

150 GRANT AVE / 123 SHERMAN AVE / 2501 PARK BLVD

PALO ALTO, CA



PLANNING RESUBMITTAL #2

02.04.2022

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PROJECT INFORMATION / ZONING COMPLIANCE

ZONING: CC(2)(R) REGIONAL / COMMUNITY COMMERCIAL SUBDISTRICT (2) / RETAIL (COMBINING)

APNS: 150 GRANT AVE (124-29-020), 123 SHERMAN AVE (124-29-013), 2501 PARK BLVD (124-29-012)

LAND USE (PAMC 18.16.040 TABLE 1):
PROFESSIONAL & GENERAL BUSINESS OFFICES
MEDICAL OFFICES (<5,000 SF)
RETAIL INCLUDING EAT-IN RESTAURANTS

(E) LOT AREA: 150 GRANT AVE: 26,143 SF
123 SHERMAN AVE: 3,111 SF
2501 PARK BLVD: 5,130 SF
TOTAL SITE AREA: 34,384 SF

MAX. SITE COVERAGE (PAMC 18.16.060 TABLE 3): NONE REQUIRED
45% EXISTING (15,523 SF / 34,384 SF)
86% PROPOSED (29,681 SF / 34,384 SF)

MAX. BUILDING HEIGHT (PAMC 18.16.060 TABLE 3): 37' MAX ALLOWED / PROPOSED (3 STORIES)
(SEE A3 - BUILDING ELEVATIONS / SECTIONS FOR MORE INFORMATION / DIMENSIONS)

SETBACKS (PAMC 18.16.060 TABLE 3):
FRONT YARD (PARK BLVD): 0'-10' TO CREATE AN 8'-12' EFFECTIVE SIDEWALK WIDTH
2'-31.5' PROVIDED (GROUND FLOOR) & 0' AT FLOORS 2/3 ABOVE, WITH AN EFFECTIVE 7'-6" ± SIDEWALK WIDTH
(TO MATCH ADJACENT PROPERTY AT 2555 PARK RECENTLY REDEVELOPED)

REAR YARD: NONE REQUIRED* / 10' PROVIDED (P2 - FLOOR 1) & 20' PROVIDED (FLOORS 2-3)

INTERIOR SIDE YARDS: NONE REQUIRED / 0' - 1' PROVIDED AS NEEDED FOR CONSTRUCTABILITY (ALL LEVELS)

STREET SIDE YARDS (SHERMAN AVE / GRANT AVE): NONE REQUIRED*
0' PROVIDED (FLOORS 2-3), PORTION OPPOSITE CC(2)(R) ONLY @ SHERMAN AVE.
10' MIN. REQ.* / PROVIDED (ENTIRE P2 - FLOOR 1 & FLOORS 2-3 @ PORTION OPPOSITE RM-40 ONLY) @ SHERMAN AVE.

0' PROVIDED (ALL FLOORS, PORTION OPPOSITE CC(2)(R) ONLY) @ GRANT AVE.
10' MIN. REQ. * / 13'-6" PROVIDED (ALL FLOORS, PORTION OPPOSITE RM-40 ONLY) @ GRANT AVE.

* 10' MINIMUM YARD FOR LOT LINES ABUTTING OR OPPOSITE RESIDENTIAL / RESIDENTIAL PC DISTRICTS
(PROPOSED PROJECT ABUTS RM-40 AT REAR LOT LINE & IS OPPOSITE RM-40 AT PORTIONS OF BOTH GRANT & SHERMAN AVES)

BUILD-TO-LINES: MIN. 50% FRONTAGE BUILT TO SETBACK, MIN. 33% SIDE STREETS BUILT TO SETBACK
FRONTAGE (PARK BLVD) PROVIDED: 50'-7" OF 95' BUILT TO SETBACK (~53.2%, 50% MIN. REQ.)
SIDE STREET (SHERMAN AVE.) PROVIDED: ~158'-10" OF ~191'-3" BUILT TO SETBACK (~83.1%, 33% MIN. REQ.)
SIDE STREET (GRANT AVE.) PROVIDED: ~44'-8" OF ~100'-4" BUILT TO SETBACK (~44.52%, 33% MIN. REQ.)

**DAYLIGHT PLANE: NONE REQUIRED (ONLY REQUIRED FOR LOT LINES ABUTTING ONE OR MORE RESIDENTIAL ZONE DISTRICTS
OTHER THAN RM-40 OR PC ZONE, HEIGHT & SLOPE TO MATCH MOST RESTRICTIVE RESIDENTIAL ZONE ABUTTING THE SITE LINE IN
QUESTION)**

(E) BUILDING AREA: 150 GRANT AVE: ~7,915 SF + ~1,703 SF (~9,618 SF TOTAL)
123 SHERMAN AVE: ~754 SF + ~1,810 SF (~2,564 SF TOTAL)
2501 PARK BLVD: ~3,341 SF
TOTAL (E) OFFICE AREA: 15,523 SF

PROPOSED FLOOR AREA:
RETAIL / PERMITTED USES AREA: 3,871 SF
FIRST FLOOR OFFICE AREA: 2,798 (LOBBY, ELEVATORS, STAIRS, TRASH ROOM, MAIN ELECTRICAL ROOM)
SECOND FLOOR OFFICE AREA: 22,638 SF
THIRD FLOOR OFFICE AREA: 22,638 SF
TOTAL OCCUPIED FLOOR AREA: 51,945 SF

UNOCCUPIED FIRST FLOOR COVERED (ONLY) PARKING AREA: 16,729 SF
TOTAL FLOOR AREA: 68,674 SF

NET OFFICE AREA: 48,074 SF

PROPOSED PARKING AREA:
P2/P1 LEVEL = 28,570 SF EA. (2 LEVELS): 57,140 SF
FIRST FLOOR COVERED + SURFACE PARKING AREA (INCL. EXT. STAIR): 19,759 SF
TOTAL PARKING AREA: 76,899 SF

FAR ALLOWED (PAMC 18.16.060 TABLE 3): 2.0:1 (68,768 SF MAX.)

FAR PROPOSED: 1.99:1 (68,674 SF). SEE ABOVE FOR SUMMARY
(EXCLUDES AMENITY FITNESS / SHOWERS IN GARAGE PER PAMC 18.04.030 65B(V))
TOTAL AMENITY AREA EXCLUDED FROM FAR & PARKING = 901 SF (~1.3 % FLOOR AREA, LESS THAN 5% ALLOWED)

PARKING REQUIRED (PAMC 18.52.040 TABLE 1):
1/250 SF OFFICE (193 TOTAL STALLS FOR 48,074 SF)

1/200 SF RETAIL / PERMITTED USES (20 TOTAL STALLS FOR 3,871 SF)

213 STALLS REQUIRED FOR 51,945 SF OCCUPIED FLOOR AREA
20% TDM REDUCTION: 171 STALLS REQUIRED

PARKING PROPOSED: TOTAL 172 STALLS (8 ADA + 147 OFFICE + 17 RETAIL)
P2 LEVEL: 82 TOTAL OFFICE STALLS
* 34 STD STALLS
* 24 PUZZLES (48 STALLS)

P1 LEVEL: 50 TOTAL OFFICE STALLS
* 50 STD STALLS (INCLUDING 33 FUTURE EV + 1 FUTURE AMBULATORY EV)

FIRST FLOOR: 40 TOTAL STALLS, 8 ADA + 17 RETAIL / PERMITTED USES + 15 OFFICE STALLS
* 6 STD ADA STALLS (INCL. 1 ADA EVSE)
* 2 VAN ADA STALLS (INCL. 1 VAN ADA EVSE)
* 4 STALLS (ADA ACCESS AISLES PER PAMC 18.52.040(b)(8))
* 7 STD EVSE STALLS
* 21 CAV STALLS

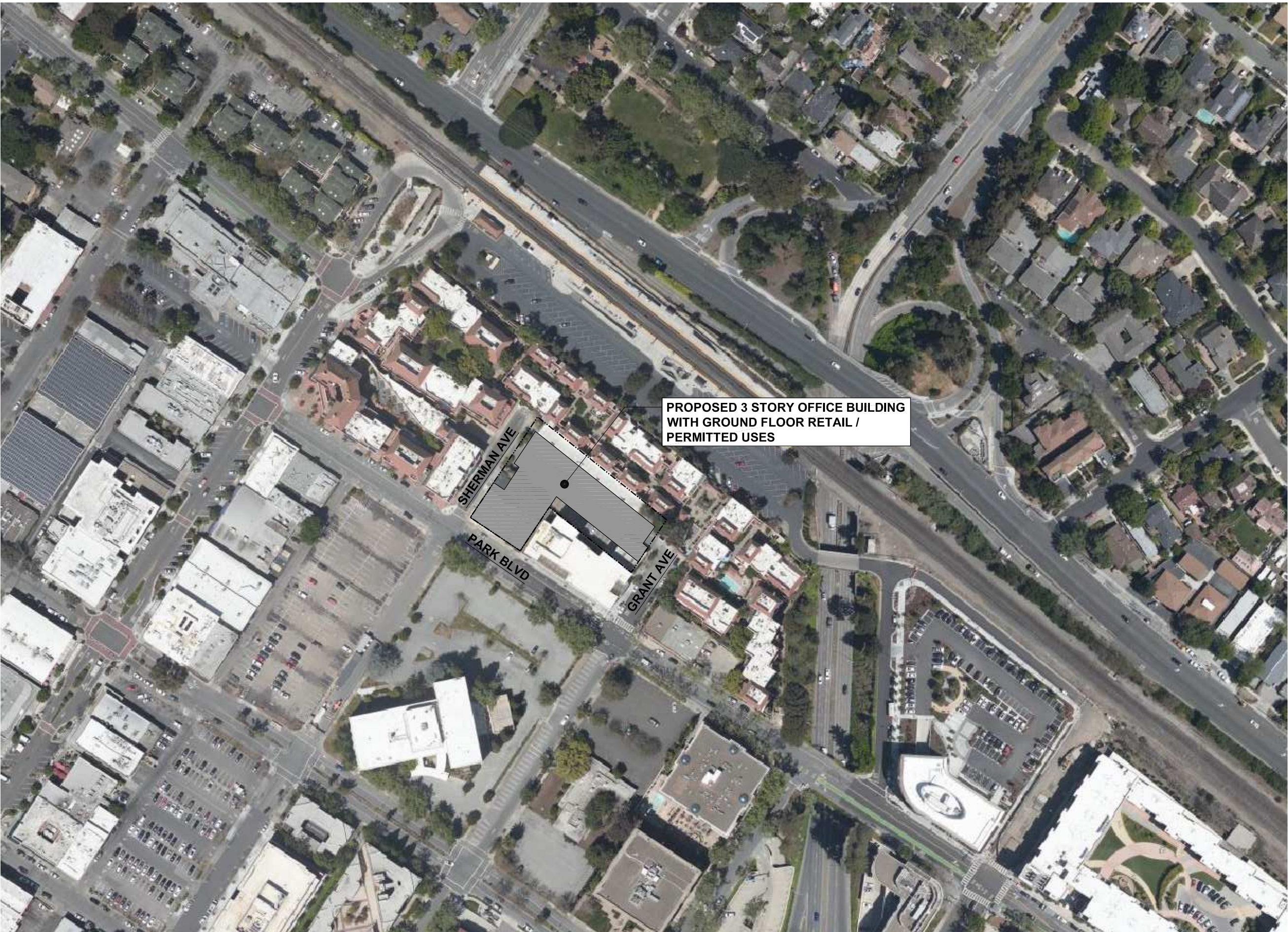
LOADING PARKING (1 LOADING STALL REQ. PER PAMC 18.52.040 TABLE 3 (FOR LESS THAN 100,000 SF), 12'X45'X15' CLEAR HT:
1 LOADING STALL PROPOSED AT PARK BLVD (SEE A1.1 & TR0.0)

ACCESSIBLE PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):
6 ADA REQUIRED (FOR 151-200 TOTAL STALLS PER CBC 11B-208.2)
* 5 STD ADA + 1 VAN ADA PROVIDED (PER CBC 11B-208.2.4)

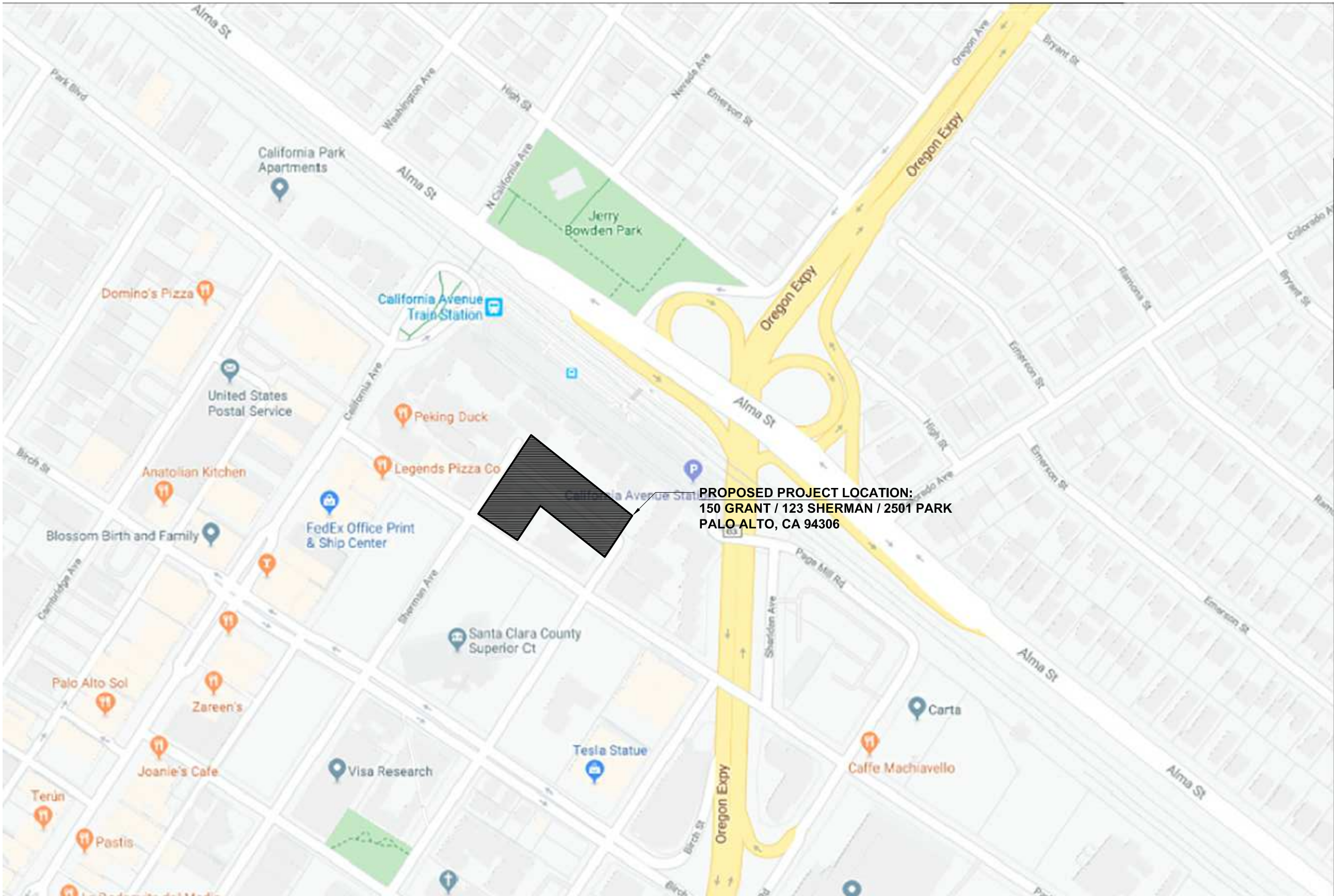
DESIGNATED CAV PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):
21 CAV STALLS (12% OF TOTAL STALLS PER CGC TABLE A5.106.5.1.2)

EV PARKING REQUIRED / PROVIDED (INCLUDED IN COUNTS ABOVE):
43 EVSE STALLS (25% OF TOTAL STALLS PER PAMC 16.14.430)
34 CONDUIT ONLY (20% FUTURE EV), INCLUDING:
* 33 STD FUTURE EVSE
* 1 AMBULATORY FUTURE EVSE (FOR 26 TO 50 FUTURE INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
FUTURE VAN AMBULATORY & STD EVSES TO BE LOCATED ON P1 LEVEL

9 EVSE INSTALLED (5% OF TOTAL STALLS PER PAMC 16.14.430), INCLUDING:
* 7 STD EVSE
* 1 VAN EVSE ADA (FOR 26 TO 50 FUTURE / INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
* 1 STD EVSE ADA (FOR 26 TO 50 FUTURE / INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
VAN ADA EVSE & STD ADA EVSE LOCATED ON FIRST FLOOR



2 NEIGHBOURHOOD CONTEXT MAP
N.T.S.



1 VICINITY MAP
N.T.S.

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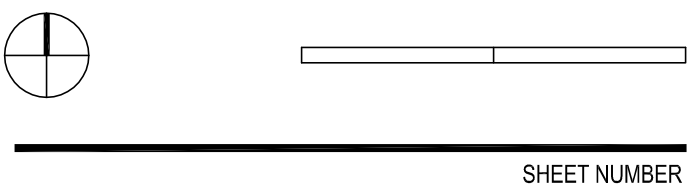


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
PROJECT INFORMATION

SCALE
AS INDICATED



SHEET NUMBER

A0.1

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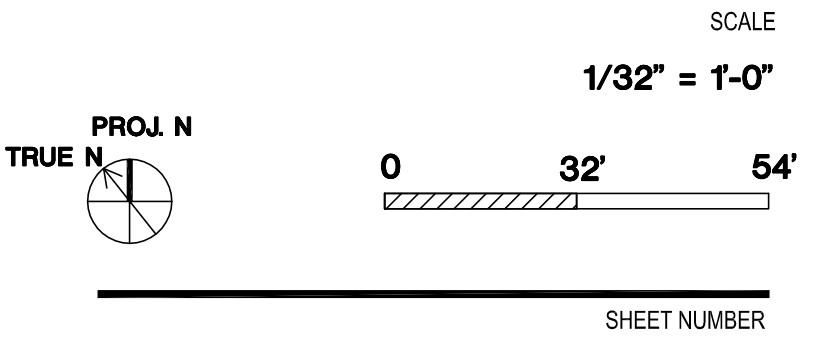
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SHEET TITLE
CODE & EGRESS COMPLIANCE



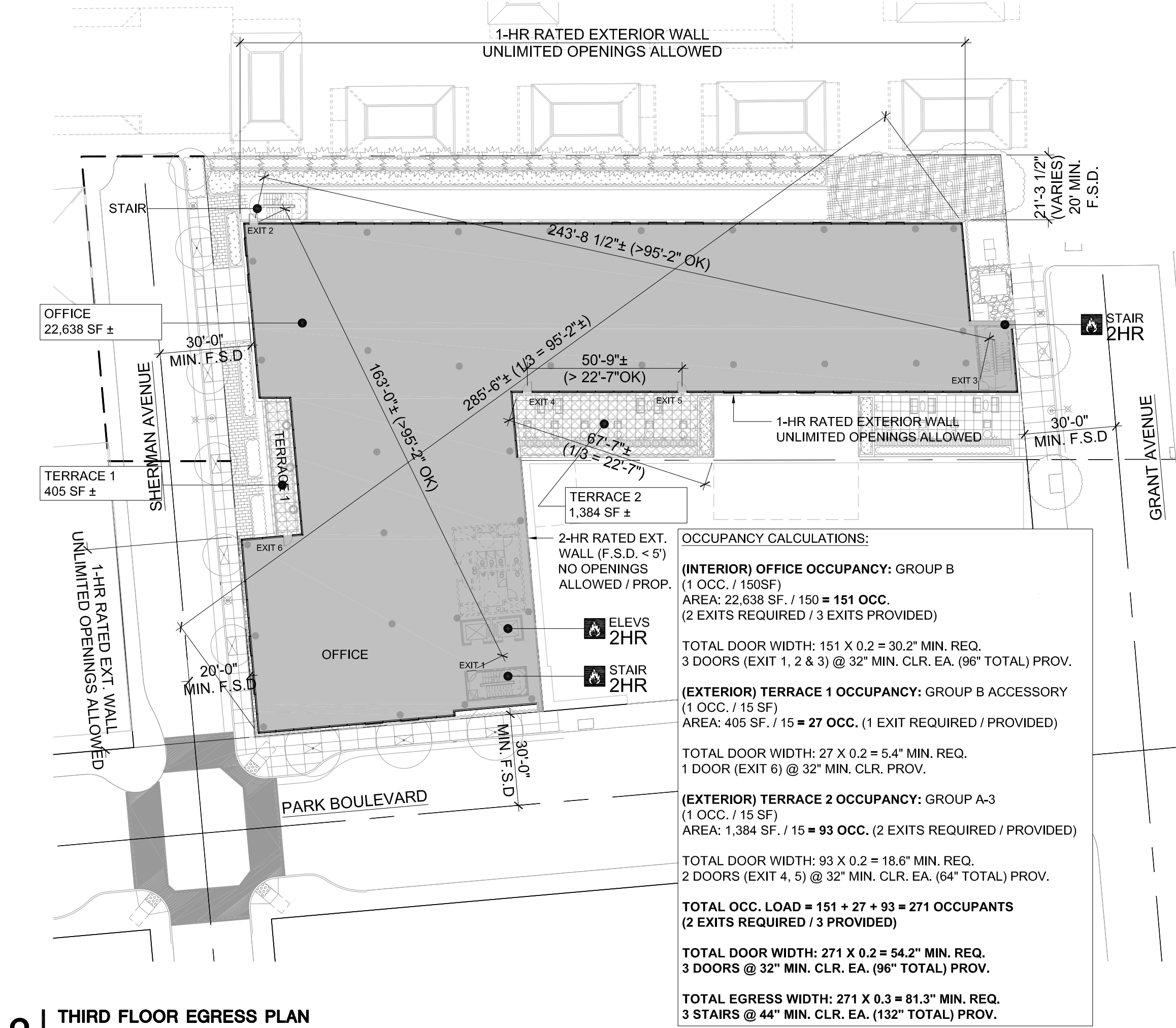
A0.2B

LEGEND

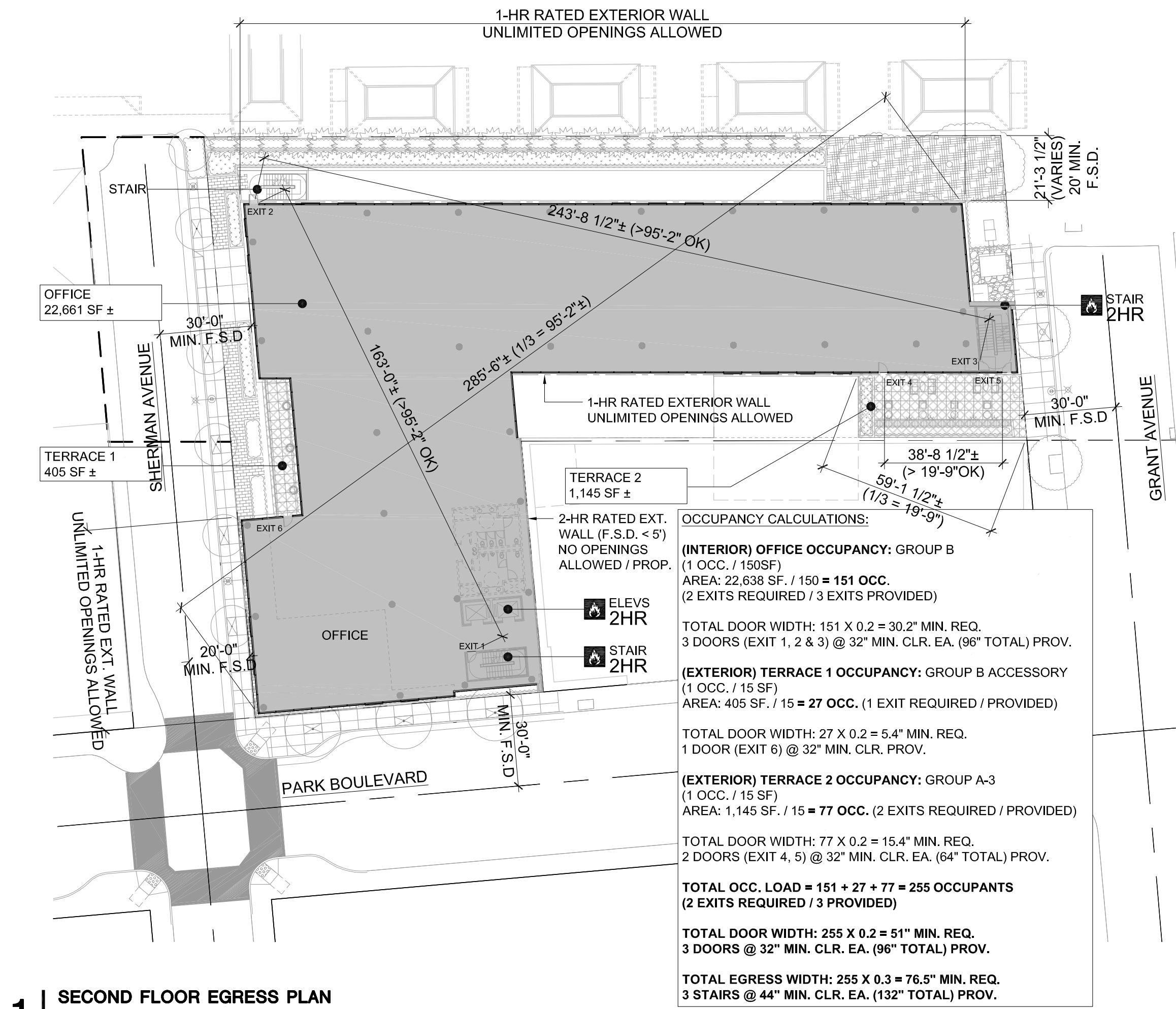
- A-3 ASSEMBLY AREA
B BUSINESS & ACCESSORY AREA
M RETAIL AREA
S-2 PARKING AREA

RATED BUILDING ELEMENT (AS NOTED)
* COMMON PATH OF EGRESS (CBC T 1006.2.1)
A, M = 75' MAX. (SPRINKLERED)
B, S = 100' MAX. (SPRINKLERED)

** EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2)
A, M = 250' MAX. (SPRINKLERED)
B = 300' MAX. (SPRINKLERED)
S-2 = 400' MAX. (SPRINKLERED)



2 THIRD FLOOR EGRESS PLAN
1/32"=1'-0"



1 SECOND FLOOR EGRESS PLAN
1/32"=1'-0"



A VIEW FROM SHERMAN AVE.
N.T.S.



