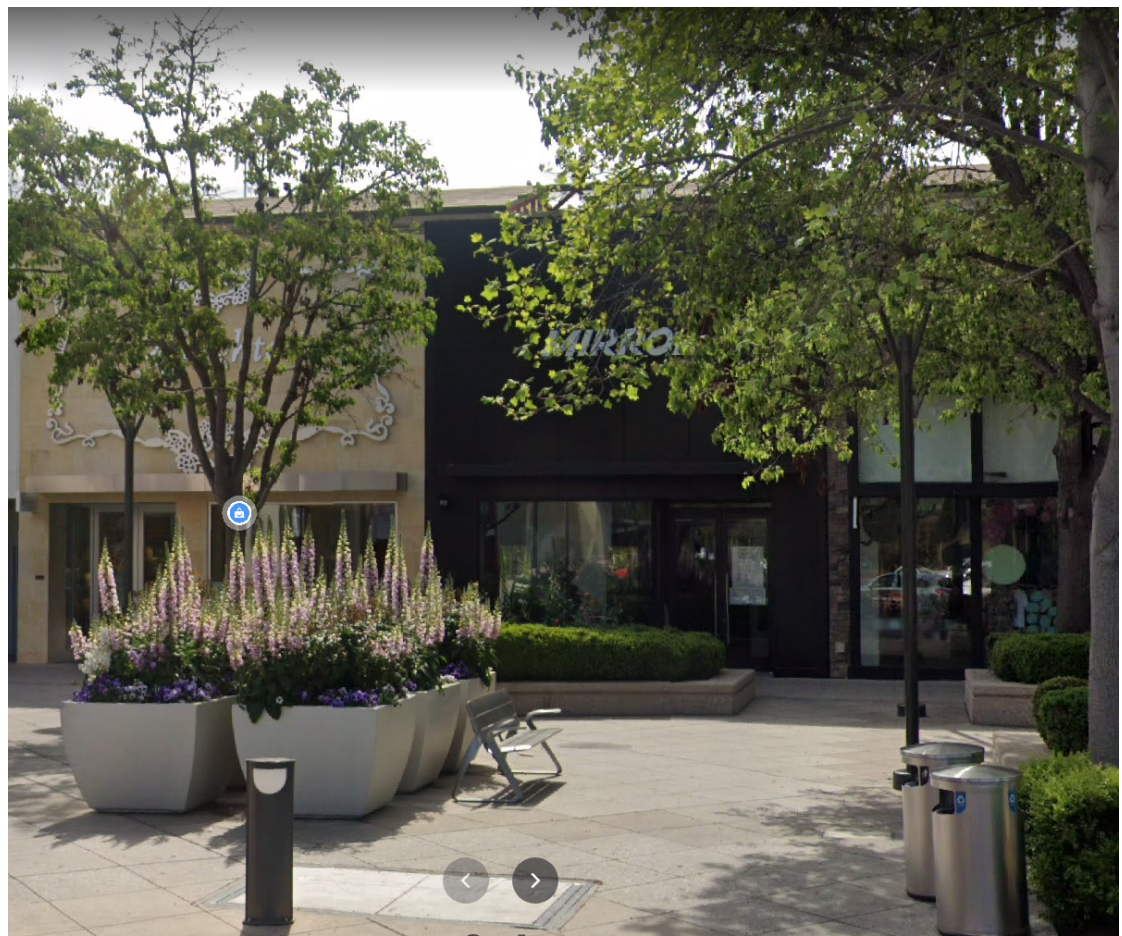
△	DATE	DESCRIPTION
1	5/11/22	ARB REVISION

21-6008-01A
PM: SARAH SIMCHUK
DRAWN BY: SS

SITE PLAN

G002

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A2 EXISTING SITE CONDITION
SCALE: 12" = 1'-0"



EXISTING EXTERIOR FACE



PROPOSED EXTERIOR FACE

A5 CONCEPT RENDERINGS
SCALE: 12" = 1'-0"

BRILLIANT EARTH

180 EL CAMINO REAL,
BLDG D
STE #71, GROUND
LEVEL
PALO ALTO, CA, 94304

1101 Second Ave, Ste 100
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△	DATE	DESCRIPTION
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21-6008-01A
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DRAWN BY: Author

EXTERIOR
RENDERINGS

G002B

1 | 2 | 3 | 4 | 5 | 6 | 7 |

F

E

D

C

B

A

OCCUPANCY TYPE LEGEND

- ACCESSORY STORAGE
- BUSINESS AREAS
- MERCANTILE

BUILDING CODE INFO

SITE ZONING
MIXED USE

FIRE ZONE OR DISTRICT
MODERATE

SEISMIC DESIGN CATEGORY
D

BUILDING OCCUPANCY CLASSIFICATION
M - MERCANTILE

BUILDING CONSTRUCTION TYPE
IIIA

BUILDING ALLOWABLE FLOOR AREA
NO CHANGE

BUILDING ALLOWABLE HEIGHT
NO CHANGE

BUILDING CODE
2019 CALIFORNIA BUILDING CODE W/ PALO ALTO AMENDMENTS

LOCAL JURISDICTION CODE
PALO ALTO MUNICIPAL CODE

ACCESSIBILITY CODE
2019 CBC, CH 11B

MECHANICAL CODE
2019 CALIFORNIA MECHANICAL CODE

PLUMBING CODE
2019 CALIFORNIA PLUMBING CODE

FIRE / LIFE SAFETY CODE
2019 CALIFORNIA FIRE CODE

ELECTRICAL CODE
2019 CALIFORNIA ELECTRICAL CODE

ENERGY CODE
2019 CALIFORNIA ENERGY CODE

EXIT TAG LEGEND		
EXIT 1	EXIT #	
66.87"	CLEAR WIDTH	
334 OCC	MAX OCCUPANT LOAD	
SYMBOLS LEGEND		
	EXIT SIGNAGE	
	FIRE EXTINGUISHER TYPE I, MULTI-PURPOSE	
FIRE EXTINGUISHER GENERAL NOTE		
GC TO INSTALL FIRE EXTINGUISHERS IN LOCATIONS APPROVED BY FIRE OFFICIAL AND CONFIRMED BY OWNER.		

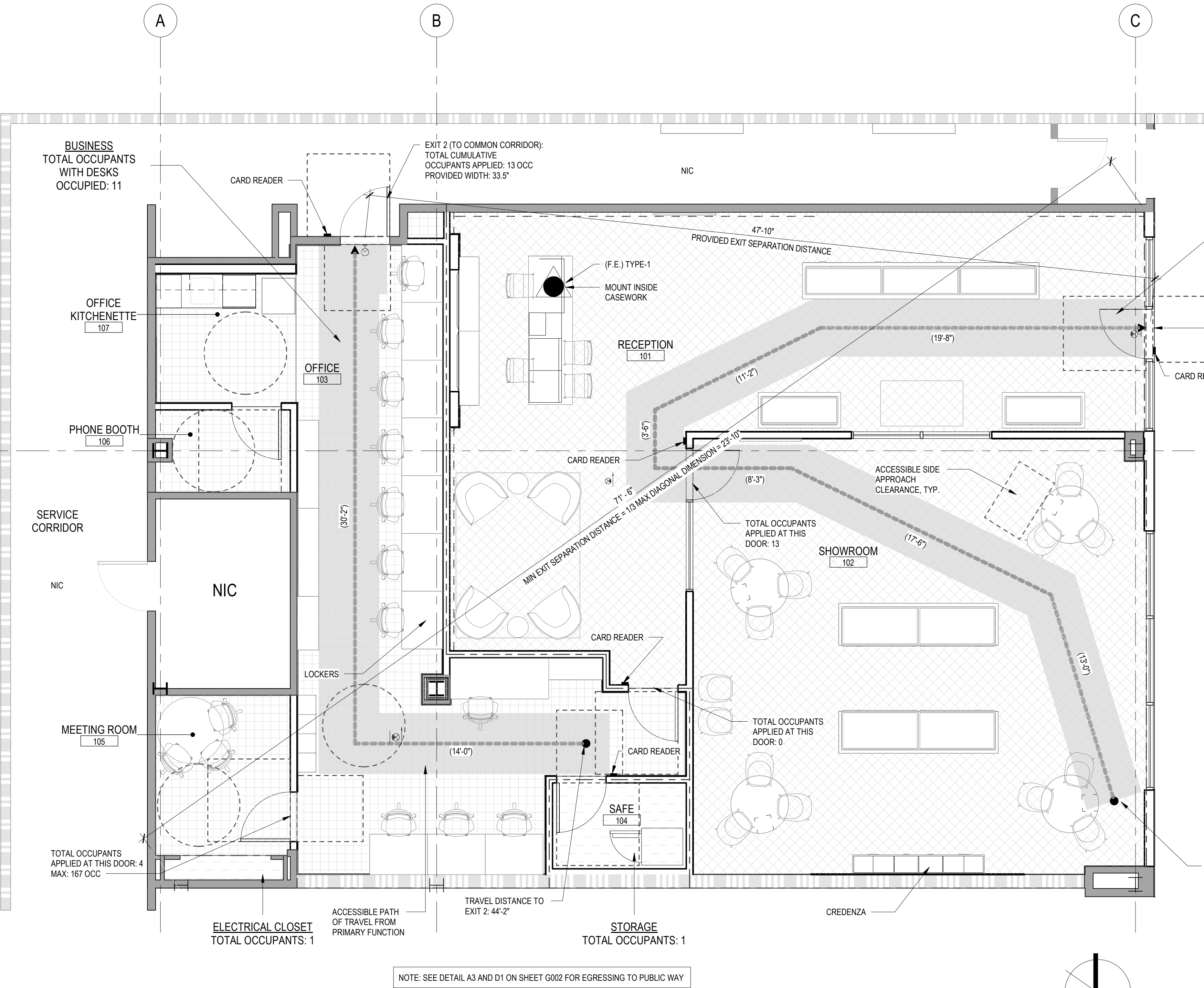
REQUIRED EXIT WIDTH			
	EXIT WIDTH REQ	IN/OCC REQ	TOTAL OCC
TOTAL REQ CBC	7.6"	0.2	39

2019 CBC DOOR EXIT CALCUALTIONS			
DOOR EXIT NUMBER	DOOR EXIT WIDTH	IN/OCC	TOTAL OCC
1	33.5"	0.2	26
2	33.5"	0.2	19
TOTAL PROVIDED	67"		39

OCCUPANT LOAD ANALYSIS				
Area Name	Area	Occupant Load Factor	Occupancy Function	Total Occupants
ACCESSORY STORAGE				
STORAGE	56 SF	300 GROSS	ACCESSORY STORAGE	1
STORAGE	11 SF	300 GROSS	ACCESSORY STORAGE	1
	67 SF			2
BUSINESS AREAS				
BUSINESS	715 SF	150 GROSS	BUSINESS AREAS	11
	715 SF			11
MERCANTILE				
MERCANTILE	1549 SF	60 GROSS	MERCANTILE	26
	1549 SF			26
GRAND TOTAL	2331 SF			39

OCCUPANCY	OCCUPANT LOAD	2019 CPC, TABLE 422.1 - MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES						
		WATER CLOSETS		URINALS	LAVATORIES		DRINKING FOUNTAINS	OTHER
		MALE	FEMALE	MALE	MALE	FEMALE		
M	9*	1 per 100	1 per 100	Not to be substituted for more than 50% of req. water closets	1 per 200	1 per 200	1 per 250	1 service sink
REQUIRED:		1	1		1	1	1	1
		2			2			
Water Closets Provided: 2 - Located in existing mall toilet facility located 300' from tenant space (CBC 2902.3.4)								
Lavatories Provided: 2 - Located in existing mall facility within 300' from tenant space (CBC 2902.3.4)								
Drinking Fountains Provided: 1 - Located adjacent to existing mall toilet facility located 300' from tenant space (CBC 2902.5)								
* OCCUPANT LOAD BASED ON 2019 CPC TABLE A, OCCUPANT LOAD FACTOR, GROUP M								

