

## PROJECT SCOPE

NEW TENANT IMPROVEMENT ON GROUND LEVEL OF EXISTING "M" OCCUPANCY BUILDING UP TO TENANT LEASE LINE. EXTERIOR SCOPE INCLUDES NEW STOREFRON AND LIGHTING. INTERIOR SCOPE INCLUDES NEW PARTITIONS; FLOOR, CEILING, AND WALL FINISHES; HVAC DUCTING, NEW LIGHTING AND NEW PLUMBING FIXTURES FOR KITCHENETTE.

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# SEQUOIA 2.0

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304

PROJECT NUMBER:21-6008-01A

ARB SET 01.25.2022

# WORK PERMIT PRIOR TO A HOT WORK ACTIVITY. 2019 CAL GREEN STANDARDS CODE, TITLE 24

GENERAL FIRE NOTES

1. EXIT SIGNS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE DEPARTMENT LOCK BOX

2. SEPARATE PERMIT REQUIRED FOR MODIFICATION TO THE FIRE SPRINKLER/FIRE ALARM

3. IF ANY CONSTRUCTION/TENANT IMPROVEMENT WORK IS DONE THAT MAY IMPACT THE

BUILDING FIRE ALARM SYSTEM THEN THE FIRE MONITORING COMPANY MUST BE NOTIFIED. IF THE FIRE ALARM SYSTEM IS ACCIDENTALLY ACTIVATED IMMEDIATELY CALL THE CITY OF PALO

ALTO COMMUNICATION CENTER AT 650-329-2613 TO REPORT THE INCIDENT. MULTIPLE FALSE

4. ANY ONSITE CONSTRUCTION ACTIVITY THAT EMITS/PRODUCES HEAT OR FLAME INCLUDING

WELDING, BRAZING, HEATING OR USE OF LARGE/SMALL GENERATORS REQUIRES A HOT WORK PERMIT FROM THE PALO ALTO FD. EMAIL 'FIRE@CITYOFPALOALTO.ORG' TO OBTAIN A HOT

AND ADDRESS POSTING LOCATIONS TO BE FIELD VERIFIED BY FIRE INSPECTOR.

SYSTEMS.

ALARMS WILL RESULT IN FINES.

PART 11, CHAPTER 5 - NONRESIDENTIAL MANDATORY MEASURES

1. GC TO COMPLY WITH CONSTRUCTION WASTE MANAGEMENT PROCEDURES PER 5.408.1-4

2. GC TO COMPLY WITH ENHANCED CONSTRUCTION WASTE MANAGEMENT PROCEDURES PER PAMC 16.14.370 SECTION A5.408

3. GC TO COMPLY WITH UNIVERSAL WASTE PROCEDURES PER 5.408.2

4. GC TO PROVIDE OWNER WITH OPERATION AND MAINTENANCE (O&M) MANUAL PER 5410.4.5 & 5410.4.5.1

5. GC TO PROVIDE TEMPORARY VENTILATION DURING CONSTRUCTION PER 5.504.1

6. GC TO COMPLY WITH COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION PER 5.504.3

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							•										SUITE INTERIOR
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							•	•				•					PLUMBING DISTRIBUTION & STACKING
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																	FIRE PROTECTION
							•	•				•					SPRINKLER LOCATIONS & DISTRIBUTION***
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							•	•				•					ELECTRICAL DEVICES, PANELS &
				•				•				•					ELECTRICAL DEVICE LOCATIONS
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							•	•									TELEPHONE/ DATA LOCATIONS
							•	•				•					AUDIO/ VISUAL CABLING & DEVICES AUDIO/ VISUAL DEVICE LOCATIONS
				•				•				•					CAMERA DEVICES
								•				•					CAMERA LOCATIONS
							•	•				•					ELECTRICAL STRIKE DEVICES
												•	•				ELECTRICAL STRIKE LOCATIONS
																	EQUIPMENT & SPECIALTIES
				•	•												SAFE
				•	•												EXTERIOR SIGNAGE INTERIOR "BRILLIANT EARTH" SIGNAGE
																	FURNISHINGS
							•	•									KITCHEN MILLWORK/ WINDOW FRAMES
				•				•									JEWELRY DISPLAY FIXTURES AND TABLES**
			•	•	•												PERIMETER WINDOW TREATEMENTS
				•	•												FURNITURE
							•	•									APPLIANCES
	•			•													PERMITS  ACCELERATED APPLICATION
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# BRILLIANT EARTH

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SIMON General Comments:

Contact Mall Management office.

coordinate with Mall Operations.

to be adhered to in the field.

in drawing set.

requirements, including barricade graphics.

Plans reviewed and approved by Landlord's Tenant

accompanied by plans approved for building permit. Any

proposed deviation from the Landlord approved plans must

resubmitted by the Tenant to the Landlord for re-approval

prior to any construction changes taking place in the field.

Tenant's GC is required to check in with Landlord's on site

Property Manager prior to the start of tenant construction.

Contact Property Management for construction barricade

Regulations and as instructed on site by Mall Management.

or construction (mall flooring, bulkhead, neutral piers, etc.)

•Any Landlord equipment, component, and / or service

panels shall be labeled to properly identify system,

feeding other tenant(s) that is existing in the space must

remain visible and accessible to the Landlord. Tenant shall

All Landlord comments from previous review(s) are to be

or electrical, plumbing or HVAC systems currently in the

existing condition or equipment to be re-used must be

restored to like new conditions. The Landlord makes no

•If at any point a failure, upgrades, and / or improvements to

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existing systems occur, it is the sole responsibility of the

tenant to repair or replace, at tenant expense.

can reduce energy consumption.

incorporated into the final set of approved drawings and are

will be repaired per Mall specifications, at tenant's expense.

Coordinator must be present on the job site and be

be numbered and clouded on the plans, and then

**ABBREVIATIONS** LEGEND OF SYMBOLS SHEET IDENTIFIER A1 — A101 ACOUSTICAL MASONRY DETAIL IDENTIFICATION ACSF ACCESS FLOORING MAX MAXIMUM ACT ACOUSTICAL CEILING TILE MECH MECHANICAL SHEET IDENTIFIER MEZZ MEZZANINE **DETAIL VIEW BUBBLE** MFCR ADJACENT MANUFACTURER MH - VIEW IDENTIFICATION ABOVE FINISHED FLOOR MANHOLE VIEW NUMBER ALUMINUM MHO MAGNETIC HOLD OPEN SHEET LOCATION MIN ALTERNATE (A101) MINIMUM, MINUTES A1/AXXX MISC ANOD ANODIZED MISCELLANEOUS APPROX MASONRY OPENING **APPROXIMATE**  SHEET IDENTIFIER BUILDING SECTION MATCH LINE REFERENCE **ARCHITECTURAL** MOISTURE RESISTANT ASPH MTD ASPHALT MOUNTED - DETAIL IDENTIFICATION DETAIL IDENTIFICATION MTG MTL BOARD MOUNTING **BITUMINOUS** METAL BLDG MULL BUILDING MULLION BLK'G BLOCKING NOT APPLICABLE SHEET IDENTIFIER SHEET IDENTIFIER DETAIL SECTION NOT IN CONTRACT WALL SECTION ВО **BOTTOM OF** NUMBER BOT BOTTOM NOM NOMINAL DETAIL IDENTIFICATION BTWN BETWEEN NTS NOT TO SCALE A1 A101 CAB CABINET OVERALL **▲** A101 IDENTIFICATION SHEET IDENTIFIER CB CATCH BASIN ON CENTER CEM CEMENT **OUTSIDE DIAMETER** INTERIOR ELEVATION CORNER GUARD OVERHEAD **EXTERIOR ELEVATION** IDENTIFIER OPN'G OPP PERP CAST IRON OPENING CAST IN PLACE OPPOSITE JOM NAME

101

ROOM NUMBER 150 SF

AREA PERPENDICULAR CONSTRUCTION JOINT, (101) CONTROL JOINT PROPERTY LINE, PLATE PLAM PLAS CENTERLINE PLASTIC LAMINATE CEILING PLASTER CLR CMU COL CONC **DOOR NUMBERS** <u>ROOM NAME & NUMBER</u> PLBG CLEAR PLUMBING PLT CONCRETE MASONRY UNIT PLATE COLUMN PLYWD PLYWOOD EXISTING: NEW: CONCRETE PNL PANEL CONN PAIR CONNECTION **PREFIN** CONSTRUCTION PREFINISHED **WINDOW NUMBER** <u>WALLS</u> CONT PRESS T PRESSURE TREATED CONTINUOUS CORR CPT CORRIDOR PROJ PROJECT PLAN CONFIGURATION CARPET POST-TENSIONED CR CARD READER POINT, PAINT INSULATION CERAMIC TILE **QUARRY TILE** CUBIC FEET QTR QUARTER DEPT — SECTION CONFIGURATION DEPARTMENT RADIUS, RISER **KEY NOTES** WALL TYPE **DRINKING FOUNTAIN** RESILIENT BASE, RUBBER BASE DIAMETER RCP REFLECTED CEILING PLAN LEVEL NAME DIM RD **ROOF DRAIN** DIMENSION DISP REC'D DISPENSER RECEIVED 0'-0" AFF REF REFR DOWN REFERENCE REFRIGERATOR DOWNSPOUT DATUM ELEVATION **REVISION DELTA & CLOUD** REINF DETAIL REINFORCING DWG DRAWING REQ'D REQUIRED EACH RUBBER FLOORING +0'-0" EFS EXTERIOR FINISH SYSTEM ROOM EIFS EXTERIOR INSULATION **ROUGH OPENING** ROW & FINISH SYSTEM RIGHT OF WAY SAN **EXPANSION JOINT** SANITARY **SPOT ELEVATION DATUM INDICATOR** ELEVATION SOLID CORE ELECTRICAL **SCHED** SCHEDULE DETAIL IDENTIFICATION SECT ELEV **ELEVATOR** SECTION NAME -EPT **EPOXY PAINT** SQUARE FEET A101 EPX EQ **EPOXY-QUARTZ FLOORING** OCCUPANT LOAD SHEET IDENTIFIER SHT MTL SHEET METAL **OCCUPANCY TAG** 3D CAMERA VIEW EQUIP SIM **EQUIPMENT** SIMILAR EW EACH WAY SCORE JOINT EXIT END<sub>45'-0"</sub> SEGMENT DISTANCE **EWC** SPEC ELECTRIC WATER COOLER SPECIFIED, SPECIFICATION EWH ELECTRIC WATER HEATER EXTENT OF SQUARE EXH SANITARY SEWER **EXHAUST** EXIT PATH **EXISTING** STAINLESS STEEL EXIT END -EXP EXT STONE MASONRY OR TILE EXPOSED STRUCTURE **EXIT ROUTE** EXTENT OF WORK EXIT PATH NAME STD EXTERIOR STANDARD VIEW NAME FAC FIN FACTORY FINISH FLOOR DRAIN STOR STORAGE SCALE FOUNDATION STRUCT STRUCTURAL NUMBER (OPTIONAL) FIRE EXTINGUISHER SUSP SUSPENDED SCALE: 1/8" = 1'-0" 0' FIRE EXTINGUISHER CABINET SYM SYMMETRICAL DETAIL SCALE FINISHED FLOOR SYS SYSTEM FF&E FURNITURE, FIXTURES TOP, TREAD & EQUIPMENT T&B TOP AND BOTTOM FINISH T&G **TONGUE & GROOVE** NEW GRID **EXISTING** FLOOR TO BE DETERMINED GRID FO FOC FACE OF TELEPHONE TEMP FACE OF CONCRETE **TEMPORARY** GRIDLINE BUBBLE FOF FACE OF FINISH TER TERRAZZO FOIC TOC FURNISHED BY OWNER TOP OF CONCRETE NON RATED PROJECT NORTH -TOJ INSTALLED BY CONTRACTOR TOP OF JOIST 1-HOUR RATED ORIENT TO BUILDING FOIO TOM TOP TOP OF MASONRY FURNISHED BY OWNER 2-HOUR RATED INSTALLED BY OWNER TOP OF PARAPET 3-HOUR RATED TRUE NORTH TOS TOP OF STEEL / STUD FACE OF STUD FRP FRT TOW TYP FIBER REINFORCED PLASTIC TOP OF WALL 4-HOUR RATED FIRE RETARDANT TREATED UNDERWRITER'S LABORATORIES FLOOR SINK PARTITION FIRE RATINGS **NORTH ARROW** FOOT/FEET UNLESS NOTED OTHERWISE UTL VAR \*Tenant's GC is responsible to comply with all Mall Rules and FOOTING UTILITY **FURNISHED** VARNISH REFLECTED CEILING PLAN SYMBOLS FURRING VINYL BASE FABRIC WRAP WALL PANEL VCT VINYL COMPOSITION TILE Any damage to Landlord's property during tenant demolition **VERT** GAUGE VERTICAL GALV GALVANIZED **VEST** VESTIBULE S SPEAKER GRAB BAR VERIFY IN FIELD SPRINKLER GENERAL CONTRACTOR VENEER PLASTER GALVANIZED IRON VINYL TILE SOUND SYSTEM COMPONENTS **FIRE PROTECTION ITEMS** VINYL TILE FLOORING GLASS VTF GWB GYPSUM WALLBOARD GYP WITHOUT W/O install access panels as required to maintain access. Access GYPSUM (C) CAMERA, CEILING HOSE BIBB WOOD BASE MOUNTED 360 WATER CLOSET, WALL COVERING **HOLLOW CORE HDWR** HARDWARE WOOD C ) CAMERA, CEILING WDC HARDWARE GROUP WOOD CEILING MOUNTED DIRECTIONAL HOLLOW METAL WDP WOOD PANELING HORIZ WOOD FLOORING HORIZONTAL RETURN, EXHAUST OR (C) CAMERA, WALL MOUNTED HIGH POINT WINDOW TRANSFER HEIGHT WALK OF MAT OR CARPET •All Landlord comments on this set of drawings shall apply to HTR HEATER WATERPROOF, OR WORK POINT the entire document set, even if not repeated on every sheet HVAC HEATING, VENTILATION WATER RESISTANT LINEAR TYPE: & AIR CONDITIONING WRB WEATHER RESISTANT BARRIER SUPPLY, RETURN, WS WEATHERSTRIP INTERNATIONAL BUILDING CODE EXHAUST OR INSIDE DIAMETER WSCT WAINSCOT TRANSFER The re-use of any existing construction, finishes, equipment, **HVAC ITEMS INVERT ELEVATION** WEIGHT WELDED WIRE FABRIC space is conditional upon it being appropriate for re-use. Any INSUL INSULATION INTERIOR **JANITOR** warranty on the re-use of any existing condition in the space. JOINT LENGTH, LONG LAMINATE POUND LINEAR FEET LIQUID LINEAR METAL CEILING Landlord and Tenant responsibilities are as defined in Lease LOW POINT LIGHT WEIGHT Landlord strongly prefers use of energy star products and/or equipment whenever possible during Tenant build out, which SIMON

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BRILLIANT EARTH

180 EL CAMINO REAL BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



ARB SET

01.25.2022

TERRY W. ODLE, ARCHITECT

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 $\triangle$  DATE DESCRIPTION

21-6008-01A PM: SARAH SIMCHUK DRAWN BY: MS

**GENERAL ARCHITECTURAL** INFORMATION

## **GENERAL NOTES**

#### GENERAL NOTES

- THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED AS A CONDITION OF THE CONTRACT TO ACQUAINT THEMSELVES WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES AND TO NOTIFY AND APPRISE ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND BIND THEM TO, ITS CONDITIONS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. CONSTRUCTION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS
- THE CONTRACTOR SHALL REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS. ANY CONFLICTS OR DISCREPANCIES SHALL BE REPORTED IN WRITING THREE (3) BUSINESS DAYS BEFORE RETURN OF BID. THE GENERAL CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT WORK IS BUILDABLE AS SHOWN.
- DRAWINGS OF BASE BUILDING CONDITIONS ARE GENERATED FROM AS-BUILT DRAWINGS AND LIMITED FIELD OBSERVATION BY THE ARCHITECT. ACTUAL CONDITIONS MAY DIFFER FROM THOSE SHOWN
- THE CONTRACTOR SHALL PICK UP PERMITS AT BUILDING DEPARTMENT WHEN APPROVED AND PAY FOR ALL OUTSTANDING ISSUANCE FEES.
- THE CONTRACTOR SHALL ARRANGE FOR ALL REQUIRED INSPECTIONS AND SHALL OBTAIN CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE LENGTH OF THEIR CONTRACT, EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS AND/OR OWNER REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
- WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT CLEAN, AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT
- 12 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OUTSIDE VENDORS INCLUDING, BUT NOT LIMITED TO, TELEPHONE, DATA AND "OWNER'S FORCES" ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING, FITTING AND PATCHING REQUIRED TO RECEIVE THE WORK OF OTHERS AS SHOWN OR REASONABLY IMPLIED BY THE DRAWINGS AND SPECIFICATIONS.
- 13 ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD SHALL BE FIRE RETARDANT TREATED WHERE REQUIRED BY LOCAL BUILDING AND BUILDING OWNER'S REQUIREMENTS.
- 14 THE CONTRACTOR SHALL PROVIDE BACK FLOW DEVICES AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.
- WORK NOT PARTICULARLY DETAILED, NOTED OR SPECIFIED, SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, NOTED OR SPECIFIED.
- IN THE EVENT OF INCONSISTENCIES AMONG THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL INTERPRET THEM WHEN ASKED TO DO SO BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE RESULTS OF SUCH INTERPRETATIONS MADE BY OTHERS.
- 17 THE GENERAL CHARACTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUM ENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL LAYOUTS OR
- LARGE SCALE OR FULL SIZE DETAILS. 18 DRAWINGS AND DIAGRAMS FOR MECHANICAL AND ELECTRICAL WORK SHALL BE CONSIDERED AS DIAGRAMMATIC ONLY, NOT TO BE USED FOR ANY STRUCTURAL GUIDANCE OR PHYSICAL LAYOUT. IN CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECT'S DRAWING SHOWING LOCATIONS FOR MECHANICAL AND
- 19 UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQUIPMENT, CASEWORK, MECHAN ICAL, ELECTRICAL AND SIMILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY INSTALLED, HOOKED-UP, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED, AND THAT ALL COSTS FOR THIS BE INCLUDED IN THE CONTRACTOR'S PROPOSAL
- COORDINATE ALL DELIVERIES WITH OWNER
- MAINTAIN FIRE RATING OF ALL EXISTING COLUMNS.
- 22 DO NOT ALTER BUILDING STRUCTURE UNLESS SPECIFICALLY DIRECTED TO DO SO BY ARCHITECT OR STRUCTURAL ENGINEER.
- 23 NO DISSIMILAR METALS SHALL BE IN CONTACT WITH PIPING. DIELECTRIC CONNECTORS SHALL BE USED WHERE REQUIRED

PROMPTLY MAKE ALL CHANGES AS REQUIRED TO COMPLY THERE WITH AND BEAR ALL COSTS ARISING THEREFROM.