B VIEW FROM CORNER OF PARK BLVD & SHERMAN AVE.
N.T.S.



C VIEW FROM PARK BLVD
N.T.S.



D VIEW FROM CORNER OF PARK BLVD & GRANT AVE
N.T.S.



E VIEW FROM GRANT AVE
N.T.S.



1 KEY PLAN - EXISTING SITE
N.T.S.

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SHEET TITLE
EXISTING SITE PHOTOS

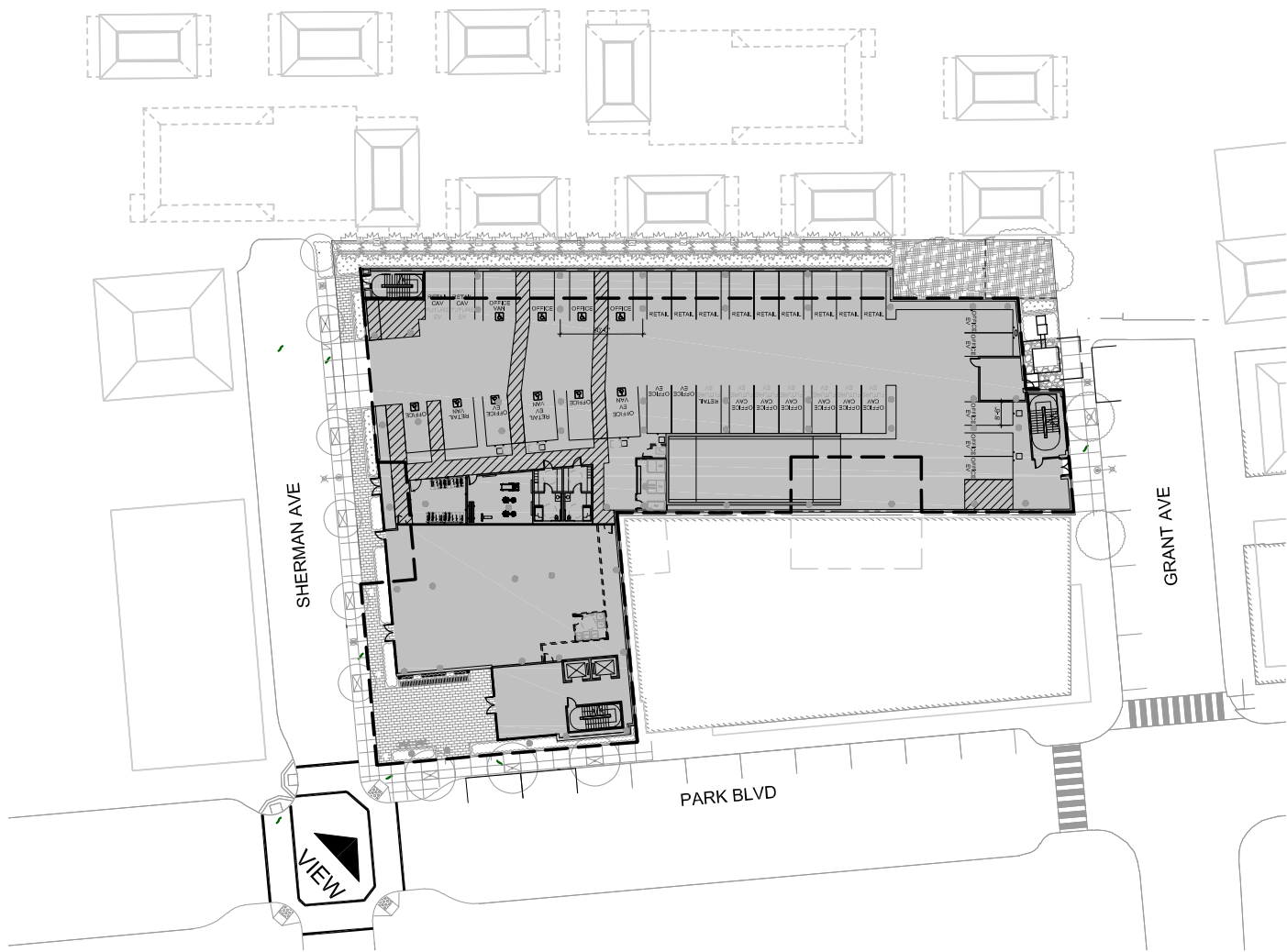
SCALE
N.T.S.

SHEET NUMBER

A0.3



VIEW FROM CORNER OF SHERMAN AVE. & PARK BLVD.



1 KEY PLAN - PROPOSED SITE
1/64"=1'-0"

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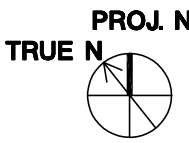


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SHEET TITLE
PROPOSED PERSPECTIVE

SCALE
AS NOTED

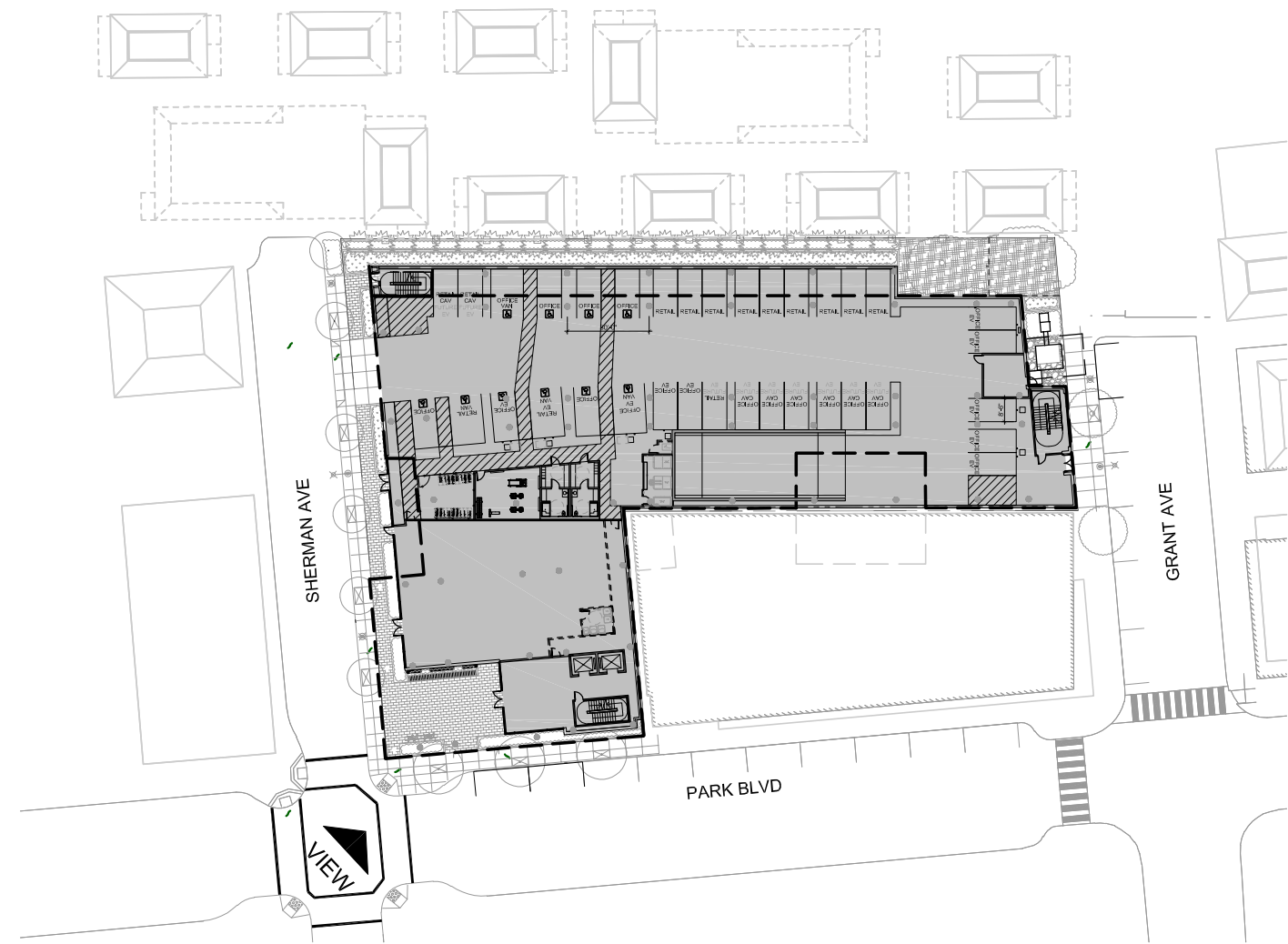


SHEET NUMBER

R1A



VIEW FROM CORNER OF SHERMAN AVE. & PARK BLVD.



1 KEY PLAN - PROPOSED SITE
1/64"=1'-0"

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SHEET TITLE
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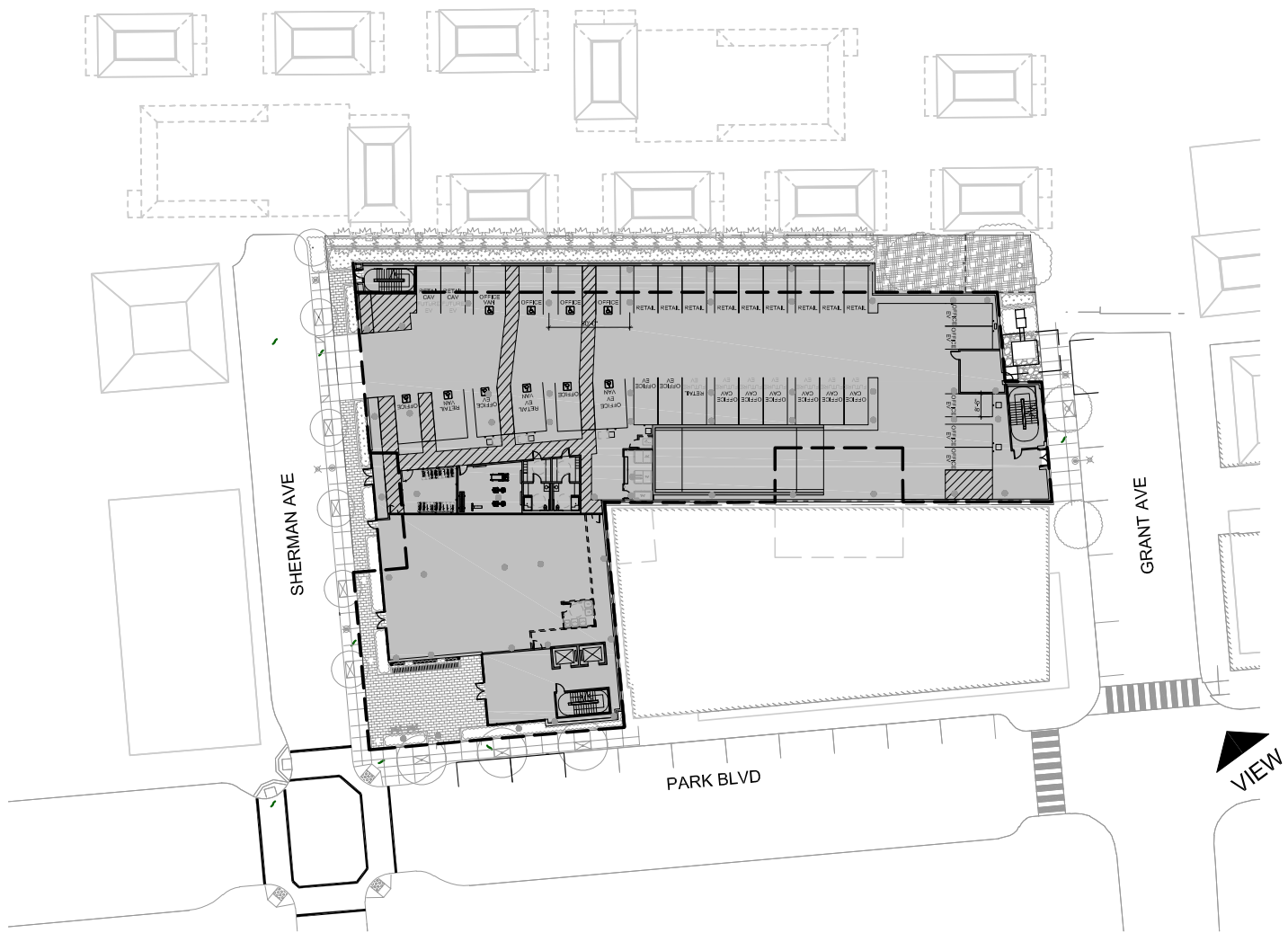


SHEET NUMBER

R1B



VIEW FROM CORNER OF GRANT AVE. & PARK BLVD.



1 KEY PLAN - PROPOSED SITE
1/64"=1'-0"

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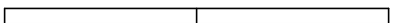


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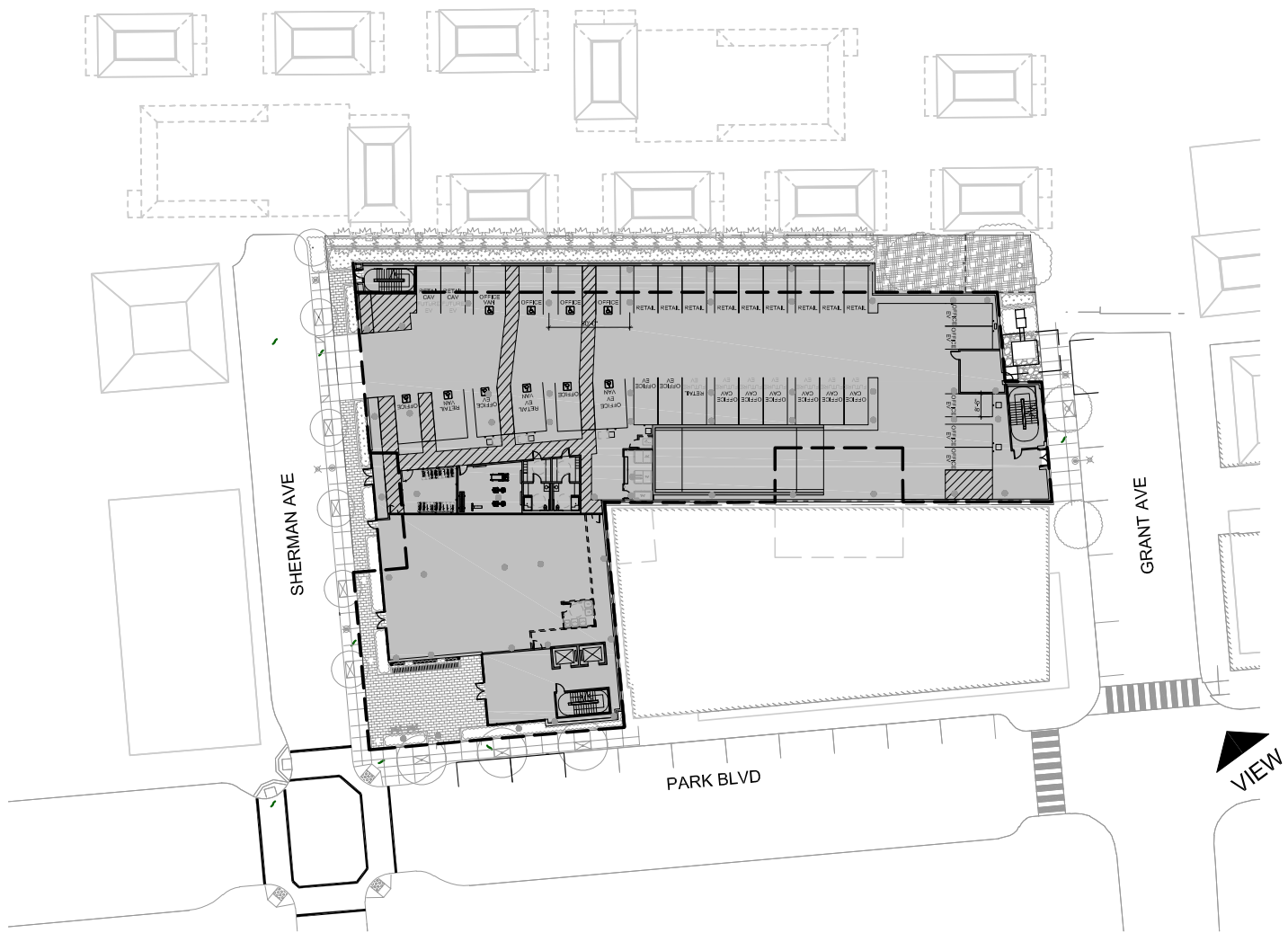


SHEET NUMBER

R2A



VIEW FROM CORNER OF GRANT AVE. & PARK BLVD.



1 KEY PLAN - PROPOSED SITE
1/64"=1'-0"

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SHEET TITLE
PROPOSED PERSPECTIVE

SCALE
AS NOTED

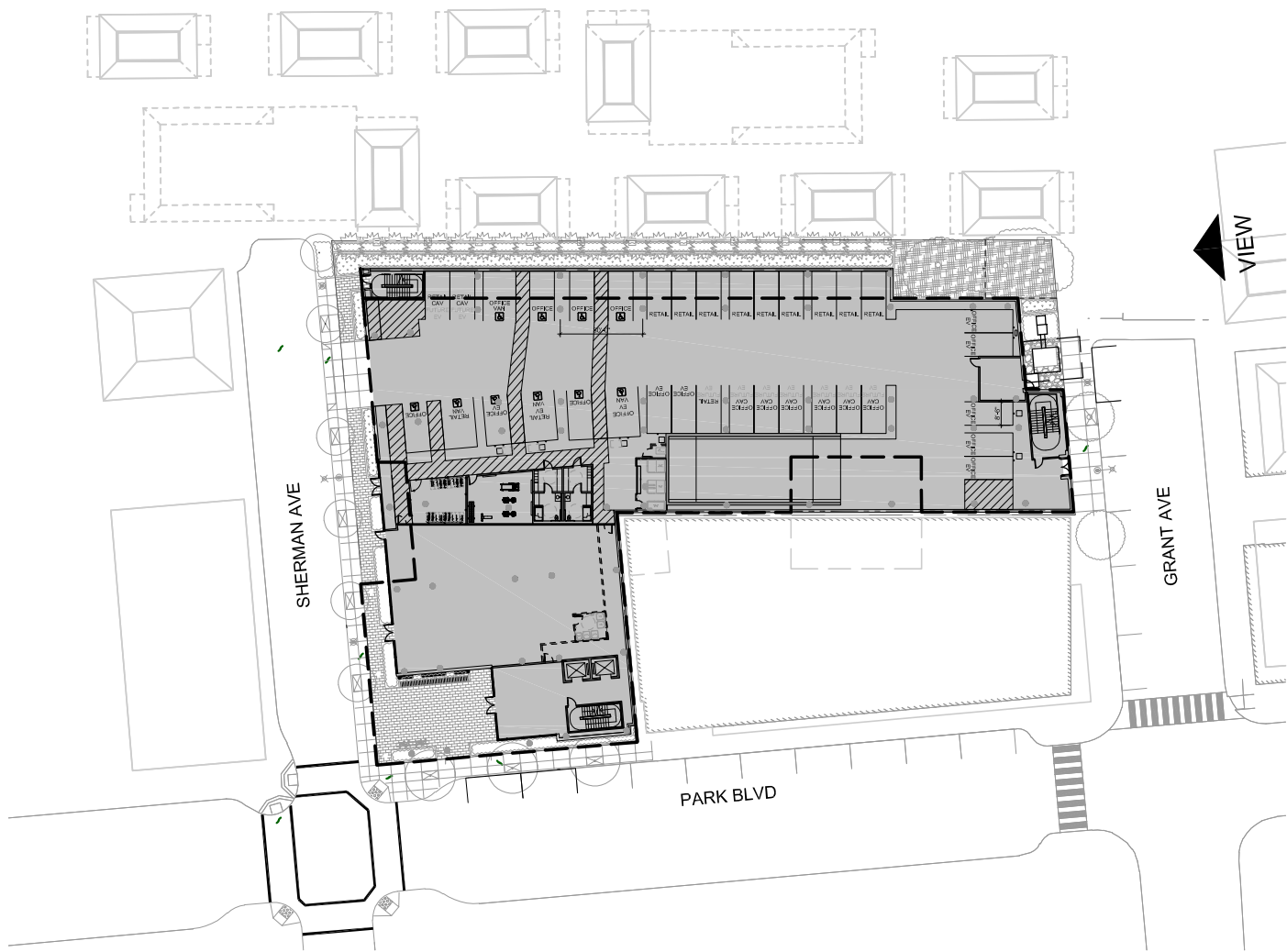


SHEET NUMBER

R2B



VIEW FROM END OF GRANT AVE



1 KEY PLAN - PROPOSED SITE
1/64"=1'-0"

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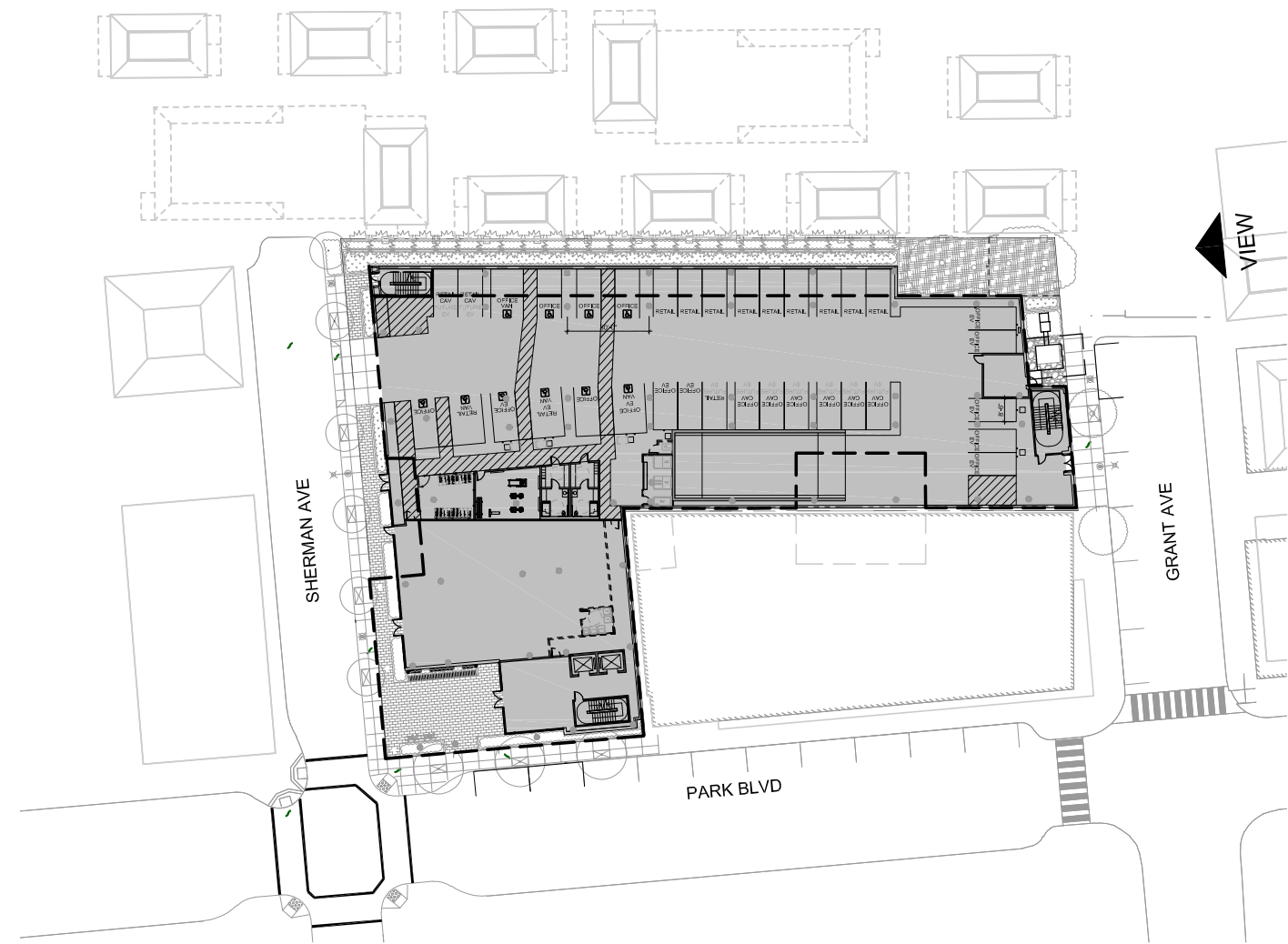