OCCUPANT LOAD ANALYSIS - 2019 CPC 422 - TABLE A			
AREA NAME	AREA	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUP B (STORAGE)	64 SF	200	1
GROUP B (BUSINESS)	559 SF	200	1
GROUP M (RETAIL)	1356 SF	200	7
GRAND TOTAL	1969 SF		9 OCCUPANTS



A1 LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

BRILLIANT EARTH

180 EL CAMINO REAL,
BLDG D
STE #71, GROUND
LEVEL
PALO ALTO, CA, 94304

1101 Second Ave, Ste 100
Seattle, WA 98101
206 962 6500
MG2.com

MG2

ARB SET

01.25.2022

TERRY W. ODLE, ARCHITECT

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DATE	DESCRIPTION
1 5/11/22	ARB REVISION

21-6008-01A
PM: SARAH SIMCHUK
DRAWN BY: JD

LIFE SAFETY PLAN

G003

1 | 2 | 3 | 4 | 5 | 6 | 7 |

F

E

D

C

B

A

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT		CITY OF PALO ALTO Planning Division, 250 Hamilton Avenue Palo Alto, CA 94301 (650) 329-2441 http://www.cityofpaloalto.org
Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.		
PROPERTY ADDRESS: 180 El Camino Real # 71, Bldg. D Palo Alto , CA 94304		
Are there Regulated trees on or adjacent to the property? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (If no, proceed to Section 4)		
[Sections 1 - 4 MUST be completed by the applicant. Please circle and/or check where applicable.]		
1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees) <input type="checkbox"/> On the property <input type="checkbox"/> On adjacent property overhanging the project site <input type="checkbox"/> In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*		
*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).		
2. Are there any Protected or Designated Trees? <input type="checkbox"/> YES (Check where applicable) <input type="checkbox"/> NO <input type="checkbox"/> Protected Tree (s) <input type="checkbox"/> Designated Tree (s) <input type="checkbox"/> On or overhanging the property		
3. Is there activity or grading within the (dipline?) (radius 10 times the trunk diameter) of these trees? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.25). Attach this report to Sheet T-1, Tree Protection, its Part of the Plan! per Site Plan Requirements.		
4. Are the Site Plan Requirements** completed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dipline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dipline, per Sheet T-1 and Detail #605 - http://www.cityofpaloalto.org/trees/forms.htm (See also TTM, Section 2.15 for area to be fenced)		
I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.		
Signature: <i>JASON SMITH - AGENT</i>	Print: Jason Smith - Agent	Date: 5/11/2022
(Prop. Owner or Agent)		
FOR STAFF USE:		
Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).		
5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. <input type="checkbox"/> YES <input type="checkbox"/> NO (N/A if there are no protected trees, check here)		
6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. <input type="checkbox"/> YES <input type="checkbox"/> NO (N/A if there are no street trees, check here)		
Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.		
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at http://www.cityofpaloalto.org/planning/community/trees-technical-manual.html		
S:\Plan\Public\Arborist\Tree Protection Info\Tree Disclosure Statement		
Revised 08/06		

City of Palo Alto 250 Hamilton Avenue, Palo Alto, CA 94301	
Search:	Advanced
Home > Planning & Community Environment	
Tree Technical Manual	
To purchase the Tree Technical Manual	
June, 2001 First Edition	
View by section:	<ul style="list-style-type: none">Table of Contents (PDF, 87KB)Intent and Purpose (PDF, 1.05MB)Introduction - Use of Manual (PDF, 1.05MB)Section 1.0 - Definitions (PDF, 96KB)Section 2.0 - Protection of Trees During Construction (PDF, 299KB)Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)Section 4.0 - Hazardous Trees (PDF, 105KB)Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)Section 6.0 - Tree Reports (PDF, 84KB)
View ALL sections:	<ul style="list-style-type: none">Tree Technical Manual - Full (PDF, 1.84MB)
APPENDICES	
<ul style="list-style-type: none">A. Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management RegulationsB. Tree City - USAC. ISA Hazard Evaluation FormD. List of Inherent Failure Patterns for Selected Species (Reference source)E. ISA Tree Pruning Guidelines (PDF, 1.89MB)F. Tree Care Safety Standards, ANSI Z33.1-1994 (Reference source)G. Pruning Performance Standards, ANSI A300-1995 (Reference source)H. Tree Planting Details, Diagram 504 & 505I. Tree Disclosure StatementJ. Palo Alto Standard Tree Protection Instructions	

For written specifications associated with illustrations below, see Public Works Specifications Section 31 Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/)	
Tree Protection Zone (TPZ) shown in gray (radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater) • Restricted activity area - see Tree Technical Manual Sec 2.15(C). • Restricted trenching area - see Tree Technical Manual Sec 2.20C-D). Any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.	
Type I Tree Protection For all Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as diagnosed on the plans. Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report. 8.5x11-inch Warning Signs one each side 4-foot high chain link fence, cyrled TPZ (radius 10 x Tree Diameter or 10-feet, whichever is greater) Fencing must provide public passage while protecting all other land in TPZ.	Type II Tree Protection 2-inch Orange Plastic Fencing installed with 2-inch Thick Wooden Stakes Any proposed trench in TPZ requires approval per TTM 2.20 C-D for minimum 10-foot spacing Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided. Type III Tree Protection (to be used only with approval of Public Works Operations) Tree fencing is required and shall be erected before demolition, grading or construction begins.
Tree Protection During Construction City of Palo Alto Standard	
Rev By Date	Approved by: Dave Dockter
6 LWH 12/14/02	PE No. 2006
8 DJS 08/04/06	Date 2006
10 DJS 08/06/06	Dwg No. 605
Scale: NTS	

APPENDIX J PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-	
31-1 General	<p>a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.</p> <p>b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet; whichever is greater, enclosed by fencing.</p>
31-2 Reference Documents	<p>a. Detail #65 - Illustration of situations described below.</p> <p>b. Tree Technical Manual (TTM) Forms (http://www.cityofpaloalto.org/trees/)</p> <p>1. Trenching Restriction Zones (TTM, Section 2.20C-D)</p> <p>2. Arborist Reporting Protocol (TTM, Section 6.33)</p> <p>3. Site Plan Requirements (TTM, Section 6.25)</p> <p>4. Tree Disclosure Statement (TTM, Appendix J)</p> <p>c. Street Tree Verification (STV) Form (http://www.cityofpaloalto.org/trees/forms)</p>
31-3 Execution	<p>a. Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.</p> <p>b. Type II Tree Protection: For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.</p> <p>c. Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.</p> <p>d. Size, type and area to be fenced. All trees to be protected shall be protected with an (4) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet or at more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.</p> <p>e. Warning signs. A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110"</p> <p>f. Duration. Tree fencing shall be erected before demolition; grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist in the case of work around Street Trees. Excavations within the public right of way require a Street Work Permit from Public Works.</p> <p>g. During construction</p> <p>1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.</p> <p>2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.10.070 of the Palo Alto Municipal Code.</p> <p>3. The following tree preservation measures apply to all trees to be retained:</p> <p>a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.</p> <p>b. The ground under and around the tree canopy area shall not be compacted.</p> <p>c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.</p>
END OF SECTION City of Palo Alto 2004 Standard Drawings and Specifications Street Tree Verification of Protection, PWE, Section 31	
Revised 08/06	

Table 2-2 Palo Alto Tree Technical Manual CONTRACTOR & ARBORIST INSPECTION SCHEDULE	
Reference: See Palo Alto Tree Technical Manual in available at www.cityofpaloalto.org/enr/consent/	
ALL CHECKED ITEMS APPLY TO THIS PROJECT:	
1. <input checked="" type="checkbox"/> Inspection of Protective Tree Fencing For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).	
2. <input checked="" type="checkbox"/> Pre-Construction Meeting Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6903).	
3. <input checked="" type="checkbox"/> Inspection of Rough Grading or Trenching Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, damage and trenching, and if required, inspect retention systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.	
4. <input checked="" type="checkbox"/> Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any reviews to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. Landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).	
5. <input checked="" type="checkbox"/> Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct on-site supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).	
6. <input type="checkbox"/> Landscape Architect Inspection For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. Landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.	
7. <input type="checkbox"/> List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)	

City of Palo Alto Tree Department Public Works Operations PO Box 10250 Palo Alto, CA 94303 650-496-5953 FAX: 650-952-5289 treeprotection@cityofpaloalto.org	
Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.	
APPLICATION DATE:	
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:	
APPLICANT'S NAME:	
APPLICANT'S ADDRESS:	
APPLICANT'S TELEPHONE & FAX NUMBERS:	
This section to be filled out by City Tree Staff	
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, go to #2 below
Inspected by:	
Date of Inspection:	
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:	
Indicate how the required modifications were communicated to the applicant.	
Subsequent Inspection	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, indicate in "Notes" below the disposition of case.
Street trees at above address were found to be adequately protected.	
Inspected by:	
Date of Inspection:	
Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.	
Return approved sheet to Applicant for demolition or building permit issuance.	
S:\PWC\CPM\Tree\2005\Tree\Tree	
5/17/06	

City of Palo Alto Tree Technical Manual ADDENDUM 11	
Arborist Firm Data Here	
Monthly Tree Activity Report- Construction Site	
Inspection Date:	Site address: Palo Alto, CA
Inspection #:	Contractor- Main Site Contact Information
	#1: Job site superintendent Company: Email: Job site: Office: Cell: Mail:
	Also present: • • •
Distribution:	1. City of Palo Alto 2. Others
	Attn: Dave Dockter Dave Dockter@cityofpaloalto.org 650-329-2443
Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.	
1. Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits) a. Pre-construction meeting requirement with sub-contractors b. Inspect to verify that tree protection measures are in place c. Determine if field adjustments, watering or plan revisions may be needed	
2. Field Observations (general site-wide and list by individual tree number) a. Tree Protection Fences (TPF) are ... b. Trenching has/will occur ...	
3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due a. Tree Protection Fence (TPF) needs adjusting (tree # x, x, x) b. Root zone buffer material (wood chips) can be installed next c. Schedule sewer trench, foundation dig with ...	
4. Photographs (use often)	
5. Tree Location Map (mandatory 8.5 x 11 sheet)	
6. Recommendations, notes or monitor items for project/staff/schedule	
7. Past visits (list carry-over items satisfied/still outstanding)	
Respectfully submitted,	
Project site arborist Consultant contact information (include email, cell#, and mailing) CC:	
Enter Date	CPA Monthly Tree Activity Report: Type site address here
Page #1 of 1	

---WARNING---	
Tree Protection Zone	
This fencing shall not be removed without City Arborist approval (650-496-5953)	
Removal without permission is subject to a \$500 fine per day*	
*Palo Alto Municipal Code Section 8.10.110	
City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.html	

SPECIAL INSPECTIONS	PLANNING DEPARTMENT
TREE PROTECTION INSPECTIONS MANDATORY	
PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.	
BUILDING PERMIT DATE:	
DATE OF 1 st TREE ACTIVITY REPORT:	
CITY STAFF:	
REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.	

