

# 2525 PARK BOULEVARD

## PALO ALTO, CA



### PLANNING RESUBMITTAL #5

03.03.2023

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PROJECT INFORMATION / ZONING COMPLIANCE

**ZONING:** CC(2)(R) REGIONAL / COMMUNITY COMMERCIAL SUBDISTRICT (2) / RETAIL (COMBINING)

**APNS:** 150 GRANT AVE (124-29-020), 123 SHERMAN AVE (124-29-013), 2501 PARK BLVD (124-29-012)

**LAND USE (PAMC 18.16.040 TABLE 1):**  
PROFESSIONAL & GENERAL BUSINESS OFFICES  
MEDICAL OFFICES (<5,000 SF)  
RETAIL INCLUDING EAT-IN RESTAURANTS

**(E) LOT AREA:** 150 GRANT AVE: 26,143 SF  
123 SHERMAN AVE: 3,111 SF  
2501 PARK BLVD: 5,130 SF  
**TOTAL SITE AREA: 34,384 SF**

**ALL THREE EXISTING PARCELS TO BE MERGED AS A PART OF THIS PROPOSED PROJECT.**

**MAX. SITE COVERAGE (PAMC 18.16.060 TABLE 3):** NONE REQUIRED  
45% EXISTING (15,523 SF / 34,384 SF)  
86% PROPOSED (29,681 SF / 34,384 SF)

**MAX. BUILDING HEIGHT (PAMC 18.16.060 TABLE 3):** 37' MAX ALLOWED / PROPOSED (3 STORIES)  
(SEE A3- BUILDING ELEVATIONS / SECTIONS FOR MORE INFORMATION / DIMENSIONS)

**SETBACKS (PAMC 18.16.060 TABLE 3):**  
FRONT YARD (PARK BLVD): 0'-10' TO CREATE AN 8'-12' EFFECTIVE SIDEWALK WIDTH  
2'-31.5' PROVIDED (GROUND FLOOR) & 0' AT FLOORS 2/3 ABOVE, WITH AN EFFECTIVE 7'-6" ± SIDEWALK WIDTH  
(TO MATCH ADJACENT PROPERTY AT 2555 PARK RECENTLY REDEVELOPED)

REAR YARD: NONE REQUIRED\* / 10' PROVIDED (P2 - FLOOR 1) & 20' PROVIDED (FLOORS 2-3)

INTERIOR SIDE YARDS: NONE REQUIRED / 0' - 1' PROVIDED AS NEEDED FOR CONSTRUCTABILITY (ALL LEVELS)

STREET SIDE YARDS (SHERMAN AVE / GRANT AVE): NONE REQUIRED\*  
0' PROVIDED (FLOORS 2-3), PORTION OPPOSITE CC(2)(R) ONLY @ SHERMAN AVE.  
10' MIN. REQ.\* / PROVIDED (ENTIRE P2 - FLOOR 1 & FLOORS 2-3 @ PORTION OPPOSITE RM-40 ONLY) @ SHERMAN AVE.

0' PROVIDED (ALL FLOORS, PORTION OPPOSITE CC(2)(R) ONLY) @ GRANT AVE.  
10' MIN. REQ.\* / 13'-6" PROVIDED (ALL FLOORS, PORTION OPPOSITE RM-40 ONLY) @ GRANT AVE.

\* 10' MINIMUM YARD FOR LOT LINES ABUTTING OR OPPOSITE RESIDENTIAL / RESIDENTIAL PC DISTRICTS  
(PROPOSED PROJECT ABUTS RM-40 AT REAR LOT LINE & IS OPPOSITE RM-40 AT PORTIONS OF BOTH GRANT & SHERMAN AVES)

**BUILD-TO-LINES:** MIN. 50% FRONTAGE BUILT TO SETBACK, MIN. 33% SIDE STREETS BUILT TO SETBACK  
FRONTAGE (PARK BLVD) PROVIDED: 50'-7" OF 95' BUILT TO SETBACK (~53.2%, 50% MIN. REQ.)  
SIDE STREET (SHERMAN AVE.) PROVIDED: ~158'-10" OF ~191'-3" BUILT TO SETBACK (~83.1%, 33% MIN. REQ.)  
SIDE STREET (GRANT AVE.) PROVIDED: ~41'-4" OF ~100'-4" BUILT TO SETBACK (~41.18%, 33% MIN. REQ.)

**DAYLIGHT PLANE: NONE REQUIRED (ONLY REQUIRED FOR LOT LINES ABUTTING ONE OR MORE RESIDENTIAL ZONE DISTRICTS  
OTHER THAN RM-40 OR PC ZONE, HEIGHT & SLOPE TO MATCH MOST RESTRICTIVE RESIDENTIAL ZONE ABUTTING THE SITE LINE IN  
QUESTION)**

**(E) BUILDING AREA:** 150 GRANT AVE: ~7,915 SF + ~1,703 SF (~9,618 SF TOTAL)  
123 SHERMAN AVE: ~764 SF + ~1,810 SF (~2,564 SF TOTAL)  
2501 PARK BLVD: ~3,341 SF  
**TOTAL (E) OFFICE AREA: 15,523 SF**

**PROPOSED FLOOR AREA:**  
RETAIL / PERMITTED USES AREA: 4,301 SF  
FIRST FLOOR OFFICE AREA 3,529 (LOBBY, ELEVATORS, STAIRS, TRASH ROOM, MAIN ELECTRICAL ROOM)  
SECOND FLOOR OFFICE AREA: 22,478 SF (EXCLUDES 576 SF OPENING AT TWO STORY LOBBY)  
THIRD FLOOR OFFICE AREA: 22,959 SF  
**TOTAL OCCUPIED FLOOR AREA: 53,267 SF**

UNOCCUPIED FIRST FLOOR COVERED (ONLY) PARKING AREA: 15,496 SF  
**TOTAL FLOOR AREA: 68,763 SF**

**NET OFFICE AREA: 48,966 SF**

**PROPOSED PARKING AREA:**  
P2/P1 LEVEL = 28,521 SF EA. (2 LEVELS): 57,042 SF  
FIRST FLOOR COVERED + SURFACE PARKING AREA\*: 18,532 SF  
**TOTAL PARKING AREA: 75,574 SF**  
\*EXCLUDES EXTERIOR STAIR, TRASH ROOMS, ELECTRICAL ROOM, & AMENITY AREA

**FAR ALLOWED (PAMC 18.16.060 TABLE 3):** 2.0:1 (68,768 SF MAX. FOR 34,384 SF TOTAL SITE AREA)

**FAR PROPOSED:** 2.0:1 (68,763 SF), SEE ABOVE FOR SUMMARY  
(EXCLUDES AMENITY FITNESS / SHOWERS IN GARAGE PER PAMC 18.04.030 65B(V))  
TOTAL AMENITY AREA EXCLUDED FROM FAR & PARKING = 1,605 SF (~2.3 % FLOOR AREA, LESS THAN 5% ALLOWED)

**PARKING REQUIRED (PAMC 18.52.040 TABLE 1):**  
1/250 SF OFFICE (196 TOTAL STALLS FOR 48,966 SF)

1/200 SF RETAIL / PERMITTED USES (22 TOTAL STALLS FOR 4,301 SF)

218 TOTAL STALLS REQUIRED FOR 53,267 SF OCCUPIED FLOOR AREA  
**20% TDM REDUCTION: 175 STALLS REQUIRED / MIN. PROVIDED**

**PARKING PROPOSED: TOTAL 175 STALLS (8 ADA + 149 OFFICE + 18 RETAIL)**  
P2 LEVEL: 82 TOTAL OFFICE STALLS  
\* 34 STD STALLS  
\* 24 PUZZLES (48 STALLS)

P1 LEVEL: 52 TOTAL OFFICE STALLS  
\* 52 STD STALLS (INCLUDING 33 FUTURE EV + 1 FUTURE AMBULATORY EV + 3 CAV)

FIRST FLOOR: 41 TOTAL STALLS, 8 ADA + 19 RETAIL / PERMITTED USES + 7 OFFICE STALLS  
\* 6 STD ADA STALLS (INCL. 1 ADA EVSE)  
\* 2 VAN ADA STALLS (INCL. 1 VAN ADA EVSE)  
\* 8 CODE PROVIDED STALLS (ADA ACCESS AISLES PER PAMC 18.52.040(b)(8))  
\* 7 STD EVSE INSTALLED STALLS  
\* 18 CAV STALLS

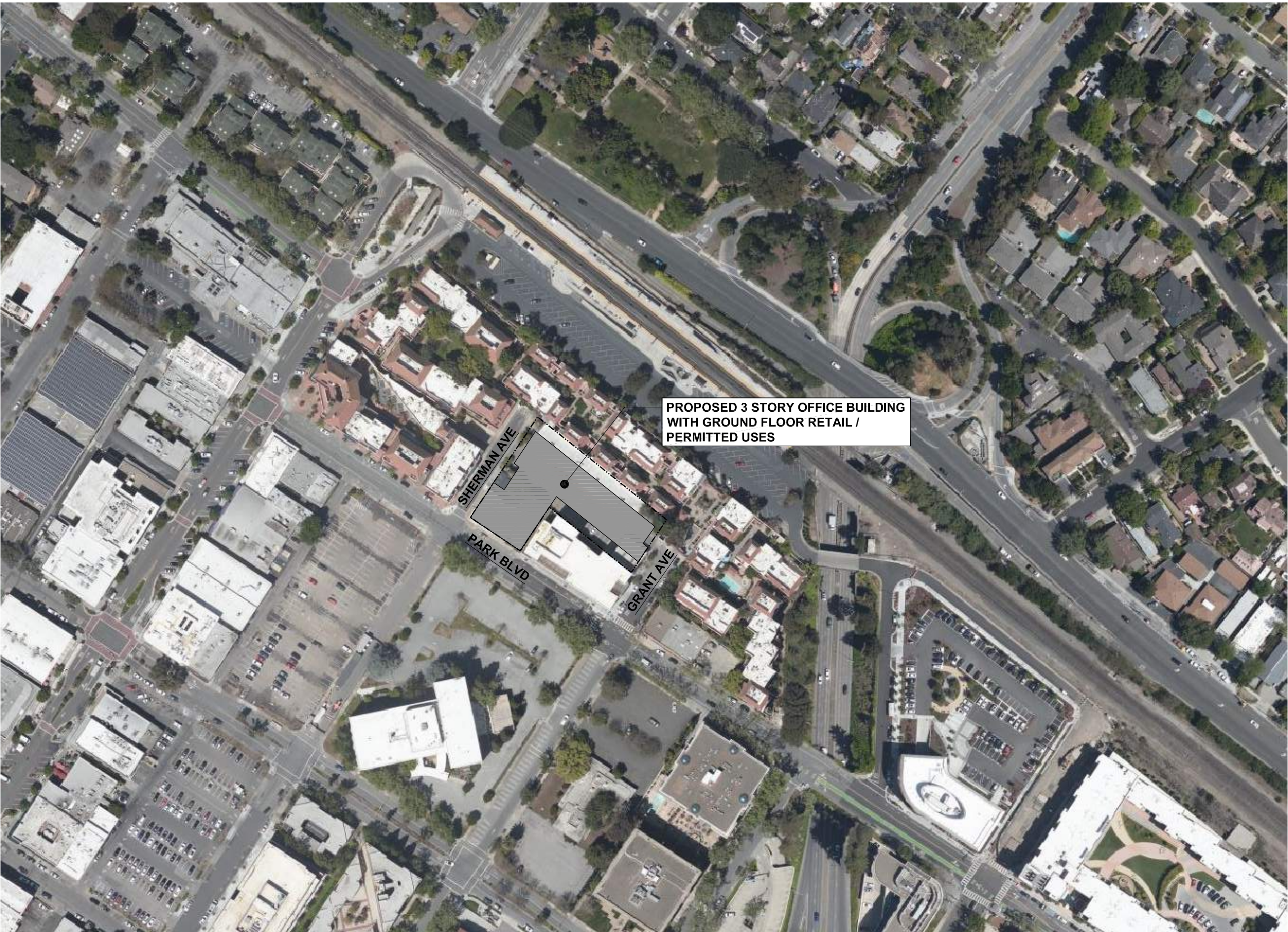
**LOADING PARKING**  
(1 LOADING STALL REQ. / PROV. PER PAMC 18.52.040 TABLE 3 (FOR LESS THAN 100,000 SF), 12'X45'X15' CLEAR HT)

**ACCESSIBLE PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):**  
6 ADA REQUIRED (FOR 151-200 TOTAL STALLS PER CBC 11B-208.2)  
\* 5 STD ADA + 1 VAN ADA PROVIDED (PER CBC 11B-208.2.4)

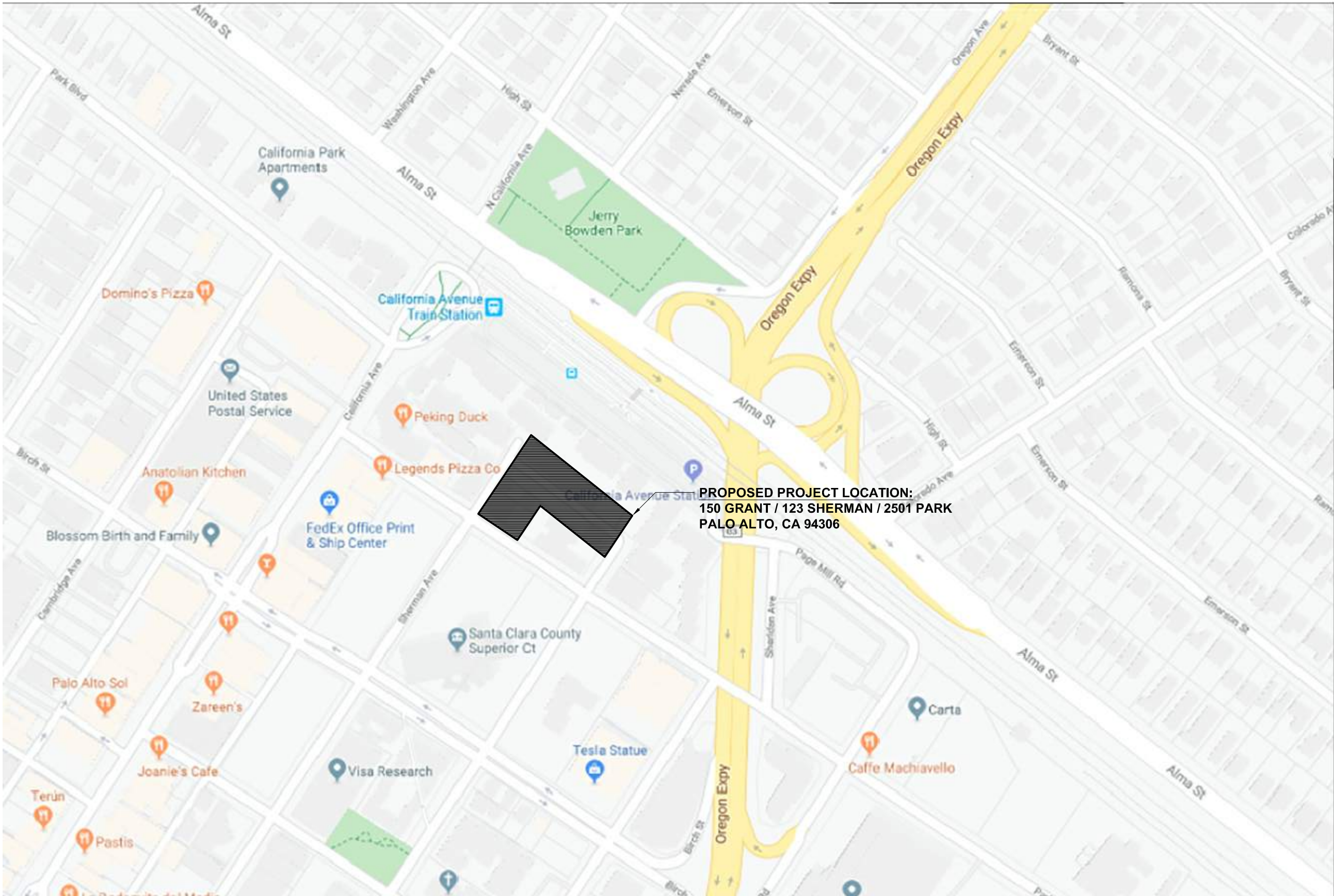
**DESIGNATED CAV PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):**  
21 CAV STALLS (12% OF TOTAL STALLS PER CGC TABLE A5.106.5.1.2)

**EV PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):**  
43 EVSE STALLS (25% OF TOTAL STALLS PER PAMC 16.14.430)  
34 CONDUIT ONLY (20% FUTURE EV), INCLUDING:  
\* 33 STD FUTURE EVSE  
\* 1 AMBULATORY FUTURE EVSE (FOR 26 TO 50 FUTURE INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)  
**FUTURE VAN AMBULATORY & STD EVSES TO BE LOCATED ON P1 LEVEL**

9 EVSE INSTALLED (5% OF TOTAL STALLS PER PAMC 16.14.430), INCLUDING:  
\* 7 STD EVSE  
\* 1 VAN EVSE ADA (FOR 26 TO 50 FUTURE / INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)  
\* 1 STD EVSE ADA (FOR 26 TO 50 FUTURE / INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)  
**VAN ADA EVSE & STD ADA EVSE LOCATED ON FIRST FLOOR**



2 NEIGHBOURHOOD CONTEXT MAP  
N.T.S.



1 VICINITY MAP  
N.T.S.

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306

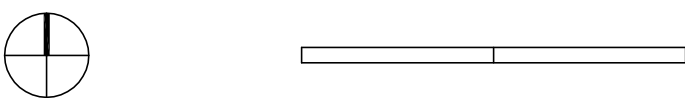


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
**PROJECT INFORMATION**

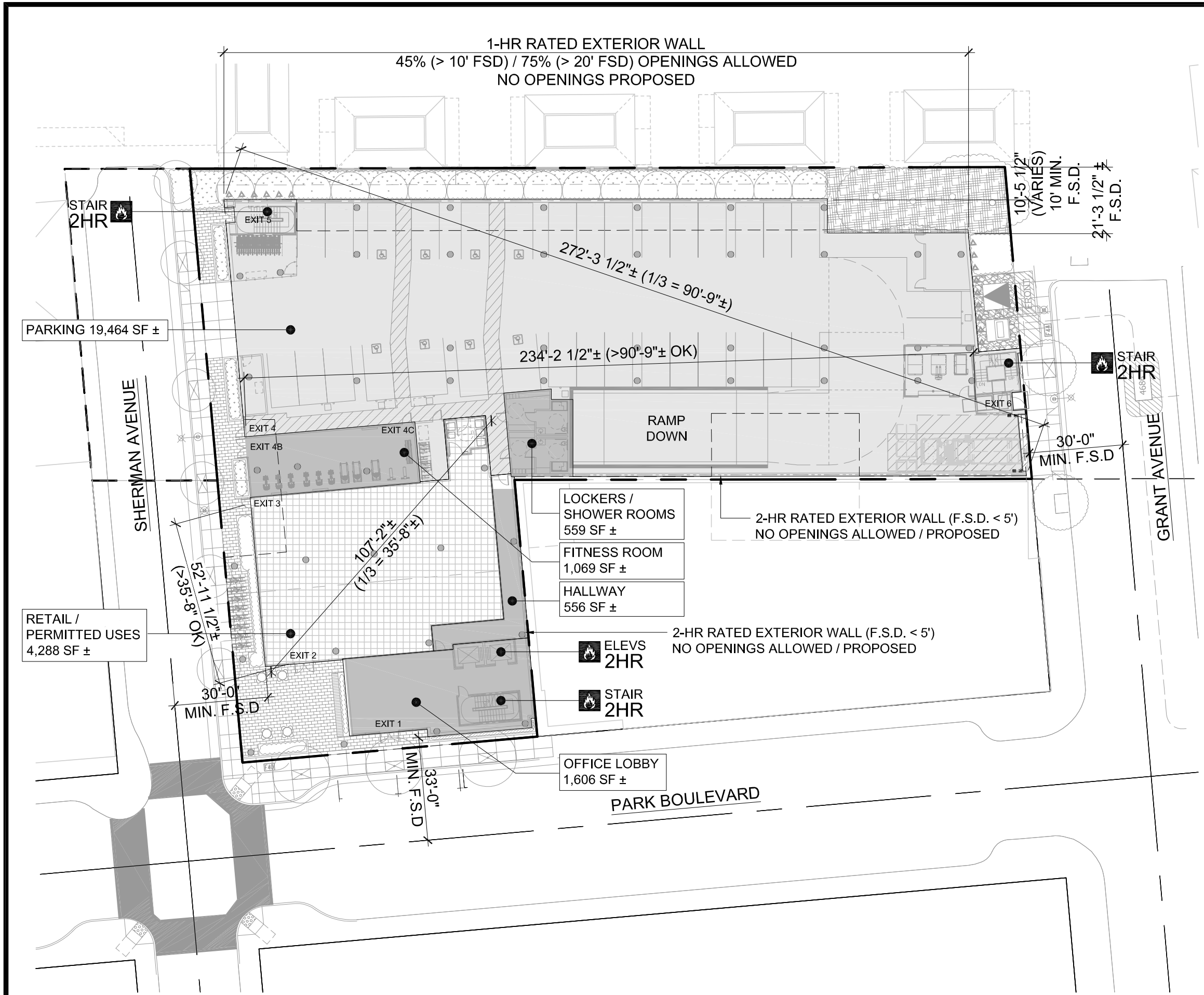
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SHEET NUMBER

A0.1





2 FIRST FLOOR EGRESS PLAN  
1/32"=1'-0"

FIRST FLOOR OCCUPANCY CALCULATIONS:

**RETAIL OCCUPANCY (4,288 SF):** GROUP A (1 OCC. / 15 SF)  
4,288 / 15 = **286 OCCUPANTS** (2 EXITS REQUIRED / PROVIDED)

RETAIL DOOR WIDTH: 286 X 0.2 = 57.2" MIN.  
2 DOORS @ 32" MIN. CLR. EA. (64" TOTAL) REQUIRED  
2 DOORS (EXIT 2 @ 64" CLR. & EXIT 3 @ 32" CLR., 96" TOTAL) PROVIDED

**OFFICE OCCUPANCY:** GROUP B (1 OCC. / 150 SF)  
LOBBY & ACCESS HALLWAY (2,162 SF):  
2,162 / 150 = **15 OCCUPANTS** (1 EXIT REQUIRED / 2 PROVIDED)

**PARKING OCCUPANCY:** GROUP S-2 (1 OCC. / 200 SF)  
19,464 / 200 = **98 OCCUPANTS** (2 EXITS REQUIRED / PROVIDED)

FITNESS ROOM (1,069 SF): GROUP B ACCESSORY (1 OCC. / 50 SF)  
1,069 / 50 = **22 OCCUPANTS** (1 EXIT REQUIRED / 2 PROVIDED)

LOCKERS / SHOWER ROOMS (559 SF): GROUP B ACCESSORY (1 OCC. / 150 SF)  
559 / 150 = **4 OCCUPANTS**  
TOTAL PARKING OCCUPANTS = 8 (1/2 15) + 98 + 11 (1/2 22) + 4 = 121  
**TOTAL 121 PARKING OCCUPANTS (2 EXITS REQUIRED / PROVIDED)**

PARKING DOOR WIDTH: 121 X 0.2 = 24.2" MIN.  
2 DOORS @ 32" MIN. CLR. EA. (64" TOTAL) REQUIRED  
2 DOORS (EXIT 4 & EXIT 6 @ 32" CLR. EA., 64" TOTAL) PROVIDED

**COMBINED FIRST FLOOR OCCUPANTS:**  
286 + 15 + 98 + 22 + 4 = **425 TOTAL OCCUPANTS (FIRST FLOOR)**  
2 EXITS REQUIRED / 5 EXITS PROVIDED (EXITS 1-4, 6)

**CONVERGENCE AT EXIT 1 (64" DOOR PAIR)**  
(FIRST FLOOR OFFICE LOBBY/HALL + PARKING BELOW + OFFICE ABOVE)  
15 + 72 (1/2 OF 143) + 90 (1/3 OF 269) = **177 OCCUPANTS CONVERGING AT EXIT 1**  
TOTAL DOOR WIDTH: 177 X 0.2 = 35.4" MIN REQ. (64" PROVIDED)

**CONVERGENCE AT EXIT 6 (48" DOOR)**  
(FIRST FLOOR PARKING + PARKING BELOW + OFFICE ABOVE)  
61 (1/2 OF 129) + 72 (1/2 OF 143) + 90 (1/3 OF 268) = **223 OCC. CONVERGING AT EXIT 6**  
TOTAL DOOR WIDTH: 223 X 0.2 = 44.6" MIN REQ. (45" PROVIDED)

**LEGEND**

- A-3 ASSEMBLY AREA
- B BUSINESS & ACCESSORY AREA
- M RETAIL AREA
- S-2 PARKING AREA

**RATED BUILDING ELEMENT (AS NOTED)**

\* COMMON PATH OF EGRESS (CBC T 1006.2.1)  
A, M = 75' MAX. (SPRINKLERED)  
B, S = 100' MAX. (SPRINKLERED)

\*\* EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2)  
A, M = 250' MAX. (SPRINKLERED)  
B = 300' MAX. (SPRINKLERED)  
S-2 = 400' MAX. (SPRINKLERED)

**BUILDING CODE SUMMARY**

BUILDING CODE: 2022 CALIFORNIA BUILDING CODE & ASSOCIATED

AREAS:	GROUP A	GROUP B	GROUP M	GROUP S-2
3RD FLR	0 SF	22,959 SF	0 SF	0 SF
2ND FLR	0 SF	22,478 SF	0 SF	0 SF
1ST FLR	0 SF	5,134 SF	4,301 SF	18,532 SF
LEVEL P1	0 SF	0 SF	0 SF	28,521 SF
LEVEL P2	0 SF	0 SF	0 SF	28,521 SF
TOTAL	0 SF	50,571 SF	4,301 SF	75,574 SF

GRAND TOTAL GROSS BUILDING AREA: 130,448 SF  
(INCLUDES EXTERIOR STAIR & OPEN TO SKY PARKING AREA)

NO. OF STOREYS: 3

HEIGHT: 35'-0" (TO TOP OF ROOF), SEE ALSO A3.- ELEVATIONS & SECTIONS FOR MORE DETAIL

CONSTRUCTION TYPE:  
TYPE I-B

BUILDING(S) WILL BE FULLY SPRINKLERED.  
NON-SEPARATED OCCUPANCIES TO BE PROVIDED PER CBC 508.3

GROUP A-3:		
ALLOWABLE HEIGHT PER CBC T 504.3	180'	
ALLOWABLE STOREYS PER CBC T 504.4	12	
ALLOWABLE AREA PER CBC T 506.2	UNLIMITED SF	

ALLOWABLE SUMMARY: UNLIMITED SF, 12 STOREYS, 180'

GROUP B:		
ALLOWABLE HEIGHT PER CBC T 504.3	180'	
ALLOWABLE STOREYS PER CBC T 504.4	12	
ALLOWABLE AREA PER CBC T 506.2	UNLIMITED SF	

ALLOWABLE SUMMARY: UNLIMITED SF, 12 STOREYS, 180'

GROUP M:		
ALLOWABLE HEIGHT PER CBC T 504.3	180'	
ALLOWABLE STOREYS PER CBC T 504.4	12	
ALLOWABLE AREA PER CBC T 506.2	UNLIMITED SF	

ALLOWABLE SUMMARY: UNLIMITED SF, 12 STOREYS, 180'

GROUP S-2:		
ALLOWABLE HEIGHT PER CBC T 504.3	180'	
ALLOWABLE STOREYS PER CBC T 504.4	12	
ALLOWABLE AREA PER CBC T 506.2	237,000 SF	

ALLOWABLE SUMMARY: 237,000 SF, 12 STOREYS, 180'

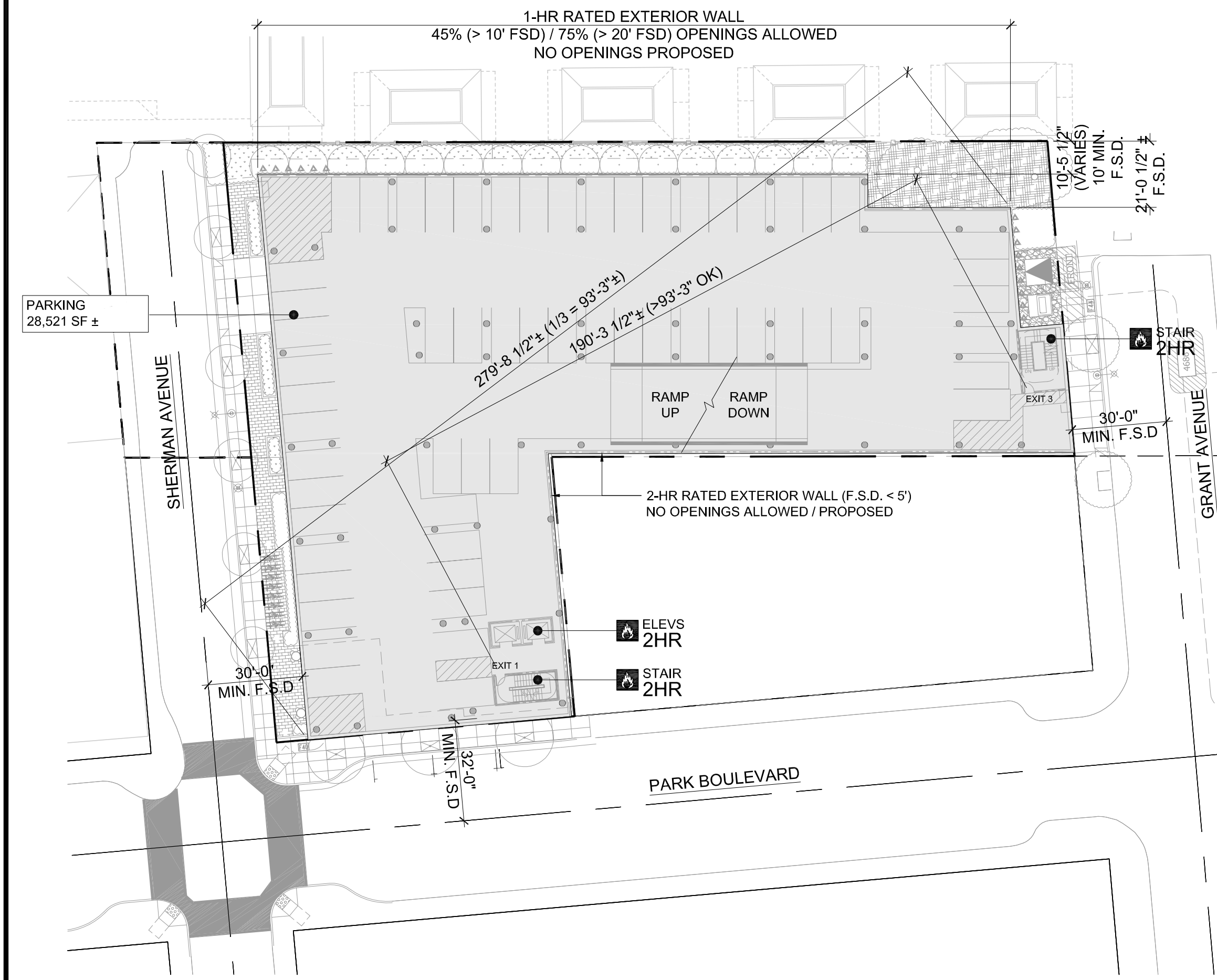
IN COMPLIANCE WITH CBC 508.3.2, THE ALLOWABLE BUILDING AREA, HEIGHT AND NUMBER OF STOREYS OF THE BUILDING OR PORTION THEREOF IS TO BE BASED ON THE MOST RESTRICTIVE ALLOWANCES FOR TYPE I-B WITH UNLIMITED A, B, M, THE S-2 IS THE LIMITING OCCUPANCY (MAX. 237,000 SF AREA, 12 STOREYS, 180'). THE PROPOSED PROJECT IS LESS THAN 237,000 SF AND IS 3 STOREYS / 37 FEET IN HEIGHT.