#### STANDARDS AND CODES

- GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANC ES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THERE WITH, PROMPTLY NOTIFY THE PROJECT MANAGER AND/OR ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS.
- IF THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, THEY SHALL
- 3 CONFLICTS: IN CASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.
- WHERE CODES OR REGULATIONS OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF THE SPECIFICATIONS. IT SHALL BE
- UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN. REPAIR AND PATCH ALL PENETRATIONS AT THROUGH RATED ASSEMBLIES TO MATCH REQUIRED RATING.

#### CONTRACTOR USE OF PREMESIS

- CONSTRUCTION OPERATIONS: LIMITED TO AREAS NOTED ON DRAWINGS.
- TIME RESTRICTIONS FOR PERFORMING WORK. VERIFY WITH OWNER AND LOCAL JURISDICTION.
- CONSTRUCTION WORK MAY BE SCHEDULED TO BE PERFORMED DURING NORMAL BUSINESS HOURS ONLY (UPON APPROVAL OF THE OWNER)
- UTILITY OUTAGES AND SHUTDOWN SHALL BE COORDINATED WITH OWNER.

ELECTRICAL ITEMS AND APPURTENANCES SHALL TAKE PRECEDENCE.

- AT ALL TIMES CONDUCT OPERATIONS TO INSURE THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC AND COMLY WITH APPLICABLE CODES AND ORDINANCES FOR SAFETY.
- ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON THE SITE UNDER THIS CONTRACT.
- PERFORM DEMOLITION WORK AND SPRINKLER WORK, CONCRETE SAW CUTTING, PAINTING AND SIMILAR WORK CAUSING EXCESSIVE NOISE, DUST OR ODORS DISTURBING BUILDING OCCUPANTS. OR ANY WORK DISRUPTING TENANTS OR PUBLIC TRAFFIC WHEN OWNER WILL BE MINIMALLY IMPACTED OR AT TIMES AND IN SUCH A MANNER AS OTHERWISE APPROVED BY OWNER.
- COORDINATE USE OF PREMISES FOR WORK WITH THE OWNER.
- LIMIT USE OF SITE FOR WORK AND STORAGE TO AREAS DESIGNATED UNLESS SPECIFIC ADDITIONAL AREAS ARE ALLOWED IN WRITING BY THE OWNER.

#### OWNER FURNISHED PRODUCTS

- PRODUCTS TO BE FURNISHED AND PAID FOR BY THE OWNER AND INSTALLED BY THE CONTRACTOR ARE INDICATED AS "OWNER FURNISHED" IN THE DRAWINGS.
- OWNER'S RESPONSIBILITIES FOR OWNER FURNISHED PRODUCTS:
- A) SUPPLY CONTRACTOR WITH OWNER REVIEWED PRODUCT LITERATURE. B) PRODUCT DATA AND SAMPLES.
- C) PAY FOR PRODUCT DELIVERY TO SITE.
- D) REVIEW DAMAGED PRODUCTS PROMPTLY WITH CONTRACTOR.
- E) SUBMIT CLAIMS FOR TRANSPORTATION DAMAGE. REPLACE DAMAGED, DEFECTIVE OR DEFICIENT ITEMS.
- F) ARRANGE FOR MANUFACTURER'S WARRANTIES, INSPECTIONS AND SERVICE.
- CONTRACTOR'S RESPONSIBILITIES FOR OWNER FURNISHED PRODUCTS:
- A) REVIEW SHOP DRAWINGS, PRODUCT DATA AND SAMPLE TO ADEQUATELY ACQUAINT THEMSELVES WITH THE SCOPE OF WORK. SAMPLES MUST BE APPROVED BY OWNER IN ADVANCE.
- B) REVIEW THE ORDER, SCHEDULE DELIVERY, RECEIVE, UNLOAD AND STORE PRODUCTS AT SITE. INSPECT FOR COMPLETENESS OR DAMAGE. IF ITEMS ARE DAMAGED, GENERAL CONTRACTOR TO NOTIFY PROGRAM MANAGER AND OWNER. IF NOT PROMPLY NOTIFIED, GC ASSUMES RESPONSIBILITY FOR REPLACEMENT COST AND DELIVERY COST.
- C) INSTALL AND FINISH PRODUCTS
- D) REPLACE ANY ITEMS DAMAGED AFTER RECEIPT.

#### **DIMENSION NOTES**

- ALL ARCHITECTURAL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE OF DOOR/WINDOW, UNLESS NOTED OTHERWISE
- DIMENSIONS ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
- A) TO FACE OF FINISH
- B) TO CENTER OF DOORS AND OTHER OPENINGS
  - C) TO TOP OF FINISHED FLOORS
  - D) TO BOTTOM OF FINISH AT CEILINGS
- E) TO OUTSIDE FACE OF FINISHED MILLWORK
- DIMENSIONS SHOWN AS V. I. F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY PROJECT MANAGER AND ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.

#### PARTITION NOTES

- PARTITIONS ARE DIMENSIONED FROM FINISH MATERIAL TO FINISH MATERIAL. UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CERAMIC TILE, VCT, ETC.
- DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.
- NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLACE SHALL BE FLUSH WITH NO VISIBLE JOINTS, UNLESS NOTED OTHERWISE.
- FOR BUILT- IN WORK SURROUNDED BY PARTITION, INCLUDING BUT NOT LIMITED TO APPLIANCES AND FILES, CONTRACTOR SHALL CONFIRM THAT FLOOR SLAB DOES NOT VARY BY MORE THAN 1/4" IN 20'-0" (NON-CUMULATIVE). NOTIFY ARCHITECT IF THIS TOLERANCE IS EXCEEDED.

#### CONSTRUCTION STANDARDS

- ENSURE THAT SURFACE TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF
- REPAIR AND PREPARE EXISTING SURFACES SCHEDULED TO REMAIN AS NECESSARY FOR APPLICATION OF NEW FINISHES.
- CONTRACTOR TO ENSURE DELIVERY AND INSTALLATION OF CASEWORK AND FINISH CARPENTRY WILL NOT BE DAMAGED BY OTHER CONSTRUCTION WORK.
- ALL CODE-REQUIRED LABELS SUCH AS "UL", FACTORY MUTUAL OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PAINTED.
- THE CONTRACTOR SHALL PATCH SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- COORDINATE WITH OWNER'S DESIGNATED REPRESENTATIVE FOR DELIVERY AND PLACEMENT OF ALL FURNITURE AND WALL-HUNG
- EQUIPMENT.
- REFER TO FINISH SCHEDULE FOR SPECIFIED FINISHES. REFER TO INTERIOR ELEVATIONS FOR MOUNTING HEIGHT REQUIREMENTS.
- SHOP DRAWING REQUIREMENTS
- GC TO PROVIDE SHOP DRAWINGS FOR THE FOLLOWING:
- KITCHEN CABINETS, GLASS PARTITIONS, SIGNAGE

## FINISH NOTES

#### FLOORING NOTES

- 1 PATCH, LEVEL AND PREPARE SUBSTRATE PER MANUFACTURER'S WRITTEN INSTRUCTIONS TO RECEIVE NEW FLOORING. IF APPLICABLE, REMOVE ALL EXISTING FLOOR COVERING THROUGHOUT THE PREMISES AND REMOVE ALL PRE-EXISTING ADHESIVES COMPLETELY PRIOR TO INSTALLATION OF CARPET AND/OR HARD FLOORING WHERE NOTED
- 2 EMPLOY METHOD OF INSTALLATION FOR CARPET PER MANUFACTURER'S INSTRUCTIONS. ASSURE THAT ORIENTATION MARKINGS ON CARPET TILE BACKING ARE CONSISTENTLY AND COMPLETELY
- FOLLOWED. CONTRACTOR SHALL APPLY ONLY MANUFACTURER'S RECOMMENDED ADHESIVE.
- 3 PROVIDE TRANSITIONS BETWEEN ADJACENT CARPETED AND TILED AREAS AS SHOWN IN DETAILS. 4 UPON COMPLETION, ALL WORK SHALL BE CLEANED AND ALL SPOTS OF ADHESIVE AND SURFACE STAINS REMOVED
- 5.1. CARPET: AFTER COMPLETION OF WORK, DELIVER NOT LESS THAN 5% OF EACH TYPE, COLOR, AND PATTERN OF CARPETING, EXCLUSIVE OF MATERIAL REQUIRED TO PROPERLY COMPLETE INSTALLATION. FURNISH ACCESSORY COMPONENTS AS REQUIRED. FURNISH REPLACEMENT MATERIALS FROM SAME PRODUCTION RUN AS MATERIALS INSTALLED. PACKAGE REPLACEMENT MATERIALS WITH PROTECTIVE COVERING, IDENTIFIED WITH APPROPRIATE LABEL
- 5.2. RESILIANT FLOORING: DELIVER STOCK OF MAINTENANCE MATERIALS TO OWNER. FURNISH MAINTENANCE MATERIALS FROM SAME MANUFACTURED LOT AS MATERIALS INSTALLE D AND ENCLOSED IN PROTECTIVE PACKAGING WITH APPROPRIATE IDENTIFYING LABELS. FURNISH NOT LESS THAN ONE BOX FOR EACH 50 BOXES OR FRACTION THEREOF, FOR EACH TYPE, COLOR, PATTERN AND SIZE INSTALLED.
- 5.3. STONE TILE: AFTER COMPLETION OF WORK, DELIVER NOT LESS THAN 2 PERCENT OF EACH TYPE, COLOR, AND PATTERN OF STONE TILE EXCLUSIVE OF MATERIAL REQUIRED TO PROPERLY COMPLETE INSTALLATION. FURNISH ACCESSORY COMPONENTS AS REQUIRED. FURNISH REPLACEMENT MATERIALS FROM SAME PRODUCTION RUN AS MATERIALS INSTALLED. PACKAGE REPLACEMENT MATERIALS WITH PROTECTIVE COVERING AND IDENTIFY WITH APPROPRIATE LABELS.

#### **BASE NOTES**

- 1 PATCH, LEVEL AND PREPARE WALL PER MANUFACTURER'S SPECIFICATIONS TO RECEIVE NEW BASE. IF APPLICABLE, REMOVE ALL EXISTING BASE THROUGHOUT THE PREMISES.
- 2 VINYL WALL BASE TO BE PURCHASED IN COILS, NOT PLANK STRIPS, TO MINIMIZE SEAMING. PROVIDE STRAIGHT BASE AT ALL CARPETED AREAS AND COVE BASE AT ALL RESILIENT FLOORING LOCATIONS.
- 3 INSTALL BASE AS FOLLOWS; FOR POROUS WALL SURFACES USE WALL BASE ADHESIVE (JOHNSONITE #960 OR EQUAL), NON-POROUS WALL SURFACES USE CONTACT BOND ADHESIVE (JOHNSONITE #945 OR EQUAL) PER MANUFACTURER'S SPECIFICATIONS. ALL CORNERS TO BE MITERED/INSTALLED PER MANUFACTURER'S SPECIFICATION. BASE TO BE INSTALLED SMOOTH AND EVEN WITH THE WALL, NO KINKS AND/OR WAVES WILL BE ACCEPTED.
- 4 UPON COMPLETION, ALL WORK SHALL BE CLEANED AND ALL SPOTS OF ADHESIVE AND SURFACE STAINS REMOVED.
- 5 REPLACEMENT MATERIALS: AFTER COMPLETION OF WORK, DELIVER NOT LESS 5% OF EACH TYPE, COLOR, AND PATTERN OF BASEBOARD TYPE EXCLUSIVE OF MATERIAL REQUIRED TO PROPERLY COMPLETE INSTALLATION. FURNISH ACCESSORY COMPONENTS AS REQUIRED. FURNISH REPLACEMENT MATERIALS FROM SAME PRODUCTION RUN AS MATERIALS INSTALLED. PACKAGE REPLACEMENT MATERIALS WITH PROTECTIVE COVERING, AND IDENTIFIED WITH APPROPRIATE LABELS.

#### **PAINT NOTES**

- 1 ALL PAINT SHALL BE FIRST QUALITY COMMERCIAL GRADE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS. AT GWB, USE EGGSHELL FINISH/VINYL ACRYLIC LATEX (2 OR 3 COAT FINISH AS REQUIRED TO PROVIDE FULL COVERAGE. AT METAL OR WOOD, USE ALKYD SEMI-GLOSS ENAMEL PRIME PLUS (2 OR 3 COAT FINISH AS REQUIRE D TO PROVIDE FULL COVERAGE). PRIME ALL SURFACES, UNLESS OTHERWISE NOTED, PRIOR TO APPLICATION OF (2) COATS OF FINISH PAINT AS SPECIFIED.
- 2 UPON COMPLETION OF WORK, REMOVE ALL EXCESS PAINT, STAIN, VARNISH, ADHESIVE, CAULK, ETC. FROM ADJACENT MATERIALS NOT SCHEDULED TO RECEIVE SUCH FINISH
- 3 TOUCH-UP AND PAINT SU RFACES AS REQUIRE D UPON COMPLETION OF WORK BY OTHER TRADES.
- 4 REPLACEMENT MATERIALS: DELIVER STOCK OF MAINTENANCE PAINT TO OWNER. FURNISH MAINTENANCE MATERIALS FROM SAME MANUFACTURED LOT AS MATERIALS INSTALLED AND ENCLOSED IN PROTECTIVE PACKAGING WITH APPROPRIATE IDENTIFYING LABELS. FURNISH NOT LESS THAN ONE (1) GALLON CAN FOR EACH (10) GALLONS OR FRACTION THEREOF, FOR EACH COLOR INSTALLED.

### WALL TILE NOTES

- 1 GENERAL CONTRACTOR SHALL PROVIDE MOCK UP AND DRY LAYOUT OF ALL TILE AREAS FOR ARCHITECT'S APPROVAL PRIOR TO FINAL INSTALLATION.
- 2 SUBSTRATES TO RECEIVE TILE SHALL BE PREPARED TO MANUFACTURER'S RECOMMENDED INSTRUCTIONS ON FLATNESS OF SURFACE.

#### **CEILING NOTES:**

- 1 COORDINATE CEILING WORK WITH OTHER TRADES INCLUDING LIFE SAFETY, TELEPHONE, DATA CABLING, A/V/ AND SECURITY VENDORS.
- 2 ALL JOINTS IN CEI LING TILES SHALL BE SQUARE, LEVEL, AND ALIGNED WITH EACH OTHER.
- 3 REPLACEMENT MATERIALS: AFTER COMPLETION OF WORK, DELIVER NOT LESS THAN 5% OF EACH TYPE, COLOR, AND PATTERN OF ACOUSTIC CEILING TILE EXCLUSIVE OF MATERIAL REQUIRED TO PROPERLY COMPLETE INSTALLATION. FURNISH ACCESSORY COMPONENTS AS REQUIRED. FURNISH REPLACEMENT MATERIALS FROM SAME PRODUCTION RUN AS MATERIALS INSTALLED. PACKAGE REPLACEMENT MATERIALS WITH PROTECTIVE COVERING, IDENTIFIED WITH APPROPRIATE LABELS.

#### FINISH SPECIFICATION GENERAL NOTES

- 1 FINISH MATERIAL SUBMITTALS: CONTRACTOR SHALL SUBMIT (5) 6" x 6" SAMPLES OF ALL FINISHES WITHIN 5 BUSINESS DAYS OF ISSUANCE OF THE CONTRACT FOR CONSTRUCTION, ALLOWING ADEQUATE
- TIME FOR REVIEW PRIOR TO REQUIRED ORDER PLACEMENT DATES. 2 CUT SHEET SUBMITTALS: CONTRACTOR SHALL SUBMIT MANUFACTURERS CUTS AND SPEC SHEETS FOR ALL FIXTURES (INCL LIGHTING), EQUIPMENT, SPECIAL MATERIALS, SPECIALTIES, DOORS, FRAMES AND HARDWARE, ALLOWING ADEQUATE TIME FOR REVIEW PRIOR TO REQUIRE D ORDER PLACEMENT DATES.
- 3 SHOP DRAWING SUBMITTALS: CONTRACTOR SHALL SUBMIT 5 COPIES OF SHOP DRAWINGS AND FINISHED SAMPLES OF ALL NATURAL FINISH WOODWORK FOR ALL MILLWORK & CASEWORK FOR REVIEW, ALLOWING ADEQUATE TIME FOR REVIEW PRIOR TO REQD FABRICATION DATES. 4 SPECIFICATIONS OF MATERIAL AND EQUIPMENT BY THE USE OF NAME, MODEL NUMBER, AND/OR GENERAL DESCRIPTION SHALL BE USED AS A GUIDE ONLY AND SHALL NOT EXCLUDE ALL OF THE REQUIRED
- ACCESSORIES, FITTINGS, TRIM AND/OR HARDWARE THAT MAY BE REQUIRE D FOR A COMPLETE AND PROPER INSTALLATION. 5 MATERIALS ARE SPECIFIE D BY NAME, MODEL NUMBER AND DESCRIPTION WHERE PRACTICABLE IN ORDER TO AVOID INACCURACIES. THE CONTRACTOR SHALL REVIEW ALL SPECIFICATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THESE DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK.

