2525 PARK BOULEVARD PALO ALTO, CA



PROJECT TEAM:

DEVELOPER

SMITH DEVELOPMENT 682 VILLA STREET, SUITE G MOUNTAIN VIEW, CA 94041 PHONE: 650.493.5314

LUND SMITH: LUND@WSJPROPERTIES.COM BOYD SMITH: BOYD@SMITHDEVELOPMENT.COM

ARCHITECT

KORTH SUNSERI HAGEY ARCHITECTS 349 SUTTER STREET SAN FRANCISCO, CA 94108 PHONE: 415.954.1960 x247 AMANDA BORDEN: ABORDEN@KSHA.COM

LANDSCAPE ARCHITECT

THE GUZZARDO PARTNERSHIP INC. 181 GREENWICH STREET SAN FRANCISCO, CA 94111 PHONE: 415.433.4672 MORGAN BURKE: MBURKE@TGP-INC.COM

CIVIL ENGINEER

BKF ENGINEERS 255 SHORELINE, SUITE 200 REDWOOD CITY, CA 94065 PHONE: 650.482.6477 MONA SADEGHIAN: MSADEGHIAN@BKF.COM

ELECTRICAL ENGINEER

INTERFACE ENGINEERING INC. 135 MAIN STREET, SUITE 400 SAN FRANCISCO, CA 94105 PHONE: 415.489.7240 KRISTINA SANTI: KRISTINAS@INTERFACEENG.COM

JOINT TRENCH ENGINEER RADIUS DESIGN LLC

1460 MARIA LANE, SUITE 420 WALNUT CREEK, CA 94596 PHONE: 925.269.4575 JARED DIBARTOLOMEO: JARED@RADIUSJT.COM

TRASH CONSULTANT

AMERICAN TRASH MANAGEMENT, INC. 1900 POWELL STREET, SUITE 220 EMERYVILLE, CA 94608 PHONE: 510.607.7602 DAISY URBINA: DAISYURBINA@TRASHMANAGE.COM

PLANNING RESUBMITTAL #5 03.03.2023

SHEET INDEX:

ARCHITECTURAL

PROJECT INFORMATION A0.2A/B CODE & EGRESS COMPLIANCE **EXISTING SITE PHOTOS**

RENDERED PERSP - CORNER.

RENDERED PERSP. - GRANT RENDERED PERSP. - GRANT R3A/B RENDERED PERSP. - SHERMAN R5 COLORED AERIAL PERSPECTIVE

COLORED AERIAL PERSPECTIVE COLORED AERIAL PERSPECTIVE ALLOWABLE MASSING

R10 VIEW AT GROUND FLOOR RETAIL R11 ENLARGED STENCIL PANEL DETAILS

A1.0 EXISTING SITE PLAN A1.1 PROPOSED SITE PLAN A1.1B NEIGHBORHOOD CONTEXT

R9 VIEW FROM NEIGHBORS

TRASH MANAGEMENT

A1.2 TRASH MANAGEMENT PLAN A1.3 TRASH MANAGEMENT PLAN A1.4 TRASH MANAGEMENT PLAN TR0.0 TRASH ROUTE / STAGING PLAN TR0.1 TRASH ROOM PLANS

ARCHITECTURAL (CONT'D) PARKING LEVEL P2 PLAN

A2.P1 PARKING LEVEL P1 PLAN A2.1 FIRST FLOOR PLAN A2.1B **BIKE PARKING** A2.2 SECOND FLOOR PLAN A2.3 THIRD FLOOR PLAN **ROOF PLAN** A2.4

A3.0 CONTEXT ELEVATIONS A3.1A OVERALL BUILDING ELEVATIONS A3.1B/C REAR ELEVATION / PERSPECTIVE

A3.2 OVERALL BUILDING ELEVATIONS A3.3 OVERALL BUILDING SECTIONS

A4.0A/B ENL. PLANS & ELEVATION / SECTION L5.3 ARB. REPORT & TREE DISP. PLAN (T-3) A4.1A/B ENL. PLANS & ELEVATION / SECTION A4.2A/B ENL. PLANS & ELEVATION / SECTION LIVING WALL A4.3 ENL. ELEVATION / SECTION

A4.4 ENL. ELEVATION / SECTION A4.5 ENL. SECTION

A8.10 ENL. EXTERIOR DETAILS

A10.1 CONCEPTUAL MATERIALS

A4.6 ENL. SECTION

A4.7 ENL. SECTION

LANDSCAPE

L1.1 LANDSCAPE PLAN - COMPOSITE L1.2 LANDSCAPE PLAN - SITE L1.3 LANDSCAPE PLAN - UPPER LEVELS

L2.1 SITE AMENITIES, COLOR & FINISHES

L3.1 PLANTING PLAN - SITE L3.2 PLANTING PLAN - UPPER LEVELS

L4.1 HYDROZONE PLAN - SITE L4.2 HYDROZONE PLAN - UPPER LEVELS

L5.1 TREE PROTECTION PLAN (T-1) L5.2 ARBORIST REPORT (T-2)

LW0 LIVING WALL TITLE SHEET

LW1 LIVING WALL PLAN & ELEVATION LW2 LIVING WALL DETAILS

LW3 IRRIGATION SYSTEM DETAILS LW4 FUNCTIONAL DIAGRAM LW5 INSTALLATION IMAGES

LW6 PLANT PALETTE

SD1.0 EXISTING CONDITIONS & DEMO PLAN SD2.0 SITE PLAN

SD2.1 FIRE ACCESS PLAN SD3.0 GRADING PLAN

SD4.0 UTILITY PLAN SD5.0 STORMWATER MANAGEMENT PLAN

SD6.0 SECTIONS SD7.0 DETAILS

ELECTRICAL

E1.0 LIGHTING CUTSHEETS

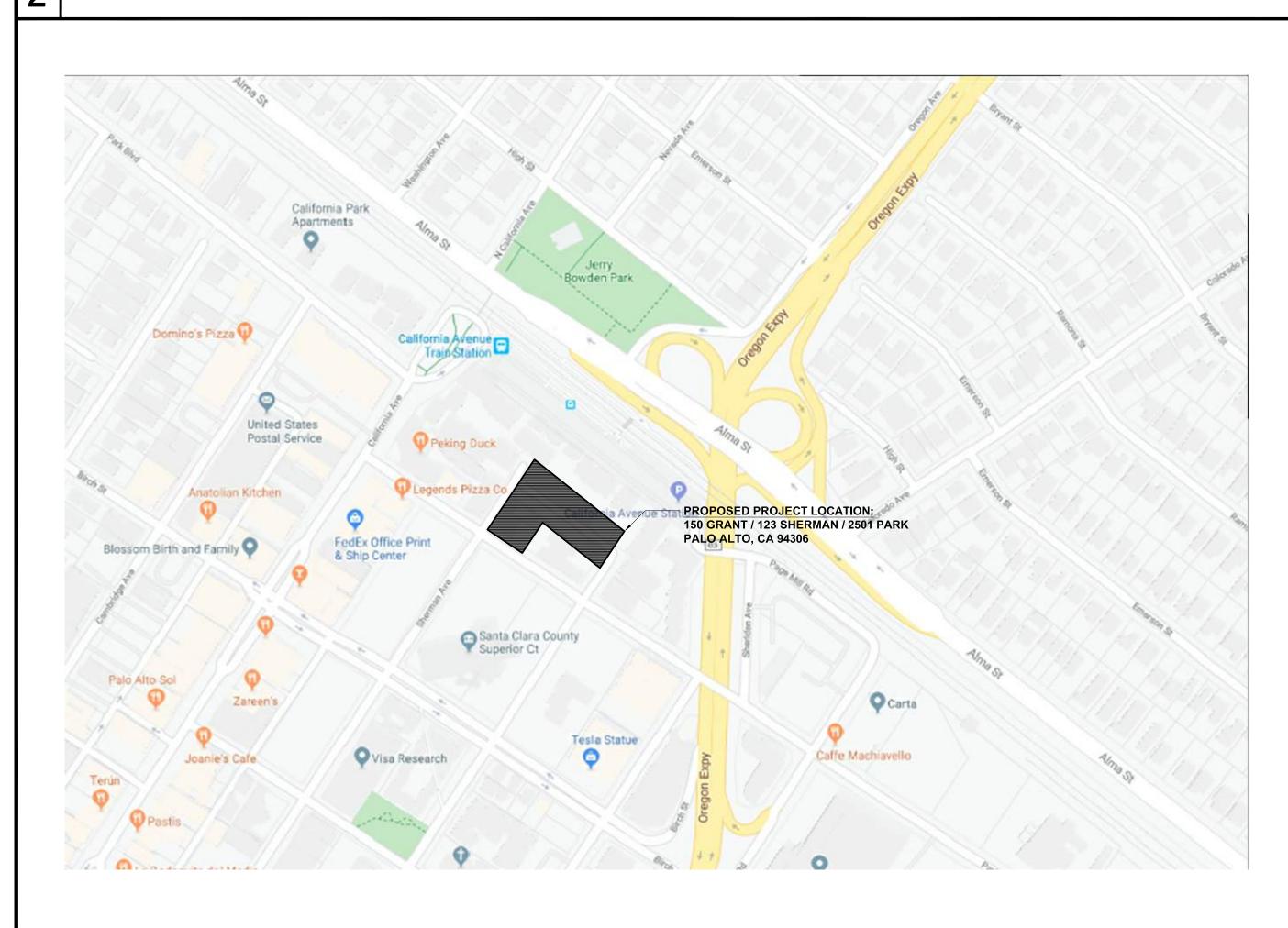
E1.1 SITE LIGHTING PHOTOMETRIC PLAN E1.2 LEVEL 2/3 LIGHTING PHOTOMETRIC PLAN

JOINT TRENCH

JT-1 JOINT TRENCH TITLE SHEET JT-2 JOINT TRENCH INTENT

```
PROJECT INFORMATION / ZONING COMPLIANCE
 ZONING: CC(2)(R) REGIONAL / COMMUNITY COMMERCIAL SUBDISTRICT (2) / RETAIL (COMBINING)
                                                                                                   BIKE PARKING REQUIRED (PAMC 18.52.040 TABLE 1 REQUIREMENTS):
                                                                                                   1/2,500 SF OFFICE (20 BIKES FOR 48,966 SF, 80% (16) LONG-TERM + 20% (4) SHORT-TERM)
                                                                                                   1/2,000 SF RETAIL / PERMITTED USES (3 BIKES FOR 4,301 SF, 20% (1) LONG-TERM + 80% (2) SHORT-TERM)
 APNS: 150 GRANT AVE (124-29-020), 123 SHERMAN AVE (124-29-013), 2501 PARK BLVD (124-29-012)
 LAND USE (PAMC 18.16.040 TABLE 1):
                                                                                                   SHORT-TERM (RACKS) BIKE PARKING REQUIRED = 5 BIKES
            PROFESSIONAL & GENERAL BUSINESS OFFICES
                                                                                                   LONG-TERM (SECURED ENCLOSURE) BIKE PARKING REQUIRED = 17 BIKES
            MEDICAL OFFICES (<5,000 SF)
            RETAIL INCLUDING EAT-IN RESTAURANTS
                                                                                                   BIKE PARKING REQUIRED (CGC REQUIREMENTS):
                                                                                                   SHORT-TERM (RACKS) FOR 5% OF PARKING TO BE PROVIDED PER CGC 5.106.4.1.1
 (E) LOT AREA: 150 GRANT AVE: 26,143 SF
                                                                                                   9 BIKES REQ. (5% OF 175 STALLS)
                 123 SHERMAN AVE: 3,111 SF
                 2501 PARK BLVD: 5,130 SF
                                                                                                   LONG-TERM (SECURED ENCLOSURE WITHIN GROUND FLOOR PARKING AREA) FOR 5% OF PARKING
                 TOTAL SITE AREA: 34,384 SF
                                                                                                   TO BE PROVIDED PER CGC 5.106.4.1.2 = 9 BIKES REQ. (5% OF 175 STALLS)
 ALL THREE EXISTING PARCELS TO BE MERGED AS A PART OF THIS PROPOSED PROJECT.
                                                                                                   BIKE PARKING PROVIDED (BASED ON MOST-STRINGENT PER ABOVE):
                                                                                                   SHORT-TERM (RACKS) BIKE PARKING PROVIDED: 16 BIKES / 8 DUAL RACKS (SEE L1.1 & A2.1)
                                                                                                   LONG-TERM (SECURED ENCLOSURE) BIKE PARKING PROVIDED: 24 BIKES (SEE A2.1/A2.1B), MIN 17 REQ.
  MAX. SITE COVERAGE (PAMC 18.16.060 TABLE 3): NONE REQUIRED
 45% EXISTING (15,523 SF / 34,384 SF)
 86% PROPOSED (29,681 SF / 34,384 SF)
  MAX. BUILDING HEIGHT (PAMC 18.16.060 TABLE 3): 37' MAX ALLOWED / PROPOSED (3 STORIES)
 (SEE A3.- BUILDING ELEVATIONS / SECTIONS FOR MORE INFORMATION / DIMENSIONS)
 SETBACKS (PAMC 18.16.060 TABLE 3):
 FRONT YARD (PARK BLVD): 0-10' TO CREATE AN 8'-12' EFFECTIVE SIDEWALK WIDTH
 2'-31.5' PROVIDED (GROUND FLOOR) & 0' AT FLOORS 2/3 ABOVE, WITH AN EFFECTIVE 7'-6" ± SIDEWALK WIDTH
 (TO MATCH ADJACENT PROPERTY AT 2555 PARK RECENTLY REDEVELOPED)
 REAR YARD: NONE REQUIRED* / 10' PROVIDED (P2 - FLOOR 1) & 20' PROVIDED (FLOORS 2-3)
 INTERIOR SIDE YARDS: NONE REQUIRED / 0' - 1' PROVIDED AS NEEDED FOR CONSTRUCTABILITY (ALL LEVELS)
 STREET SIDE YARDS (SHERMAN AVE / GRANT AVE): NONE REQUIRED*
 0' PROVIDED (FLOORS 2-3), PORTION OPPOSITE CC(2)(R) ONLY) @ SHERMAN AVE.
 10' MIN. REQ.* / PROVIDED (ENTIRE P2 - FLOOR 1 & FLOORS 2-3 @ PORTION OPPOSITE RM-40 ONLY) @ SHERMAN AVE.
  0' PROVIDED (ALL FLOORS, PORTION OPPOSITE CC(2)(R) ONLY) @ GRANT AVE.
 10' MIN. REQ. * / 13'-6" PROVIDED (ALL FLOORS, PORTION OPPOSITE RM-40 ONLY) @ GRANT AVE.
  * 10' MINIMUM YARD FOR LOT LINES ABUTTING OR OPPOSITE RESIDENTIAL / RESIDENTIAL PC DISTRICTS
  (PROPOSED PROJECT ABUTS RM-40 AT REAR LOT LINE & IS OPPOSITE RM-40 AT PORTIONS OF BOTH GRANT & SHERMAN AVES)
  BUILD-TO-LINES: MIN. 50% FRONTAGE BUILT TO SETBACK, MIN. 33% SIDE STREETS BUILT TO SETBACK
 FRONTAGE (PARK BLVD) PROVIDED: 50'-7" OF 95' BUILT TO SETBACK (~53.2%, 50% MIN. REQ.)
  SIDE STREET (SHERMAN AVE.) PROVIDED: ~158'-10" OF ~191'-3" BUILT TO SETBACK (~83.1%, 33% MIN. REQ.)
 SIDE STREET (GRANT AVE.) PROVIDED: ~41'-4" OF ~100'-4" BUILT TO SETBACK (~41.18%, 33% MIN. REQ.)
 DAYLIGHT PLANE: NONE REQUIRED (ONLY REQUIRED FOR LOT LINES ABUTTING ONE OR MORE RESIDENTIAL ZONE DISTRICTS
  OTHER THAN RM-40 OR PC ZONE, HEIGHT & SLOPE TO MATCH MOST RESTRICTIVE RESIDENTIAL ZONE ABUTTING THE SITE LINE IN
 (E) BUILDING AREA: 150 GRANT AVE: ~7,915 SF + ~1,703 SF (~9,618 SF TOTAL)
                      123 SHERMAN AVE: ~754 SF + ~1,810 SF (~2,564 SF TOTAL)
                      2501 PARK BLVD: ~3,341 SF
                      TOTAL (E) OFFICE AREA: 15,523 SF
  PROPOSED FLOOR AREA:
  RETAIL / PERMITTED USES AREA:
 FIRST FLOOR OFFICE AREA
                                     3,529 (LOBBY, ELEVATORS, STAIRS, TRASH ROOM, MAIN ELECTRICAL ROOM)
 SECOND FLOOR OFFICE AREA:
                                     22,478 SF (EXCLUDES 576 SF OPENING AT TWO STORY LOBBY)
   THIRD FLOOR OFFICE AREA:
  TOTAL OCCUPIED FLOOR AREA:
                                    53,267 SF
  UNOCCUPIED FIRST FLOOR COVERED (ONLY) PARKING AREA: 15,496 SF
  TOTAL FLOOR AREA: 68,763 SF
 NET OFFICE AREA: 48,966 SF
  PROPOSED PARKING AREA
  P2/P1 LEVEL = 28,521 SF EA. (2 LEVELS):
                                                                   57,042 SF
 FIRST FLOOR COVERED + SURFACE PARKING AREA*:
                                                                   18,532 SF
  TOTAL PARKING AREA:
                                                                   75,574 SF
  *EXCLUDES EXTERIOR STAIR, TRASH ROOMS, ELECTRICAL ROOM, & AMENITY AREA
 FAR ALLOWED (PAMC 18.16.060 TABLE 3): 2.0:1 (68,768 SF MAX. FOR 34,384 SF TOTAL SITE AREA)
 FAR PROPOSED: 2.0:1 (68,763 SF), SEE ABOVE FOR SUMMARY
 (EXCLUDES AMENITY FITNESS / SHOWERS IN GARAGE PER PAMC 18.04.030 65B(V))
 TOTAL AMENITY AREA EXCLUDED FROM FAR & PARKING = 1,605 SF (~2.3 % FLOOR AREA, LESS THAN 5% ALLOWED)
 PARKING REQUIRED (PAMC 18.52.040 TABLE 1):
 1/250 SF OFFICE (196 TOTAL STALLS FOR 48,966 SF)
 1/200 SF RETAIL / PERMITTED USES (22 TOTAL STALLS FOR 4,301 SF)
 218 TOTAL STALLS REQUIRED FOR 53,267 SF OCCUPIED FLOOR AREA
 20% TDM REDUCTION: 175 STALLS REQUIRED / MIN. PROVIDED
 PARKING PROPOSED: TOTAL 175 STALLS (8 ADA + 149 OFFICE + 18 RETAIL)
 P2 LEVEL: 82 TOTAL OFFICE STALLS
      * 34 STD STALLS
      * 24 PUZZLES (48 STALLS)
 P1 LEVEL: 52 TOTAL OFFICE STALLS
      * 52 STD STALLS (INCLUDING 33 FUTURE EV + 1 FUTURE AMBULATORY EV + 3 CAV)
  FIRST FLOOR: 41 TOTAL STALLS, 8 ADA + 18 RETAIL / PERMITTED USES + 7 OFFICE STALLS
      * 6 STD ADA STALLS (INCL 1 ADA EVSE)
      * 2 VAN ADA STALLS (INCL. 1 VAN ADA EVSE)
      * 8 CODE PROVIDED STALLS (ADA ACCESS AISLES PER PAMC 18.52.040(b)(8))
      * 7 STD EVSE INSTALLED STALLS
      * 18 CAV STALLS
  LOADING PARKING
 (1 LOADING STALL REQ. / PROV. PER PAMC 18.52.040 TABLE 3 (FOR LESS THAN 100,000 SF), 12'X45'X15' CLEAR HT
  ACCESSIBLE PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):
 6 ADA REQUIRED (FOR 151-200 TOTAL STALLS PER CBC 11B-208.2)
      * 5 STD ADA + 1 VAN ADA PROVIDED (PER CBC 11B-208.2.4)
 DESIGNATED CAV PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):
 21 CAV STALLS (12% OF TOTAL STALLS PER CGC TABLE A5.106.5.1.2)
 EV PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):
 43 EVSE STALLS (25% OF TOTAL STALLS PER PAMC 16.14.430)
       34 CONDUIT ONLY (20% 'FUTURE EV'), INCLUDING:
      * 33 STD FUTURE EVSE
      * 1 AMBULATORY FUTURE EVSE (FOR 26 TO 50 FUTURE INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
      FUTURE VAN AMBULATORY & STD EVSES TO BE LOCATED ON P1 LEVEL
      9 EVSE INSTALLED (5% OF TOTAL STALLS PER PAMC 16.14.430), INCLUDING:
       * 7 STD EVSE
      * 1 VAN EVSE ADA (FOR 26 TO 50 FUTURE / INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
      * 1 STD EVSE ADA (FOR 26 TO 50 FUTURE / INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
      VAN ADA EVSE & STD ADA EVSE LOCATED ON FIRST FLOOR
```





VICINITY MAP

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306



ISSUES AND REVISIONS 05.25.21 PLANNING SUBMITTAL PLANNING RESUBMITTAL #1 02.04.22 PLANNING RESUBMITTAL #2 PLANNING RESUBMITTAL #3 11.02.22 PLANNING RESUBMITTAL #4