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

BRILLIANT EARTH

180 EL CAMINO REAL,
BLDG D
STE #71, GROUND
LEVEL
PALO ALTO, CA, 94304

1101 Second Ave, Ste 100
Seattle, WA 98101
206 962 6500
MG2.com

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ARB SET

01.25.2022

TERRY W. ODLE, ARCHITECT

Project
Data

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-1



21-6008-01A
PM: SARAH SIMCHUK
DRAWN BY: SS

TREE PROTECTION
PLAN

G005

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL NOT DEMOLISH ANY LOAD BEARING WALLS THAT WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE BUILDING. NOTIFY ARCHITECT OF ANY STRUCTURAL ISSUES ARISING FROM DEMOLITION.
2. AREA OF TRENCHING SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR IS RESPONSIBLE FOR FINAL TRENCHING LAYOUT AND ROUTING. COORDINATE WITH FURNITURE/CASEWORK LAYOUT, ELECTRICAL, AND PLUMBING DRAWINGS.
3. DEMOLITION INCLUDES REMOVAL, STORAGE AND PROTECTION OF ITEMS TO BE REUSED.
4. WHERE DEMOLITION WORK OCCURS ADJACENT TO EXISTING, PATCH AND REPAIR ADJACENT CONDITIONS FOR A UNIFORM APPEARANCE.
5. VERIFY FLOOR IS LEVEL THROUGHOUT. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
6. FOLLOW LANDLORD DEMOLITION RULES AND REQUIREMENTS.
7. REMOVE AND CAP EXISTING POWER AND COMMUNICATION OUTLETS THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS (WHERE REQUIRED).
8. REMOVE PLUMBING FIXTURES AND CAP PLUMBING AT FLOOR OR WALL, UNO.
9. DEMOLITION INCLUDES SAWCUTTING AND TRENCHING OF SLAB FOR DATA AND ELECTRICAL. COORDINATE WITH ELECTRICAL AND PLUMBING FOR TRENCHING AND LOCATIONS.
10. LOCATIONS OF ALL SAW CUTTING IN CONCRETE FLOOR SLAB IS TO BE COORDINATED AND APPROVED BY LANDLORD PRIOR TO SAW CUTTING. VAPOR BARRIER TO MATCH LL SPECIFICATION BUT NOT TO BE LESS THAN CLASS A, 15 MILS, PERMEANCE OF NO MORE 0.01 PERMS; USE MANUFACTURER RECOMMENDED TAPE AND MASTIC.
11. REMOVE ANY EXISTING FIXTURES/FURNITURE OR DISPLAYS NOT SHOWN ON PLANS.

DEMOLITION KEY	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED

KEYNOTES DEMOLITION PLAN	
WALLS	
1A	REMOVE EXISTING GYP BD PARTITION
1B	EXISTING COLUMN WRAP TO REMAIN. PROTECT IN PLACE TO MAINTAIN FIRE RATING AT COLUMN.
DOORS	
2	REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE/EQUIPMENT
CASEWORK	
3	REMOVE EXISTING BUILT IN CASEWORK BACK TO EXISTING PARTITION
STOREFRONT	
4A	REMOVE EXISTING STOREFRONT SYSTEM AND MULLIONS
4B	EXISTING STONE FINISH TO BE REMOVED
FLOORS	
5A	REMOVE EXISTING FLOOR TILE. PREPARE EXISTING SLAB TO RECEIVE NEW FLOOR TILING.
5B	REMOVE EXISTING WOOD FLOOR FINISH. PREPARE EXISTING SLAB TO RECEIVE NEW FLOORING.
5C	TRENCH EXISTING SLAB FOR POWER TO FIXTURES/FURNITURE. COORDINATE W/ ELECTRICAL

- Any existing equipment or component in or pertaining to the premises that is being abandoned must be demolished completely and properly removed from premises.

•All roof mounted equipment above the leased premises not to be re-used must be removed by tenant GC at tenant expense. Roof must be properly patched by Mall required Roofer. Roof curbs must be removed and roof patched – do not cap. Coordinate all work with Mall Operations Director.

Slab on grade: Tenant's General Contractor shall advise the Operation Team prior to any slab modifications or removal. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.

SIMON

Tenant, Tenant's Design Team, and Tenant's Contractors shall field verify all field conditions prior to the start of any construction. Be advised that all changes and modification to the Landlord's approved drawings shall be resubmitted to Landlord for re-approval. Any construction completed without Landlord approval shall be corrected as approved by Landlord at Tenant's expense.

Architectural floor plan of a room, likely a laboratory or specialized workspace, showing various equipment and structural elements. The plan is divided into sections by dashed lines, with labels A, B, and C indicating horizontal divisions and 2 indicating a vertical division. Key features include:

- N.I.C. (Not In Contact) Areas:** Three large rectangular areas are labeled "N.I.C.", indicating zones where contact is not permitted.
- Callouts and Dimensions:** Numerous callouts (e.g., 1A, 1B, 2, 3, 4A, 4B, 5A, 5B, 5C, 6A, 6B, 6C, 6D, 6E, 6F, 6G, 6H, 6I, 6J, 6K, 6L, 6M, 6N, 6O, 6P, 6Q, 6R, 6S, 6T, 6U, 6V, 6W, 6X, 6Y, 6Z) and dimensions (e.g., 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100) are used to specify dimensions and locations of equipment and structural elements.
- Equipment and Structural Elements:** The plan shows various pieces of equipment, including what appears to be a large rectangular unit (possibly a furnace or reactor) in the center, and several smaller units (possibly sensors or monitors) along the walls and in the corners. Structural elements like walls, doors, and windows are also indicated.
- Notes:** A note in the top right corner states: "NOTE: NO EXTERIOR WORK UNDER THIS REVIEW / APPROVAL. EXTERIOR WORK TO BE SUBMITTED ONCE ARB HAS APPROVED THE PROJECT".

C

TERRY W. ODLE, ARCHITECT

△	DATE	DESCRIPTION
---	------	-------------

AD101

MG2

01.25.2022

TERRY W. ODLE, ARCHITECT

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DEMOLITION
REFLECTED
CEILING PLAN

AD104

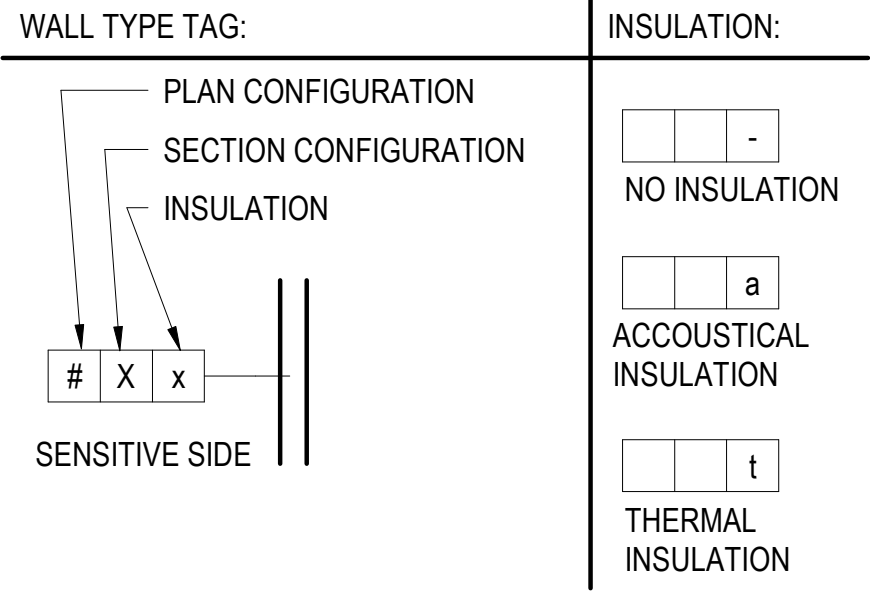
NOTE: NO EXTERIOR WORK UNDER THIS REVIEW / APPROVAL. EXTERIOR WORK TO BE SUBMITTED ONCE ARB HAS APPROVED THE PROJECT

N.I.C.

SCALE: 1/4" = 1'-0"

WALL / PARTITION TYPES - PLAN CONFIGURATIONS:

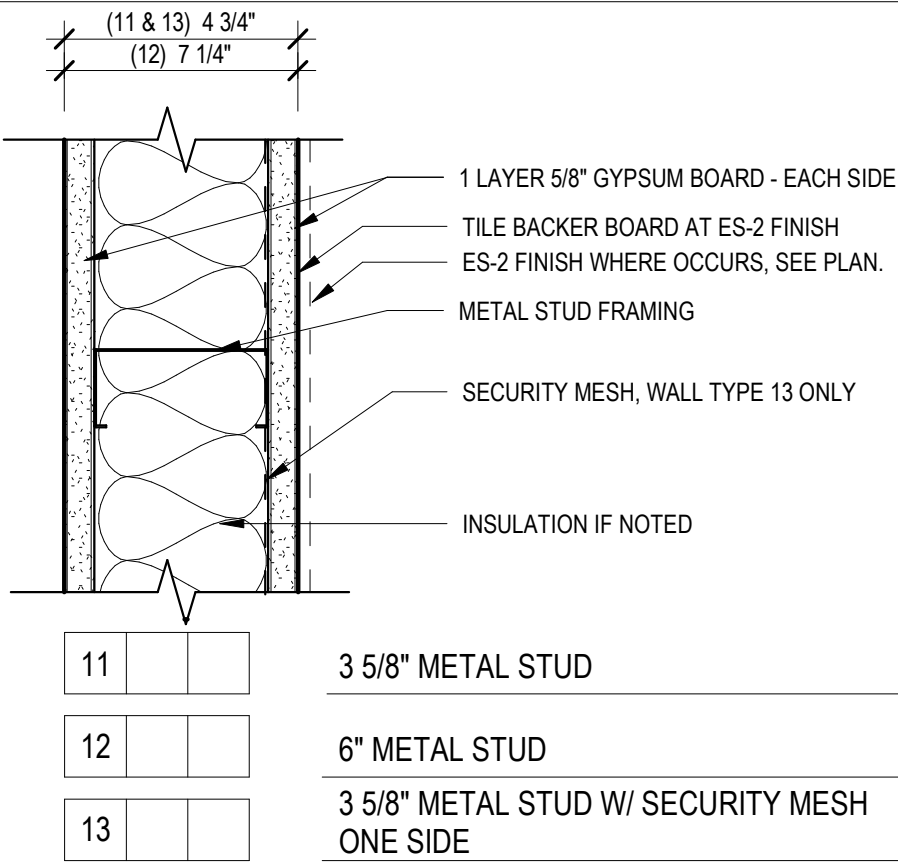
WALL TYPES:



NOTES:

- ALL INSULATION SHALL HAVE MAXIMUM FLAME SPREAD INDEX OF 25 AND MAXIMUM SMOKE DEVELOPED INDEX OF 450 IN ACCORDANCE WITH IBC 720.2 (IBC 2015)
- REFER TO SPECIFICATIONS FOR LOCATION, PROVISIONS FOR AND LIMITS OF DIFFERENT TYPES OF GWB SUCH AS CEMENTICIOUS TILE BACKER BOARD, MOISTURE AND MOLD RESISTANT GWB, FIRE-RATED GWB, ETC.
- USE MOISTURE OR MOLD RESISTANT GWB ON ALL PIPING UTILITY CHASES, UNCONDITIONED SPACES, PUBLIC RESTROOMS AND RESIDENTIAL BATHROOMS.
- REFER TO SPECIFICATIONS FOR STUD GAUGE AND SPACING.
- FIRE RATING AND SOUND TRANSMISSION COEFFICIENTS ARE BASED UPON THE ASSEMBLIES SHOWN *WITHOUT* INSULATION, UNLESS NOTED OTHERWISE
- REFER TO WALL DETAILS FOR TERMINATIONS, DEFLECTIONS, CONNECTIONS, PENETRATIONS AND INTERSECTIONS.
- ACOUSTIC SEALANT SHALL CONFORM TO ASTM C919-02.
- SEPARATE BACK TO BACK ELECTRICAL OR OTHER UTILITY BOXES BY AT LEAST ONE FULL STUD BAY IN SINGLE STUD WALLS AND TWO STUD BAYS IN STAGGERED STUD OR DOUBLE STUD WALL ASSEMBLIES U.N.O.
- SEAL ALL DUCT, CONDUIT OR PIPING PENETRATIONS THROUGH ACOUSTICALLY RATED CONSTRUCTION TO PREVENT DIRECT CONTACT USING RESILIENT NON-HARDENING CAULK. USE FIRE-RATED ACOUSTICAL CAULK IN FIRE-RATED CONSTRUCTION.
- REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR VIBRATION ISOLATION REQUIREMENTS IN AREAS WHERE PLUMBING RUNS IN PROXIMITY TO NOISE-SENSITIVE SPACES.
- STAGGER ALL JOINTS VERTICALLY AND HORIZONTALLY WHENEVER TWO OR MORE LAYERS OF GWB ARE SCHEDULED.
- SECURE BATT INSULATION TO THE STRUCTURE AS REQUIRED TO PREVENT SAGGING OR DISPLACEMENT.
- CONFORM TO TESTING AGENCY ASSEMBLY # NOTED FOR EACH RATED WALL TYPE.
- STC RATINGS ARE BASED ON WALL INSULATION R-VALUES RANGING FROM R-11 TO R-15 U.N.O.
- FILL IN ALL VOIDS WITH MATERIAL MATCHING FIRE RATING REQUIREMENTS OF THE WALL ASSEMBLY.