BRILLIANT EARTH

180 EL CAMINO REAL BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



ARB SET

01.25.2022

TERRY W. ODLE, ARCHITECT

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21-6008-01A PM: SARAH SIMCHUK

DRAWN BY: MS

**GENERAL NOTES &** SCHEDULE OF **DUTIES** 

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304

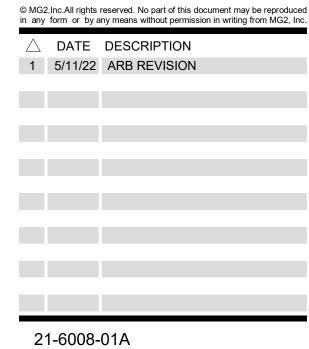


ARB SET

01.25.2022

TERRY W. ODLE, ARCHITECT

FOR REFERENCE ONLY



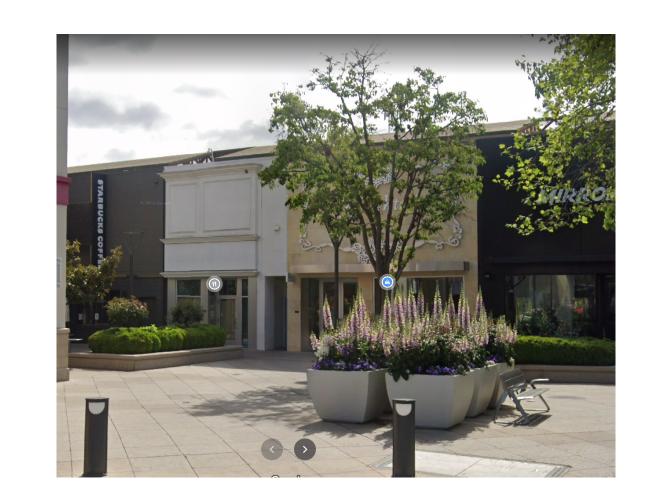
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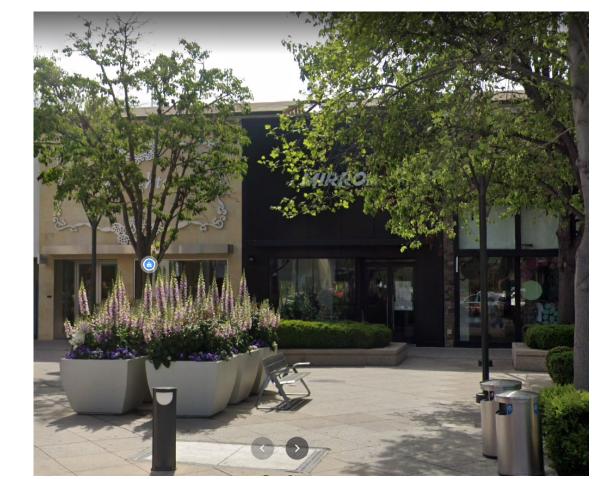
SITE PLAN

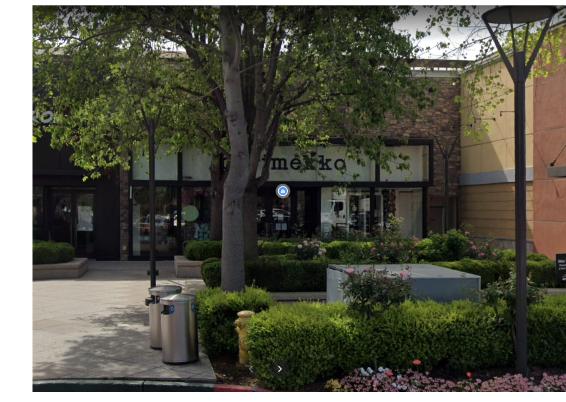
G002

















EXISTING EXTERIOR FACE



PROPOSED EXTERIOR FACE



180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



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01.25.2022

TERRY W. ODLE, ARCHITECT

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△ DATE DESCRIPTION

21-6008-01A PM: SARAH SIMCHUK DRAWN BY: Author

**EXTERIOR** RENDERINGS

G002B

l 3 l 5

OCCUPANCY TYPE LEGEND

ACCESSORY STORAGE

**BUSINESS AREAS** 

MERCANTILE

**BUILDING CODE INFO** 

SITE ZONING MIXED USE

MODERATE

FIRE ZONE OR DISTRICT

SEISMIC DESIGN CATEGORY

**BUILDING OCCUPANCY CLASSIFICATION** M - MERCANTILE

**BUILDING CONSTRUCTION TYPE** 

**BUILDING ALLOWABLE FLOOR AREA** 

BUILDING ALLOWABLE HEIGHT NO CHANGE

**BUILDING CODE** 2019 CALIFORNIA BUILDING CODE W/ PALO ALTO AMENDMENTS

LOCAL JURISDICTION CODE PALO ALTO MUNICIPAL CODE

ACCESSIBILITY CODE 2019 CBC, CH 11B

MECHANICAL CODE
2019 CALIFORNIA MECHANICAL CODE

PLUMBING CODE 2019 CALIFORNIA PLUMBING CODE FIRE / LIFE SAFETY CODE 2019 CALIFORNIA FIRE CODE

ELECTRICAL CODE
2019 CALIFORNIA ELECTRICAL CODE

ENERGY CODE 2019 CALIFORNIA ENERGY CODE

OCCUPANT LOAD ANALYSIS Occupant Load Occupancy Factor **Function** Occupants Area Name ACCESSORY STORAGE 300 GROSS ACCESSORY STORAGE ACCESSORY STORAGE 300 GROSS BUSINESS AREAS BUSINESS BUSINESS AREAS 150 GROSS TOTAL W/ ALL DESKS OCCUPIED IN OFFICE AREA

MERCANTILE

EXIT TAG LEGEND **BRILLIANT EARTH** 334 OCC 🗨

SYMBOLS LEGEND EXIT SIGNAGE FIRE EXTINGUISHER TYPE I, MULTI-PURPOSE

FIRE EXTINGUISHER GENERAL NOTE GC TO INSTALL FIRE EXTINGUISHERS IN LOCATIONS APPROVED BY FIRE OFFICIAL

AND CONFIRMED BY OWNER.

180 EL CAMINO REAL BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304

	REQUIRED I	EXIT WIDTH	
	EXIT WIDTH REQ	IN/OCC REQ	TOTAL OCC
TOTAL REQ CBC	7.6"	0.2	39

2019 C	BC DOOR E	XIT CALCUA	LTIONS
DOOR EXIT NUMBER	DOOR EXIT WIDTH	IN/OCC	TOTAL OCC
1	33.5"	0.2	26
2	33.5"	0.2	19
TOTAL PROVIDED	67"		39

Seattle, WA 98101
206 962 6500 MG2.com

1101 Second Ave, Ste 100

**ARB SET** 

01.25.2022

TERRY W. ODLE, ARCHITECT

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△ DATE DESCRIPTION 1 5/11/22 ARB REVISION

21-6008-01A PM: SARAH SIMCHUK DRAWN BY:JD

LIFE SAFETY PLAN

2019 CPC, TABLE 422.1 - MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES LAVATORIES OTHER WATER CLOSETS URINALS DRINKING FOUNTAINS FEMALE **FEMALE** MALE MALE 1 per 250 1 per 1 service sink 1 per Not to be substituted for more than 50% of req. 200 water closets REQUIRED:

1549 SF

1549 SF

2331 SF

60 GROSS

2 - Located in existing mall toilet facility located 300' from tenant space (CBC 2902.3.4) Water Closets Provided:

2 - Located in existing mall facility within 300' from tenant space (CBC 2902.3.4) **Lavatories Provided:** 

MERCANTILE

MERCANTILE

GRAND TOTAL

**Drinking Fountains Provided:** 1 - Located adjacent to existing mall toilet facility located 300' from tenant space (CBC 2902.5)

\* OCCUPANT LOAD BASED ON 2019 CPC TABLE A, OCCUPANT LOAD FACTOR, GROUP M

OCCUPANT LOAD ANALYSIS - 2019 CPC 422 - TABLE A

	17 (2 1 0 10	2010 01 0 122 17(522)	•
AREA NAME	AREA	OCCUPANT LOAD FACTOR	TOTAL OCCUPANTS
GROUP B (STORAGE)	64 SF	200	1
GROUP B (BUSINESS)	559 SF	200	1
GROUP M (RETAIL)	1356 SF	200	7
GRAND TOTAL	1969 SF		9 OCCUPANTS

# Tree Protection - It's Part of the Plan!

l 3 l 4 l 5 l 6 l

Make sure your crews and subs do the job right!

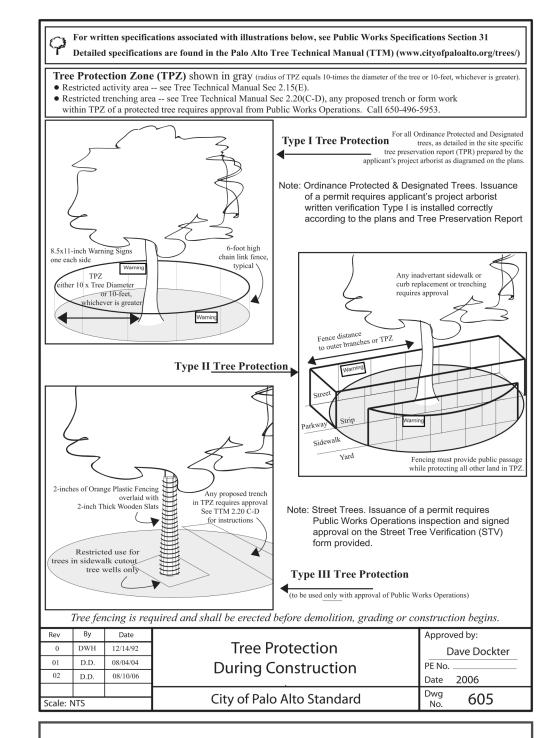
Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.

For detailed information on Palo Alto's regulated trees and protection during development, review the City Tree Technical Manual (TTM) found at www.cityofpaloalto.org/trees/.

	TREE DISCLOSURE STATEMENT	CITY OF PALO ALT Planning Division, 250 Hamilton Avenu Palo Alto, CA 9430 (650) 329-244 http://www.cityofpaloalto.or
property, and that the	Code, Chapter 8.10.040, requires disclosure and protectic by be shown on approved site plans. A completed disclos ude exterior work, all demolition or grading permit applica	sure statement must accompany all building permit
PROPERTY ADDRE	180 El Camino Real # 71, Blo	dg. D Palo Alto , CA 94304
Are there Regulated	t trees on or adjacent to the property?	XNO (If no, proceed to Section 4)
[Sections 1- 4 MUS]	T be completed by the applicant. Please circle and/or	check where applicable.]
1. Where are the tree	es? Check those that apply. (Plans must be submitted s	showing over 4" diameter trees)
On the pr	operty ent property overhanging the project site	
	y planter strip or right-of-way easement within 30' of prop	perty line (Street Trees)*
	<b>special protection by a fenced enclosure</b> , per the attached inst ee Protection Verification form by calling Public Works Opera Detail #605).	
2. Are there any Prote	ected or Designated Trees? <b>YES</b> (Check where app	olicable) NO
Protected		, <u> </u>
	ed Tree (s) erhanging the property	
3. Is there activity or	grading within the dripline? (radius 10 times the trunk dia	ameter) of these trees?
If Yes, a Tree Preserva	<b>tion Report</b> must be prepared by an ISA certified arborist and neet T-1,:Tree Protection, its Part of the Plan!", per Site Plan I	submitted for staff review (see TTM, Section 6.25).
4. Are the Site Plan F	Requirements** completed? YES X NO	
dripline; (2) Plans must	ted trees during development require the following: (1) Plans r t denote, as a bold dashed line, a fenced enclosure area out to tl	he dripline, per Sheet T-1 and Detail #605 -
http://www.cityofpaloa	ulto.org/trees/forms.htm (See also TTM, Section 2.15 for area	to be fenced)
misleading information	agree to the conditions of this disclosure. I understan on in response to this disclosure requirement constitutes a lead to criminal and/or civil legal action.	a violation of the Palo Alto Municipal Code Section
Signature: 9450A	V SMATH - AGENT Print: Jason Smith	- Agent Date: 5/11/2022
(Prop. C	Owner or Agent) FOR STAFF USE:	
Protective Fencing	e completed by staff for the issuance of any developmen	nt normit (domolitica, grading or building normit)
Sactions F & must be	: completed by Staff for the issuance of any developmen	nt permit (demonsion, grading or building permit).
Sections 5-6 must be		
5. <u>Protected Trees</u> . T protective fencing is	The specified tree fencing is in place. A <u>written statement</u> correctly in place around protected and/or designated tree trotected trees, check here	

Pladiv/Arborist/Tree Protection	Info/Tree Disclosure Statement	Rev
Search:	D Alto renue, Palo Alto, CA 94301	By Topic
TREE (S)	Tree Technical Manual  To purchase the Tree Technical  June, 2001 First Edition	Manual
Home City-owned Trees Privately-owned Trees	<ul> <li>View by section:</li> <li>Table of Contents (PDF, 87KB)</li> <li>Intent and Purpose (PDF, 1.05MB)</li> </ul>	
About the Tree Ordinance Title 8.10 Heritage Trees Forms Tree Technical Manual	<ul> <li>Introduction - Use of Manual (PDF, 1.05MB)</li> <li>Section 1.0 - Definitions (PDF, 96KB)</li> <li>Section 2.0 - Protection of Trees During Con</li> <li>Section 3.0 - Removal, Replacement &amp; Plant</li> <li>Section 4.0 - Hazardous Trees (PDF, 105KB)</li> <li>Section 5.0 - Tree Maintenance Guidelines (F</li> <li>Section 6.0 - Tree Reports (PDF, 84KB)</li> </ul>	ring of Trees (PDF, 117KB)
FAQs Contact Us Resources	View ALL sections:  ■ Tree Technical Manual - Full (PDF, 1.84MB)	
	APPENDICES A. Palo Alto Municipal Code Chapter 8.10, Tree Presequiations B: Tree City - USA C: ISA Hazard Evaluation Form D: List of Inherent Failure Patterns for Selected Spee: ISA Tree Pruning Guidelines (PDF, 1.85MB) F: Tree Care Safety Standards, ANSI Z133.1-1994 G: Pruning Performance Standards, ANSI A300-1997 Tree Planting Details, Diagram 504 & 505 I: Tree Disclosure Statement J: Palo Alto Standard Tree Protection Instructions	ecies (Reference source) (Reference source)

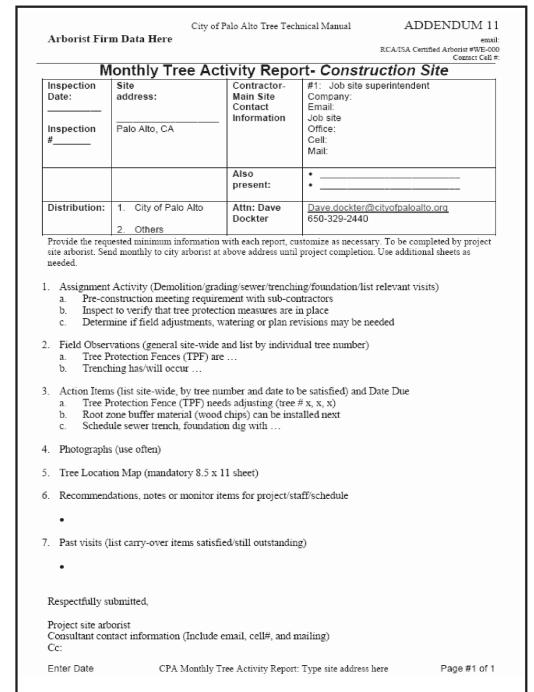
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at



× CID	A PORTU	APPENDIX PALO ALTO STREET TREE PROTECTION INSTRUCTIONSSECTION 31
31-1	Genera	 I
	а.	Tree protection has three primary functions, 1) to keep the foliage canopy and branching structure elefrom contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact a non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance permitted and activities are restricted, unless otherwise approved.
	<b>b.</b>	The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-tin the diameter of the tree's trunk or ten feet; whichever is greater, enclosed by fencing.
31-2	Referen	nce Documents
	a.	<b>Detail 605</b> – Illustration of situations described below.
	b.	Tree Technical Manual (TTM) Forms (http://www.cityofpaloalto.org/trees/)
		<ol> <li>Trenching Restriction Zones (<u>TTM</u>, Section 2.20(C))</li> <li>Arborist Reporting Protocol (<u>TTM</u>, Section 6.30)</li> </ol>
		3. Site Plan Requirements (TTM, Section 6.35)
		4. Tree Disclosure Statement (TTM, Appendix J)
	c.	Street Tree Verification (STV) Form (http://www.cityofpaloalto.org/trees/forms)
21.2	E	
31-3	Executi a.	ton  Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the
		life of the construction project. In some parking areas, if fencing is located on paving or concrete that will a
		be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by
		Public Works Operations.
	b.	<b>Type II Tree Protection:</b> For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
	c.	Type III Tree Protection: To be used <u>only</u> with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to di into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.
	d.	Size, type and area to be fenced. All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unle specifically approved on the STV Form.
	е.	'Warning' signs. A warning sign shall be weather proof and prominently displayed on each fence at 20-fc intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."
	f.	<b>Duration</b> . Tree fencing shall be erected before demolition; grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work aroun Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works
	g.	During construction
		<ol> <li>All neighbors' trees that overhang the project site shall be protected from impact of any kind.</li> <li>The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned tre that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto</li> </ol>
		<ul> <li>Municipal Code.</li> <li>The following tree preservation measures apply to all trees to be retained: <ul> <li>a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.</li> <li>b. The ground under and around the tree canopy area shall not be altered.</li> <li>c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival</li> </ul> </li> </ul>
		END OF SECTION
City of	f Palo Alto	2004 Standard Drawings and Specifications
		- •

Table 2-2	Palo Alto Tree Technical Manual
	CONTRACTOR & ARBORIST INSPECTION SCHEDULE
Refere	ence: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/
ALL CHECKE	D ITEMS APPLY TO THIS PROJECT:
1. Inspecting Month inspections	ction of Protective Tree Fencing. For Public Trees, the Street Tree Verification Form shall be by the City Arborist. For Protected Trees, the project site arborist shall provide an initial ly Tree Activity Report form with a photograph verifying that he has conducted a field tion of the trees and that the correct type of protective fencing is in place around the ated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. TM, Verification of Tree Protection, Section 1.39).
condu gradin	enstruction Meeting. Prior to commencement of construction, the applicant or contractor shall et a pre-construction meeting to discuss tree protection with the job site superintendent, g operators, project site arborist, City Arborist, and, if a city maintained irrigation system is ed, the Parks Manager (Contact 650-496-6962).
perfori TPZ to require	etion of Rough Grading or Trenching. Contractor shall ensure the project site arborist ms an inspection during the course of rough grading or trenching adjacent to or within the ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if ed, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide eject arborist at least 24 hours advance notice of such activity.
month immed Techni landsc	aly Tree Activity Report Inspections. The project site arborist shall perform a minimum by activity inspection to monitor and advise on conditions, tree health and retention or, liately if there are any revisions to the approved plans or protection measures. The Tree ical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. ape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-(See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).
require	al activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) as the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & ment, Section 2.20 C).
final o on site Qualit constri verific	scape Architect Inspection. For discretionary development projects, prior to temporary or ccupancy the applicant or contractor shall arrange for the Landscape Architect to perform an inspection of all plant stock, quality of the materials and planting (see TTM, Planting y, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved action plans. The Planning Dept. landscape review staff shall be in receipt of written ation of Landscape Architect approval prior to scheduling the final inspection, unless rise approved.
7. List 0	Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)
*	
*	

City of Palo Alto Tree Department Public Works Operations PO Box 10250 Palo Alto, CA 943 650/496-5953 FAX: 650/852-928 treeprotection@CityofPaloAlto.or	Verification of  Street Tree Protection
	of this form. Mail or FAX this form along with signed Tree iblic Works Tree Staff will inspect and notify applicant.
PPLICATION DATE:	
DDRESS/LOCATION OF STREET REES TO BE PROTECTED:	
PPLICANT'S NAME:	
PPLICANT'S ADDRESS:	
PPLICANT'S TELEPHONE FAX NUMBERS:	
his section to be filled out by City Tree Staff	
The Street Trees at the above address(es) are adequately	YES \  NO* \
protected. The type of protection used is:	* If NO, go to #2 below
Inspected by:	
Date of Inspection:	
The Street Trees at the above address are NOT adequately protected. The following modifications are required:      Indicate how the required modifications were communicated to the applicant.	
ubsequent Inspection	
treet trees at above address were found be adequately protected:	YES NO* * If NO, indicate in "Notes" below the disposition of case.
psected by:	·
ate of Inspection:	
otes: List City street trees by species, te, condition and type of tree protection stalled. Also note if pictures were ken. Use back of sheet if necessary.	
te, condition and type of tree protection stalled. Also note if pictures were	nolition or building permit issu