**RATING REQUIREMENTS FOR TYPE I-B (CBC T 601):**  
PRIMARY STRUCTURAL FRAME: 2 HR  
BEARING WALLS EXTERIOR: 2 HR  
BEARING WALLS INTERIOR: 2 HR  
NON-BEARING WALLS EXTERIOR: PER CBC T 602  
NON-BEARING WALLS INTERIOR: 0 HR  
FLOOR CONSTRUCTION AND SECONDARY MEMBERS: 2 HR  
ROOF CONSTRUCTION AND SECONDARY MEMBERS: 1 HR

**RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (CBC T 602):**  
EXTERIOR WALLS (FSD < 5'): 2-HR (GROUP M), 1-HR (GROUP A, B, S-2)  
EXTERIOR WALLS (5' < FSD < 10'): 1-HR (GROUP B, M, S-2)  
EXTERIOR WALLS (10' < FSD < 30'): 1-HR (GROUP B, M, S-2)  
EXTERIOR WALLS (FSD > 30'): NON-RATED (ALL GROUPS)

**ALLOWABLE OPENINGS IN EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (CBC T 705.8):**  
EXTERIOR WALLS (FSD < 3'): NOT PERMITTED  
EXTERIOR WALLS (3' < FSD < 5'): 15% (SPRINKLERED)  
EXTERIOR WALLS (5' < FSD < 10'): 25% (SPRINKLERED)  
EXTERIOR WALLS (10' < FSD < 15'): 45% (SPRINKLERED)  
EXTERIOR WALLS (15' < FSD < 20'): 75% (SPRINKLERED)  
EXTERIOR WALLS (20' < FSD): NO LIMIT (SPRINKLERED)

**ALLOWABLE PROJECTIONS FROM EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (CBC T 705.2):**  
0' < FSD < 2': PROJECTIONS NOT PERMITTED  
2' < FSD < 3': 24" MAX. (NON-COMBUSTIBLE) PROJECTIONS ALLOWED  
3' < FSD < 5': 24" - 40" (NON-COMBUSTIBLE) PROJECTIONS ALLOWED  
5' < FSD: 40" MAX. (NON-COMBUSTIBLE) PROJECTIONS ALLOWED



1 TYPICAL PARKING LEVEL (P1) EGRESS PLAN, P2 LEVEL SIM.  
1/32"=1'-0"

TYP. PARKING LEVEL OCCUPANCY CALCULATIONS:

OCCUPANCY: GROUP S-2 (1 OCC. / 200 SF)  
AREA: 28,521 SF. / 200 = 143 OCC.  
(2 EXITS REQUIRED / PROVIDED)

TOTAL DOOR WIDTH: 143 X 0.2 = 28.6" MIN. REQUIRED  
2 DOORS @ 32" MIN. CLR. EA. (64" TOTAL) PROVIDED

TOTAL EGRESS WIDTH: 143 X 0.3 = 42.9" MIN. REQUIRED  
2 STAIRS @ 44" MIN. CLR. EA. (88" TOTAL) PROVIDED

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
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20008

SHEET TITLE  
CODE & EGRESS COMPLIANCE

SCALE  
1/32" = 1'-0"

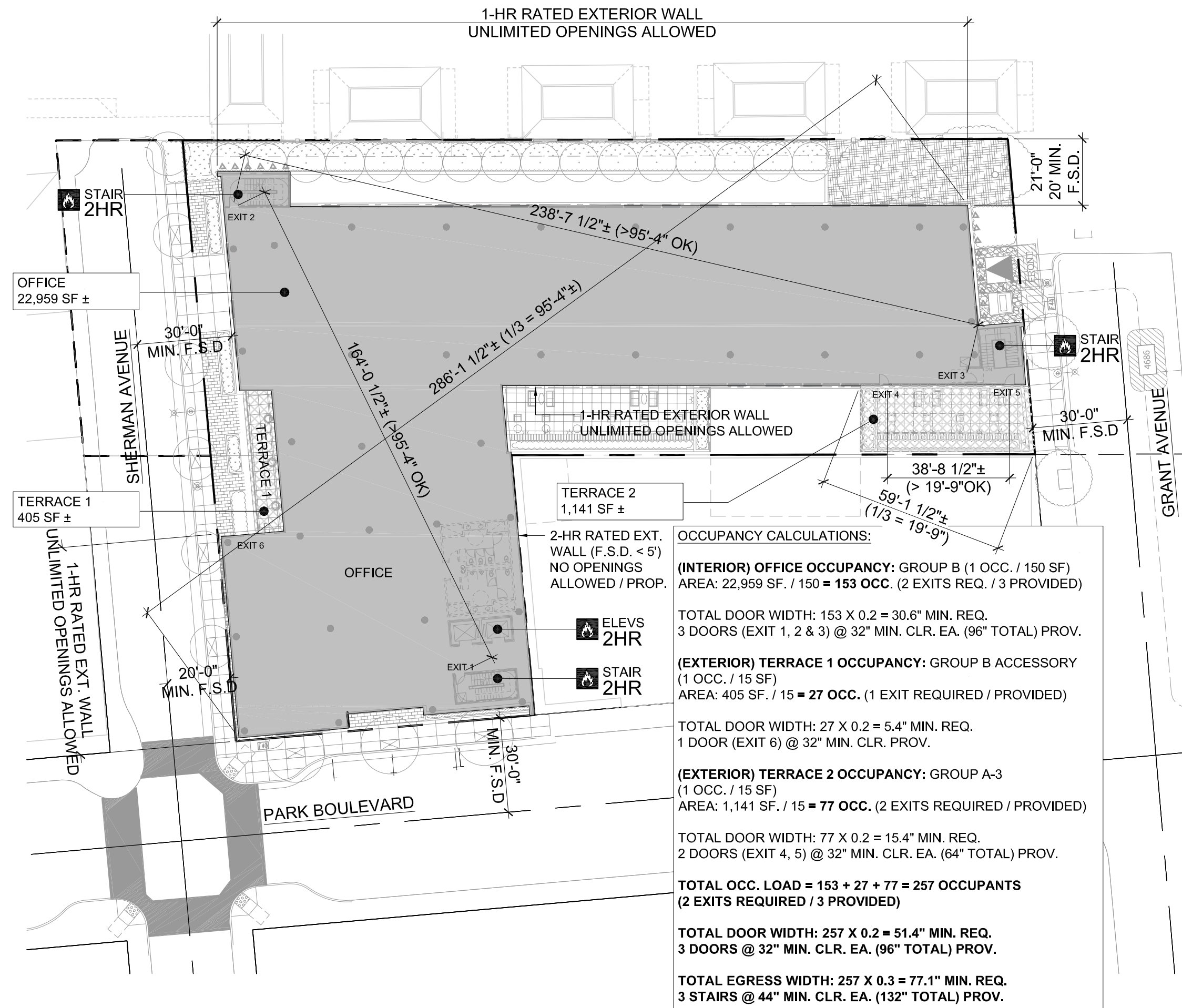
0 32' 64'

PROJ. N  
TRUE N

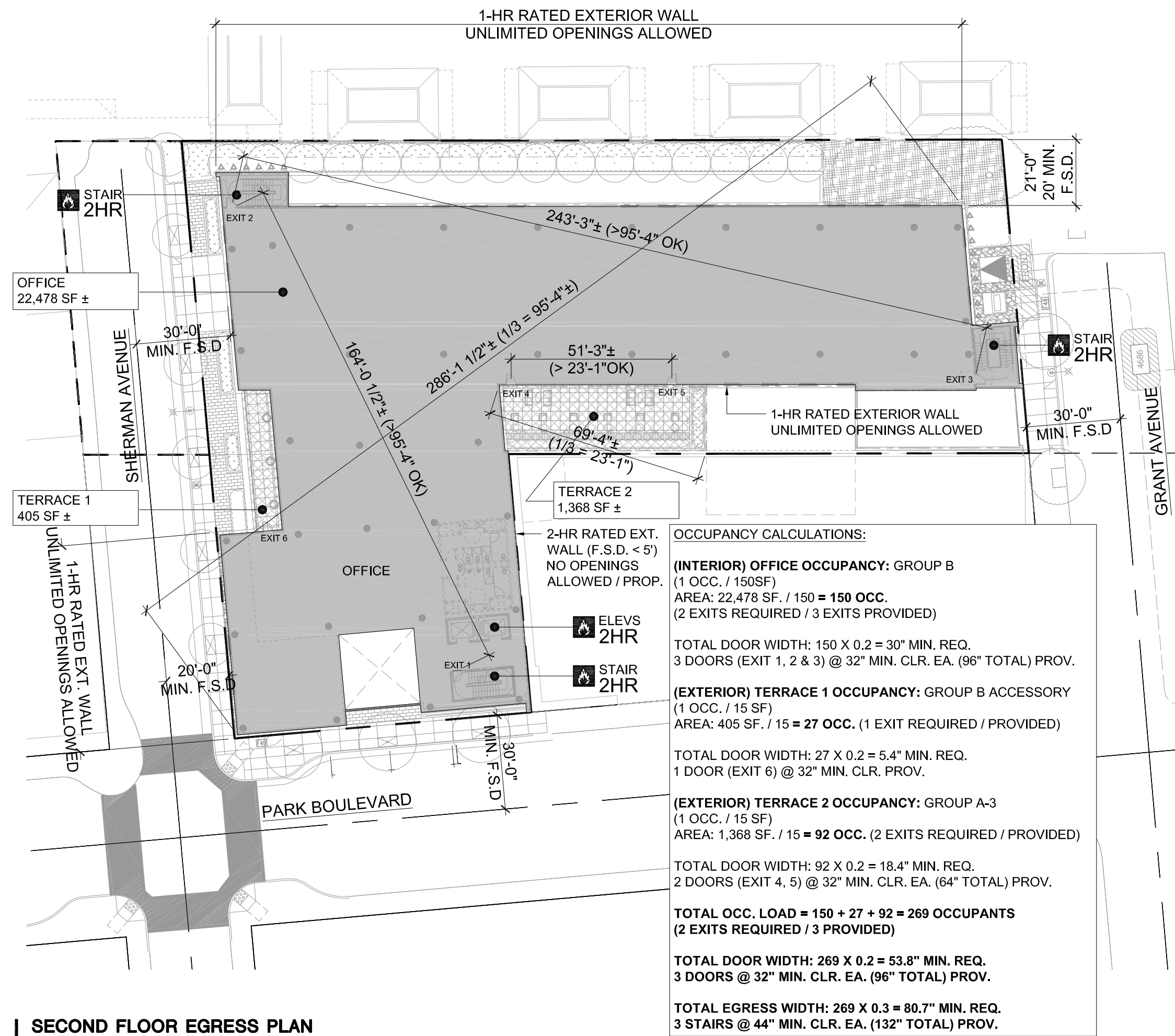
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A0.2A





2 THIRD FLOOR EGRESS PLAN  
1/32"=1'-0"



1 SECOND FLOOR EGRESS PLAN  
1/32"=1'-0"

LEGEND

- A-3 ASSEMBLY AREA
- B BUSINESS & ACCESSORY AREA
- M RETAIL AREA
- S-2 PARKING AREA

RATED BUILDING ELEMENT (AS NOTED)

\* COMMON PATH OF EGRESS (CBC T 1006.2.1)  
A, M = 75' MAX. (SPRINKLERED)  
B, S = 100' MAX. (SPRINKLERED)

\*\* EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2)  
A, M = 250' MAX. (SPRINKLERED)  
B = 300' MAX. (SPRINKLERED)  
S-2 = 400' MAX. (SPRINKLERED)

SMITH DEVELOPMENT

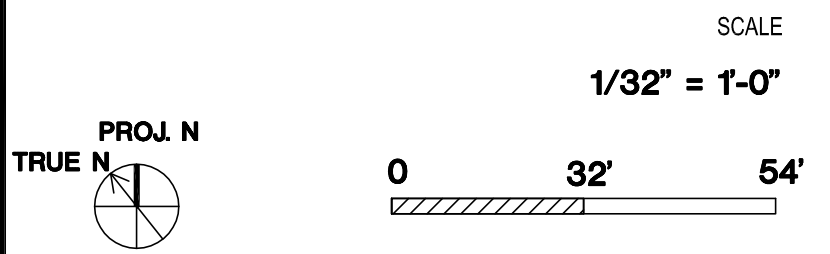
2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
CODE & EGRESS COMPLIANCE



SHEET NUMBER

A0.2B





**A** VIEW FROM SHERMAN AVE.  
N.T.S.



**B** VIEW FROM CORNER OF PARK BLVD & SHERMAN AVE.  
N.T.S.



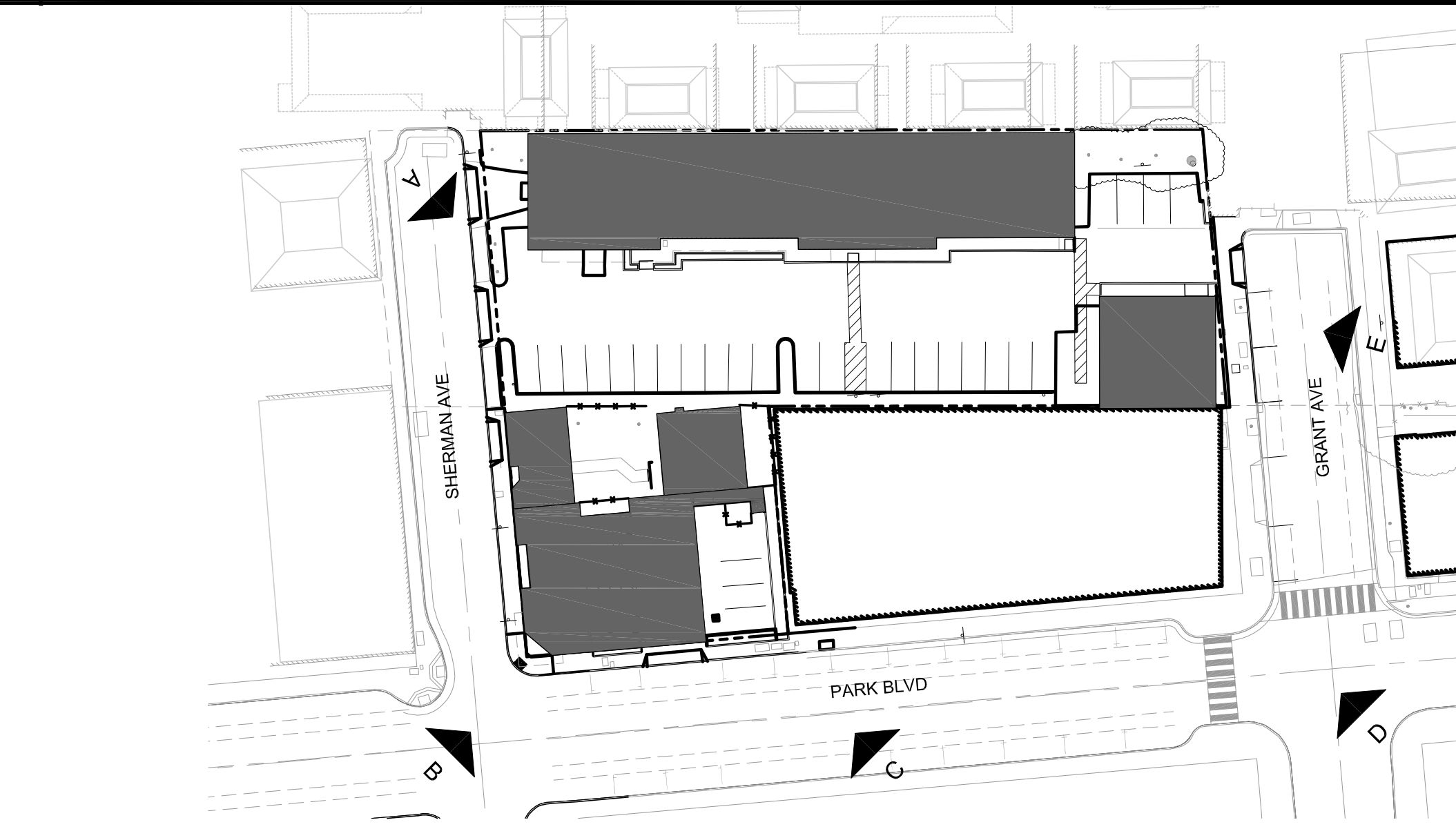
**C** VIEW FROM PARK BLVD  
N.T.S.



**D** VIEW FROM CORNER OF PARK BLVD & GRANT AVE  
N.T.S.



**E** VIEW FROM GRANT AVE  
N.T.S.



**1** KEY PLAN - EXISTING SITE  
N.T.S.

## SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.06.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE

EXISTING SITE PHOTOS

SCALE  
N.T.S.

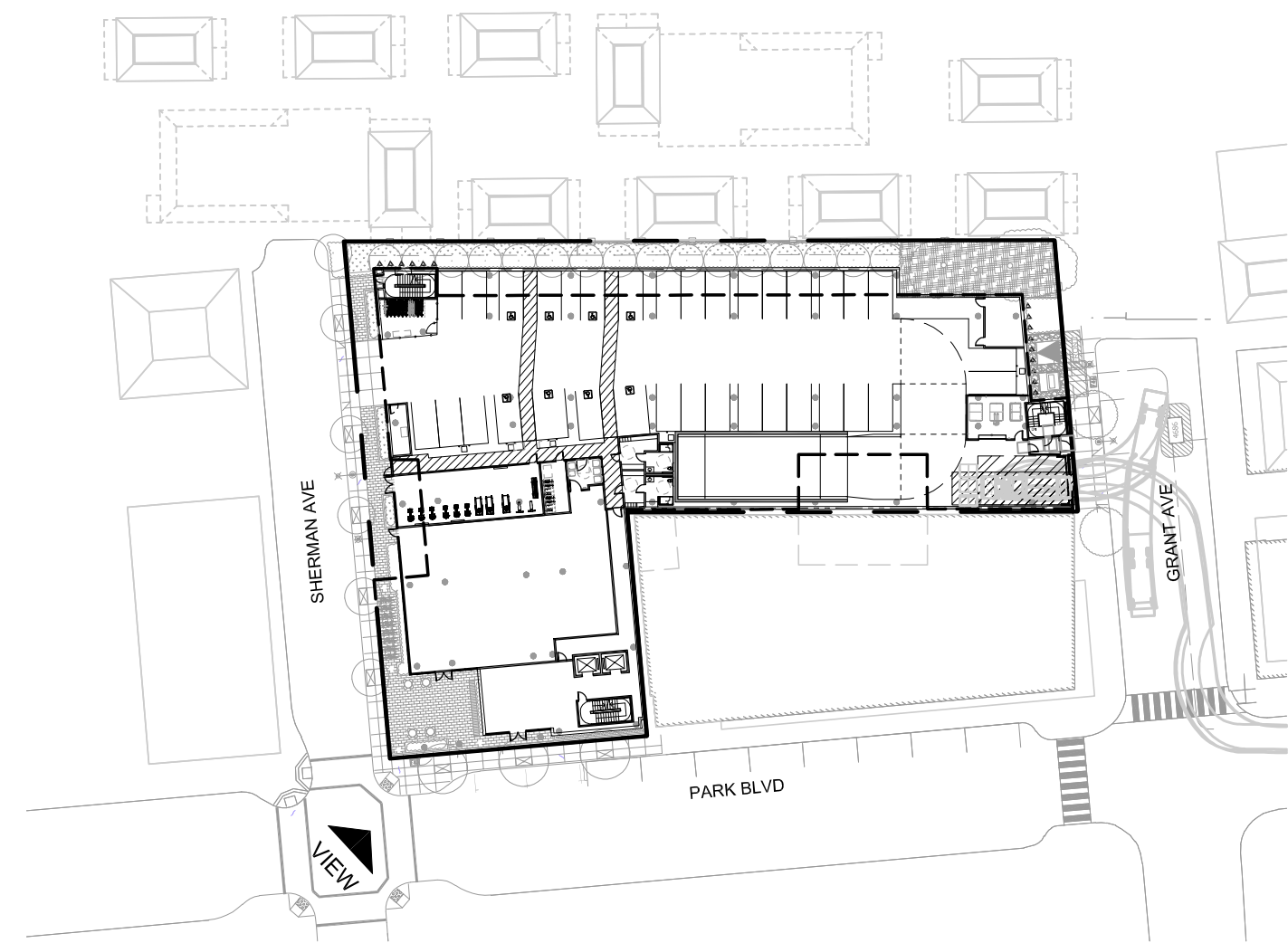
SHEET NUMBER

A0.3





VIEW FROM CORNER OF SHERMAN AVE. & PARK BLVD.



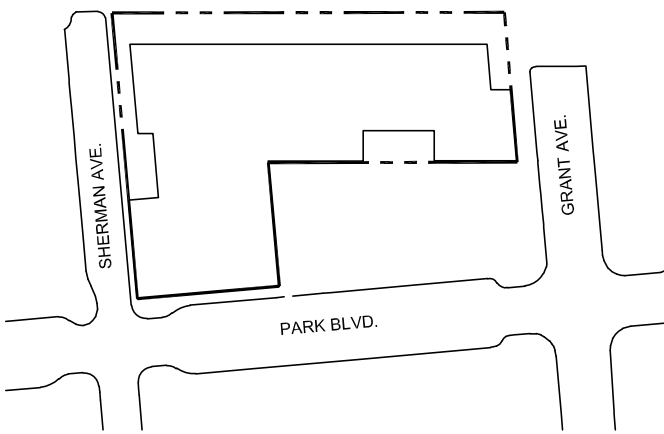
1 KEY PLAN - PROPOSED SITE  
1/64"=1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ARCHITECTS  
KORTH SUNSERI HAGEY

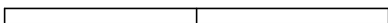
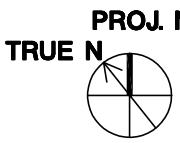


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
PROPOSED PERSPECTIVE

SCALE  
AS NOTED



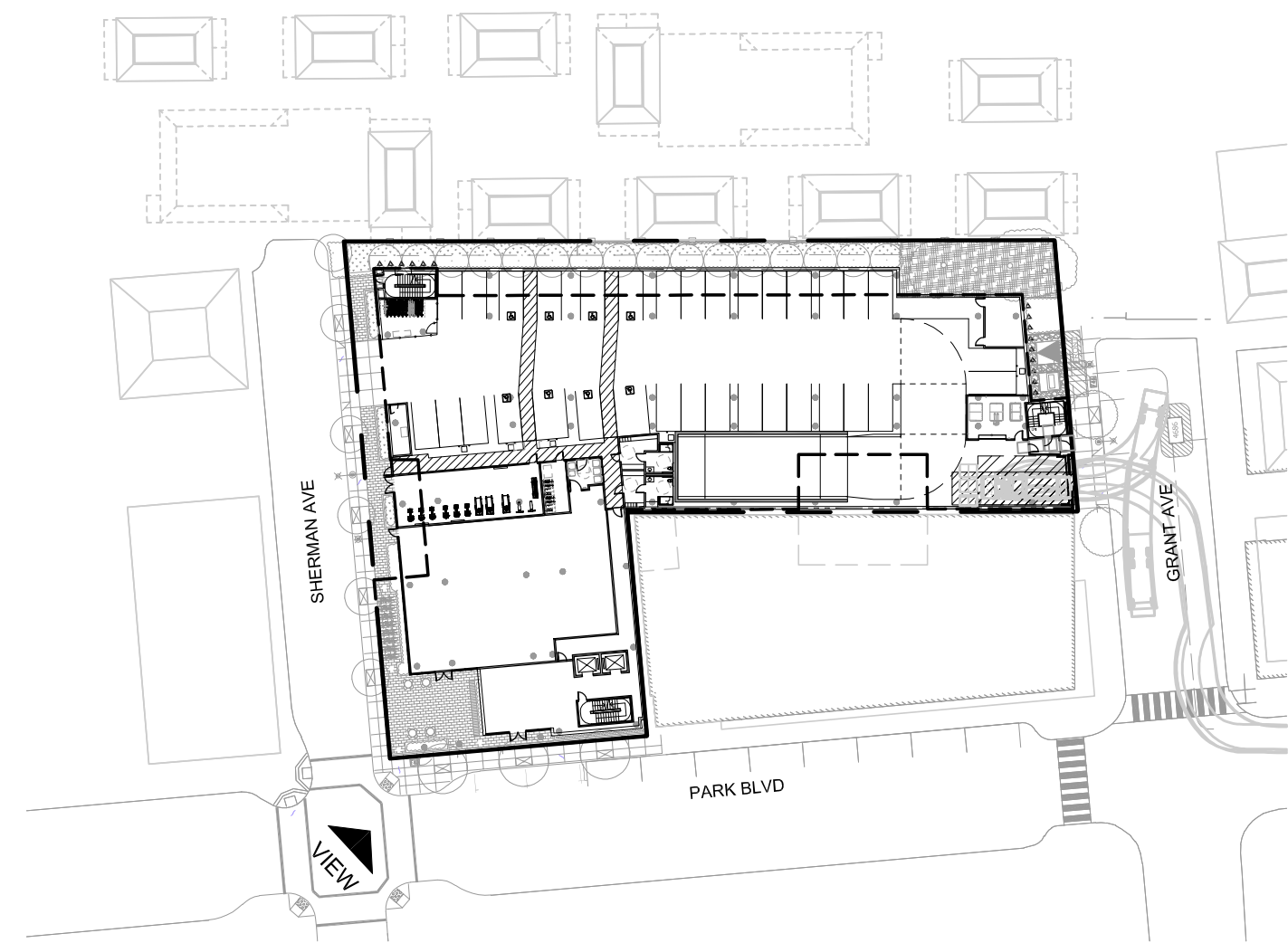
SHEET NUMBER

R1A





VIEW FROM CORNER OF SHERMAN AVE. & PARK BLVD.