SHEET NUMBER

R3A



VIEW FROM END OF GRANT AVE



1 KEY PLAN - PROPOSED SITE
1/64"=1'-0"

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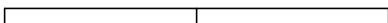


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PROPOSED PERSPECTIVE

SCALE
AS NOTED

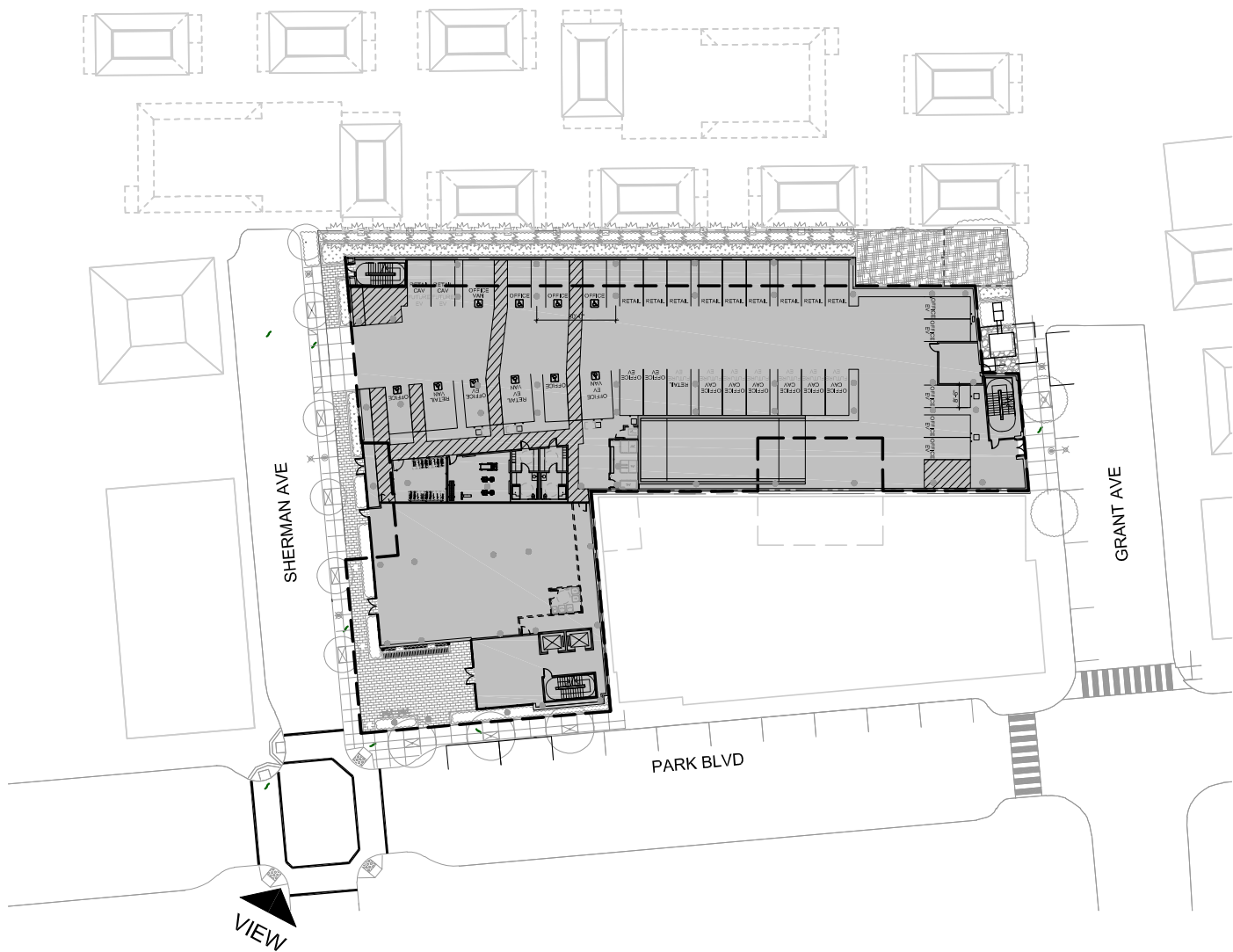


SHEET NUMBER

R3B



AERIAL VIEW FROM PARK BLVD.& SHERMAN AVE.



1 KEY PLAN - PROPOSED SITE PLAN
1/64"=1'-0"

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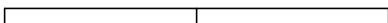


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PROPOSED PERSPECTIVE

SCALE
AS NOTED

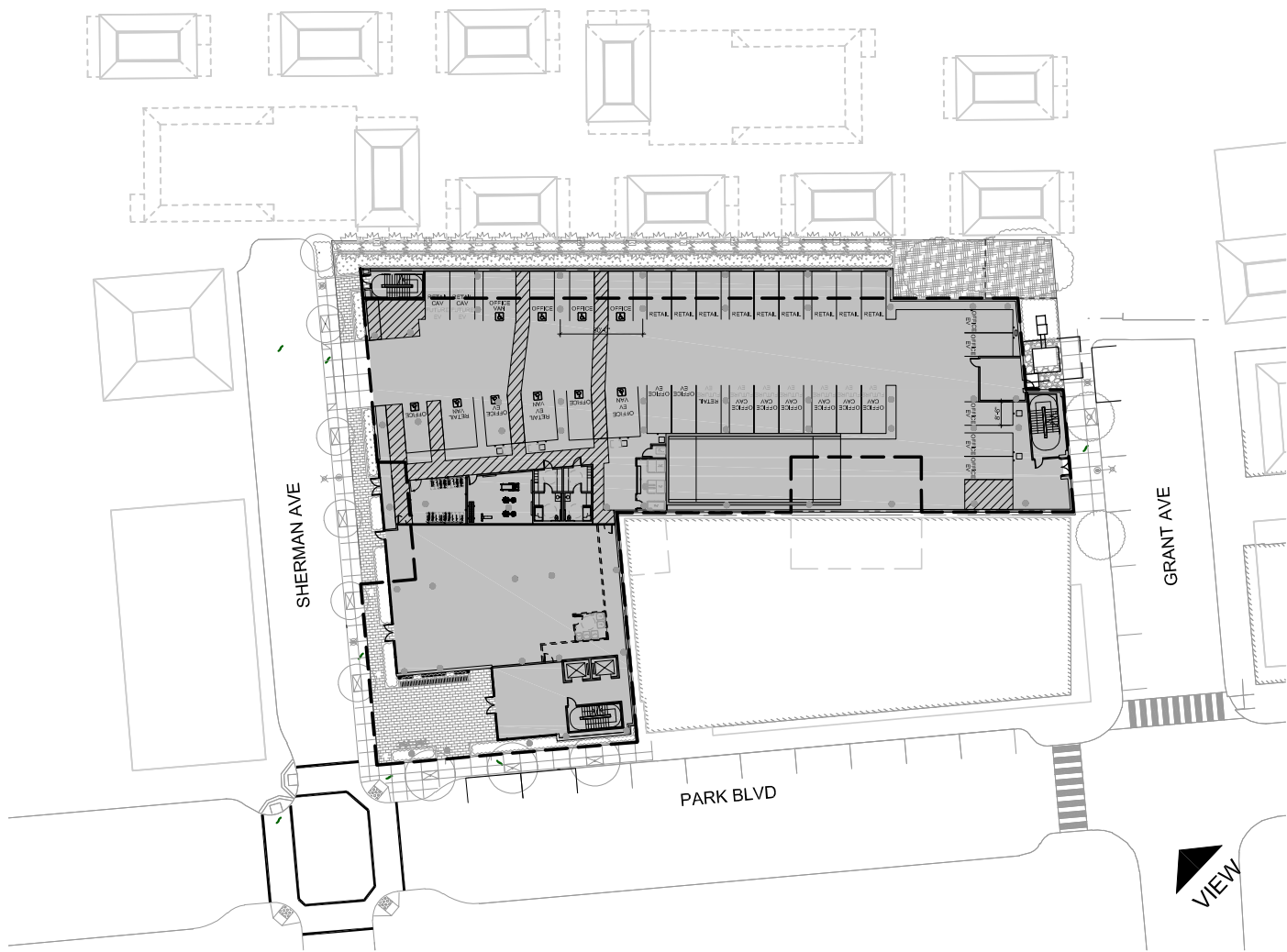


SHEET NUMBER

R4



AERIAL VIEW FROM PARK BLVD. & GRANT AVE.



1 KEY PLAN - PROPOSED SITE PLAN
1/64"=1'-0"

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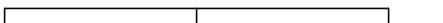
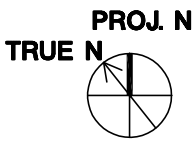


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SHEET TITLE
PROPOSED PERSPECTIVE

SCALE
AS NOTED

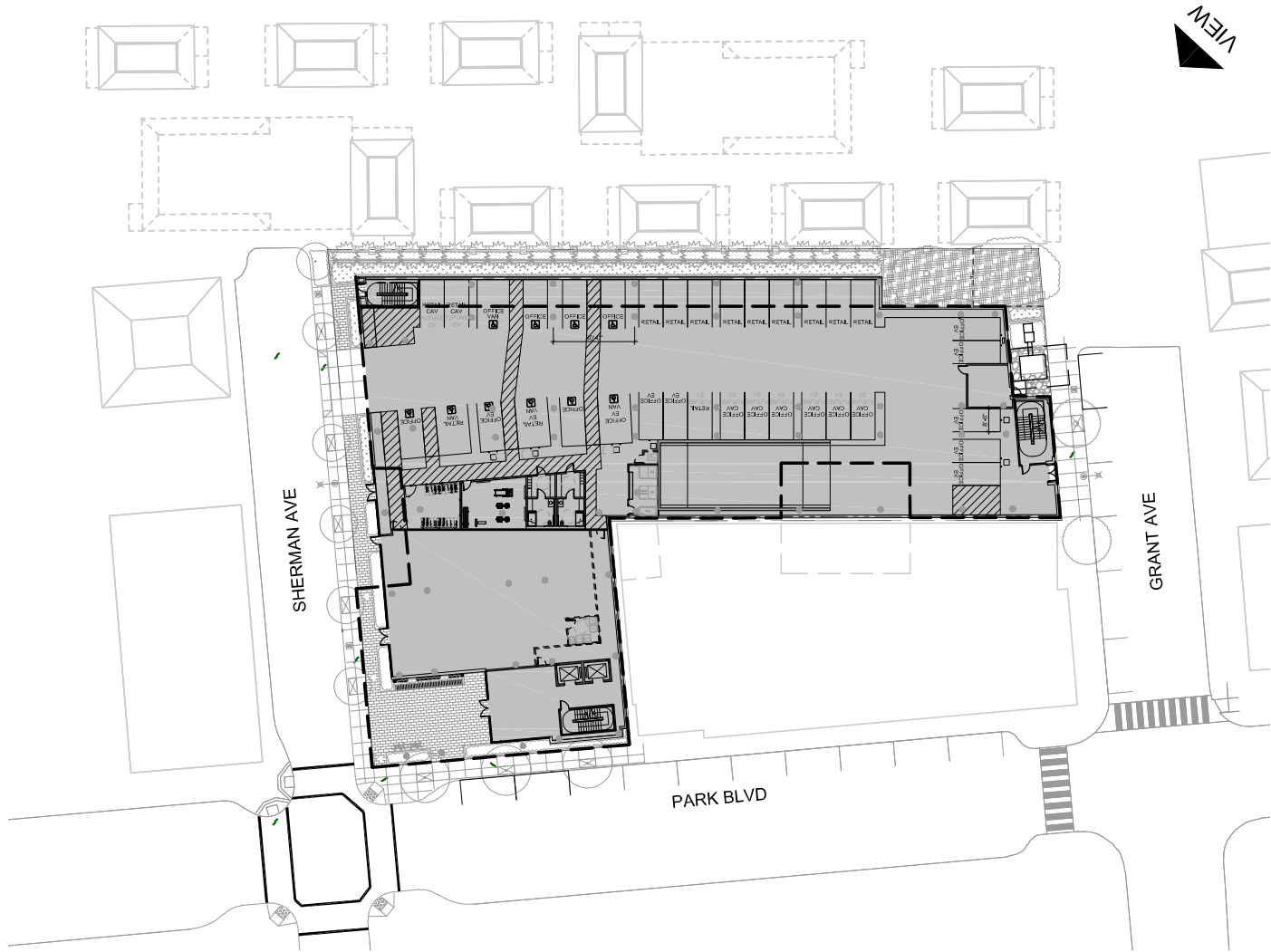


SHEET NUMBER

R5



AERIAL VIEW FROM GRANT AVE.



1 KEY PLAN - PROPOSED SITE PLAN
1/64"=1'-0"

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SHEET TITLE
PROPOSED PERSPECTIVE

SCALE
AS NOTED



SHEET NUMBER

R6



ISSUES AND REVISIONS		
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SHEET TITLE
**EXISTING
SITE PLAN**

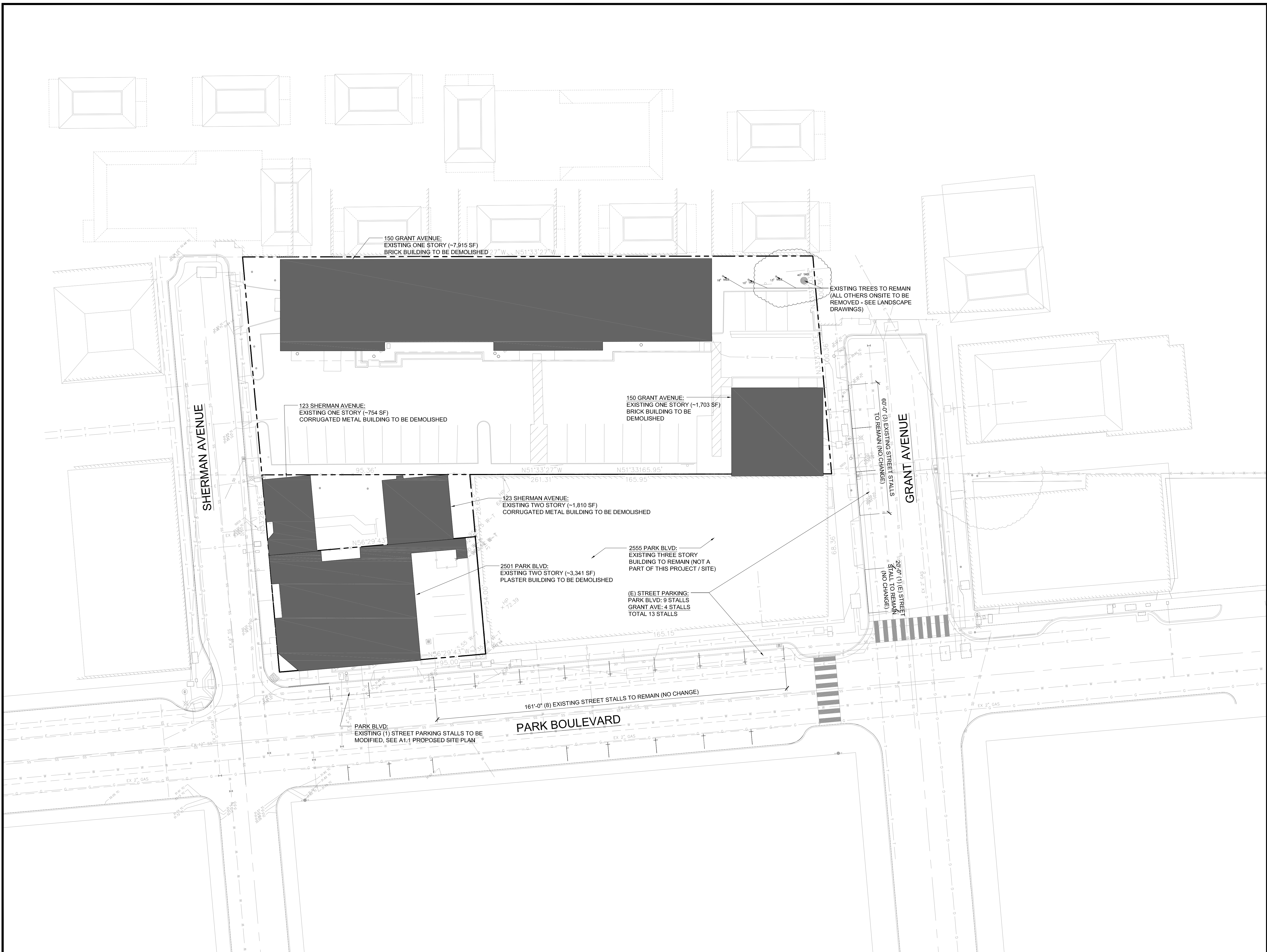
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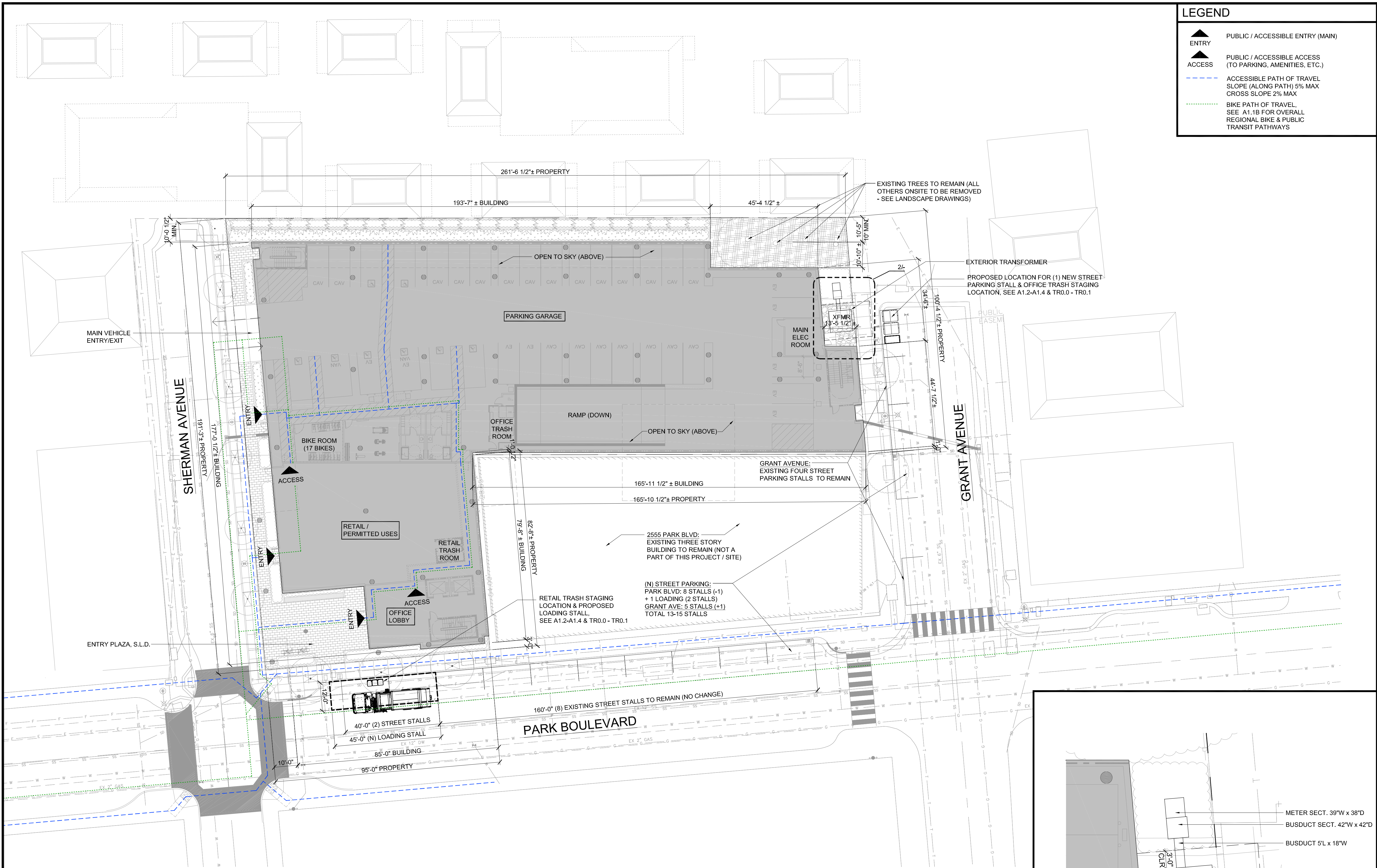


0 20' 40'