PROJECT NUMBER

PLANNING RESUBMITTAL #5

SHEET TITLE

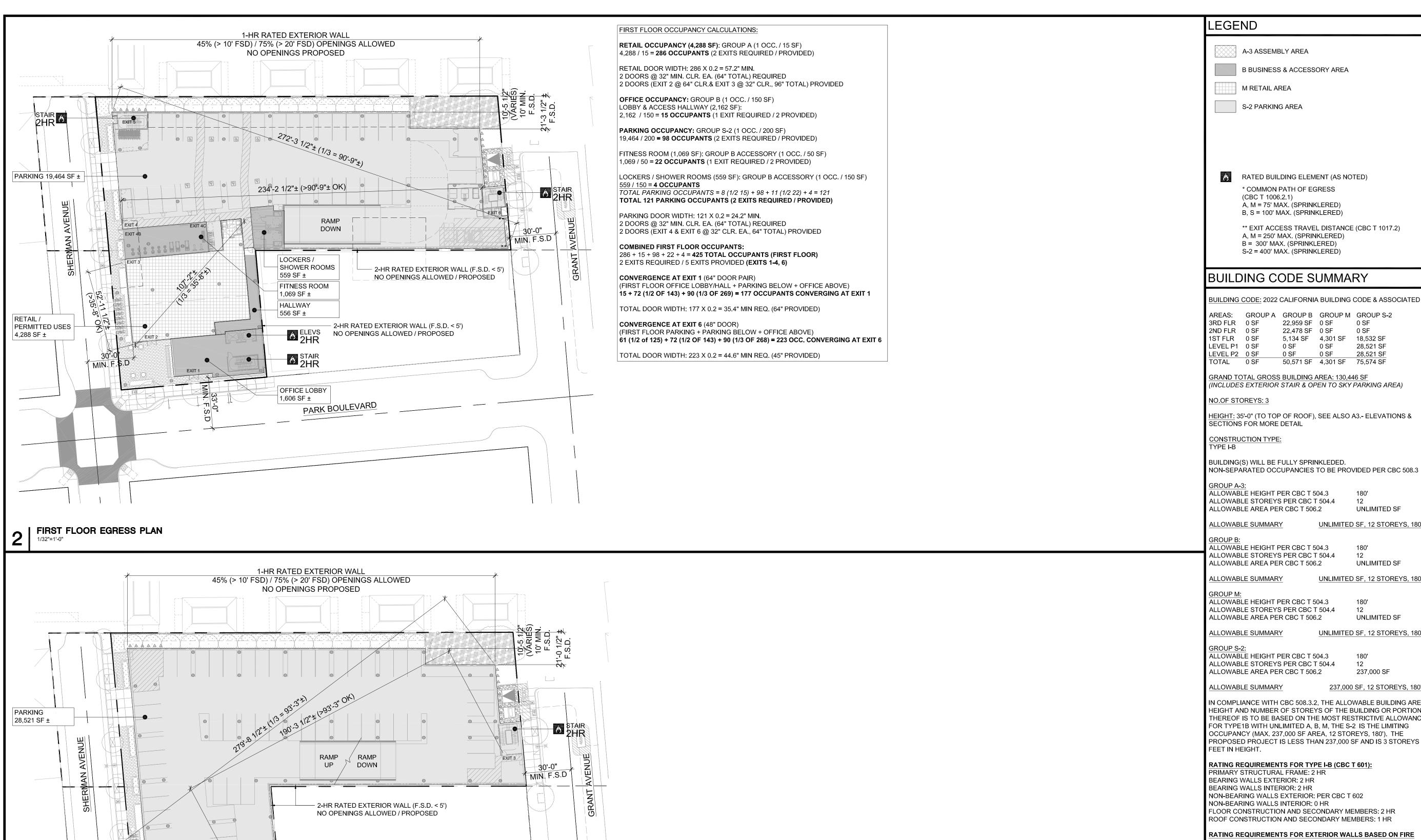
PROJECT INFORMATION

SCALE

AS INDICATED



SHEET NUMBER



TYP. PARKING LEVEL OCCUPANCY CALCULATIONS:

TOTAL DOOR WIDTH: 143 X 0.2 = 28.6" MIN. REQUIRED

TOTAL EGRESS WIDTH: 143 X 0.3 = 42.9" MIN. REQUIRED

2 DOORS @ 32" MIN. CLR. EA. (64" TOTAL) PROVIDED

2 STAIRS @ 44" MIN. CLR. EA. (88" TOTAL) PROVIDED

OCCUPANCY: GROUP S-2 (1 OCC / 200 SF)

AREA: 28,521 SF. / 200 = 143 OCC.

(2 EXITS REQUIRED / PROVIDED)

PARK BOULEVARD

TYPICAL PARKING LEVEL (P1) EGRESS PLAN, P2 LEVEL SIM.

A-3 ASSEMBLY AREA B BUSINESS & ACCESSORY AREA S-2 PARKING AREA

RATED BUILDING ELEMENT (AS NOTED)

A, M = 75' MAX. (SPRINKLERED) B, S = 100' MAX. (SPRINKLERED)

** EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2) A, M = 250' MAX. (SPRINKLERED) B = 300' MAX. (SPRINKLERED)

BUILDING CODE SUMMARY

BUILDING CODE: 2022 CALIFORNIA BUILDING CODE & ASSOCIATED AREAS: GROUP A GROUP B GROUP M GROUP S-2 3RD FLR 0 SF 22,959 SF 0 SF 0 SF 22,478 SF 0 SF 0 SF

5,134 SF 4,301 SF 18,532 SF 0 SF 0 SF 28,521 SF 0 SF 28,521 SF 50,571 SF 4,301 SF 75,574 SF

GRAND TOTAL GROSS BUILDING AREA: 130,446 SF (INCLUDES EXTERIOR STAIR & OPEN TO SKY PARKING AREA)

HEIGHT: 35'-0" (TO TOP OF ROOF), SEE ALSO A3.- ELEVATIONS &

BUILDING(S) WILL BE FULLY SPRINKLEDED.

ALLOWABLE HEIGHT PER CBC T 504.3

ALLOWABLE AREA PER CBC T 506.2 UNLIMITED SF

UNLIMITED SF, 12 STOREYS, 180'

ALLOWABLE HEIGHT PER CBC T 504.3 ALLOWABLE STOREYS PER CBC T 504.4 ALLOWABLE AREA PER CBC T 506.2 UNLIMITED SF

UNLIMITED SF, 12 STOREYS, 180'

ALLOWABLE HEIGHT PER CBC T 504.3 180' ALLOWABLE STOREYS PER CBC T 504.4

ALLOWABLE AREA PER CBC T 506.2 UNLIMITED SF

UNLIMITED SF, 12 STOREYS, 180' ALLOWABLE HEIGHT PER CBC T 504.3 180' 12

237,000 SF 237,000 SF, 12 STOREYS, 180'

IN COMPLIANCE WITH CBC 508.3.2, THE ALLOWABLE BUILDING AREA, HEIGHT AND NUMBER OF STOREYS OF THE BUILDING OR PORTION THEREOF IS TO BE BASED ON THE MOST RESTRICTIVE ALLOWANCES FOR TYPE1B WITH UNLIMITED A, B, M, THE S-2 IS THE LIMITING OCCUPANCY (MAX. 237,000 SF AREA, 12 STOREYS, 180'). THE PROPOSED PROJECT IS LESS THAN 237,000 SF AND IS 3 STOREYS / 3

RATING REQUIREMENTS FOR TYPE I-B (CBC T 601): PRIMARY STRUCTURAL FRAME: 2 HR

BEARING WALLS EXTERIOR: 2 HR BEARING WALLS INTERIOR: 2 HR NON-BEARING WALLS EXTERIOR: PER CBC T 602 NON-BEARING WALLS INTERIOR: 0 HR

RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE

SEPARATION DISTANCE (CBC T 602): EXTERIOR WALLS (FSD < 5'): 2-HR (GROUP M), 1-HR (GROUP A, B, S-2 EXTERIOR WALLS (5' < FSD < 10'): 1-HR (GROUP B, M, S-2) EXTERIOR WALLS (10' < FSD < 30'): 1-HR (GROUP B, M, S-2)

ALLOWABLE OPENINGS IN EXTERIOR WALLS BASED ON FIRE

EXTERIOR WALLS (FSD > 30'): NON-RATED)ALL GROUPS)

SEPARATION DISTANCE (CBC T 705.8): EXTERIOR WALLS (FSD < 3'): NOT PERMITTED

EXTERIOR WALLS (3' < FSD < 5'): 15% (SPRINKLERED) EXTERIOR WALLS (5' < FSD < 10'): 25% (SPRINKLERED)

EXTERIOR WALLS (10' < FSD < 15'): 45% (SPRINKLERED) EXTERIOR WALLS (15' < FSD < 20'): 75% (SPRINKLERED) EXTERIOR WALLS (20' < FSD): NO LIMIT (SPRINKLERED)

ALLOWABLE PROJECTIONS FROM EXTERIOR WALLS BASED ON FIRI **SEPARATION DISTANCE (CBC T 705.2):**

' < FSD < 2': PROJECTIONS NOT PERMITTED

2' < FSD < 3': 24" MAX. (NON-COMBUSTIBLE) PROJECTIONS ALLOWED 3' < FSD < 5': 24" - 40" (NON-COMBUSTIBLE) PROJECTIONS ALLOWED 5' < FSD: 40" MAX. (NON-COMBUSTIBLE) PROJECTIONS ALLOWED

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306



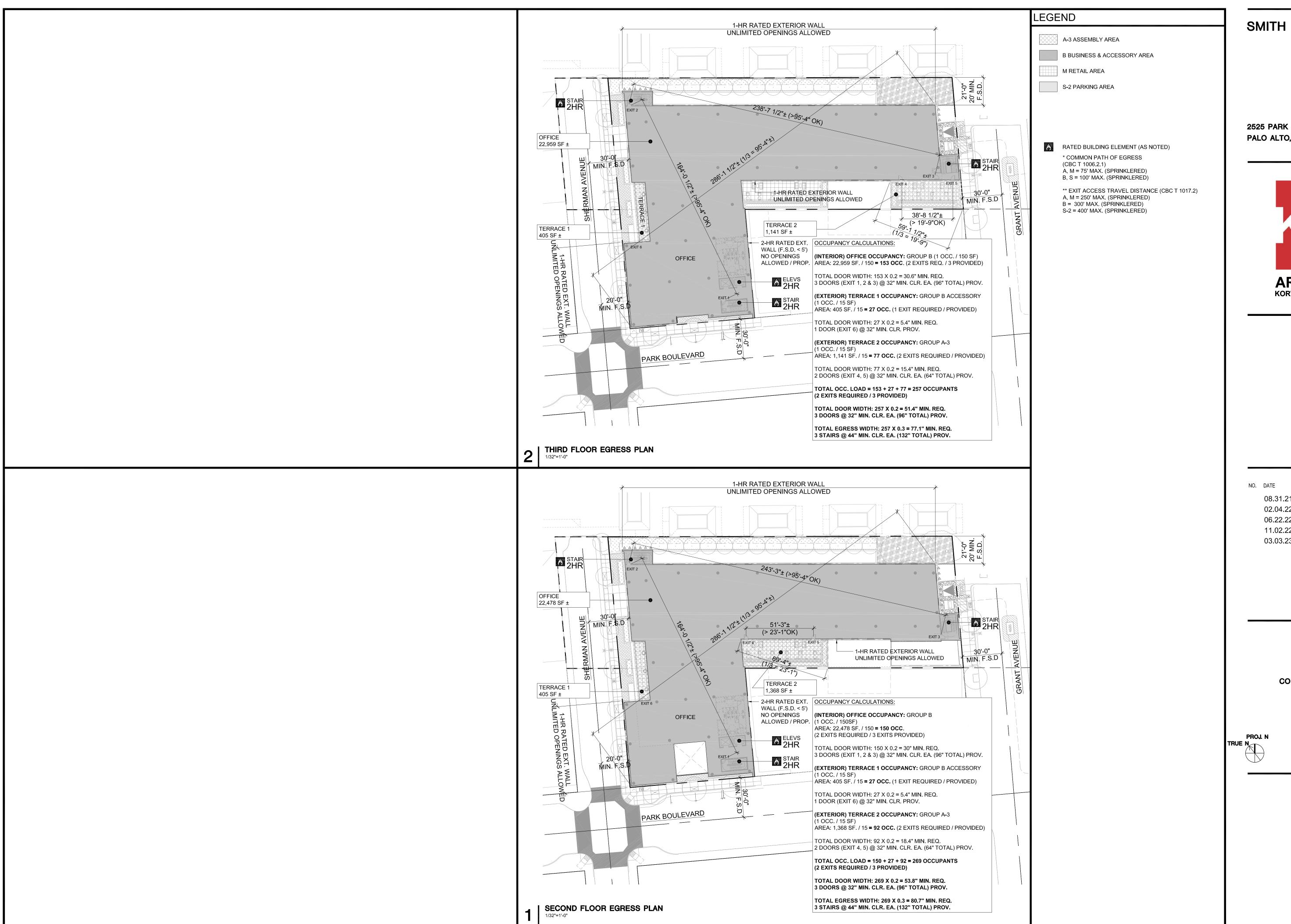
DESCRIPTION 08.31.21 PLANNING RESUBMITTAL #1 PLANNING RESUBMITTAL #2 PLANNING RESUBMITTAL #3 PLANNING RESUBMITTAL #4 PLANNING RESUBMITTAL #5 PROJECT NUMBER CODE & EGRESS COMPLIANCE 1/32" = 1'-0" PROJ. N

ISSUES AND REVISIONS

SHEET TITLE

SHEET NUMBER

SCALE



2525 PARK BLVD PALO ALTO, CA 94306



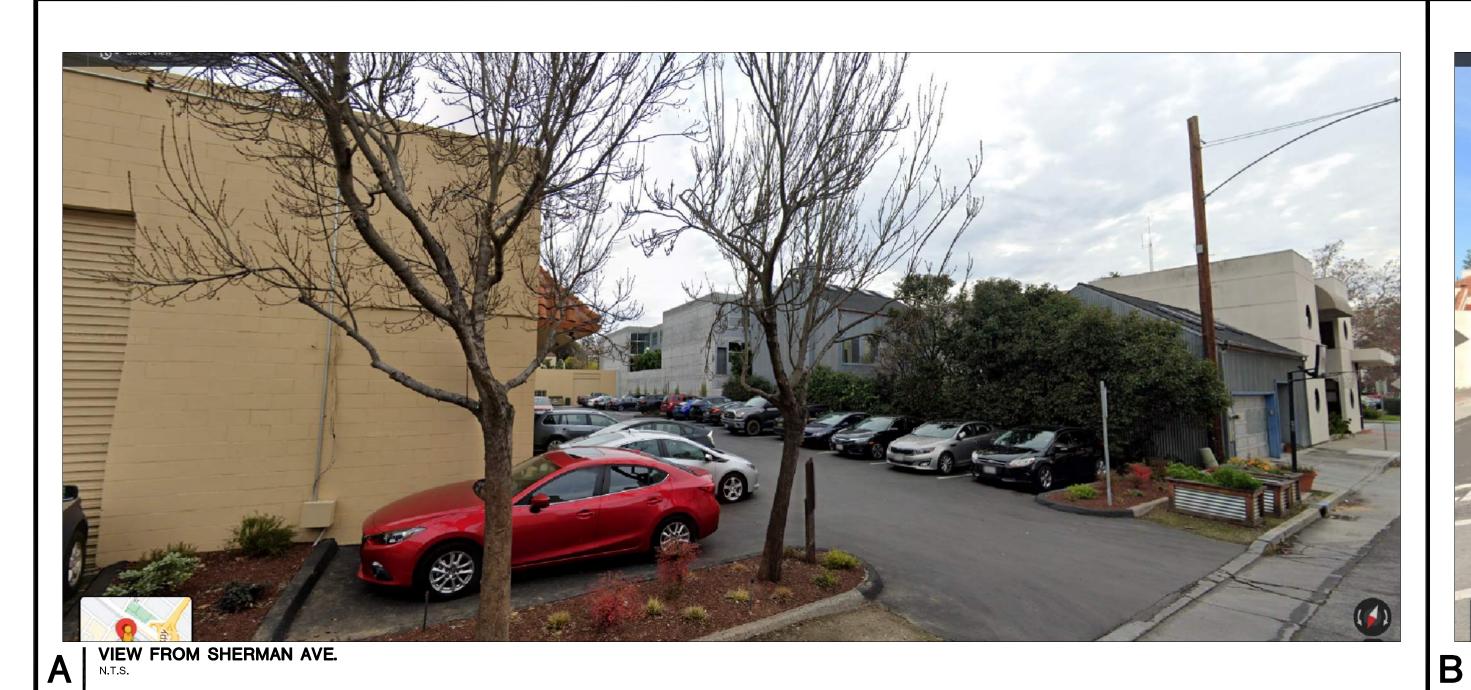
ISSUES AND REVISIONS DESCRIPTION 08.31.21 PLANNING RESUBMITTAL #1 PLANNING RESUBMITTAL #2 06.22.22 PLANNING RESUBMITTAL #3 PLANNING RESUBMITTAL #4 PLANNING RESUBMITTAL #5

PROJECT NUMBER

SHEET TITLE CODE & EGRESS COMPLIANCE

SCALE 1/32" = 1'-0"

SHEET NUMBER





2525 PARK BLVD PALO ALTO, CA 94306







ISSUES AND REVISIONS

NO. DATE DESCRIPTION

05.25.21 PLANNING SUBMITTAL
08.31.21 PLANNING RESUBMITTAL #1
02.04.22 PLANNING RESUBMITTAL #2
06.06.22 PLANNING RESUBMITTAL #3
11.02.22 PLANNING RESUBMITTAL #4
03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUM 20

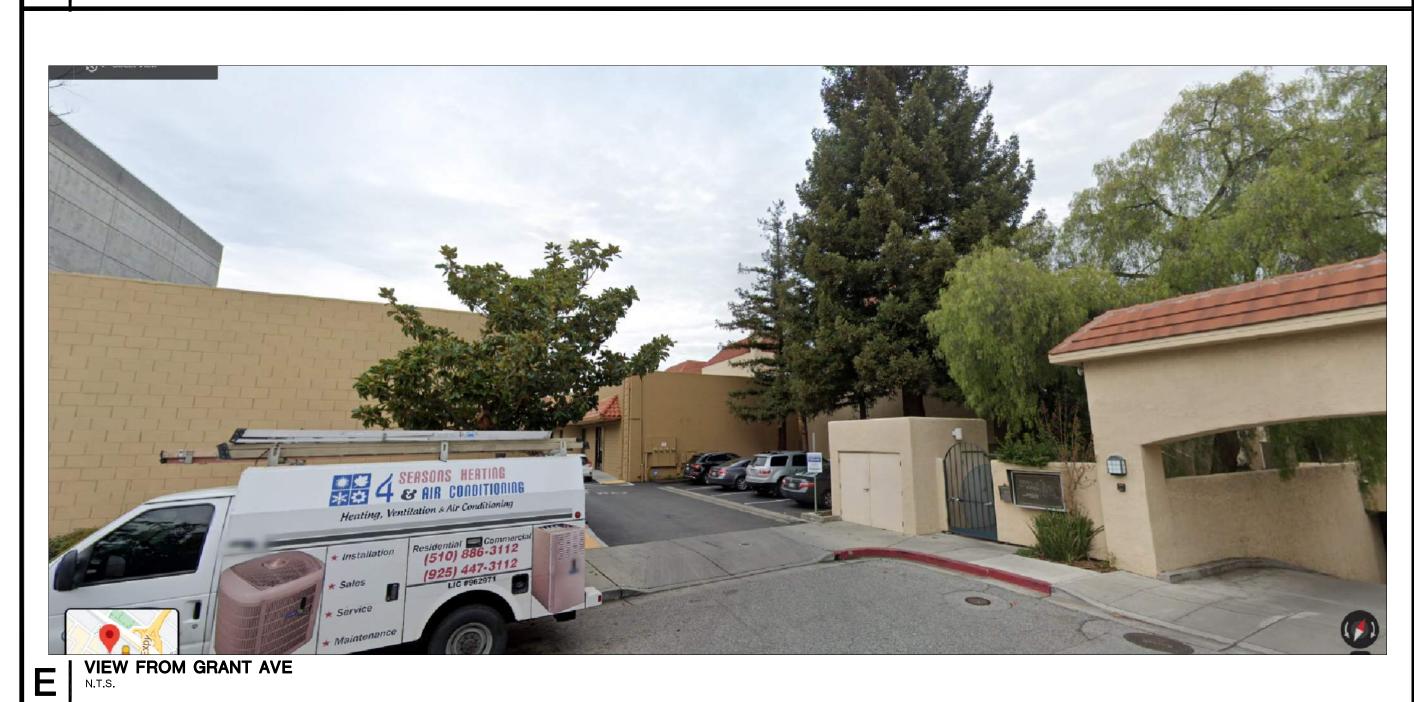
SHEET TITLE

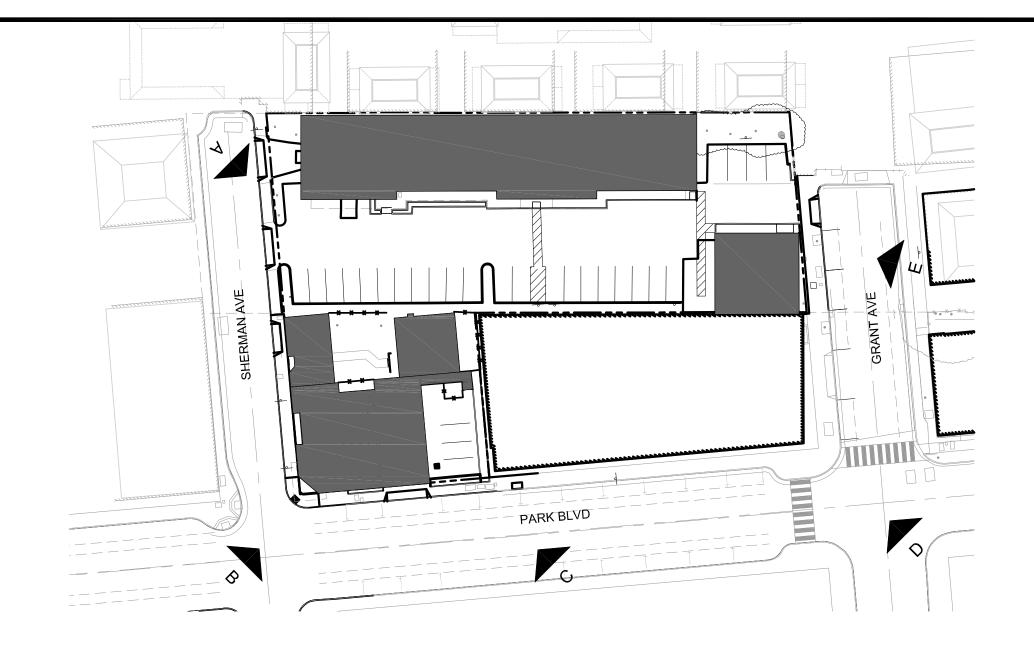
EXISTING SITE PHOTOS

N.T.S

SHEET NUMBER

A0.3







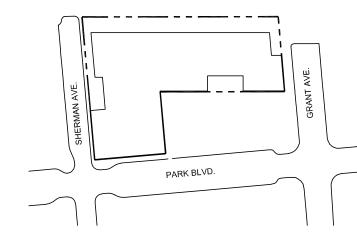
PARK BLVD

KEY PLAN - PROPOSED SITE

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306





		ISSUES AND REVISIONS
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #
	02.04.22	PLANNING RESUBMITTAL #
	06.22.22	PLANNING RESUBMITTAL #
	11.02.22	PLANNING RESUBMITTAL #
	03.03.23	PLANNING RESUBMITTAL #