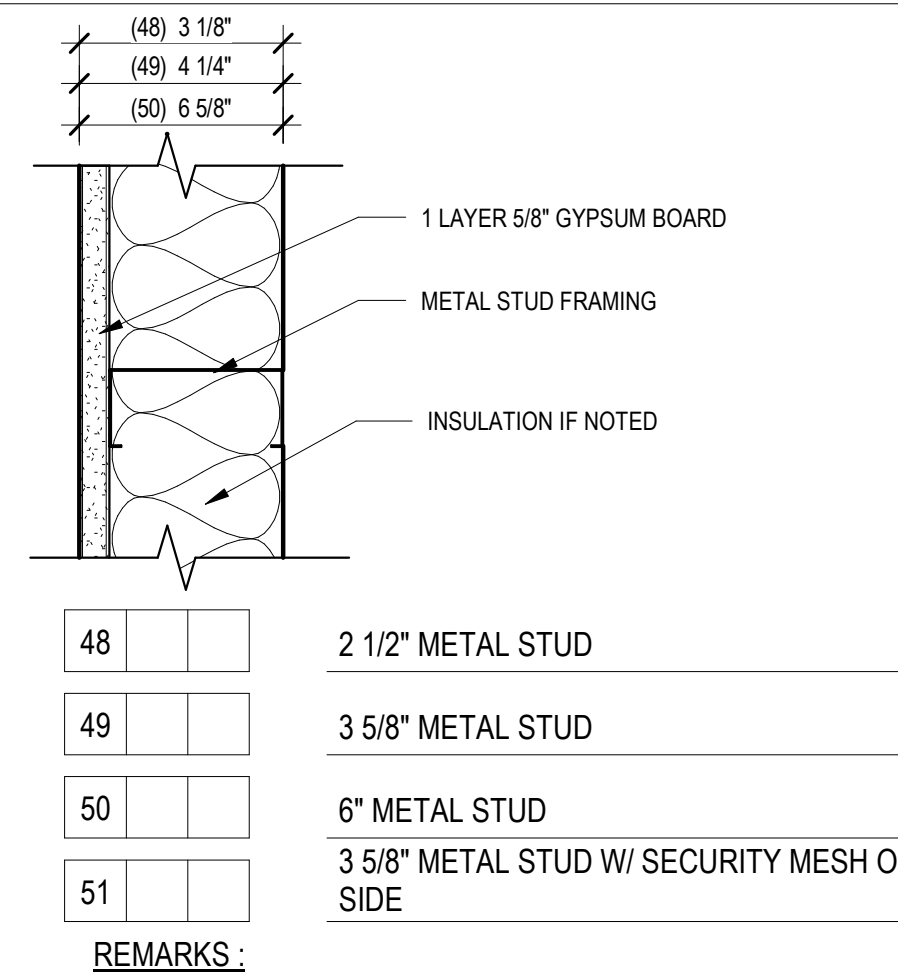
PARTITION : NON-RATED



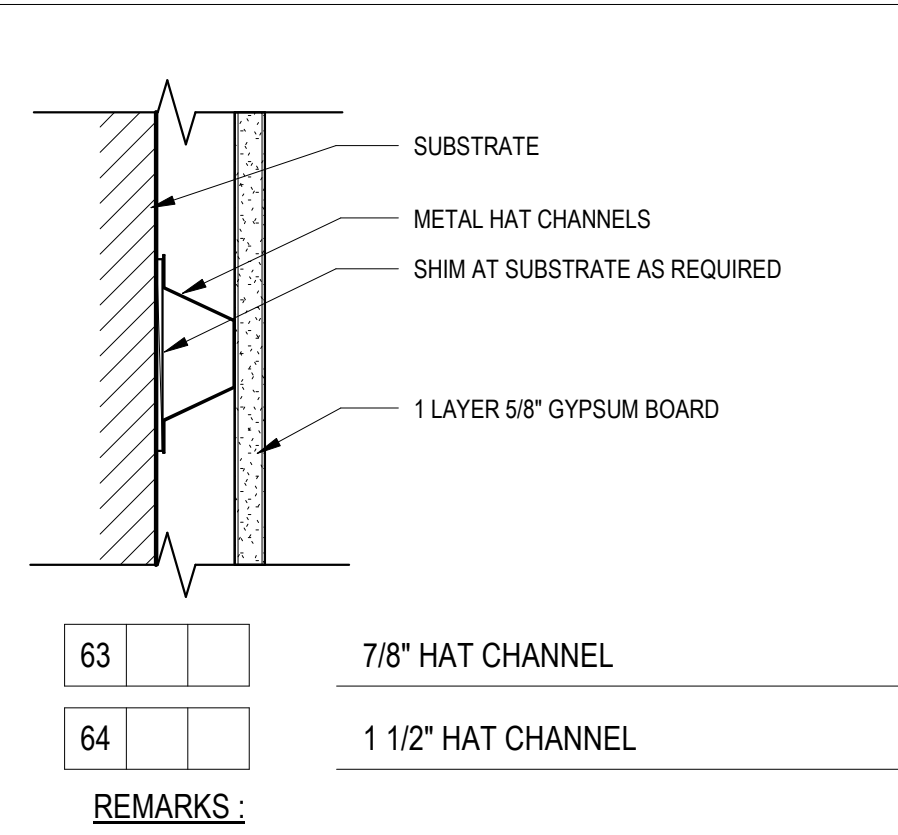
REMARKS: FOR WALL TYPE 13, USE CLARK DIETRICH SECURITY BARRIER MESH 09.22.36

FOR WALL TYPE 11, WHERE WALL OCCURS WITH ES-2 FINISH, PROVIDE 5/8" CEMENT BOARD IN LIEU OF 5/8" GWB ON THE ES-2 SIDE.

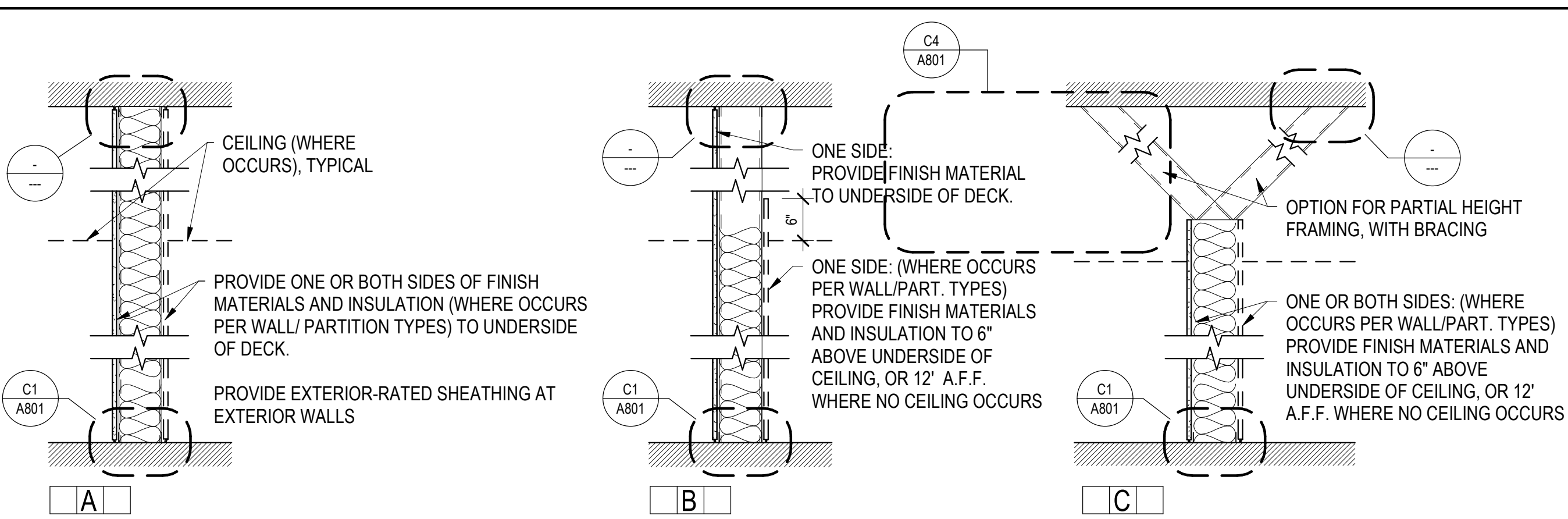
PARTITION : NON-RATED



FURRING : NON RATED



WALL / PARTITION SECTION CONFIGURATIONS



A4 FLOOR PLAN

SCALE: 1/4" = 1'-0"

SIMON Floor Plan Comments:

- Tenant is responsible to field verify all existing conditions and dimensions in the space. Failure to properly field verify existing conditions does not relieve the Tenant of any expenses or responsibilities resulting from that failure.
- Nothing is permitted to be attached to, suspended from, or penetrate Landlord's structure, floor deck, or roof deck. You may attach, non-destructively, to or suspend from the top chord of the joist or the structural steel which exists above the tenant space. When attaching to landlord's structure, **do NOT drill, weld, screw, or shoot** into structure. Alternative methods of attachment **ONLY**; nothing to damage landlord's base building structure. Tenant shall provide signed and sealed structural drawings, by a structural engineer with legally active registration as indicated by all jurisdictional requirements, for all structural modifications for Landlord records.
- Structural reinforcing details must be provided by a registered structural engineer to Tenant Coordination for equipment support or suspension, service platforms, deck penetrations, etc.
- Any Landlord equipment, component, and / or service feeding other tenant(s) that is existing in the space must remain visible and accessible to the Landlord. Tenant shall install access panels as required to maintain access. Access panels shall be labeled to properly identify system, coordinate with Mail Operations.
- Tenant's stockroom may not be visible from the sales area. Door(s) leading to the stockroom must have an automatic closure.
- All rear entries must have a doorbell for deliveries.
- All concrete patching must be level with the existing concrete floor.
- Tenant is required to install a waterproof membrane in all wet areas (Restrooms, Kitchens, food services, etc.) of the space. Tenant shall use a 30 mil polyethylene cleavage membrane (equal to Noblesseal TS) installed per manufacturers recommendations and ANSI A108. Membrane must be extended up the wall a minimum of 4" or equal to the height of the floor base.

Finish Plan Comments:

- Tenant shall provide a finish sample board or similar to the Landlord for approval.
- All flooring transitions must be smooth and flush. The use of plastic, vinyl, or rubber transitions strips is strictly prohibited. Tenants must utilize a hard surface transition.
- Tenant is required to install a waterproof membrane in all wet areas (Restrooms, Kitchens, food services, etc.) of the space. Tenant shall use a 30 mil polyethylene cleavage membrane (equal to Noblesseal TS) installed per manufacturers recommendations and ANSI A108. Membrane must be extended up the wall a minimum of 6" or equal to the height of the floor base.
- No rubber or vinyl base is permitted in the sales area of the premises.
- Slab requirements:**
Slab on grade: Tenant's General Contractor shall advise the Operations Team prior to any slab modification or removal. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.
- Elevated Slabs:** Tenant's General Contractor shall advise the Operations Team prior to any slab modification or removal. If any elevated slab is to be modified in anyway (drilled, cored, or penetrated), tenant shall provide stamped and certified drawings by a licensed structural engineer certified in the local jurisdiction. All penetrations shall be **CORE BORED ONLY**. Saw cutting, jack hammering, and trenching is strictly prohibited. All penetrations shall be sleeved, sealed, fire stopped, and waterproofed. The penetration sleeve shall extend a minimum of 4" on either side of the slab and be labeled with the required NFPA rating. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.