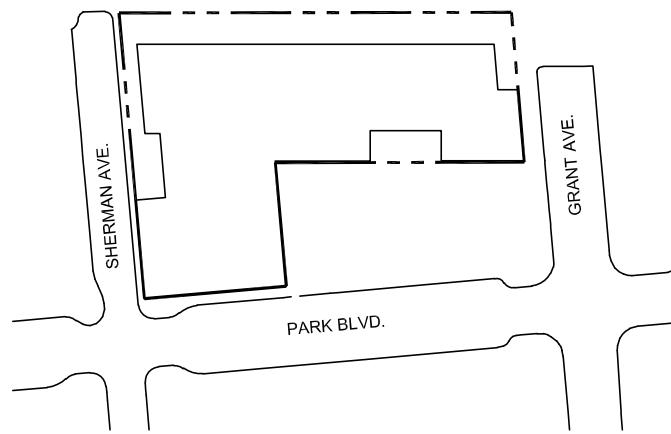
1 KEY PLAN - PROPOSED SITE  
1/64"=1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ARCHITECTS  
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.06.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
PROPOSED PERSPECTIVE

SCALE  
AS NOTED

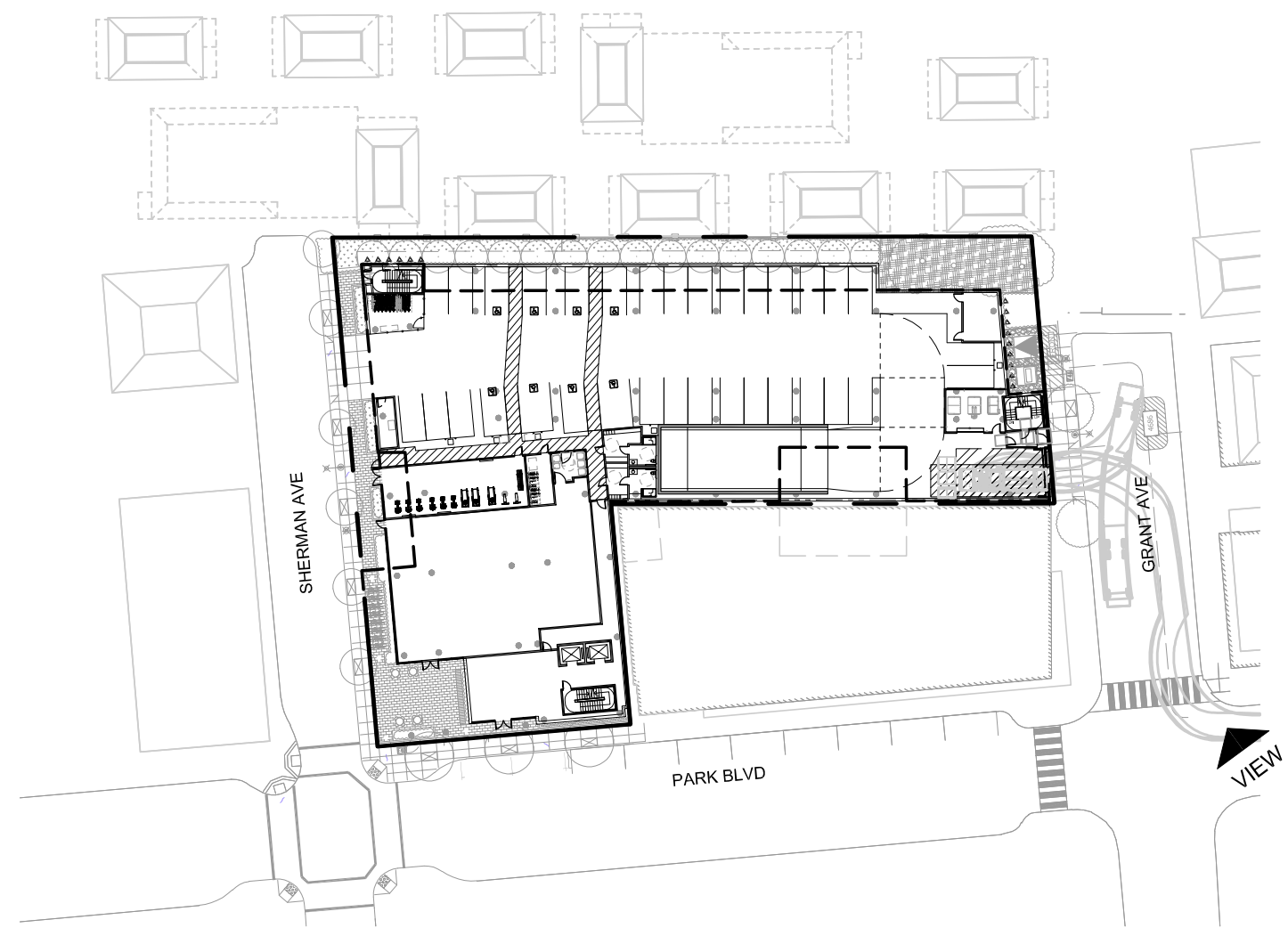
SHEET NUMBER

R1B





VIEW FROM CORNER OF GRANT AVE. & PARK BLVD.



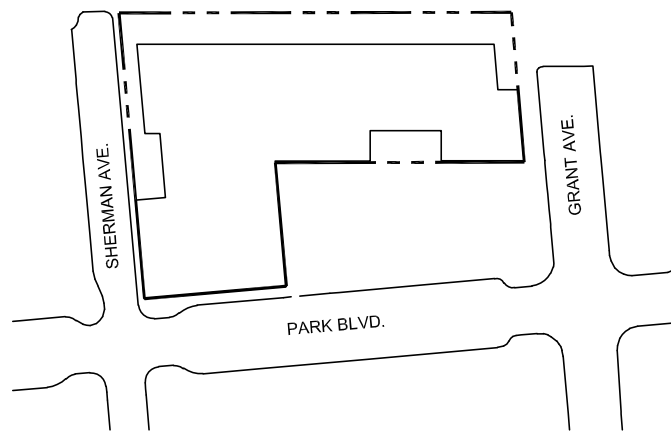
1 KEY PLAN - PROPOSED SITE  
1/64"=1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ARCHITECTS  
KORTH SUNSERI HAGEY

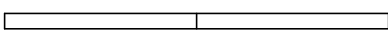


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
PROPOSED PERSPECTIVE

SCALE  
AS NOTED



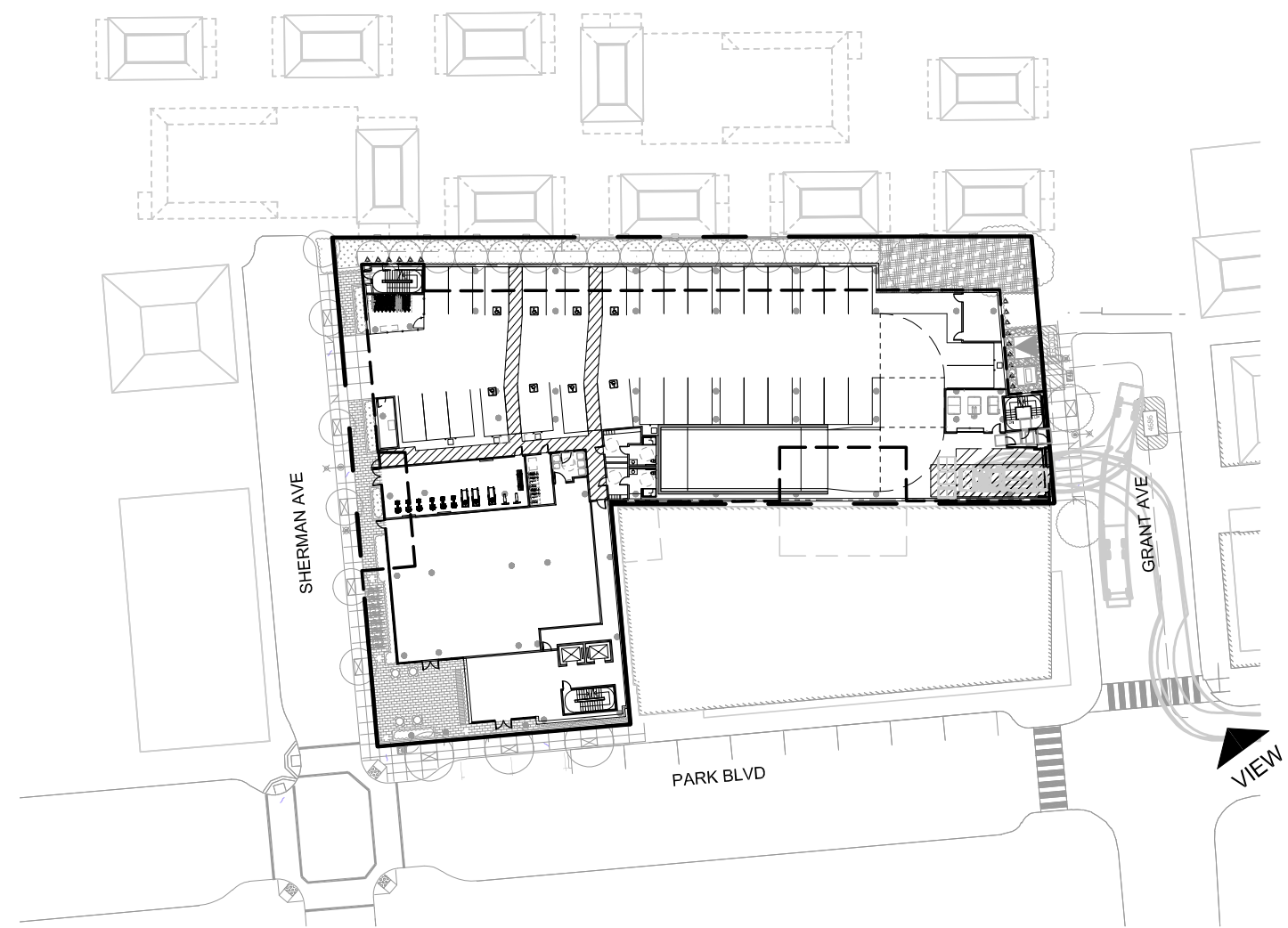
SHEET NUMBER

R2A





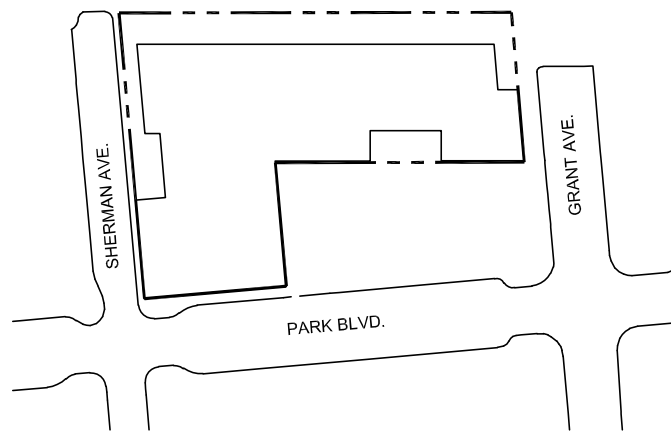
VIEW FROM CORNER OF GRANT AVE. & PARK BLVD.



1 KEY PLAN - PROPOSED SITE  
1/64"=1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306

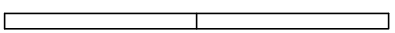


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.22		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
**PROPOSED PERSPECTIVE**

SCALE  
**AS NOTED**



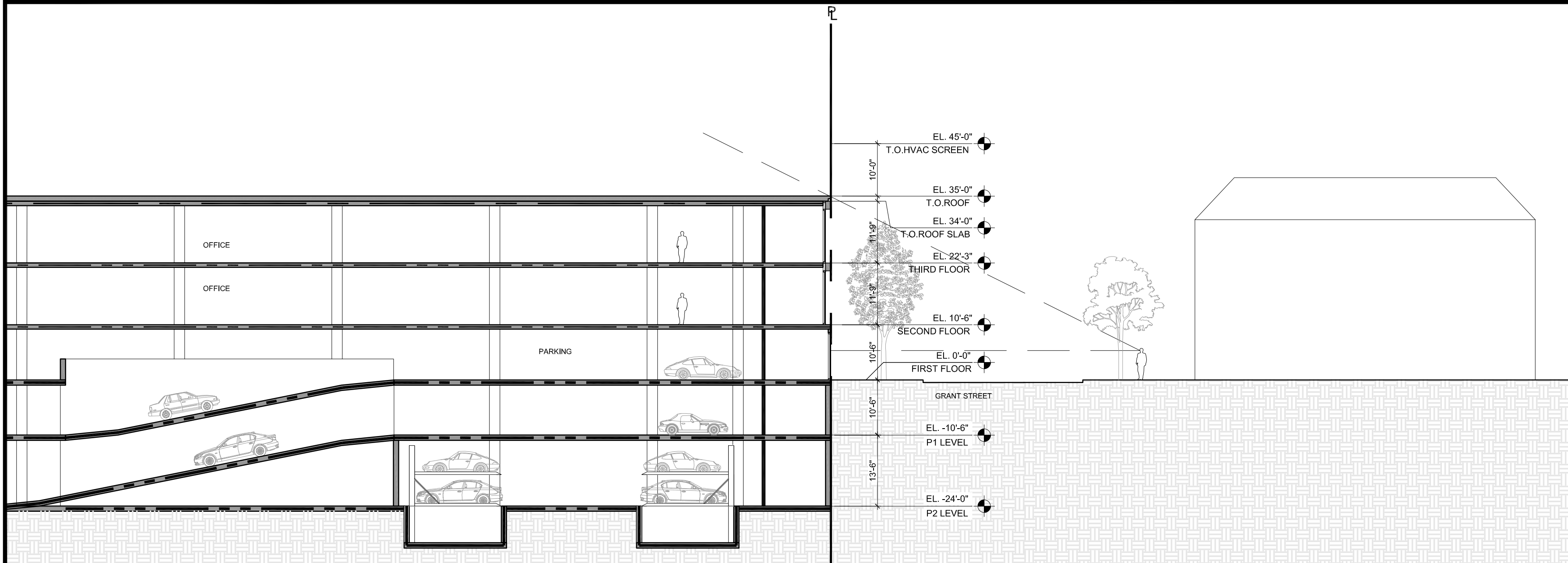
SHEET NUMBER

**R2B**

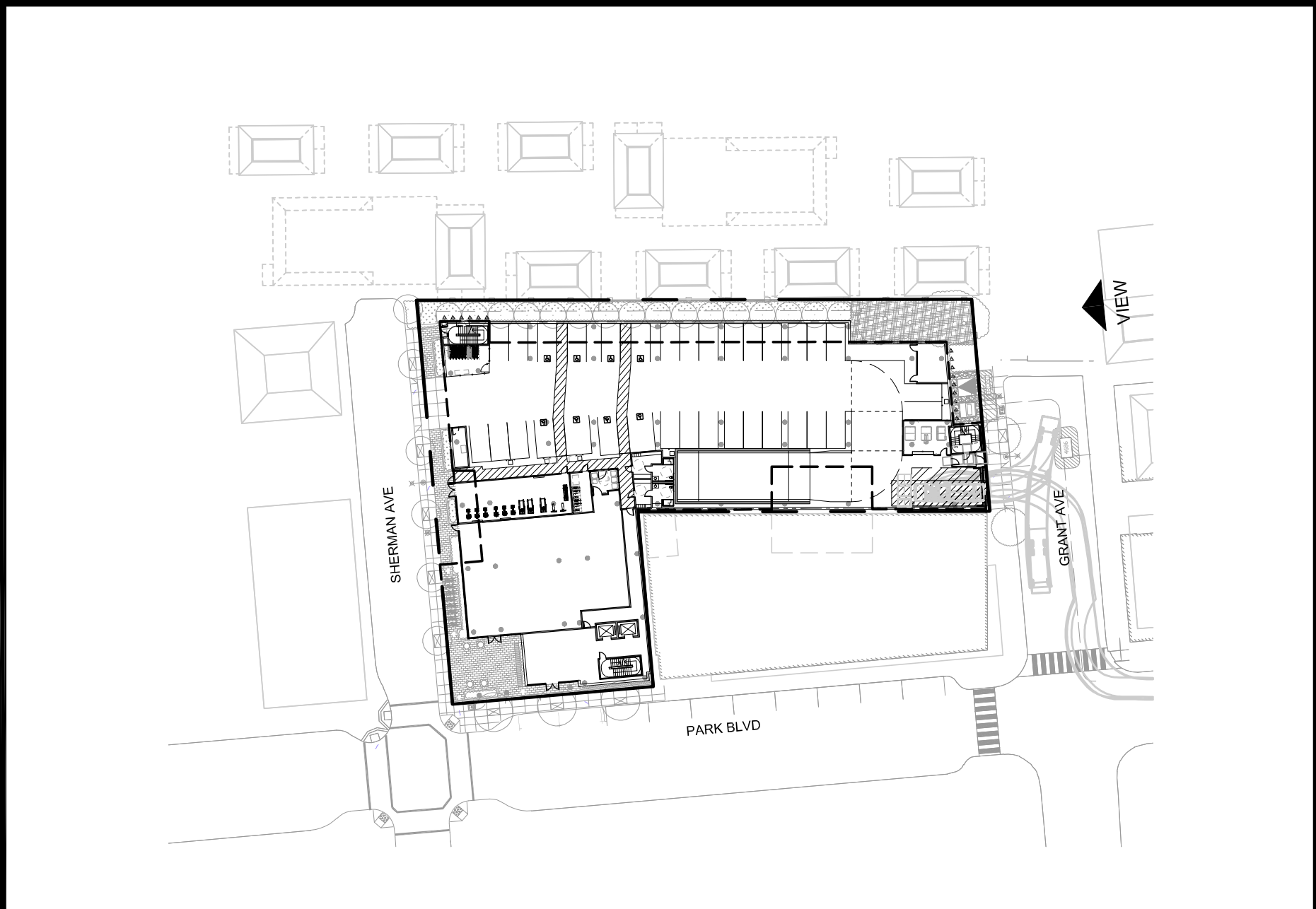




VIEW FROM END OF GRANT AVE



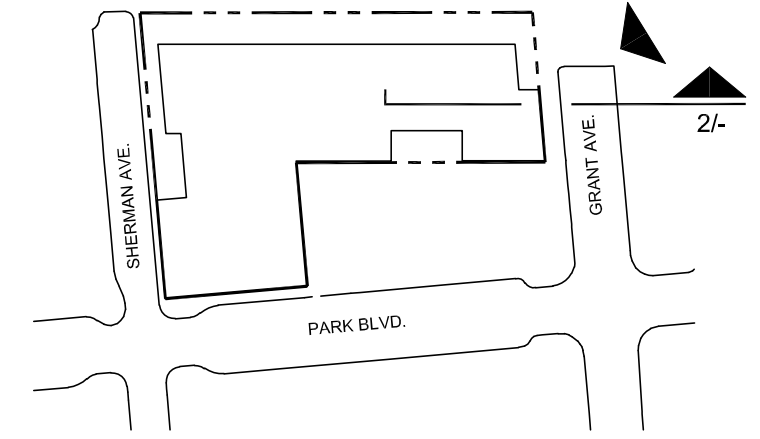
2 SECTION AT GRANT AVE  
1/16"=1'-0"



1 KEY PLAN - PROPOSED SITE  
1/64"=1'-0"

## SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #4

PROJECT NUMBER  
20008

SHEET TITLE  
**PROPOSED PERSPECTIVE**

SCALE  
**AS NOTED**

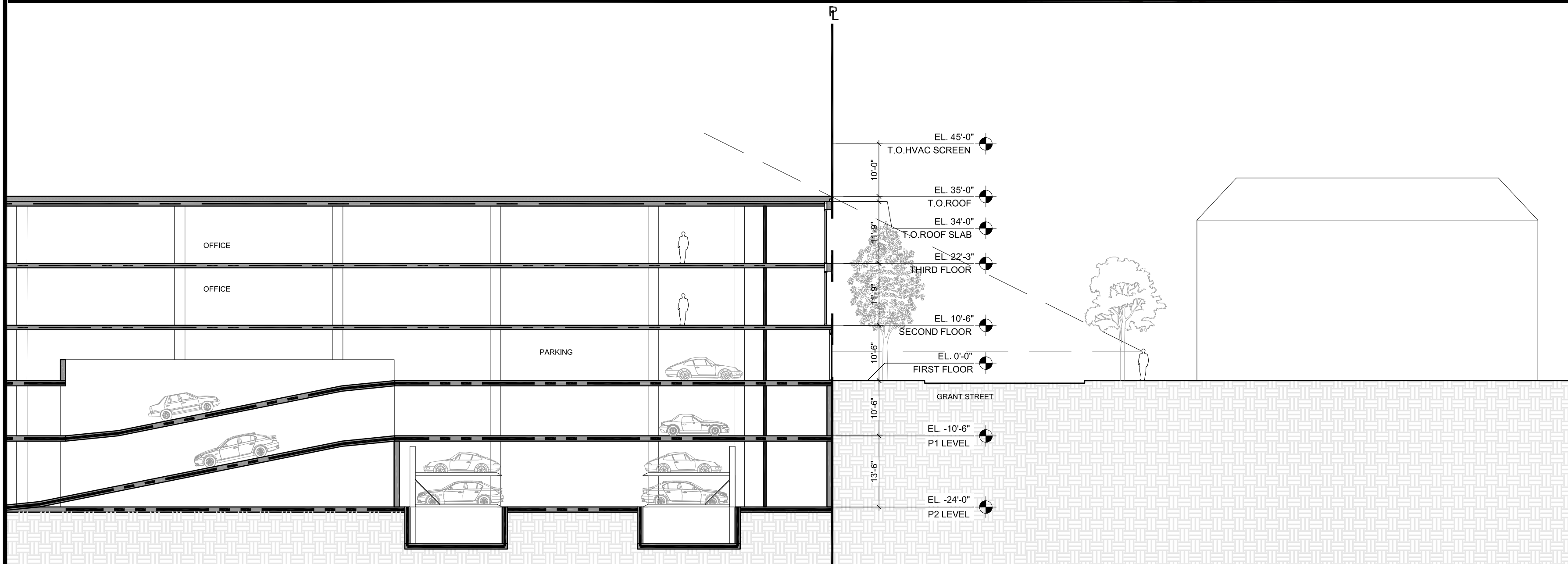
SHEET NUMBER

**R3A**

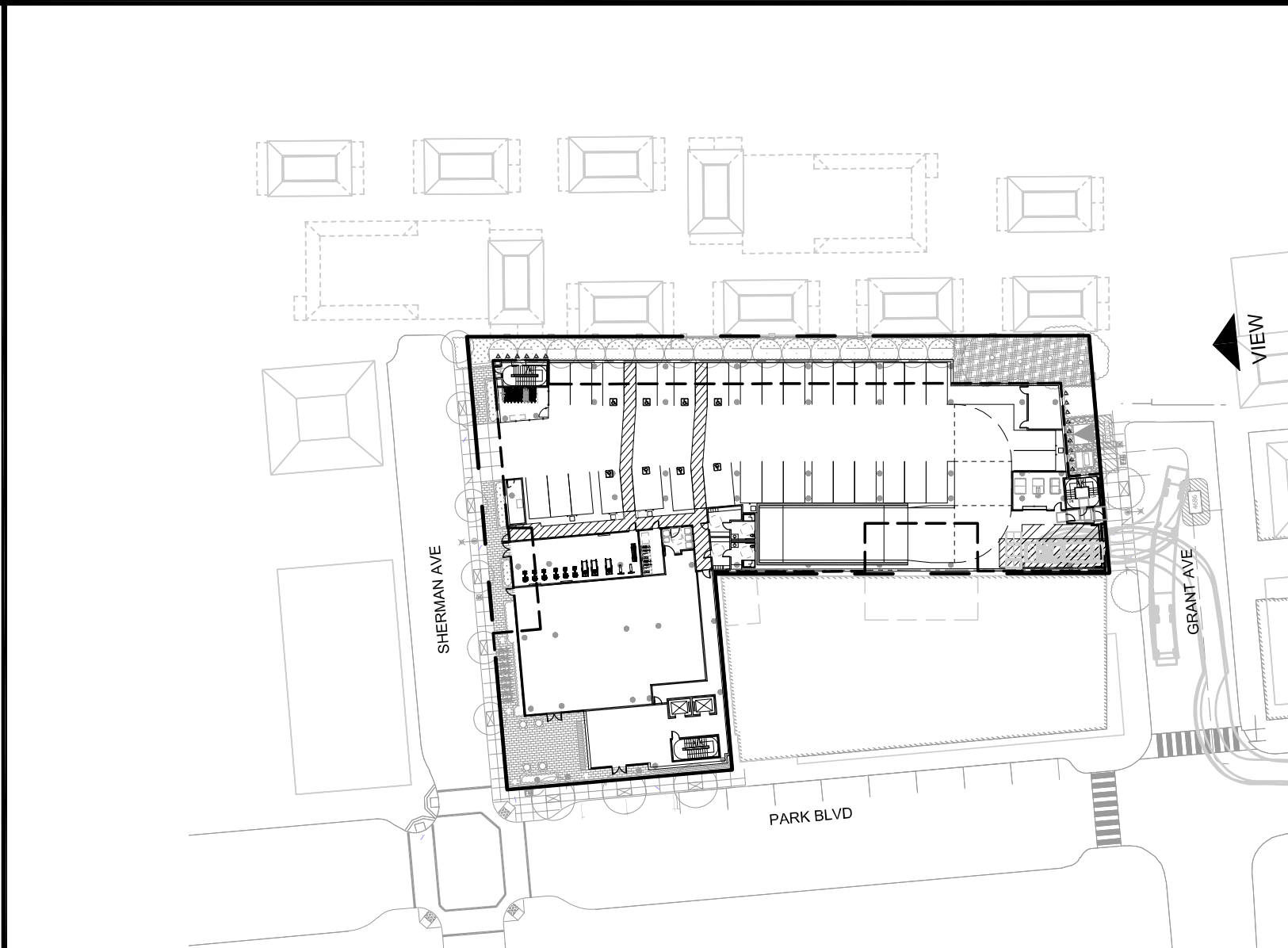




VIEW FROM END OF GRANT AVE



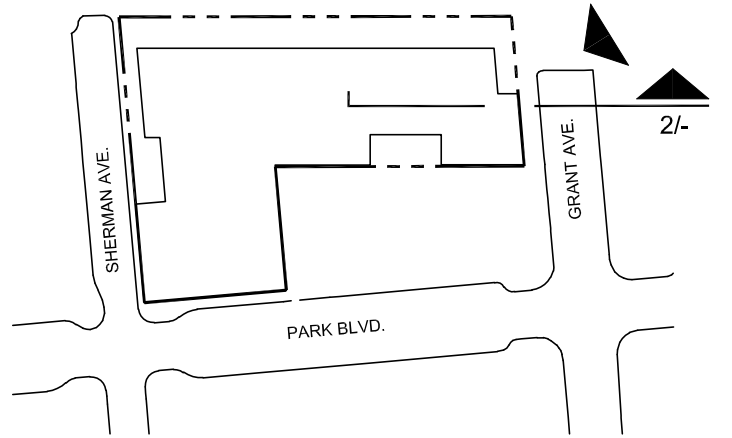
2 SECTION AT GRANT AVE  
1/16"=1'-0"



1 KEY PLAN - PROPOSED SITE  
1/64"=1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	02.04.22	PLANNING RESUBMITTAL #2
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #4