2

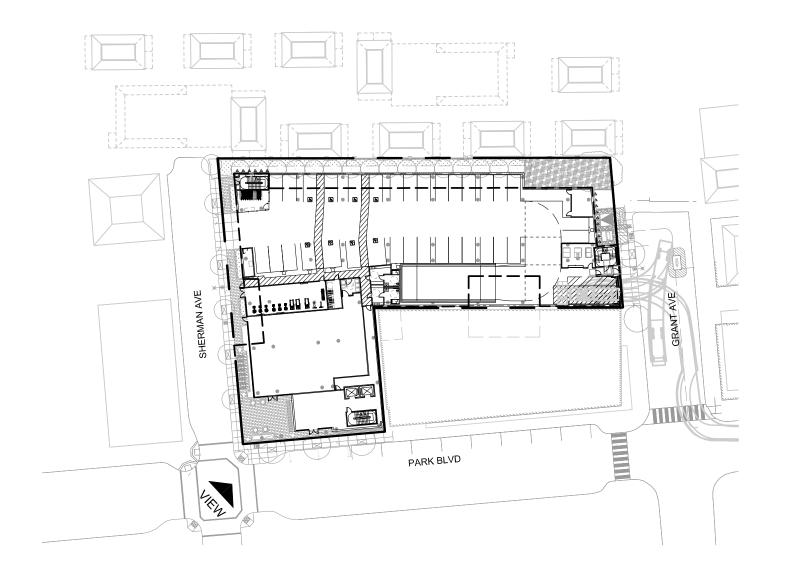
SHEET TITLE
PROPOSED PERSPECTIVE

AS NOTED

SHEET NUMBER

R₁A



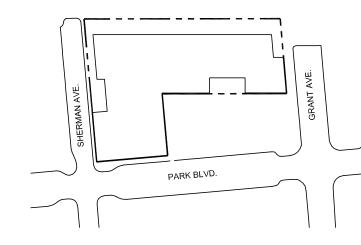


KEY PLAN - PROPOSED SITE

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306





NO. DATE DESCRIPTION

05.25.21 PLANNING SUBMITTAL
08.31.21 PLANNING RESUBMITTAL #1
02.04.22 PLANNING RESUBMITTAL #2
06.06.22 PLANNING RESUBMITTAL #3
11.02.22 PLANNING RESUBMITTAL #4
03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBER 20008

SHEET TITLE
PROPOSED PERSPECTIVE

SCALE

AS NOTED

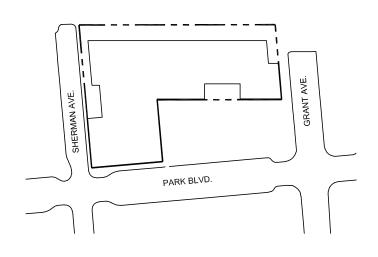
SHEET NUMBER

R1P



2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

08.31.21 PLANNING RESUBMITTAL #1
02.04.22 PLANNING RESUBMITTAL #2

06.22.22 PLANNING RESUBMITTAL #3
11.02.22 PLANNING RESUBMITTAL #4
03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBER 20008

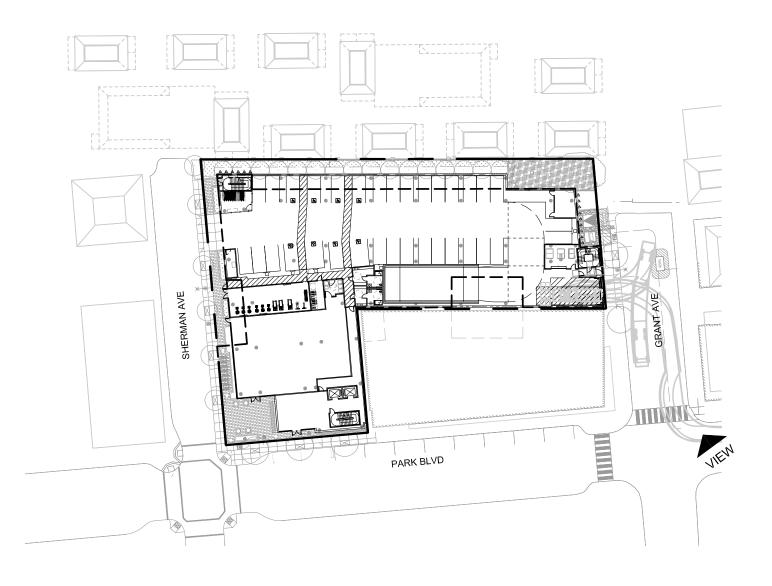
SHEET TITLE

PROPOSED PERSPECTIVE

SCALE AS NOTED

SHEET NUMBER

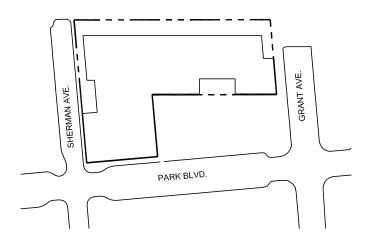
R2A





2525 PARK BLVD PALO ALTO, CA 94306





		ISSUES AND REVISIONS
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #
	02.04.22	PLANNING RESUBMITTAL #
	06.22.22	PLANNING RESUBMITTAL #
	11.02.22	PLANNING RESUBMITTAL #

03.03.22 PLANNING RESUBMITTAL #5

PROJECT NUM 20

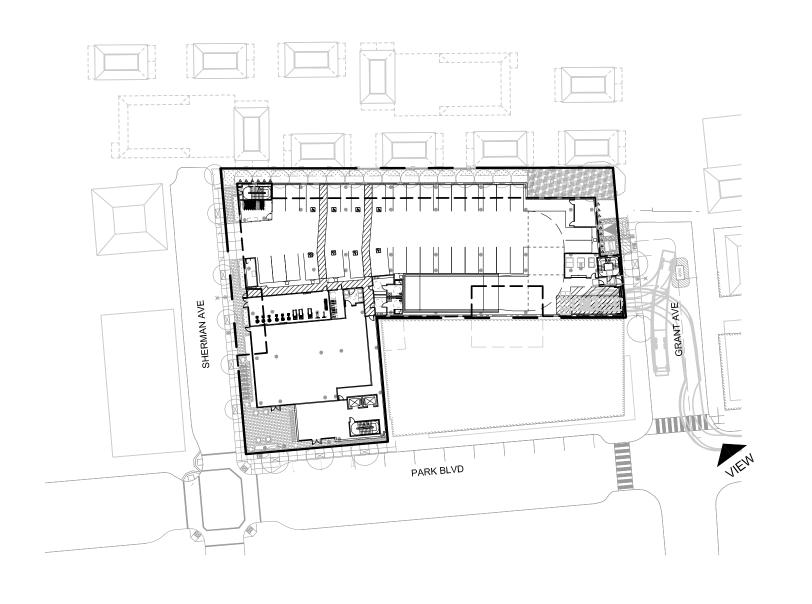
SHEET TITLE
PROPOSED PERSPECTIVE

SCALE

AS NOTED

SHEET NUMBER

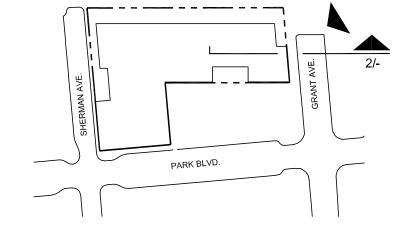
R2B





2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

02.04.22 PLANNING RESUBMITTAL #2
06.22.22 PLANNING RESUBMITTAL #3
11.02.22 PLANNING RESUBMITTAL #4
03.03.23 PLANNING RESUBMITTAL #4

PROJECT NUMBER 20008

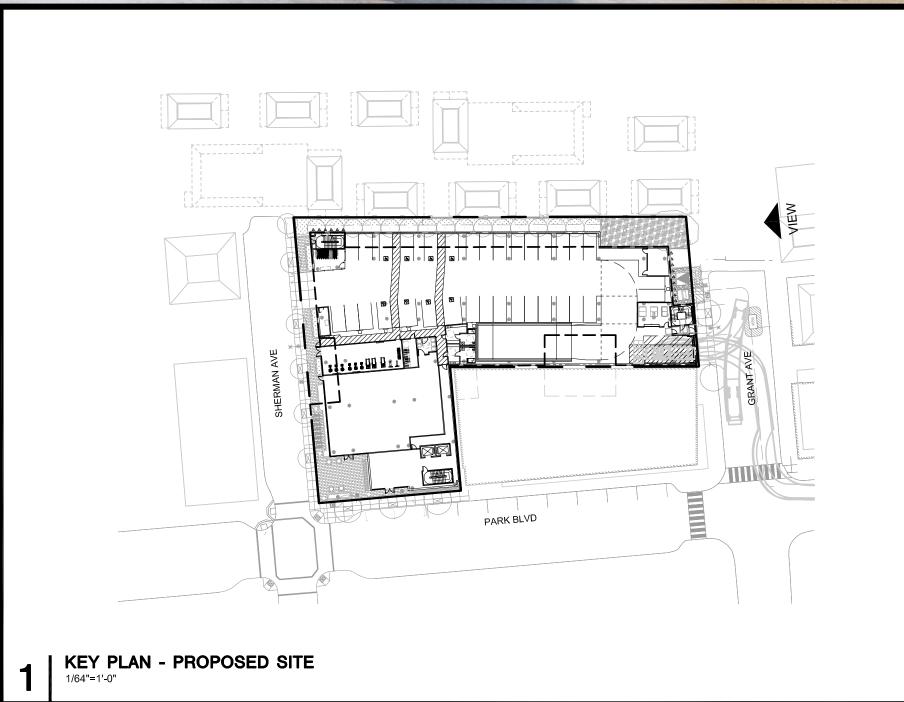
SHEET TITLE
PROPOSED PERSPECTIVE

SCALE

AS NOTED

SHEET NUMBER

R3A





EL. -10'-6"

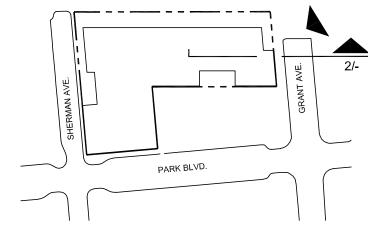
EL. -24'-0" P2 LEVEL

SECTION AT GRANT AVE

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

DESCRIPTION

02.04.22 PLANNING RESUBMITTAL #2

06.22.22 PLANNING RESUBMITTAL #3

11.02.22 PLANNING RESUBMITTAL #4 03.03.23 PLANNING RESUBMITTAL #4

PROJECT NUMBER 20008

SHEET TITLE
PROPOSED PERSPECTIVE

SCALE

AS NOTED

SHEET NUMBER

R3B

KEY PLAN - PROPOSED SITE

PARK BLVD



EL. 34'-0"

T.O. THIRD FLOOR

EL. 22'-3"

EL. 10'-6"

EL. 0'-0"

FLOOR

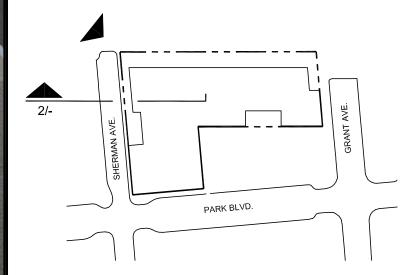
T.O. FIRST FLOOR

T.O. GROUND

T.O. SECOND FLOOR

2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

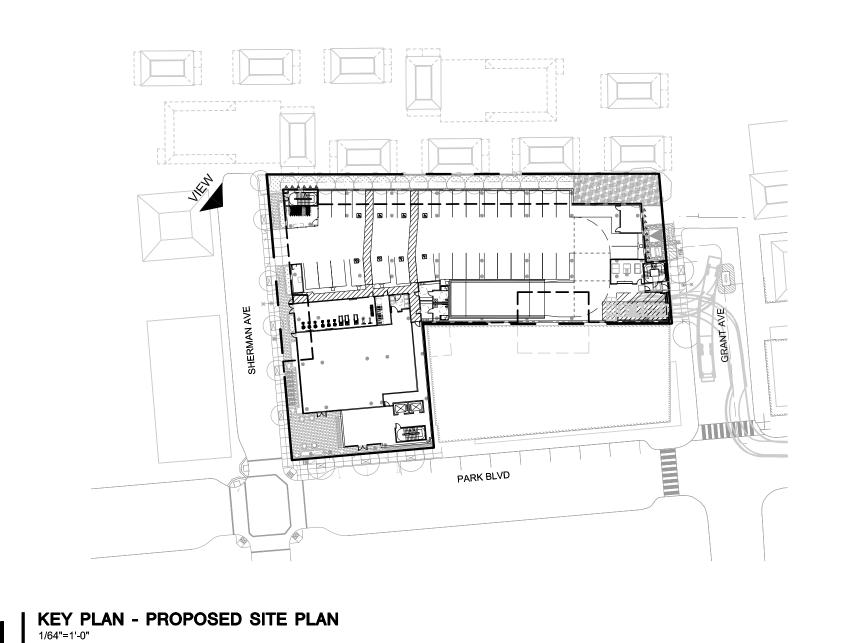
05.25.21 PLANNING SUBMITTAL 08.31.21 PLANNING RESUBMITTAL #1 02.04.22 PLANNING RESUBMITTAL #2 06.22.22 PLANNING RESUBMITTAL #3

11.02.22 PLANNING RESUBMITTAL #4

SHEET TITLE PROPOSED PERSPECTIVE

AS NOTED

SHEET NUMBER



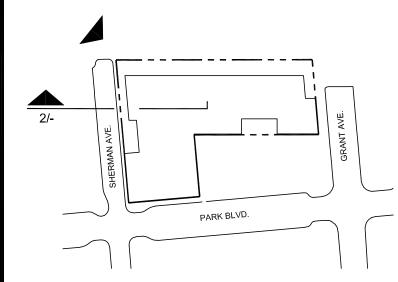
SECTION AT SHERMAN AVE

PERSPECTIVE VIEW FROM SHERMAN AVE. EL. 45'-0" T.O. ROOF SCREEN EL. 35'-0" T.O. ROOF EL. 34'-0" T.O. THIRD FLOOR EL. 22'-3" T.O. SECOND FLOOR EL. 10'-6" T.O. FIRST FLOOR EL. 0'-0" T.O. GROUND FLOOR SECTION AT SHERMAN AVE

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306





		ISSUES AND REVISIONS
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #4

SHEET TITLE
PROPOSED PERSPECTIVE

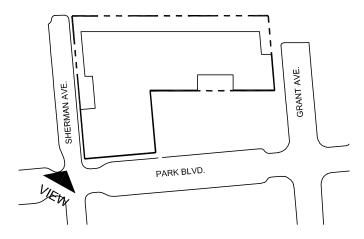
SCALE
AS NOTED

SHEET NUMBER



2525 PARK BLVD PALO ALTO, CA 94306





		ISSUES AND REVISIO
DATE	DESCRIPTION	

05.25.21	PLANNING SUBMITTAL
08.31.21	PLANNING RESUBMITTAL #1
02.04.22	PLANNING RESUBMITTAL #2
06.22.22	PLANNING RESUBMITTAL #3
11.02.22	PLANNING RESUBMITTAL #4
03.03.23	PLANNING RESUBMITTAL #5

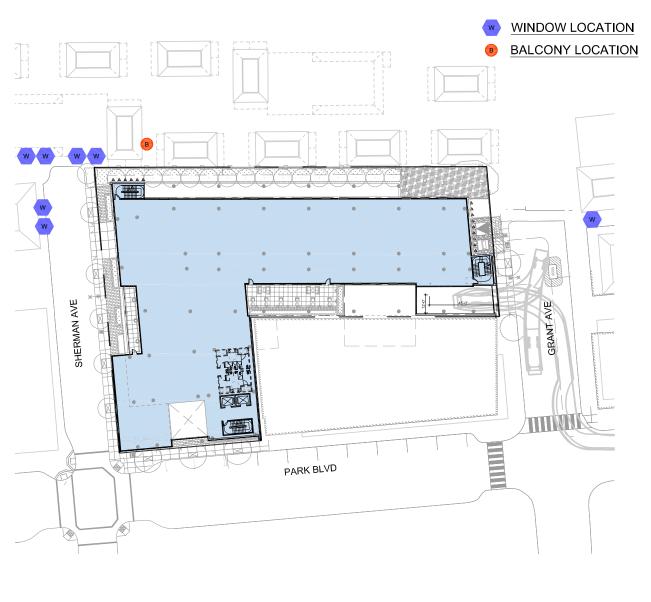
WINDOW LOCATION

B BALCONY LOCATION

PROPOSED PERSPECTIVE

AS NOTED

SHEET NUMBER



EXISTING GOOGLE EARTH AERIAL VIEW - FOR REFERENCE

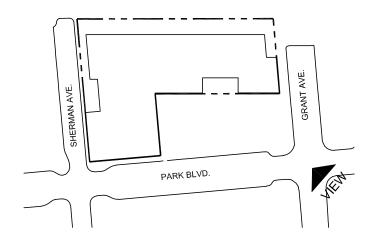
KEY PLAN - PROPOSED THIRD FLOOR PLAN 1/64"=1'-0"

PARK BLVD



2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS
DATE DESCRIPTION

05.25.21 PLANNING SUBMITTAL
08.31.21 PLANNING RESUBMITTAL #1

02.04.22 PLANNING RESUBMITTAL #2
06.22.22 PLANNING RESUBMITTAL #3
11.02.22 PLANNING RESUBMITTAL #4
03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBI 200

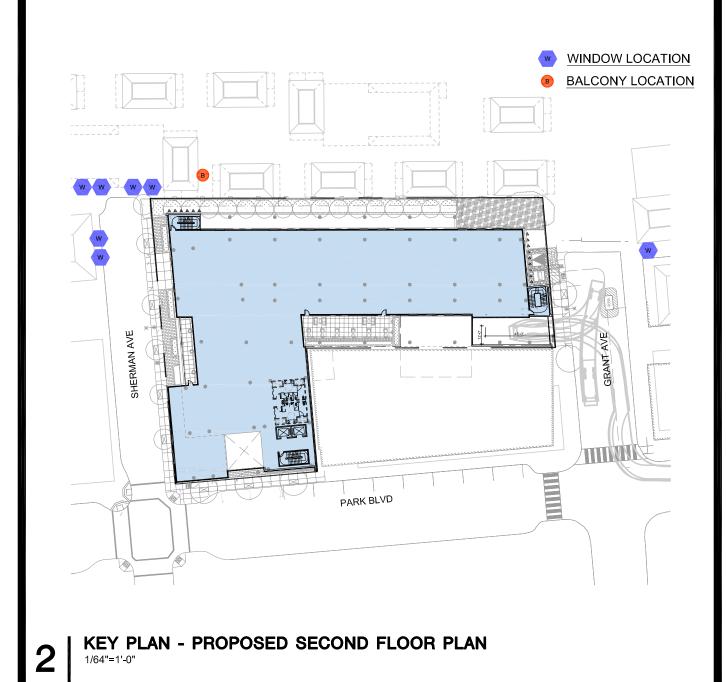
SHEET TITLE

PROPOSED PERSPECTIVE

SCALE AS NOTED

SHEET NUMBER

RA



1 KEY PLAN - PROPOSED THIRD FLOOR PLAN

1/64"=1-1-0"

WINDOW LOCATION

B BALCONY LOCATION

EXISTING GOOGLE EARTH AERIAL VIEW - FOR REFERENCE



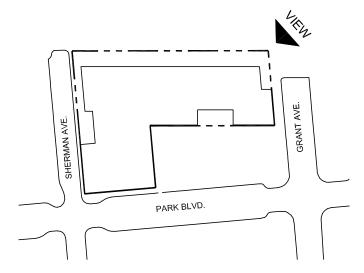
2 KEY PLAN - PROPOSED SECOND FLOOR PLAN

EXISTING GOOGLE EARTH AERIAL VIEW - FOR REFERENCE

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

06.22.22 PLANNING RESUBMITTAL #3 11.02.22 PLANNING RESUBMITTAL #4

03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUM 20

SHEET TITLE
PROPOSED PERSPECTIVE

AS NOTED

SHEET NUMBER

P7

KEY PLAN - PROPOSED THIRD FLOOR PLAN 1/64"=1'-0"



4 | DAYLIGHT PLANE - VIEW 4

DAYLIGHT PLANE - VIEW 2
N.T.S.