BRILLIANT EARTH

180 EL CAMINO REAL,
BLDG D
STE #71, GROUND
LEVEL
PALO ALTO, CA, 94304

1101 Second Ave, Ste 100
Seattle, WA 98101
206 962 6500
MG2.com

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ARB SET

01.25.2022

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△	DATE	DESCRIPTION
1	5/11/22	ARB REVISION

21-6008-01A
PM: SARAH SIMCHUK
DRAWN BY: MS

FLOOR PLANS

A101

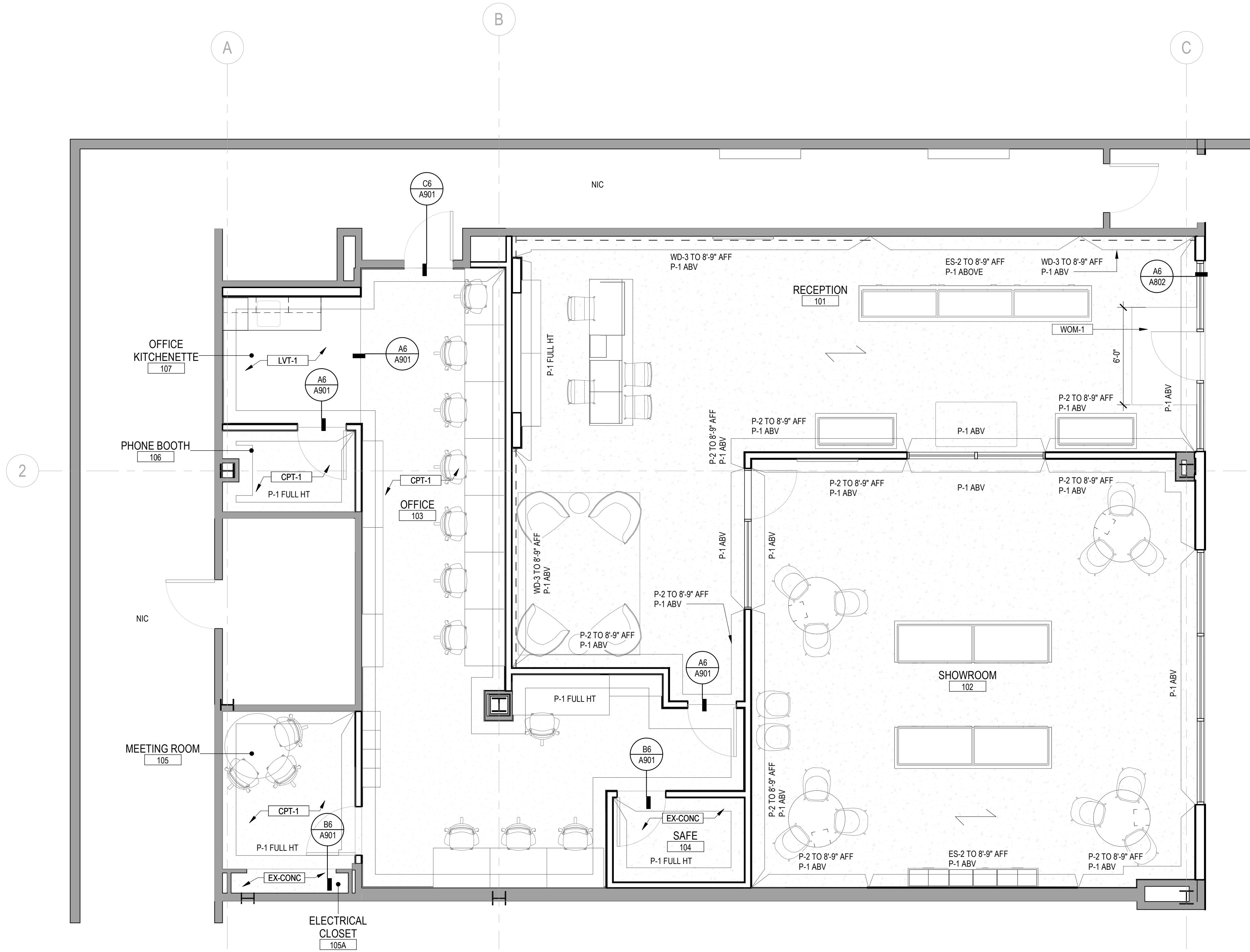
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Finish Plan Comments:

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- *All flooring transitions must be smooth and flush. The use of plastic, vinyl, or rubber transitions strips is strictly prohibited. Tenants must utilize a hard surface transition.
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SIMON

A4 FLOOR FINISH & WALL FINISH PLAN
SCALE: 1/4" = 1'-0"



FINISH NOTE KEY	
FLOOR FINISH:	?
WALL FINISH:	XX#
FLOOR FINISH DIRECTION:	
REF. TO MATERIAL SPECIFICATIONS ON A102A	

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FINISH PLAN

A102

11

ROOM FINISH SCHEDULE

REFER TO PLANS AND ELEVATIONS FOR ADDITIONAL INFO

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FINISH SCHEDULE

A102A

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Seattle, WA 98101**

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ARB MATERIAL BOARD



STANFORD SHOPPING CENTER
180 EL CAMINO REAL, BUILDING D
STE. #71, GROUND LEVEL
PALO ALTO, CA 92626

BRILLIANT EARTH **MG2**



PROPOSED EXTERIOR FACE

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EXTERIOR FINISH
BOARD

A102B

FIXTURE SCHEDULE						
FIXTURE TYPE	PART NUMBER	DESCRIPTION	COMMENTS	COUNT	SUPPLIED BY	INSTALLED BY
OK-02L	951-WR-LG-KSK-L	CONCIERGE KIOSK LARGE - LEFT		1	VENDOR	CONTRACTOR
CL-01	951-SR-CL-D3B	SHOWROOM CASELINE	DOUBLE CASE w/ (2) 56" 3 BAY DISPLAY CASE	2	VENDOR	CONTRACTOR
CT-01	951-SR-CT	CONSULTATION TABLE		4	VENDOR	CONTRACTOR
GFCR-01	951-R-CFRG	GROUND FLOOR RETAIL CABINETRY		1	VENDOR	CONTRACTOR
RC-01	951-R-CDZA	RETAIL CREDENZA	w/ (3) 56" 951-R-CDZA-1000 3 BAY DISPLAY CASES & (1) 951-R-CDZA-A	1	VENDOR	CONTRACTOR
RC-02	951-R-CDZA-SM	SMALL RETAIL CREDENZA		2	VENDOR	CONTRACTOR
RO-01	951-R-WR-RO	RETAIL OTTOMAN		1	VENDOR	CONTRACTOR
SC-01	951-SR-CAB	SHOWROOM CREDENZA		1	VENDOR	CONTRACTOR
TBWP	951-W-TBWP	TAMBOUR WALL PANELS	CONTRACTOR TO FIELD VERIFY TOTAL SIZE OF PANELS AND COORDINATE SIZE AND QUANTITY OF EACH PANEL WITH VENDOR. SEE ELEVATION DRAWINGS FOR LOCATION OF PANELS	25	VENDOR	CONTRACTOR

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS	COUNT	D x W x H	SUPPLIED BY	INSTALLED BY
ACC-02A	SIDE TABLE	TBD	TBD		2		OWNER	OWNER
ACC-03A	DECORATIVE FLOOR MIRROR	ROOM AND BOARD	INFINITI LEANING MIRROR	FRAME COLOR FOR DESIGN BY THE INCH: TAUPE. DEPTH IS THE FINAL TILT DIMENSION AND NOT THE FRAME THICKNESS	2	D 2' x W 3'-9" x H 8'-0"	OWNER	CONTRACTOR
ACC-05	AREA RUG	MAHARAM	QUERY 650095 - 011 DAYLIGHT		1	D 7'-6" x W 10'-0" x H 1/4"	OWNER	OWNER
BHC-01	BACK OF HOUSE CHAIR	FLASH FURNITURE	BL-X-5M-BK-GG		14	D 2'-0" x W 2'-1 1/2" x H 3'-5 1/4"	OWNER	OWNER
BHL-01	BACK OF HOUSE LOCKERS - SINGLE STACK	TBD	TBD		4		OWNER	OWNER
BHT-01	BACK OF HOUSE TABLE	TBD	TBD		1	D 4'-0" x W 4'-0" x H 2'-5"	OWNER	OWNER
BHWS-01-3' 6"	BACK OF HOUSE WORKSTATION 3'-6" WIDE	GRAND + BENEDICTS	PARSONS		10	D 2'-6" x W 3'-6" x H 2'-5 1/2"	OWNER	CONTRACTOR
BHWS-01-6"	BACK OF HOUSE WORKSTATION 6" WIDE	GRAND + BENEDICTS	PARSONS		1	D 2'-6" x W 6'-0" x H 2'-5 1/2"	OWNER	CONTRACTOR
BS-01	CONCIERGE STOOL	BLU DOT	CHIP		4	D 1'-8 5/8" x W 1'-6 3/8" x H 3'-1"	OWNER	OWNER
CH-01	WAITING ROOM LOUNGE CHAIR	BERNHARDT FURNITURE	CATHERINE CHAIR		4	D 2'-8 3/4" x W 2'-10" x H 2'-5 1/4"	OWNER	OWNER
CH-02	SHOWROOM CHAIR	BERNHARDT FURNITURE	CHLOE GUEST CHAIR		14	D 2'-0 3/4" x W 1'-8 1/4" x H 2'-8 1/2"	OWNER	OWNER

- 1 WALL OUTLET AT 24" AFF
- 2 FLOOR POWER, LOCATE PER PLAN. TRENCH TO LOCATIONS SHOWN.
- 3 PROVIDE BLOCKING AT CABINETRY
- 4 PROVIDE 30 MIL VAPOR BARRIER BENEATH CASEWORK AND UP THE WALL AT KITCHENETTE PER F6/A802
- 5 CLEAR FLOOR SPACE FOR ACCESSIBLE LOCKERS
- 6 CLEAR FLOOR SPACE FOR ACCESSIBLE KIOSK
- 7 FOH RETAIL RECEPTION LOCATION
- 8 LOCKERS OVER 72" AFF TO BE SEISMICALLY ANCHORED TO WALL.

- GC TO MAKE FINAL ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT, FURNITURE AND FIXTURES AS REQUIRED. COORDINATE WITH CUT SHEET AND SHOP DRAWINGS

D4	D5	D7
A601	A601	A601

* Tenant shall be solely responsible for the design, installation, and use of any display or storage system(s) within the Premise, including all compliance with applicable building codes, fire codes and the requirements of any insurance rating bureaus. If anything done, omitted to be done or suffered to be done by Tenant in, upon or about the Premises in regard to such display or storage system(s) shall result in a fire code violation(s) and the Tenant fails to take corrective action and / or pay the associated fine, regardless of whether assessed against Tenant or Landlord, within the prescribed time period, then Tenant shall be liable for all costs and expenses resulting from such violation(s) and landlord shall have the right to correct any such condition(s) at Tenant's expense.

• Tenant displays or Storage higher than 12'-0" are classified as "high piled storage", which requires high hazardous automatic (fire) sprinkler protection designed per FM Global Loss Prevention Data Sheet and NFPA requirements for the storage of "Group A Plastic" commodities. High piled storage also requires a minimum of 36" of clearance between the top of storage and sprinkler deflectors.

- Tenant's Architect and General Contractor shall provide the following information to the mall required Sprinkler Contractor regarding stock / storage area:
 - o Type of storage system(s). (Including details of the storage system(s).
 - o Type of shelving. (Wire mesh / Solid wood / Solid Steel, etc.)
 - o Type of commodities. (Plastics, aerosol/s, clothing, etc)
 - o Elevation of highest shelf / ceiling height.

SIMON



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A103

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Storefront Elevation / Section Comments:

•If not already existing, tenant must provide a sealed partition above the storefront to separate the Common Area ceiling from the tenant's space. (Shall be rated if required by code and all penetration shall comply and be labeled with the required NFPA rating.)