SHEET NUMBER

A1.0





LEGEND

- ENTRY: PUBLIC / ACCESSIBLE ENTRY (MAIN)
- ACCESS: PUBLIC / ACCESSIBLE ACCESS (TO PARKING, AMENITIES, ETC.)
- ACCESSIBLE PATH OF TRAVEL: SLOPE (ALONG PATH) 5% MAX, CROSS SLOPE 2% MAX
- BIKE PATH OF TRAVEL: SEE A1.18 FOR OVERALL REGIONAL BIKE & PUBLIC TRANSIT PATHWAYS

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306

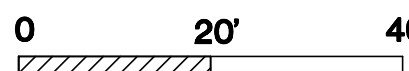


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
**PROPOSED
SITE PLAN**

SCALE
1" = 20'-0"



SHEET NUMBER

1 PROPOSED SITE PLAN - OVERALL
1"=20'-0"

SITE PLAN NOTES

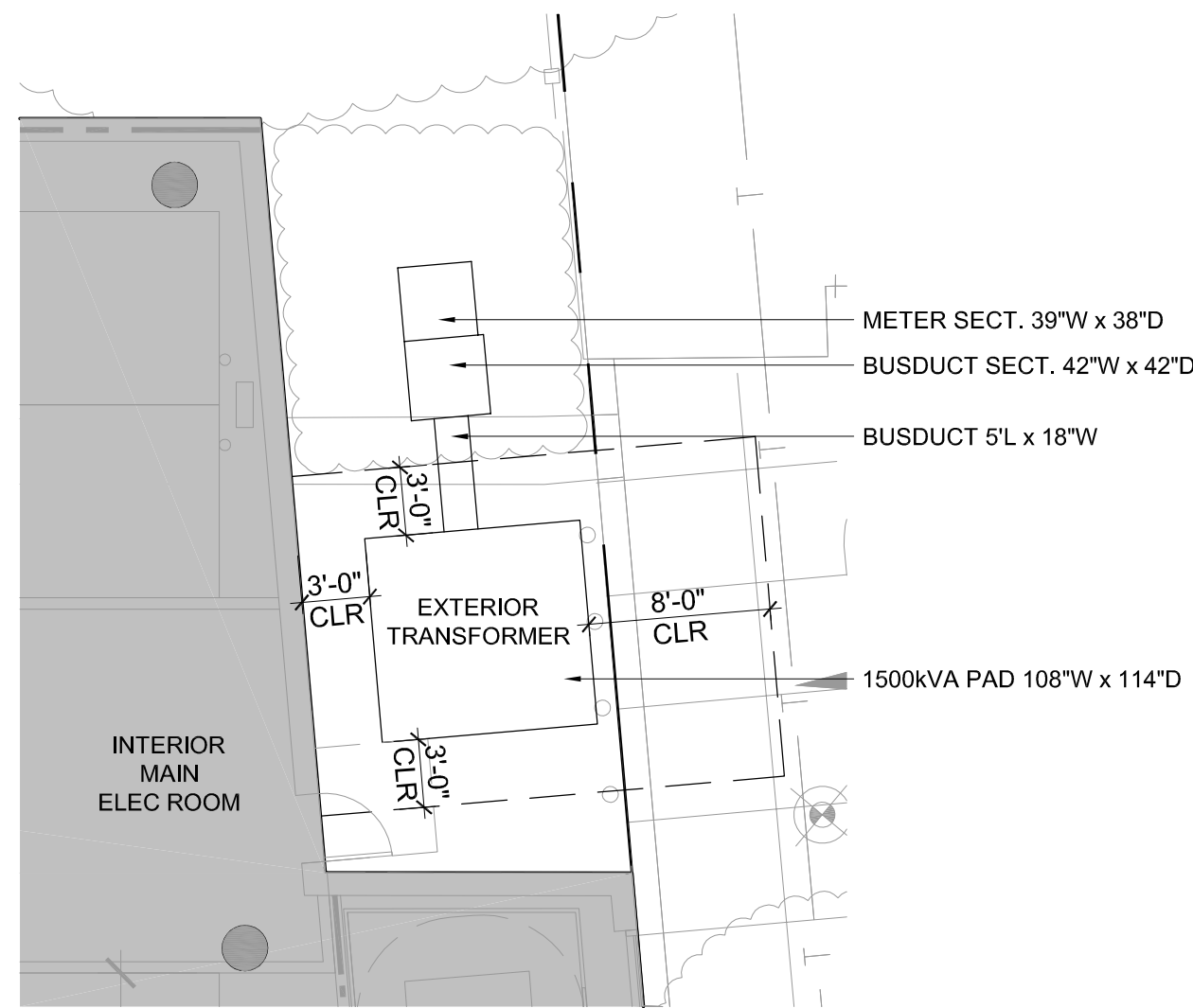
1. STORMWATER BEST MANAGEMENT PRACTICES (BMPs) ASSOCIATED WITH REFUSE MANAGEMENT (INCLUDING ACTIONS RELATED TO REFUSE PICK-UP AND THE ENCLOSURE ITSELF) SHALL BE FOLLOWED TO ENSURE POLLUTION PREVENTION AND PREVENTING POTENTIAL DISCHARGES TO THE CITY'S STORM DRAIN SYSTEM. STORMWATER BMPs INCLUDE, BUT ARE NOT LIMITED TO, POWER WASHING THE PAVEMENT ON BOTH THE PRIVATE PROPERTY AND IN THE RIGHT-OF-WAY AND SIDEWALK A MINIMUM OF ONCE PER YEAR BEFORE THE WET SEASON BEGINS ON OCTOBER 1ST; UTILIZING A POWER WASHING CONTRACTOR THAT IS A RECOGNIZED SURFACE CLEANER BY THEBAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA); DISPOSING OF WASH WATER ACCORDING TO THE RECOGNIZED SURFACE CLEANER CERTIFICATION REQUIREMENTS; AND REMOVING ANY POTENTIAL TRASH BUILD-UP ON A REGULAR BASIS.

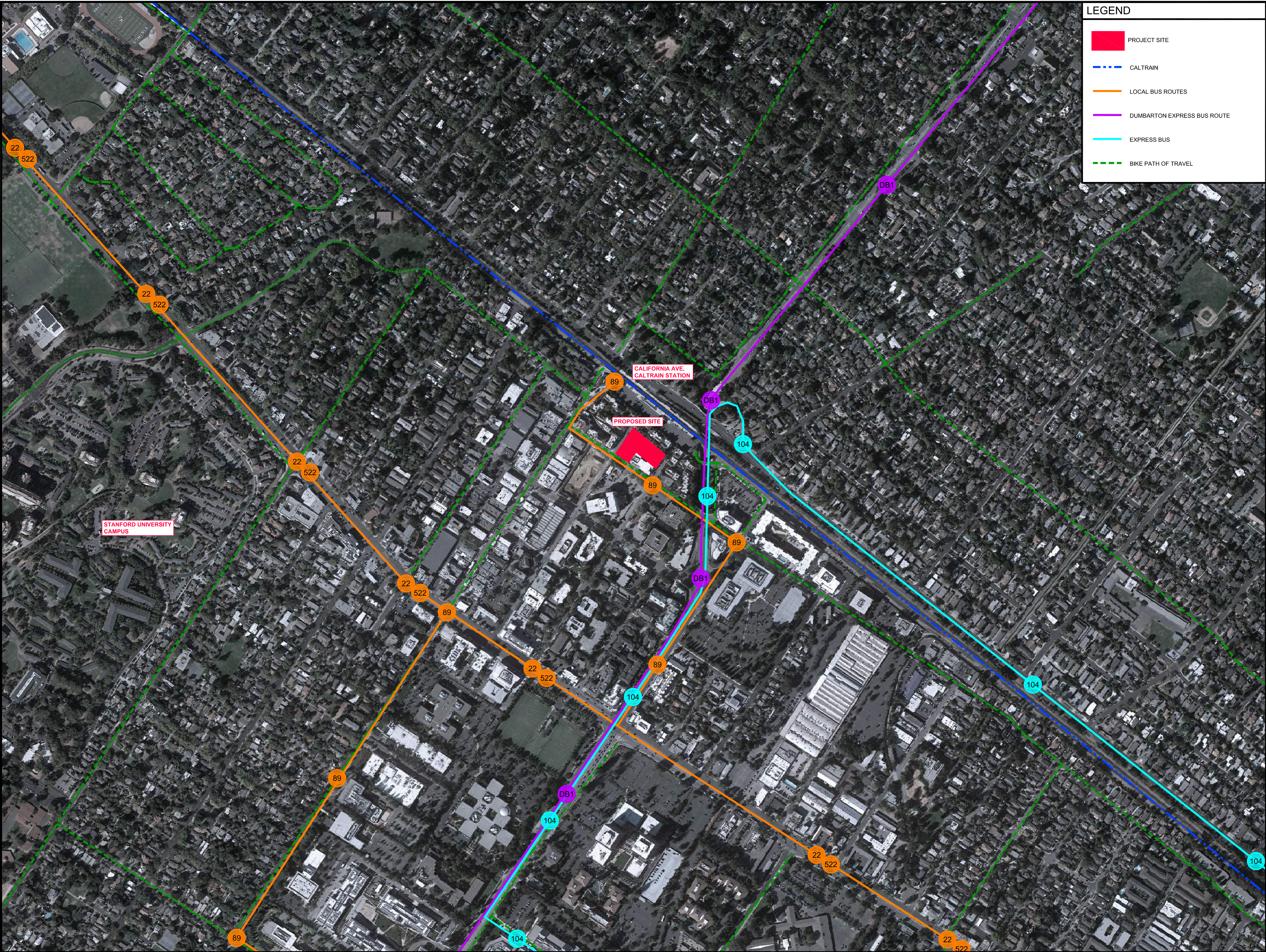
2. THE NEW REFUSE ENCLOSURE IS NOT ACCESSIBLE BY THE REFUSE HAULER (GREENWASTE OF PALO ALTO) AND THE FUTURE TENANT(S) OR OWNER WILL BE RESPONSIBLE FOR PULLING OUT THE REFUSE BINS TO THE LOCATION IDENTIFIED IN THE PLANS, FOR SERVICE BY THE REFUSE HAULER, INCLUDING IMMEDIATE REMOVAL UPON SERVICE.

3. WASTE / RECYCLING / COMPOST WILL BE COLLECTED BY JANITORIAL SERVICE INSIDE THE BUILDING (FLOORS 1-3) & PLACED IN THE APPROPRIATE CONTAINERS WITHIN THE PROPOSED INTERIOR ENCLOSURES WITHIN THE GARAGE (OFFICE) AND/OR INTERIOR TENANT SPACE (RETAIL).

4. REFER TO TRASH MANAGEMENT PLAN BY AMERICAN TRASH MANAGEMENT, AS WELL AS SHEETS TR0.0 & TR0.1 FOR ADDITIONAL INFORMATION ON PROPOSED TRASH ROOMS AS WELL AS TRASH ROUTE / STAGING.

2 ENLARGED PLAN AT PROPOSED TRANSFORMER
1/8"=1'-0"





LEGEND

PROJECT SITE

CALTRAIN

LOCAL BUS ROUTES

DUMBARTON EXPRESS BUS ROUTE

EXPRESS BUS

BIKE PATH OF TRAVEL

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306

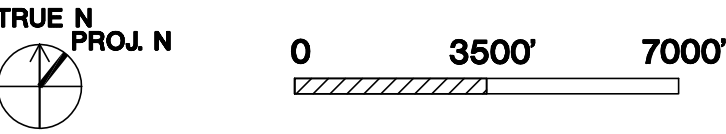


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
NEIGHBORHOOD
CONTEXT

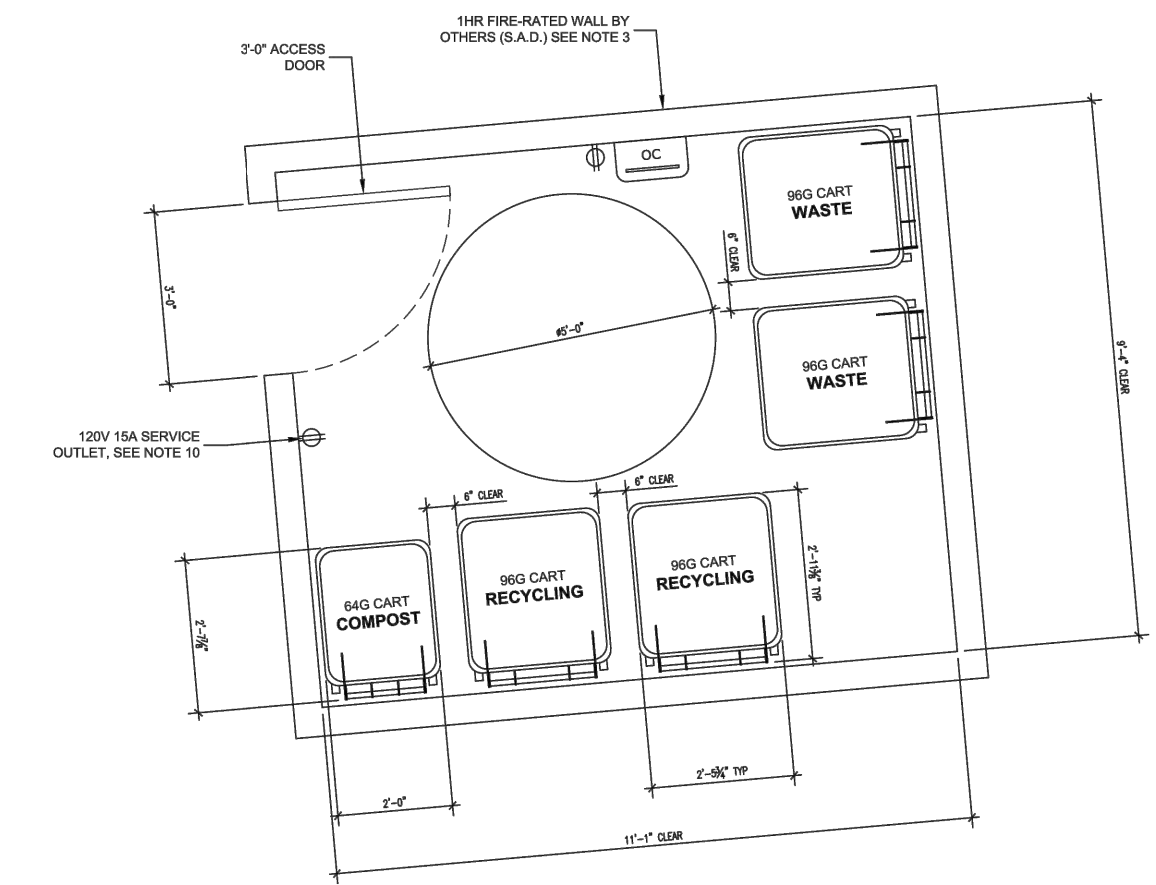
SCALE
1" = 3500'-0"



SHEET NUMBER

A1.1B

Commercial Retail Trash Closet Layout



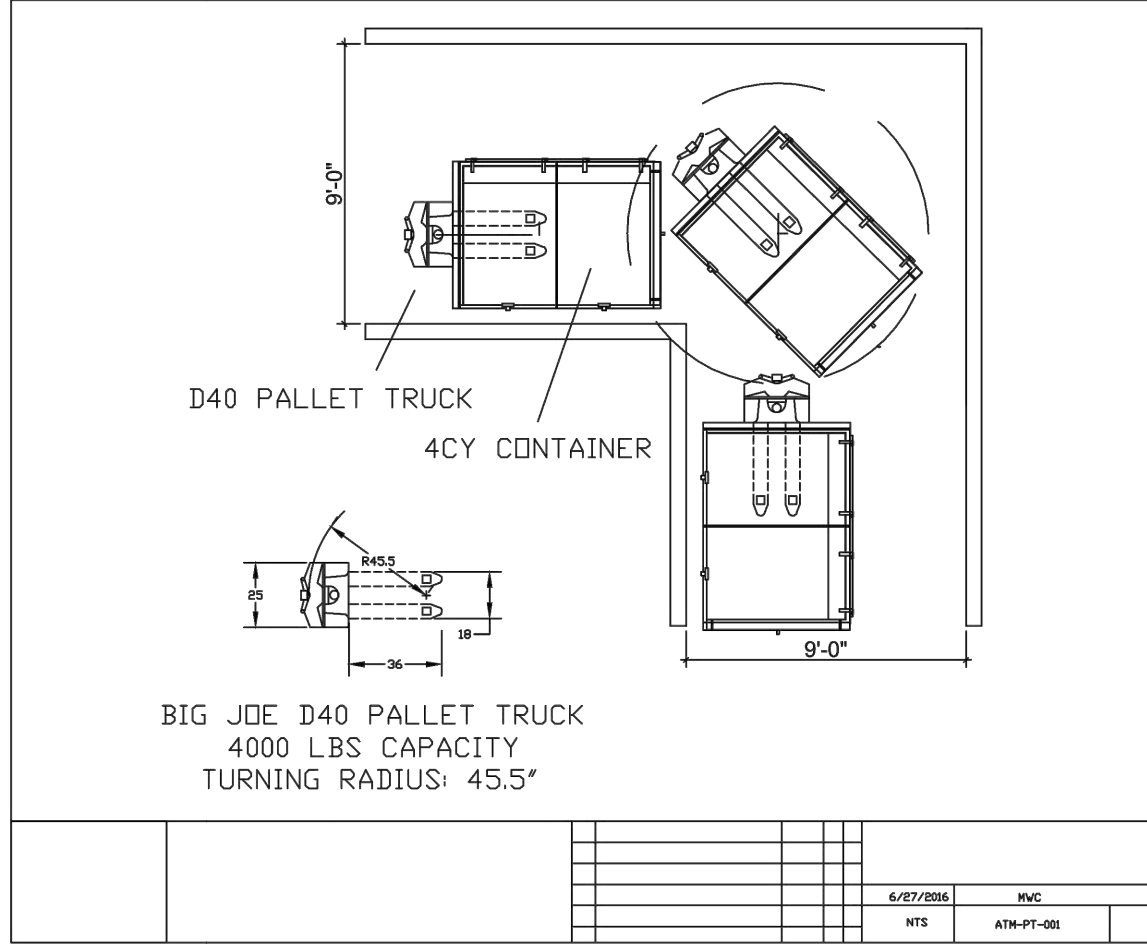
RETAIL TRASH ROOM PLAN
GROUND LEVEL
SCALE: 1/2" = 1'-0"

GreenWaste Bins and Carts

1-4 Cubic Yard Containers					
Size	Length	Width	Height	Weight	Capacity
1 cu.yd.	81"	23.5"	37.0"	300	1 cu.yd.
1.5 cu.yd.	81"	31.5"	44.5"	275	1.5 cu.yd.
2 cu.yd.	81"	39.5"	52.0"	250	2 cu.yd.
3 cu.yd.	81"	47.5"	59.5"	225	3 cu.yd.
4 cu.yd.	81"	55.5"	67.0"	200	4 cu.yd.
5-8 Cubic Yard Containers					
Size	Length	Width	Height	Weight	Capacity
5 cu.yd.	81"	57.5"	63.5"	315	5 cu.yd.
6 cu.yd.	81"	63.25"	71.5"	315	6 cu.yd.
7 cu.yd.	81"	69.0"	79.5"	315	7 cu.yd.
8 cu.yd.	81"	74.75"	87.5"	315	8 cu.yd.
Debris Box/Roll-Off Box					
Size	Length	Width	Height	Weight	Capacity
7 cu.yd.	14'	8'	2'	2500	7 cu.yd.
15 cu.yd.	18'	8'	4'	4000	15 cu.yd.
30 cu.yd.	21'	8'	8.5'	8500	30 cu.yd.
45 cu.yd.	21'	8'	11.5'	11000	45 cu.yd.
Wheeled Cart					
Size	Depth	Width	Height	Weight	Capacity
20 gallons	24.25"	19.25"	35.5"	15	20 gallons
32 gallons	24.25"	19.25"	38.5"	18	32 gallons
44 gallons	24.25"	19.25"	41.5"	21	44 gallons
56 gallons	34.5"	29.25"	46.75"	24	56 gallons

GreenWaste of Palo Alto
2000 Geng Road
Palo Alto, CA 94303
650.493.4894

Trash Bin Moving:
Project using 4CY Container



Trash System Equipment Specifications: - Provided separately, listed below:

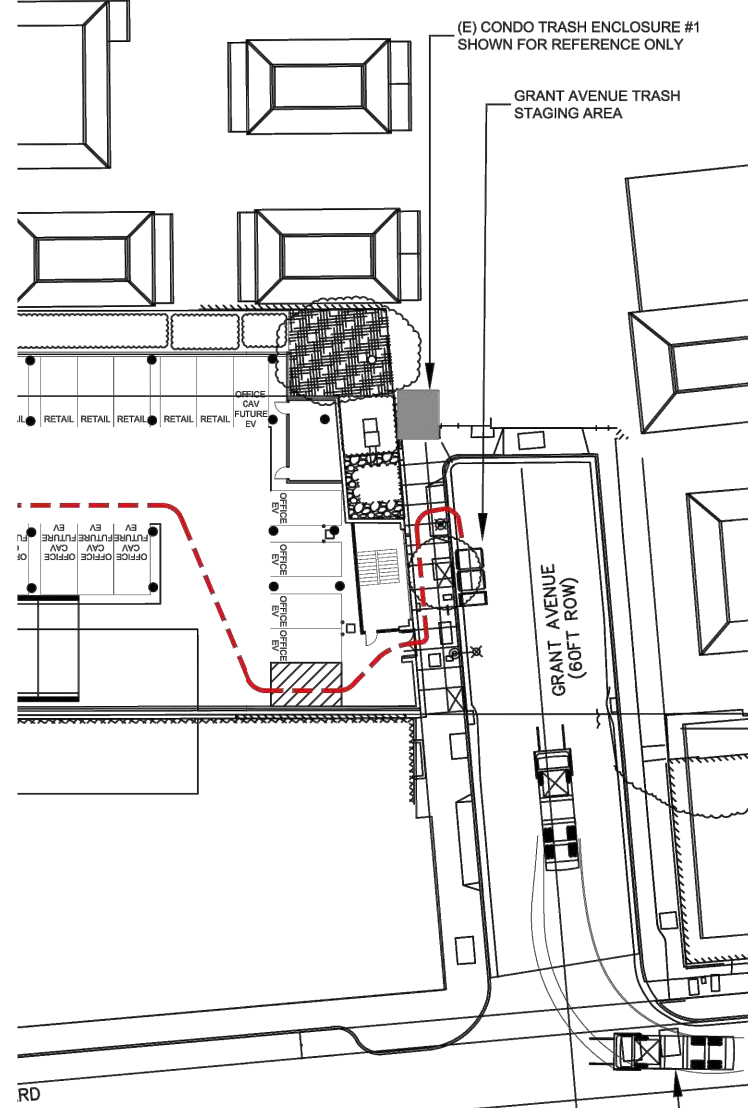
- Section 44 31 00 - Odor Control
- Section 41 63 23 - Electric Pallet Jack Bin Mover

Trash Service Location:

Commercial office staging should take place on the curb cut on Grant Avenue. This is a safe and convenient location for staging bins so they can be pulled and emptied by the hauler with minimal impact on the residents and the project's neighbors. Trash bins will be moved by building staff to and from this staging location on service days.

We recommend the retail trash be serviced on Park Boulevard. Staff can either bring the bins out to Park Boulevard for staging or management can require the tenant subscribe to push-pull service at an additional cost.

Trash Staging Area:



Sample Office Building Trash Service Schedule

Note that all schedules to be determined by hauler, building management, and actual trash levels.

Office With Full Service Cafeteria

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
4CY Loose Waste	1	1	1	1			
4CY Loose Recycle	1	1	1	1			
2CY Loose Compost	1		1		1		
Total	3	2	3	2	1	0	0

Commercial Retail Service Schedule

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
96G Loose Waste	2						
96G Loose Recycle	2						
64G Loose Compost	1						
Total	5	0	0	0	0	0	0

Waste, Recycling and Compost Analysis: (Rates reflect the rate increase effective July 1, 2016)
Below is a comparative analysis of the disposal and labor costs of handling waste and recycling in loose versus compacted bins. Please note that the projections below are estimates derived from actual audits of comparable office projects in California. They are not guaranteed. They are to be used for planning purposes only and may be higher or lower than projected.