3 | DAYLIGHT PLANE - VIEW 3



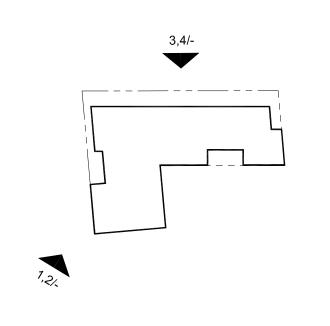


1 DAYLIGHT PLANE - VIEW 1

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306





NO. DATE DESCRIPTION

O6.22.22 PLANNING RESUBMITTAL #3

11.02.22 PLANNING RESUBMITTAL #4

03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBI 200

ALLOWABLE MASSING

N.T.S

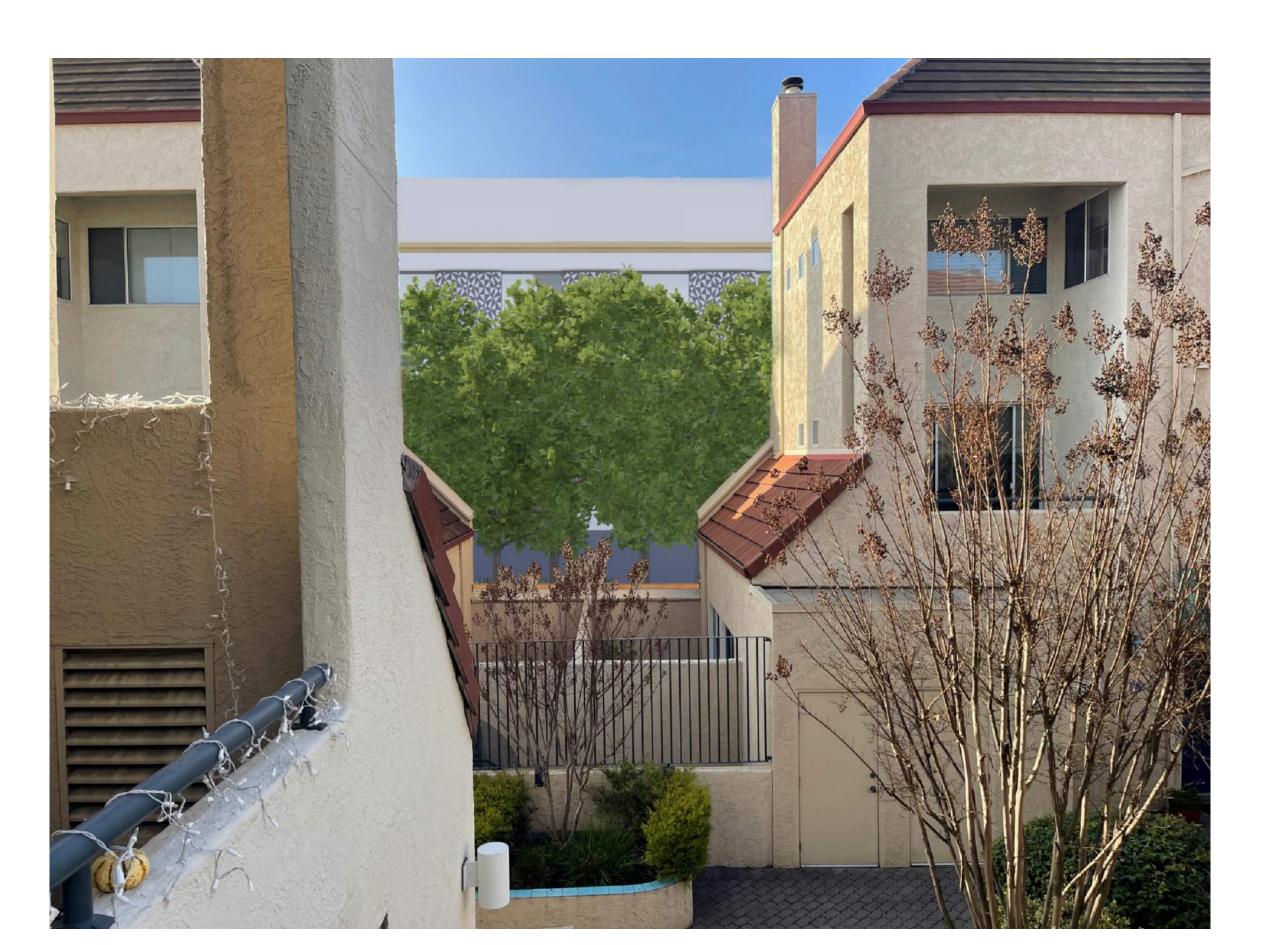
.....

RE



3 | VIEW FROM NEIGHBOR_2 AT YEAR 1

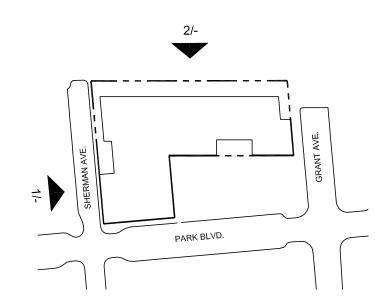
2 VIEW FROM NEIGHBOR_2 AT YEAR 10 N.T.S.



SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

NO. DATE DESCRIPTION

06.06.22 PLANNING RESUBMITTAL #3

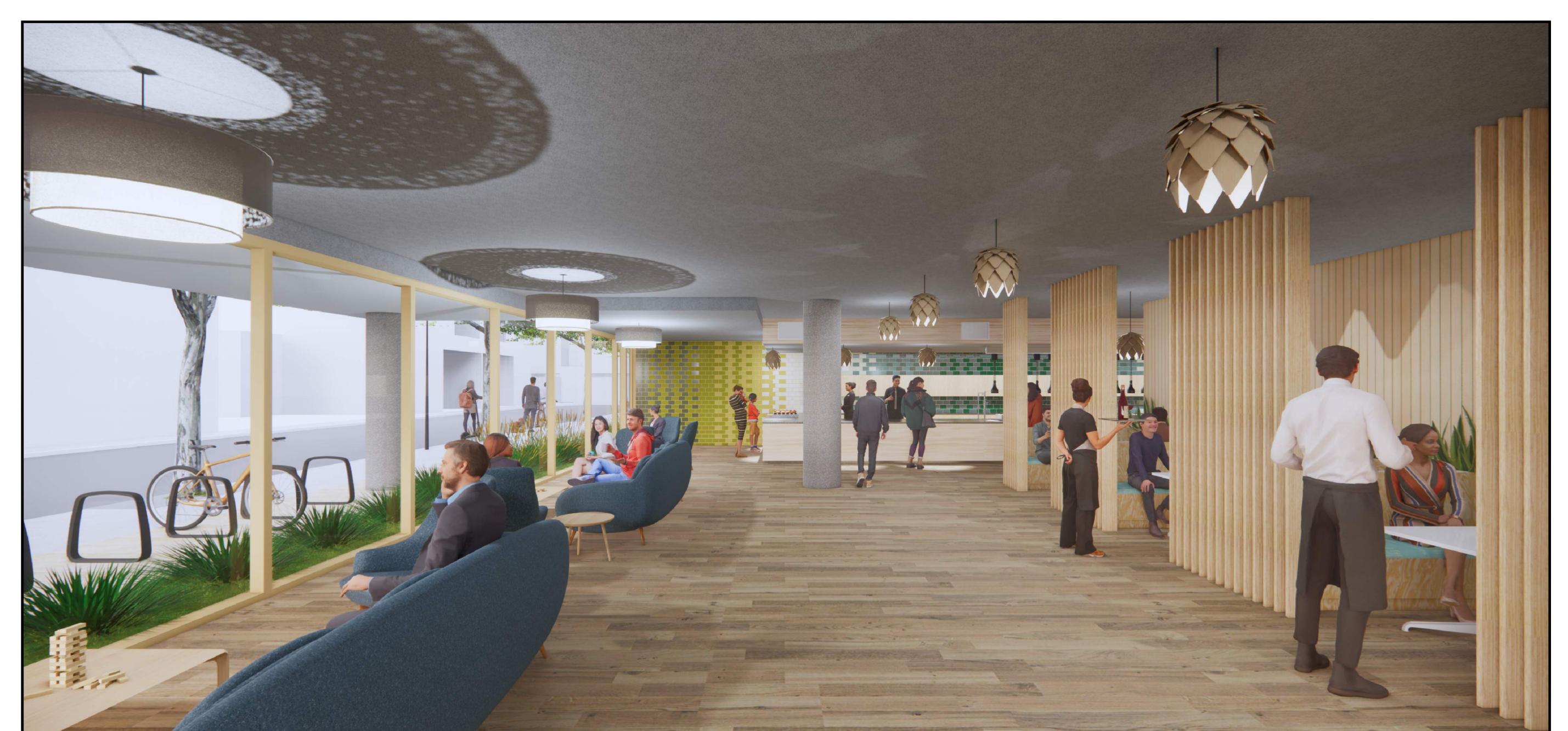
03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBI

DAYLIGHT PLANE PERSPECTIVE VIEWS

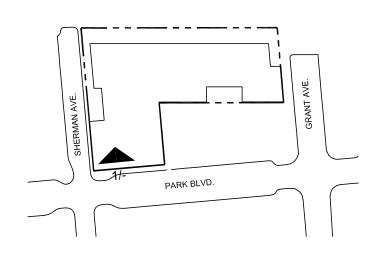
SCALE **N.T.S.**

SHEET NUMBER



2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

03.03.23 PLANNING RESUBMITTAL #5

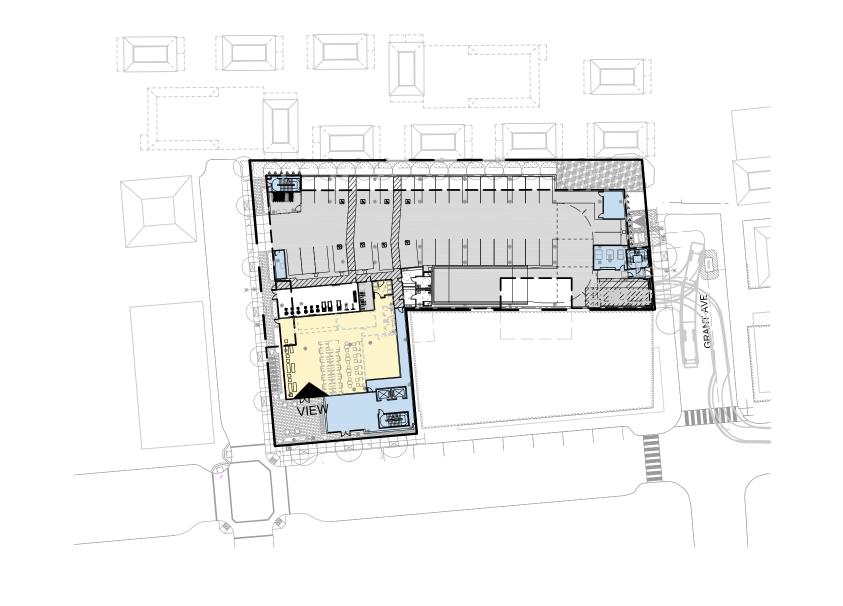
PROJECT NUMBE 2000

SHEET TITE

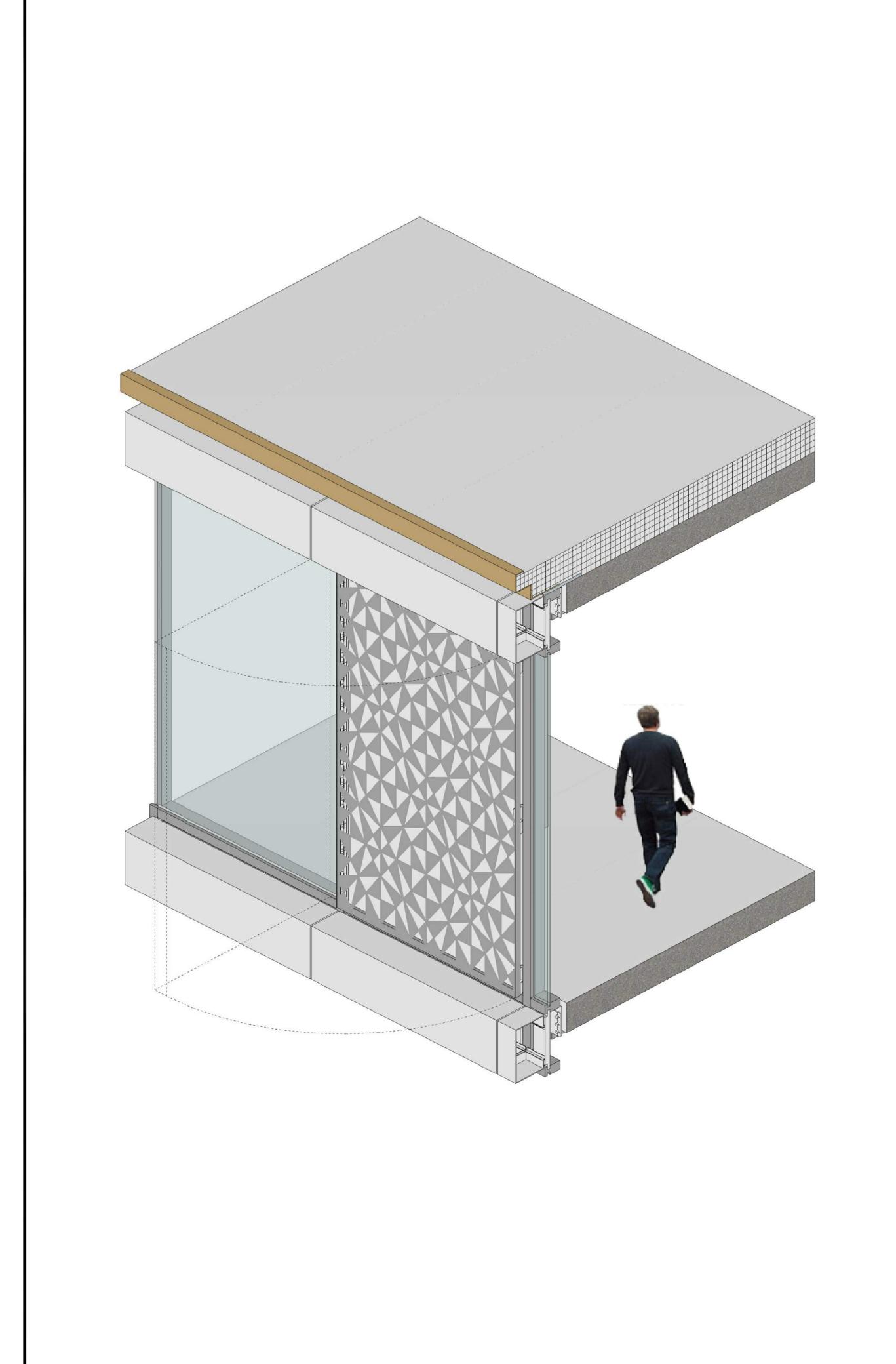
VIEW FROM GROUND FLOOR TENTATIVE (FUTURE) RETAIL SPACE

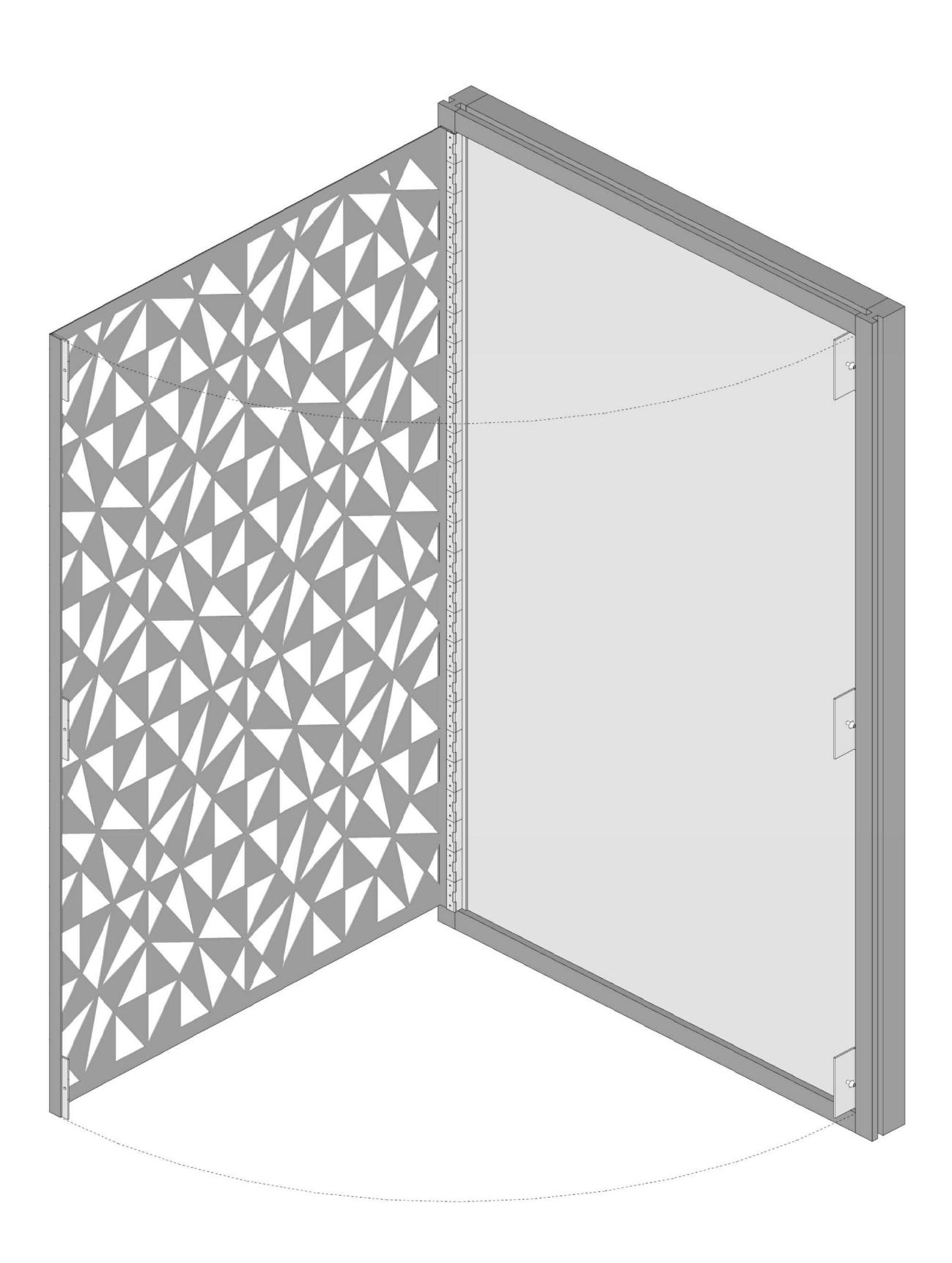
S

SHEET NUMBER



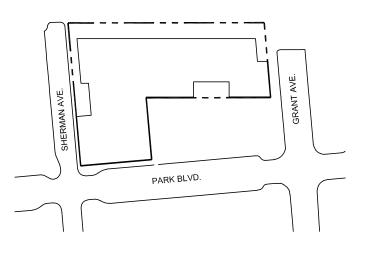
VIEW FROM GROUND FLOOR TENTATIVE (FUTURE) RETAIL SPACE N.T.S.