# ---WARNING---**Tree Protection Zone**

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day\*

\*Palo Alto Municipal Code Section 8.10.110 City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.html

SPECIAL INSPECTIONS	PLANNING DEPARTMENT
TREE PROTECTION INSPECTION	ONS MANDATORY
PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIE REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVI BUILDING PERMIT ISSUANCE.	DE WRITTEN MONTHLY TREE ACTIVITY
BUILDING PERMIT DATE:	
DATE OF 1 <sup>ST</sup> TREE ACTIVITY REPORT:	
CITY STAFF:	
REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPOVERIEY THAT ALL TREE PROTECTION MEASURES ARE IMPLIM ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE FIS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE SECTION 2.00 AND ADDENDUM 11.	ENTED AND WILL INCLUDE ALL CONTRACTOR PROTECTION ROOT ZONE. NON-COMPLIANCE

Apply Tree Protection Report on sheet(s) T-2

Use addtional "T" sheets as needed

Special Tree Protection Instruction Sheet City of Palo Alto



**I –** I

Project

TREE PROTECTION PLAN

ARB SET

BRILLIANT EARTH

180 EL CAMINO REAL,

BLDG D

STE #71, GROUND

LEVEL

PALO ALTO, CA, 94304

1101 Second Ave, Ste 100

Seattle, WA 98101

206 962 6500

MG2.com

01.25.2022

TERRY W. ODLE. ARCHITECT

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21-6008-01A PM: SARAH SIMCHUK DRAWN BY:SS

All other tree-related reports shall be added to the space provided on this sheet (adding as needed)

Include this sheet(s) on Project Sheet Index or Legend Page.

http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460

A copy of T-1 can be downloaded at

Marganesistations   1	Marche   M								4/19/2021	Macys Mens Redevelopment							
Marry and Astronomy	Mary	Gross Floor	Area For Pa	arking								Net Floor	<b>Area For E</b>	ntitlements*			
Magnetid and	Mary	uilding #	Basement   G	iround Floor   Mezzanir	e 2nd Floo	r 3rd Floo	or Outdoor Area	a Total		Building #	Basement	Ground Floor	Mezzanine	2nd Floor	3rd Floor	Outdoor Area	Total
Second	Promotion	oomingdale's A (Phase II)*		123,678				123,678		Bloomingdale's A (Phase II)*		117,494					117,49
Springering    1	1	B (approved/future)		28,741	0					WB (approved/future)		28,741	0				
Property   1,74   1,72   1,7	1											6,749					
					15.5	8.6	513	41.868						15.524	8.613		41,86
Part	The control of the co					1									3,023		
1.04	1					1											
	1.50	tii		•			22			C-NOI III							
Mary Column   1,00	1.50					1				5							
Part	Seminary					1	2,31	1		E -				1			
1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		15,458		5,1	.27				F	15,458			5,127			
1	1	lemings (Phase I)					1,29			New Flemings (Phase I)							7,22
2.75.00	2 - 2 - 2 - 2 - 2 - 2 - 2 - 2 - 2 - 2 -			21,584	4	.75		22,059		Н		21,584		475			22,05
1	1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1,			8,075	1,4	18		9,493		J		8,075		1,418			9,49
1	1	s K*		225,830				225,830		Macy's K*		225,830					214,53
1 55,048	State   Stat				2.4	46	58			L				2,446			26,05
## Muteus*  ## Mut	No Martan's 1,000					1				M				1			68,54
Masses	Makes, and Makes			•		1				N							20,72
1 13.00	1   12,000   1									D				323			
1,546   1,54	1,547	an Marcus*								Noiman Marcus*							
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	II IVIAI CUS			22.5	72				Neiman Marcus"				22.572			
March   Parch   Parc	The control of the				32,5	13				V				32,5/3			1
1	1			10,608			1,38	11,993				10,608					10,60
15.978   25.918   174   25.07   16.00   25.078   25.918	2 5.978   25	Ш								Phase III							
1,0,402   1,0,	1,542   1,542   1,542   1,542   1,542   1,542   1,542   1,542   1,542   1,542   1,542   1,542   1,543   1,524   1,543   1,524   1,543   1,524   1,543   1,524   1,543   1,524   1,543   1,54							1									29,30
16,072   16,072   16,072   18,	1 1,527   15,507   15			25,978	25,9	15	17	52,067		ВВ		25,978		25,915			51,89
16,072   16,072   16,072   16,072   16,072   16,072   17,072   1	16,572   15,572   1			16,402				1		СС		16,402					16,40
1	1				16.8	24								16.824			33,64
## Spring   System	## Spring   S.33	by Level	15,458	· · · · · · · · · · · · · · · · · · ·			5,97				15,458		0		8,613	0	1,112,02
## Store	## Store																
Sared	Sarrel   S			•													171,00
Supplication   Supp	Substitution   Subs	er Store	5,534	24,116	8,6	551		38,301		Container Store							24,11
20,99 1,231,89 0 10,696 8,63 5,879 1,388,957 10TAL 15,498 1,225,713 0 158,315 8,613 0 1,386,315 1412.    Parking   Parking Spaces   Parking Sp	20,99 1,231,89 0 156,966 8,613 5,979 1,388,937 10 166,966 8,613 5,979 1,388,937 10 166,966 8,613 5,979 1,388,937 10 166,966 8,613 5,979 1,388,937 10 166,966 8,613 5,979 1,388,937 10 166,966 8,613 1,225,713 0 158,315 8,613 0 3,366,346 1 1,425,346	arrel		39,173				39,173		Crate&Barrel		39,173					39,17
20,987   1,731,897   0   169,966   8,613   5,979   1,398,957     1,398,957     1,731,897   0   169,966   8,613   5,979   1,398,957     1,731,897   0   169,966   8,613   5,979   1,398,957     1,731,897   1,731,897   1,731,897     1,731,897   1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897     1,731,897	20,987   1,721,187   0   169,966   8,63   5,979   1,398,997   1,721,897   0   169,966   8,63   5,979   1,398,997   1,721,897   0   158,315   8,613   0   1,386,317   1,412,336   1,412,3	by Level	5,534	243,289	0 8,6	551	0	0 257,474		Subtotal by Level	0	243,289	0	0	0	0	234,28
State   Stat	Short Term   Sho				,												
Some   Content	No.		20,992	1,231,897	0 166,9	66 8,6	5,97	79 1,398,957		TOTAL	15,458	1,225,713	0	158,315	•		1,346,31
Parking	Parking			Short Tar	n long To	m										Allowable NFA**	1,412,36
Space   12,750 of   (10% long term and 60% short term)   20\$ 20\$ 509   509	Space   12,750 of   (10% long term and 60% short term)   254   97   351	arking:								NOTES:	_					Available NFA	66,04
Regular   10   10   10   10   10   10   10   1	Reg	d bicycle spaces 1/2,750 sf (40% long term and 60% short term)		305			50	09			_						
## Regular   47   106   182      Space   Regular   Regular   47   106   182     Space   Regular   Regular	## Regular   47   106   182      Space   Regular   Regular   47   106   182     Space   Regular   Regular	s bis calculations of the survey of the surv		254	97	351				* Includes 5% reduction in An	chor Store GFA fo	or space classified a	as 'non-occupied'	to calculate NFA p	per COPA Plann	ing Dept. letter date	d Apr. 23, 2014.
Space   47   106   1825   18	Space   47   106   1875   106   106   1875   106   106   1875   106   1875   106   106   1875   106   1875   106   1875   106   106   1875   106	olcycle spaces (per macys mens redevelopment)		1								isung as ot 5/23/12'	) pre-dated this a	igreement, thus did	u not take into ad	count the 5% reduc	uon tor NHA,
Space   Req.,   Req.   Spaces   3   5   5   5   5   5   5   5   5   5	Space   Req.,   Req.   Spaces   Spaces	ike		4		_				therefore some madres will thin							
3 / 3 / 5 / 5 / 5 / 5 / 5 / 5 / 5 / 5 /	3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf per 1st per 1st 120,000 sf per 1s	Bike		47	106	182				-		sing Dont latter det	nd Ech 07 0044				
3 pages (3 26 pages per 1 st (based on 120,000 sf with 1 additional space per 50,000 sf over 120,000 sf   1,311,357   29 spaces per 1 st (based on 120,000 sf   1,311,357   29 spaces   24 spaces   25 spaces   4 spaces   5 spac	3   3   5   5   5   5   5   5   5   5	Bike ent Bike Parking	Ren				Deficient			** per PAMC Ch. 18.16.060(e)	and COPA Planr	• .			sf building. 21 pa	rking spaces and is	zoned CN. The
120,000 sf   1,311,357   S   S   S   S   S   S   S   S   S	120,000 sf)   1,311,357	nt Bike Parking		eq 1/50k s Required			Deficient			** per PAMC Ch. 18.16.060(e) 395 Quarry Road (Bank of Am property is managed by Simon	) and COPA Planr lerica) has been d n, but is not counte	eleted from this tab ed towards Stanford	le. The site has Shopping Cente	an existing 4,185 s er FAR (Gross & Ne	of building, 21 pa et) as it is not wit	rking spaces and is thin the PAMC 18.10	zoned CN. The 6.030(d)
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Provided by Space Type  Notes  Regular  ADA  EVSE  EV (Ready)  ADA EVSE/Ready***  x2 PK EVSE  Parking Spaces  Parking Spaces 1/275 GFA  So87  As of 3/27/2019  5,218  101  29  96  Parking Spaces  As of 3/27/2019  3  3  3  37  37  37  37  37  37  37	Provided by Space Type  Notes  Regular  ADA  EVSE  EV (Ready)  ADA EVSE/Ready***  x2 PK EVSE  Parking Spaces  Parking Spaces  AS of 3/27/2019  Spa	Space	3 spaces (3 per 1st	eq 1/50k s Required 26 spaces (based on 29 space	Existing	Proposed				** per PAMC Ch. 18.16.060(e) 395 Quarry Road (Bank of Am property is managed by Simon definition of "Stanford Shoppin	) and COPA Planr lerica) has been d n, but is not counte	eleted from this tab ed towards Stanford	le. The site has Shopping Cente	an existing 4,185 s er FAR (Gross & Ne	of building, 21 pa et) as it is not wit bounded by El Ca	rking spaces and is thin the PAMC 18.10 amino Real, Sand H	zoned CN. The 6.030(d) ill Road, Quarry
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Parking Spaces       As of 3/27/2019       5,218       101       29       96       -96       -96         of Parking Spaces       Between Parking Spaces       3       37       37       -37       -54         ed Parking Spaces       16PLN-00040       -54	Parking Spaces       As of 3/27/2019       5,218       101       29       96       -96       -96         of Parking Spaces       Between Parking Spaces       Between Parking Spaces       37       -37       -37         ed Parking - Tesla       16PLN-00040       -54 <th< td=""><td>Space  3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf</td><td>3 spaces (3 per 1st 120,000 sf)</td><td>eq 1/50k s Required 26 spaces (based on 29 space</td><td>Existing  24 space</td><td>Proposed 25 space</td><td>es 4 spaces</td><td>EV/Doods)</td><td></td><td>** per PAMC Ch. 18.16.060(e) 395 Quarry Road (Bank of Am property is managed by Simon definition of "Stanford Shoppin Road, and Vineyard Lane.  Per AB1100: EVSE &amp; EV Ro</td><td>and COPA Planr perica) has been d n, but is not counte ng Center" propert eady Van accessib</td><td>eleted from this tab ed towards Stanford ies which are define</td><td>le. The site has I Shopping Cente ed as all propertie</td><td>an existing 4,185 s er FAR (Gross &amp; Ne es zoned CC and b</td><td>oounded by El Ca</td><td>amino Real, Sand H</td><td>ill Road, Quarry</td></th<>	Space  3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf	3 spaces (3 per 1st 120,000 sf)	eq 1/50k s Required 26 spaces (based on 29 space	Existing  24 space	Proposed 25 space	es 4 spaces	EV/Doods)		** per PAMC Ch. 18.16.060(e) 395 Quarry Road (Bank of Am property is managed by Simon definition of "Stanford Shoppin Road, and Vineyard Lane.  Per AB1100: EVSE & EV Ro	and COPA Planr perica) has been d n, but is not counte ng Center" propert eady Van accessib	eleted from this tab ed towards Stanford ies which are define	le. The site has I Shopping Cente ed as all propertie	an existing 4,185 s er FAR (Gross & Ne es zoned CC and b	oounded by El Ca	amino Real, Sand H	ill Road, Quarry
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number of spaces (Proposed - Required and Dedicated Spaces)	number of spaces (Proposed - Required and Dedicated Spaces)	ike  nt Bike Parking  Space  3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf  Provided by Space Type  d Parking Spaces 1/275 GFA  Parking Spaces ed Parking Spaces ed Parking - Tesla	3 spaces (3 per 1st 120,000 sf)  Notes  5087 As of 3/27/20	eq 1/50k s Required  26 spaces (based on 1,311,357  19	<b>Regular</b> 5,087 5,218	Proposed 25 space ADA	es 4 spaces  EVSE	96	ADA EVSE/Ready***	** per PAMC Ch. 18.16.060(e) 395 Quarry Road (Bank of Am property is managed by Simon definition of "Stanford Shoppin Road, and Vineyard Lane.  Per AB1100: EVSE & EV Ro	and COPA Planr perica) has been d n, but is not counte ng Center" propert eady Van accessib  Dedicated Parking  -96	eleted from this tab ed towards Stanford ies which are define	le. The site has I Shopping Cente ed as all propertie	an existing 4,185 s er FAR (Gross & Ne es zoned CC and b	oounded by El Ca	amino Real, Sand H	ill Road, Quarry
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EL ADITOO. ENDE A EN MEANY NATIONALES ANJACENT TO AN ACCESSINE PART OF FLANCINE AND THE PARTIES FOR THE PARTIE	TADITION. EVAL & EV Neady Vall accessible & accessible spaces adjacent to an accessible path of travel are conflict az towards the parking total	ing Space  3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf  ing Provided by Space Type ired Parking Spaces 1/275 GFA ing Parking Spaces cated Parking Spaces cated Parking - Tesla of Phyical Parking Spaces Parking Spaces Parking Spaces	3 spaces (3 per 1st 120,000 sf)  Notes  5087 As of 3/27/20	eq 1/50k s Required  26 spaces (based on 1,311,357  19	<b>Regular</b> 5,087 5,218 3 -54	Proposed 25 space ADA 101	EVSE 29	96 37	ADA EVSE/Ready***	** per PAMC Ch. 18.16.060(e) 395 Quarry Road (Bank of Am property is managed by Simon definition of "Stanford Shoppin Road, and Vineyard Lane.  Per AB1100: EVSE & EV Ro	and COPA Planr perica) has been d n, but is not counte ng Center" propert  eady Van accessib  Dedicated Parking  -96 -37 -6	eleted from this tabled towards Stanfordies which are defined by the stanfordies which are defined by the stanford stanford to the stanford	le. The site has I Shopping Cente ed as all propertie	an existing 4,185 s er FAR (Gross & Ne es zoned CC and b	oounded by El Ca	amino Real, Sand H	ill Road, Quarry
		ing Space  3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf  ing Provided by Space Type  lired Parking Spaces 1/275 GFA  ling Parking Spaces  osed Parking Spaces  cated Parking - Tesla  of Phyical Parking Spaces  I Parking Spaces  ss number of spaces (Proposed - Required and Dedicated Spaces)	3 spaces (3 per 1st 120,000 sf)  Notes 5087 As of 3/27/20	eq 1/50k s Required  26 spaces (based on 1,311,357  19	Regular 5,087 5,218 3 -54 5,167	Proposed 25 space ADA 101	EVSE 29	96 37	ADA EVSE/Ready***	** per PAMC Ch. 18.16.060(e) 395 Quarry Road (Bank of Am property is managed by Simon definition of "Stanford Shoppin Road, and Vineyard Lane.  Per AB1100: EVSE & EV Ro	and COPA Planr perica) has been d n, but is not counte ng Center" propert  eady Van accessib  Dedicated Parking  -96 -37 -6	eleted from this tabled towards Stanfordies which are defined by the stanfordies which are defined by the stanford stanford to the stanford	le. The site has I Shopping Cente ed as all propertie	an existing 4,185 s er FAR (Gross & Ne es zoned CC and b	oounded by El Ca	amino Real, Sand H	ill Road, Quarry
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		ing Space  3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf  ing Provided by Space Type  ired Parking Spaces 1/275 GFA ing Parking Spaces osed Parking Spaces cated Parking - Tesla of Phyical Parking Spaces Parking Spaces ss number of spaces (Proposed - Required and Dedicated Spaces)	3 spaces (3 per 1st 120,000 sf)  Notes 5087 As of 3/27/20	eq 1/50k s Required  26 spaces (based on 1,311,357  19	Regular 5,087 5,218 3 -54 5,167	Proposed 25 space ADA 101	EVSE 29	96 37	ADA EVSE/Ready***	** per PAMC Ch. 18.16.060(e) 395 Quarry Road (Bank of Am property is managed by Simon definition of "Stanford Shoppin Road, and Vineyard Lane.  Per AB1100: EVSE & EV Ro	and COPA Planr perica) has been d n, but is not counte ng Center" propert  eady Van accessib  Dedicated Parking  -96 -37 -6	eleted from this tabled towards Stanfordies which are defined by the stanfordies which are defined by the stanford stanford to the stanford	le. The site has I Shopping Cente ed as all propertie	an existing 4,185 s er FAR (Gross & Ne es zoned CC and b	oounded by El Ca	amino Real, Sand H	ill Road, Quarr

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



ARB SET

01.25.2022

TERRY W. ODLE, ARCHITECT

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DATE DESCRIPTION

21-6008-01A PM: SARAH SIMCHUK DRAWN BY:JD

PARKING ANALYSIS

G012

2. AREA OF TRENCHING SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR IS RESPONSIBLE FOR FINAL TRENCHING LAYOUT AND ROUTING. COORDINATE WITH FURNITURE/CASEWORK LAYOUT, ELECTRICAL, AND PLUMBING DRAWINGS.

3. DEMOLITION INCLUDES REMOVAL, STORAGE AND PROTECTION OF ITEMS TO BE REUSED.

4. WHERE DEMOLITION WORK OCCURS ADJACENT TO EXISTING, PATCH AND REPAIR ADJACENT CONDITIONS FOR A UNIFORM APPEARANCE.

5. VERIFY FLOOR IS LEVEL THROUGHOUT. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

6. FOLLOW LANDLORD DEMOLITION RULES AND REQUIREMENTS.

7. REMOVE AND CAP EXISTING POWER AND COMMUNICATION OUTLETS THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS (WHERE REQUIRED).

8. REMOVE PLUMBING FIXTURES AND CAP PLUMBING AT FLOOR OR WALL, UNO.

9. DEMOLITION INCLUDES SAWCUTTING AND TRENCHING OF SLAB FOR DATA AND ELECTRICAL. COORDINATE WITH ELECTRICAL AND PLUMBING FOR TRENCHING AND LOCATIONS.