PROJECT NUMBER  
20008

SHEET TITLE  
**PROPOSED PERSPECTIVE**

SCALE  
**AS NOTED**

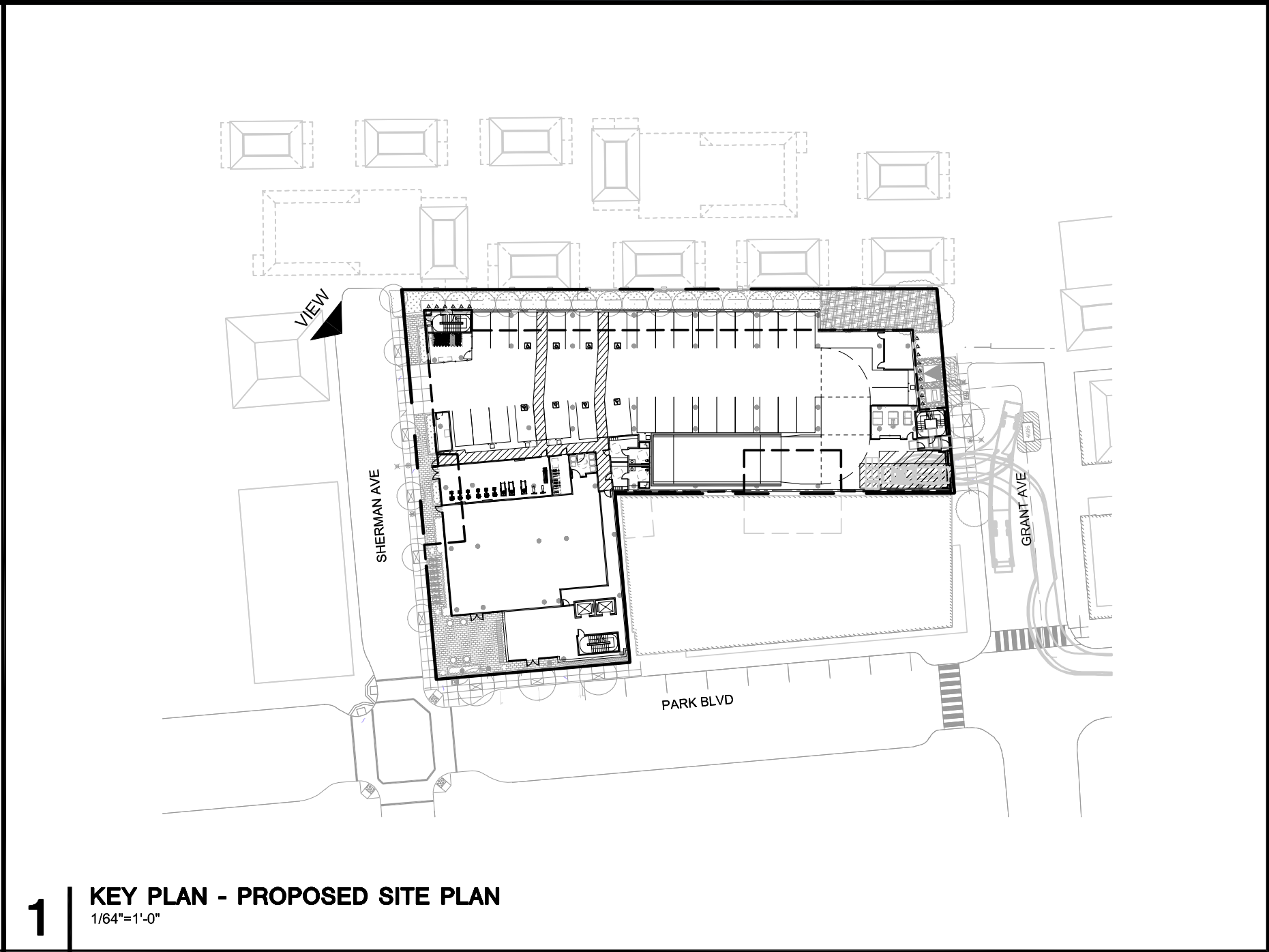
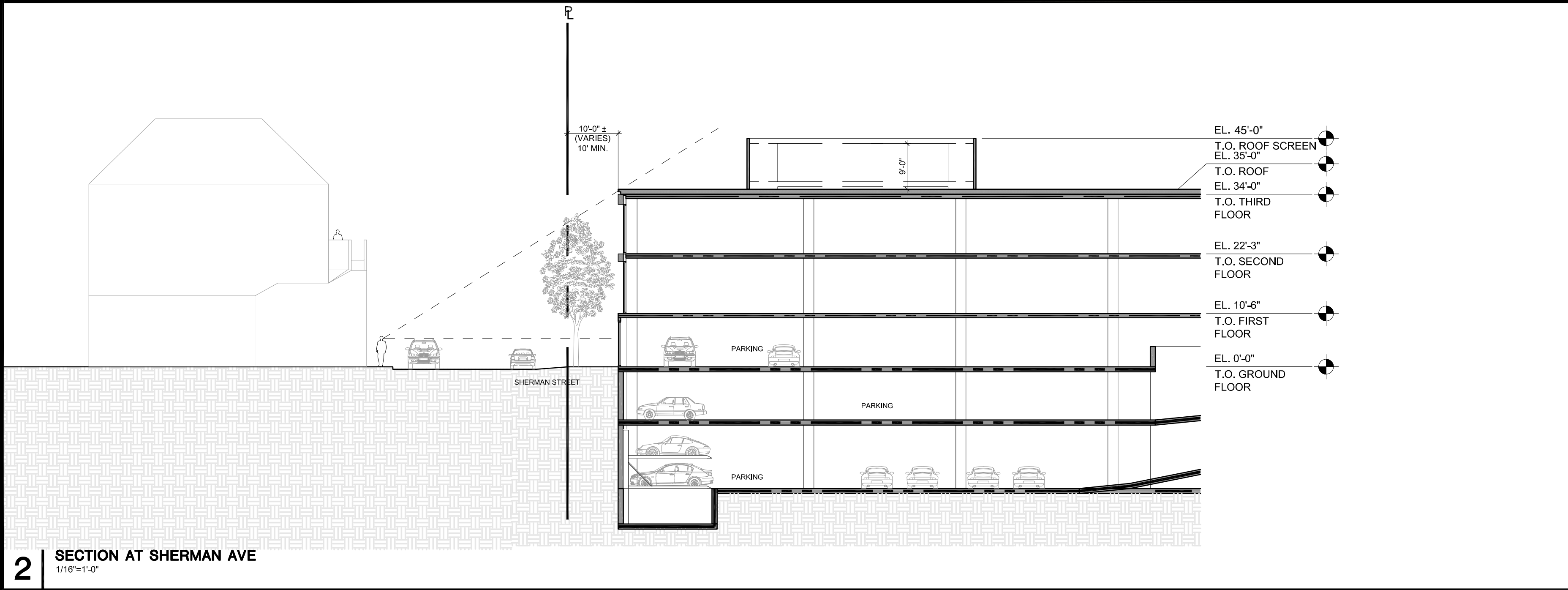
SHEET NUMBER

**R3B**



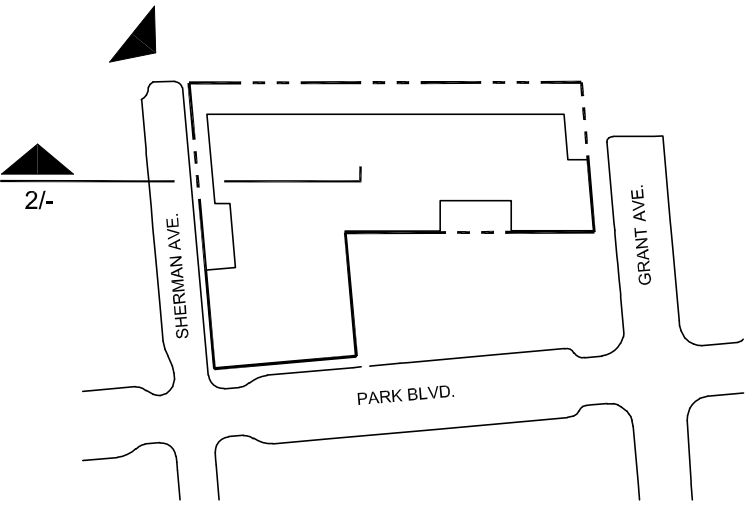


PERSPECTIVE VIEW FROM SHERMAN AVE.



SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4

PROJECT NUMBER  
20008

SHEET TITLE  
**PROPOSED PERSPECTIVE**

SCALE  
**AS NOTED**

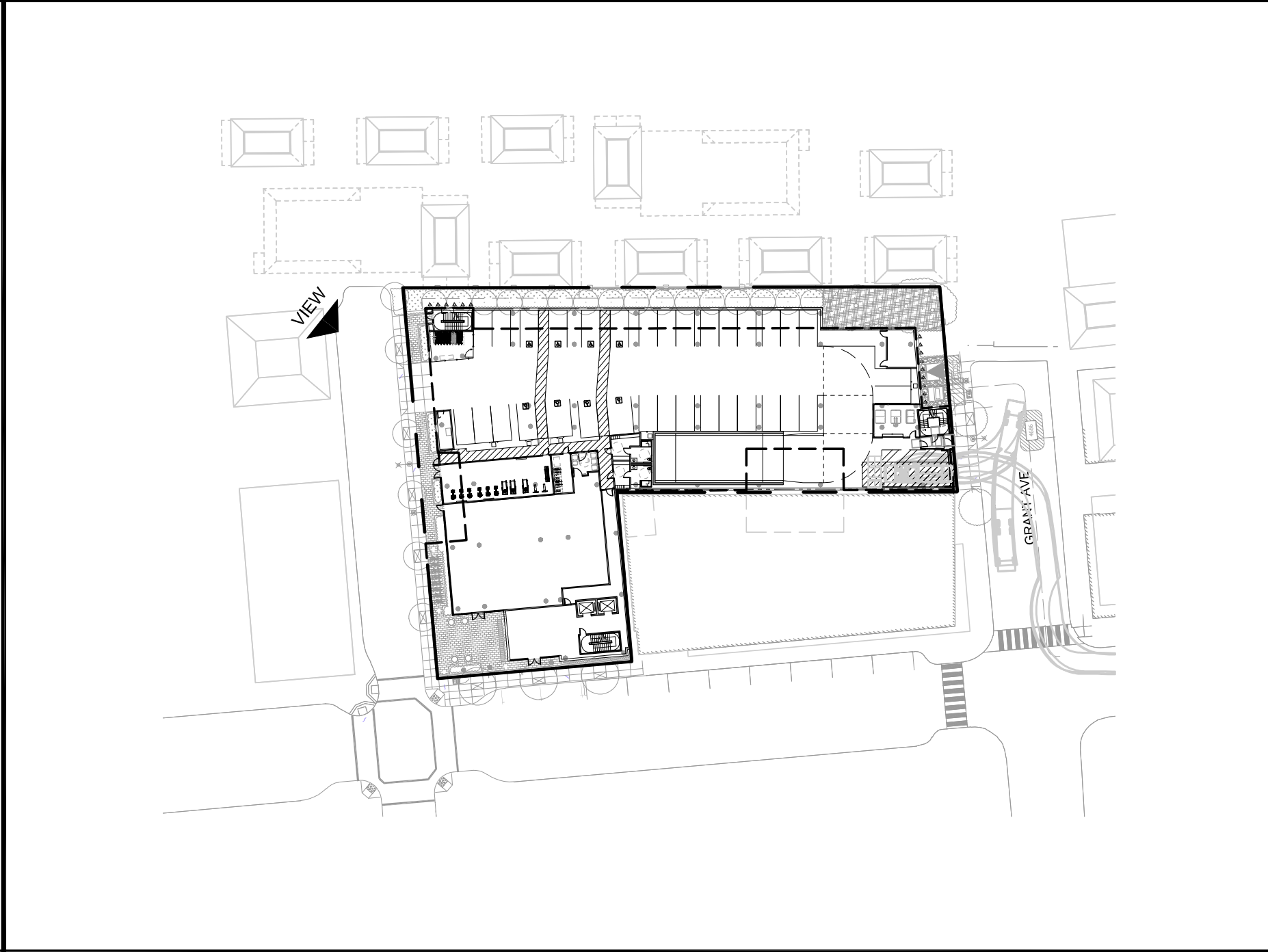
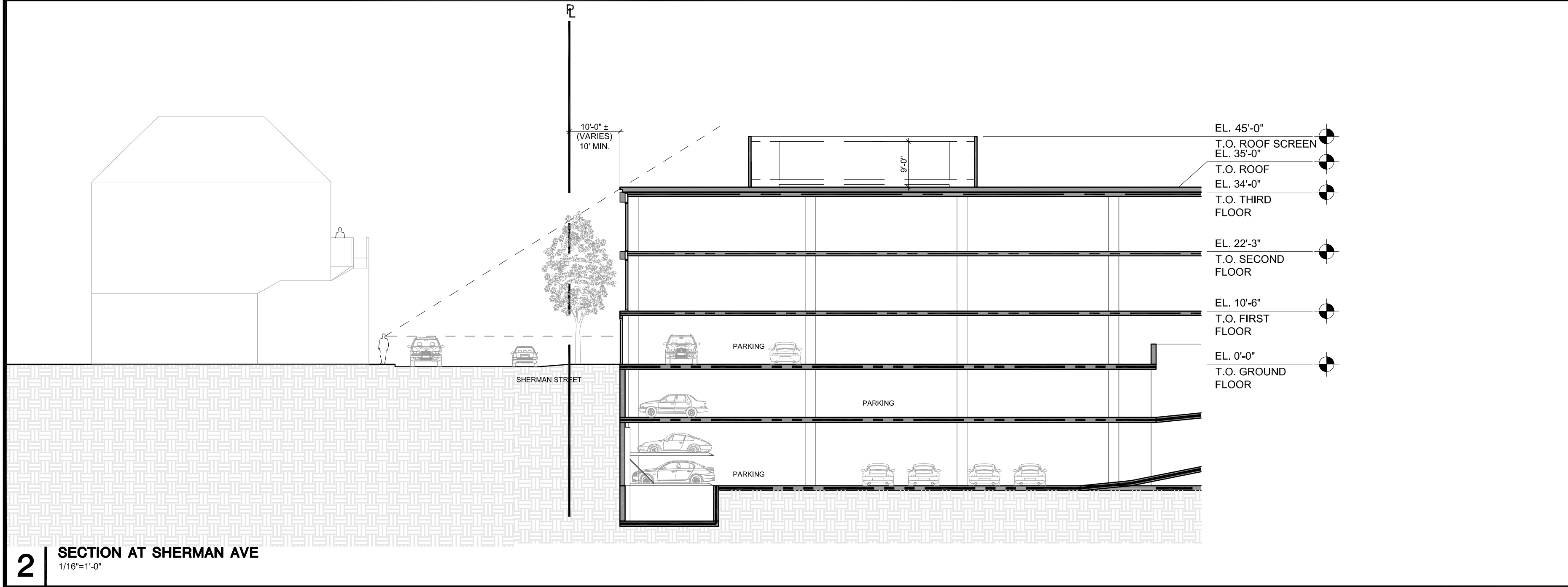
SHEET NUMBER

**R4A**



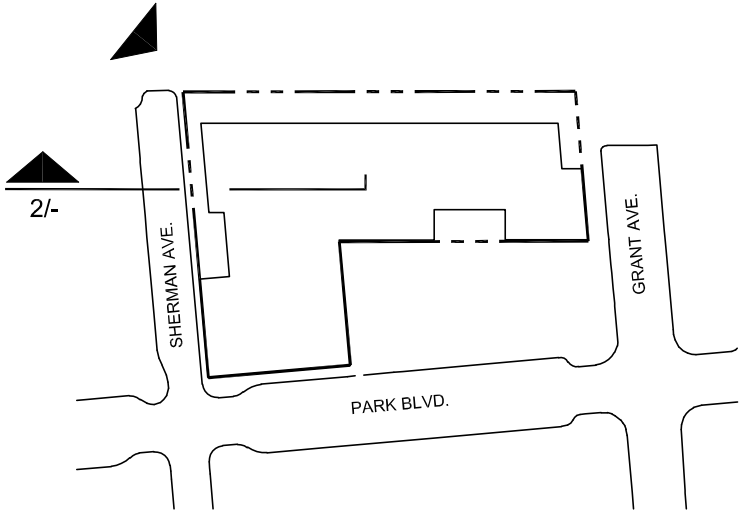


PERSPECTIVE VIEW FROM SHERMAN AVE.



SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #4

PROJECT NUMBER  
20008

SHEET TITLE  
PROPOSED PERSPECTIVE

SCALE  
AS NOTED

SHEET NUMBER

R4B

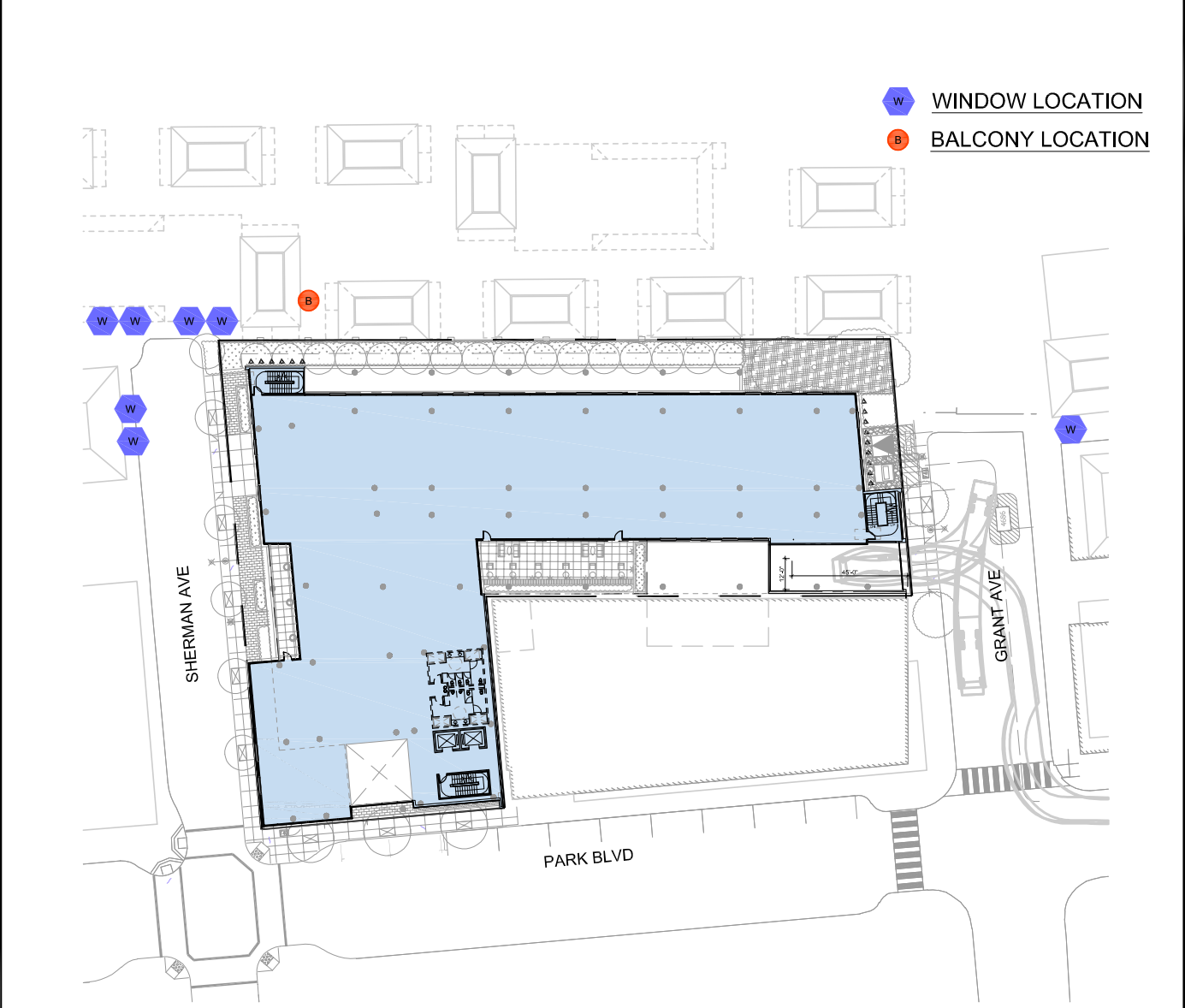




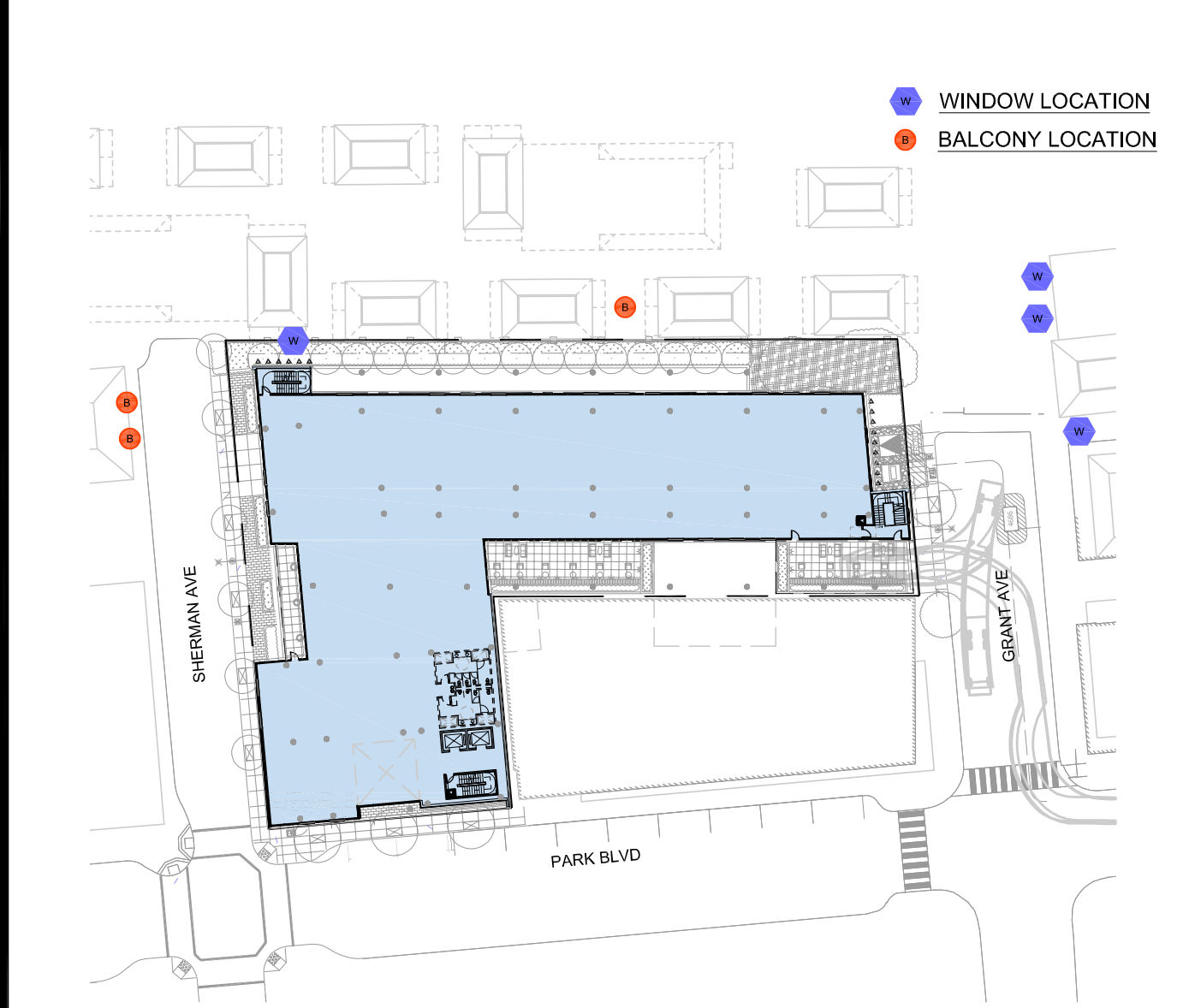
AERIAL VIEW FROM PARK BLVD. & SHERMAN AVE.



EXISTING GOOGLE EARTH AERIAL VIEW - FOR REFERENCE



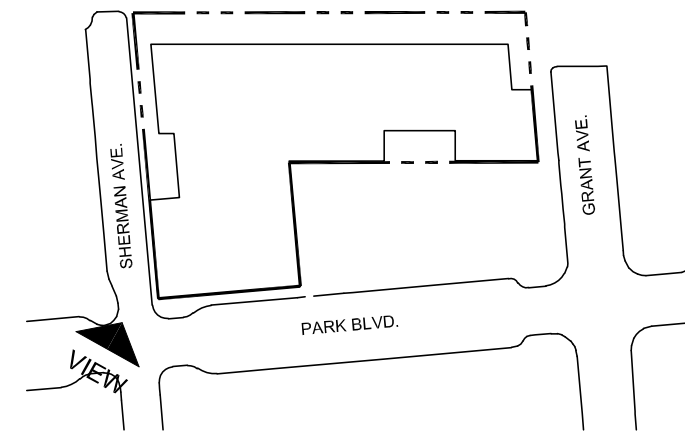
2 KEY PLAN - PROPOSED SECOND FLOOR PLAN  
1/64"=1'-0"



1 KEY PLAN - PROPOSED THIRD FLOOR PLAN  
1/64"=1'-0"

## SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
**PROPOSED PERSPECTIVE**

SCALE  
**AS NOTED**

SHEET NUMBER

**R5**

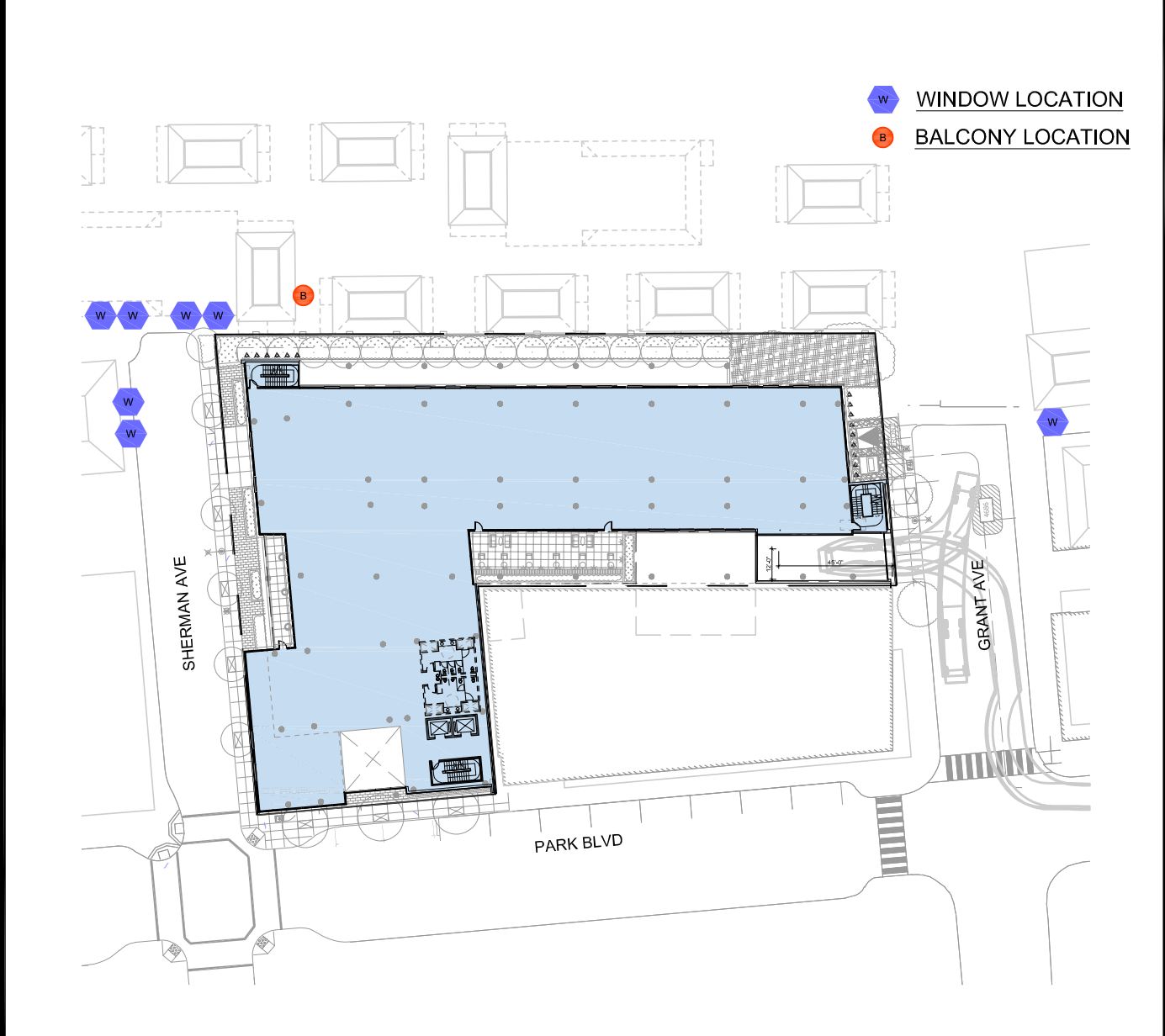




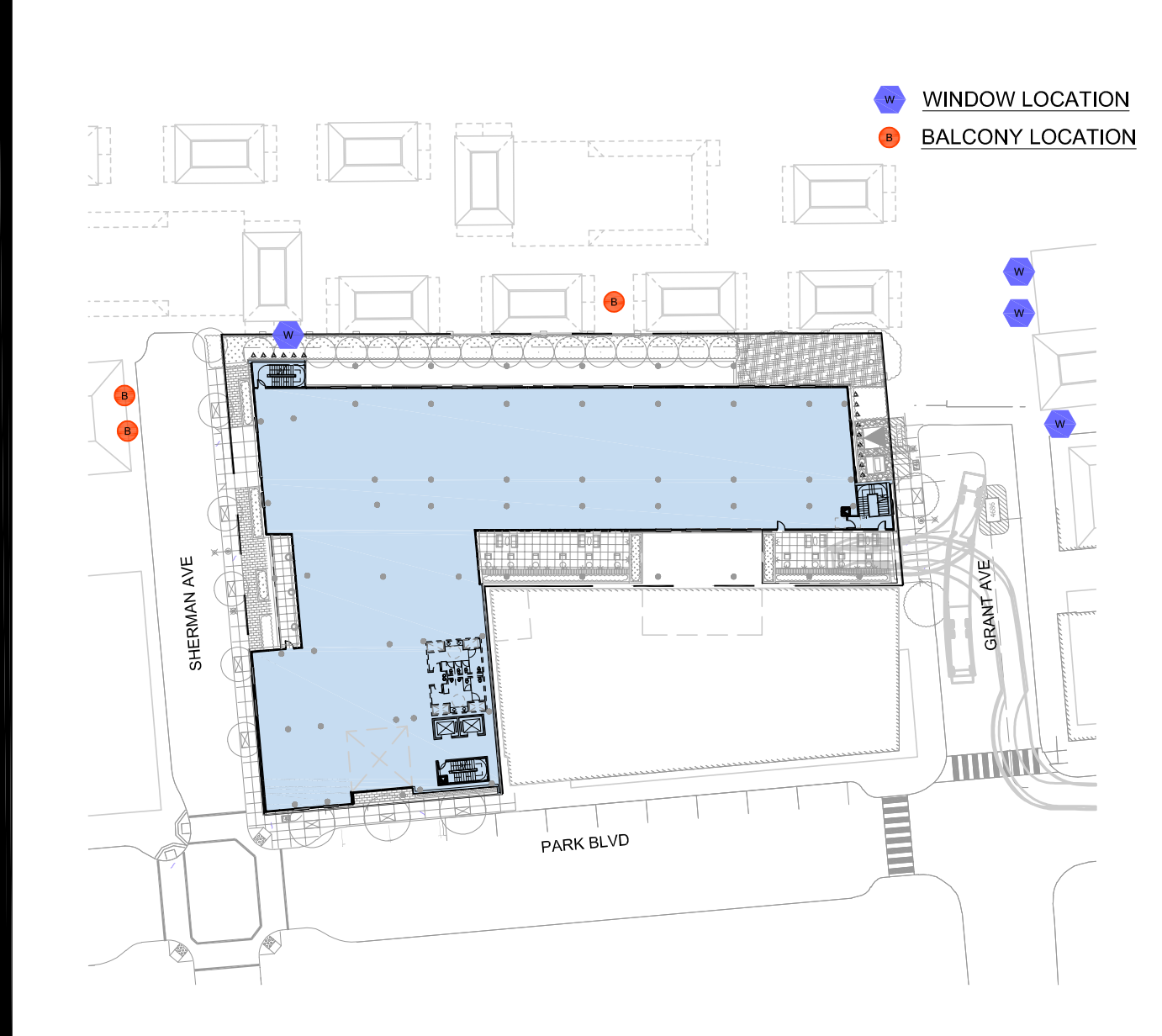
AERIAL VIEW FROM PARK BLVD. & GRANT AVE.