2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

03.03.23 PLANNING RESUBMITTAL #5

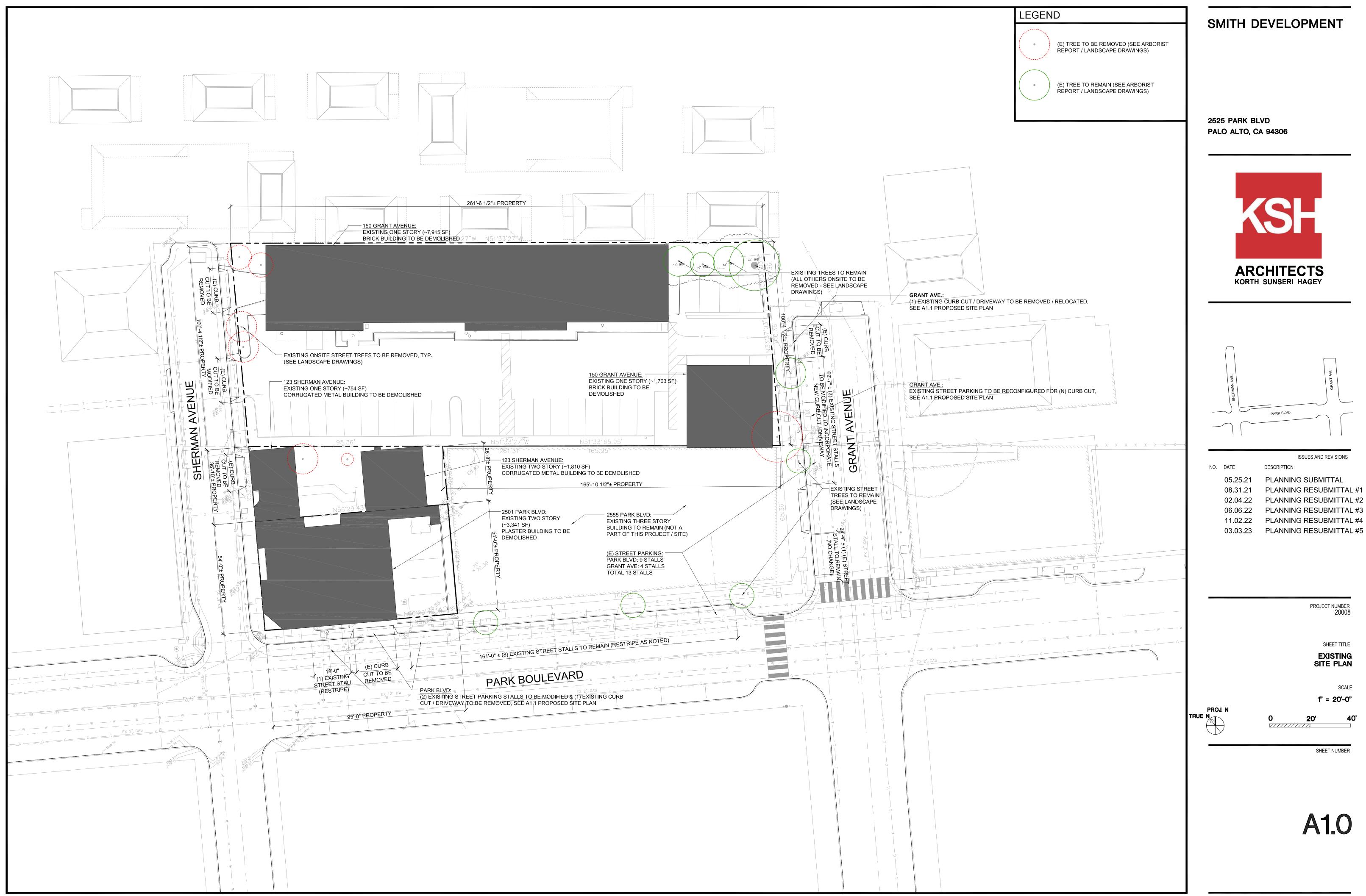
PROJECT NUMBI 200

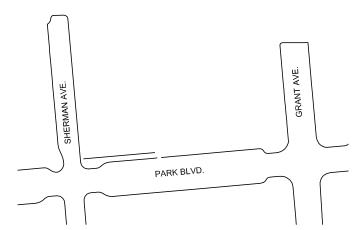
SHEET

ENLARGED STENCIL PANEL DETAILS

N.7

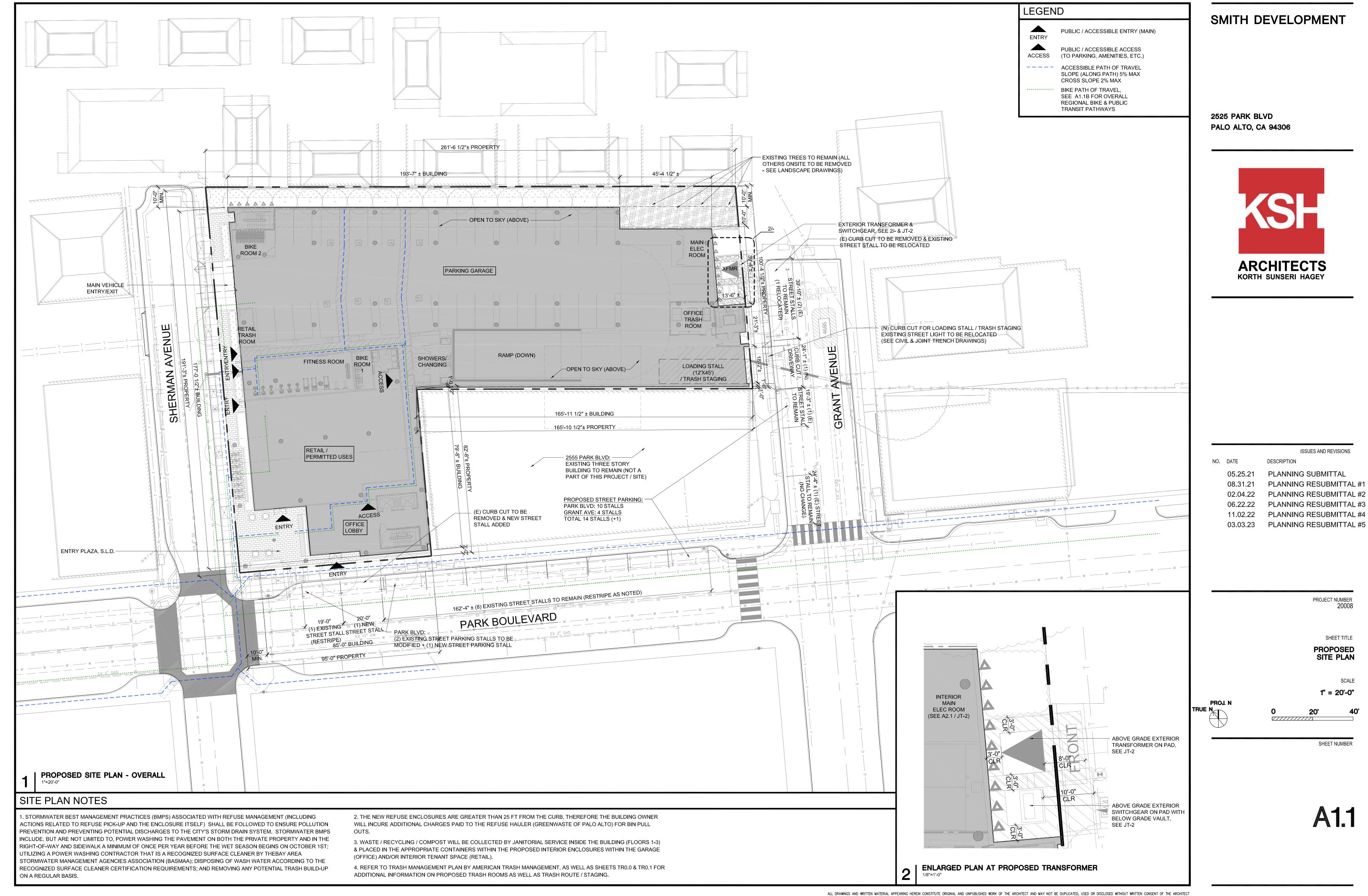
R11

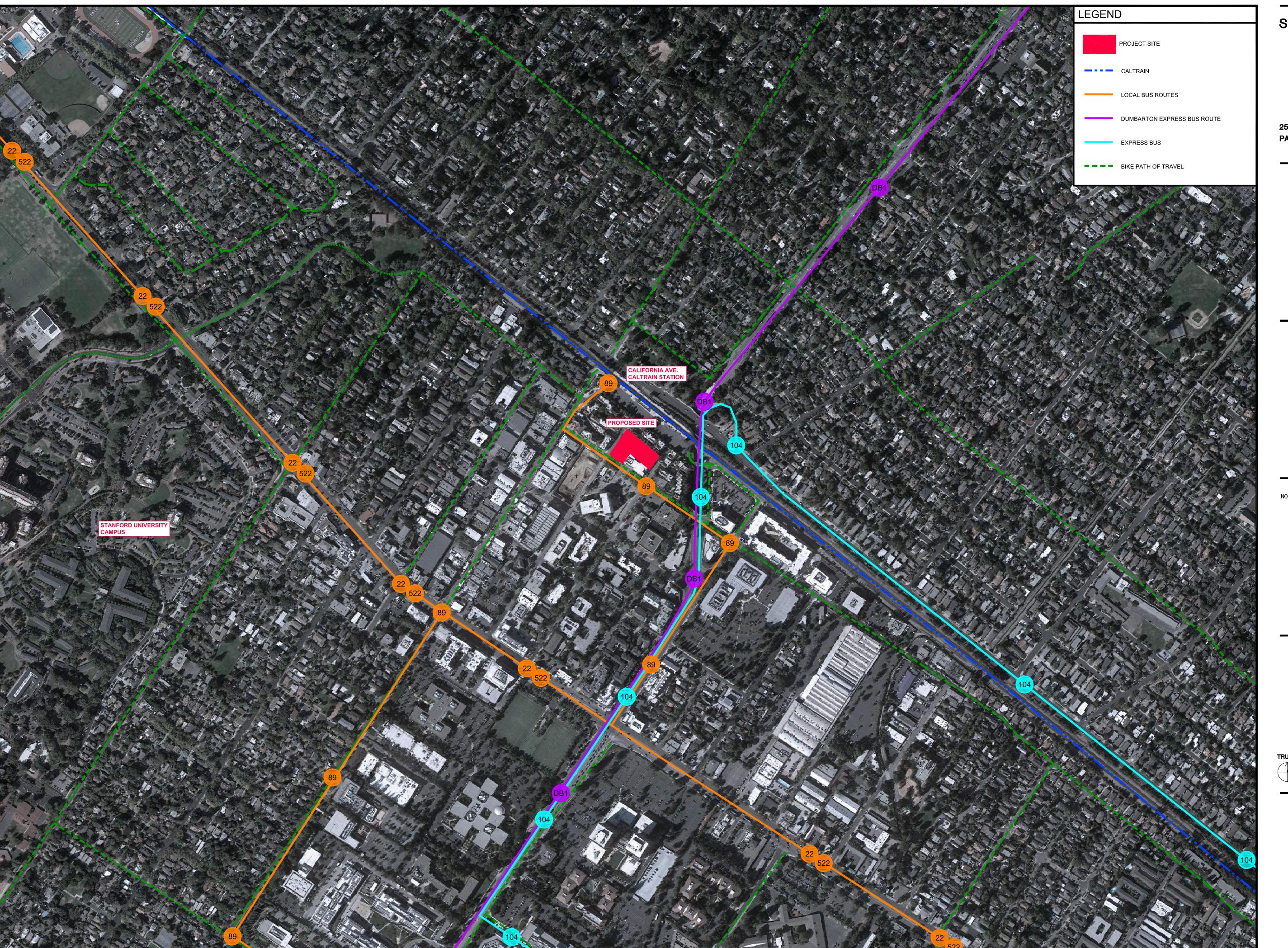




		100020711107111010110
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL
	02.04.22	PLANNING RESUBMITTAL
	06.06.22	PLANNING RESUBMITTAL
	11.02.22	PLANNING RESUBMITTAL
	03.03.23	PLANNING RESUBMITTAL

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT





2525 PARK BLVD PALO ALTO, CA 94306



ISSUES AND REVISIONS

02.04.22 PLANNING RESUBMITTAL #2
06.22.22 PLANNING RESUBMITTAL #3
11.02.22 PLANNING RESUBMITTAL #4

03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUME

SHEET TITLE

NEIGHBORHOOD CONTEXT

33...

1" = 3500'-0"

N 0 3500'

A1.1B

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT



1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

DRAFT-SMITH-DRAFT 123 Sherman Palo Alto, CA Trash Management Plan

Task: Design a waste and recycling system for a mixed-used office project with ~52,000 square feet of office space with a potential future full-service cafeteria and ~3,800 square feet of ground floor retail space that minimizes costs, staffing requirements and environmental impacts, while providing convenient trash disposal for the building's residents. Please note the word "trash" when used in this plan covers both waste and recycling.

Waste and Recycling Removal: The City of Palo Alto has granted GreenWaste of Palo Alto a license to provide residential and commercial Waste and Recycling services to residents and businesses located within the city and county. This license is a de facto exclusive franchise for trash removal for any property located within city limits. Rates have not been adjusted since 2016. GreenWaste provides three types of service: waste, commingled recycling and compost collection.

City Council has approved the Recycling and Composting Ordinance. Starting January 1, 2017 businesses generating 2 or more cubic yards of garbage per week will be required to subscribe to recycling and compost services, as well as sort all waste into the appropriate containers. Currently, commercial customers generating 8 or more cubic yards of garbage per week, multifamily buildings, and food service establishments are already composting and recycling under the Ordinance.

Palo Alto Municipal Code 5.20.030 (b) states that "all persons shall separate their refuse according to its characterization as solid waste, compostable materials or recyclable materials."

Additionally, Palo Alto has a noise ordinance, 9.10.030 Residential property noise limits that states (a) No person shall produce, suffer or allow to be produced by any machine, animal or device, or any combination of same, on residential property, a noise level more than six dB above the local ambient at any point outside of the property plane.

(b) No person shall produce, suffer or allow to be produced by any machine, animal, or device, or any combination of same, on multi-family residential property, a noise level more than six dB above the local ambient three feet from any wall, floor, or ceiling inside any dwelling unit on the same property, when the windows and doors of the dwelling unit are closed, except within the dwelling unit in which the noise source or sources may be located. (Ord. 4634 § 2 (part), 2000)

NOTE: While Palo Alto has this noise ordinance but given the data we have on trash truck noise, every location in the city with trash collection violates this rule.

State and Local Recycling Mandates: Statewide the passage of AB341 (July 1st, 2012) and subsequent AB1826 required all business that have more than 5 residential units or generate more than 4 cubic yards of municipal solid waste to separate recyclable and compostable materials from the waste stream. This law directs local jurisdictions to implement recycling and composting regulations and programs.

© American Trash Management, Inc. 2023 Friday, March 3, 2023



1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Office Trash Volume Projections:

Studies cited by CalRecycle estimate office building trash generation at 5.44 lb. of trash per 1000 SF, nearly 70% of which can be diverted. Although past studies had low diversion rates for office buildings, more recent evidence points to large increases in diversion, as firms and their employees become more active recyclers. (This is supported both by outside studies and ATM's data). It is assumed, therefore, comparable diversion rates for this office space will hold.

Using these metrics, the following levels of waste, recyclables and compost are projected for the office space in this project.

Relow is a summary of projected loose trash volumes. See detail analysis on pages 13-14

	SF	Loose Waste Volume CY/WK	Loose Recycle Volume CY/WK	Loose Compost Volume CY/WK	Total # of Waste 4CY Bins/WK	Total # of Recycle 4CY Bins/WK	Total # of Compost 3CY Bins/WK
Office	52,000	5.3	8.8	2.3	2	2	1
Cafeteria*	N/A	9.4	8.3	3.8	2	2	2
Total	52,000	14.7	17.2	6.0	4	4	3

*Cafeteria is unlikely to occur at this site.

Commercial Retail:

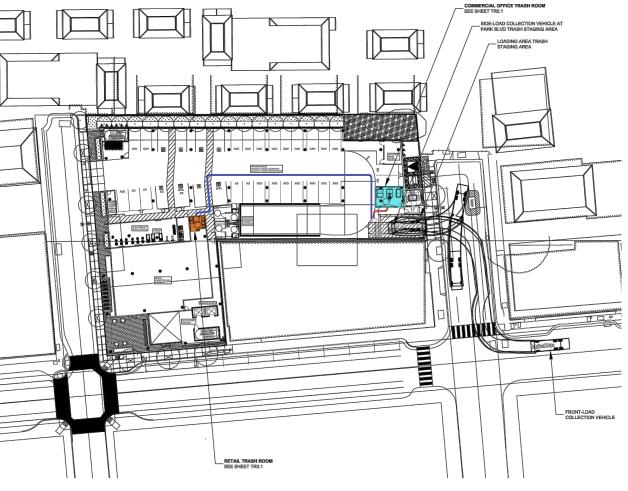
Below is a summary of weekly projected loose trash volumes for 100% retail space. See detailed analysis on page 15. Please note restaurants generate considerably more trash than non-F&B retail.

	SF	Loose Waste Volume CY/WK	Loose Recycle Volume CY/WK	Loose Compost Volume CY/WK	Total # of Waste 96G Carts/WK*	Total # of Recycle 96G Carts/WK*	Total # of Compost 64G Carts/WK*
Retail	3,800	0.9	1.1	0.1	2	2	1



1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Site Plan:



AMERICAN TRASH MANAGEMENT

1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Specific Project Design Issues & Recommendations: There are several critical trash system design

First, waste and recycling must be collected in 3 streams (waste, recycling, compost) to meet the State requirements of AB341 and AB1826.

Second, the office projection levels assumes a full-service cafeteria is programed. We recommend front load loose bin service based on trash volume projections and local service availability.

Third, a trash staging and loading area has been introduced onsite just off of Grant Avenue. 20' vertical clearance will be provided per Green Waste's standard for service. Bins must be moved by staff to this location so the trash bins to be emptied by Green Waste with minimal impact on the residents and the project's neighbors. Green Waste has confirmed service along Grant and Sherman for neighboring enclosures (see email from Chris Siebenthall, District Operations Manager for Green Waste on Appendix 2).

Fourth, we recommend commercial retail tenants be responsible for handling their own trash within their own leasable space. Separation prevents commercial trash disposal costs being passed directly to the office tenants. Additionally, ownership can require retail tenants subscribe to push-pull service to minimize trash staging along Sherman. Pullout service for retail trash is projected to be an additional \$250 a month and may be lower if a third party is contracted.

Fifth, add 1 CFM/SF mechanical ventilation per CBC, floor drain, hose bib and odor control to the trash collection rooms.

Friday, March 3, 2023



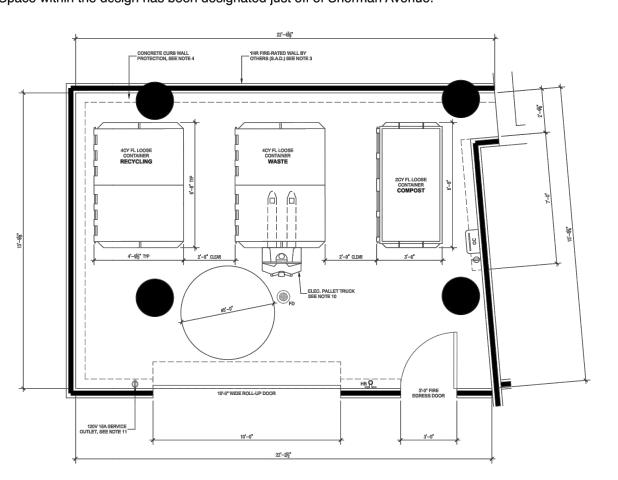
© American Trash Management, Inc. 2023

1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Office Trash Room Layout

Note: If a cafeteria is ultimately elected for the office, space must be designated for grease tallow bin. Space within the design has been designated just off of Sherman Avenue.

Page 3 of 17



COMMERCIAL OFFICE TRASH ROOM PLAN

2525 PARK BLVD PALO ALTO, CA 94306



SMITH DEVELOPMENT

ISSUES AND REVISIONS

PLANNING SUBMITTAL 05.25.21 PLANNING RESUBMITTAL #1

PLANNING RESUBMITTAL #2 02.04.22 PLANNING RESUBMITTAL #3 06.22.22

PLANNING RESUBMITTAL #4 11.02.22 PLANNING RESUBMITTAL #5 03.03.23

PROJECT NUMBER

SHEET TITLE

PROPOSED TRASH ROOM & TRASH MANAGEMENT PLAN

PROJ. N

TRUE N

SCALE

1/8" = 1'-0"

SHEET NUMBER

© American Trash Management, Inc. 2023

Page 6 of 17

Friday, March 3, 2023

Page 2 of 17

AMERICAN

© American Trash Management, Inc. 2023

1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Friday, March 3, 2023

Recommended Trash Handling System:

TRASH MANAGEMENT

To comply with City ordinances, the project residential trash will be collected in 3 different streams: Waste, Mixed Recyclables (paper, cardboard & containers) and Compost (food & organic materials).

Waste & Mixed Recycling. We recommend that all office, cafeteria waste and mixed recycling be disposed in 4CY loose container bins.

Compost. Because of the relatively high volume of food waste the cafeteria produce, it is recommended that compost be collected in a 3CY loose container.

Container Recommendation: Due to the size of the building and projected trash loads compactors are not currently recommended for this project. The relatively low projected residential trash loads indicate loose bin service for both buildings.

Office Trash. The janitorial staff for the office component of the project will be responsible for moving the office waste, recycling and compost to the trash room for disposal. The office janitorial staff will be accessing the trash room in the late evening on weeknights. A path of travel has been designed for janitorial staff to move trash from the office service elevators through a corridor to the trash collection area.

Commercial Trash. We recommend the tenant handle trash within their own net rentable space. Waste, recycling and compost will be deposited by staff into into 96-gallon toter carts. The commercial tenants should be required to follow the Commercial Trash Rules as defined below:

RECOMMENDED RETAIL COMMERCIAL TENANT TRASH RULES

- 1. Moving Trash: Require commercial tenants who have any wet trash to move all solid waste and recycling in bag 20 gallons or less. The plastic bags which will make it easy for commercial tenants to put their waste and recycling into the communal trash compactors or bins. The use of bags is required to avoid leaks. Virtually all tenants fall into this category since they regularly throw away old partially full drink cups.
- 2. Cleanup: Tenants will be responsible for keeping the common areas clean. Any sewer blockage will be the responsibility of the tenant. All spills if they do happen must be immediately cleaned up or the property management will fine the tenant and arrange for the clean up at the tenants expense. No vent hood filters or floor mats will be cleaned on site including the communal trash room.
- 3. Cooking Oil & Fat Disposal: Tenants producing used cooking oil to arrange and pay for a service to collect this used oil. Oil must be stored within the tenant space. No oil can be moved in open containers on the property. All spills if they do happen must be immediately cleaned up or the property management will fine the tenant and arrange for the clean up at the tenant's expense. Used cooking oil cannot be stored in the communal trash room (it stinks and when it is communal you get a mess).
- 4. Bulky Items: Disposal of any large bulky items that do not easily fit within the communal trash bins must be removed from the property by the tenant at the tenant's expense. (Exclude all non-standard solid waste disposal). Anything that is not typically disposed of on a regular basis (at least every quarter) must be handled directly by the
- 5. Hazardous Materials: Tenants are responsible for arranging and paying for the disposal of all Hazardous Material

© American Trash Management, Inc. 2023 Page 4 of 17 Friday, March 3, 2023

© American Trash Management, Inc. 2023

Page 5 of 17

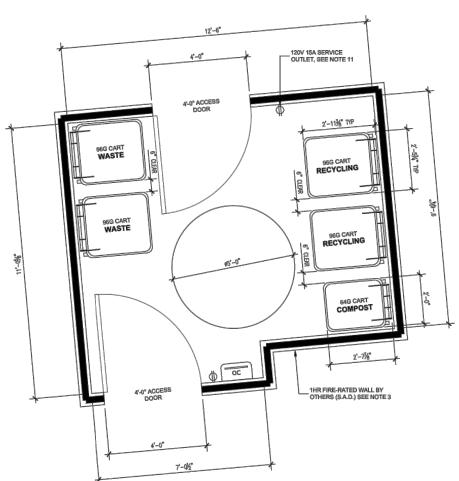
Friday, March 3, 2023

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT



1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Commercial Retail Trash Closet Layout



RETAIL TRASH ROOM PLAN SCALE: 1/2" = 1'-0"

© American Trash Management, Inc. 2023

AMERICAN

TRASH MANAGEMENT

Trash Service Location:

the hauler.