•Nothing is permitted to be attached to, suspended from, or penetrate Landlord's structure, floor deck, or roof deck. You may attach, non-destructively, to or suspend from the top chord of the joist or the structural steel which exists above the tenant space. When attaching to landlord's structure, do NOT drill, weld, screw, or shoot into structure. Alternative methods of attachment ONLY, nothing to damage landlord's base building structure. Tenant shall provide signed and sealed structural drawings, by a structural engineer with legally active registration as indicated by all jurisdictional requirements, for all structural modifications for Landlord records.

•Any Landlord equipment, component, and / or service feeding other tenant(s) that is existing in the space must remain visible and accessible to the Landlord. Tenant shall install access panels as required to maintain access. Access panels shall be label to properly identify system, coordinate with Mall Operations.

•When Storefront Grilles are permitted by Landlord, they must be floor supported and shall attach to Landlord's structure for lateral support only. When in open position, bottom rail of grille must be fully recessed into ceiling treatment above. No welding to structure is permitted.

•Slat wall may not be used within the first 5'-0" of the space.

•Vertical glass joints shall be frameless butt joints.

•Painted drywall is not an acceptable storefront finish.

•Any damage to mall property or adjacent tenants during construction must be repaired to Mall specifications, at Tenant's expense.

•Storefront sign must be on a 7-day, 24-hour time clock. Illuminated signs must remain illuminated during all mall hours.

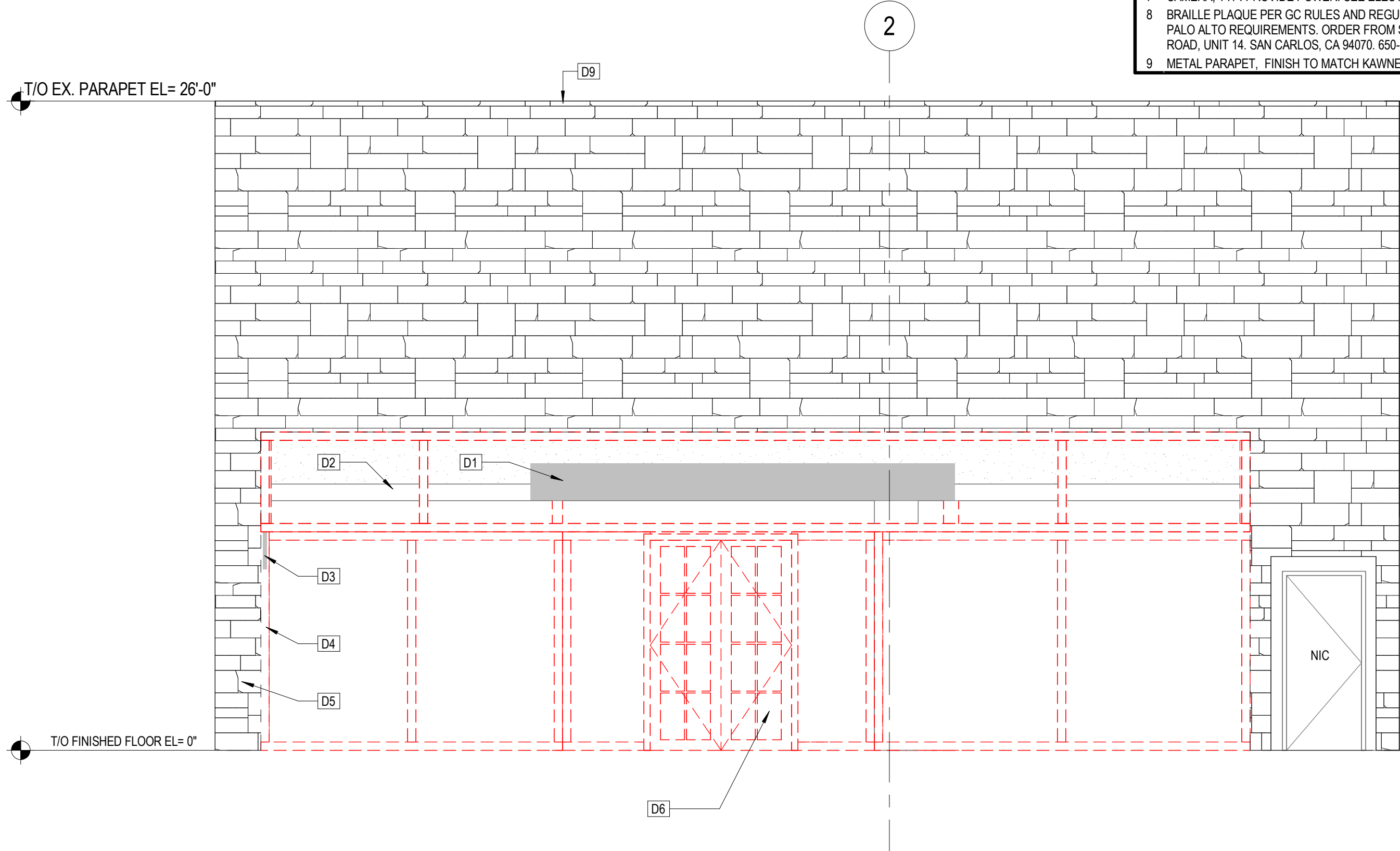
•Approval of the Tenant's Construction / Design Documents by the Landlord shall not constitute review and approval of the Tenant's Signage. Signage shop drawings must be submitted under separate submittal for Landlord review and approval prior to fabrication and installation of the sign.



ENVELOPE CONSTRUCTION
TYPICAL EXTERIOR CFS WALL CONSTRUCTION 1/2" THICK BRICK ON THIN SET MORTAR WATER RESISTIVE BARRIER 5/8" CEMENT TILE BACKER BOARD 7/8" FURRING HAT CHANNEL 6" STEEL STUD FACED R-13 FIBERGLASS BATT INSULATION WITHIN CAVITY 5/8" GWB FINISH PER PLAN

KEYNOTES EXTERIOR DEMO ELEVATIONS
D1 EXISTING BUILDING SIGNAGE TO BE REMOVED. D2 EXISTING ENTRY CANOPY TO BE REMOVED D3 EXISTING TENANT BLADE SIGN TO BE REMOVE D4 EXISTING STOREFRONT GLAZING AND MULLIONS TO BE REMOVED. D5 EXISTING STONE FINISH TO BE REMOVED D6 EXISTING DOORS, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED. D9 EXISTING PARAPET COPING TO BE REMOVED.

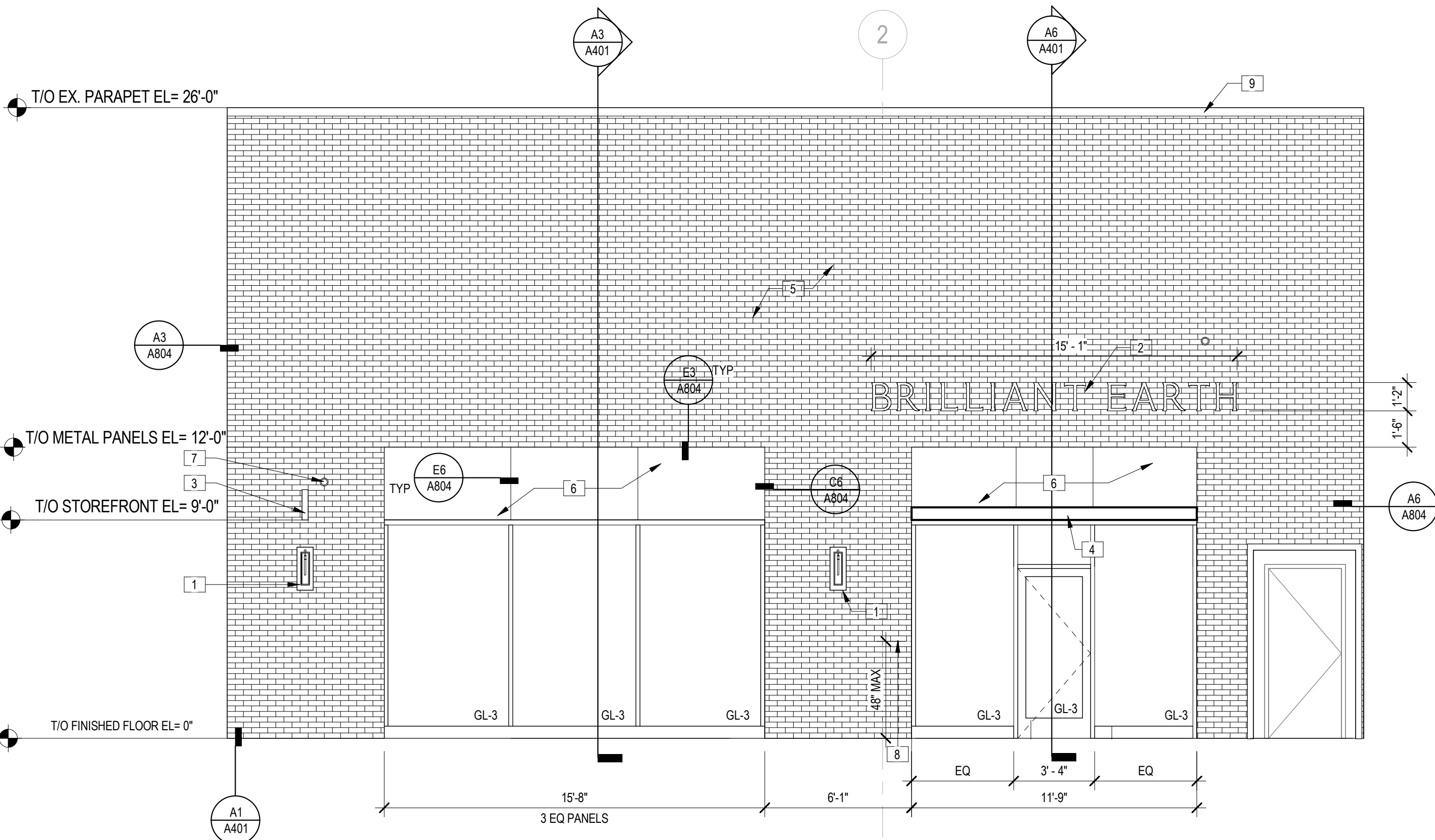
KEYNOTES EXTERIOR ELEVATIONS
1 SCONCE TO BE CENTERED ON WALL. SEE ELECTRICAL. 2 BUILDING-MOUNTED PRIMARY SIGNAGE UNDER SEPARATE PERMIT, PROVIDE POWER. SEE ELECTRICAL. 3 ILLUMINATED BLADE SIGN UNDER SEPARATE PERMIT, PROVIDE POWER. SEE ELECTRICAL. 4 PREFINISHED METAL ENTRY CANOPY. FINISH TO MATCH KAWNEER CHAMPAGNE #18. 5 WHITE PAINTED BRICK. FINISH P-1. 6 METAL PANELS ABOVE STOREFRONT. ALIGN SEAMS WITH MULLIONS. FINISH TO MATCH KAWNEER CHAMPAGNE #18. 7 CAMERA, TYP. PROVIDE POWER. SEE ELECTRICAL. 8 BRAILLE PLAQUE PER GC RULES AND REGULATIONS. COMPLY WITH CITY OF PALO ALTO REQUIREMENTS. ORDER FROM SIGNWORKS, 1200 INDUSTRIAL ROAD, UNIT 14. SAN CARLOS, CA 94070. 650-508-7446 9 METAL PARAPET. FINISH TO MATCH KAWNEER CHAMPAGNE #18.