TOTAL MAIN OFFICE - WASTE AND RECYCLING SYSTEM ANALYSIS WITH CAFETERIA

Square Feet	52,000	
% Office Recycling OCC	40%	
% Cafeteria Recycling OCC	75%	
Compaction Ratio	4	to 1
Staff Labor Rate	\$21.00	per hour - 1 person
Time move bins	0.25	hr to move to unloading area & back
# of Trash Rooms	1	
FL Compacted Waste Service	4	cubic yard front load bins
FL Compacted Recycle Service	4	cubic yard front load bins
FL Compacted Compost Service	2	cubic yard front load bins
RO Compacted Waste Service	10	cubic yard roll-off compactor
RO Compacted Recycle Service	10	cubic yard roll-off compactor
RO Compacted Compost Service	10	cubic yard roll-off compactor
Loose Waste Service	4	cubic yard front load bins
Loose Recycle Service	4	cubic yard front load bins
Loose Compost Service	2	cubic yard front load bins

COST BENEFIT CALCULATION

SERVICE-Waste	PROJECTED	PROJECTED	PROJECTED
Loose	Loose	Compacted-F	Compacted-FL
SERVICE-Recycling	Loose	Loose	Compacted-FL
SERVICE-Compost	Loose	Loose	Compacted-FL
Loose Waste Volume - CY	14.7		
Compacted Waste Volume - CY	3.7	3.7	
Loose Recycling Volume - CY	17.2		
Compacted Recycling Volume - CY	4.3	4.3	
Loose Compost Volume - CY	6.0	6.0	6.0
Compacted Compost Volume - CY			
Waste Bins/week	4	1	1
Recycling Bins/week	4	2	2
Compost Bins/week	4	4	4
Containers/week/trash room	12	7	7
SYSTEM CAPITAL COST	\$0.00	\$24,655.00	\$49,310.00
WASTE COST/MONTH	\$2,448.09	\$1,269.56	\$1,269.56
RECYCLING COST/MONTH	\$0.00	\$0.00	\$0.00
COMPOST COST/MONTH	\$1,041.04	\$1,041.04	\$1,041.04
TRASH COST/MONTH	\$3,489.13	\$2,310.60	\$2,310.60
COMPACTION SAVINGS/MONTH	\$0.00	\$1,178.53	\$1,178.53
STAFF LABOR COST/MONTH	\$272.79	\$159.13	\$159.13
STAFF SAVINGS/MONTH	\$0.00	\$113.66	\$0.00
NET MONTHLY TRASH COSTS	\$3,761.92	\$2,469.73	\$2,469.73
Monthly Trash Cost per SF	\$0.07	\$0.05	\$0.05
PAYBACK-MONTHS	n/a	19	42

* Loose 4CY Recycling Bins rounded down

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE

TRASH MANAGEMENT PLAN

SCALE

N.T.S.

SHEET NUMBER

A1.3

OFFICE WASTE AND RECYCLING SYSTEM ANALYSIS				
ASSUMPTIONS:				
	Square Feet	52,000		
	Lbs/day per 1000 SF	5.44		
	% waste	30%		
	% recycling	50%		
	% compost	20%		
	waste lb/CY	80		
	recycling lb/CY	80		
	compost lb/CY	125		
	Compaction Ratio	4	to 1	
COST BENEFIT CALCULATION	PROJECTED	PROJECTED		
SERVICE-Waste	Loose	Compacted		
SERVICE-Recycling	Loose	Compacted		
Loose Waste Volume - CY	5.3			
Compacted Waste Volume - CY		1.3		
Loose Recycling Volume - CY	8.8			
Compacted Recycling Volume - CY		2.2		
Loose Compost Volume - CY	2.3			
Compacted Compost Volume - CY		0.6		

OFFICE CAFETERIA WASTE AND RECYCLING SYSTEM ANALYSIS				
ASSUMPTIONS:				
	Square Feet per Employee	195		
	Meals per Employee Per Day	1.5		
	lb. per meal	1		
	% waste	37.5%		
	% recycling	25%		
	% compost	37.5%		
	waste lb/CY	80		
	recycling lb/CY	60		
	compost lb/CY	200		
	Compaction Ratio	4	to 1	
COST BENEFIT CALCULATION	PROJECTED	PROJECTED		
SERVICE-Waste	Loose	Compacted		
SERVICE-Recycling	Loose	Compacted		
Loose Waste Volume - CY	9.4			
Compacted Waste Volume - CY		2.3		
Loose Recycling Volume - CY	8.3			
Compacted Recycling Volume - CY		2.1		
Loose Compost Volume - CY	3.8			
Compacted Compost Volume - CY		0.9		

Appendix: Projected Waste and Recycling Levels:

Restaurants. CalRecycle (*Waste Disposal and Diversion Findings for Selected Industry Groups*, 2006), estimates restaurants generate 6537 lb. of trash per employee per year. Using this information, the following are projected waste and recycling levels for restaurant tenants.

Diversion levels, conservative (50%) vs. optimal (75%). The CalRecycle study estimated 2/3s of restaurant materials are disposed of as municipal solid waste (MSW) (66% for fast food restaurants and 68% for standard restaurants). Their study also shows that potentially a very high percentage of these non-diverted materials (68% for fast food and 83% for other food retailing establishments) are recyclables.

Restaurant employee assumptions are based on the Restaurant Industry Operations Report, compiled by Deloitte for the National Restaurant Association in 2010.

Food Services Retailer	Employees	PROJ trash per week (lb.)	Waste (35% of trash)	Recycling (40% of trash)	Compost (25% of trash)
Restaurant Large	30	3,771	1,320	1,509	943
Restaurant Moderate	23	2,891	1,012	1,157	723
Restaurant Small	18	2,263	792	905	566
Restaurant QSR	15	1,886	660	754	471
Restaurant Cafe	10	1,257	440	503	314

Because the descriptive terms in the industry report are vague and difficult to apply to each individual restaurant space in a project, for the purposes of our analysis we have assumed that a 'large' restaurant is 3,000 square feet or 1 employee per 100 square feet of F&B space. Using the 6,537 lb/trash/year/employee metric, this results in a proxy metric of 1.25 lb/day/square foot. This estimate, however, is only a tool and is not guaranteed. Actual trash generation may be higher or lower.

Other assumptions: waste 125 lbs/cubic yard, recycle 84 lbs/cubic yard, compost 200 lbs/cubic yard.

COMMERCIAL RETAIL/ Permitted Uses SYSTEM ANALYSIS

ASSUMPTIONS:				
	Square Feet	3,800		
	Restaurant %	100%		
	Retail %	100%		
	Cafe trash	1.25	lbs/sf/wk	
	Retail trash	0.05	lbs/sf/wk	
	% recycled - Restaurant	50%		
	% compost - Restaurant	20%		
	% recycled - Retail	50%		
	% compost - Retail	10%		
	Restaurant wastes:	125	lb. per loose cubic yards	
	Retail wastes:	84	lb. per loose cubic yards	
	compost:	200	lb. per loose cubic yards	
	recyclables:	84	lb. per loose cubic yards	
	Compaction Ratio	4	to 1	
	Compacted Service	2	cubic yard front load bins	
	Loose Waste Service	3	cubic yard front load bins	
	Loose Recycling Service	3	cubic yard front load bins	
	Loose Compost Service	2	cubic yard front load bins	
	Loose Waste Service	0.475	cubic yard carts (84G toter carts)	
	Loose Recycling Service	0.475	cubic yard carts (84G toter carts)	
	Loose Compost Service	0.32	cubic yard carts (84G toter carts)	

COST BENEFIT CALCULATION	F&B Option	Retail
SERVICE-Waste	Loose	Loose
SERVICE-Recycling	Loose	Loose
Loose Waste Volume - CY	11.4	0.9
Compacted Waste Volume - CY		
Loose Recycling Volume - CY	28.3	1.1
Compacted Recycling Volume - CY		
Loose Compost Volume - CY	4.8	0.1
Compacted Compost Volume - CY		
Waste Bins/week	4	2
Recycling Bins/week	10	2
Compost Bins/week	3	1
Containers/week/trash room	17	5

WASTE AND RECYCLING RATES (PARTIAL) CURRENT RATES - REFLECT CHANGES EFFECTIVE 7/1/16					
City:	Palo Alto	Key Charge	\$15.00		
Franchise:	GreenWaste				
Multi-Family/Commercial Loose Front Load Waste Rates:					
Frequency/Size: x/wk-CY Size	2	3	4	64G Cart	
1 x Week	\$309.02	\$437.20	\$581.41	\$73.25	
2 x Week	\$638.63	\$913.31	\$1,174.26	\$163.66	
3 x Week	\$970.54	\$1,388.28	\$1,825.48	\$254.08	
4 x Week	\$1,301.30	\$1,864.39	\$2,448.09	\$344.49	
5 x Week	\$1,630.91	\$2,341.65	\$3,068.40	\$434.91	
6 x Week	\$1,961.67	\$2,817.76	\$3,689.87	\$525.33	
Multi-Family/Commercial Compacted Front Load Waste Rates:					
Frequency/Size: x/wk-CY Size	2	4			
1	\$634.78	\$1,269.56			
Compost Carts					
1 x Week		64-gal cart	96-gal cart	2CY	\$247.21
2 x Week		\$58.60	\$87.90		\$510.90
3 x Week		\$130.96	\$189.53		\$776.43
4 x Week		\$203.26	\$291.16		\$1,041.04
5 x Week		\$275.60	\$392.79		\$1,304.73
6 x Week		\$347.93	\$494.42		\$1,569.34
		\$420.26	\$596.06		
Stationary Compactor Cost		\$21,360.00	A1000, 1-4CY Towable bins, tax, ship Install		
Stationary Compactor Cost		\$24,655.00	A1000, 2-4CY Towable bins, tax, ship Install		
Vertical Compactor Cost		\$26,086.00	P200, 1-2CY front load bin-8" perollic casters, tax, ship Install		

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



ISSUES AND REVISIONS		
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	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER 20008	
SHEET TITLE TRASH MANAGEMENT PLAN	
SCALE N.T.S.	
SHEET NUMBER	

A1.4

PROJECTED OFFICE ONLY TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (4CY)	1		1				
LOOSE RECYCLE (4CY)		1		1			
COMPOST (2CY)	1						
TOTAL	2	1	1	1	0	0	0

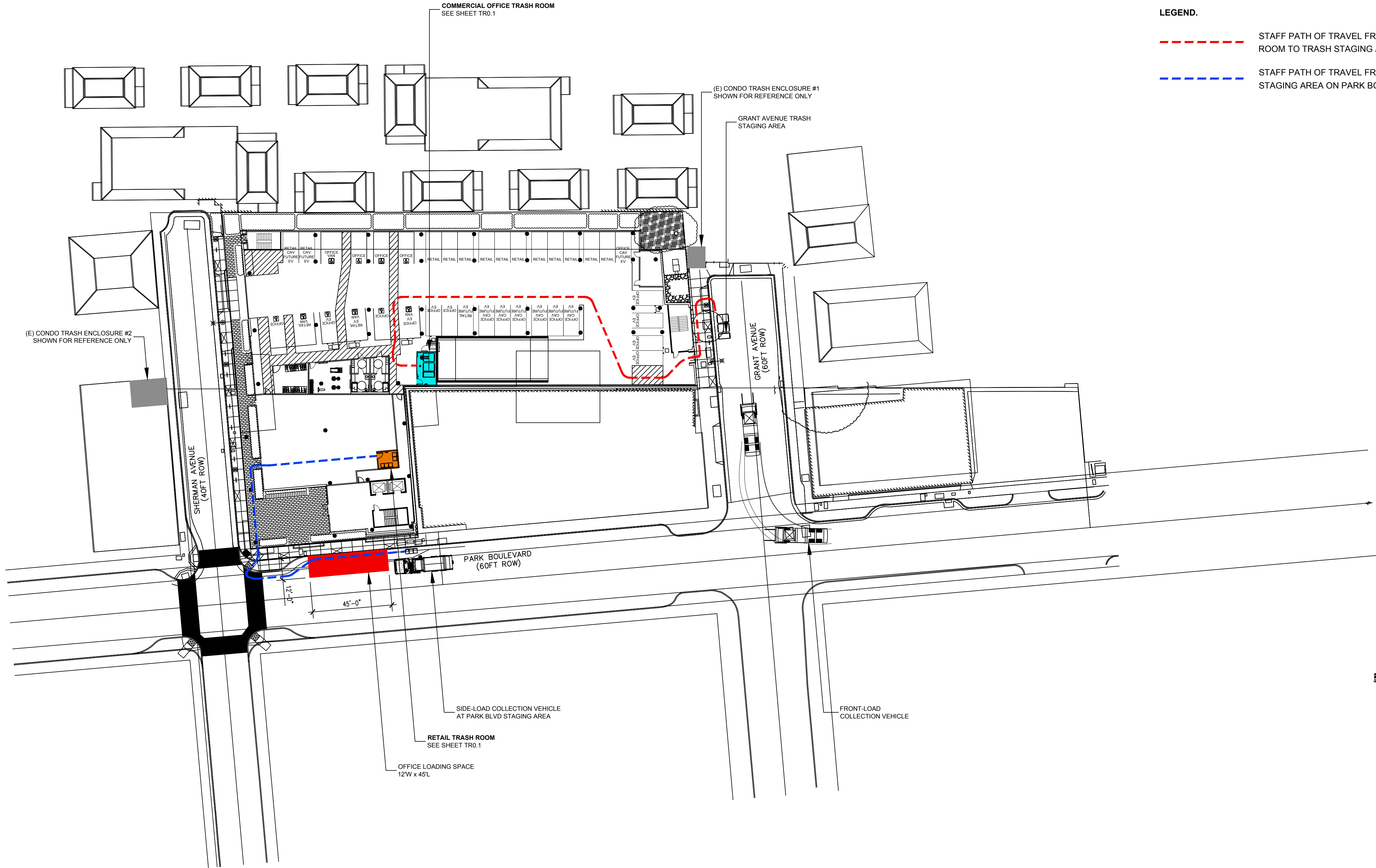
PROJECTED OFFICE W/ CAFETERIA TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (4CY)	1	1	1	1			
LOOSE RECYCLE (4CY)	1	1	1	1			
COMPOST (2CY)	1		1		1		
TOTAL	3	2	3	2	1	0	0

PROJECTED RETAIL TRASH SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (96G)	2						
LOOSE RECYCLE (96G)	2						
COMPOST (64G)	1						
TOTAL	5	0	0	0	0	0	0

- SHEET NOTES.**
- TRASH ROUTE / STAGING PLAN. GROUND LEVEL.**
- STAFF TO TRANSPORT FRONT-LOAD CONTAINERS TO STAGING AREA WITH ELECTRIC PALLET TRUCK. 4000LB CAPACITY WITH 45.5" TURNING RADIUS. 120V 15A SERVICE OUTLET REQUIRED.
 - NOTE THAT TOTER CARTS WILL BE SERVICED BY SIDE-LOAD COLLECTION VEHICLE AND CONTAINERS WILL BE SERVICED BY FRONT-LOAD COLLECTION VEHICLE. STAFF SHALL STAGE TOTER CARTS AND CONTAINERS ON SEPARATE DAYS.

- GENERAL NOTES.**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
 - ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

- LEGEND.**
- STAFF PATH OF TRAVEL FROM COMMERCIAL OFFICE TRASH ROOM TO TRASH STAGING AREA ON GRANT AVENUE.
 - STAFF PATH OF TRAVEL FROM RETAIL TRASH ROOM TO TRASH STAGING AREA ON PARK BOULEVARD.



TRASH ROUTE / STAGING PLAN
GROUND LEVEL

SCALE: 1/32" = 1'-0"

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



AMERICAN TRASH
MANAGEMENT, INC.

1900 Powell Street, Suite 220
Emeryville, CA 94608
P: 415.292.5400
F: 415.292.5410
www.trashmanage.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
TRASH ROUTE /
STAGING PLAN

SCALE
As Indicated

SHEET NUMBER

TR0.0

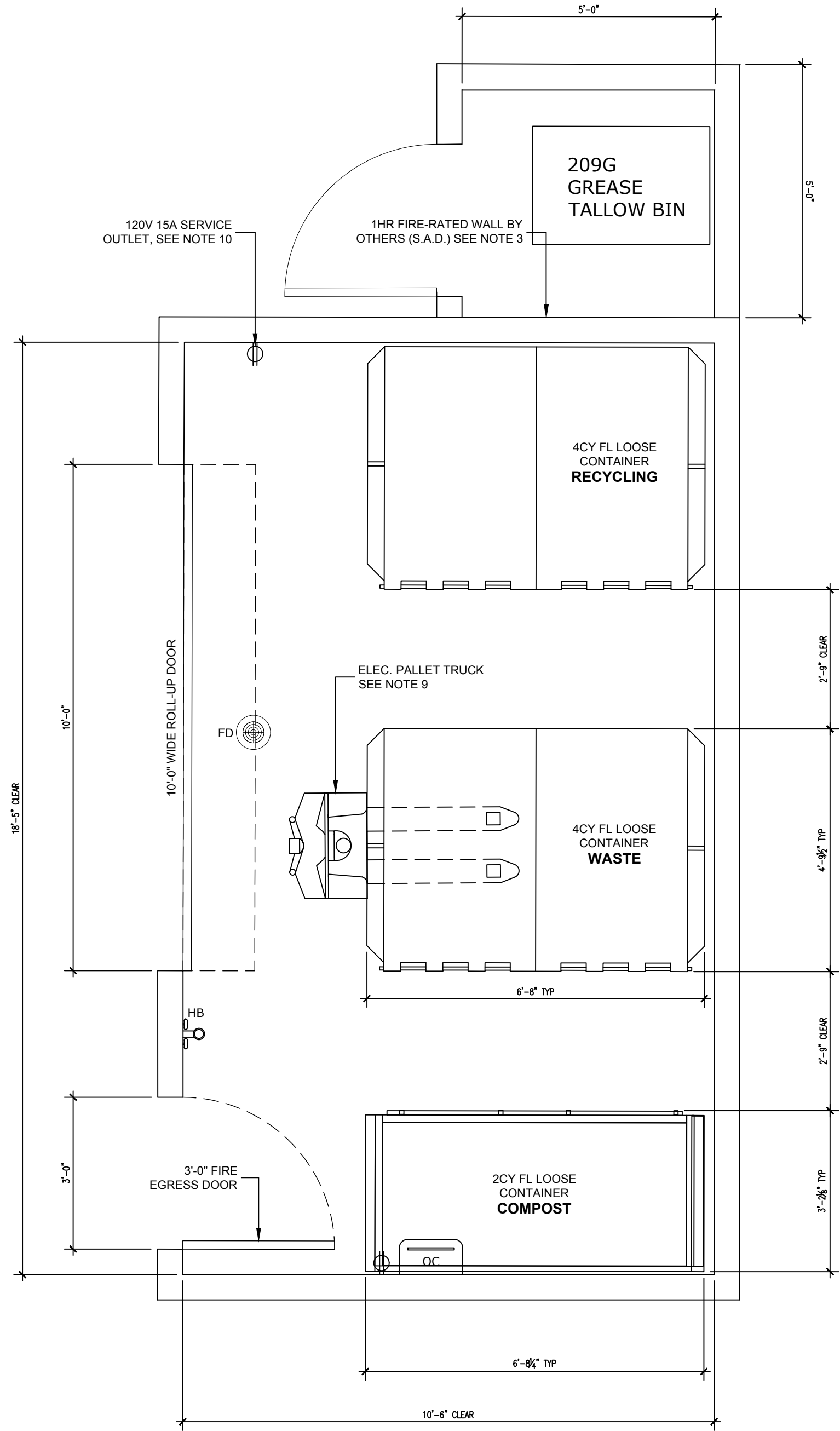
PROJECTED OFFICE ONLY TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (4CY)	1		1				
LOOSE RECYCLE (4CY)		1		1			
COMPOST (2CY)	1						
TOTAL	2	1	1	1	0	0	0

PROJECTED OFFICE W/ CAFETERIA TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (4CY)	1	1	1	1			
LOOSE RECYCLE (4CY)	1	1	1	1			
COMPOST (2CY)	1		1		1		
TOTAL	3	2	3	2	1	0	0

PROJECTED RETAIL TRASH SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (96G)	2						
LOOSE RECYCLE (96G)	2						
COMPOST (64G)	1						
TOTAL	5	0	0	0	0	0	0

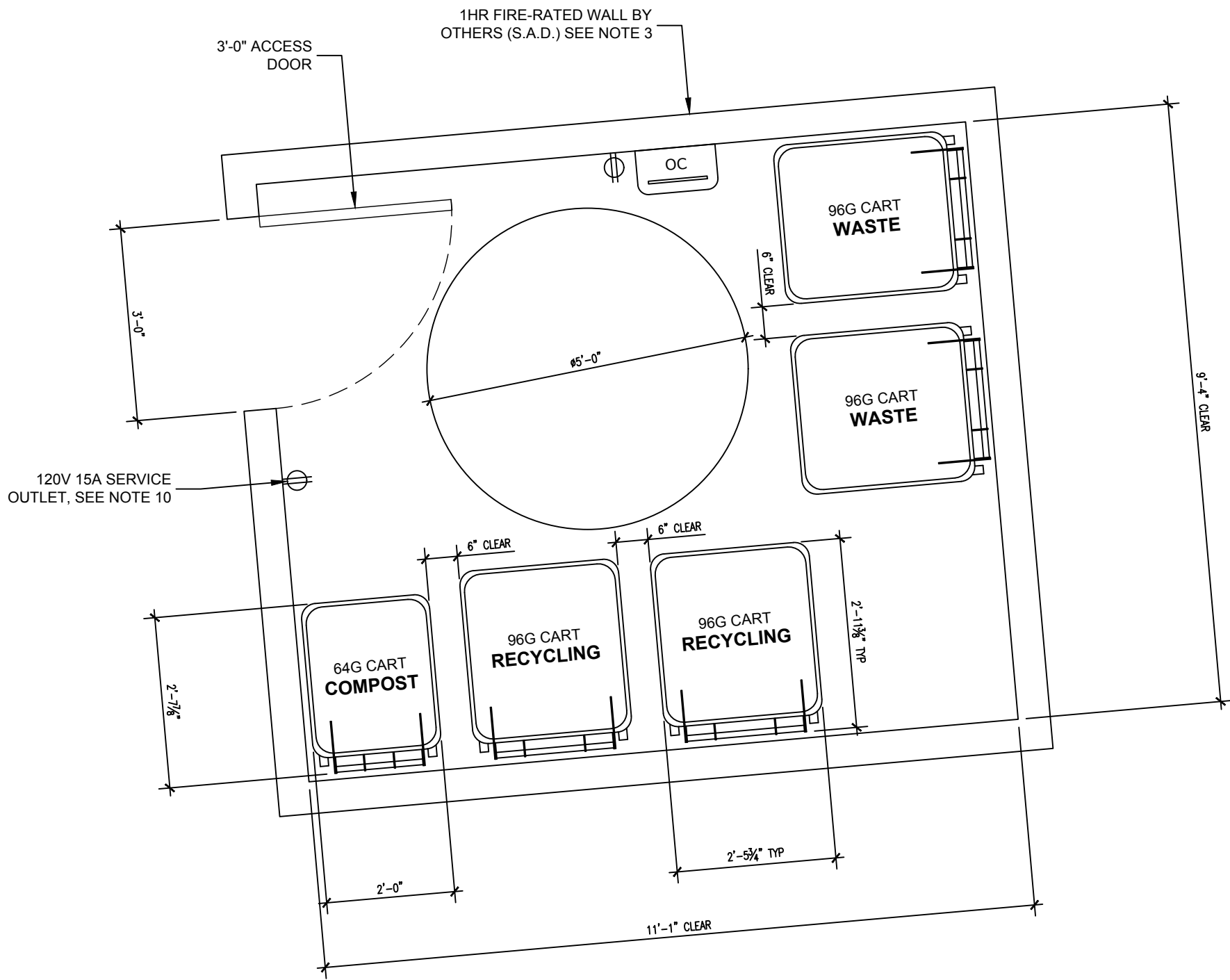
- SHEET NOTES.**
- OFFICE TRASH ROOMS. GROUND LEVEL.**
- TRASH COLLECTION ROOMS ARE 1HR FIRE-RATED - RESTRICTED ACCESS.
 - FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1" MAX) AND FLOOR DRAIN.
 - WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT 8'-0" AFF.
 - ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/SF PER 2019 CBC.
 - AT COMMERCIAL OFFICE TRASH PROVIDE 10'-0" WIDE ROLL-UP DOOR FOR TRANSFERRING CONTAINERS AND 3'-0" NFPA COMPLIANT FIRE EGRESS DOOR.
 - AT RETAIL TRASH PROVIDE 3'-0" NFPA COMPLIANT FIRE EGRESS DOOR.
 - OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. 120V 15A SERVICE OUTLET REQUIRED.
 - HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
 - PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB CAPACITY WITH 45.5' TURNING RADIUS. 120V 15A SERVICE OUTLET REQUIRED.
 - PROVIDE (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

- GENERAL NOTES.**
- ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
 - ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.