Trash Staging Area:

Page 7 of 17

Commercial office staging should take place within the building just off Grant Avenue. This is a

minimal impact on the residents and the project's neighbors. Trash bins will be moved by building staff to and from the trash room on service days. Distances greater than 25ft from the curb will be charged by

safe and convenient location for staging bins so they can be pulled and emptied by the hauler with

Friday, March 3, 2023

1900 Powell Street, Suite 220

(800) 488-7274 Toll Free USA

Emeryville, CA 94608

(415) 292-5410 Fax

www.trashmanage.com

(415) 292-5400

TRASH MANAGEMENT

AMERICAN

© American Trash Management, Inc. 2023

AMERICAN

TRASH MANAGEMENT

1-4 Cubic Yard Containers

ru. yd. 81" 32.5" 44.5" 27.5"

5-8 Cubic Yard Containers

Debris Box/Roll-Off Box

Wheeled Cart

GreenWaste Bins and Carts

(800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

1900 Powell Street, Suite 220

Emeryville, CA 94608

greenwaste of polo ofto

2000 Geng Road Palo Alto, CA 94303

650.493.4894

enWaste of Palo Alto

Friday, March 3, 2023

Friday, March 3, 2023

Sample Office Building Trash Service Schedule Note that all schedules to be determined by hauler, building management, and actual trash levels.

Page 8 of 17

Office Without Full Service Cafeteria

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
4CY Loose Waste	1				1		
4CY Loose Recycle	1				1		
3CY Loose Compost	1						
Total	3	0	0	0	2	0	0

Office With Full	Service	Cafeteria	(Unlikely to	o occur

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
4CY Loose Waste	1	1	1	1			
4CY Loose Recycle	1	1	1	1			
3CY Loose Compost	1				1		
Total	3	2	2	2	1	0	0

Commercial RetailService Schedule

© American Trash Management, Inc. 2023 Page 11 of 17

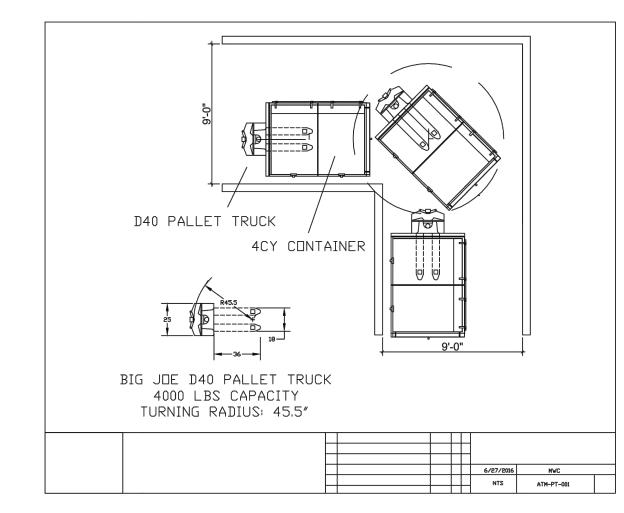
	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
96G Loose Waste	2						
96G Loose Recycle	2						
64G Loose Compost	1						
Total	5	0	0	0	0	0	0

1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com



1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Trash Bin Moving: Project using 4CY Container



Trash System Equipment Specifications: - Provided separately, listed below:

- 1. Section 44 31 00 Odor Control
- 2. Section 41 63 23 Electric Pallet Jack Bin Mover

© American Trash Management, Inc. 2023

Page 9 of 17

Friday, March 3, 2023

TRASH MANAGEMENT

© American Trash Management, Inc. 2023

1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Waste, Recycling and Compost Analysis: (Rates reflect the rate increase effective July 1, 2016) Below is a comparative analysis of the disposal and labor costs of handling waste and recycling in loose versus compacted bins. Please note that the projections below are estimates derived from actual audits of comparable office projects in California. They are not guaranteed. They are to be used for planning purposes only and may be higher or lower than projected.

TOTAL MAIN OFFICE - WASTE AND RECYCLING SYSTEM ANALYSIS WITH CAFETERIA

TOTAL MAIN OFFICE - WASTE AN	ID RECYCLIN	G SYSTEM A	NALYSIS WITH CAFETERIA
	Square Feet	52,000	
	ecycling OCC	40%	
% Cafeteria R	ecycling OCC	75%	
Con	npaction Ratio	4	to 1
St	aff Labor Rate	\$21.00	per hour - 1 person
Ti	me move bins	0.25	hr to move to unloading area & back
# of	Trash Rooms	1	
FL Compacted \	Waste Service	4	cubic yard front load bins
FL Compacted Re	ecycle Service	4	cubic yard front load bins
FL Compacted Co	mpost Service	2	cubic yard front load bins
RO Compacted \	Waste Service	10	cubic yard roll-off compactor
RO Compacted Re	ecycle Service	10	cubic yard roll-off compactor
RO Compacted Co		10	cubic yard roll-off compactor
•	Waste Service	4	cubic yard front load bins
Loose Re	ecycle Service	4	cubic yard front load bins
	mpost Service	3	cubic yard front load bins
COST BENEFIT CALCULATION PR			PROJECTED
	ose		Compacted-FL
	ose	Loose	Compacted-FL
	ose	Loose	Loose
Loose Waste Volume - CY	14.7		
Compacted Waste Volume - CY		3.7	3.7
Loose Recycling Volume - CY	17.2		
Compacted Recycling Volume - CY		4.3	4.3
Loose Compost Volume - CY	6.0	6.0	6.0
Compacted Compost Volume - CY			
Waste Bins/week	4	1	1
Recycling Bins/week*	4	2	2
Compost Bins/week	3	3	3
Containers/week/trash room	11	6	6
SYSTEM CAPITAL COST	\$0.00	\$24,655.00	\$49,310.00
WASTE COST/MONTH	\$2,448.09	\$1,269.56	\$1,269.56
RECYCLING COST/MONTH	\$0.00	\$0.00	\$0.00
COMPOST COST/MONTH	\$1,041.04	\$1,041.04	\$1,041.04
TRASH COST/MONTH	\$3,489.13	\$2,310.60	\$2,310.60
COMPACTION SAVINGS/MONT	\$0.00	\$1,178.53	\$1,178.53
STAFF LABOR COST/MONTH	\$250.06	\$136.40	\$136.40
STAFF SAVINGS/MONTH	\$0.00	\$113.66	\$0.00
NET MONTHLY TRASH COSTS	\$3,739.19	\$2,447.00	\$2,447.00
Monthly Trash Cost per SF	\$0.07	\$0.05	\$0.05
PAYBACK-MONTHS	n/a	19	42
Pull out service rate**	\$1,750.00		-
* Loose 4CY Recycling Bins rounder			
		such as Conia	a or Trash Scouts (starting 2023) at lower co
	· , · · · · · · · ·		

Page 12 of 17

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306



ISSUES AND REVISIONS

PLANNING SUBMITTAL 05.25.21 PLANNING RESUBMITTAL #1

PLANNING RESUBMITTAL #2 02.04.22 PLANNING RESUBMITTAL #3 06.22.22 PLANNING RESUBMITTAL #4 11.02.22

03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBER

SHEET TITLE

TRASH MANAGEMENT PLAN

SCALE N.T.S.

SHEET NUMBER

© American Trash Management, Inc. 2023

Page 10 of 17

Friday, March 3, 2023

Friday, March 3, 2023



1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

OFFICE WASTE AND RECYCLING SYSTEM ANALYSIS ASSUMPTIONS: Square Feet 52,000

bs/day per 1000 SF	5.44
% waste	30%
% recycling	50%
% compost	20%
waste lb/CY	80
recycling lb/CY	80
compost lb/CY	125

	λυπρασιίστι παιίσ	-	ı
COST BENEFIT CALCULATION	PROJECTED	PROJECTED	
SERVICE-Waste	Loose	Compacted	
SERVICE-Recycling	Loose	Compacted	
Loose Waste Volume - CY	5.3		
Compacted Waste Volume - CY		1.3	
Loose Recycling Volume - CY	8.8		
Compacted Recycling Volume - C	CY	2.2	
Loose Compost Volume - CY	2.3		
Compacted Compost Volume - C	Υ	0.6	

OFFICE CAFETERIA WASTE AND RECYCLING SYSTEM ANALYSIS

IPTIONS:	Square Feet	52,000	
	Square Feet per Employee	195	
	Meals per Employee Per Day	1.5	
	lb. per meal	1	
	% waste	37.5%	
	% recycling	25%	
	% compost	37.5%	
	waste lb/CY	80	
	recycling lb/CY	60	
	compost lb/CY	200	
	Compaction Ratio	4	to
	ALOUE ATION DOOLEOTED	DDO IEOTED	

COST BENEFIT CALCULATION	PROJECTED	PROJECTE
SERVICE-Waste	Loose	Compacted
SERVICE-Recycling	Loose	Compacted
Loose Waste Volume - CY	9.4	
Compacted Waste Volume - CY		2.3
Loose Recycling Volume - CY	8.3	
Compacted Recycling Volume - C	Υ	2.1
Loose Compost Volume - CY	3.8	

Compacted Compost Volume - CY

© American Trash Management, Inc. 2023 Page 13 of 17

AMERICAN TRASH MANAGEMENT

1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Friday, March 3, 2023

Appendix 1: Projected Waste and Recycling Levels:

Restaurants. CalRecycle (Waste Disposal and Diversion Findings for Selected Industry Groups, 2006), estimates restaurants generate 6537 lb. of trash per employee per year. Using this information, the following are projected waste and recycling levels for restaurant tenants.

0.9

Diversion levels, conservative (50%) vs. optimal (75%). The CalRecycle study estimated 2/3s of restaurant materials are disposed of as municipal solid waste (MSW) (66% for fast food restaurants and 68% for standard restaurants). Their study also shows that potentially a very high percentage of these non-diverted materials (68% for fast food and 83% for other food retailing establishments) are recyclables.

Restaurant employee assumptions are based on the Restaurant Industry Operations Report, compiled by Deloitte for the National Restaurant Association in 2010.

Food Services Retailer	Employees PROJ trash per week (lb.) Waste (35% of trash)		Recycling (40% of trash)	Compost (25% of trash)			
Restaurant Large	30	30 3,771		1,509	943		
Restaurant Moderate	23	2,891 1,01		1,157	723		
Restaurant Small	18	2,263	792	905	566		
Restaurant QSR	15	5 1,886 660		754	471		
Restaurant Cafe	10	1,257	440	503	314		

Because the descriptive terms in the industry report are vague and difficult to apply to each individual restaurant space in a project, for the purposes of our analysis we have assumed that a 'large' restaurant is 3,000 square feet or 1 employee per 100 square feet of F&B space. Using the 6,537 lb/trash/year/ employee metric, this results in a proxy metric of 1.25 lb/day/square foot. This estimate, however, is only a tool and is not guaranteed. Actual trash generation may be higher or lower.

Other assumptions: waste 125 lbs/cubic yard, recycle 84 lbs/cubic yard, compost 200 lbs/cubic yard.



1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

COMMERCIAL RETAIL/ Permitted Uses SYSTEM ANALYSIS

ASSUMPTIONS:	Square Feet	3,800	
	Restaurant %	100%	
	Retail %	100%	
	Cafe trash	1.25	lbs/sf/wk
	Retail trash	0.05	lbs/sf/wk
% recyc	led - Restaurant	50%	
	st - Restaurant	20%	
	ecycled - Retail	50%	
	ompost - Retail	10%	
	staurant wastes:	125	lb. per loose cubic yards
	Retail wastes:	84	lb. per loose cubic yards
	compost:	200	lb. per loose cubic yards
	recyclables:	84	lb. per loose cubic yards
Co	ompaction Ratio	4	to 1
	npacted Service	2	cubic yard front load bins
	e Waste Service	3	cubic yard front load bins
	ecycling Service	3	cubic yard front load bins
	Compost Service	2	cubic yard front load bins
	e Waste Service	0.475	cubic yard carts (64G toter carts)
	ecycling Service	0.475	cubic yard carts (64G toter carts)
	compost Service	0.32	cubic yard carts (64G toter carts)
			,
COST BENEFIT CALCULATION	F&B Option	Retail	
SERVICE-Waste	Loose	Loose	
SERVICE-Recycling	Loose	Loose	
Loose Waste Volume - CY	11.4	0.9	
Compacted Waste Volume - CY			
Loose Recycling Volume - CY	28.3	1.1	
Compacted Recycling Volume - C	Υ		
Loose Compost Volume - CY	4.8	0.1	
Compacted Compost Volume - CY	,		
Waste Bins/week	4	2	
Recycling Bins/week	10	2	
Compost Bins/week	3	1	
Containers/week/trash room	17	5	
Push Pull Rate**		\$250.00	
** Pullout service may also be			
offered by 3rd party such as			

© American Trash Management, Inc. 2023 Page 14 of 17 Friday, March 3, 2023



Copia or Trash Scouts (starting

2023) at lower cost

1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

- \ ノ

Appendix 2: Green Waste Will Serve - Neighboring Enclosures:

From: Chris Siebenthall csiebenthall@greenwaste.com

Subject: Re: Service 123 Sherman Avenue, Palo Alto
Date: January 14, 2022 at 1:04 PM
To: Daisy Urbina daisyurbina@trashmanage.com
Cc: David Conte dconte@greenwaste.com, Eric Cissna ecissna@greenwaste.com

We can still service the enclosures. The drivers will just have to back up onto Park with caution.

On Jan 14, 2022, at 12:14 PM, Daisy Urbina <daisyurbina@trashmanage.com> wrote: Checking in to see if you were able to take a look at this project.

Including Eric to this thread. <image001.png>

Daisy Urbina American Trash Management, Inc. 1900 Powell Street, Suite 220 Emeryville, CA 94608 Main: 1-415-292-5400 Direct: 1-510-607-7602 www.trashmanage.com

On Jan 11, 2022, at 5:08 PM, Daisy Urbina daisyurbina@trashmanage.com> wrote: Hi Chris and Dave,

I hope you are well. I am consulting on an office project in Palo Alto and was hoping to seek your opinion on a realistic service location for this project and neighboring trash enclosures. Address: 123 Sherman Avenue, Palo Alto.

The current address above will be rebuilt into an office project with garage parking, eliminating the current trash truck path of travel for the neighboring enclosures (seen on the 1st attachment). That being stated, I would like to confirm that Green Waste could service each trash enclosure on Grant Avenue and Sherman Avenue.

In the second attachment, I have inserted our auto-turn template showing the trash truck entering both dead-end roads, as well as the dimensions of each dead-end. Additionally, if service can occur on both roads, the clients would like to move the staging location of 123 Sherman to avoid staging in front of the office lobby - preferably on Grant where the road is wider and has street parking. Please let me know if you would like to schedule a call to discuss this further in detail.

</mage001.png>
<Pages from C2_150 Grant-123 Sherman-2501 Park_PLAN (dragged).pdf>

<ATM_123 Sherman_SD Planning Set_BM_210910-TR0.0-10.pdf> Daisy Urbina American Trash Management, Inc. 1900 Powell Street, Suite 220 Emeryville, CA 94608 Main: 1-415-292-5400 Direct: 1-510-607-7602 www.trashmanage.com



Friday, March 3, 2023



© American Trash Management, Inc. 2023

1900 Powell Street, Suite 220 Emeryville, CA 94608 (800) 488-7274 Toll Free USA (415) 292-5400 (415) 292-5410 Fax www.trashmanage.com

Friday, March 3, 2023

Multi-Family/Commercial Loose Frequency/Size: x/wk-CY Size 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Multi-Family/Commercial Compa Frequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week 6 x Week Pullout Service Rates (per conta	2 \$309.02 \$638.63 \$970.54 \$1,301.30 \$1,630.91 \$1,961.67	3 \$437.20 \$913.31 \$1,388.28 \$1,864.39 \$2,341.65 \$2,817.76 ad Waste Rate 4 \$1,269.56	\$3,689.87 es:	\$254.08 \$344.49 \$434.91 \$525.33	
Frequency/Size: x/wk-CY Size 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Multi-Family/Commercial Compa Frequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta	2 \$309.02 \$638.63 \$970.54 \$1,301.30 \$1,630.91 \$1,961.67 acted Front Loa	3 \$437.20 \$913.31 \$1,388.28 \$1,864.39 \$2,341.65 \$2,817.76 ad Waste Rate 4 \$1,269.56	\$581.41 \$1,174.26 \$1,825.48 \$2,448.09 \$3,068.40 \$3,689.87	\$73.25 \$163.66 \$254.08 \$344.49 \$434.91 \$525.33	
1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Multi-Family/Commercial Compa Frequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta	\$638.63 \$970.54 \$1,301.30 \$1,630.91 \$1,961.67 acted Front Loa	\$913.31 \$1,388.28 \$1,864.39 \$2,341.65 \$2,817.76 ad Waste Rate 4 \$1,269.56 64-gal cart \$58.60	\$1,174.26 \$1,825.48 \$2,448.09 \$3,068.40 \$3,689.87	\$163.66 \$254.08 \$344.49 \$434.91 \$525.33	
3 x Week 4 x Week 5 x Week 6 x Week Multi-Family/Commercial Comportequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta	\$970.54 \$1,301.30 \$1,630.91 \$1,961.67 acted Front Loa	\$1,388.28 \$1,864.39 \$2,341.65 \$2,817.76 ad Waste Rate \$1,269.56 64-gal cart \$58.60	\$1,825.48 \$2,448.09 \$3,068.40 \$3,689.87	\$254.08 \$344.49 \$434.91 \$525.33	
4 x Week 5 x Week 6 x Week Multi-Family/Commercial Comportequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per contact	\$1,301.30 \$1,630.91 \$1,961.67 acted Front Loa 2	\$1,864.39 \$2,341.65 \$2,817.76 ad Waste Rate 4 \$1,269.56 64-gal cart \$58.60	\$2,448.09 \$3,068.40 \$3,689.87 es:	\$344.49 \$434.91 \$525.33	
5 x Week 6 x Week Multi-Family/Commercial Compa Frequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta	\$1,630.91 \$1,961.67 acted Front Loa 2	\$2,341.65 \$2,817.76 ad Waste Rate 4 \$1,269.56 64-gal cart \$58.60	\$3,068.40 \$3,689.87 es:	\$434.91 \$525.33	
6 x Week Multi-Family/Commercial Compa Frequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta	\$1,961.67 acted Front Loa 2	\$2,817.76 ad Waste Rate 4 \$1,269.56 64-gal cart \$58.60	\$3,689.87 es: 96-gal cart	\$525.33 2CY	
Multi-Family/Commercial Compose Frequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta	acted Front Loa 2	4 \$1,269.56 64-gal cart \$58.60	es: 	2CY	
Frequency/Size: x/wk-CY Size 1 Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta	2	4 \$1,269.56 64-gal cart \$58.60	96-gal cart		
Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week	_	\$1,269.56 64-gal cart \$58.60	96-gal cart		
Compost Carts 1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week	\$634.78	64-gal cart \$58.60	96-gal cart		
1 x Week 2 x Week 3 x Week 4 x Week 5 x Week 6 x Week		\$58.60			
2 x Week 3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta			\$87.90	0047.04	
3 x Week 4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta				\$247.21	
4 x Week 5 x Week 6 x Week Pullout Service Rates (per conta		\$130.96	· ·	\$510.90	
5 x Week 6 x Week Pullout Service Rates (per conta		\$203.26			
6 x Week Pullout Service Rates (per conta		\$275.60		1 1 1	
Pullout Service Rates (per conta		\$347.93	'	\$1,304.73	
		\$420.26	\$596.06	\$1,569.34	
	ainer):				
	Carts	Bins			
1 x Week	\$50.00				
2 x Week	\$100.00				
3 x Week	\$150				
4 x Week	\$200.00				
5 x Week 6 x Week	\$250 \$300	\$1,000.00 \$1,200.00			
	•			l to multiport the cities	l oo Therross
*Pull out service may also be offe typically offer the service at a muc first quarter 2023.					
Stationary Compactor Cost	\$21,360.00	A1000, 1-4C	Y Towable bins, tax,	ship Install	
Stationary Compactor Cost			Y Towable bins, tax,		

Page 15 of 17

ISSUES AND REVISIONS

ARCHITECTS KORTH SUNSERI HAGEY

SMITH DEVELOPMENT

2525 PARK BLVD

PALO ALTO, CA 94306

05.25.21 PLANNING SUBMITTAL

PLANNING RESUBMITTAL #1 PLANNING RESUBMITTAL #2 02.04.22

PLANNING RESUBMITTAL #3 06.22.22 PLANNING RESUBMITTAL #4 11.02.22 03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBER

SHEET TITLE

TRASH MANAGEMENT PLAN

SCALE

SHEET NUMBER

© American Trash Management, Inc. 2023 Page 16 of 17 Friday, March 3, 2023 © American Trash Management, Inc. 2023

PROJECTED OFFICE ONLY TRASH COLLECTION SCHEDULE / WK									
SERVICE	М	Т	W	Т	F	S	SU		
LOOSE WASTE (4CY)	1		1						
LOOSE RECYCLE (4CY)		1		1					
COMPOST (2CY)	1								
TOTAL	2	1	1	1	0	0	0		

TRASH ROUTE / STAGING PLAN

GROUND LEVEL

PROJECTED OFFICE W/ CAFETERIA TRASH COLLECTION SCHEDULE / WK								
SERVICE	М	Т	W	Т	F	S	SU	
LOOSE WASTE (4CY)	1	1	1	1				
LOOSE RECYCLE (4CY)	1	1	1	1				
COMPOST (2CY)	1		1		1			
TOTAL	3	2	3	2	1	0	0	

PROJECTED RETAIL TRASH SCHEDULE / WK								
SERVICE	М	Т	W	Т	F	S	SU	
LOOSE WASTE (96G)	2							
LOOSE RECYCLE (96G)	2							
COMPOST (64G)	1							
TOTAL	5	0	0	0	0	0	0	

SHEET NOTES.