EXISTING GOOGLE EARTH AERIAL VIEW - FOR REFERENCE



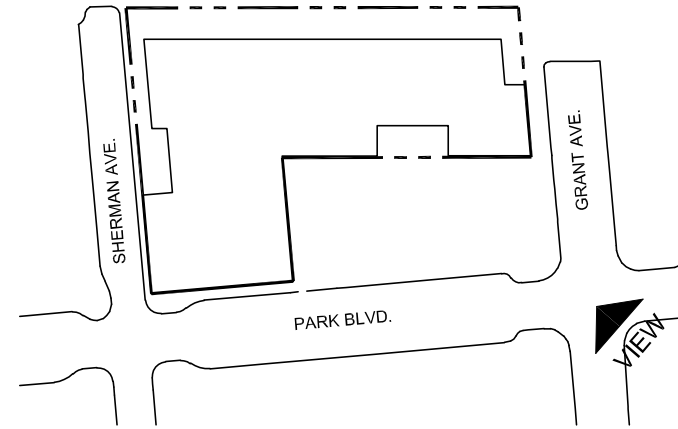
2 KEY PLAN - PROPOSED SECOND FLOOR PLAN  
1/64"=1'-0"



1 KEY PLAN - PROPOSED THIRD FLOOR PLAN  
1/64"=1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
PROPOSED PERSPECTIVE

SCALE  
AS NOTED

SHEET NUMBER

R6

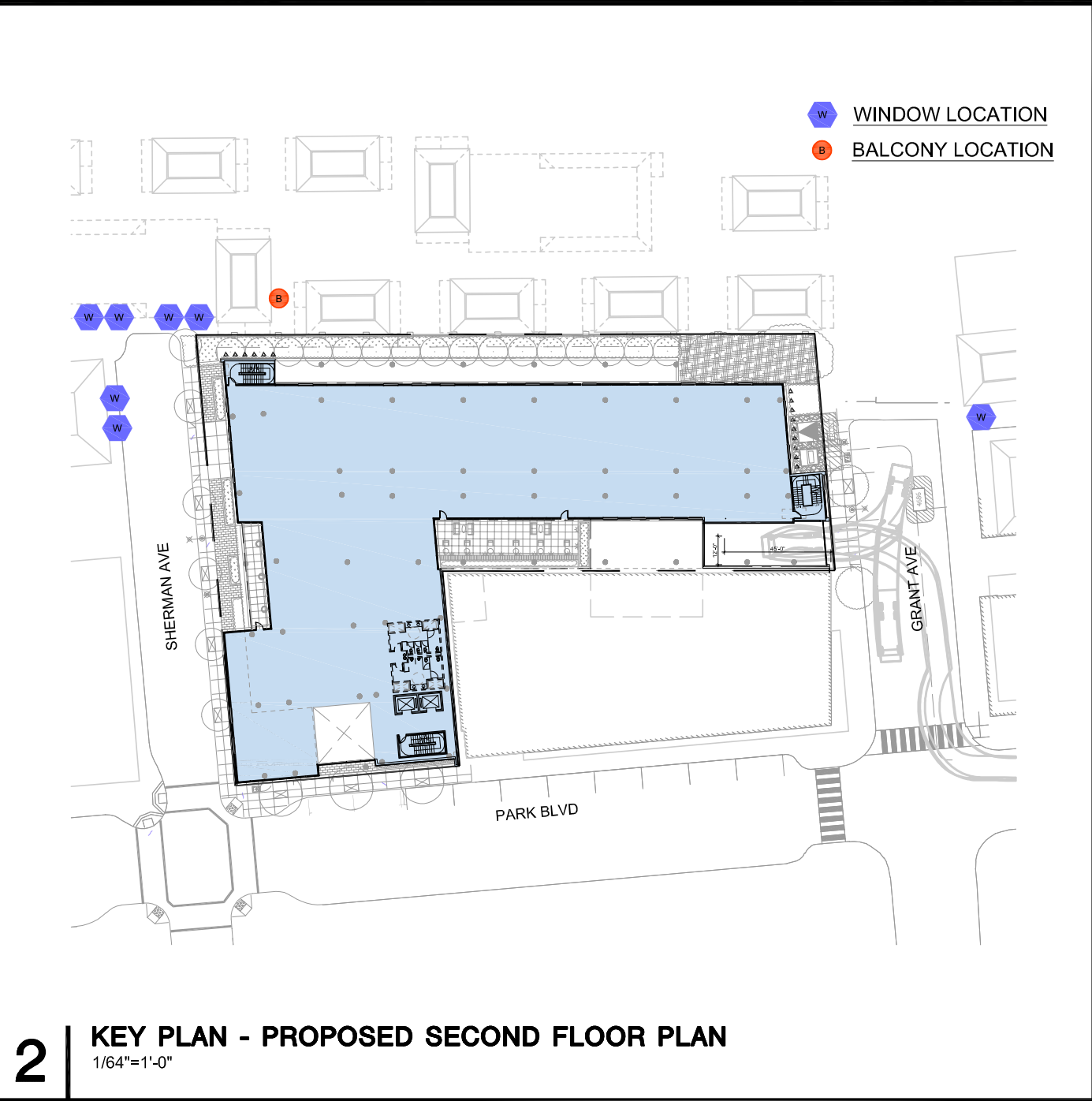




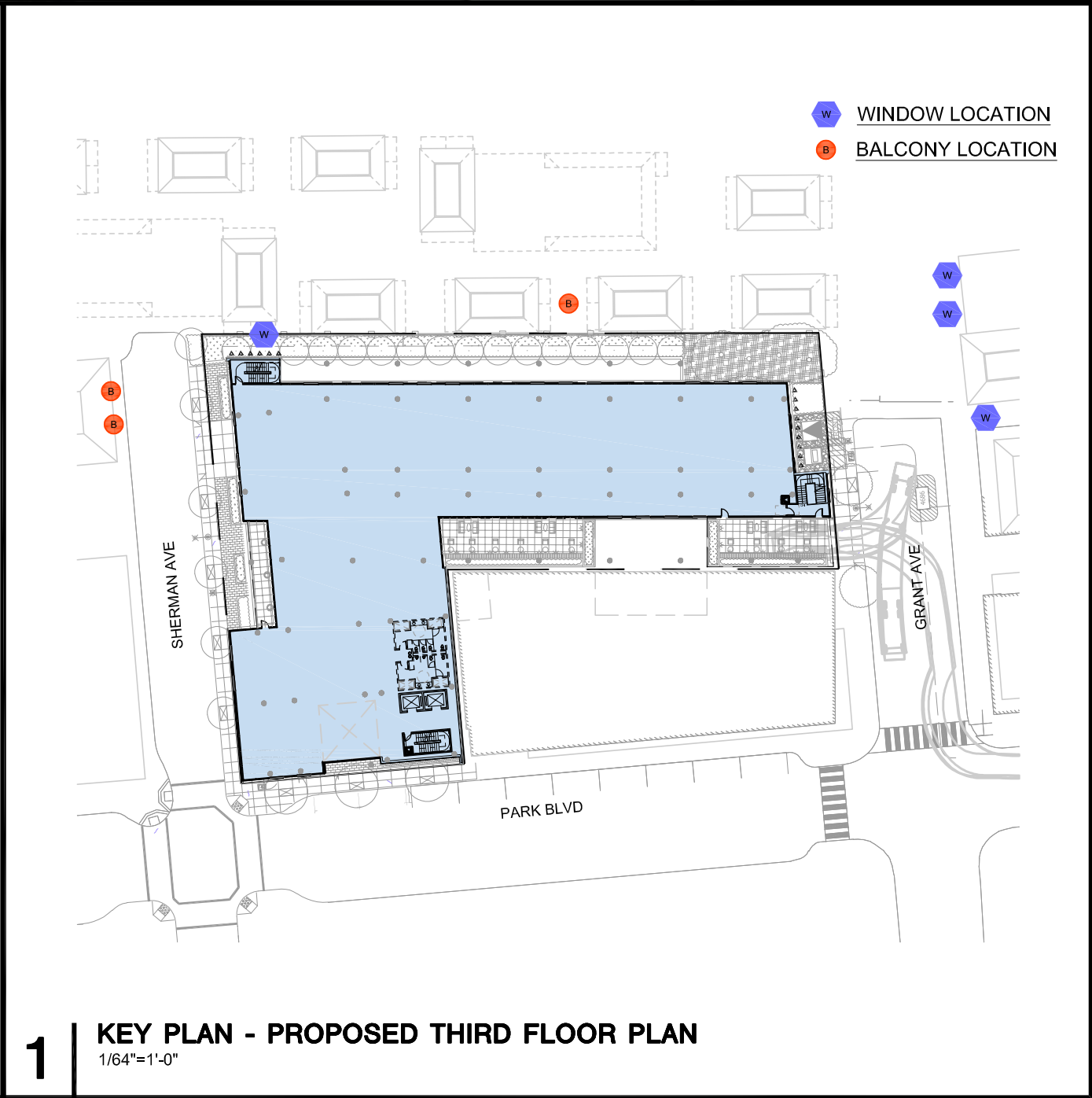
AERIAL VIEW FROM GRANT AVE.



EXISTING GOOGLE EARTH AERIAL VIEW - FOR REFERENCE



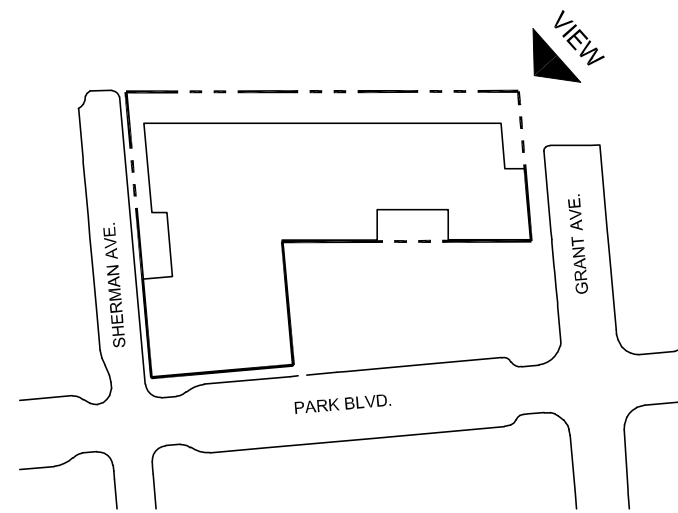
2 KEY PLAN - PROPOSED SECOND FLOOR PLAN  
1/64"=1'-0"



1 KEY PLAN - PROPOSED THIRD FLOOR PLAN  
1/64"=1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
PROPOSED PERSPECTIVE

SCALE  
AS NOTED

SHEET NUMBER

R7





4 DAYLIGHT PLANE - VIEW 4  
N.T.S.



3 DAYLIGHT PLANE - VIEW 3  
N.T.S.



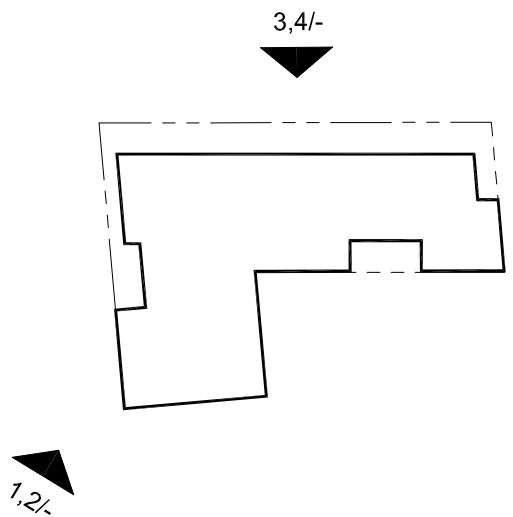
2 DAYLIGHT PLANE - VIEW 2  
N.T.S.



1 DAYLIGHT PLANE - VIEW 1  
N.T.S.

# SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
ALLOWABLE MASSING

SCALE  
N.T.S.

SHEET NUMBER

R8





3 | VIEW FROM NEIGHBOR\_2 AT YEAR 1  
N.T.S.



2 | VIEW FROM NEIGHBOR\_2 AT YEAR 10  
N.T.S.



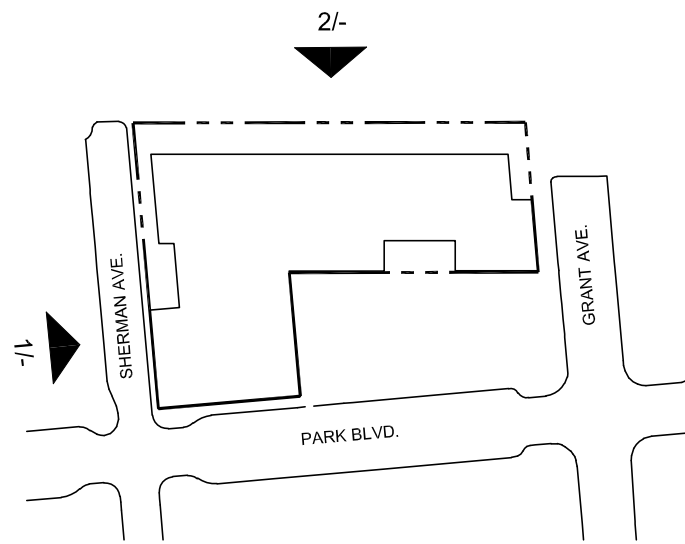
1 | VIEW FROM NEIGHBOR\_1  
N.T.S.

## SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ARCHITECTS  
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
06.06.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
DAYLIGHT PLANE PERSPECTIVE VIEWS

SCALE

N.T.S.

SHEET NUMBER

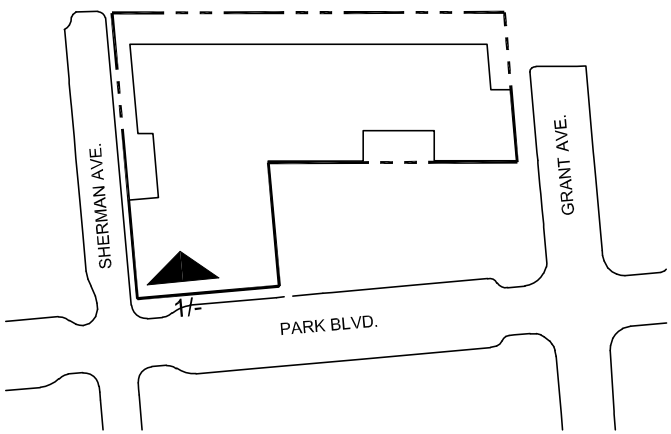
R9





SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.03.23	PLANNING RESUBMITTAL #5

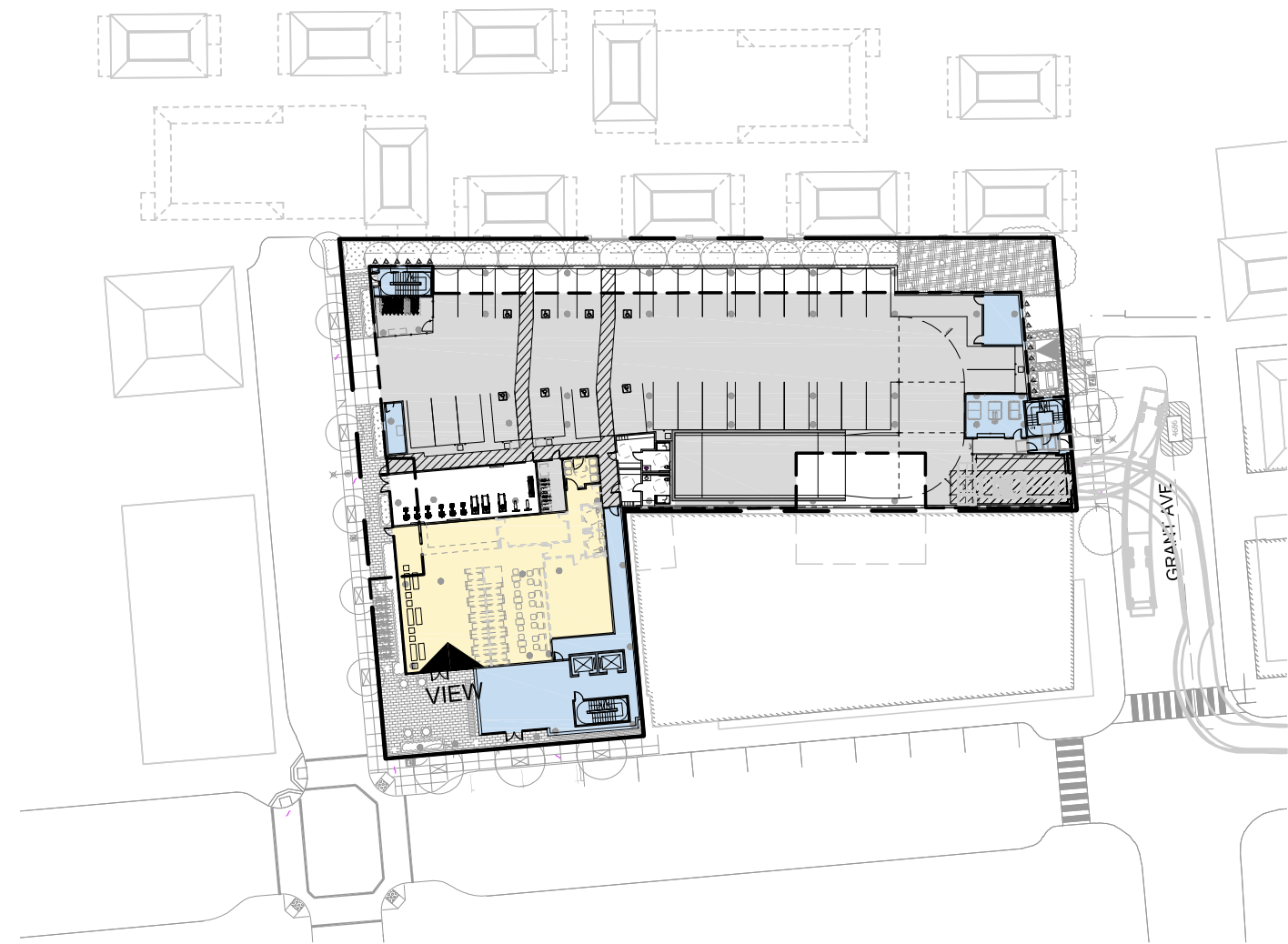
PROJECT NUMBER  
20008

SHEET TITLE  
VIEW FROM GROUND FLOOR TENTATIVE  
(FUTURE) RETAIL SPACE

SCALE  
N.T.S.

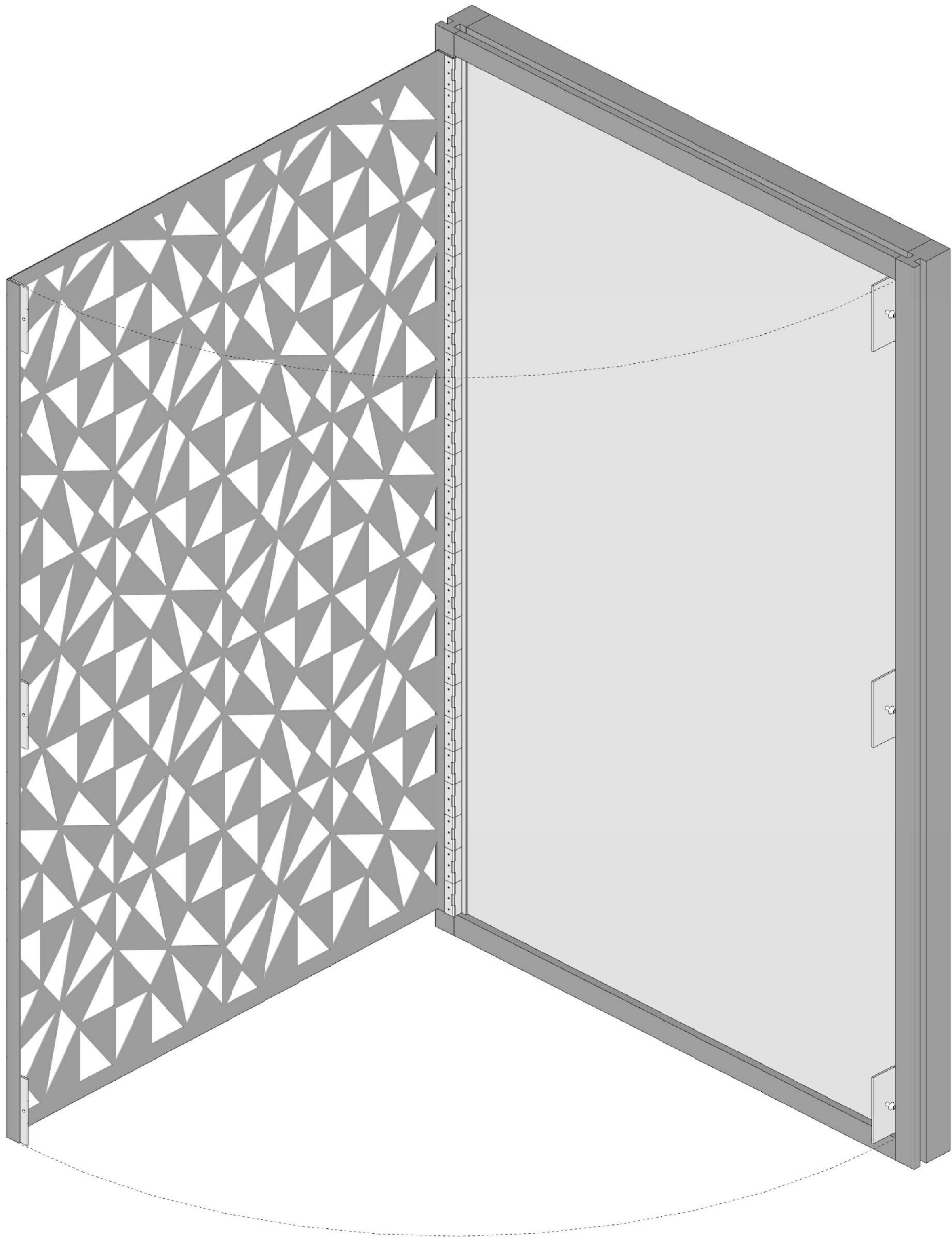
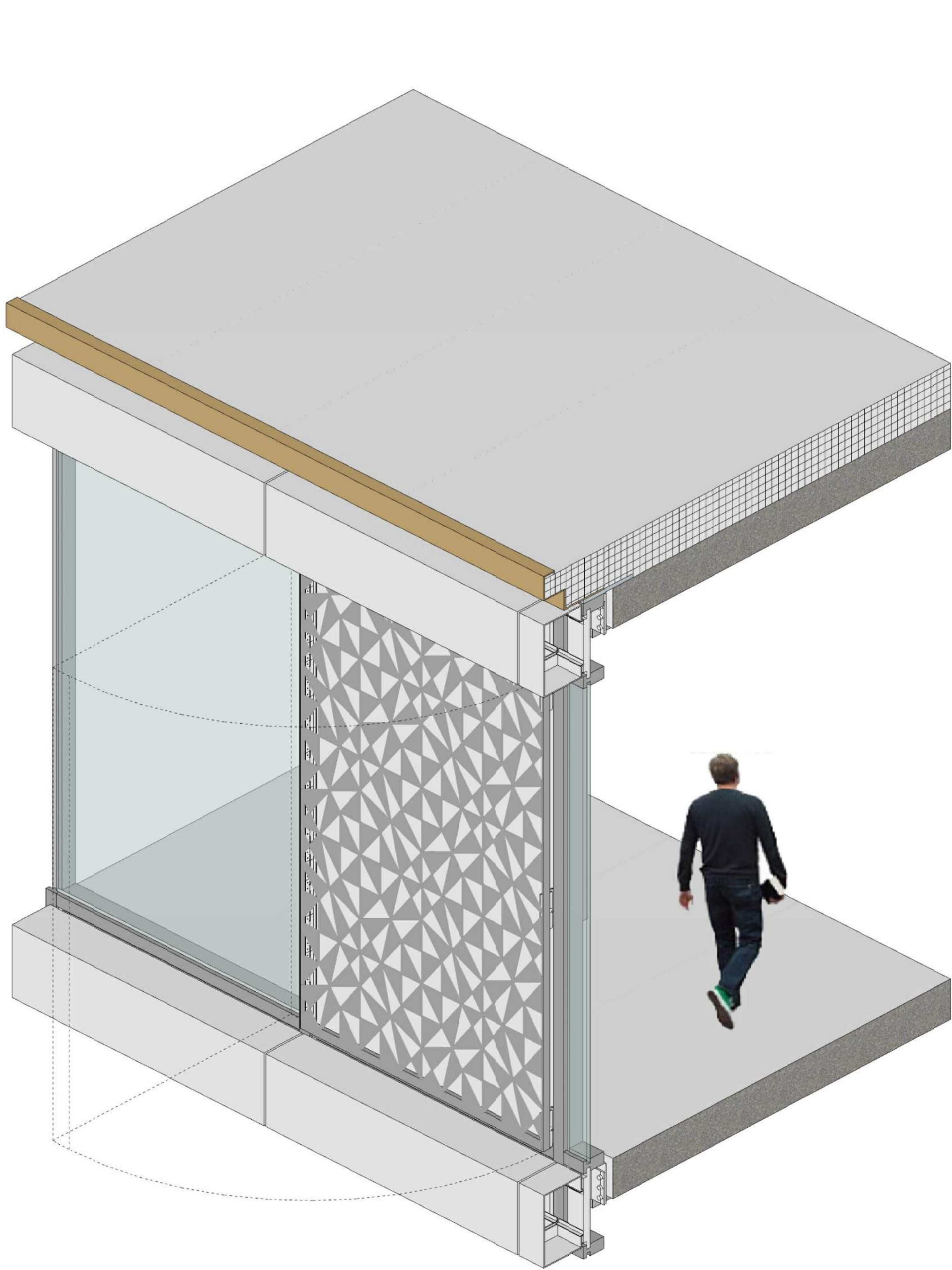
SHEET NUMBER

R10



1 | VIEW FROM GROUND FLOOR TENTATIVE (FUTURE) RETAIL SPACE  
N.T.S.