C4 DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



A1 RENDERED CONCEPT ELEVATION
SCALE: 1/4" = 1'-0"



A4 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

BRILLIANT EARTH

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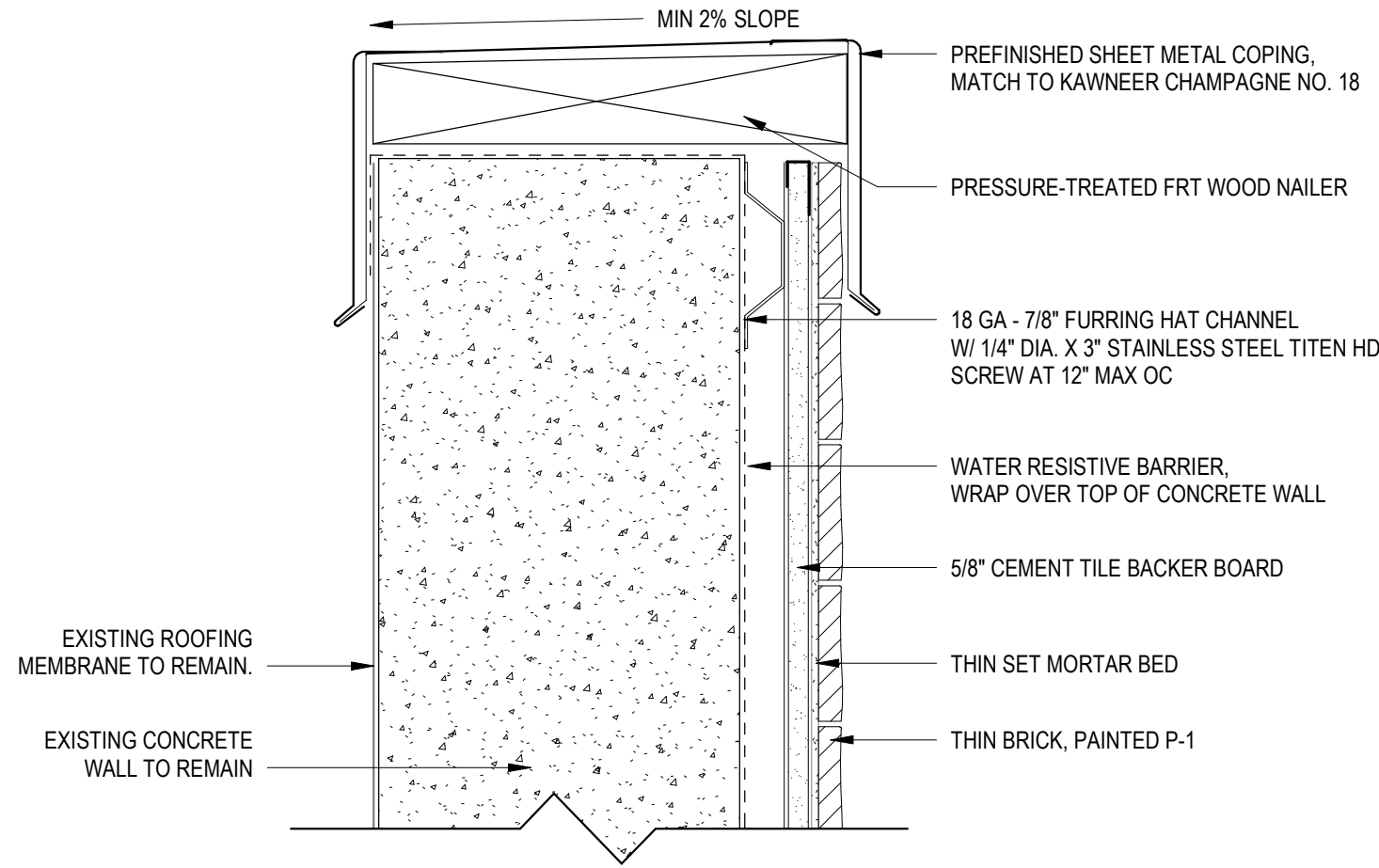
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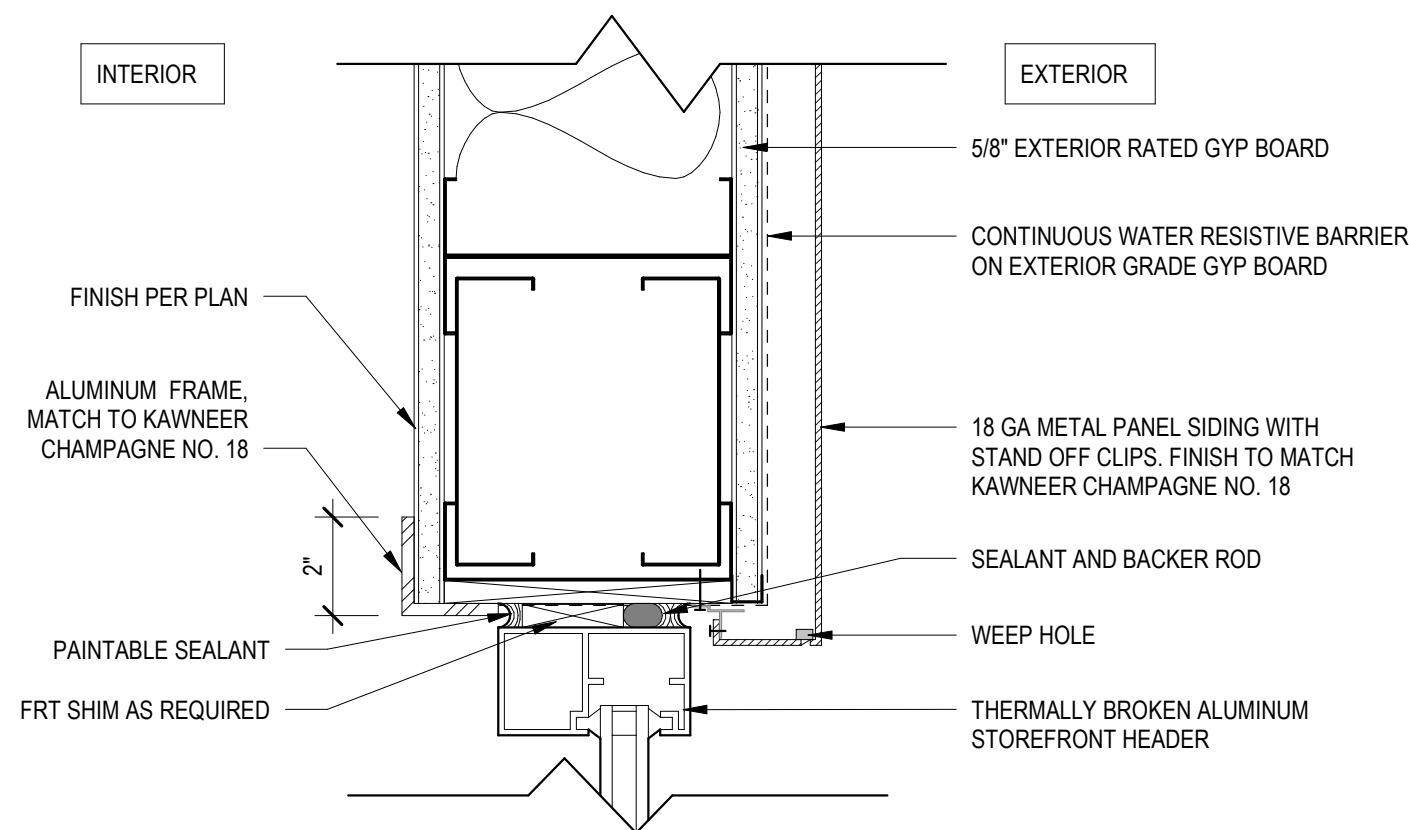
EXTERIOR
ELEVATIONS

A201

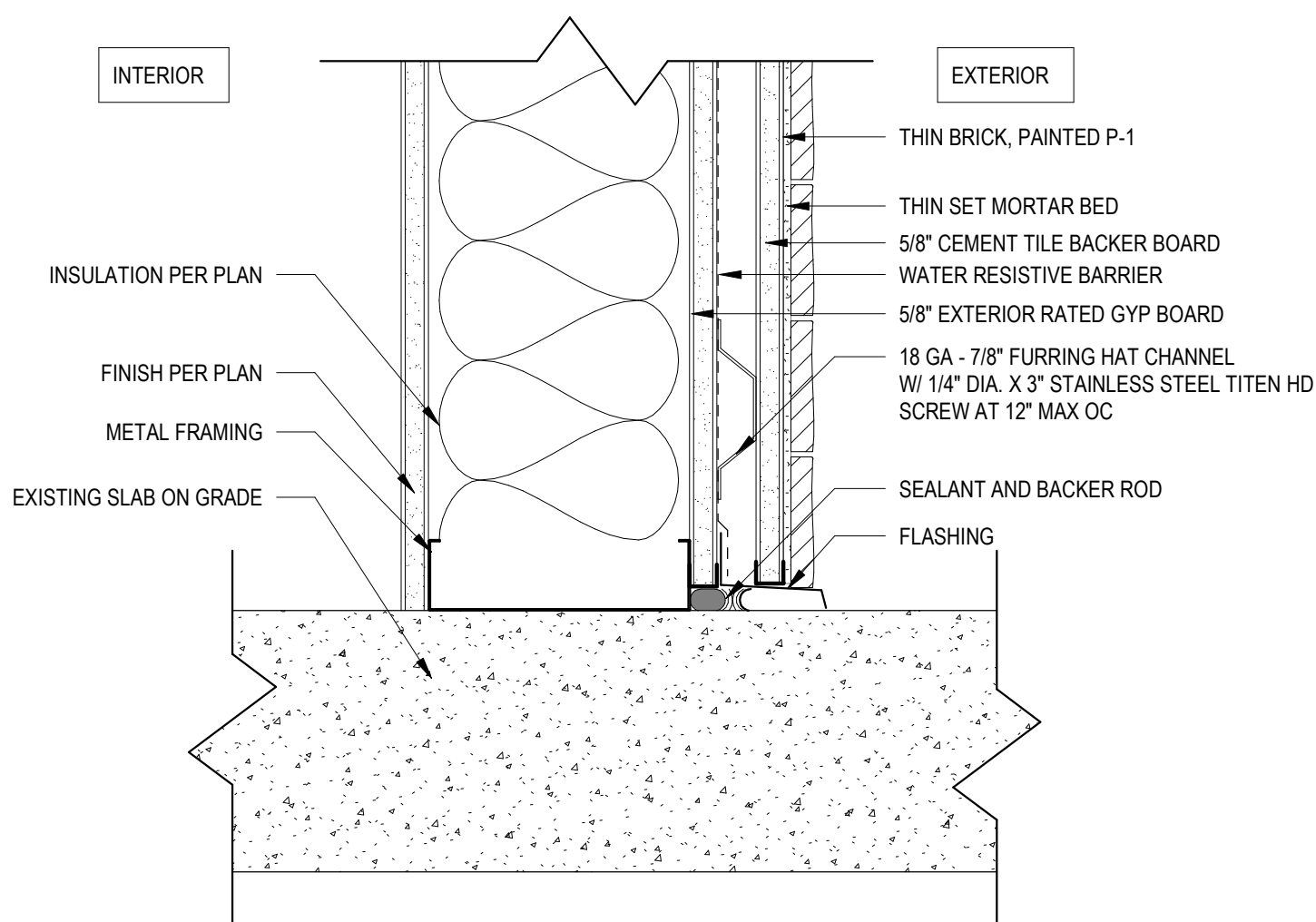
5/10/2022 10:01:48 PM Autodesk Docs://BE-Sequoia-2-21-6008-01/A_BE_Sequoia_2_R22.rvt