10. LOCATIONS OF ALL SAW CUTTING IN CONCRETE FLOOR SLAB IS TO BE COORDINATED AND APPROVED BY LANDLORD PRIOR TO SAW CUTTING. VAPOR BARRIER TO MATCH LL SPECIFICATION BUT NOT TO BE LESS THAN CLASS A, 15 MILS, PERMEANCE OF NO MORE 0.01 PERMS; USE MANUFACTURER RECOMMENDED TAPE AND MASTIC.

11. REMOVE ANY EXISTING FIXTURES/FURNITURE OR DISPLAYS NOT SHOWN ON PLANS.

Demolition Comments:

 Any existing equipment or component in or pertaining to the premises that is being abandoned must be demolished completely and properly removed from premises.

 All above ground utility lines not to be re-used must be removed to point of origin. All under slab utility lines to be cut, capped and sealed per code.

 All roof mounted equipment above the leased premises not to be re-used must be removed by tenant GC at tenant expense. Roof must be properly patched by Mall required Roofer. Roof curbs must be removed and roof patched – do not cap. Coordinate all work with Mall Operations Director.

#### ·Slab requirements:

Slab on grade: Tenant's General Contractor shall advise the Operation Team prior to any slab modifications or removal. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.

Elevated Slabs: Tenant's General Contractor shall advise the Operations Team prior to any slab modification or removal. If any elevated slab is to be modified in anyway (drilled, cored, or penetrated), tenant shall provide stamped and certified drawings by a licensed structural engineered certified in the local jurisdiction. All penetrations shall be CORE BORED ONLY. Saw cutting, jack hammering, and trenching is strictly prohibited. All penetrations shall be sleeved, sealed, fire stopped, and waterproofed. The penetration sleeve shall extend a minimum of 4" on either side of the slab and be labeled with the required NFPA rating. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.

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Field Verification Requirement:
Tenant, Tenant's Design Team, and
Tenant's Contractors shall field verify all
field conditions prior to the start of any
construction. Be advised that all changes
and modification to the Landlord's
approved drawings shall be resubmitted
to Landlord for re-approval. Any
construction completed with out Landlord

OVERALL DEMOLITION PLAN

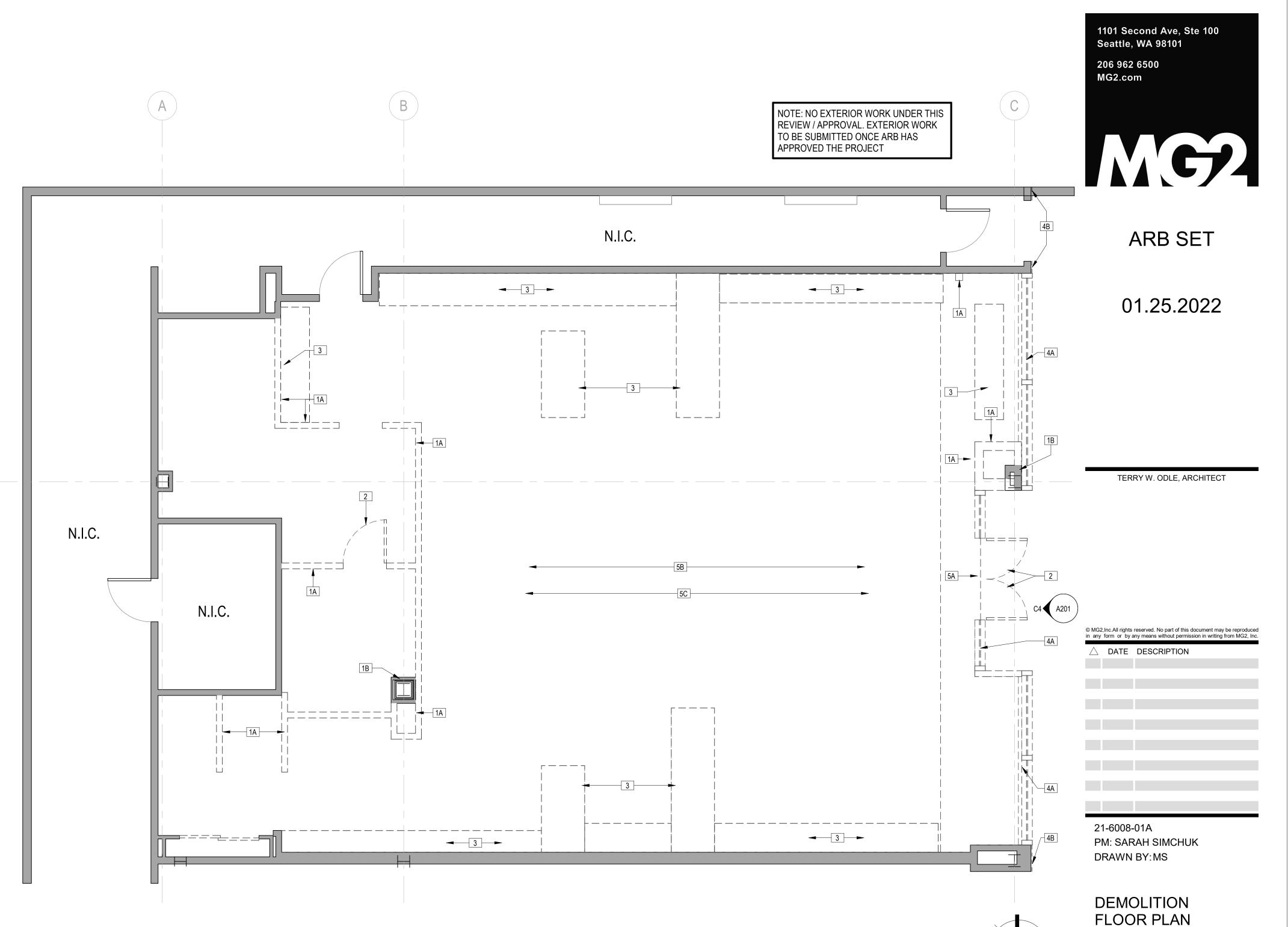
approval shall be corrected as approved

by Landlord at Tenant's expense.

4

BRILLIANT EARTH

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



DEMOLITION KEY

EXISTING TO REMAIN

EXISTING TO BE REMOVED

KEYNOTES DEMOLITION PLAN

WALLS

1A REMOVE EXISTING GYP BD PARTITION

1B EXISTING COLUMN WRAP TO REMAIN. PROTECT IN PLACE TO MAINTAIN FIRE RATING AT COLUMN.

DOOR

2 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE/EQUIPMENT

;ASEWORK

3 REMOVE EXISTING BUILT IN CASEWORK BACK TO EXISTING PARTITION

STOREFRONT

4A REMOVE EXISTING STOREFRONT SYSTEM AND MULLIONS

48 EXISTING STORE FRONT STSTEM A
4B EXISTING STONE FINISH TO BE REMOVED

ELOOPS

FLOORS

5A REMOVE EXISTING FLOOR TILE. PREPARE EXISTING SLAB TO RECEIVE NEW FLOOR TILING.

REMOVE EXISTING WOOD FLOOR FINISH. PREPARE EXISTING SLAB TO RECEIVE NEW FLOORING.
 TRENCH EXISTING SLAB FOR POWER TO FIXTURES/FURNITURE. COORDINATE VEHICLES.

esk Docs://BE-Sequoia-2-21-6008-01/A\_BE\_Sequoia

/10/2022 10·12·56 PM

PM: SARAH SIMCHUK DRAWN BY:SS

DEMOLITION REFLECTED **CEILING PLAN** 

CEILING NOTES:

- DEMO ALL EXISTING CEILING FIXTURES NOT SHOWN OR NOTED.

KEYNOTES DEMOLITION RCP

1A REMOVE EXISTING GYP BOARD CEILING. COORDINATE WITH MECHANICAL AND ELECTRICAL

B REMOVE EXISTING GYP BOARD SOFFIT C REMOVE EXISTING EXTERIOR GYP SOFFIT AND STOREFRONT BUMP OUT

2A REMOVE EXISTING TRACK LIGHTING AND ASSOCIATED ITEMS, COORDINATE WITH ELECTRICAL B REMOVE EXISTING RECESSED LIGHTING, COORDINATE WITH ELECTRICAL

ELECTRICAL

REMOVE EXISTING EXIT SIGN

\_ \_ \_ \_ \_ \_ \_ \_ \_ + \_ | N.I.C.

N.I.C.

2 | 3 | 4 | 5 | 6 |

OVERALL DEMOLITION REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

N.I.C.

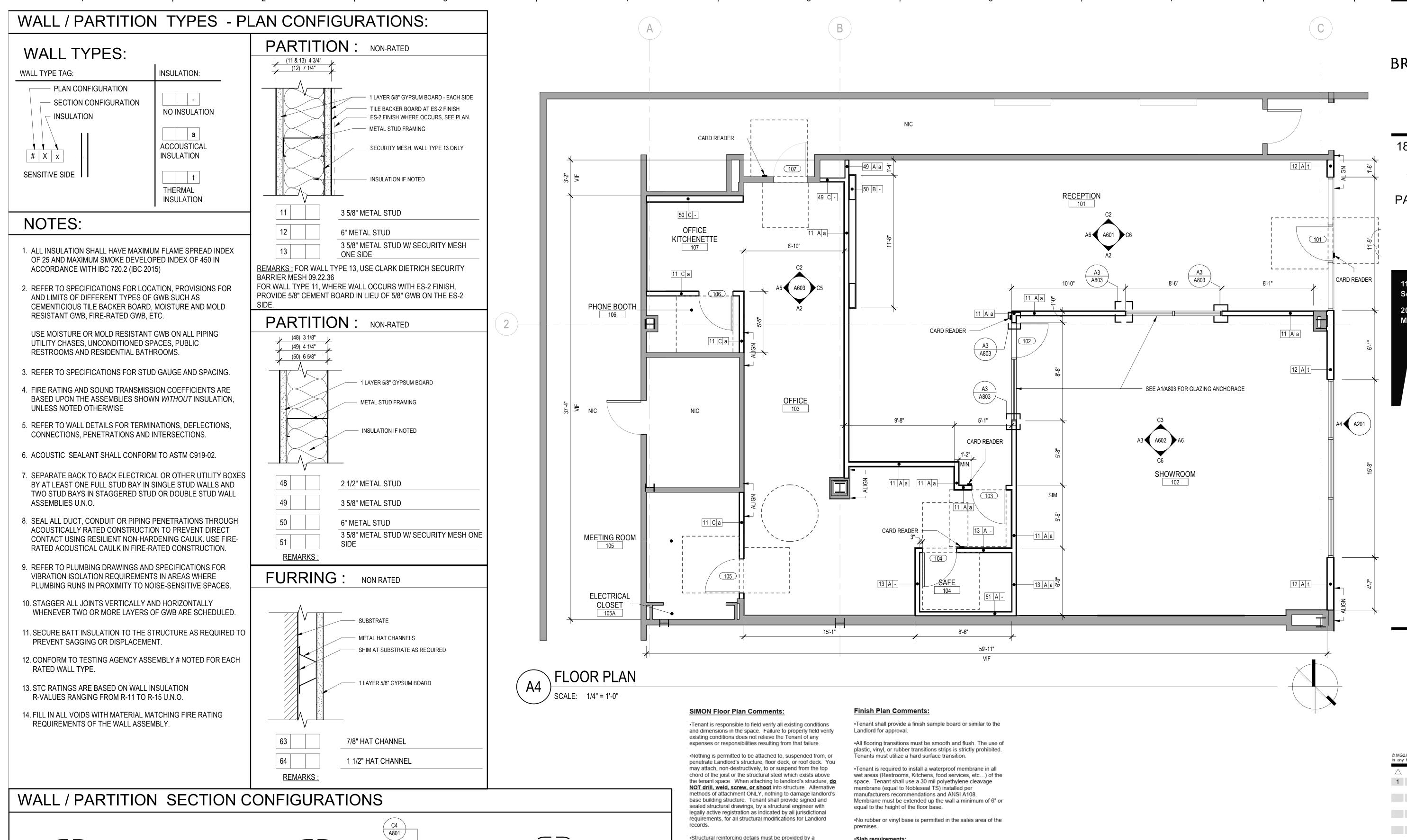
NOTE: NO EXTERIOR WORK UNDER THIS REVIEW / APPROVAL. EXTERIOR WORK

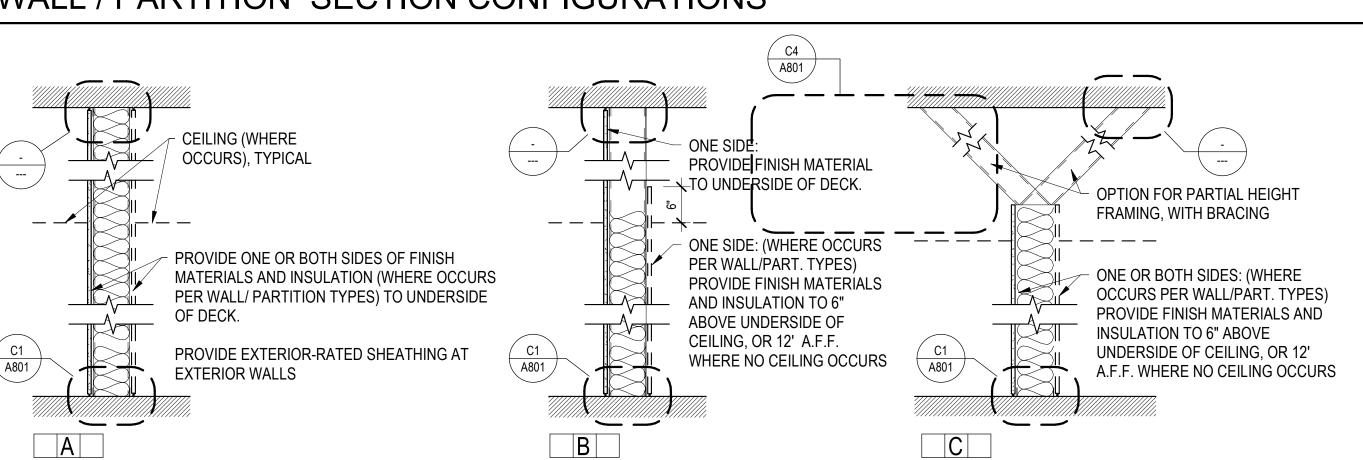
TO BE SUBMITTED ONCE ARB HAS

21-6008-01A









 Structural reinforcing details must be provided by a registered structural engineer to Tenant Coordination for equipment support or suspension, service platforms, deck penetrations, etc.

•Any Landlord equipment, component, and / or service feeding other tenant(s) that is existing in the space must remain visible and accessible to the Landlord. Tenant shall install access panels as required to maintain access. Access panels shall be label to properly identify system, coordinate

•Tenant's stockroom may not be visible from the sales area. Door(s) leading to the stockroom must have an automatic

 All rear entries must have a doorbell for deliveries. •All concrete patching must be level with the existing

 Tenant is required to install a waterproof membrane in all wet areas (Restrooms, Kitchens, food services, etc...) of the space. Tenant shall use a 30 mil polyethylene cleavage membrane (equal to Nobleseal TS) installed per manufacturers recommendations and ANSI A108. Membrane must be extended up the wall a minimum of 4" or equal to the height of the floor base. SIMON

Slab on grade: Tenant's General Contractor shall advise the Operation Team prior to any slab modifications or removal. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.

Elevated Slabs: Tenant's General Contractor shall advise the Operations Team prior to any slab modification or removal. If any elevated slab is to be modified in anyway (drilled, cored, or penetrated), tenant shall provide stamped and certified drawings by a licensed structural engineered certified in the local jurisdiction. All penetrations shall be **CORE BORED** ONLY. Saw cutting, jack hammering, and trenching is strictly prohibited. All penetrations shall be sleeved, sealed, fire stopped, and waterproofed. The penetration sleeve shall extend a minimum of 4" on either side of the slab and be labeled with the required NFPA rating. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's

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**BRILLIANT EARTH** 

180 EL CAMINO REAL BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304

1101 Second Ave. Ste 100 Seattle, WA 98101 206 962 6500 MG2.com

ARB SET

01.25.2022

TERRY W. ODLE, ARCHITECT

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△ DATE DESCRIPTION 1 5/11/22 ARB REVISION

21-6008-01A PM: SARAH SIMCHUK DRAWN BY:MS

FLOOR PLANS

FINISH NOTE KEY FLOOR FINISH: ? WALL FINISH: FLOOR FINISH DIRECTION: REF. TO MATERIAL SPECIFICATIONS ON A102A

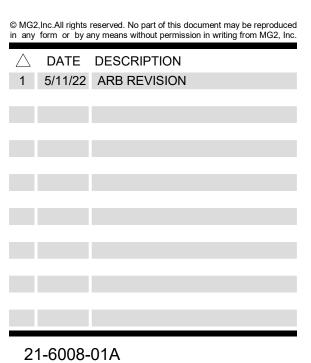
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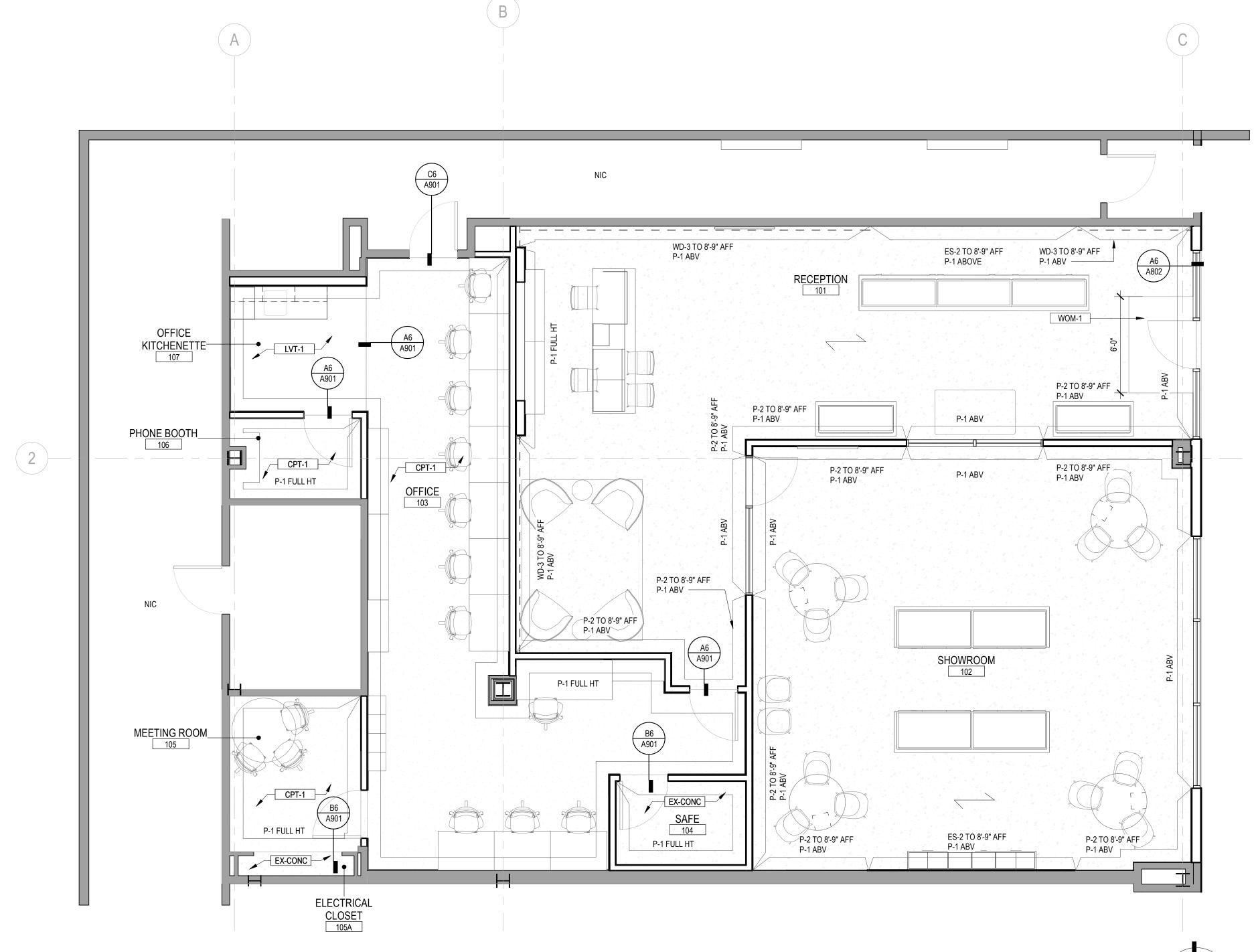
01.25.2022

TERRY W. ODLE, ARCHITECT



PM: SARAH SIMCHUK DRAWN BY:MS

FINISH PLAN



#### Finish Plan Comments:

•Tenant shall provide a finish sample board or similar to the Landlord for approval.