TRASH ROUTE / STAGING PLAN. GROUND LEVEL.

- 1. STAFF TO TRANSPORT FRONT-LOAD CONTAINERS TO STAGING AREA WITH ELECTRIC PALLET TRUCK. 4000LB CAPACITY WITH 45.5" TURNING RADIUS. 120V 15A SERVICE OUTLET REQUIRED.
- 2. NOTE THAT TOTER CARTS WILL BE SERVICED BY SIDE-LOAD COLLECTION VEHICLE AND CONTAINERS WILL BE SERVICED BY FRONT-LOAD COLLECTION VEHICLE. STAFF SHALL STAGE TOTER CARTS AND CONTAINERS ON SEPARATE DAYS.

GENERAL NOTES.

- 1. ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
- 2. ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
- 3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

LEGEND.

STAFF PATH OF TRAVEL FROM COMMERCIAL OFFICE TRASH ROOM TO TRASH STAGING AREA ON GRANT AVENUE.

STAFF PATH OF TRAVEL FROM RETAIL TRASH ROOM TO TRASH

ARCHITECTS
KORTH SUNSERI HAGEY

2525 PARK BLVD

PALO ALTO, CA 94306

SMITH DEVELOPMENT

AMERICAN TRASH MANAGEMENT, INC.

1900 Powell Street, Suite 220 Emeryville, CA 94608 P: 415.292.5400 F: 415.292.5410 consultingprojects@trashmanage.com

03.03.23

ISSUES AND REVISIONS NO. DATE DESCRIPTION Planning Submittal Planning Resubmittal #1 Planning Resubmittal #2 Planning Resubmittal #3 Planning Resubmittal #4

Planning Resubmittal #5

PROJECT NUMBER 20008

SHEET TITLE

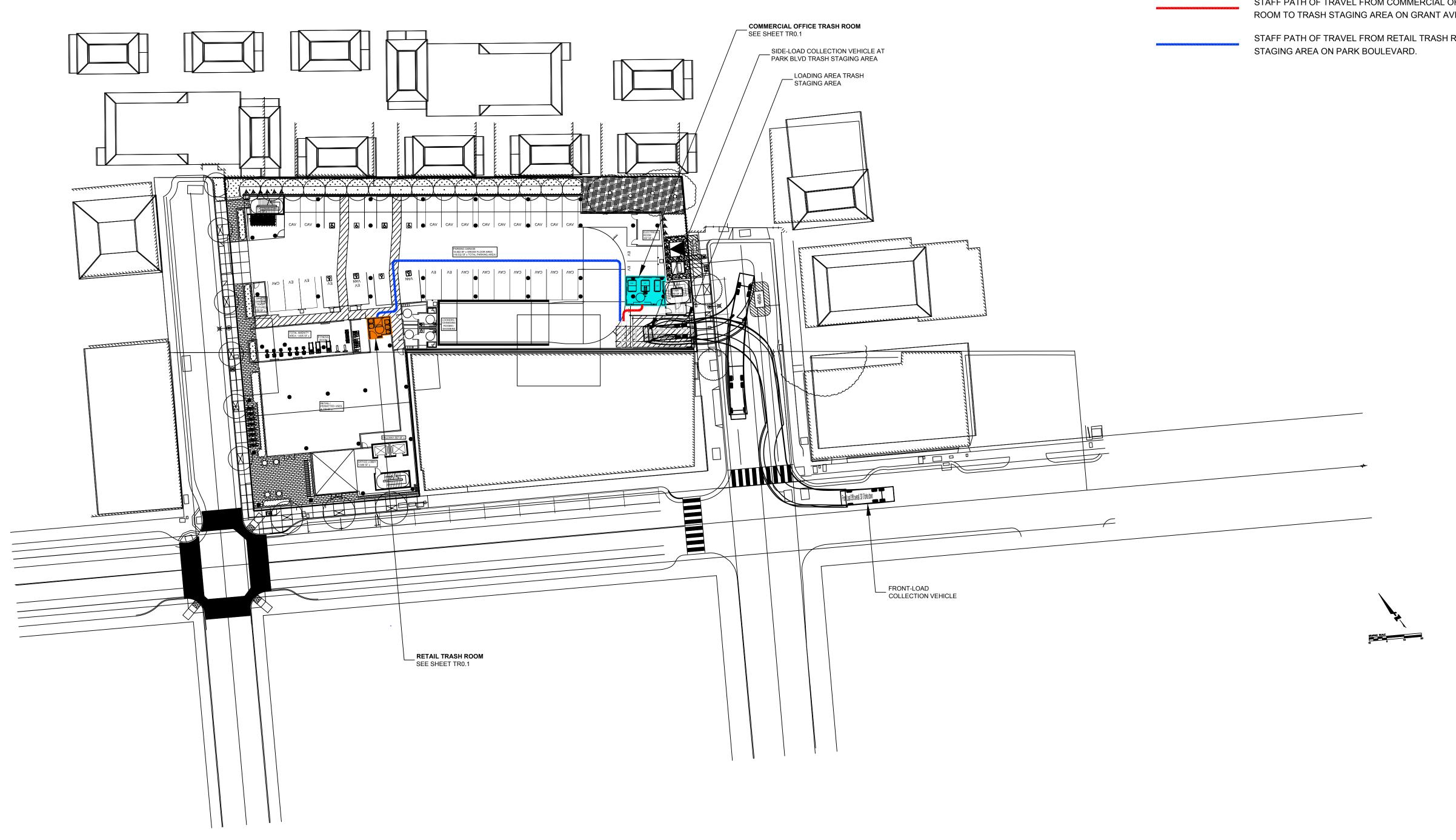
TRASH ROUTE / **STAGING PLAN**

As Indicated

SHEET NUMBER

TR0.0

SCALE: ½2" = 1'-0"



PROJECTED OFFICE ONLY TRASH COLLECTION SCHEDULE / WK								
SERVICE	М	Т	W	Т	F	S	SU	
LOOSE WASTE (4CY)	1		1					
LOOSE RECYCLE (4CY)		1		1				
COMPOST (2CY)	1							
TOTAL	2	1	1	1	0	0	0	

FICE ONLY TRASH COLLECTION SCHEDULE / WK								PROJECTED OFFICE W/ CAFETERIA TRASH COLLECTION SCHEDULE / WK							
	М	Т	W	Т	F	S	SU	SERVICE	М	Т	W	Т	F	s	SU
	1		1					LOOSE WASTE (4CY)	1	1	1	1			
()		1		1				LOOSE RECYCLE (4CY)	1	1	1	1			
	1							COMPOST (2CY)	1		1		1		
	2	1	1	1	0	0	0	TOTAL	3	2	3	2	1	0	0

PROJECTE	ED RET	AIL TR	ASH SC	HEDUL	E/WK		
SERVICE	М	Т	W	Т	F	S	SU
LOOSE WASTE (96G)	2						
LOOSE RECYCLE (96G)	2						
COMPOST (64G)	1						
TOTAL	5	0	0	0	0	0	0

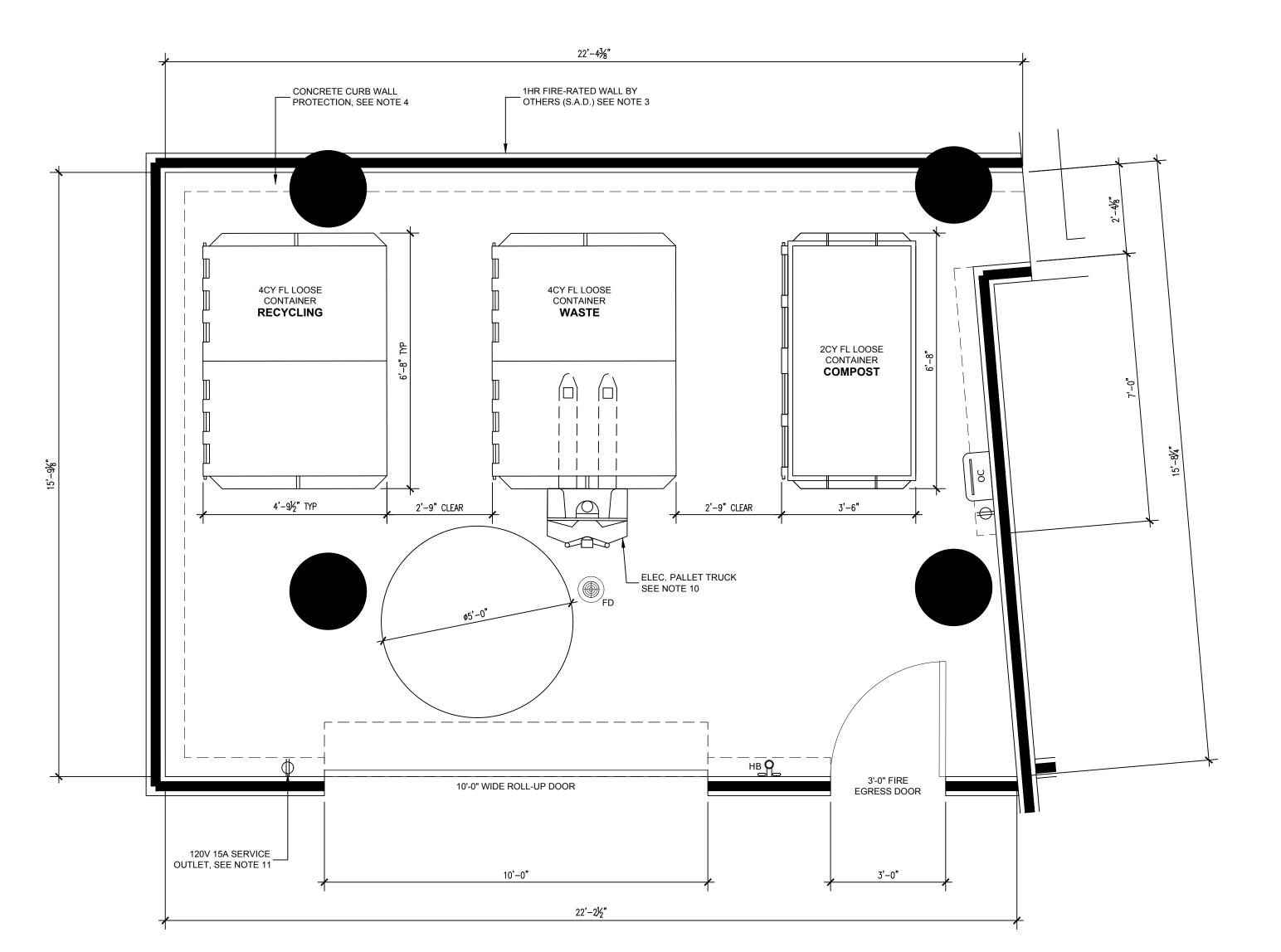
SHEET NOTES.

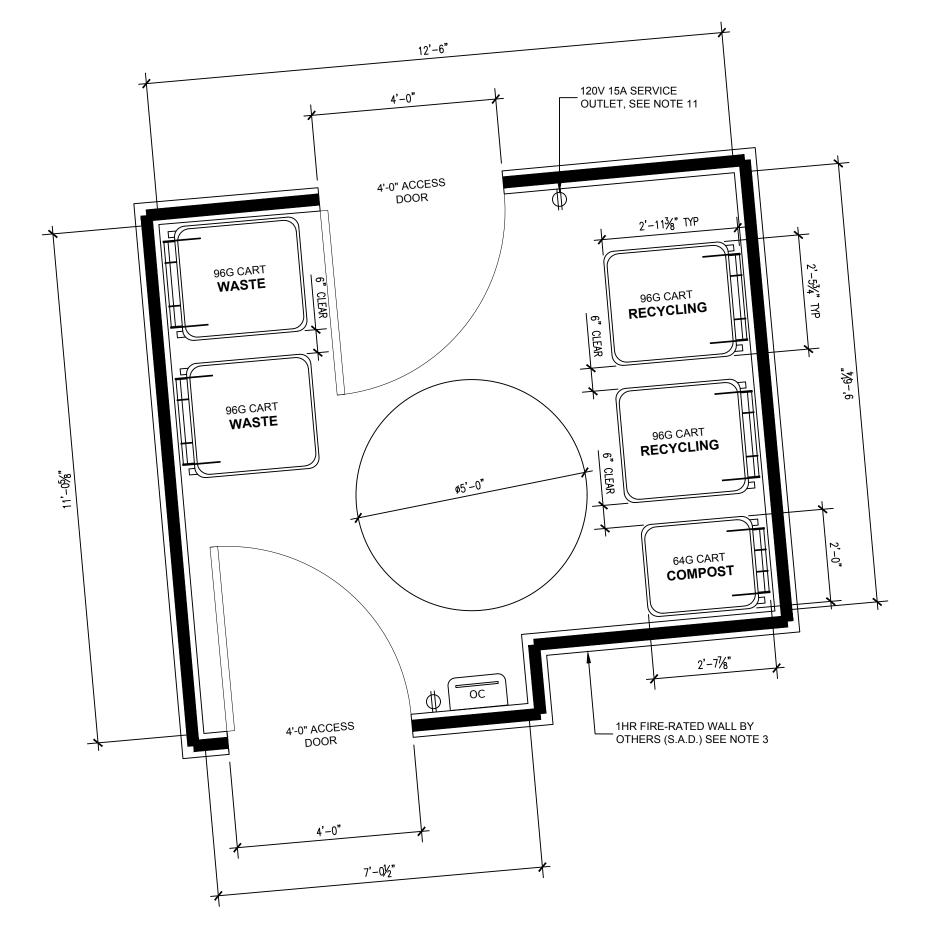
OFFICE TRASH ROOMS. GROUND LEVEL.

- 1. TRASH COLLECTION ROOMS ARE 1HR FIRE-RATED RESTRICTED ACCESS. 2. FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE
- MINIMAL SLOPE (1° MAX) AND FLOOR DRAIN. 3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS
- FRP OR HIGH-GLOSS ENAMEL PAINT 8'-0" AFF. 4. WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF WALLS PER PLAN.
- 5. ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/SF PER 2019 CBC. 6. AT COMMERCIAL OFFICE TRASH PROVIDE 10'-0" WIDE ROLL-UP DOOR FOR
- TRANSFERRING CONTAINERS AND 3'-0" NFPA COMPLIANT FIRE EGRESS DOOR. 7. AT RETAIL TRASH PROVIDE 4'-0" NFPA COMPLIANT ACCESS DOORS. 8. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. 120V 15A SERVICE
- OUTLET REQUIRED.
- 9. HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF. 10. PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB
- CAPACITY WITH 45.5" TURNING RADIUS. 120V 15A SERVICE OUTLET REQUIRED.
- 11. PROVIDE (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

GENERAL NOTES.

- 1. ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
- 2. ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
- 3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.





COMMERCIAL OFFICE TRASH ROOM PLAN

GROUND LEVEL

RETAIL TRASH ROOM PLAN

GROUND LEVEL

SCALE: ½" = 1'-0"

SMITH DEVELOPMENT

2525 PARK BLVD PALO ALTO, CA 94306



AMERICAN TRASH MANAGEMENT, INC.

1900 Powell Street, Suite 220 Emeryville, CA 94608 P: 415.292.5400 F: 415.292.5410 consultingprojects@trashmanage.com

ISSUES AND REVISIONS NO. DATE DESCRIPTION Planning Submittal Planning Resubmittal #1 Planning Resubmittal #2 Planning Resubmittal #3 Planning Resubmittal #4 Planning Resubmittal #5 03.03.23

PROJECT NUMBER 20008

SHEET TITLE

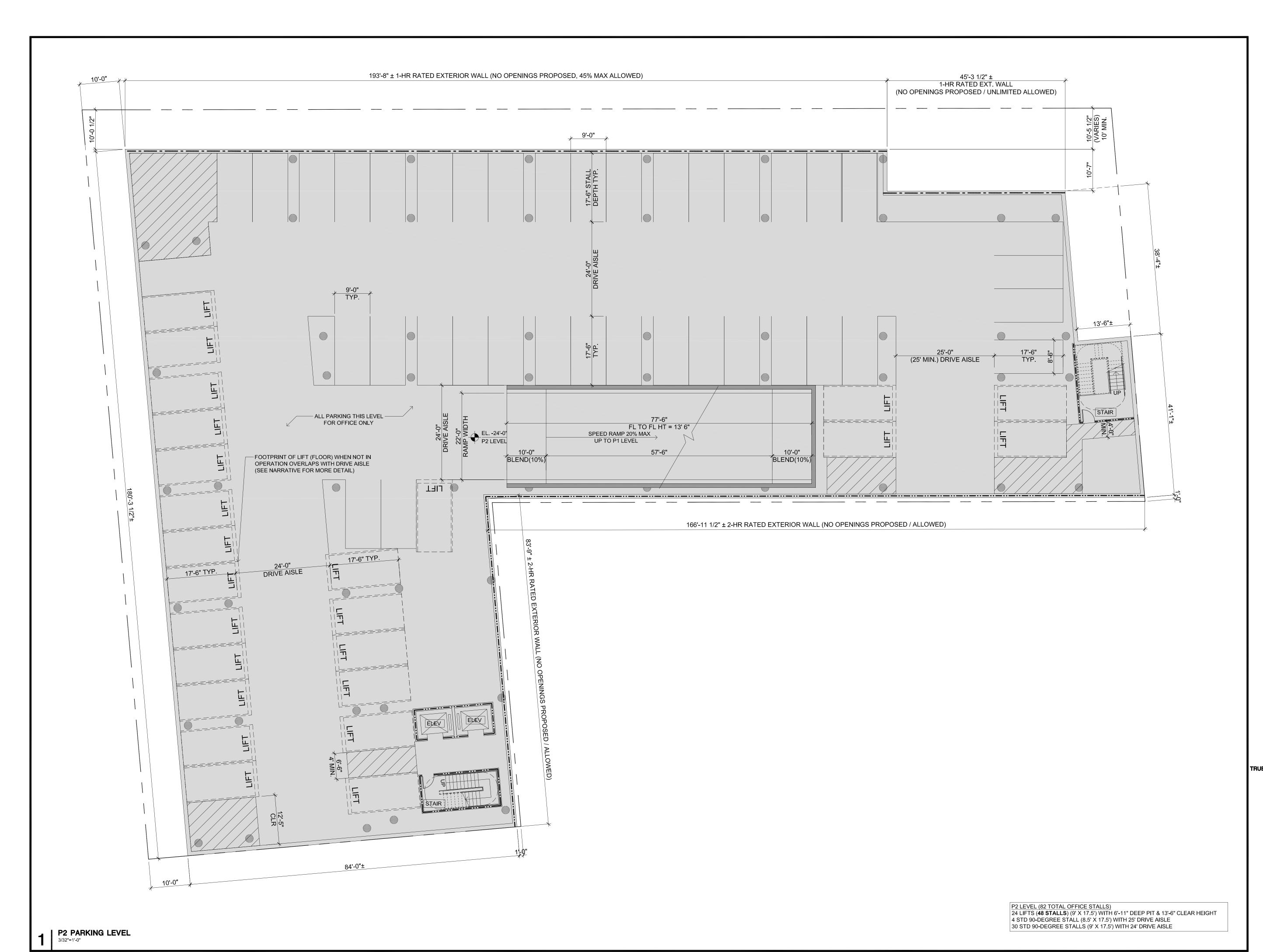
TRASH ROOM **PLANS**

As Indicated

SHEET NUMBER

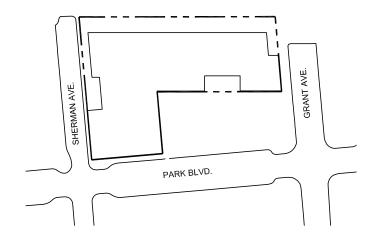
TR0.1

SCALE: ½" = 1'-0"



2525 PARK BLVD PALO ALTO, CA 94306





DATE DESCRIPTION
 05.25.21 PLANNING SUBMITTAL
 08.31.21 PLANNING RESUBMITTAL #1

02.04.22 PLANNING RESUBMITTAL #2
06.22.22 PLANNING RESUBMITTAL #3
11.02.22 PLANNING RESUBMITTAL #4
03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBER 20008