COMMERCIAL OFFICE TRASH ROOM PLAN
GROUND LEVEL

SCALE: 1/2" = 1'-0"



RETAIL TRASH ROOM PLAN
GROUND LEVEL

SCALE: 1/2" = 1'-0"

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



**AMERICAN TRASH
MANAGEMENT, INC.**

1900 Powell Street, Suite 220
Emeryville, CA 94608
P: 415.292.5400
F: 415.292.5410
www.trashmanage.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
**TRASH ROOM
PLANS**

SCALE
As Indicated

SHEET NUMBER

TR0.1



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

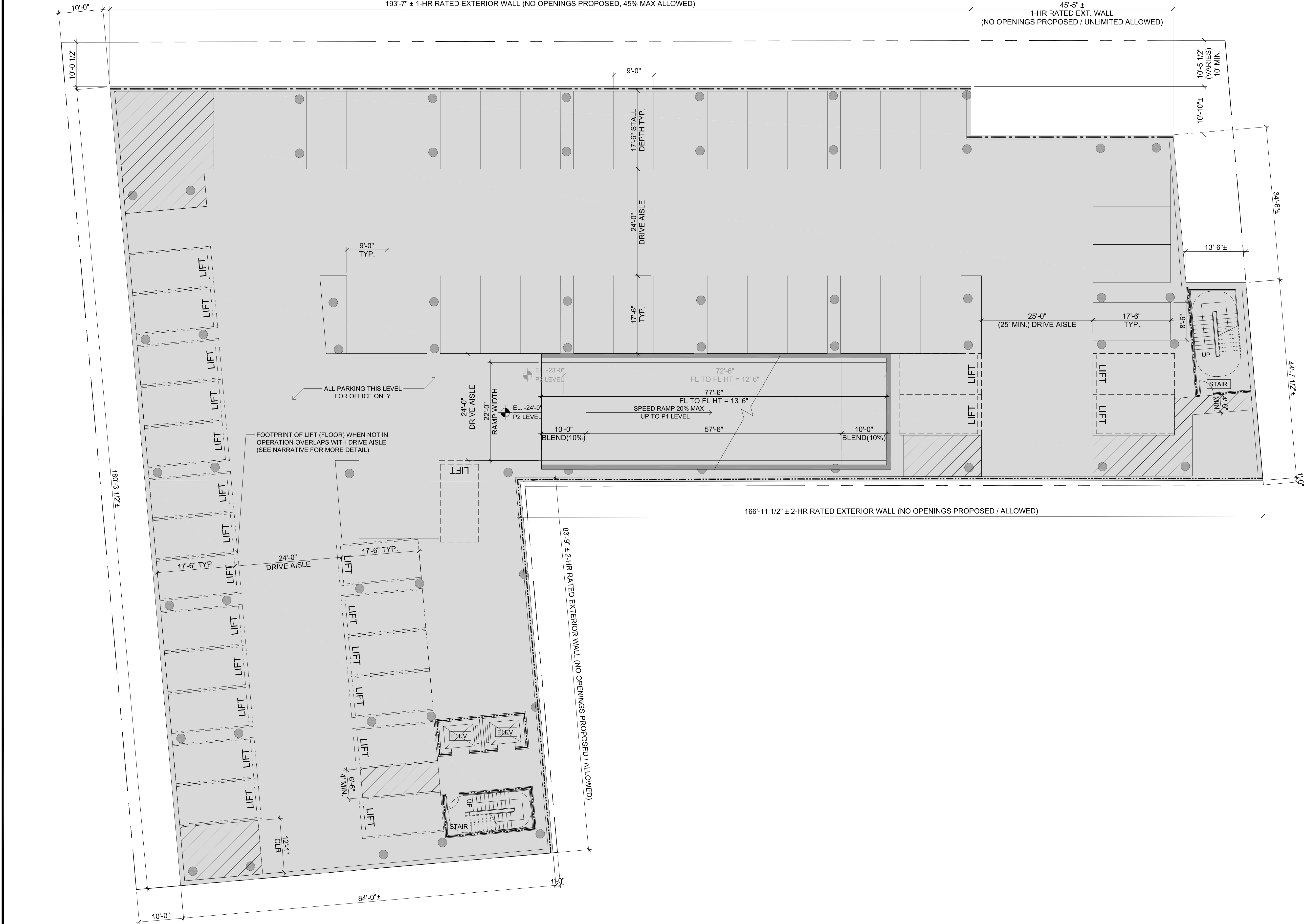
SHEET TITLE
**PROPOSED PLAN
PARKING PLAN P2**

SCALE
3/32" = 1'-0"
0 10'-8" 21'-4"



SHEET NUMBER

A2.P2



P2 LEVEL (82 TOTAL OFFICE STALLS)
24 LIFTS (48 STALLS) (9' X 17.5') WITH 6'-11" DEEP PIT & 13'-6" CLEAR HEIGHT
4 STD 90-DEGREE STALL (8.5' X 17.5') WITH 25' DRIVE AISLE
30 STD 90-DEGREE STALLS (9' X 17.5') WITH 24' DRIVE AISLE

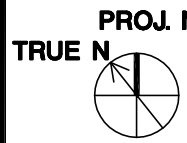


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
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	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
**PROPOSED PLAN
PARKING PLAN P1**

SCALE
3/32" = 1'-0"
0 10'-8" 21'-4"



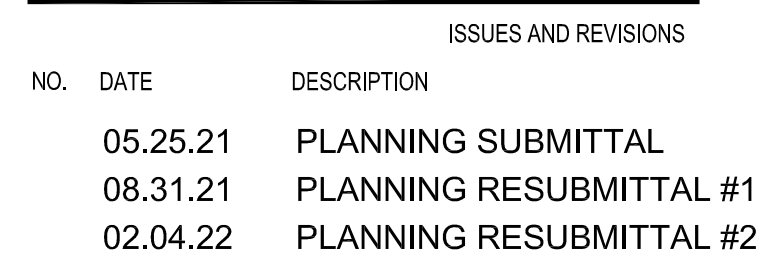
SHEET NUMBER

A2.P1



P1 LEVEL: 50 TOTAL OFFICE STALLS
6 STD 90-DEGREE STALLS (8.5' X 17.5' MIN.) WITH 25' DRIVE AISLE
44 STD 90-DEGREE STALLS (9' X 17.5') WITH 24' DRIVE AISLE

34 CONDUIT ONLY 'FUTURE EV' PROVIDED, INCLUDED IN COUNTS ABOVE:
* 33 STD FUTURE EVSE
* 1 AMBULATORY FUTURE EVSE
(FOR 26 TO 50 INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
(PER CBC 11B-812.6.3, 10' X 18', WITH NO ACCESS AISLE REQ.)

PROJECT NUMBER
20008

SHEET TITLE

**PROPOSED PLAN
FIRST FLOOR**

SALE

$$/32'' = 1'-0''$$


10'-8" 21'-4"

SHEET NUMBER

FIRST FLOOR: 40 TOTAL STALLS, 8 ADA + 17 RETAIL + 15 OFFICE
 6 STD ACCESSIBLE STALLS (9' X 18' MIN. WITH 5' ACCESS AISLE)
 * 1 STD EVSE ADA OFFICE
 * 5 STD ADA OFFICE


 2 VAN ACCESSIBLE STALLS (12' X 18' MIN. WITH 5 ACCESS AISLE)
 * 1 VAN EVSE ADA
 * 1 VAN ADA


 4 STALLS (ADA ACCESS AISLES)

 5 STD 90-DEGREE STALLS (8.5' X 17.5') WITH 25' DRIVE AISLE
 * 5 STD EVSE INSTALLED

 23 STD 90-DEGREE STALLS (9' X 17.5') WITH 24' DRIVE AISLE
 * 2 STD EVSE INSTALLED
 * 21 CAR

A2.1






Example shown above is a 4-unit section.
Lengths may vary based on your space.

Ultra Space Saver Squared

Dero's Ultra Space Saver Squared offers high-security, vertical bike parking. Adjustable sliding arms make it easy for customers to best utilize their space. It also creates flexibility to make sure bike spacing follows city requirements as they evolve. Pipe-cutter resistant squared steel tubing makes the Ultra Space Saver Squared more secure than the original Ultra Space Saver.

Patent D774,441



Ultra Space Saver Squared

Installation

The Ultra Space Saver Squared has several steps for installation. Note that the single and double sided setups and parts are different. Make sure you follow the instructions according to the model you ordered.

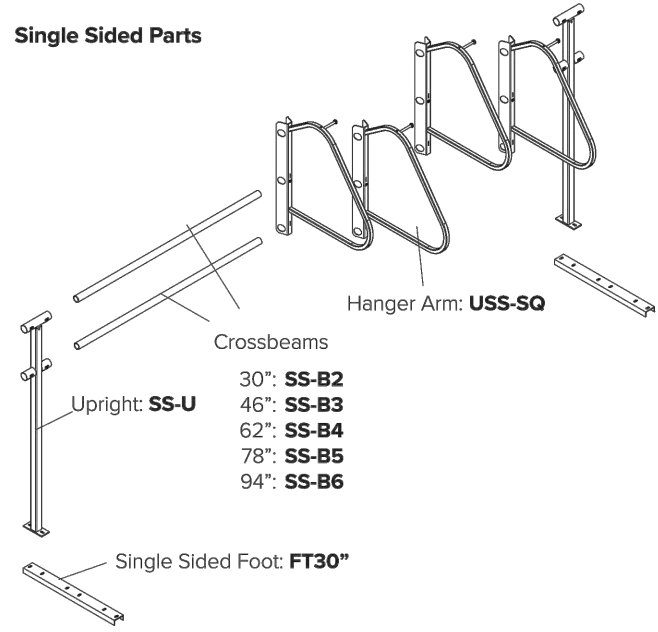
Recommended Base Materials:

Solid concrete is the best base material for installation. Make sure nothing is underneath the base material that could be damaged by drilling (i.e. post-tension cables). Use the 3/75" wedge anchors that are included to install the rack into the concrete (wall anchors are 3").

Installation:

Sort out the parts to the rack and identify each of them accordingly. The 1" carriage bolts are for assembly of the rack and the 3/75" wedge anchors are for mounting the rack to the floor.

Single Sided Parts



Hanger Arm: **USS-SQ**

Crossbeams

Upright: **SS-U**

30": **SS-B2**

46": **SS-B3**

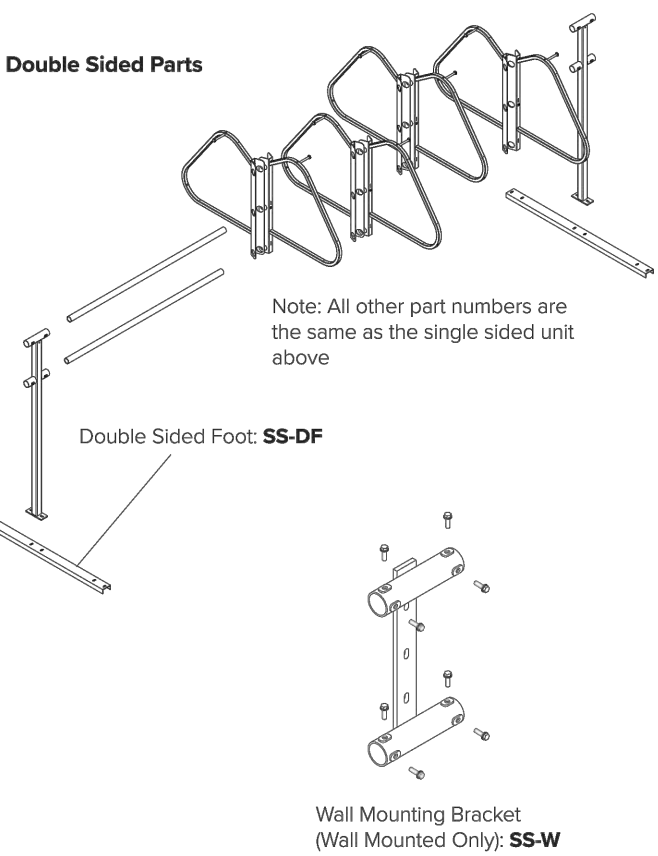
62": **SS-B4**

78": **SS-B5**

94": **SS-B6**

Single Sided Foot: **FT30"**

Double Sided Parts



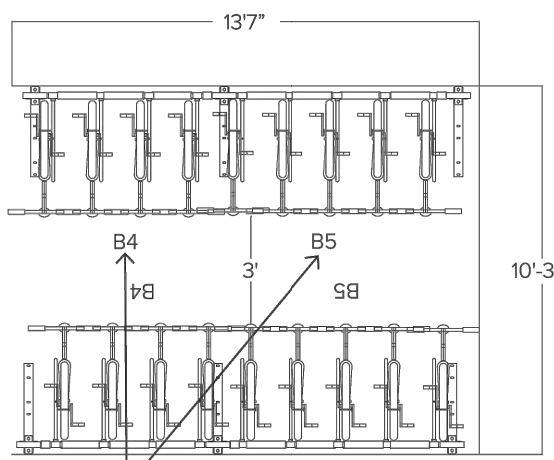
Double Sided Foot: **SS-DF**

Wall Mounting Bracket (Wall Mounted Only): **SS-W**


Note: All other part numbers are the same as the single sided unit above.

Reading your Dero designed layout

Ultra Space Saver Squared come in varying configurations, making it **very important** that you carefully follow the layout provided by Dero when installing the racks. If you do not follow the diagram, you may well end up short of parts. The length of each Ultra Space Saver Squared unit is indicated by a number ranging from B2-B7 in the layout. This number corresponds to the length of crossbeams to be installed. In the example provided below the Ultra Space Saver Squared is to be installed starting with two B4 units, which have 62" crossbeams, followed by a B5, which has 78" crossbeams.

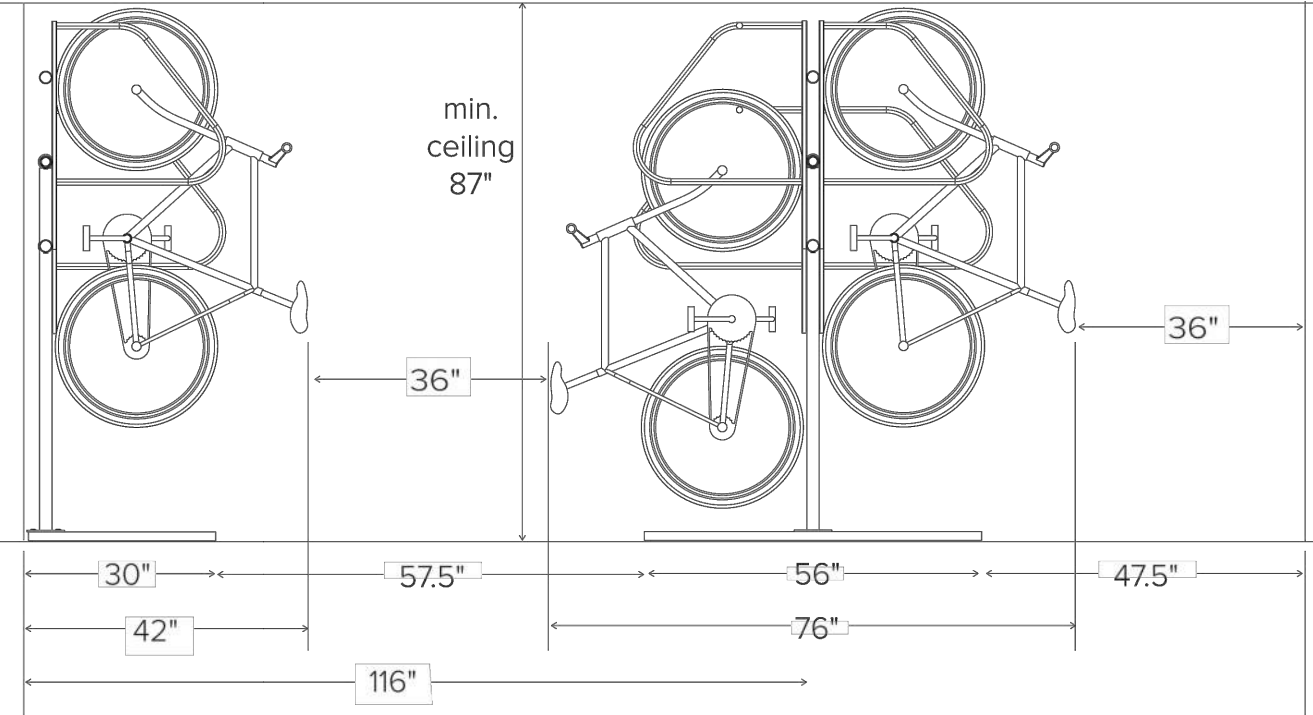



These numbers indicate the number of arms between brackets for each Ultra Space Saver Squared unit to be installed.



Ultra Space Saver Squared

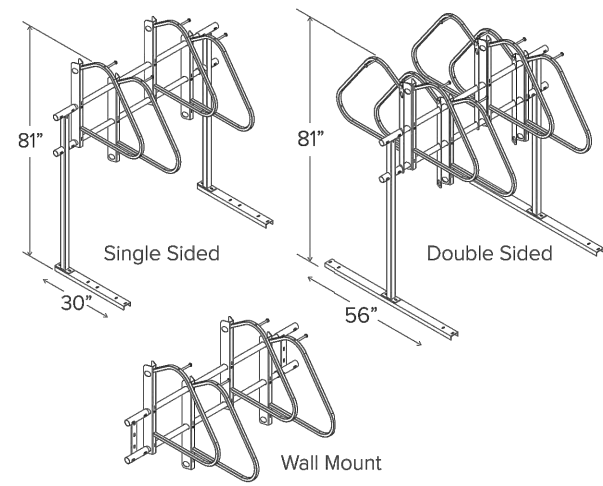
Setbacks





Ultra Space Saver Squared

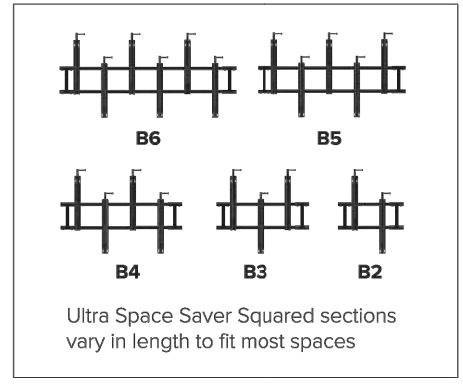
Submittal Sheet



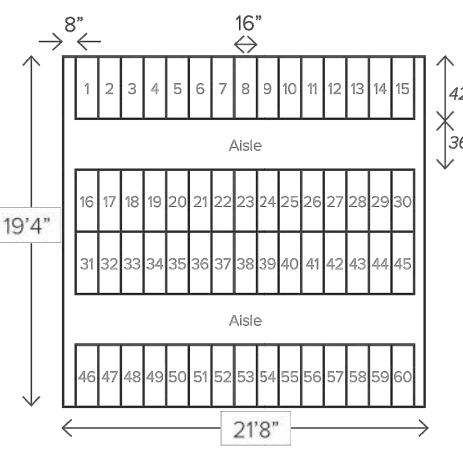
Single Sided

Double Sided

Wall Mount



Ultra Space Saver Squared sections vary in length to fit most spaces



As a general guideline, the above space can fit approximately 60 bicycles.

The Ultra Space Saver Squared parks one bike every 16" with a typical bike extending out 42" from the wall.

CAPACITY

Modular construction
1 bike per arm

MATERIALS

Hanger: 1" square tube with steel slider head with tamperproof locking bolts.
Uprights: 2" square tube.
Feet: AISI C3 x 4.1 galvanized steel channel.
Crossbeams: 2" sched. 40 galvanized pipe.

FINISHES

☐ **Black Powder Coat (Interior Use)**
Our interior powder coat finish assures a high level of adhesion and durability for indoor use by following these steps:
1. Sandblast
2. Final thick TGIC polyester powder coat

☐ **Black Powder Coat (Exterior Use) Additional Cost**
Our exterior powder coat finish assures a high level of adhesion and durability for outdoor or exposed air use by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat

MOUNT OPTIONS

☐ **Floor mount**
Ultra Space Saver Squared have steel channel feet (30" for single sided and 56" for double sided units) which must be anchored to the floor.

☐ **Wall mount**
A wall mounted unit which contains special brackets is also available for CMU or solid concrete walls. Cannot be used on sheetrock without additional support.