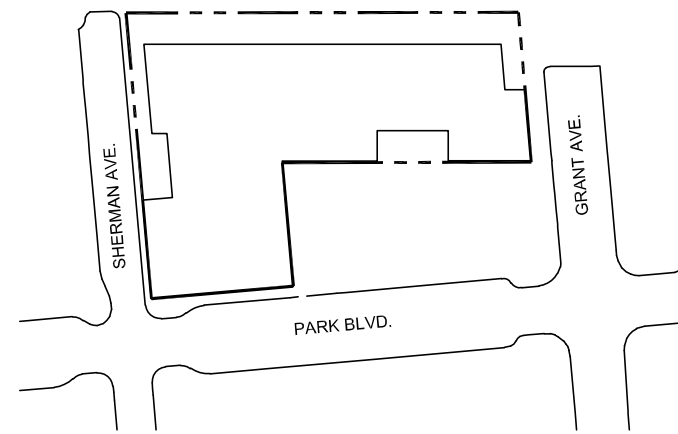


SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ARCHITECTS  
KORTH SUNSERI HAGEY

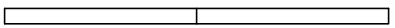


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
ENLARGED STENCIL PANEL DETAILS

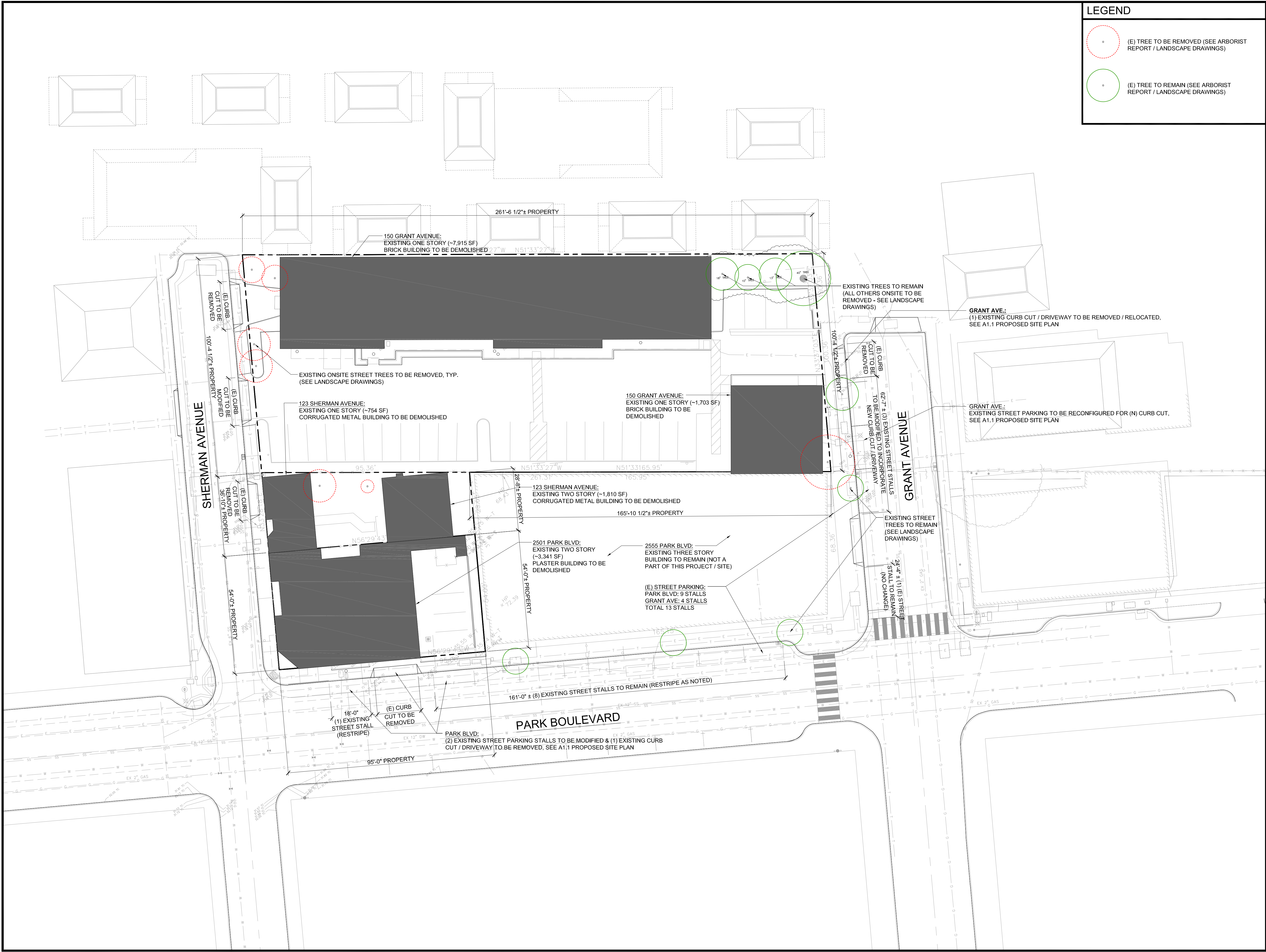
SCALE  
N.T.S.



SHEET NUMBER

R11





LEGEND

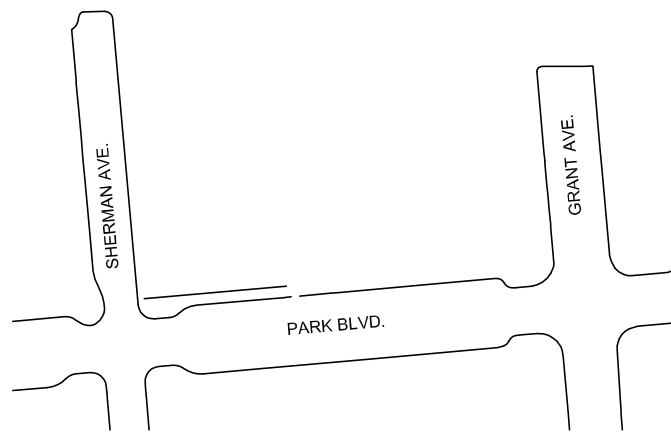
- (E) TREE TO BE REMOVED (SEE ARBORIST REPORT / LANDSCAPE DRAWINGS)
- (E) TREE TO REMAIN (SEE ARBORIST REPORT / LANDSCAPE DRAWINGS)

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ARCHITECTS  
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.06.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
EXISTING  
SITE PLAN

SCALE  
1" = 20'-0"

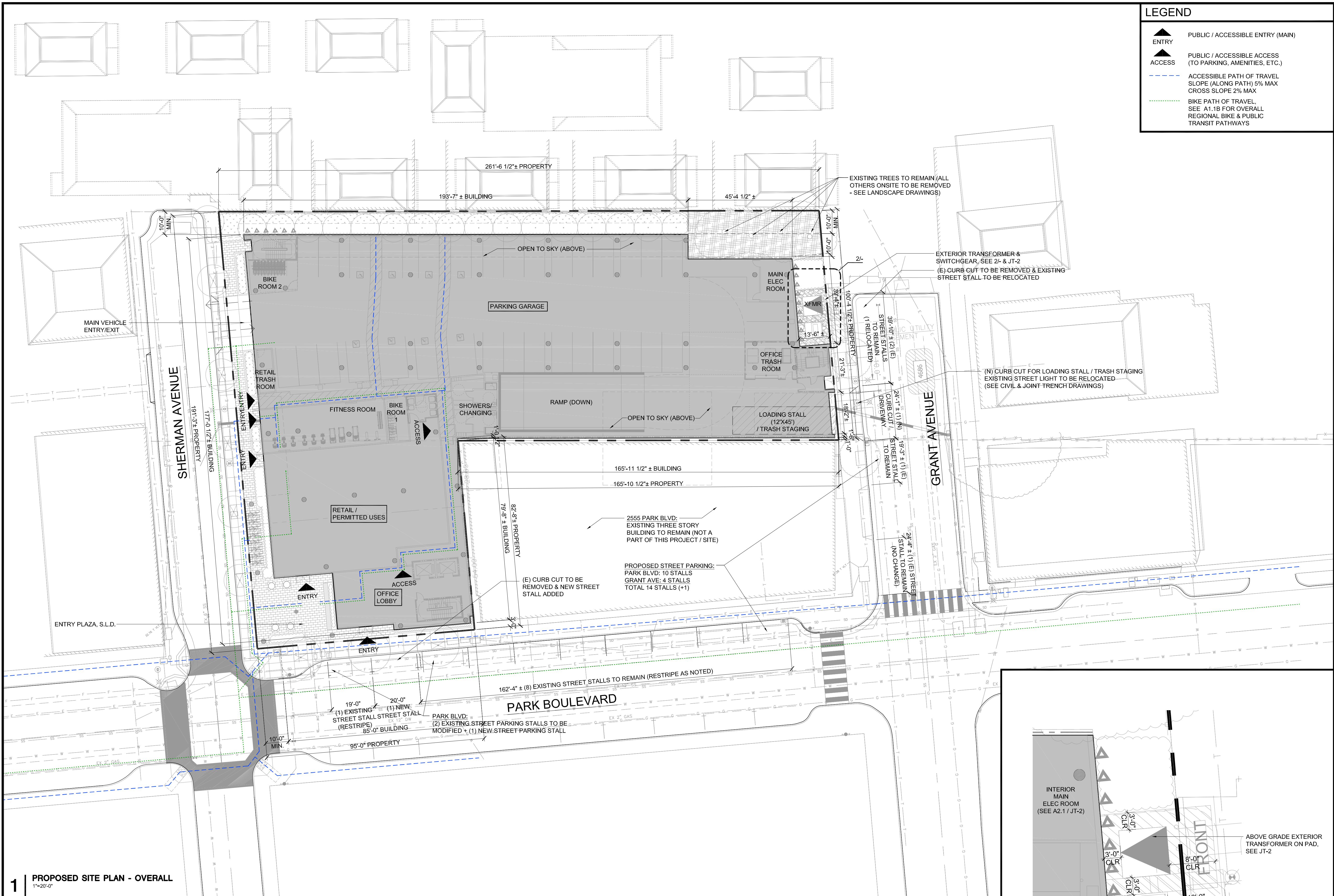


0 20' 40'

SHEET NUMBER

A1.0





1 PROPOSED SITE PLAN - OVERALL  
1"=20'-0"

SITE PLAN NOTES

1. STORMWATER BEST MANAGEMENT PRACTICES (BMPs) ASSOCIATED WITH REFUSE MANAGEMENT (INCLUDING ACTIONS RELATED TO REFUSE PICK-UP AND THE ENCLOSURE ITSELF) SHALL BE FOLLOWED TO ENSURE POLLUTION PREVENTION AND PREVENTING POTENTIAL DISCHARGES TO THE CITY'S STORM DRAIN SYSTEM. STORMWATER BMPs INCLUDE, BUT ARE NOT LIMITED TO, POWER WASHING THE PAVEMENT ON BOTH THE PRIVATE PROPERTY AND IN THE RIGHT-OF-WAY AND SIDEWALK A MINIMUM OF ONCE PER YEAR BEFORE THE WET SEASON BEGINS ON OCTOBER 1ST; UTILIZING A POWER WASHING CONTRACTOR THAT IS A RECOGNIZED SURFACE CLEANER BY THEBAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMA); DISPOSING OF WASH WATER ACCORDING TO THE RECOGNIZED SURFACE CLEANER CERTIFICATION REQUIREMENTS; AND REMOVING ANY POTENTIAL TRASH BUILD-UP ON A REGULAR BASIS.

2. THE NEW REFUSE ENCLOSURES ARE GREATER THAN 25 FT FROM THE CURB, THEREFORE THE BUILDING OWNER WILL INCURE ADDITIONAL CHARGES PAID TO THE REFUSE HAULER (GREENWASTE OF PALO ALTO) FOR BIN PULL OUTS.

3. WASTE / RECYCLING / COMPOST WILL BE COLLECTED BY JANITORIAL SERVICE INSIDE THE BUILDING (FLOORS 1-3) & PLACED IN THE APPROPRIATE CONTAINERS WITHIN THE PROPOSED INTERIOR ENCLOSURES WITHIN THE GARAGE (OFFICE) AND/OR INTERIOR TENANT SPACE (RETAIL).

4. REFER TO TRASH MANAGEMENT PLAN BY AMERICAN TRASH MANAGEMENT, AS WELL AS SHEETS TR0.0 & TR0.1 FOR ADDITIONAL INFORMATION ON PROPOSED TRASH ROOMS AS WELL AS TRASH ROUTE / STAGING.

2 ENLARGED PLAN AT PROPOSED TRANSFORMER  
1/8"=1'-0"

LEGEND

- ENTRY PUBLIC / ACCESSIBLE ENTRY (MAIN)
- ACCESS PUBLIC / ACCESSIBLE ACCESS (TO PARKING, AMENITIES, ETC.)
- ACCESSIBLE PATH OF TRAVEL SLOPE (ALONG PATH) 5% MAX CROSS SLOPE 2% MAX
- BIKE PATH OF TRAVEL, SEE A1.18 FOR OVERALL REGIONAL BIKE & PUBLIC TRANSIT PATHWAYS

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
PROPOSED  
SITE PLAN

SCALE

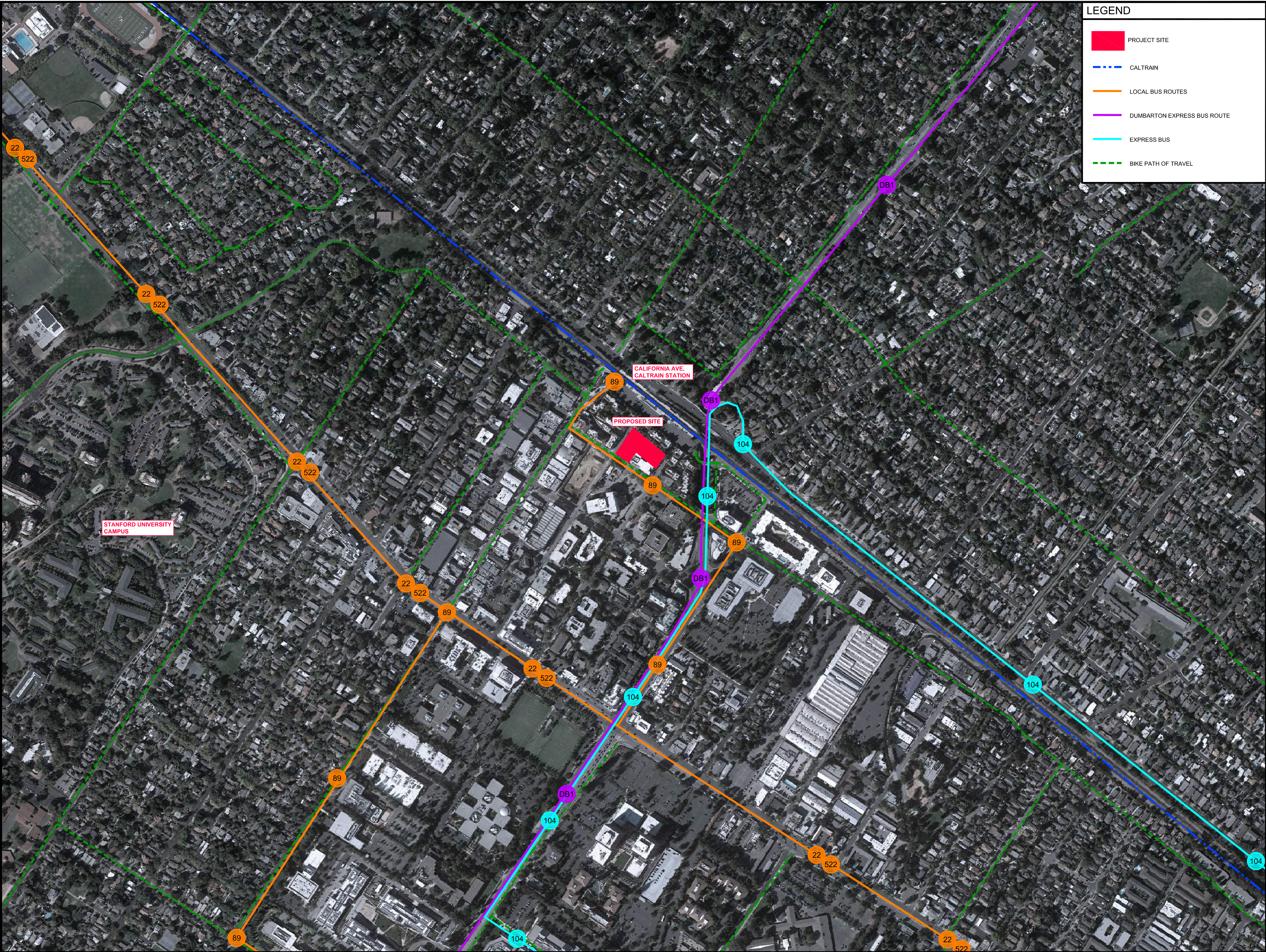
1" = 20'-0"

0 20' 40'

SHEET NUMBER

A1.1





LEGEND

PROJECT SITE

CALTRAIN

LOCAL BUS ROUTES

DUMBARTON EXPRESS BUS ROUTE

EXPRESS BUS

BIKE PATH OF TRAVEL

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306

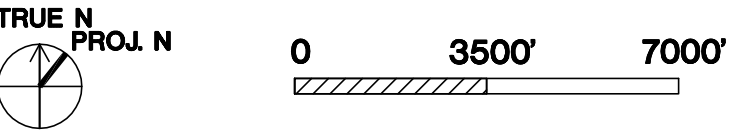


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	02.04.22	PLANNING RESUBMITTAL #2
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
NEIGHBORHOOD  
CONTEXT

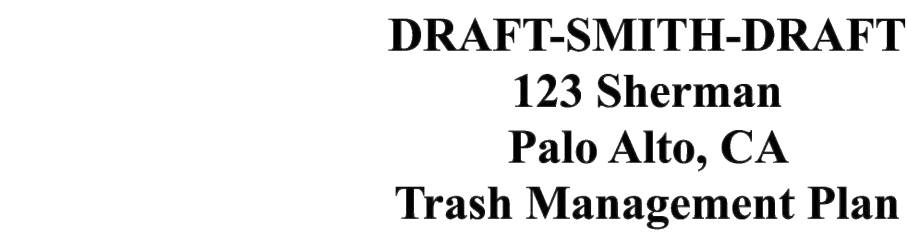
SCALE  
1" = 3500'-0"



SHEET NUMBER

A1.1B





**Task:** Design a waste and recycling system for a mixed-used office project with ~52,000 square feet of office space with a potential future full-service cafeteria and ~3,800 square feet of ground floor retail space that minimizes costs, staffing requirements and environmental impacts, while providing convenient trash disposal for the building's residents. Please note the word "trash" when used in this plan covers both waste and recycling.

City Council has approved the Recycling and Composting Ordinance. Starting January 1, 2017 businesses generating 2 or more cubic yards of garbage per week will be required to subscribe to recycling and compost services, as well as sort all waste into the appropriate containers. Currently, commercial customers generating 8 or more cubic yards of garbage per week, multifamily buildings, and food service establishments are already composting and recycling under the Ordinance.

Additionally, Palo Alto has a noise ordinance, 9.10.030 Residential property noise limits that states (a) No person shall produce, suffer or allow to be produced by any machine, animal or device, or any combination of same, on residential property, a noise level more than six dB above the local ambient at any point outside of the property plane.

**NOTE: While Palo Alto has this noise ordinance but given the data we have on trash truck noise, every location in the city with trash collection violates this rule.**

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Using these metrics, the following levels of waste, recyclables and compost are projected for the office space in this project.

	SF	Loose Waste Volume CY/WK	Loose Recycle Volume CY/WK	Loose Compost Volume CY/WK	Total # of Waste 4CY Bins/WK	Total # of Recycle 4CY Bins/WK	Total # of Compost 3CY Bins/WK
Office	52,000	5.3	8.8	2.3	2	2	1
Cafeteria*	N/A	9.4	8.3	3.8	2	2	2
<b>Total</b>	<b>52,000</b>	<b>14.7</b>	<b>17.2</b>	<b>6.0</b>	<b>4</b>	<b>4</b>	<b>3</b>

**Commercial Retail:**

	SF	Loose Waste Volume CY/WK	Loose Recycle Volume CY/WK	Loose Compost Volume CY/WK	Total # of Waste 96G Carts/WK*	Total # of Recycle 96G Carts/WK*	Total # of Compost 64G Carts/WK*
Retail	3,800	0.9	1.1	0.1	2	2	1

[illegible]

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**Compost.** Because of the relatively high volume of food waste the cafeteria produce, it is recommended that compost be collected in a 3CY loose container.

**Office Trash.** The janitorial staff for the office component of the project will be responsible for moving the office waste, recycling and compost to the trash room for disposal. The office janitorial staff will be accessing the trash room in the late evening on weeknights. **A path of travel has been designed for janitorial staff to move trash from the office service elevators through a corridor to the trash collection area.**

## RECOMMENDED RETAIL COMMERCIAL TENANT TRASH RULES

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Second, the office projection levels assumes a full-service cafeteria is programed. **We recommend front load loose bin service based on trash volume projections and local service availability.**

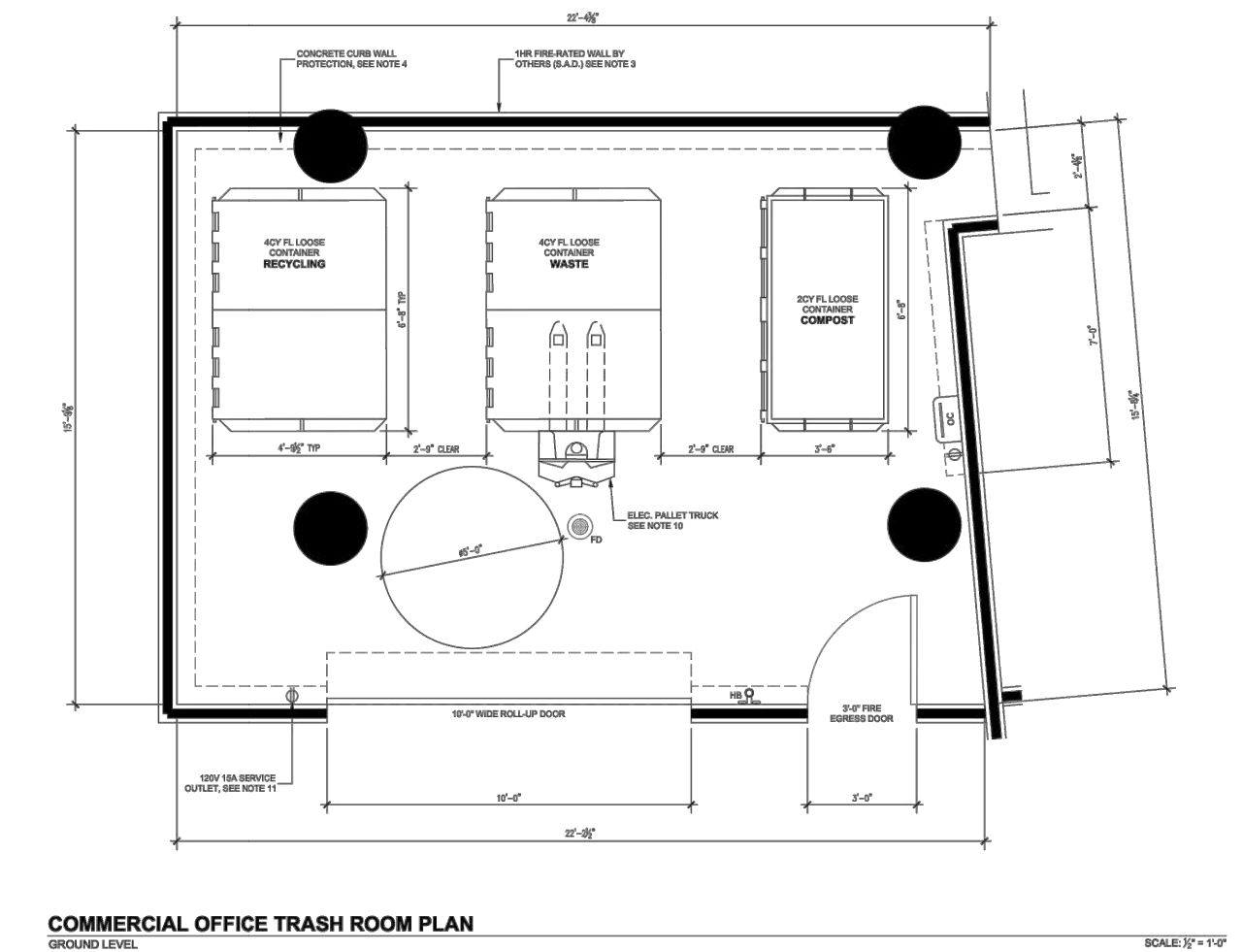
Third, a **trash staging and loading area has been introduced onsite just off of Grant Avenue**. 20' vertical clearance will be provided per Green Waste's standard for service. Bins must be moved by staff to this location so the trash bins to be emptied by Green Waste with minimal impact on the residents and the project's neighbors. **Green Waste has confirmed service along Grant and Sherman for neighboring enclosures (see email from Chris Siebenthall, District Operations Manager for Green Waste on Appendix 2).**

Fourth, we recommend commercial retail tenants be responsible for handling their own trash within their own leasable space. Separation prevents commercial trash disposal costs being passed directly to the office tenants. Additionally, ownership can require retail tenants subscribe to push-pull service to minimize trash staging along Sherman. Pullout service for retail trash is projected to be an additional \$250 a month and may be lower if a third party is contracted.

**Fifth, add 1 CFM/SF mechanical ventilation per CBC, floor drain, hose bib and odor control to the trash collection rooms.**



Space within the design has been designated just off of Sherman Avenue.



SCALE:  $\frac{1}{2}'' = 1'-0''$



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	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE

**PROPOSED TRASH ROOM &  
TRASH MANAGEMENT PLAN**

SCALE

**1/8" = 1'-0"**



0 8' 1

SHEET NUMBER

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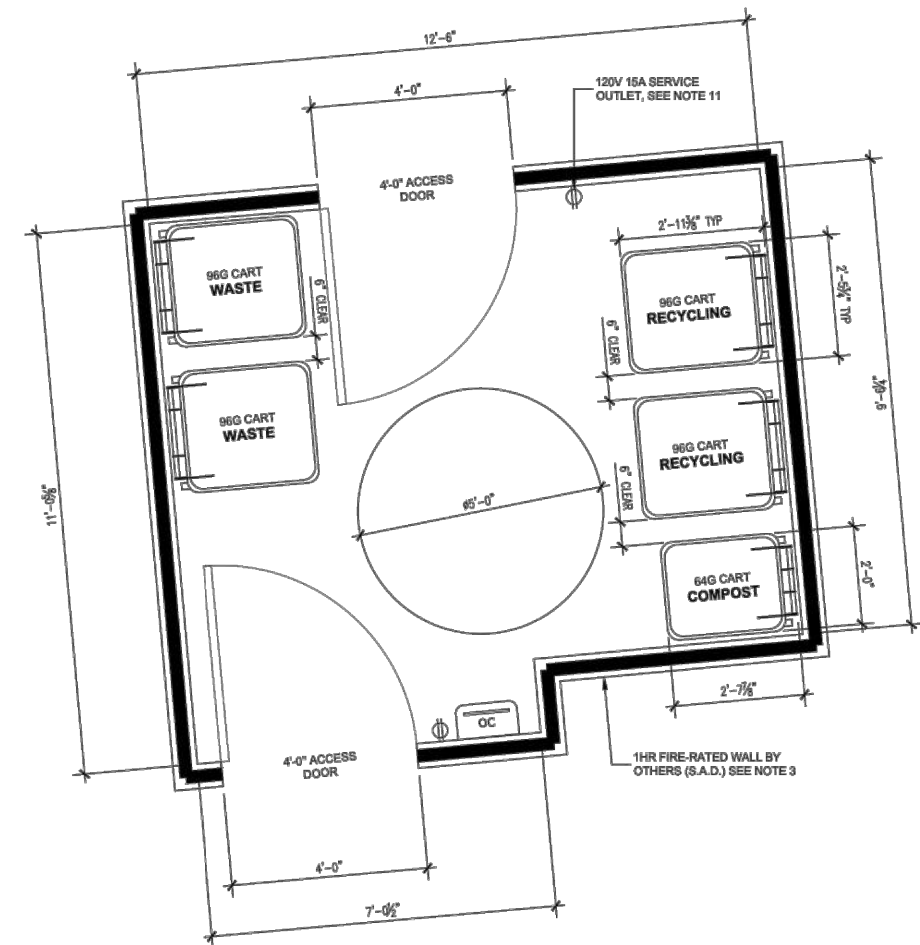
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## A1.2



Commercial Retail Trash Closet Layout



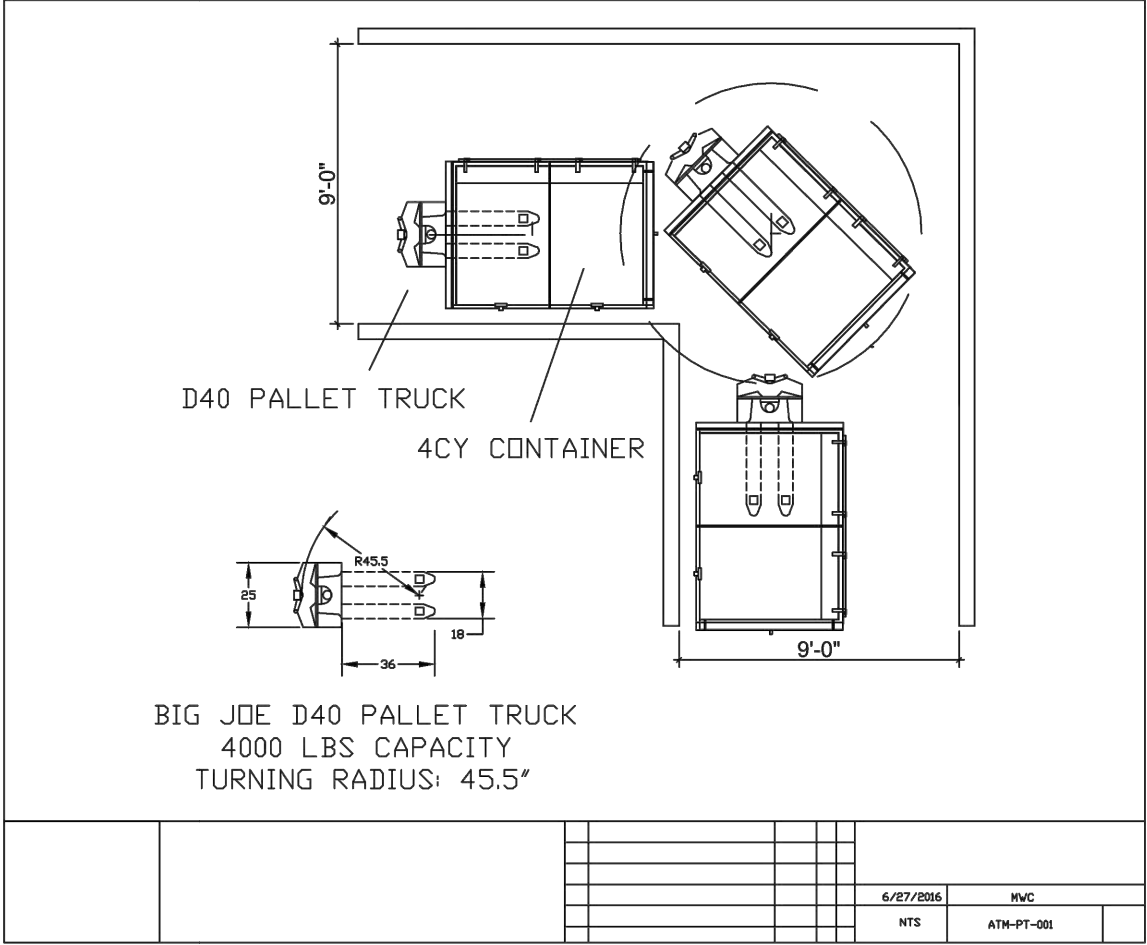
RETAIL TRASH ROOM PLAN

GreenWaste Bins and Carts

1-4 Cubic Yard Containers					
Size	Length	Width	Height	Weight	Notes
1 cu yd	81"	23.5"	37.0"	300	
1.5 cu yd	81"	31.5"	44.5"	275	
2 cu yd	81"	37.0"	51.5"	250	
3 cu yd	81"	46.5"	61.5"	30.5	
4 cu yd	81"	55.5"	69.5"	43.5	
5-8 Cubic Yard Containers					
Size	Length	Width	Height	Weight	Notes
5 cu yd	81"	57.5"	63.5"	31.5	
6 cu yd	81"	68.25"	71.5"	41"	
8 cu yd	81"	82"	82"	51"	
Debris Box/Roll-Off Box					
Size	Length	Width	Height	Weight	Notes
7 cu yd	14'	8'	4'	2500	
15 cu yd	18'	8'	4'	3500	
30 cu yd	25'	8'	4'	5500	
40 cu yd	31'	8'	4'	6500	
50 cu yd	37'	8'	4'	7500	
Wheeled Cart					
Size	Depth	Width	Height	Weight	Notes
20 gallons	24.25"	19.25"	35.5"	15	
32 gallons	24.25"	19.25"	35.5"	20	
44 gallons	29.25"	24.25"	35.5"	25	
56 gallons	34.5"	29.25"	46.75"	30	