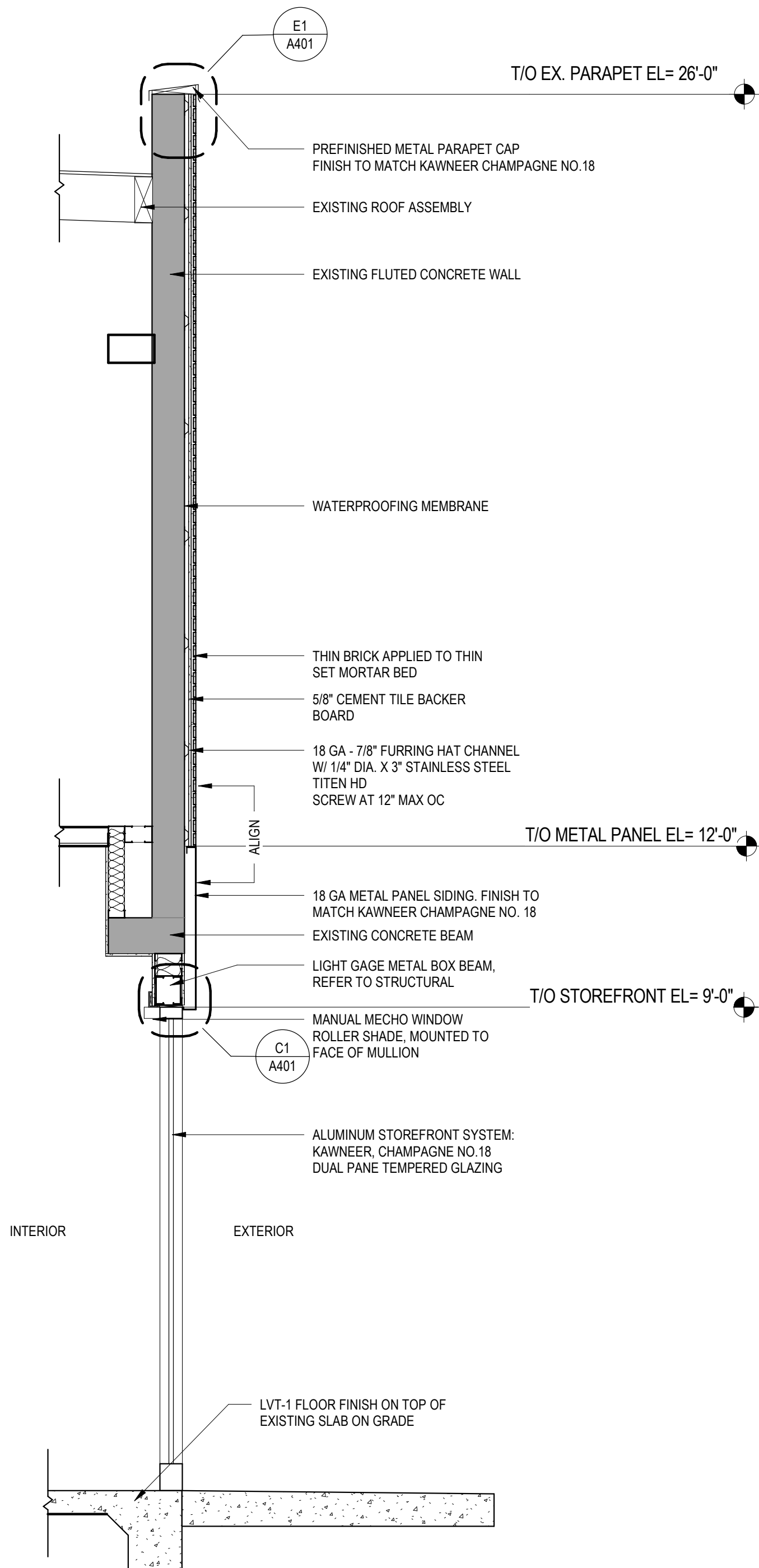
E1 PARAPET DETAIL
SCALE: 3" = 1'-0"



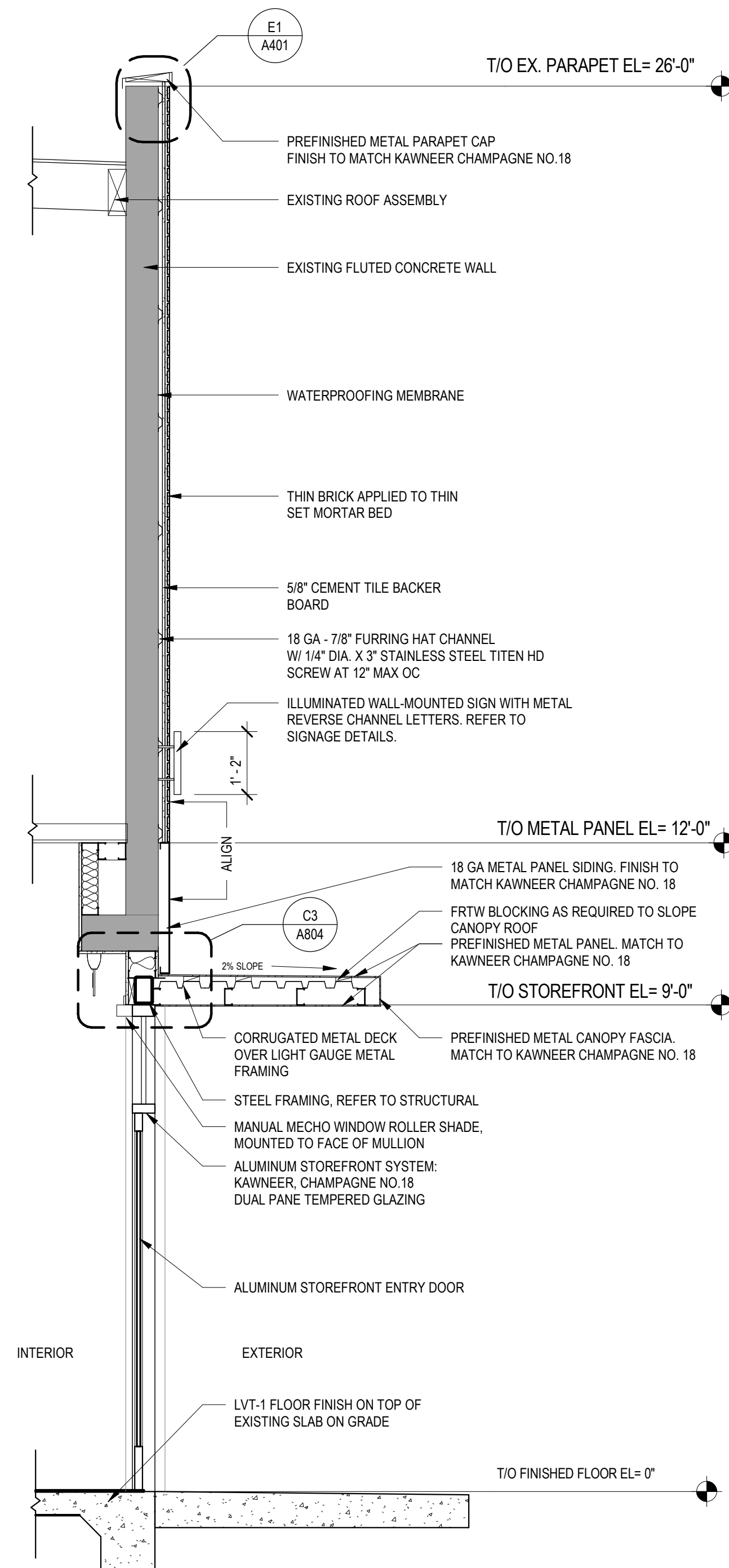
C1 STOREFRONT HEADER DETAIL
SCALE: 3" = 1'-0"



A1 BRICK BASE DETAIL
SCALE: 3" = 1'-0"



A3 EXTERIOR STOREFRONT SECTION AT SHOWROOM
SCALE: 1/2" = 1'-0"



A6 EXTERIOR STOREFRONT SECTION AT RETAIL
SCALE: 1/2" = 1'-0"

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PM: SARAH SIMCHUK
DRAWN BY: JD

WALL SECTIONS

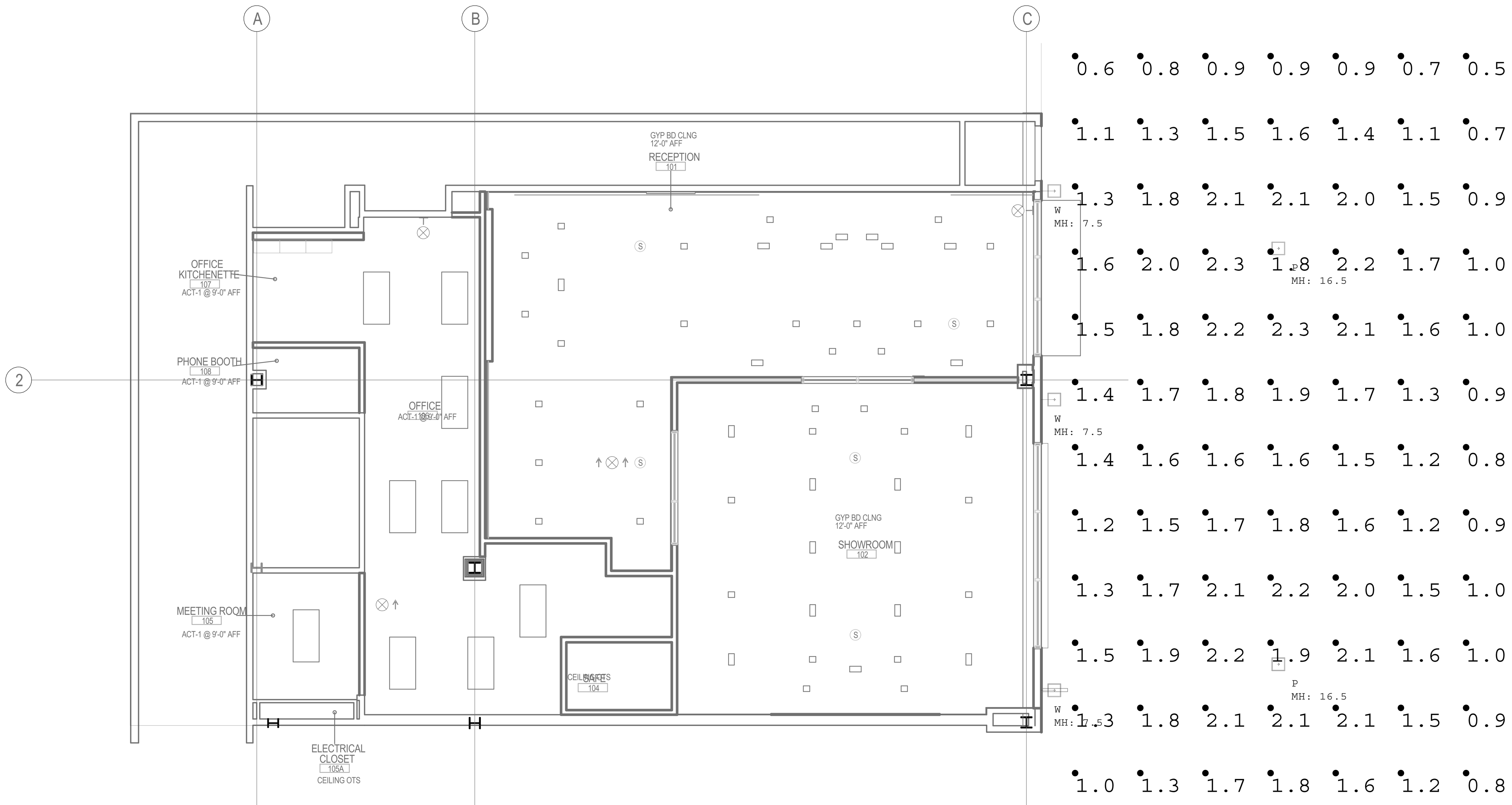
A401


A804

A810

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FRONT OF STORE	Illuminance	Fc	1.50	2.3	0.5	3.00	4.60

CALCULATION POINTS AT 5' O.C.
CALCULATION POINTS ARE AT GROUND
REFLECTANCES ARE .5



	Project:	BRIGHT EARTH FRONT Y STORE		
	Agent:	ROBIN GRETZ		
	Specify:	CED NATIONAL ACCOUNTS		
	Disclaimer:	The calculations set forth herein are based on project specifications provided to us. Actual or measured values may differ from forecasted results due to tolerances in calculation methods, testing procedures, or field conditions. The calculations are based on the information provided and are not intended to be used for any other purpose. The calculations are not intended to be used for any other purpose. The calculations are not intended to be used for any other purpose.		
	Rev. #	Description	Rev. Date	
	R1	.....	04/16/2020	
	R2	.....	.....
	R3	.....	.....
	R4	.....	.....
	R5	.....	.....