•All flooring transitions must be smooth and flush. The use of plastic, vinyl, or rubber transitions strips is strictly prohibited. Tenants must utilize a hard surface transition.

•Tenant is required to install a waterproof membrane in all wet areas (Restrooms, Kitchens, food services, etc...) of the space. Tenant shall use a 30 mil polyethylene cleavage membrane (equal to Nobleseal TS) installed per manufacturers recommendations and ANSI A108. Membrane must be extended up the wall a minimum of 6" or

•No rubber or vinyl base is permitted in the sales area of the

equal to the height of the floor base.

•Slab requirements: Slab on grade: Tenant's General Contractor shall advise the Operation Team prior to any slab modifications or removal. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.

Elevated Slabs: Tenant's General Contractor shall advise the Operations Team prior to any slab modification or removal. If any elevated slab is to be modified in anyway (drilled, cored, or penetrated), tenant shall provide stamped and certified drawings by a licensed structural engineered certified in the local jurisdiction. All penetrations shall be **CORE BORED ONLY.** Saw cutting, jack hammering, and trenching is strictly prohibited. All penetrations shall be sleeved, sealed, fire stopped, and waterproofed. The penetration sleeve shall extend a minimum of 4" on either side of the slab and be labeled with the required NFPA rating. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's

FLOOR FINISH & WALL FINISH PLAN

SCALE: 1/4" = 1'-0"

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KEY	MATERIAL	MANUFACTURER	LOCATION	DESCRIPTION/STYL	SIZE	NOTES
CARPET CPT-1	CARPET	BENTLEY MILLS, MICHELLE ANDERSON, MICHELLE.ANDERSON@BENTLEYMILLS.COM	ВОН	MODULYSS - FRAME 847	24 X 24 CARPET TILE	MONOLITHIC INSTALL
WOM-1	CARPET TILES	MOHAWK	WALK-OFF MAT	FIRST STEP II - WALNUT 859	24 X 24 CARPET TILE	
CEILING ACT-1	2310 SQUARE EDGE CEILING TILE, 0.55 NRC	USG	BACK OF HOUSE CONFERENCE ROOMS WHERE INDICATED	WHITE	2X4	FOR ACT TILE ATTACHMENT SEE A4/A801
EX-CONC	CONCRETE	N/A	EXISTING	EXISTING CONCRETE	N/A	
EDGE						
PROTECTION EP-1	ALUMINUM	SCHLUTER	RETAIL AND SHOWROOM VERTICAL EDGE AT ES	JOLLY, BRUSHED NICKEL ANODIZED ALUMINUM	COORDINATE W/ ES SIZE	
EP-2	ALUMINUM	SCHLUTER	LVT TO CPT TRANSITION	VINPRO-S, BRUSHED NICKEL ANODIZED ALUMINUM	COORDINATE W/LVT SIZE	
F-1	WINDOW FILM	ASTEK JEFF DEY JEFF@ASTEK.COM	RETAIL STOREFRONT	CUSTOM GRADIENT FILM CLEAR ADHESIVE - OPTICALLY CLEAR	SEE ELEVATION DRAWINGS	INSTALL ON INTERIOR SIDE OF GLAZING, PER MANUFACTURER'S RECOMMENDATIONS
F-2	WINDOW FILM	SOLYX	SHOWROOM INTERIOR GLAZING	5X-1254 REEDED GLASS	SEE ELEVATION DRAWINGS	INSTALL FILM ON GL-2, ON SHOWROOM SIDE OF GLAZING
F-3	WINDOW FILM	ЗМ	EXTERIOR STOREFRONT GLAZING	SAFETY AND SECURITY FILM - SINGLE LAYER. S70/S80/S70X	SEE ELEVATION DRAWINGS	INSTALL FILM PER MANUFACTURER'S INSTRUCTIONS. FILM LISTED AS BOD - SUB TO RECOMMEND ALTERNATE
GLASS GL-2	TEMPERED GLAZING	N/A	INTERIOR GLAZED PARTITIONS	TEMPERED CLEAR GLAZING	SEE ELEVATION DRAWINGS	
GL-3	TEMPERED GLAZING	STARPHIRE	EXTERIOR GLAZED STOREFRONT(W HERE INDICATED ON EXTERIOR ELEVATIONS)	SOLARBAN 60  SEE EXTERIOR ELEVATIONS		MAX U-FACTOR 0.41, (R) SHGC MAX 0.26, MIN VT 0.46
GROUT GR-1	GROUT	LATICRETE	GROUT FOR ES-2	18 SAUTERNE	N/A	INSTALL PER MANUFACTURER'S SMALLEST RECOMMENDED JOINT SIZE
LUXURY VINYL FOORING						
LVT-1	WOOD PLANK LOOK FLOORING	MOHAWK GROUP JULIA GUTT JULIA_GUTT@MOHAWKIND.COM (206) 409-3491	GENERAL FLOORING THROUGHOUT	MOLVENO WOODS TOUCH OF SAND - 121	7.75"W x 59.75"L X 6mm TH	STAGGER SEAMS
<b>LAMINATE</b> PL-1	PLASTIC	WILSONART LAMINATE	BOH CASEWORK	NATURAL RECON	SEE ELEVATION	
	LAMINATE	KIRSTEN SOLLY KSOLLY@WILSONART.COM		7996-38	DRAWINGS	
PL-2	PLASTIC LAMINATE	WILSONART LAMINATE KIRSTEN SOLLY KSOLLY@WILSONART.COM	BOH COUNTER	ALABASTER D431-07 TEXTURE GLOSS FINISH	SEE ELEVATION DRAWINGS	FACTORY ORDER ITEM. LEAD TIME FROM FACTORY WILL VARY.
P-1	GENERAL PAINT	TO MATCH BENJAMIN MOORE	GENERAL PAINT THROUGHOUT	2148-70 MOUNTAIN PEAK WHITE	N/A	NOTE: EGGSHELL ON WALLS AND TOP TRIM, SEMI-GLOSS ON DOOR FRAMES AND DOORS, SEMI-GLOSS ON BASE TRIM, SEMI-GLOSS ON STEEL STRUCTURAL ELEMENTS, FLAT ON CEILING AND SOFFITS. SUBMIT 8X10 INCH SAMPLES IN EACH PAINT COLOR AND SHEEN. LOW LUSTRE FOR EXTERIOR APPLICATION.
P-2	ACCENT PAINT	TO MATCH SHERWIN WILLIAMS	ACCENT PAINT ON WD-3 AND SPECIFIED WALLS - SEE ELEVATION DRAWINGS	SW 7547 SANDBAR	N/A	NOTE: EGGSHELL ON WALLS AND TOP TRIM, SEMI-GLOSS ON DOOR FRAMES AND DOORS, SEMI-GLOSS ON BASE TRIM, SEMI-GLOSS ON STEEL STRUCTURAL ELEMENTS, FLAT ON CEILING AND SOFFITS. SUBMIT 8X10 INCH SAMPLES IN EACH PAINT COLOR AND SHEEN.
P-3	STOREFRONT CURB BASE	WOLF GORDON CASSIE KLEIN CASSIE.KLEIN@WOLFGORDON.COM	AT STOREFRONT CURB	SCRUBTOUGH MAX - TO MATCH BENJAMIN MOORE BM 2148-70 MOUNTAIN PEAK WHITE		
STONE, ENGINEERED						
ES-2	WHITE ONYX LOOK PORCELAIN	DALTILE ANGELA BRABEC ANGELA.BRABEC@DALTILE.COM. ASK FOR BRILLIANT EARTH NATIONAL ACCOUNT PRICING.	ACCENT TILE WALLS	MOONSTONE CM11 GLOSSY	30" X 60"	INSTALL PER MANUFACTURER RECOMMENDATIONS, CAULK ANY EXPOSED GAPS AT EDGES.

KEY WALL BASE	MATERIAL	MANUFACTURER	LOCATION	DESCRIPTION/STYLE #	SIZE	NOTES
WB-1	VINYL BASE	TARKETT MILLWORK WALL BASE	GENERAL WALL BASE IN ALL PUBLIC AREAS	MANDALAY STYLE, MW-xx-H	4.5"H	SNOWBOUND ON P-1 WALLS, CASTAWAY ON ALL OTHERS UNO
WB-2	VINYL COVE BASE	ROPPE	WALL BASE AT BOH	170 WHITE	4"H, STANDARD TOE BASE	
WB-3	PAINTED	PROVIDED BY GC	WALL BASE AT	TO MATCH P-2	4.5"H	
	MDF WOOD		TAMBOUR PANELS ONLY			
WOOD						
WD-1	WHITE OAK	TO MATCH FIXTURE VENDOR SAMPLE	WOOD	NATURAL, CLEAR SATIN	I N/A	
			MULLIONS AND DOORS THROUGHOUT	FINISH		
WD-3	TAMBOUR PROFILES	PROVIDED BY FIXTURE FABRICATOR GRAND + BENEDICTS CHRIS MIESBACH CHRISM@GRAND-BENEDICTS.COM	INTERIOR WALL TAMBOUR PROFILES	PAINT GRADE, TO MATCH P-2	STANDARD PANEL DIMENSIONS FROM FABRICATOR ARE 24" X 100.5"	COORDINATE WITH CLIENT/ VENDOR FOR TYPICAL PANEL ATTACHMENT. SEE E3/A803 . FOR CUTOUTS IN PANEL SEE E1/A803. PANELS ARRIVE WITH BASE COAT. GC TO CAULK TOP/BOTTOM, SEAMS AND ALL ATTACHMENT POINTS PRIOR TO FINAL PAINT.
WD-4	WOOD TRIM	TO MATCH SHERWIN WILLIAMS	TRIM	TO MATCH P-2	SEE ELEVATION DRAWINGS	
FLEXIBLE SEALANTS						
S-1	CAULK	KERACAULKU	TAMBOUR PROFILES, TOP/BOTTOM AND SEAMS	IVORY 93910	N/A	CAULK TAMBOUR TOP/BOTTOM AND SEAMS PRIOR TO FINAL PAINT
ACCESSORIES						
REFRIGERATOR		GE	KITCHENETTE	TOP FREEZER, WHITE	STANDARD DIMENSIONS FROM MANUFACTURER	
DISHWASHER		GE	KITCHENETTE	WHITE, FRONT CONTROL TALL TUB DISHWASHER WITH STAINLESS STEEL TUB. ENERGY STAR APPLICANCES.	STANDARD DIMENSIONS FROM MANUFACTURER	
SUN SHADES		MECHO SUN SHADES	PER RCP	FABRIC: SOHO 1600 SERIES, 3% OPENNESS, COLOR TO MATCH FASCIA. OPERATION: STAINLESS STEEL CHAIN	6	SHADE TO MATCH EXISTING MULLION

	ROOM FINISH SCHEDULE									
Rooms		Floor		Walls						
Number	Name	Fin	Base	North	East	South	West	Ceiling	Comments/Remarks	
Level 1										
101	RECEPTION	LVT-1	WB-1, WB-3	WD-3, P-1	P-1, P-2	P-1, P-2, ES-2	P-1, WD-3	GYP		
102	SHOWROOM	LVT-1	WB-1, WB-3	P-1, P-2,	P-1	P-1, P-2, ES-2	P-1, WD-3	GYP		
103	OFFICE	CPT-1	WB-2	P-1	P-1	P-1	P-1	ACT-1		
104	SAFE	EX-CONC	WB-2	P-1	P-1	P-1	P-1	OTS		
105	MEETING ROOM	CPT-1	WB-2	P-1	P-1	P-1	P-1	ACT-1		
105A	ELECTRICAL CLOSET	EX-CONC	-	-	-	-	-	OTS		
106	PHONE BOOTH	LVT-1	WB-2	P-1	P-1	P-1	P-1	ACT-1		
107	OFFICE KITCHENETTE	CPT-1	WB-2	P-1	P-1	P-1	P-1	ACT-1		

REFER TO PLANS AND ELEVATIONS FOR ADDITIONAL INFO

2 1 3 1 4 1 5 1 6 1

## BRILLIANT EARTH

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



ARB SET

01.25.2022

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DATE DESCRIPTION

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FINISH SCHEDULE

A102A





PROPOSED EXTERIOR FACE

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



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EXTERIOR FINISH BOARD

A102B

	FIXTURE SCHEDULE										
FIXTURE	PART										
TYPE	NUMBER	DESCRIPTION	COMMENTS	COUNT	SUPPLIED BY	INSTALLED BY					
CK-02L	951-WR-LG-KSK-L	CONCIERGE KIOSK LARGE - LEFT		1	VENDOR	CONTRACTOR					
CL-01	951-SR-CL-D3B	SHOWROOM CASELINE	DOUBLE CASE w/ (2) 56" 3 BAY DISPLAY CASE	2	VENDOR	CONTRACTOR					
CT-01	951-SR-CT	CONSULATION TABLE		4	VENDOR	CONTRACTOR					
GFRC-01	951-R-CFRC	GROUND FLOOR RETAIL CABINETRY		1	VENDOR	CONTRACTOR					
RC-01	951-R-CDZA	RETAIL CREDENZA	w/ (3) 56" 951-R-CDZA-1000 3 BAY DISPLAY CASES & (1) 951-R-CDZA-A	1	VENDOR	CONTRACTOR					
RC-02	951-R-CDZA-SM	SMALL RETAIL CREDENZA		2	VENDOR	CONTRACTOR					
RO-01	951-R-WR-RO	RETAIL OTTOMAN		1	VENDOR	CONTRACTOR					
SC-01	951-SR-CAB	SHOWROOM CREDENZA		1	VENDOR	CONTRACTOR					
TBWP	951-W-TBWP	TAMBOUR WALL PANELS	CONTRACTOR TO FIELD VERIFY TOTAL SIZE OF PANELS AND COORDINATE SIZE AND QUANTITY OF EACH PANEL WITH VENDOR, SEE ELEVATION DRAWINGS FOR LOCATION OF PANELS	25	VENDOR	CONTRACTOR					

FURNITURE SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS	COUNT	DxWxH	SUPPLIED BY	INSTALLED BY		
ACC-02A	SIDE TABLE	TBD	TBD		2		OWNER	OWNER		
ACC-03A	DECORATIVE FLOOR MIRROR	ROOM AND BOARD	INFINITI LEANING MIRROR	FRAME COLOR FOR DESIGN BY THE INCH: TAUPE. DEPTH IS THE FINAL TILT DIMENSION AND NOT THE FRAME THICKNESS	2	D 2" x W 3'-9" x H 8'-0"	OWNER	CONTRACTOR		
ACC-05	AREA RUG	MAHARAM	QUERY 650095 - 011 DAYLIGHT		1	D 7'-6" x W 10'-0" x H 1/4"	OWNER	OWNER		
BHC-01	BACK OF HOUSE CHAIR	FLASH FURNITURE	BL-X-5M-BK-GG		14	D 2'-0 1/2" x W 2'-1 1/2" x H 3'-5 1/4"	OWNER	OWNER		
BHL-01	BACK OF HOUSE LOCKERS - SINGLE STACK	TBD	TBD		4		OWNER	OWNER		
BHT-01	BACK OF HOUSE TABLE	TBD	TBD		1	D 4'-0" x W 4'-0" x H 2'-5"	OWNER	OWNER		
BHWS-01-3' 6"	BACK OF HOUSE WORKSTATION 3'-6" WIDE	GRAND + BENEDICTS	PARSONS		10	D 2'-6" x W 3'-6" x H 2'-5 1/2"	OWNER	CONTRACTOR		
BHWS-01-6'	BACK OF HOUSE WORKSTATION 6' WIDE	GRAND + BENEDICTS	PARSONS		1	D 2'-6" x W 6'-0" x H 2'-5 1/2"	OWNER	CONTRACTOR		
BS-01	CONCIERGE STOOL	BLU DOT	CHIP		4	D 1'-8 5/8" x W 1'-6 3/8" x H 3'-1"	OWNER	OWNER		
CH-01	WAITING ROOM LOUNGE CHAIR	BERNHARDT FURNITURE	CATHERINE CHAIR		4	D 2'-8 3/4" x W 2'-10" x H 2'-5 1/4"	OWNER	OWNER		
CH-02	SHOWROOM CHAIR	BERNHARDT FURNITURE	CHLOE GUEST CHAIR		14	D 2'-0 3/4" x W 1'-8 1/4" x H 2'-8 1/2"	OWNER	OWNER		

FURNITURE PLAN NOTES:

FOR ACCESSIBLE ELEVATIONS AT KIOSK SEE:

- GC TO MAKE FINAL ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT, FURNITURE AND FIXTURES AS REQUIRED. COORDINATE WITH CUT SHEETS

KEYNOTES INTERIOR ELEVATIONS

WALL OUTLET AT 24" AFF

FLOOR POWER, LOCATE PER PLAN. TRENCH TO LOCATIONS

PROVIDE BLOCKING AT CABINETRY

PROVIDE 30 MIL VAPOR BARRIER BENEATH CASEWORK AND

UP THE WALL AT KITCHENETTE PER F6/A802

CLEAR FLOOR SPACE FOR ACCESSIBLE LOCKERS

CLEAR FLOOR SPACE FOR ACCESSIBLE KIOSK FOH RETAIL RECEPTACLE LOCATION

8 LOCKERS OVER 72" AFF TO BE SEISMICALLY ANCHORED TO

Display Fixtures, Racks, Shelving, and Storage Unit

•Tenant shall be solely responsible for the design, installation, and use of any display or storage system(s) within the Premise including all compliance with applicable building codes, fire codes and the requirements of any insurance rating bureaus. If anything done, omitted to be done or suffered to be done by Tenant in, upon or about the Premises in regard to such display or storage system(s) shall result in a fire code violation(s) and the Tenant fails to take corrective action and / or pay the associated fine, regardless of whether assessed against Tenant or Landlord, within the prescribed time period, then Tenant shall be liable for all costs and expenses resulting from such violation(s) and landlord shall have the right to correct any such condition(s) at Tenant's expense.