WHEEL STOPS

☐ **Include wheel stops**

Optional wheel stops are available for an additional cost

SMITH DEVELOPMENT

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PALO ALTO, CA 94306

ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
LONG TERM BIKE STORAGE

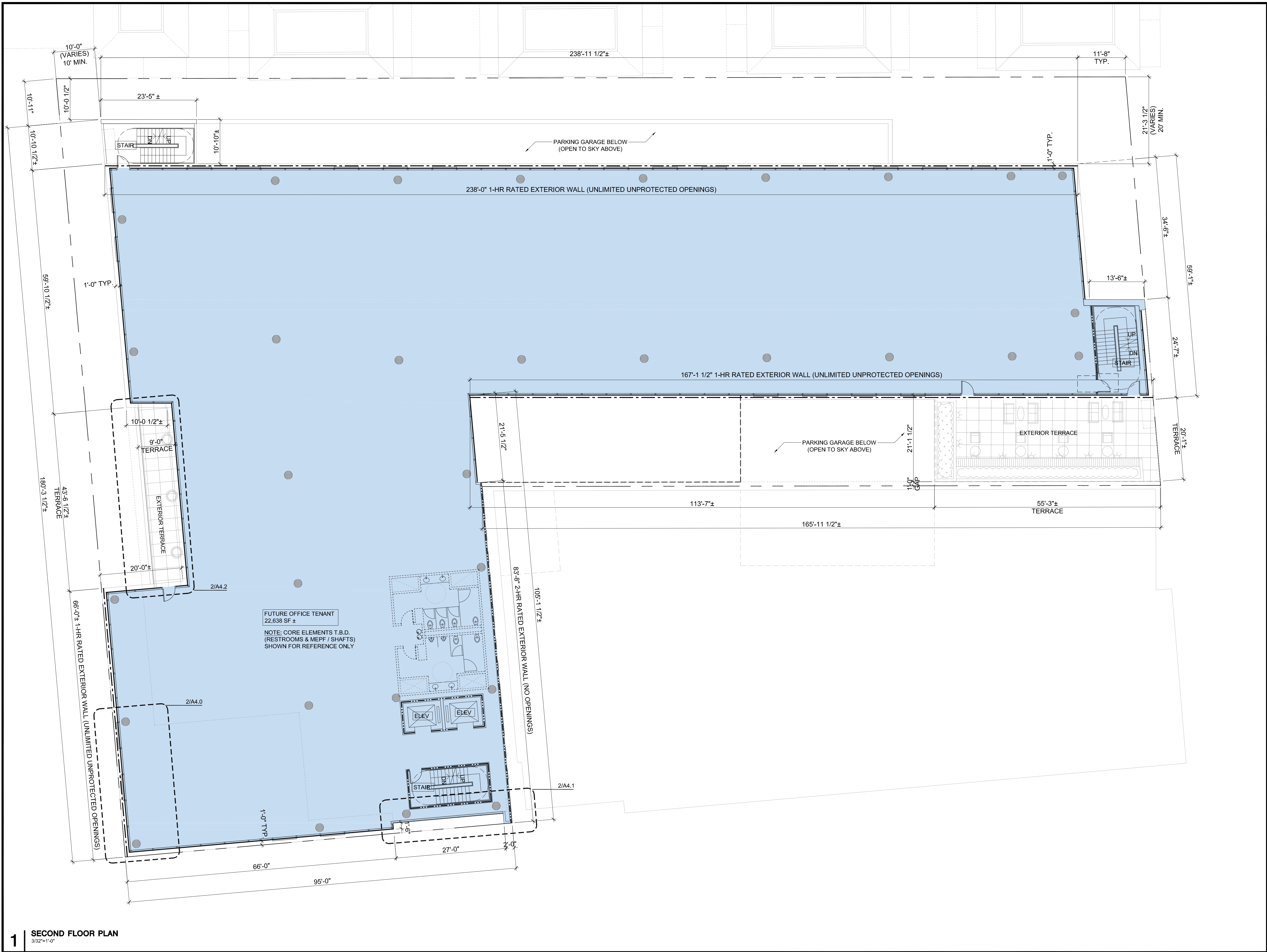
SCALE
1/4" = 1'-0"

0 4'-0" 8'-0"

SHEET NUMBER

A2.1B

1 | ENLARGED BIKE ROOM & SHOWER / CHANGING ROOM & GYM PLAN
1/4"=1'-0"



1 SECOND FLOOR PLAN
3/32"=1'-0"

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	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
**PROPOSED PLAN
SECOND FLOOR**

SCALE

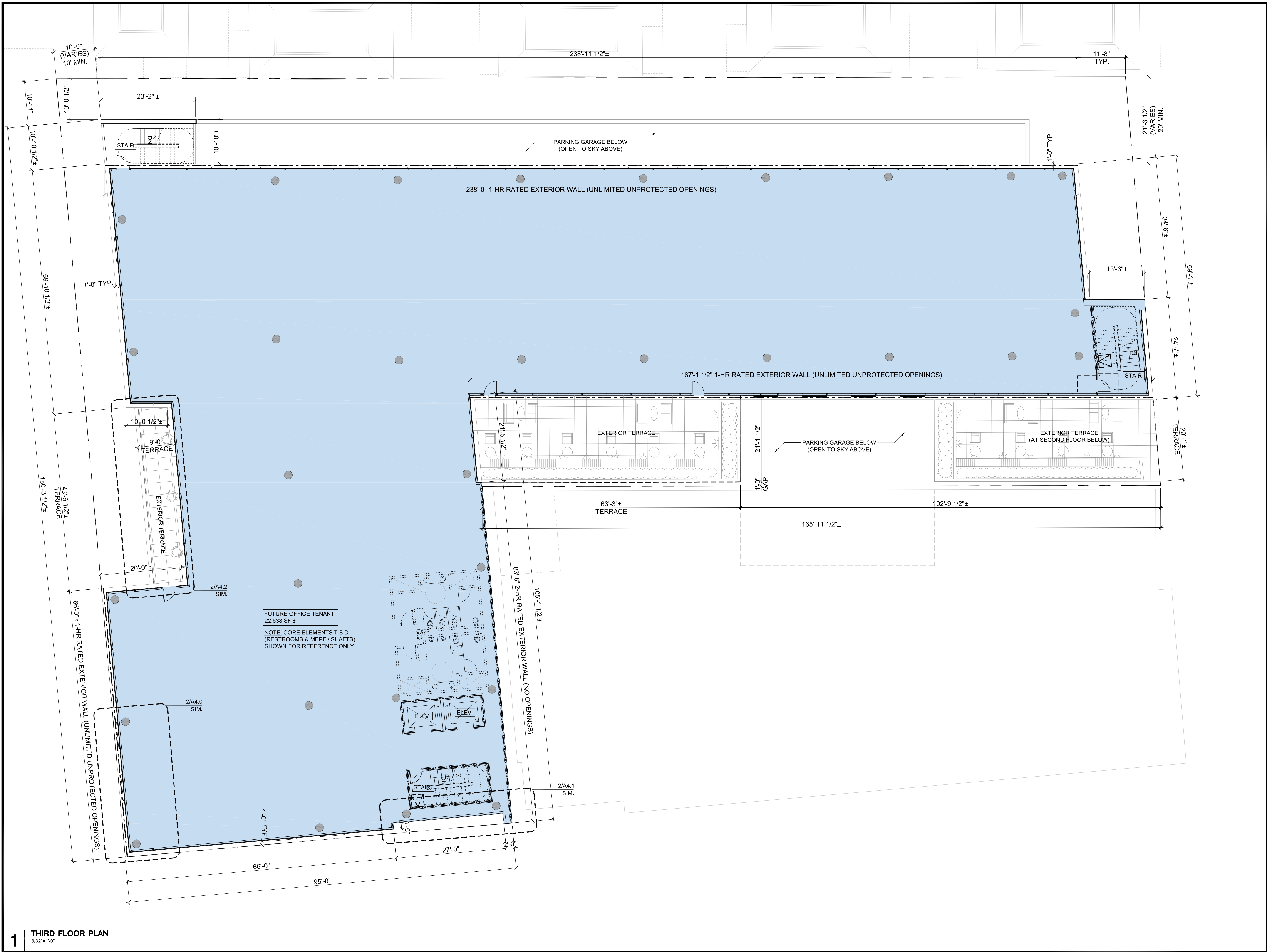
3/32" = 1'-0"



0 10'-8" 21'-4"

SHEET NUMBER

A2.2



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	05.25.21	PLANNING SUBMITTAL
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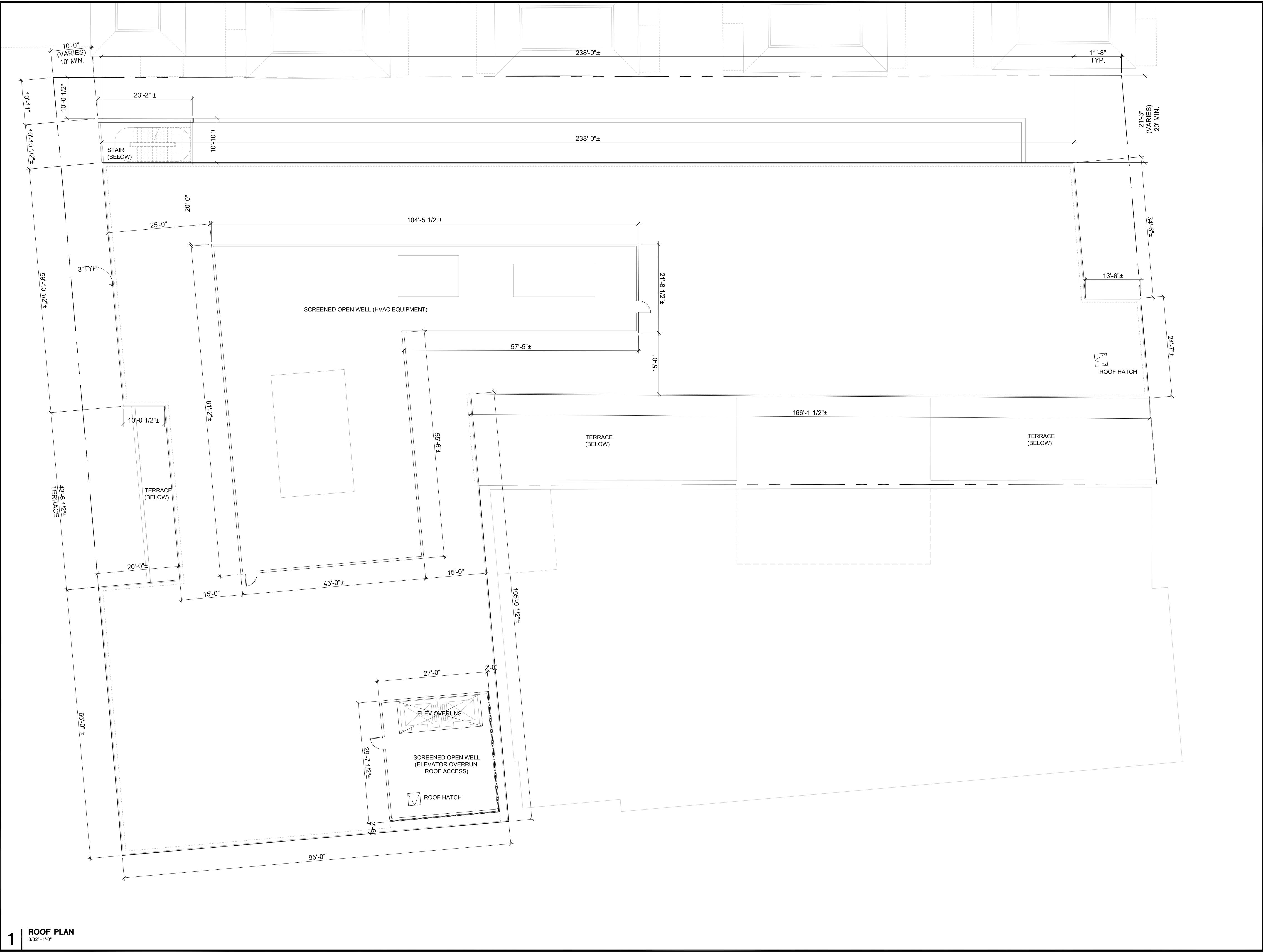
PROJECT NUMBER
20008

SHEET TITLE
PROPOSED PLAN
THIRD FLOOR

SCALE
3/32" = 1'-0"
0 10'-8" 21'-4"

SHEET NUMBER

A2.3



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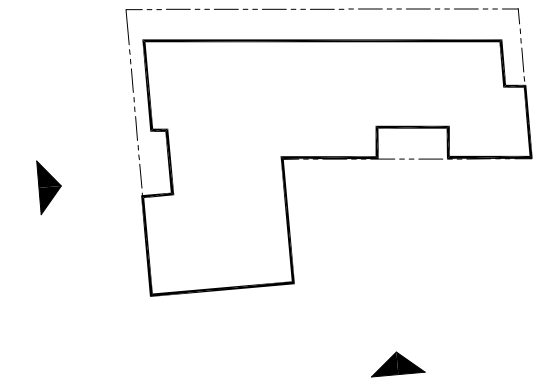
PROJECT NUMBER
20008

SHEET TITLE
PROPOSED PLAN
ROOF

SCALE
3/32" = 1'-0"
0 10'-8" 21'-4"

SHEET NUMBER

A2.4

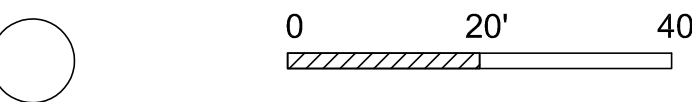


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
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	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
CONTEXT ELEVATIONS

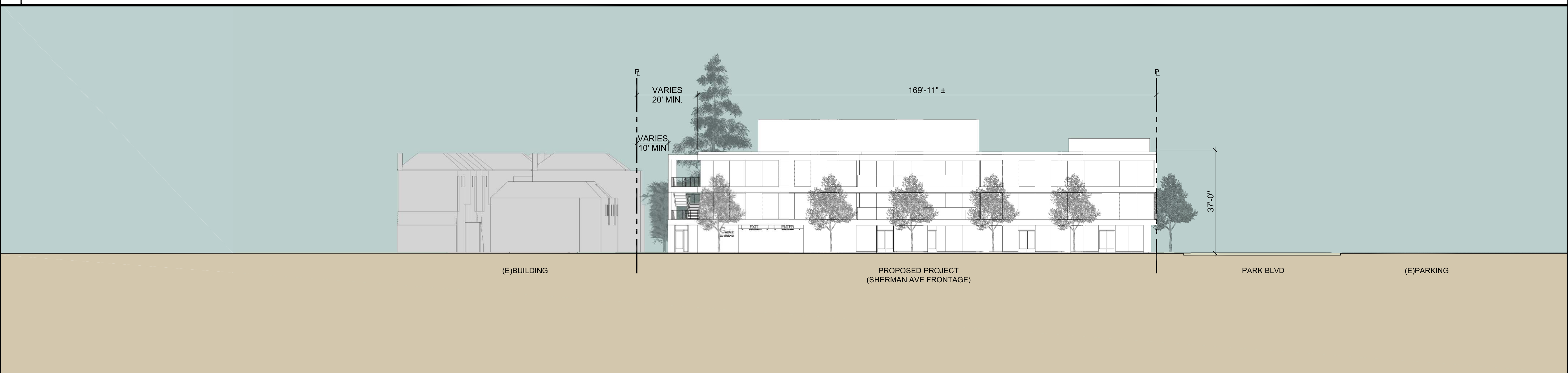
SCALE
1" = 20'-0"



SHEET NUMBER

A3.0

3 | CONTEXT ELEVATION AT PARK BLVD
1/8" = 1'-0"



2 | CONTEXT ELEVATION AT SHERMAN AVE.
1/32" = 1'-0"

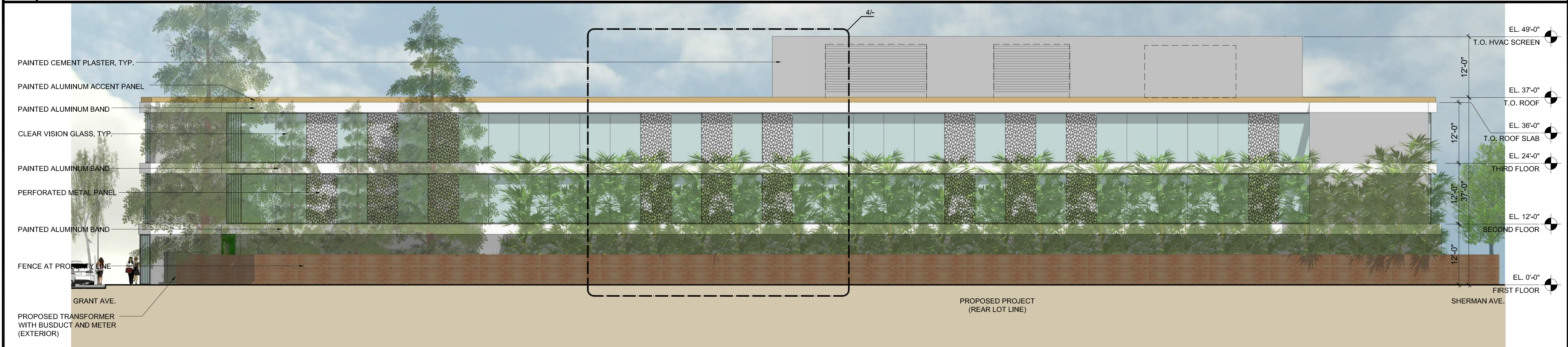


1 | KEY PLAN - PROPOSED SITE PLAN
1/64" = 1'-0"

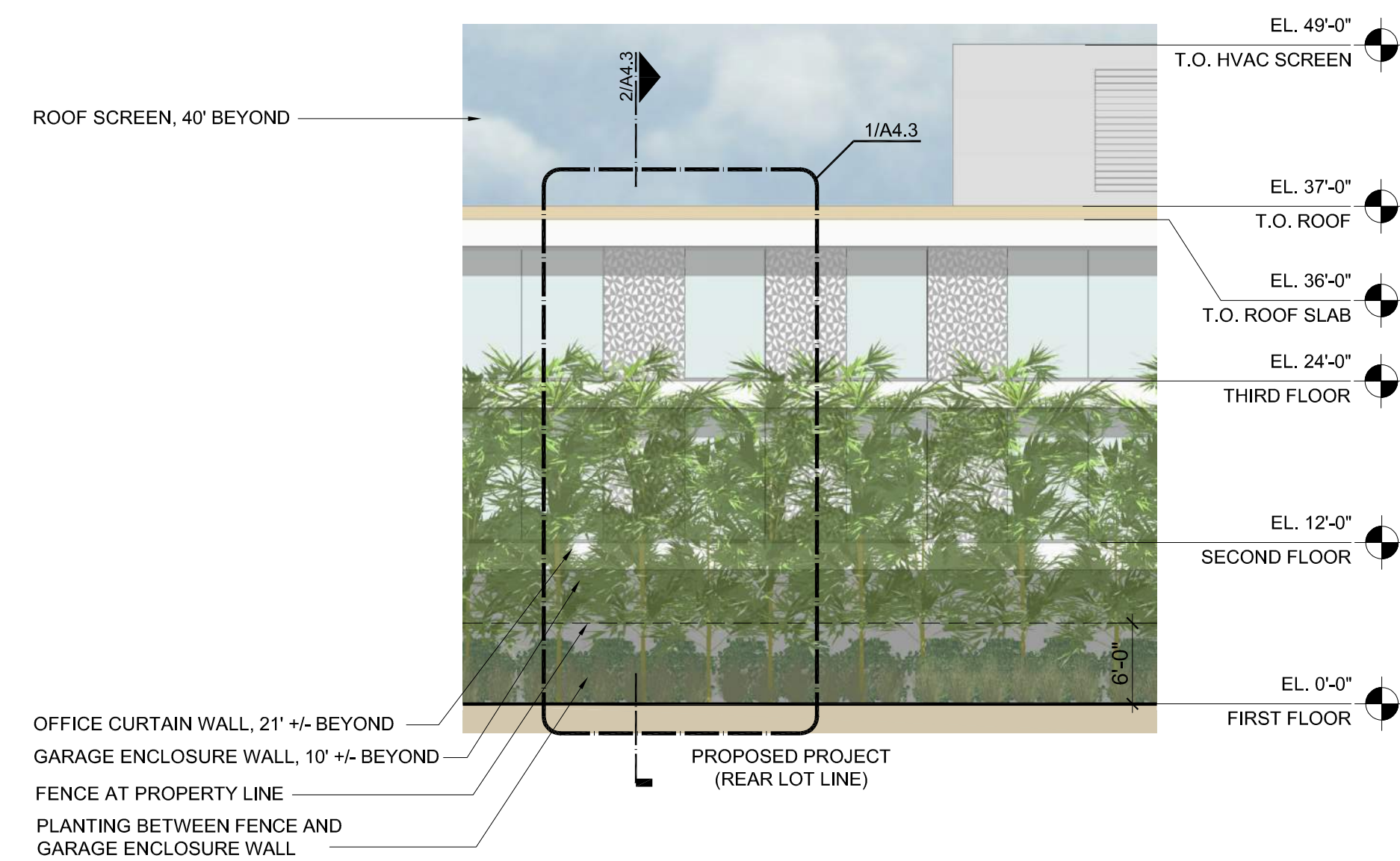




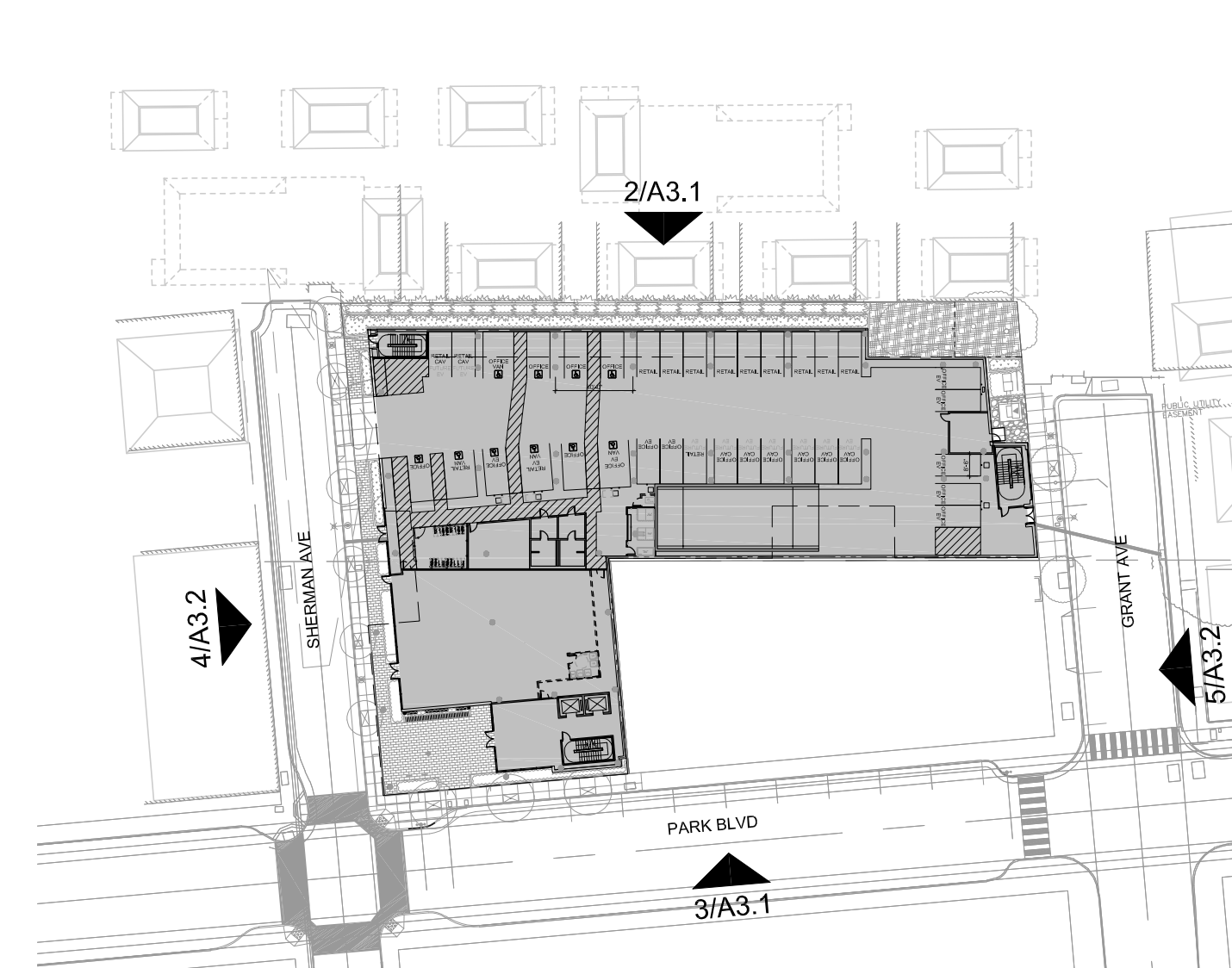
3 | PROPOSED SOUTH ELEVATION AT PARK BLVD
3/32" = 1'-0"



2 | PROPOSED NORTH ELEVATION
3/32" = 1'-0"



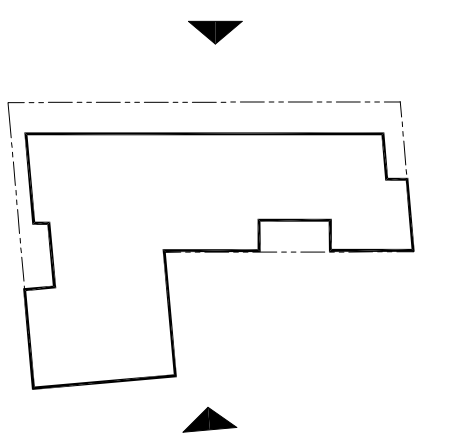
4 | PARTIAL NORTH ELEVATION (WITH FENCE HIDDEN)
3/32" = 1'-0"



1 | KEY PLAN - PROPOSED SITE PLAN
1/64" = 1'-0"