ISSUES AND REVISIONS

SHEET TITLE

PROPOSED PLAN PARKING PLAN P2

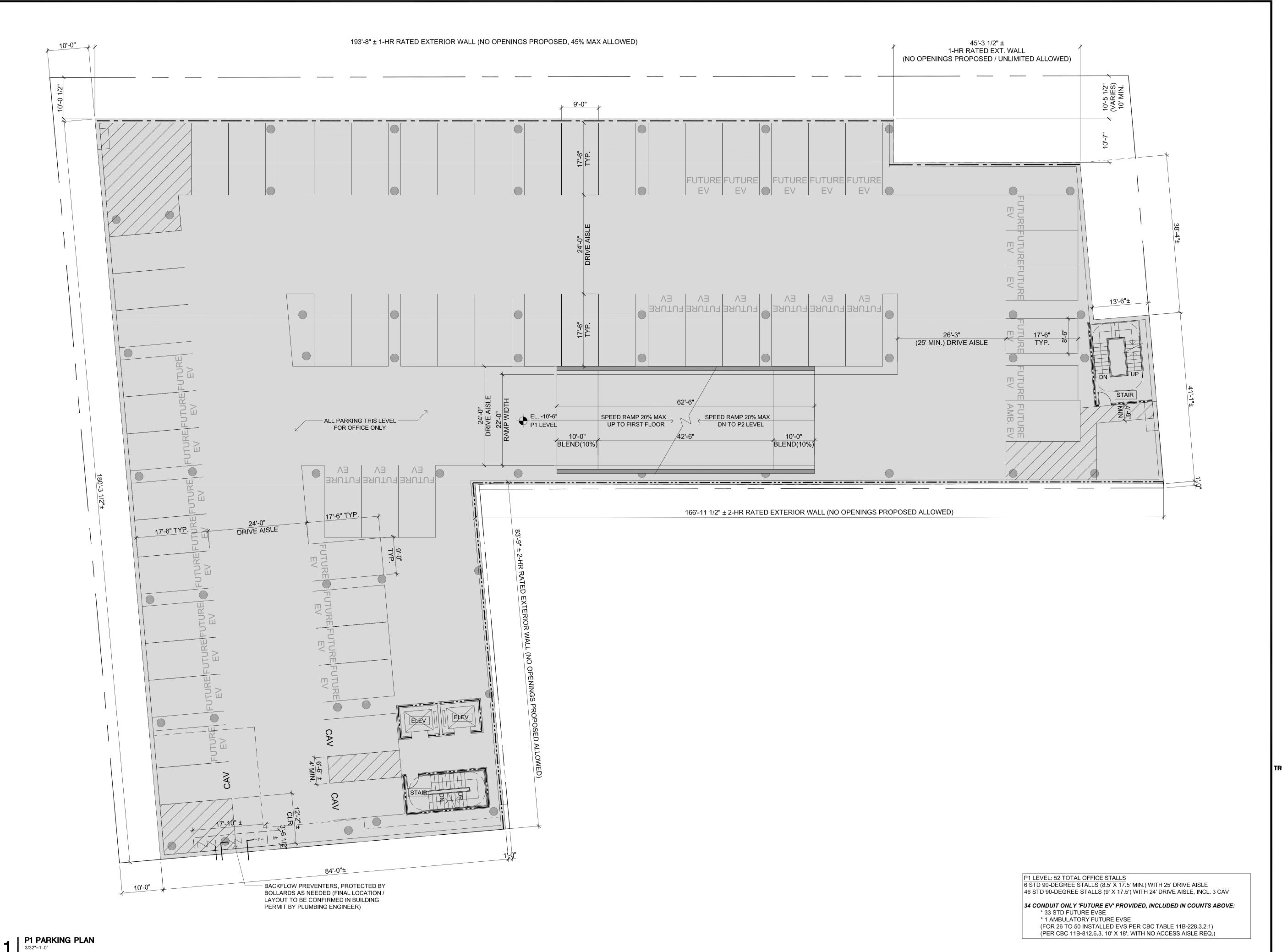
SCALE

3/32" = 1'-0"

0 10'-8" 2

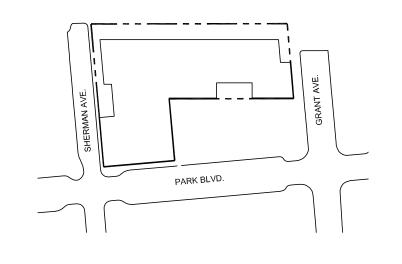
SHEET NUMBER

A2.P2



2525 PARK BLVD PALO ALTO, CA 94306





		ISSUES AND REVISIONS
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

PROJECT NUMBER 20008

SHEET TITLE

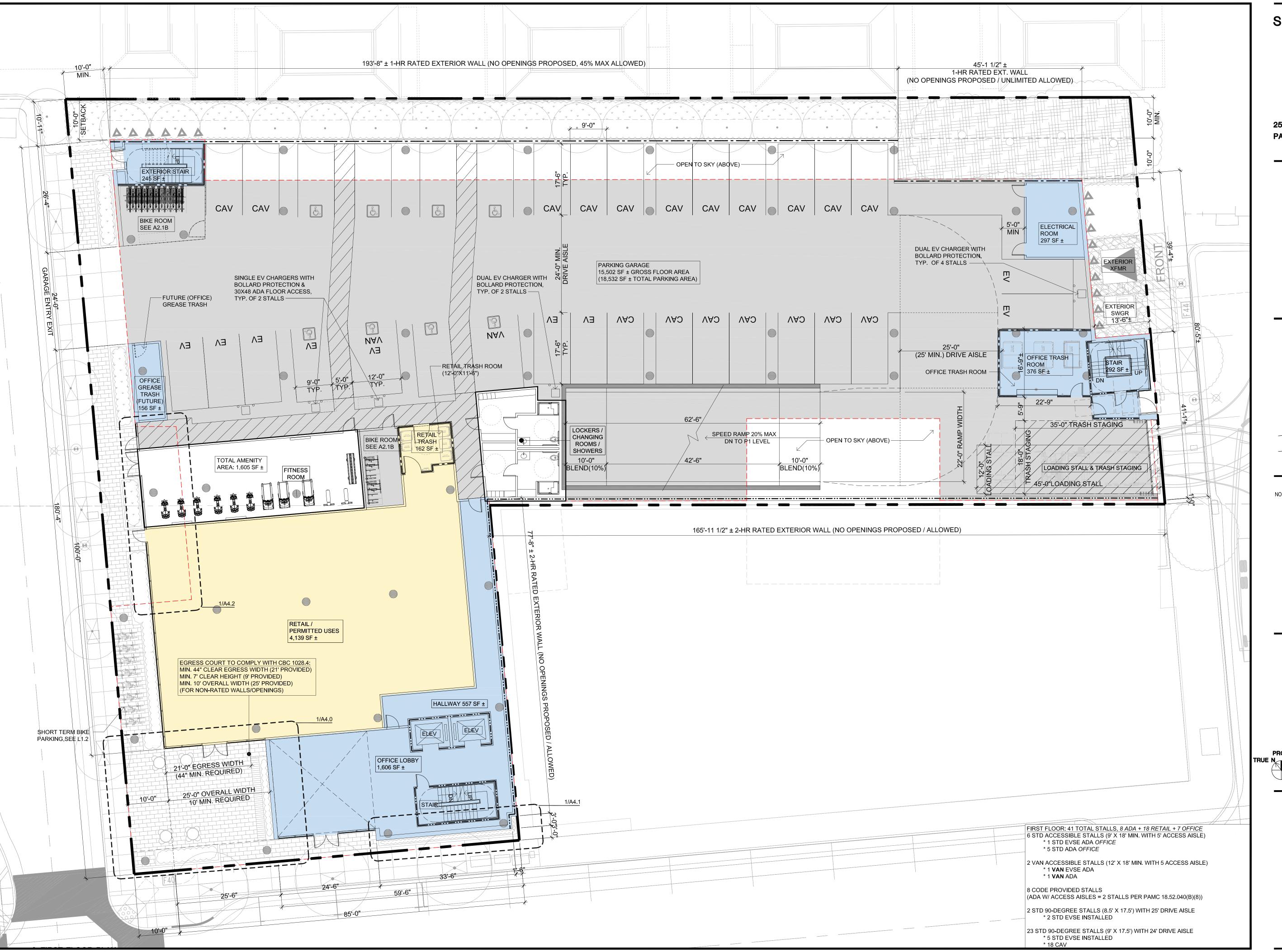
PROPOSED PLAN PARKING PLAN P1

3/32" = 1'-0"

0 10'-8" 21

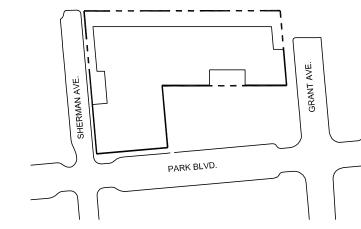
SHEET NUMBER

A2 P1



2525 PARK BLVD PALO ALTO, CA 94306





NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #
	02.04.22	PLANNING RESUBMITTAL #2
	06.22.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #

PROJECT NUMBER 20008

ISSUES AND REVISIONS

PROPOSED PLAN FIRST FLOOR

SHEET TITLE

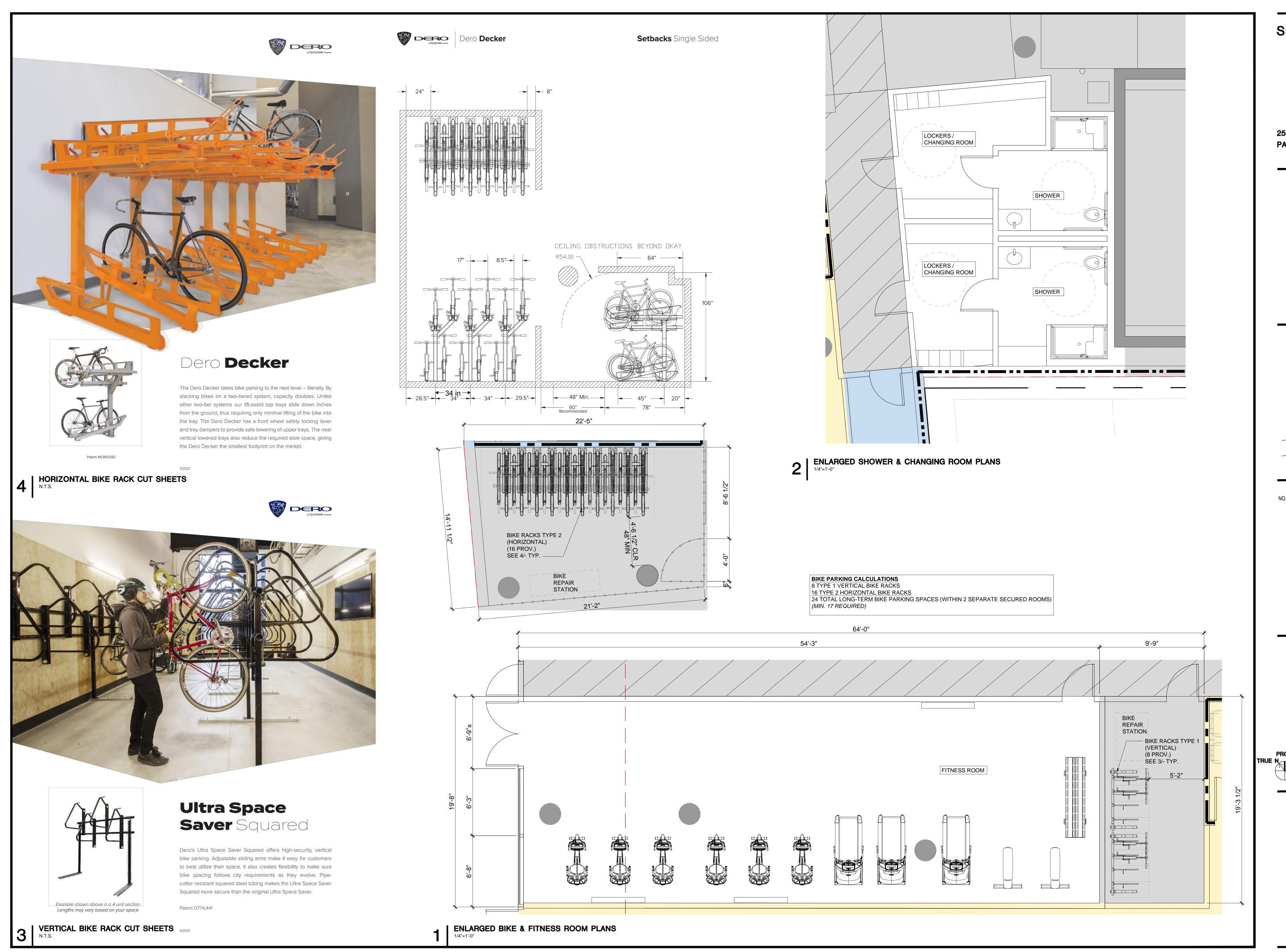
SCALE

3/32" = 1'-0"

0 10'-8" 21'-

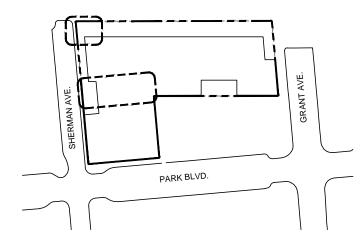
SHEET NUMBER

A2.1



2525 PARK BLVD PALO ALTO, CA 94306





ISSUES AND REVISIONS

NO. DATE DE

02.04.22 PLANNING RESUBMITTAL #2 06.22.22 PLANNING RESUBMITTAL #3

03.03.23 PLANNING RESUBMITTAL #5

PROJECT NUMBER 20008

SHEET TITLE

LONG TERM BIKE STORAGE

SCALE

1/4" = 1'-0"

PROJ. N

1/4" = 1'-0"

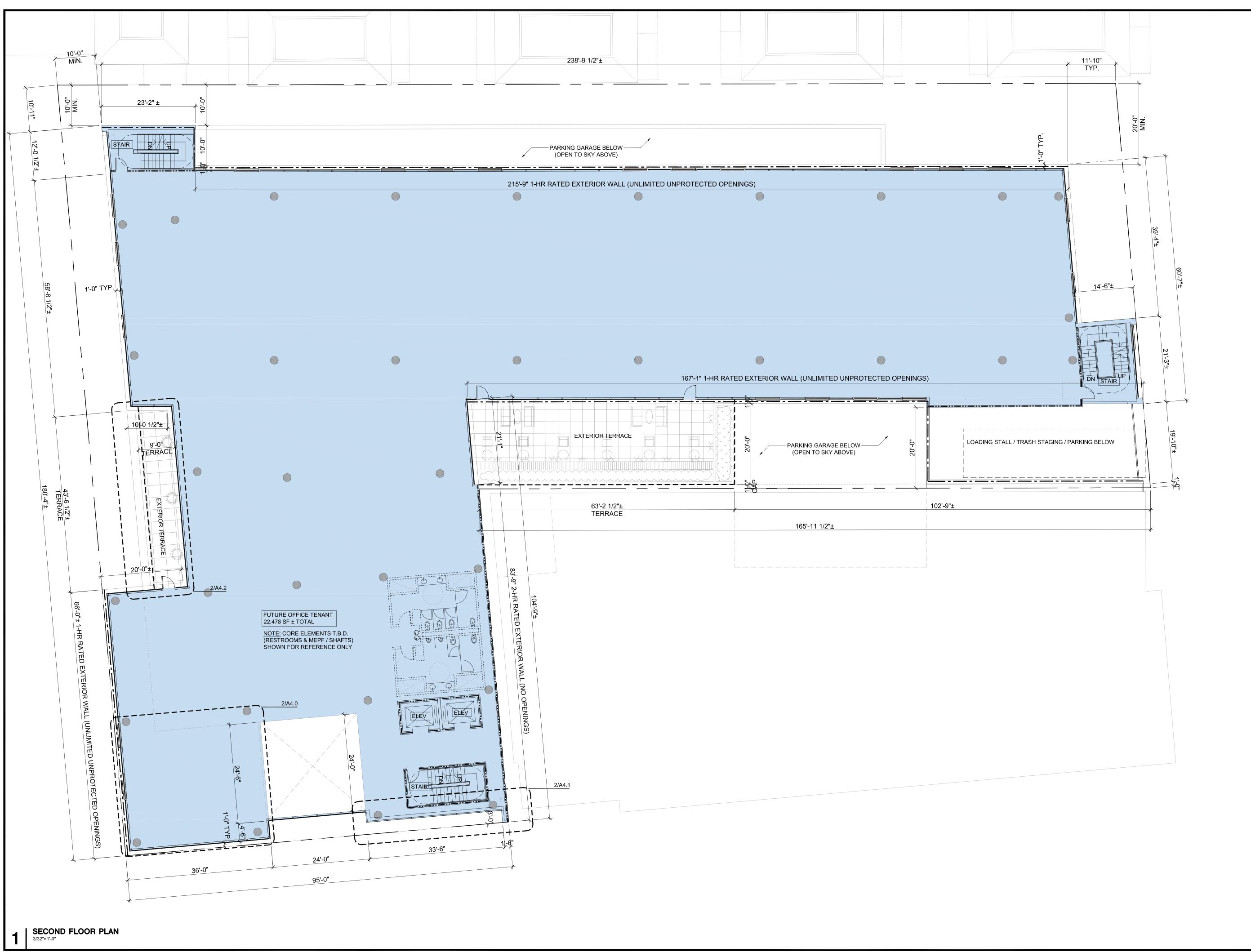
8'-0"

8'-0"

0 4'-0" 8

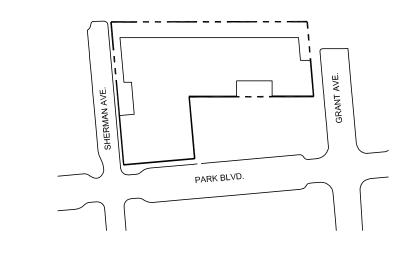
A2.1B

SHEET NUMBER



2525 PARK BLVD PALO ALTO, CA 94306





		ISSUES AND REVISIONS
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2
	06.06.22	PLANNING RESUBMITTAL #3
	11.02.22	PLANNING RESUBMITTAL #4
	03.03.23	PLANNING RESUBMITTAL #5

200

PROPOSED PLAN SECOND FLOOR

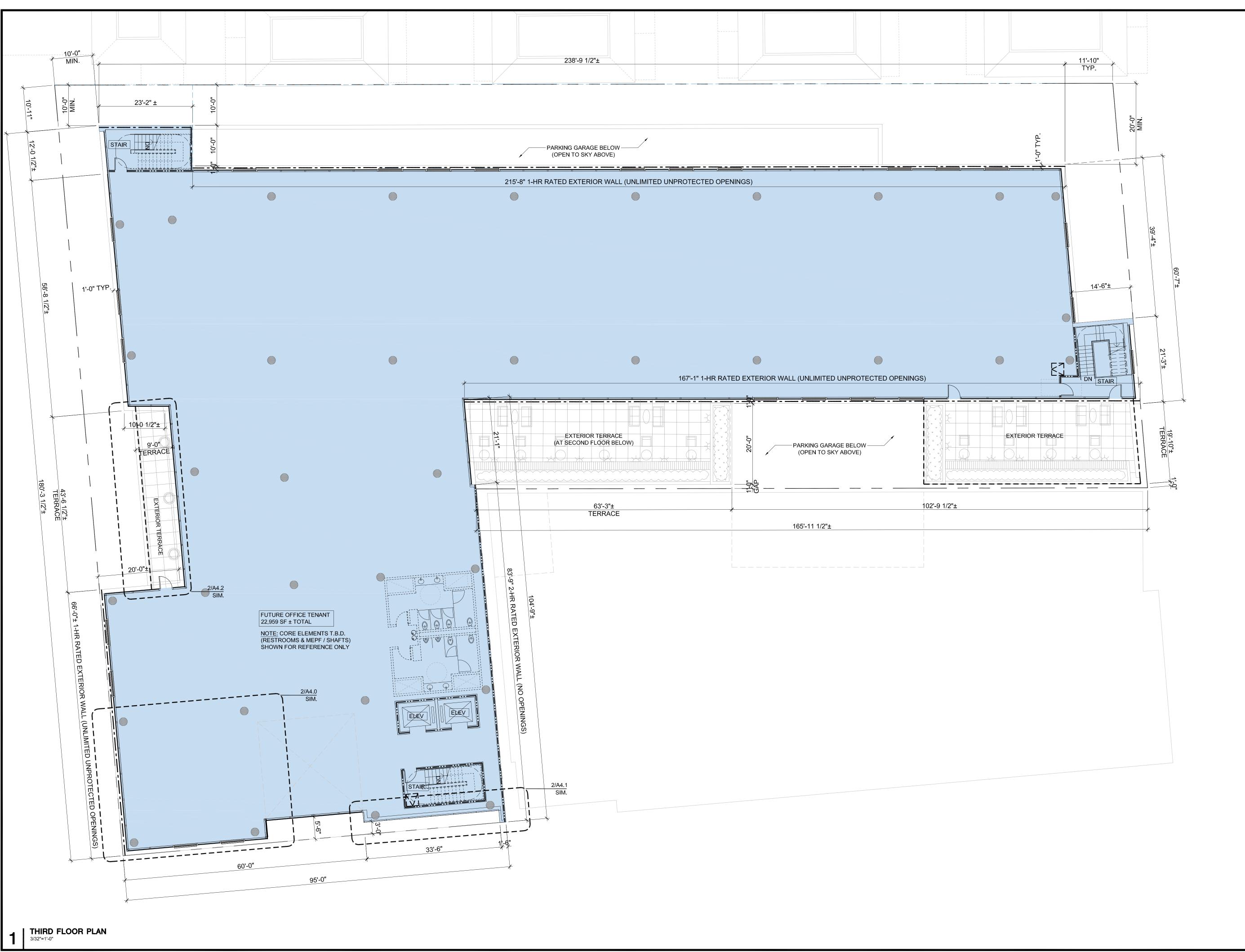
OLOGNO 1 LOG

3/32" = 1'-0"

10'-8"

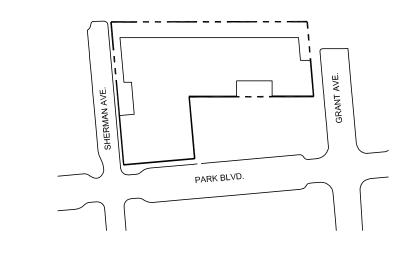
SHEET NUMBER

A22



2525 PARK BLVD PALO ALTO, CA 94306





DATE	DESCRIPTION
05.25.21	PLANNING SUBMITTAL
08.31.21	PLANNING RESUBMITTAL #1
02.04.22	PLANNING RESUBMITTAL #2
06.22.22	PLANNING RESUBMITTAL #3
11.02.22	PLANNING RESUBMITTAL #4
03.03.23	PLANNING RESUBMITTAL #5
	05.25.21 08.31.21 02.04.22 06.22.22 11.02.22

20

ISSUES AND REVISIONS

PROPOSED PLAN THIRD FLOOR

......

2/20" - 4' 0"

3/32" = 1'-0"

0 10'-8" 21'

SHEET NUMBER

A2.3