 Tenant display fixtures in the retail space and rack / shelving / storage units in the stockroom shall be designed to provide adequate clearance for the automatic (fire) sprinkler system. No displays or storage should exceed 12ft and ceilings must be installed to provide a minimum of 18" of clearance between the top of the storage system and sprinkler deflectors.

•Tenant displays or Storage higher than 12'-0" are classified as "high piled storage", which requires high hazardous automatic (fire) sprinkler protection designed per FM Global Loss Prevention Data Sheet and NFPA requirements for the storage of "Group A Plastic" commodities. High piled storage also requires a minimum of 36" of clearance between the top of storage and sprinkler deflectors.

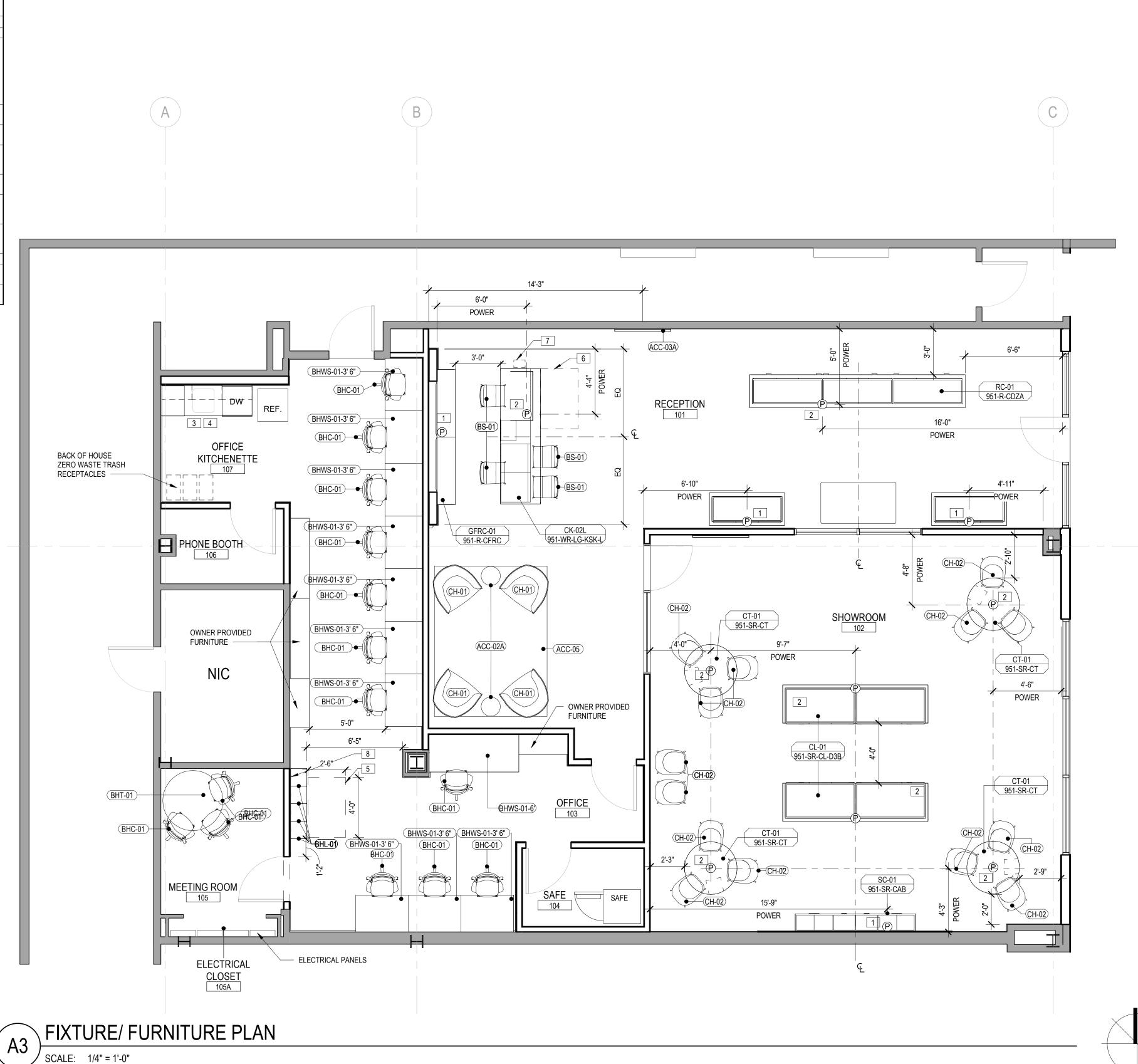
•Tenant mobile / compact storage systems shall be constructed of wire mesh shelves. However, if constructed with solid shelves (wood or steel), the units shall be installed with a minimum of a 3" spacer to provide space between units at maximum 5'-0" intervals.

•Tenant's Architect and General Contractor shall provide the following information to the mall required Sprinkler Contractor regarding stock / storage area:

- o Type of storage system(s). (Including details of the storage
- o Type of shelving. (Wire mesh / Solid wood / Solid Steel, etc.)
- o Type of commodities. (Plastics, aerosol's, clothing, etc) o Elevation of highest shelf / ceiling height.

 Landlord strongly prefers use of energy star products and/or equipment whenever possible during Tenant build out, which can reduce energy consumption.





l 3 l 4 l 5 l 6

BRILLIANT EARTH

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



**ARB SET** 

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FIXTURE / FURNITURE PLAN & SCHEDULES

**Storefront Elevation / Section Comments:** 

 If not already existing, tenant must provide a sealed partition above the storefront to separate the Common Area ceiling from the tenant's space. (Shall be rated if required by code and all penetration shall comply and be labeled with the required NFPA rating.)

•Nothing is permitted to be attached to, suspended from, or penetrate Landlord's structure, floor deck, or roof deck. You may attach, non-destructively, to or suspend from the top chord of the joist or the structural steel which exists above the tenant space. When attaching to landlord's structure, do NOT drill, weld, screw, or shoot into structure. Alternative methods of attachment ONLY, nothing to damage landlord's base building structure. Tenant shall provide signed and sealed structural drawings, by a structural engineer with legally active registration as indicated by all jurisdictional requirements, for all structural modifications for Landlord records.

•Any Landlord equipment, component, and / or service feeding other tenant(s) that is existing in the space must remain visible and accessible to the Landlord. Tenant shall install access panels as required to maintain access. Access panels shall be label to properly identify system, coordinate with Mall Operations.

•When Storefront Grilles are permitted by Landlord, they must be floor supported and shall attach to Landlord's structure for lateral support only. When in open position, bottom rail of grille must be fully recessed into ceiling treatment above. No welding to structure is permitted.

•Slat wall may not be used within the first 5'-0" of the space.

Vertical glass joints shall be frameless butt joints.

Painted drywall is not an acceptable storefront finish.

·Any damage to mall property or adjacent tenants during construction must be repaired to Mall specifications, at Tenant's expense.

•Storefront sign must be on a 7-day, 24-hour time clock. Illuminated signs must remain illuminated during all mall

•Approval of the Tenant's Construction / Design Documents by the Landlord shall not constitute review and approval of the Tenant's Signage. Signage shop drawings must be submitted under separate submittal for Landlord review and approval prior to fabrication and installation of the sign. SIMON

A3 A804 BRILLIANT EARTH

RENDERED CONCEPT ELEVATION

ENVELOPE CONSTRUCTION

3

TYPICAL EXTERIOR CFS WALL CONSTRUCTION

1/2" THICK BRICK ON THIN SET MORTAR

KEYNOTES EXTERIOR DEMO ELEVATIONS

D1 EXISTING BUILDING SIGNAGE TO BE REMOVED.

D2 EXISTING ENTRY CANOPY TO BE REMOVED

ROAD, UNIT 14. SAN CARLOS, CA 94070. 650-508-7446

KEYNOTES EXTERIOR ELEVATIONS

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304

BRILLIANT EARTH

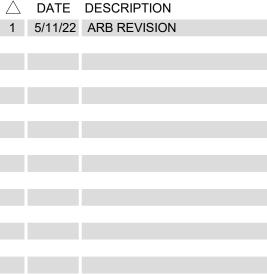


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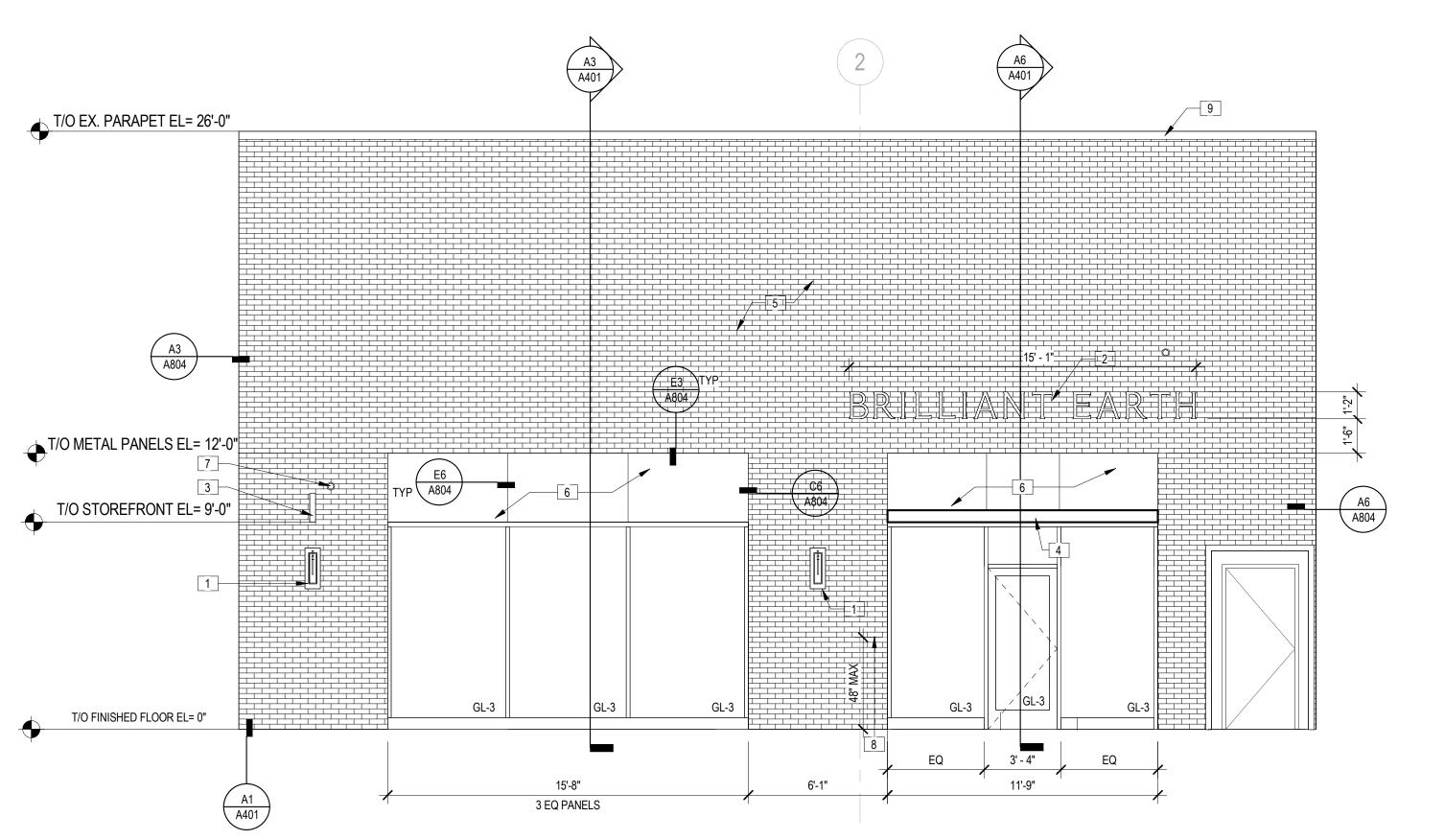
**EXTERIOR ELEVATIONS** 

A201

SCONCE TO BE CENTERED ON WALL. SEE ELECTRICAL. BUILDING-MOUNTED PRIMARY SIGNAGE UNDER SEPARATE PERMIT, PROVIDE WATER RESISTIVE BARRIER POWER. SEE ELECTRICAL. D3 EXISTING TENANT BLADE SIGN TO BE REMOVE 5/8" CEMENT TILE BACKER BOARD B ILLUMINATED BLADE SIGN UNDER SEPARATE PERMIT, PROVIDE POWER. SEE D4 EXISTING STOREFRONT GLAZING AND MULLIONS TO BE REMOVED. 7/8" FURRING HAT CHANNEL D5 EXISTING STONE FINISH TO BE REMOVED PREFINISHED METAL ENTRY CANOPY. FINISH TO MATCH KAWNEER CHAMPAGNE 6" STEEL STUD D6 EXISTING DOORS, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED. FACED R-13 FIBERGLASS BATT INSULATION WITHIN CAVITY D9 EXISTING PARAPET COPING TO BE REMOVED. WHITE PAINTED BRICK. FINISH P-1. 5/8" GWB METAL PANELS ABOVE STOREFRONT. ALIGN SEAMS WITH MULLIONS. FINISH TO FINISH PER PLAN MATCH KAWNEER CHAMPAGNE #18. CAMERA, TYP. PROVIDE POWER. SEE ELECTRICAL. BRAILLE PLAQUE PER GC RULES AND REGULATIONS. COMPLY WITH CITY OF PALO ALTO REQUIREMENTS. ORDER FROM SIGNWORKS, 1200 INDUSTRIAL METAL PARAPET, FINISH TO MATCH KAWNEER CHAMPAGNE #18. T/O EX. PARAPET EL= 26'-0" \_\_\_\_\_ NIC

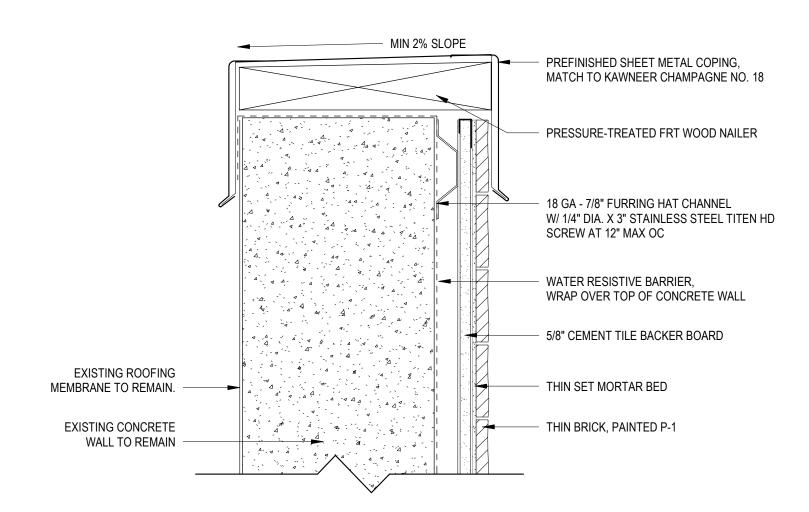
DEMO EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



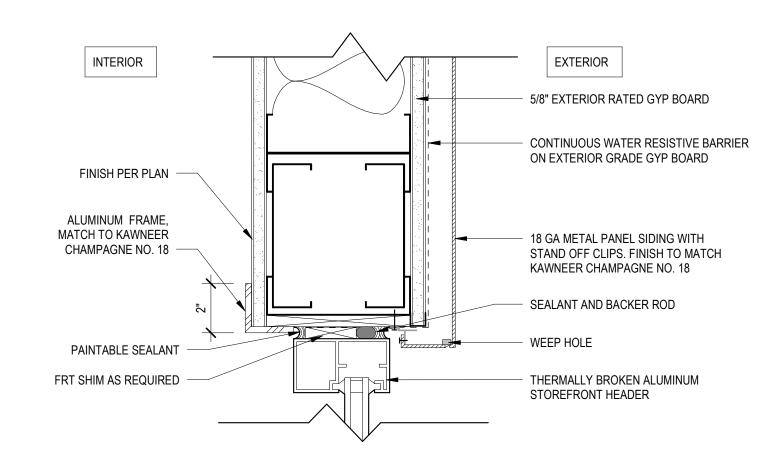
PROPOSED EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



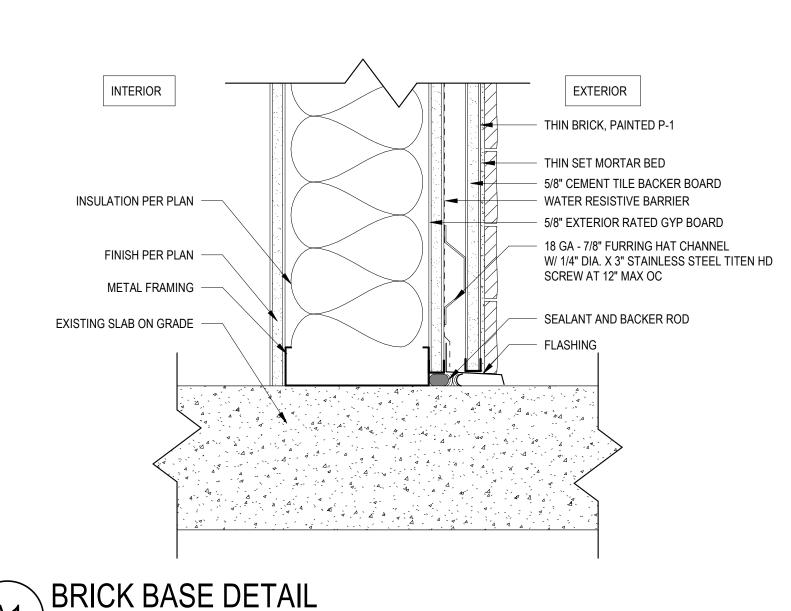
PARAPET DETAIL

SCALE: 3" = 1'-0"



STOREFRONT HEADER DETAIL

SCALE: 3" = 1'-0"



EXTERIOR STOREFRONT SECTION AT SHOWROOM

SCALE: 1/2" = 1'-0"