GreenWaste of Palo Alto  
2000 Geng Road  
Palo Alto, CA 94303  
650.493.4894

Trash Bin Moving:  
Project using 4CY Container



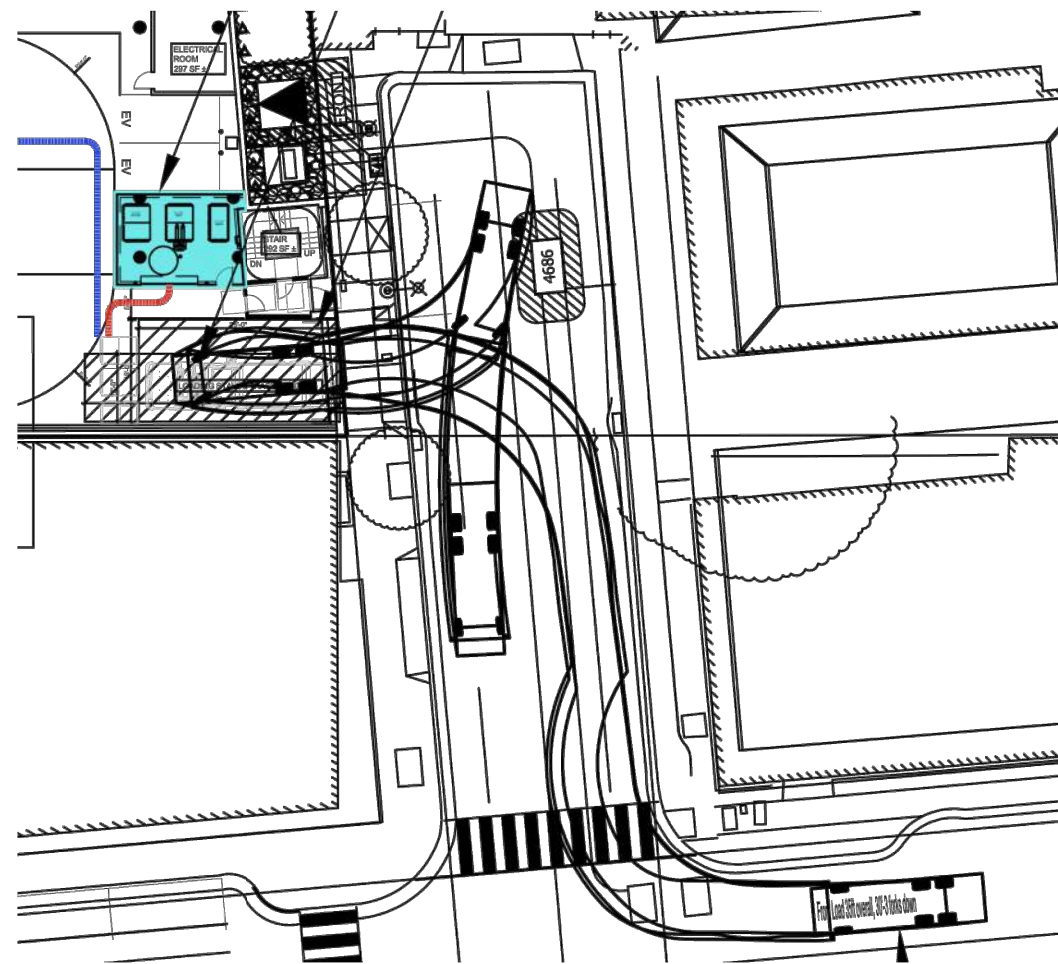
Trash System Equipment Specifications: - Provided separately, listed below:

- Section 44 31 00 - Odor Control
- Section 41 63 23 - Electric Pallet Jack Bin Mover

Trash Service Location:

Commercial office staging should take place within the building just off Grant Avenue. This is a safe and convenient location for staging bins so they can be pulled and emptied by the hauler with minimal impact on the residents and the project's neighbors. Trash bins will be moved by building staff and from the trash room on service days. Distances greater than 25ft from the curb will be charged by the hauler.

Trash Staging Area:



Sample Office Building Trash Service Schedule

Note that all schedules to be determined by hauler, building management, and actual trash levels.

Office Without Full Service Cafeteria

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
4CY Loose Waste	1				1		
4CY Loose Recycle	1				1		
3CY Loose Compost	1						
Total	3	0	0	0	2	0	0

Office With Full Service Cafeteria (Unlikely to occur)

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
4CY Loose Waste	1	1	1	1			
4CY Loose Recycle	1	1	1	1			
3CY Loose Compost	1				1		
Total	3	2	2	2	1	0	0

Commercial Retail Service Schedule

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
96G Loose Waste	2						
96G Loose Recycle	2						
64G Loose Compost	1						
Total	5	0	0	0	0	0	0

Waste, Recycling and Compost Analysis: (Rates reflect the rate increase effective July 1, 2016)  
Below is a comparative analysis of the disposal and labor costs of handling waste and recycling in loose versus compacted bins. Please note that the projections below are estimates derived from actual audits of comparable office projects in California. They are not guaranteed. They are to be used for planning purposes only and may be higher or lower than projected.

TOTAL MAIN OFFICE - WASTE AND RECYCLING SYSTEM ANALYSIS WITH CAFETERIA

Square Feet	52,000	
% Office Recycling OCC	40%	
% Cafeteria Recycling OCC	75%	
Compaction Ratio	4	to 1
Staff Labor Rate	\$21.00	per hour - 1 person
Time move bins	0.25	hr to move to unloading area & back
# of Trash Rooms	1	
FL Compacted Waste Service	4	cubic yard front load bins
FL Compacted Recycle Service	4	cubic yard front load bins
FL Compacted Compost Service	2	cubic yard front load bins
RO Compacted Waste Service	10	cubic yard roll-off compactor
RO Compacted Recycle Service	10	cubic yard roll-off compactor
RO Compacted Compost Service	10	cubic yard roll-off compactor
Loose Waste Service	4	cubic yard front load bins
Loose Recycle Service	4	cubic yard front load bins
Loose Compost Service	3	cubic yard front load bins

COST BENEFIT CALCULATION PROJECTED

SERVICE-Waste	Loose	Compacted-FL
SERVICE-Recycling	Loose	Compacted-FL
SERVICE-Compost	Loose	Loose
Loose Waste Volume - CY	14.7	
Compacted Waste Volume - CY	3.7	3.7
Loose Recycling Volume - CY	17.2	
Compacted Recycling Volume - CY	4.3	4.3
Loose Compost Volume - CY	6.0	6.0
Compacted Compost Volume - CY		
Waste Bins/week	4	1
Recycling Bins/week	4	2
Compost Bins/week	3	3
Containers/week/trash room	11	6
SYSTEM CAPITAL COST	\$0.00	\$24,655.00
WASTE COST/MONTH	\$2,448.09	\$1,269.56
RECYCLING COST/MONTH	\$0.00	\$0.00
COMPOST COST/MONTH	\$1,041.04	\$1,041.04
TRASH COST/MONTH	\$3,489.13	\$2,310.60
COMPACTION SAVINGS/MONTH	\$0.00	\$1,178.53
STAFF LABOR COST/MONTH	\$250.06	\$136.40
STAFF SAVINGS/MONTH	\$0.00	\$113.66
NET MONTHLY TRASH COSTS	\$3,739.19	\$2,447.00
Monthly Trash Cost per SF	\$0.07	\$0.05
PAYBACK-MONTHS	n/a	19
Pull out service rate**	\$1,750.00	42

\* Loose 4CY Recycling Bins rounded down  
\*\* Pullout service may also be offered by 3rd party such as Copia or Trash Scouts (starting 2023) at lower cost

2525 PARK BLVD  
PALO ALTO, CA 94306

ISSUES AND REVISIONS

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03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE

TRASH MANAGEMENT PLAN

SCALE  
N.T.S.

SHEET NUMBER

A1.3







PROJECTED OFFICE ONLY TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (4CY)	1		1				
LOOSE RECYCLE (4CY)		1		1			
COMPOST (2CY)	1						
TOTAL	2	1	1	1	0	0	0

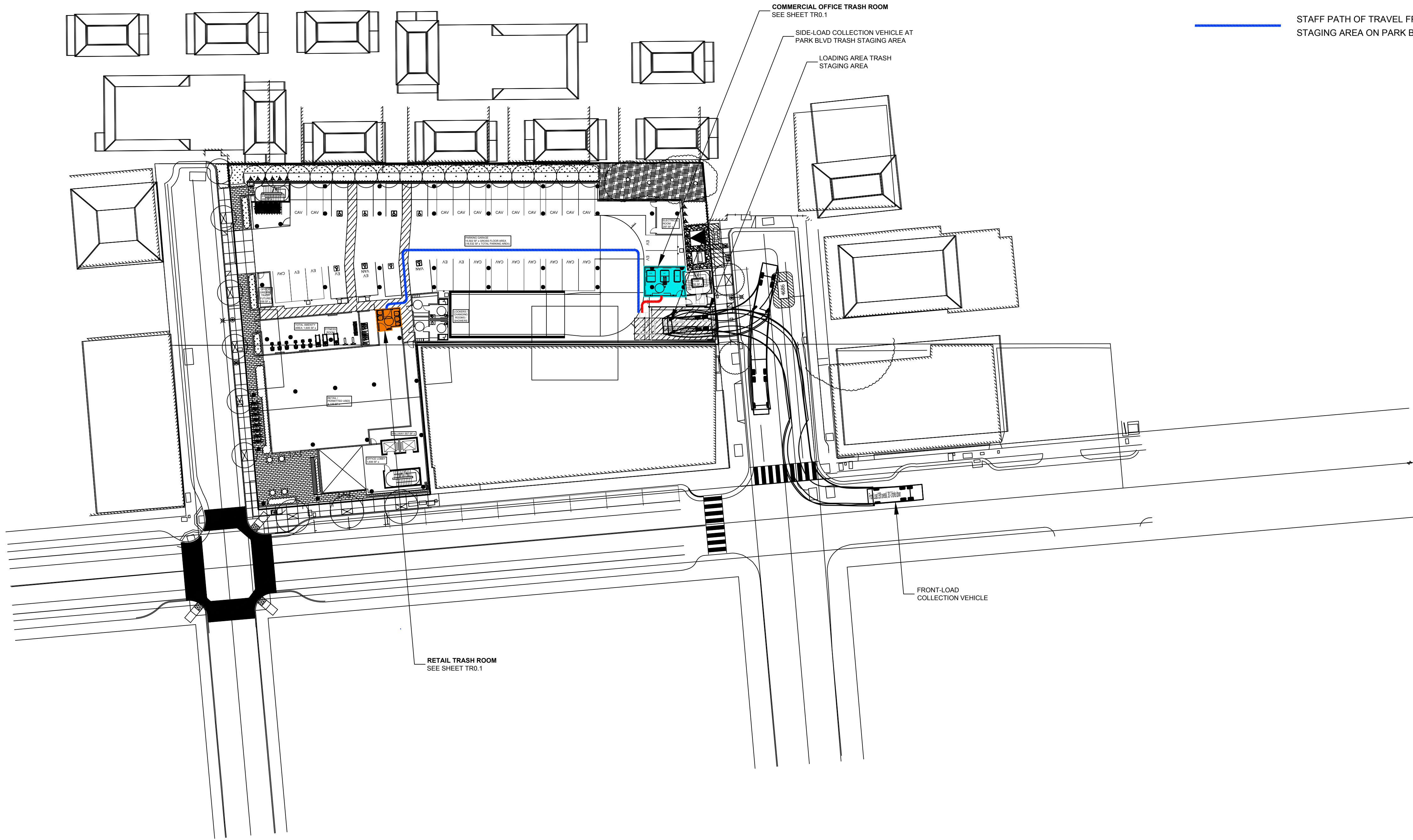
PROJECTED OFFICE W/ CAFETERIA TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (4CY)	1	1	1	1			
LOOSE RECYCLE (4CY)	1	1	1	1			
COMPOST (2CY)	1		1		1		
TOTAL	3	2	3	2	1	0	0

PROJECTED RETAIL TRASH SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (96G)	2						
LOOSE RECYCLE (96G)	2						
COMPOST (64G)	1						
TOTAL	5	0	0	0	0	0	0

- SHEET NOTES.**
- TRASH ROUTE / STAGING PLAN. GROUND LEVEL.**
- STAFF TO TRANSPORT FRONT-LOAD CONTAINERS TO STAGING AREA WITH ELECTRIC PALLET TRUCK. 4000LB CAPACITY WITH 45.5" TURNING RADIUS. 120V 15A SERVICE OUTLET REQUIRED.
  - NOTE THAT TOTER CARTS WILL BE SERVICED BY SIDE-LOAD COLLECTION VEHICLE AND CONTAINERS WILL BE SERVICED BY FRONT-LOAD COLLECTION VEHICLE. STAFF SHALL STAGE TOTER CARTS AND CONTAINERS ON SEPARATE DAYS.

- GENERAL NOTES.**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
  - ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

- LEGEND.**
- STAFF PATH OF TRAVEL FROM COMMERCIAL OFFICE TRASH ROOM TO TRASH STAGING AREA ON GRANT AVENUE.
  - STAFF PATH OF TRAVEL FROM RETAIL TRASH ROOM TO TRASH STAGING AREA ON PARK BOULEVARD.



TRASH ROUTE / STAGING PLAN  
GROUND LEVEL

SCALE: 1/32" = 1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



AMERICAN TRASH  
MANAGEMENT, INC.

1900 Powell Street, Suite 220  
Emeryville, CA 94608  
P: 415.292.5400  
F: 415.292.5410  
consultingprojects@trashmanage.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
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	03.03.23	Planning Resubmittal #5

PROJECT NUMBER  
20008

SHEET TITLE  
TRASH ROUTE /  
STAGING PLAN

SCALE  
As Indicated

SHEET NUMBER

TR0.0



PROJECTED OFFICE ONLY TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (4CY)	1		1				
LOOSE RECYCLE (4CY)		1		1			
COMPOST (2CY)	1						
TOTAL	2	1	1	1	0	0	0

PROJECTED OFFICE W/ CAFETERIA TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (4CY)	1	1	1	1			
LOOSE RECYCLE (4CY)	1	1	1	1			
COMPOST (2CY)	1		1		1		
TOTAL	3	2	3	2	1	0	0

PROJECTED RETAIL TRASH SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (96G)	2						
LOOSE RECYCLE (96G)	2						
COMPOST (64G)	1						
TOTAL	5	0	0	0	0	0	0

- SHEET NOTES.**
- OFFICE TRASH ROOMS. GROUND LEVEL.**
- TRASH COLLECTION ROOMS ARE 1HR FIRE-RATED - RESTRICTED ACCESS.
  - FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN.
  - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT 8'-0" AFF.
  - WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF WALLS PER PLAN.
  - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/SF PER 2019 CBC.
  - AT COMMERCIAL OFFICE TRASH PROVIDE 10'-0" WIDE ROLL-UP DOOR FOR TRANSFERRING CONTAINERS AND 3'-0" NFPA COMPLIANT FIRE EGRESS DOOR.
  - AT RETAIL TRASH PROVIDE 4'-0" NFPA COMPLIANT ACCESS DOORS.
  - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. 120V 15A SERVICE OUTLET REQUIRED.
  - HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
  - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB CAPACITY WITH 45.5" TURNING RADIUS. 120V 15A SERVICE OUTLET REQUIRED.
  - PROVIDE (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

- GENERAL NOTES.**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
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  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



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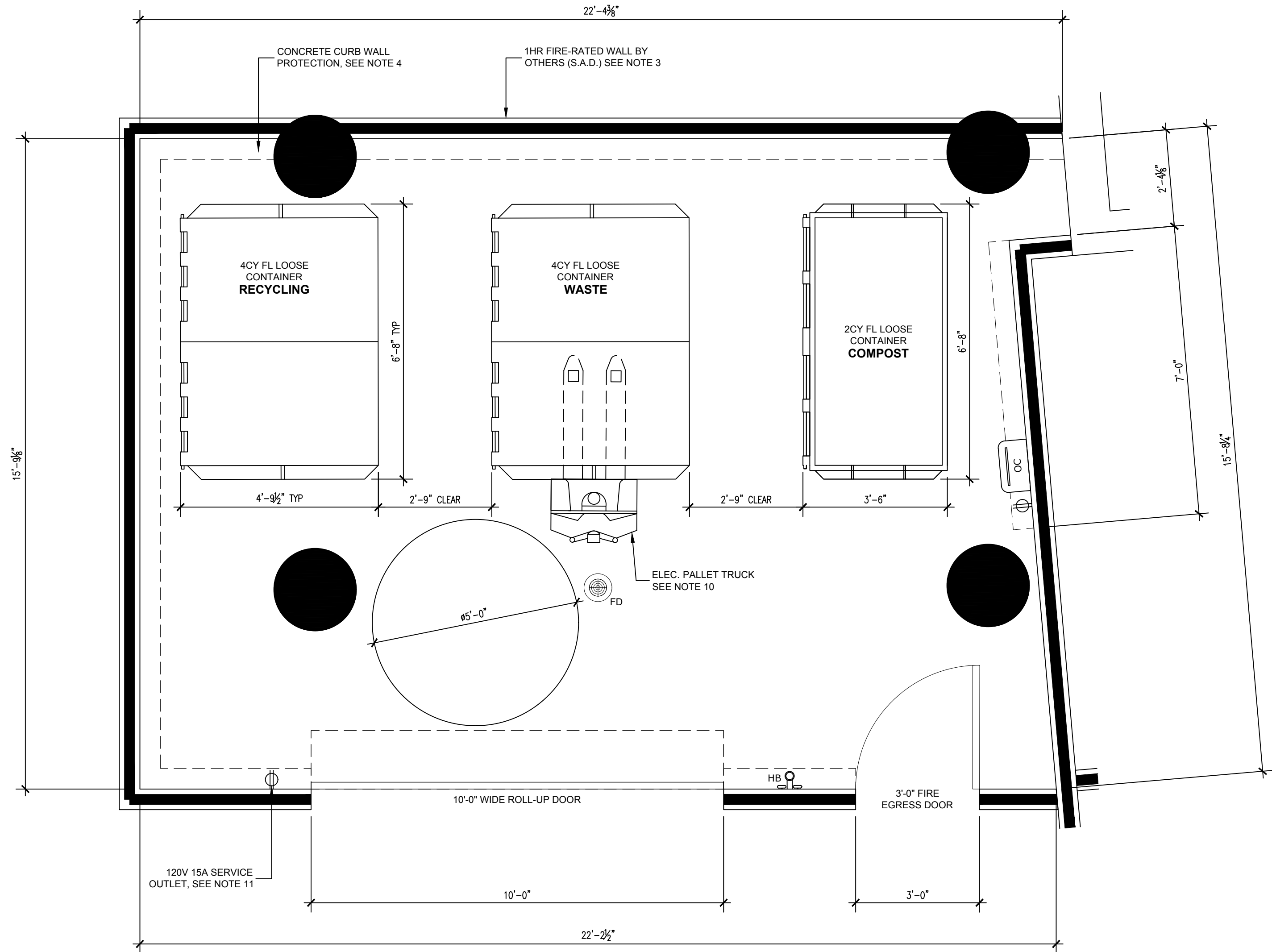
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PROJECT NUMBER  
20008

SHEET TITLE  
TRASH ROOM  
PLANS

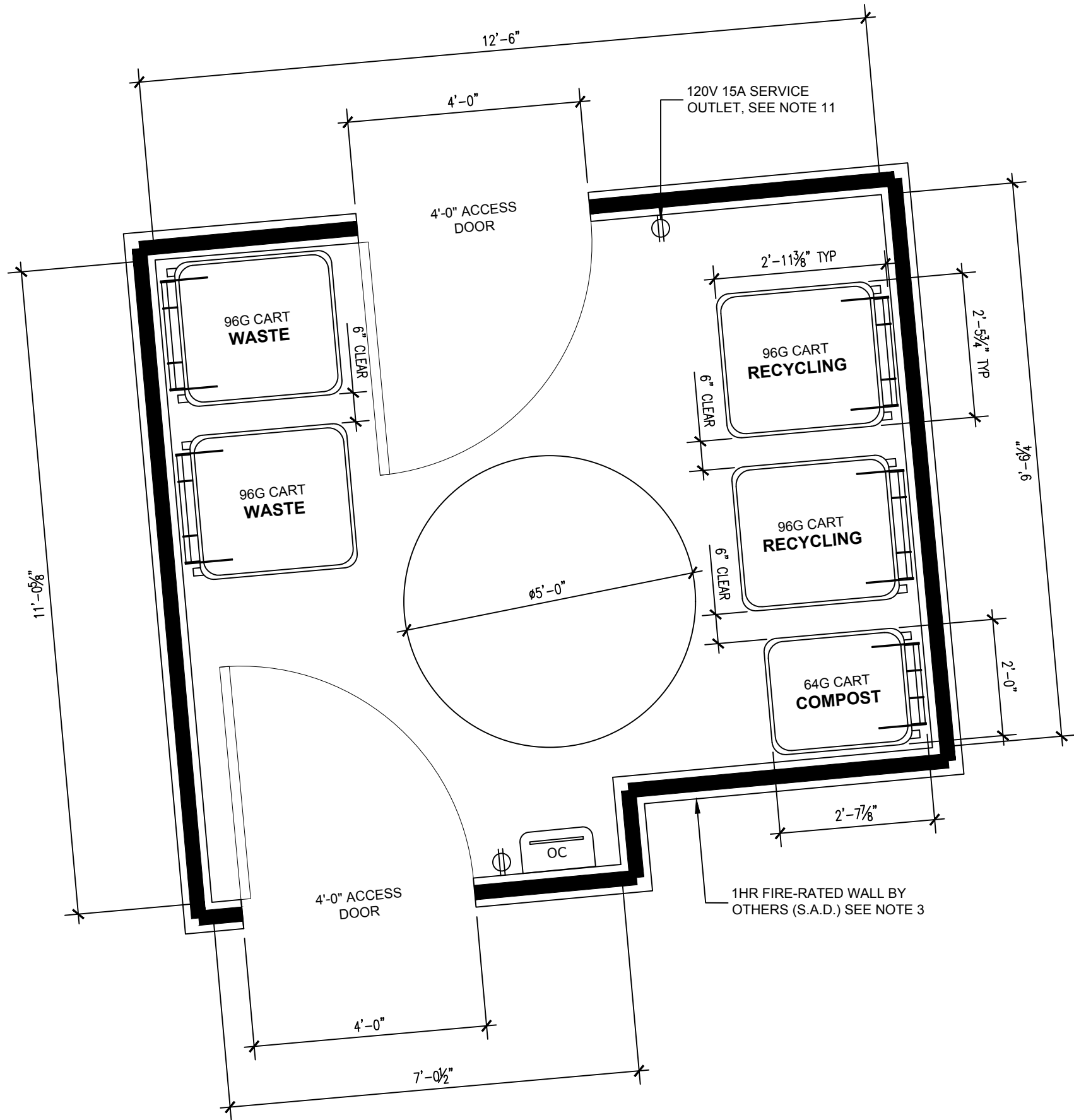
SCALE  
As Indicated

SHEET NUMBER



COMMERCIAL OFFICE TRASH ROOM PLAN  
GROUND LEVEL

SCALE: 1/2" = 1'-0"



RETAIL TRASH ROOM PLAN  
GROUND LEVEL

SCALE: 1/2" = 1'-0"

TR0.1





NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
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	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE

**PROPOSED PLAN  
PARKING PLAN P2**

SALE

$$/32'' = 1'-0''$$

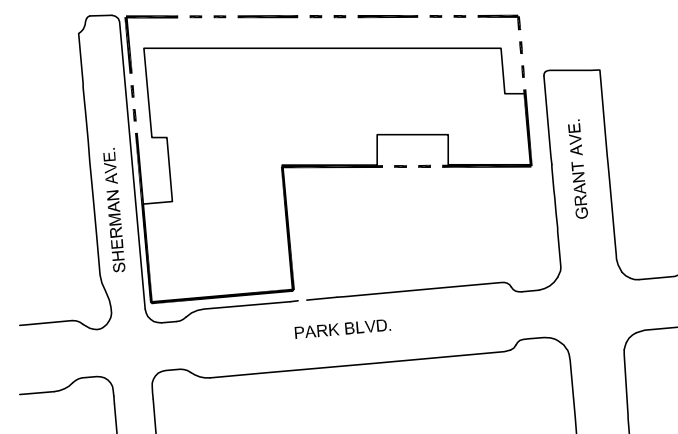

Partial section line with dimensions 10'-8" and 21'-4".

SHEET NUMBER

## A2.P2

**P2 LEVEL (82 TOTAL OFFICE STALLS)**  
**24 LIFTS (48 STALLS) (9' X 17.5') WITH 6'-11" DEEP PIT & 13'-6" CLEAR HEIGHT**  
**4 STD 90-DEGREE STALL (8.5' X 17.5') WITH 25' DRIVE AISLE**  
**30 STD 90-DEGREE STALLS (9' X 17.5') WITH 24' DRIVE AISLE**





ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
**PROPOSED PLAN  
PARKING PLAN P1**

SCALE  
**3/32" = 1'-0"**  
0 10'-8" 21'-4"



SHEET NUMBER

**A2.P1**



P1 LEVEL: 52 TOTAL OFFICE STALLS  
6 STD 90-DEGREE STALLS (8.5' X 17.5' MIN.) WITH 25' DRIVE AISLE  
46 STD 90-DEGREE STALLS (9' X 17.5') WITH 24' DRIVE AISLE, INCL. 3 CAV  
  
34 CONDUIT ONLY 'FUTURE EV' PROVIDED, INCLUDED IN COUNTS ABOVE:  
\* 33 STD FUTURE EVSE  
\* 1 AMBULATORY FUTURE EVSE  
(FOR 26 TO 50 INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)  
(PER CBC 11B-812.6.3, 10' X 18', WITH NO ACCESS AISLE REQ.)