2 | 3 | 4 | 5 | 6

l 3 l 4 l 5 l 6 l

T/O EX. PARAPET EL= 26'-0"

T/O METAL PANEL EL= 12'-0"

T/O STOREFRONT EL= 9'-0"

PREFINISHED METAL PARAPET CAP

EXISTING FLUTED CONCRETE WALL

WATERPROOFING MEMBRANE

THIN BRICK APPLIED TO THIN

- 18 GA - 7/8" FURRING HAT CHANNEL W/ 1/4" DIA. X 3" STAINLESS STEEL

18 GA METAL PANEL SIDING. FINISH TO MATCH KAWNEER CHAMPAGNE NO. 18

5/8" CEMENT TILE BACKER

SCREW AT 12" MAX OC

EXISTING CONCRETE BEAM

REFER TO STRUCTURAL

MANUAL MECHO WINDOW

C1 FACE OF MULLION

LVT-1 FLOOR FINISH ON TOP OF

EXISTING SLAB ON GRADE

**EXTERIOR** 

INTERIOR

ROLLER SHADE, MOUNTED TO

ALUMINUM STOREFRONT SYSTEM:

KAWNEER, CHAMPAGNE NO.18

DUAL PANE TEMPERED GLAZING

- LIGHT GAGE METAL BOX BEAM,

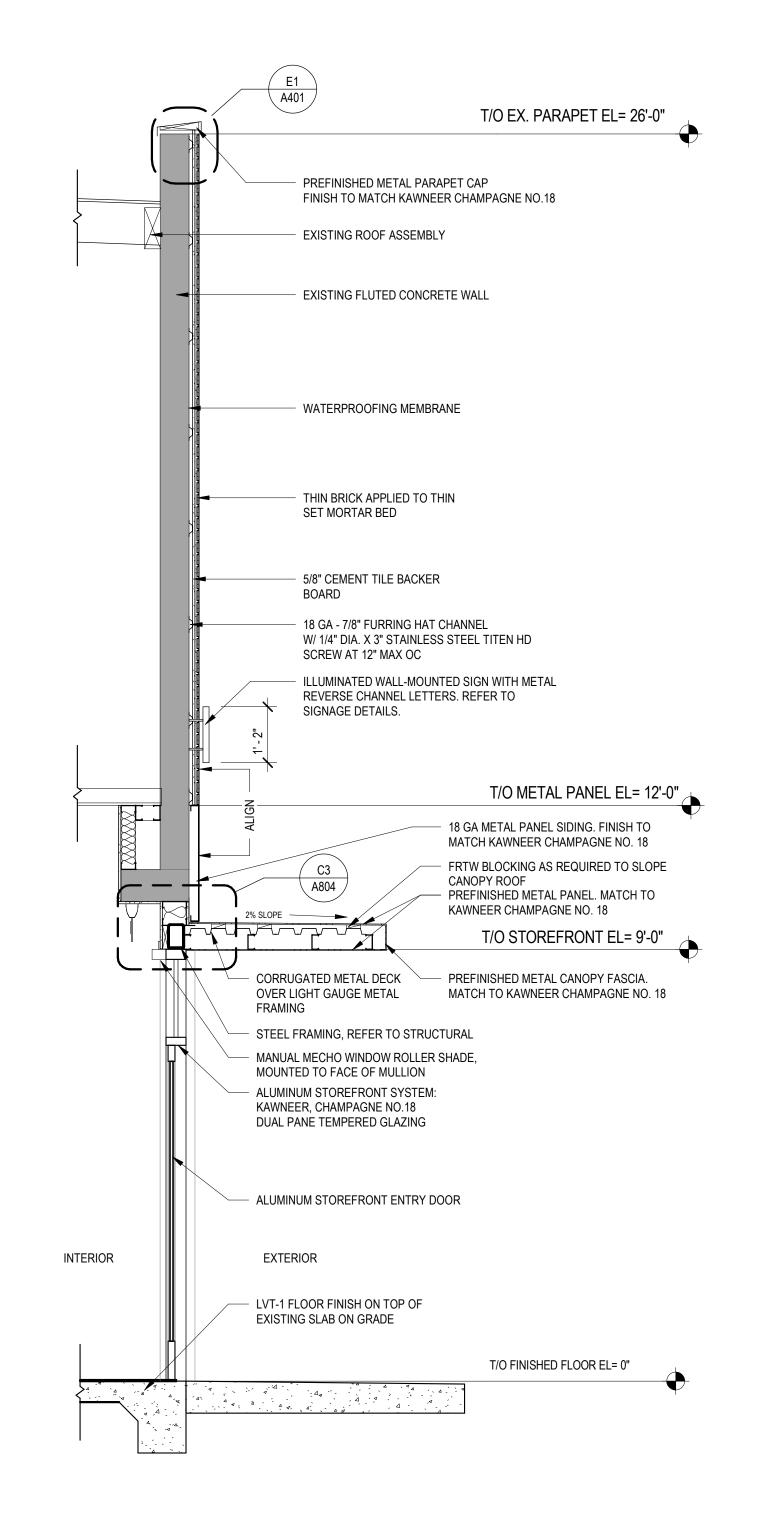
SET MORTAR BED

BOARD

TITEN HD

- EXISTING ROOF ASSEMBLY

FINISH TO MATCH KAWNEER CHAMPAGNE NO.18



7

EXTERIOR STOREFRONT SECTION AT RETAIL

SCALE: 1/2" = 1'-0"

BRILLIANT EARTH

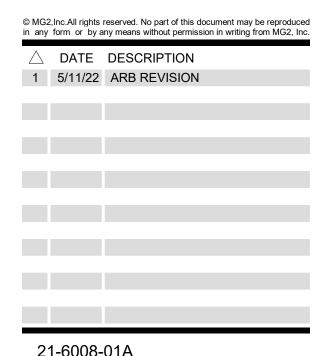
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WALL SECTIONS

A401

EXISTING FLUTED CONCRETE WALL

WATER RESISTIVE BARRIER,
WRAP OVER TOP OF CONCRETE WALL

5/8" CEMENT TILE BACKER BOARD

THIN SET MORTAR BED

THIN BRICK, PAINTED P-1

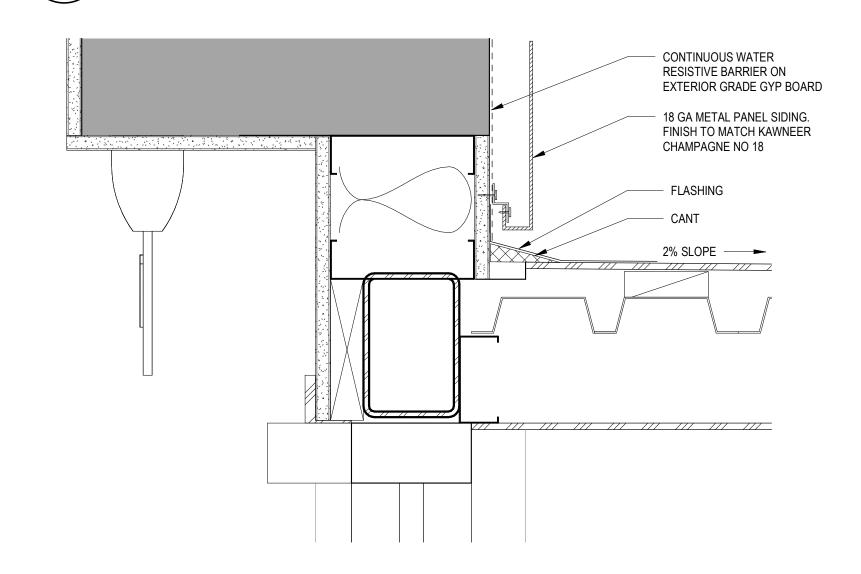
18 GA - 7/8" FURRING HAT CHANNEL
W/ 1/4" DIA. X 3" STAINLESS STEEL TITEN HD
SCREW AT 12" MAX OC

SEALANT AND BACKER ROD, 1/2" MAX

18 GA METAL PANEL SIDING
WITH MECHANICALLY FASTENED
STAND OFF CLIPS. FINISH TO
MATCH KAWNEER CHAMPAGNE
NO 18

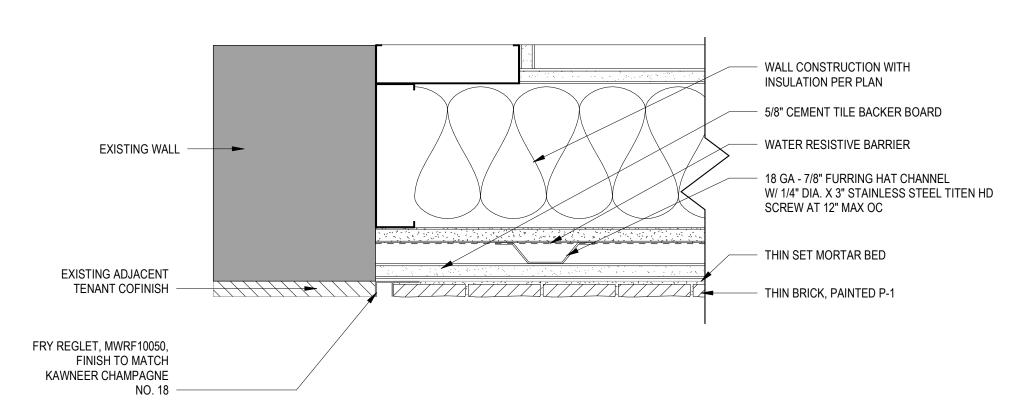
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# VERTICAL BRICK TO METAL PANEL DETAIL SCALE: 3" = 1'-0"



# METAL PANEL AT CANOPY DETAIL

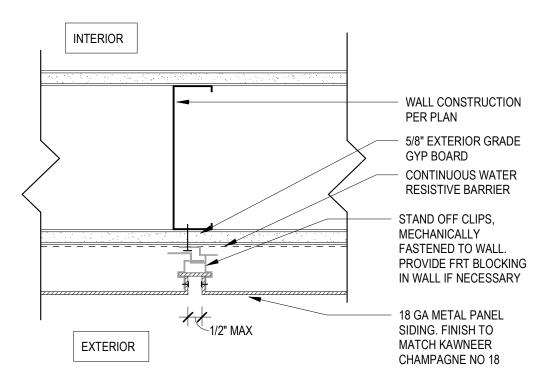
SCALE: 3" = 1'-0"



NEUTRAL PIER @ TENANT FINISH DETAIL

SCALE: 3" = 1'-0"

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E6 METAL PANEL VERTICAL JOINT DETAIL

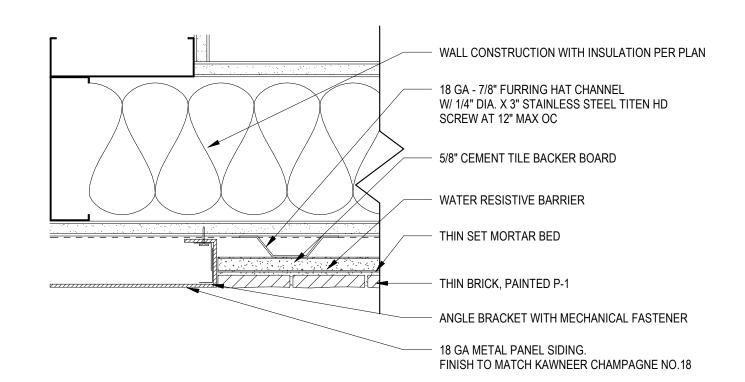
SCALE: 3" = 1'-0"

1 6



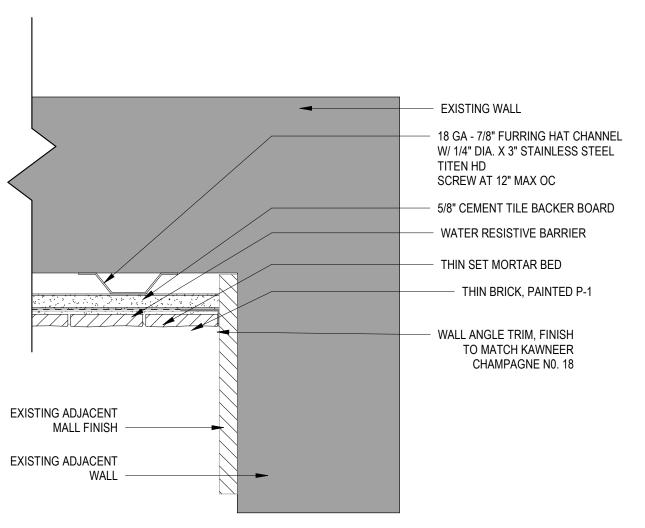
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C6 HORIZONTAL BRICK TO METAL PANEL DETAIL



NEUTRAL PIER @ LL FINISH DETAIL

SCALE: 3" = 1'-0"

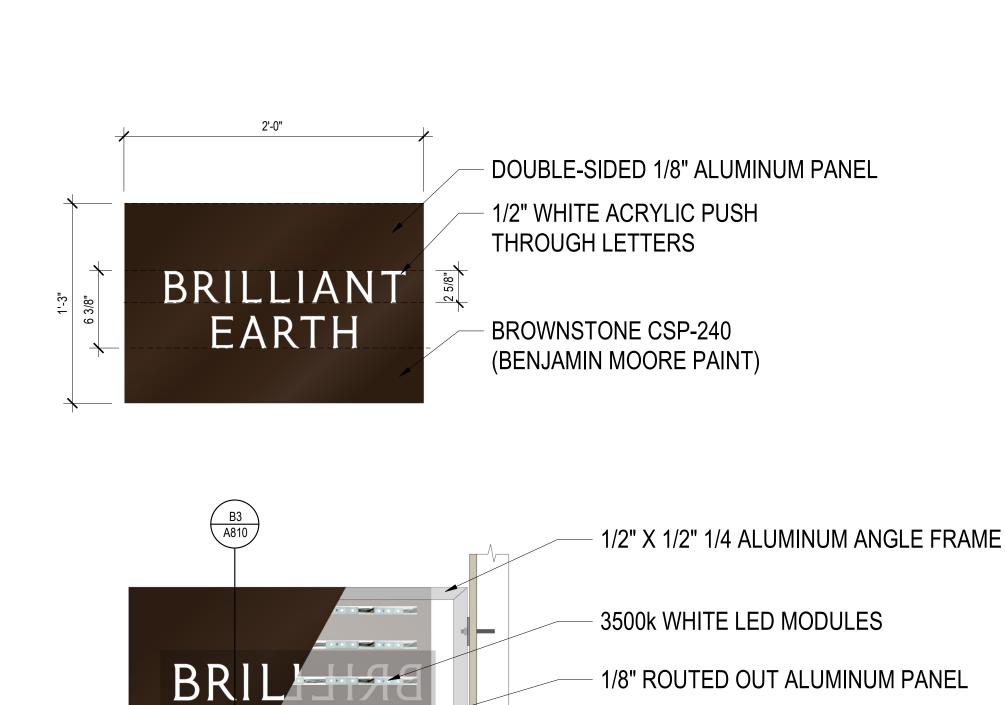
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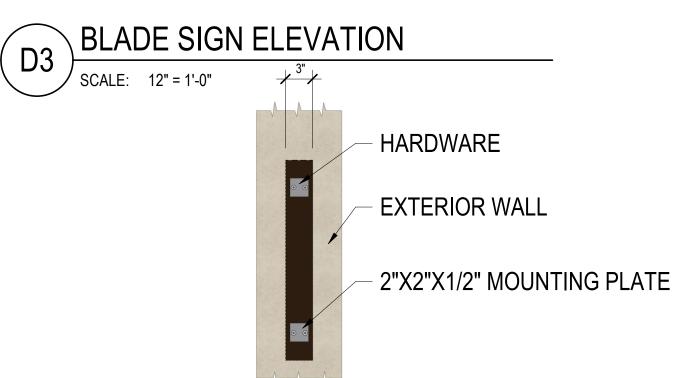
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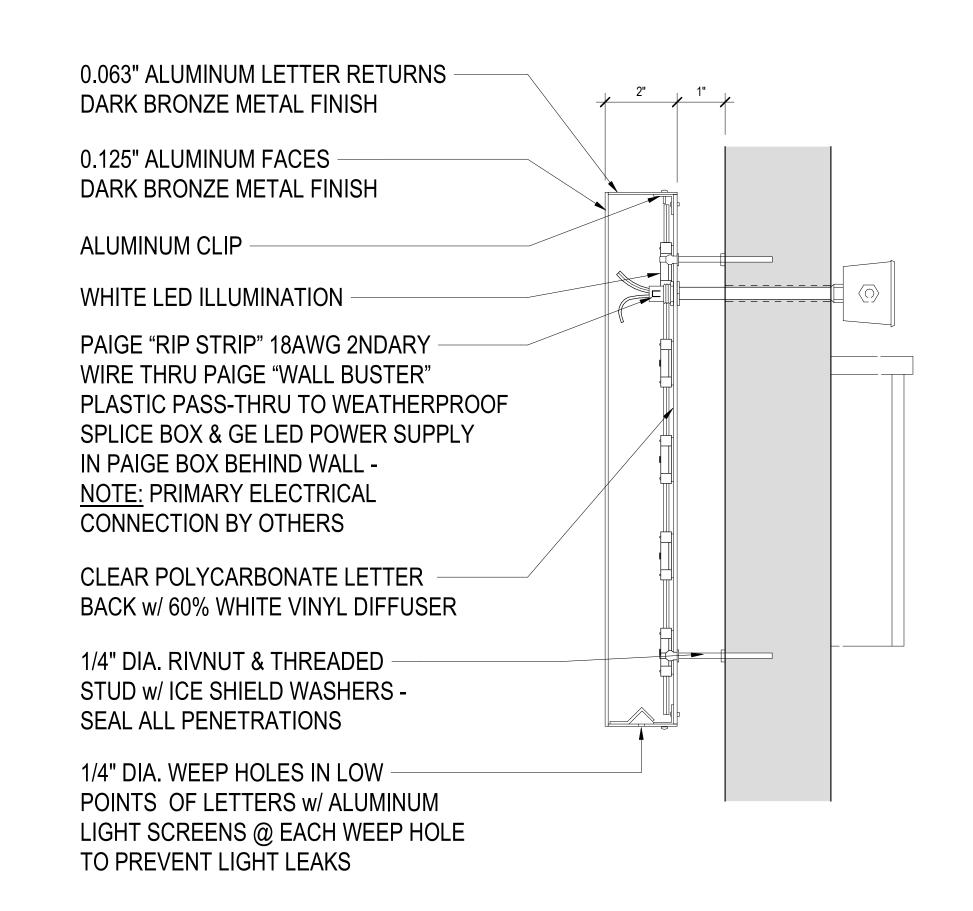
EXTERIOR DETAILS

**A804** 











BRILLIANT EARTH

180 EL CAMINO REAL, BLDG D STE #71, GROUND LEVEL PALO ALTO, CA, 94304



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**EXTERIOR WALL** 

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SIGNAGE DETAILS



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PHOTOMETRIC PLAN

A811