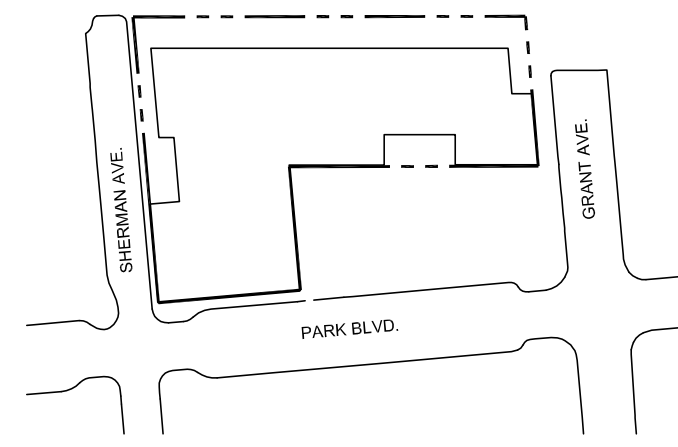


SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ARCHITECTS  
KORTH SUNSERI HAGEY

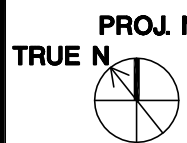


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2
06.22.22		PLANNING RESUBMITTAL #3
11.02.22		PLANNING RESUBMITTAL #4
03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

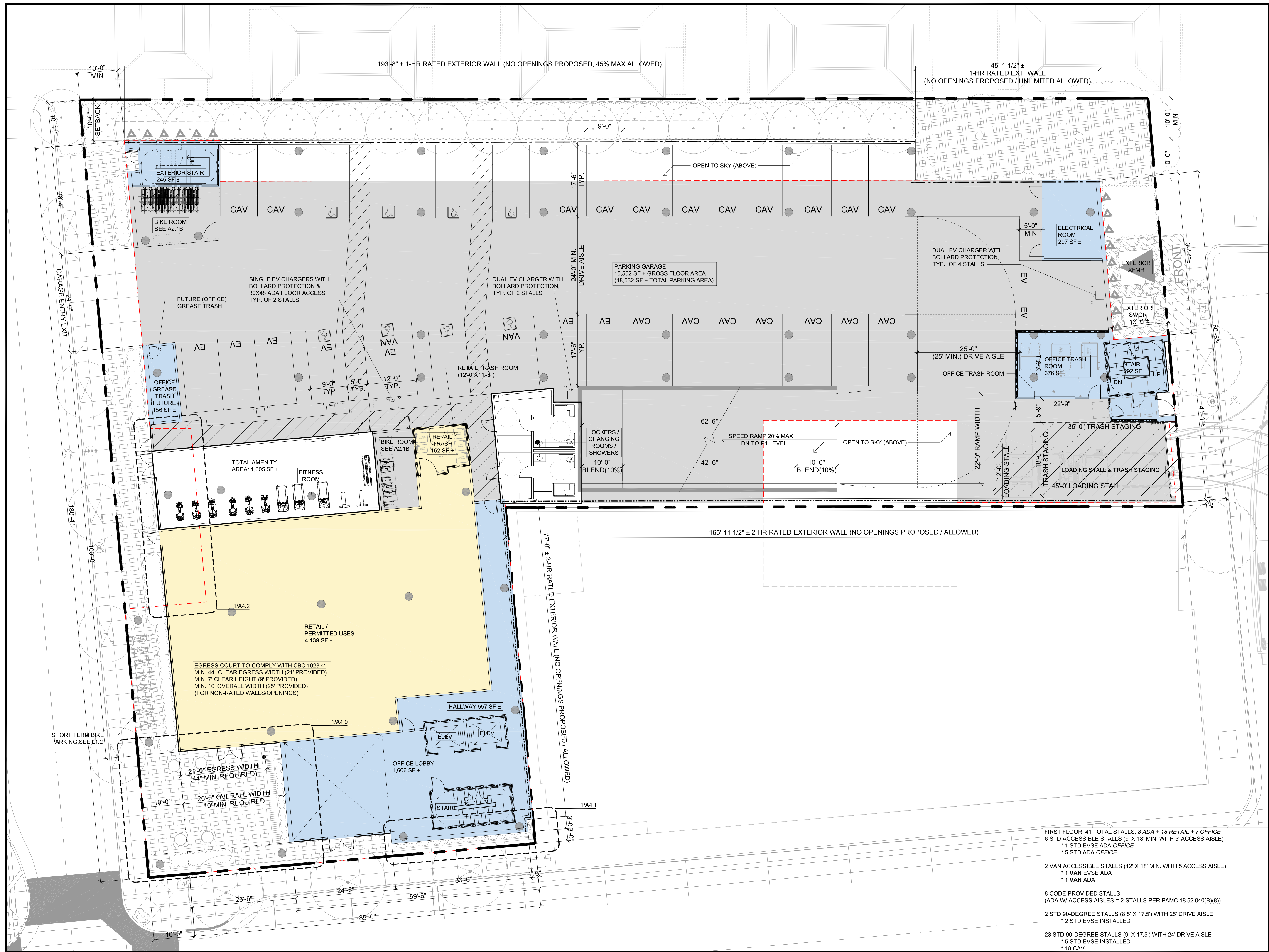
SHEET TITLE  
**PROPOSED PLAN  
FIRST FLOOR**

SCALE  
**3/32" = 1'-0"**  
0 10'-8" 21'-4"



SHEET NUMBER

A2.1



FIRST FLOOR: 41 TOTAL STALLS, 8 ADA + 18 RETAIL + 7 OFFICE  
6 STD ACCESSIBLE STALLS (9' X 18' MIN. WITH 5' ACCESS AISLE)  
\* 1 STD EVSE ADA OFFICE  
\* 5 STD ADA OFFICE  
2 VAN ACCESSIBLE STALLS (12' X 18' MIN. WITH 5' ACCESS AISLE)  
\* 1 VAN EVSE ADA  
\* 1 VAN ADA  
8 CODE PROVIDED STALLS  
(ADA W/ ACCESS AISLES = 2 STALLS PER PAMC 18.52.040(B)(8))  
2 STD 90-DEGREE STALLS (8.5' X 17.5') WITH 25' DRIVE AISLE  
\* 2 STD EVSE INSTALLED  
23 STD 90-DEGREE STALLS (9' X 17.5') WITH 24' DRIVE AISLE  
\* 5 STD EVSE INSTALLED  
\* 18 CAV





Dero Decker

Setbacks Single Sided

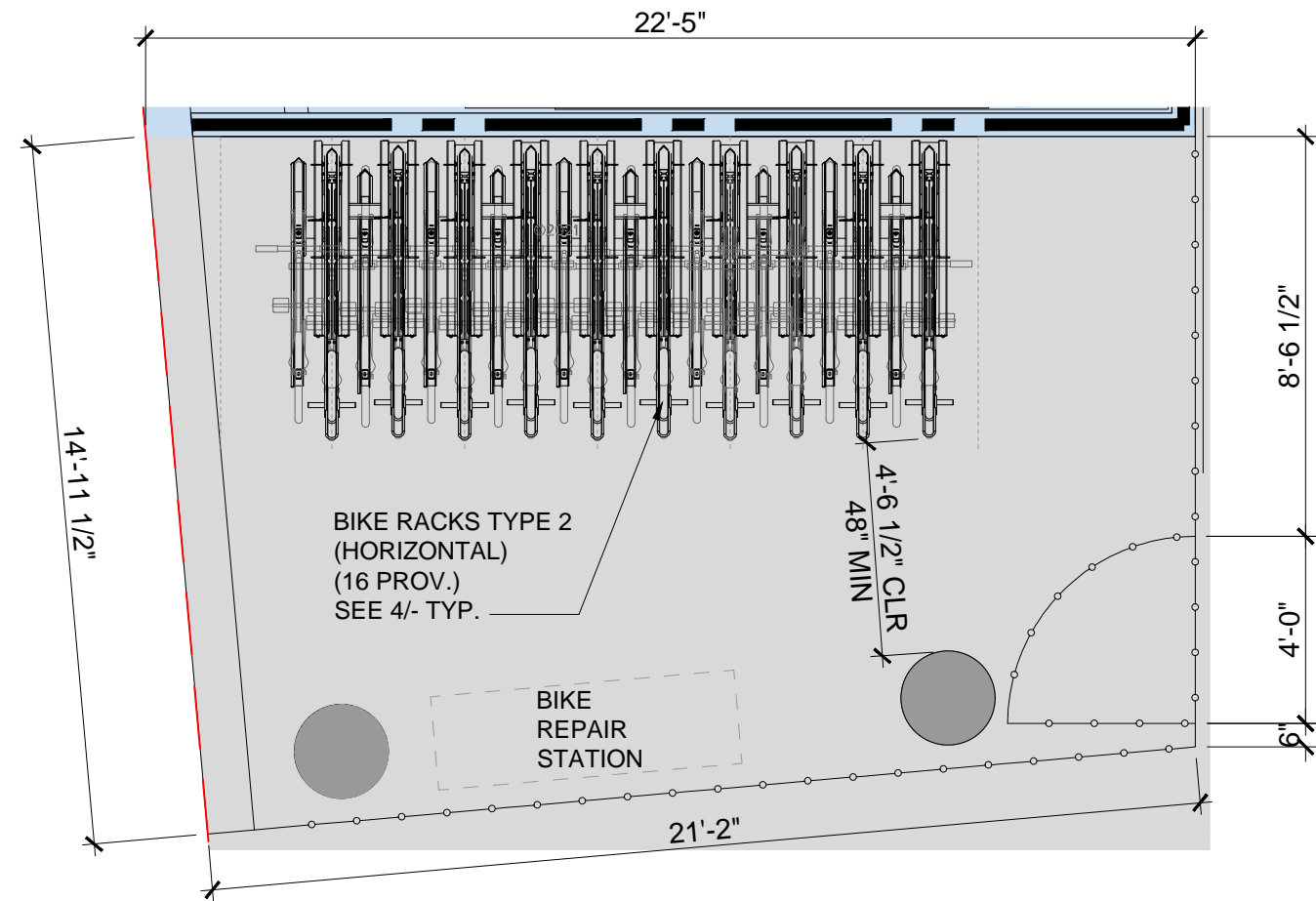
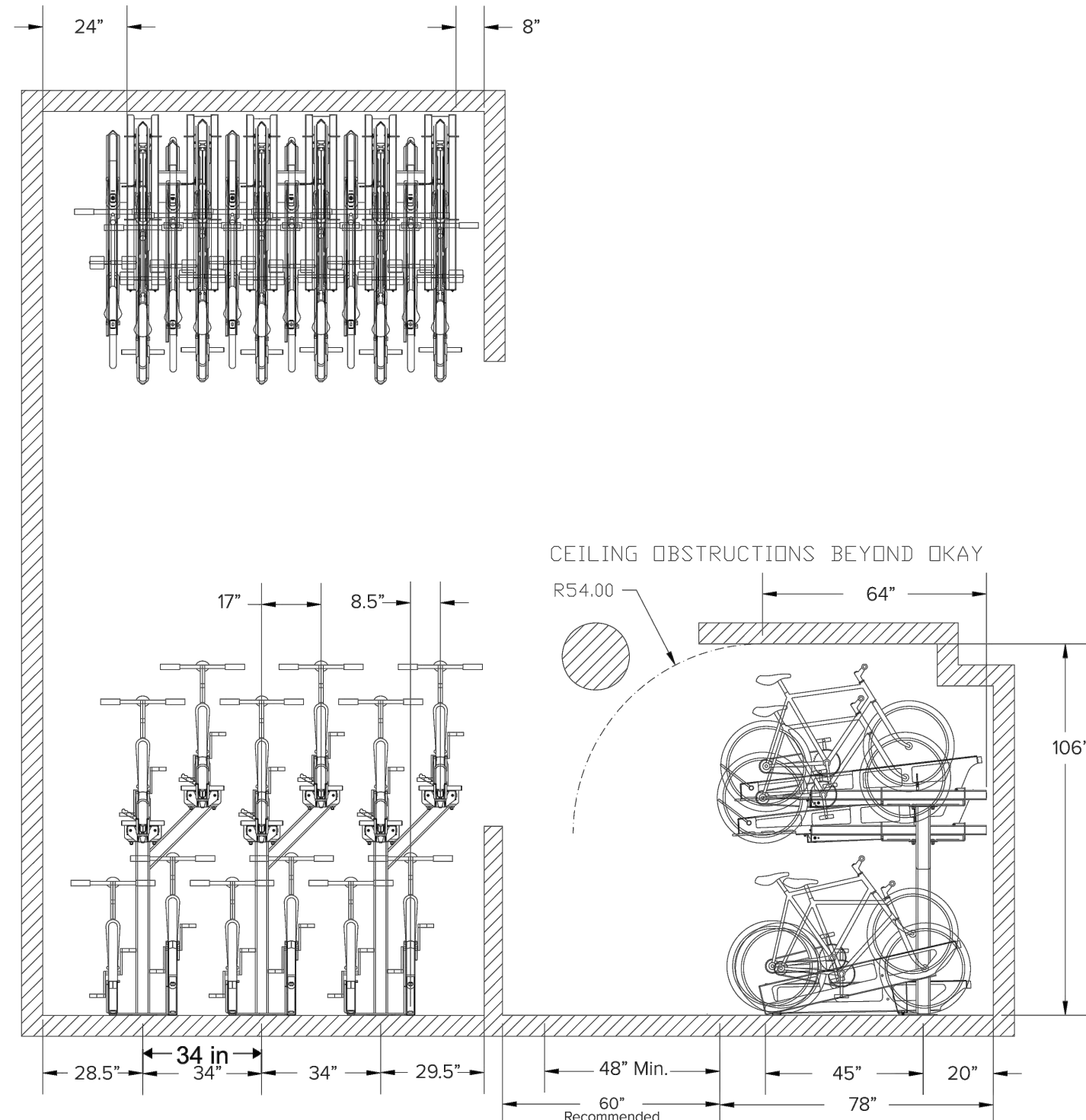


Patent #9,960,592

## Dero Decker

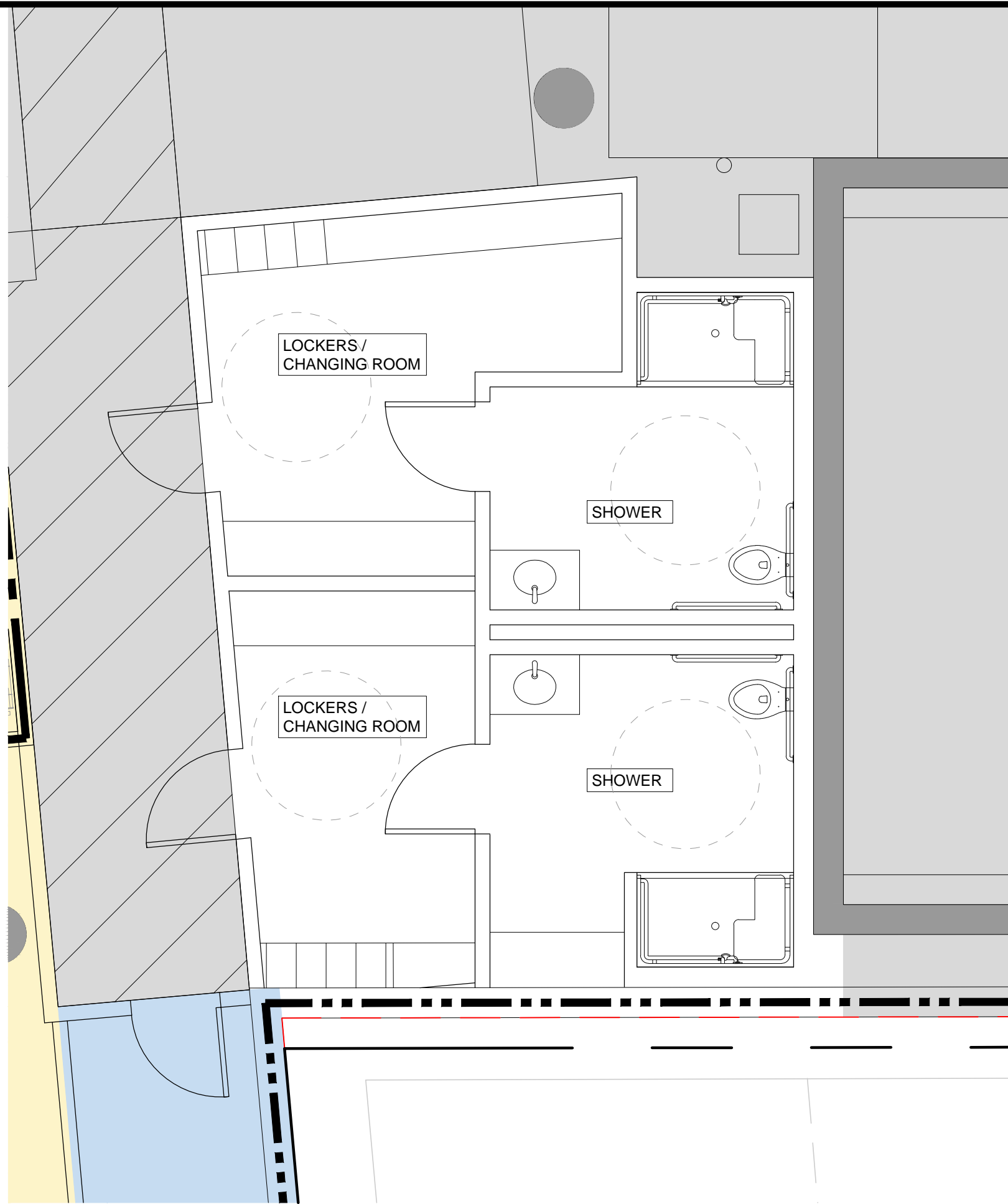
The Dero Decker takes bike parking to the next level – literally. By stacking bikes on a two-tiered system, capacity doubles. Unlike other two-tier systems our lift-assist top trays slide down inches from the ground, thus requiring only minimal lifting of the bike into the tray. The Dero Decker has a front wheel safety locking lever and tray dampers to provide safe lowering of upper trays. The near vertical lowered trays also reduce the required aisle space, giving the Dero Decker the smallest footprint on the market.

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## 2 | ENLARGED SHOWER & CHANGING ROOM PLANS

**BIKE PARKING CALCULATIONS**  
8 TYPE 1 VERTICAL BIKE RACKS  
16 TYPE 2 HORIZONTAL BIKE RACKS  
24 TOTAL LONG-TERM BIKE PARKING SPACES (WITHIN 2 SEPARATE SECURED ROOMS)  
(MIN. 17 REQUIRED)



## 4 | HORIZONTAL BIKE RACK CUT SHEETS

N.T.S.



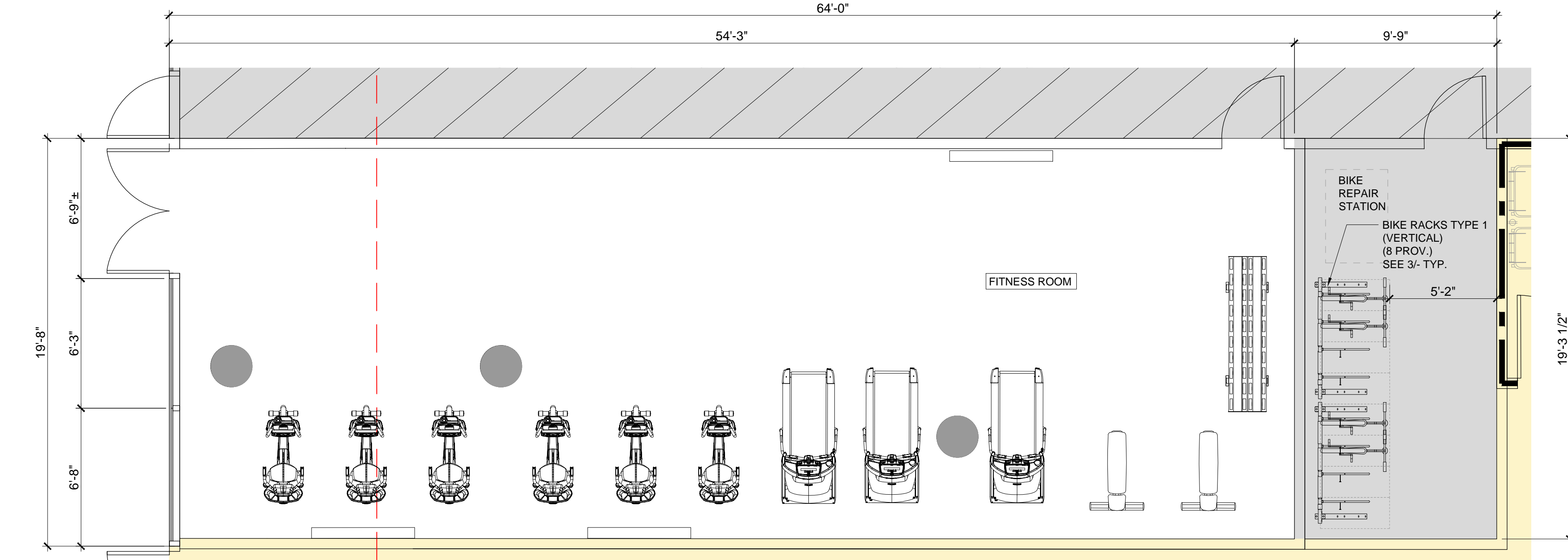
Example shown above is a 4-unit section. Lengths may vary based on your space.

## Ultra Space Saver Squared

Dero's Ultra Space Saver Squared offers high-security, vertical bike parking. Adjustable sliding arms make it easy for customers to best utilize their space. It also creates flexibility to make sure bike spacing follows city requirements as they evolve. Pipe-cutter resistant squared steel tubing makes the Ultra Space Saver Squared more secure than the original Ultra Space Saver.

Patent D774,441

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## 1 | ENLARGED BIKE & FITNESS ROOM PLANS

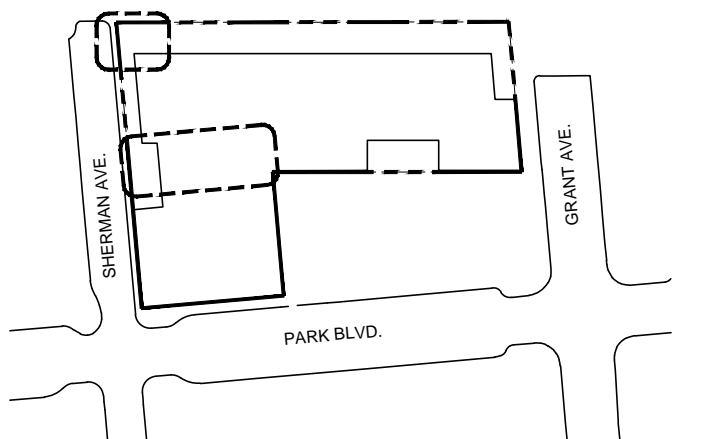
1/4\"=1'-0\"

## SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



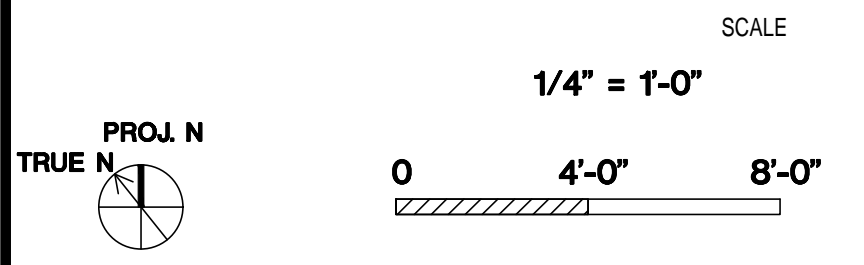
ARCHITECTS  
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
02.04.22	02.04.22	PLANNING RESUBMITTAL #2
06.22.22	06.22.22	PLANNING RESUBMITTAL #3
03.03.23	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
LONG TERM BIKE STORAGE



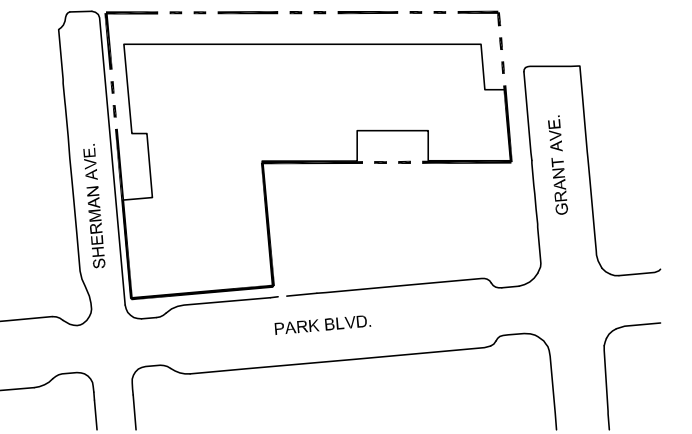
SHEET NUMBER

# A2.1B









ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
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	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

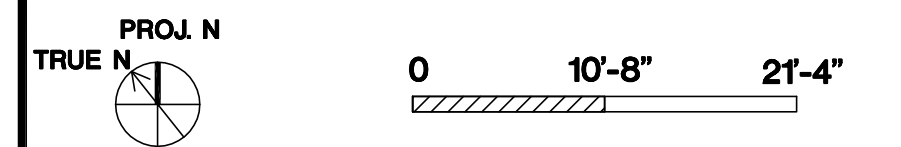
PROJECT NUMBER  
20008

SHEET TITLE

### PROPOSED PLAN THIRD FLOOR

SALE

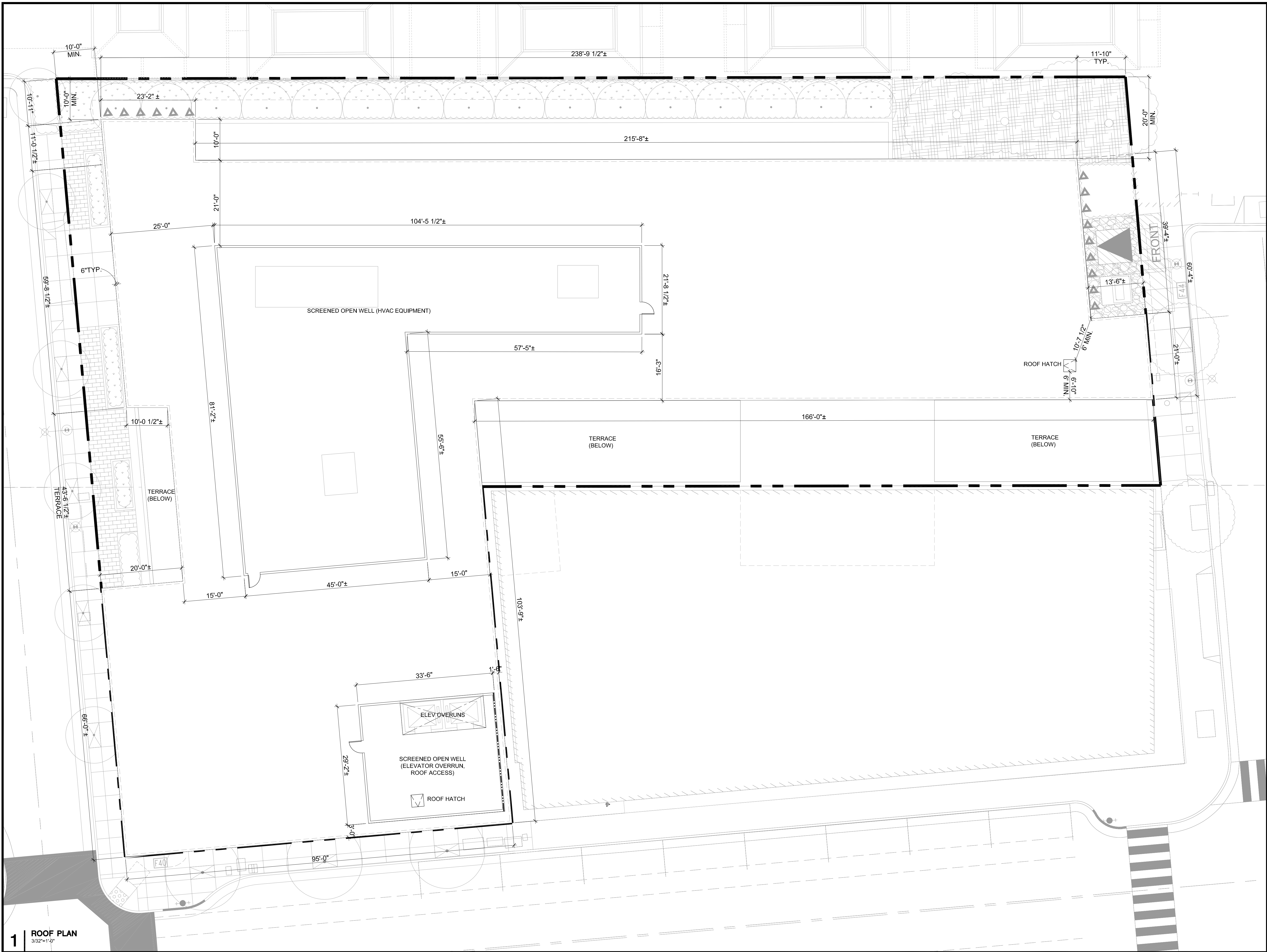
**1/32" = 1'-0"**



SHEET NUMBER

## A2.3





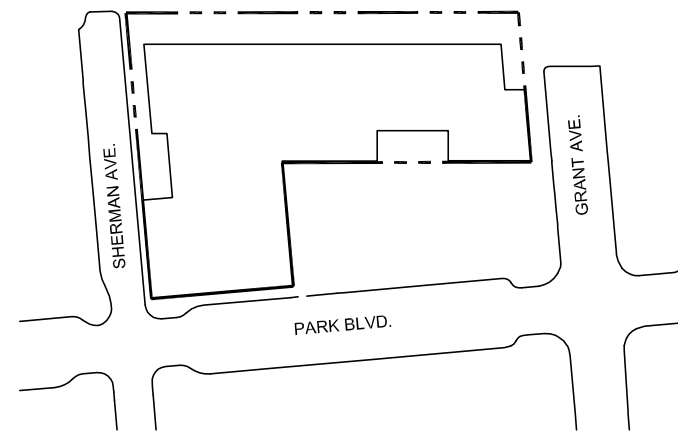
1 ROOF PLAN  
3/32"=1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD  
PALO ALTO, CA 94306



ARCHITECTS  
KORTH SUNSERI HAGEY



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03.03.23		PLANNING RESUBMITTAL #5

PROJECT NUMBER  
20008

SHEET TITLE  
PROPOSED PLAN  
ROOF

SCALE  
3/32" = 1'-0"



0 10'-8" 21'-4"

SHEET NUMBER

A2.4