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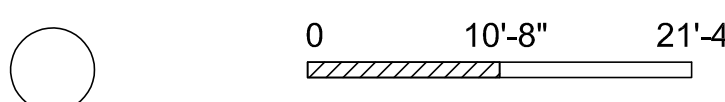
ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
PROPOSED BUILDING ELEVATIONS

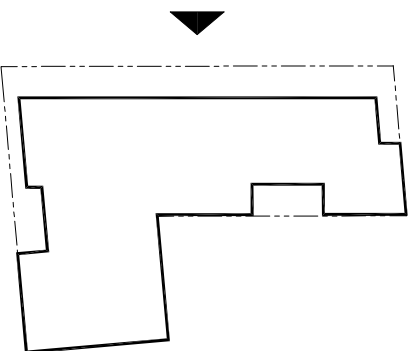
SCALE

3/32" = 1'-0"



SHEET NUMBER

A3.1A



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
**PROPOSED BUILDING ELEVATIONS
AND PERSPECTIVE**

SCALE

3/32" = 1'-0"

0 10'-8" 21'-4"

SHEET NUMBER

A3.1B



2 RESIDENTIAL CONTEXT PERSPECTIVE

NTS



1 PROPOSED NORTH ELEVATION - RESIDENTIAL CONTEXT

3/32" = 1'-0"



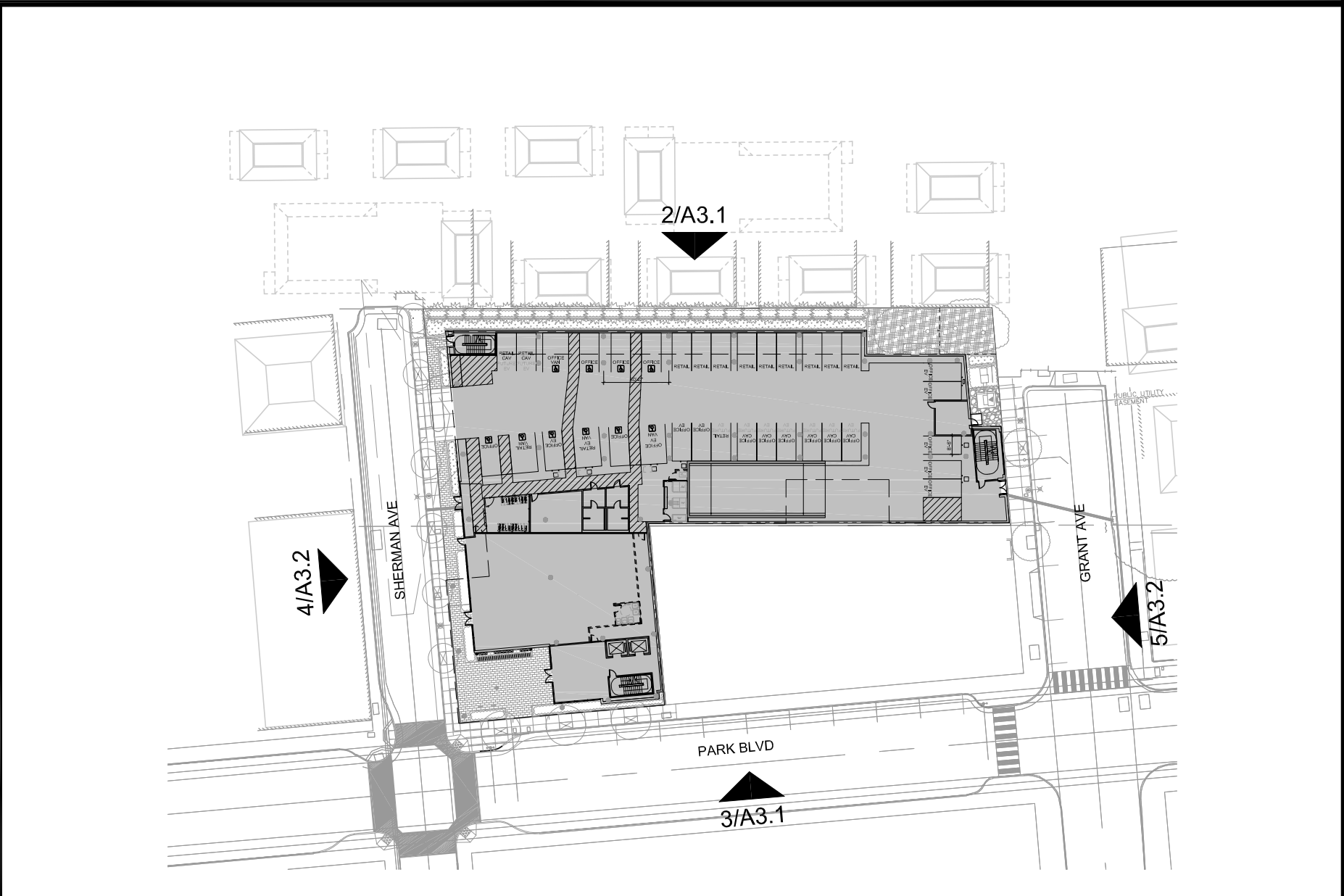
5 | PROPOSED EAST ELEVATION AT GRANT AVE.
3/32" = 1'-0"



4 | PROPOSED WEST ELEVATION AT SHERMAN AVE.
3/32" = 1'-0"



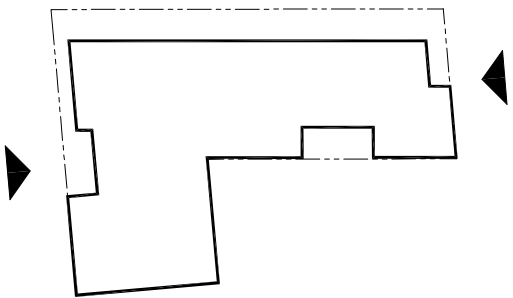
6 | BUILDING ELEVATION
1/16" = 1'-0"



1 | KEY PLAN - PROPOSED SITE PLAN
1/64" = 1'-0"

SMITH DEVELOPMENT

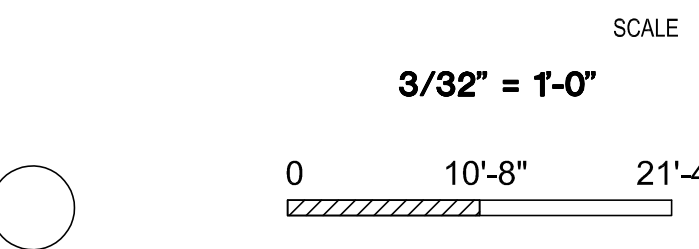
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PROJECT NUMBER
20008

SHEET TITLE
PROPOSED BUILDING ELEVATIONS



SHEET NUMBER

A3.2



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
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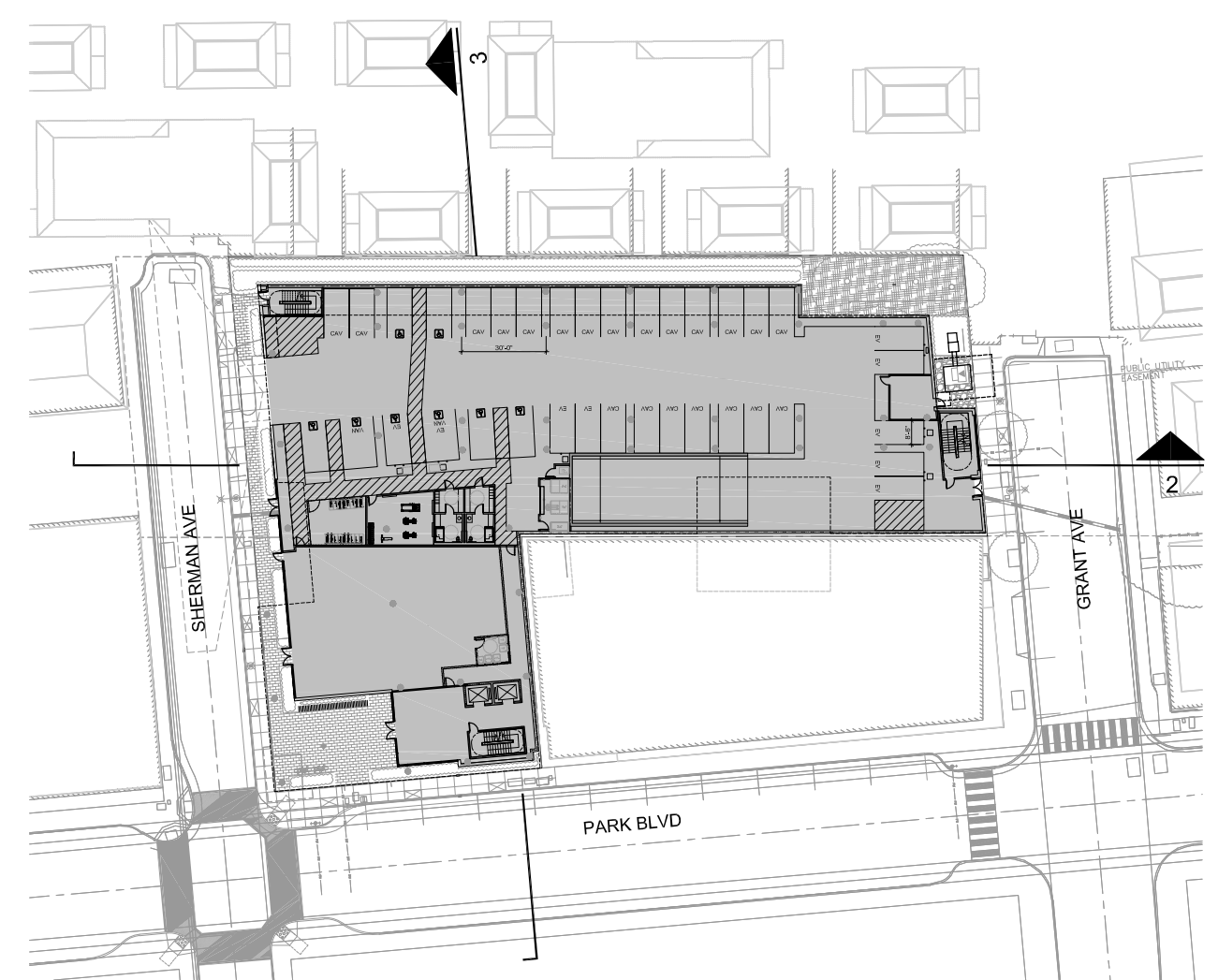
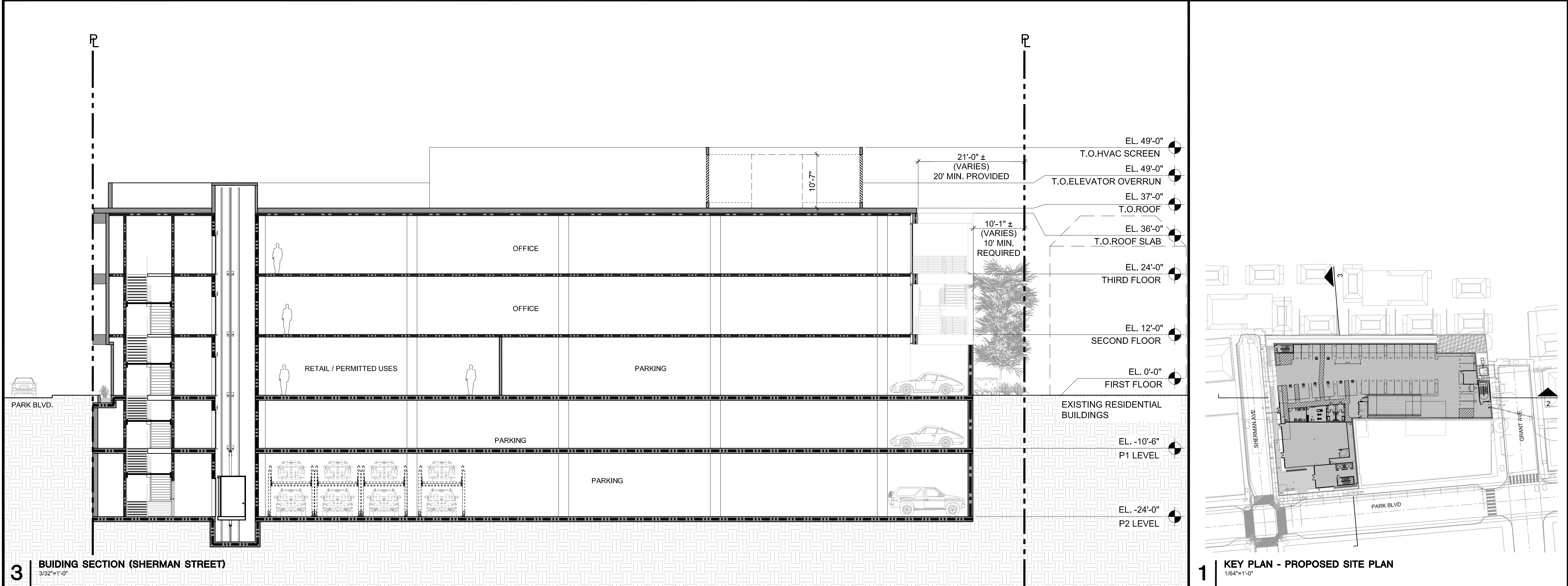
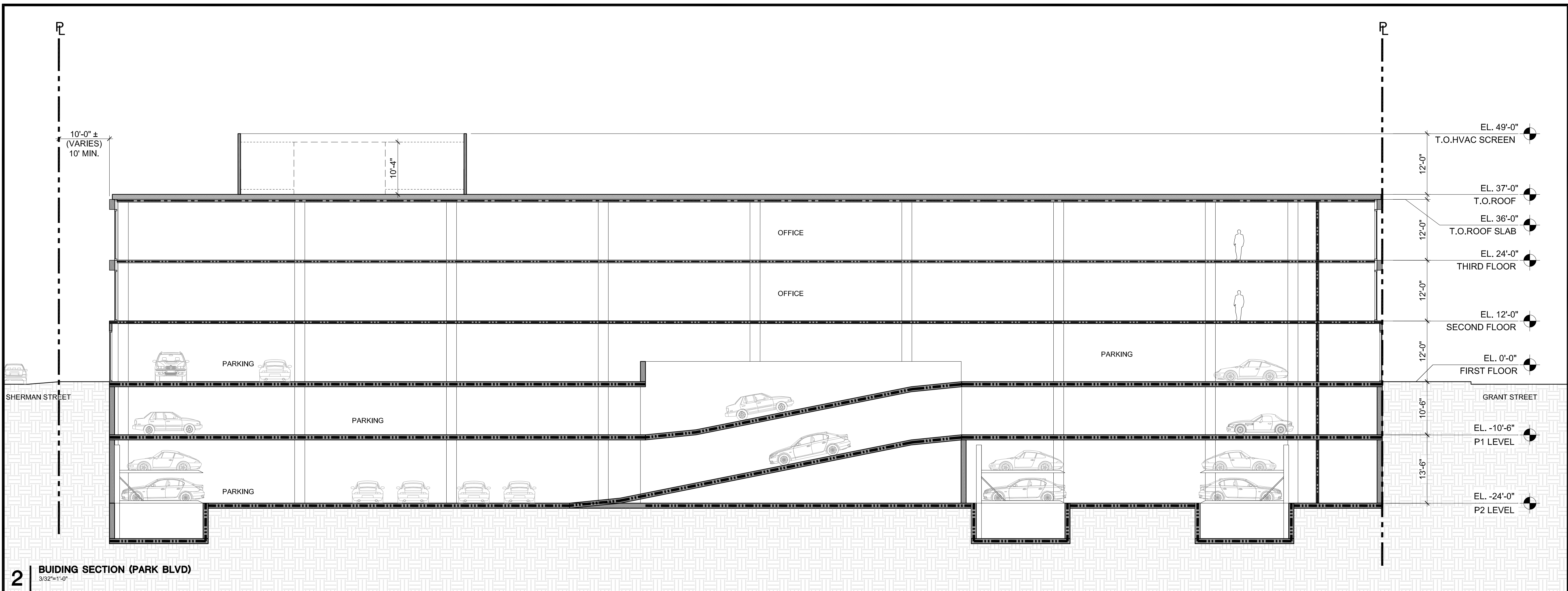
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20008

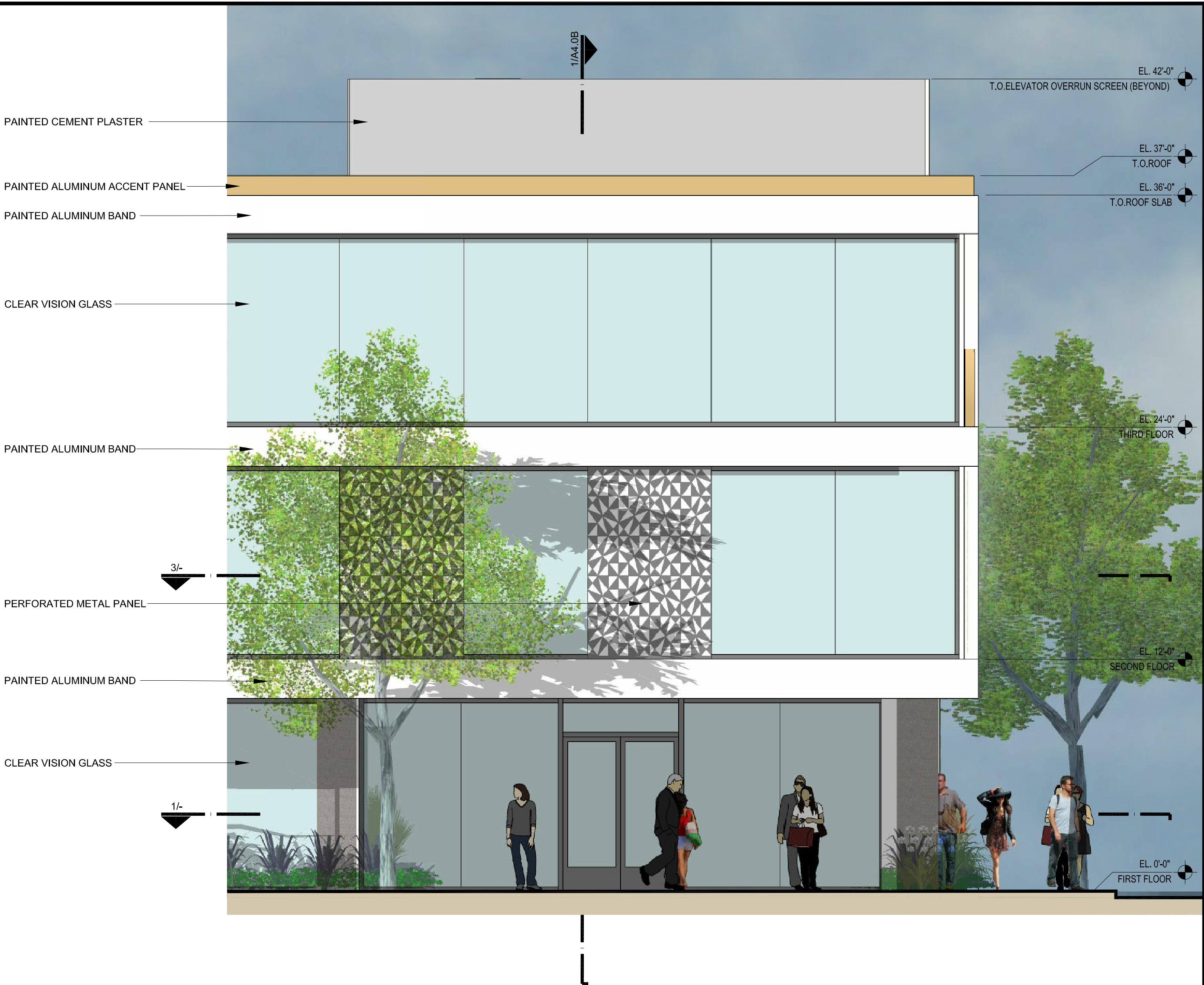
SHEET TITLE
BUILDING SECTIONS

SCALE
AS NOTED

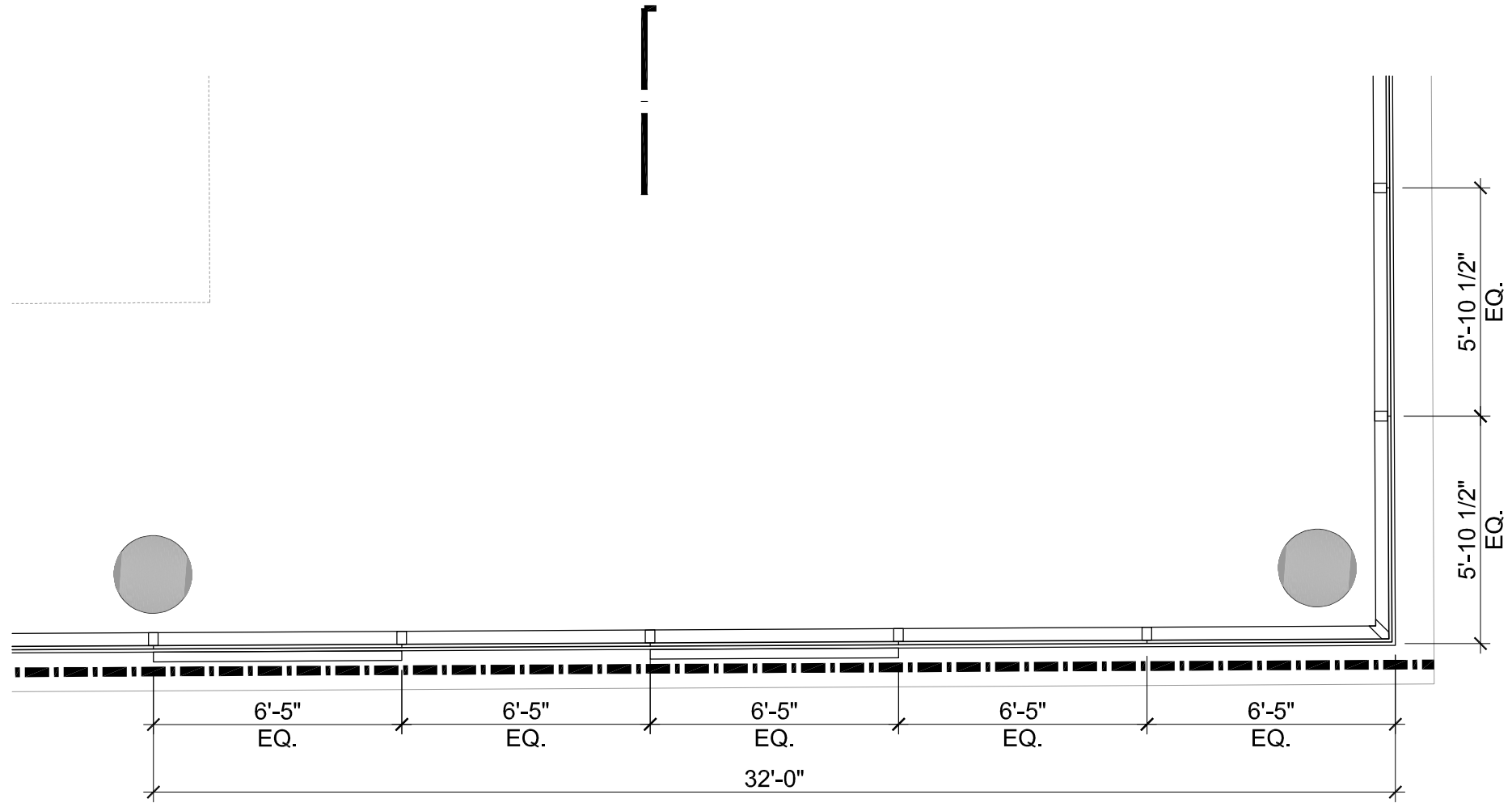
SHEET NUMBER

A3.3

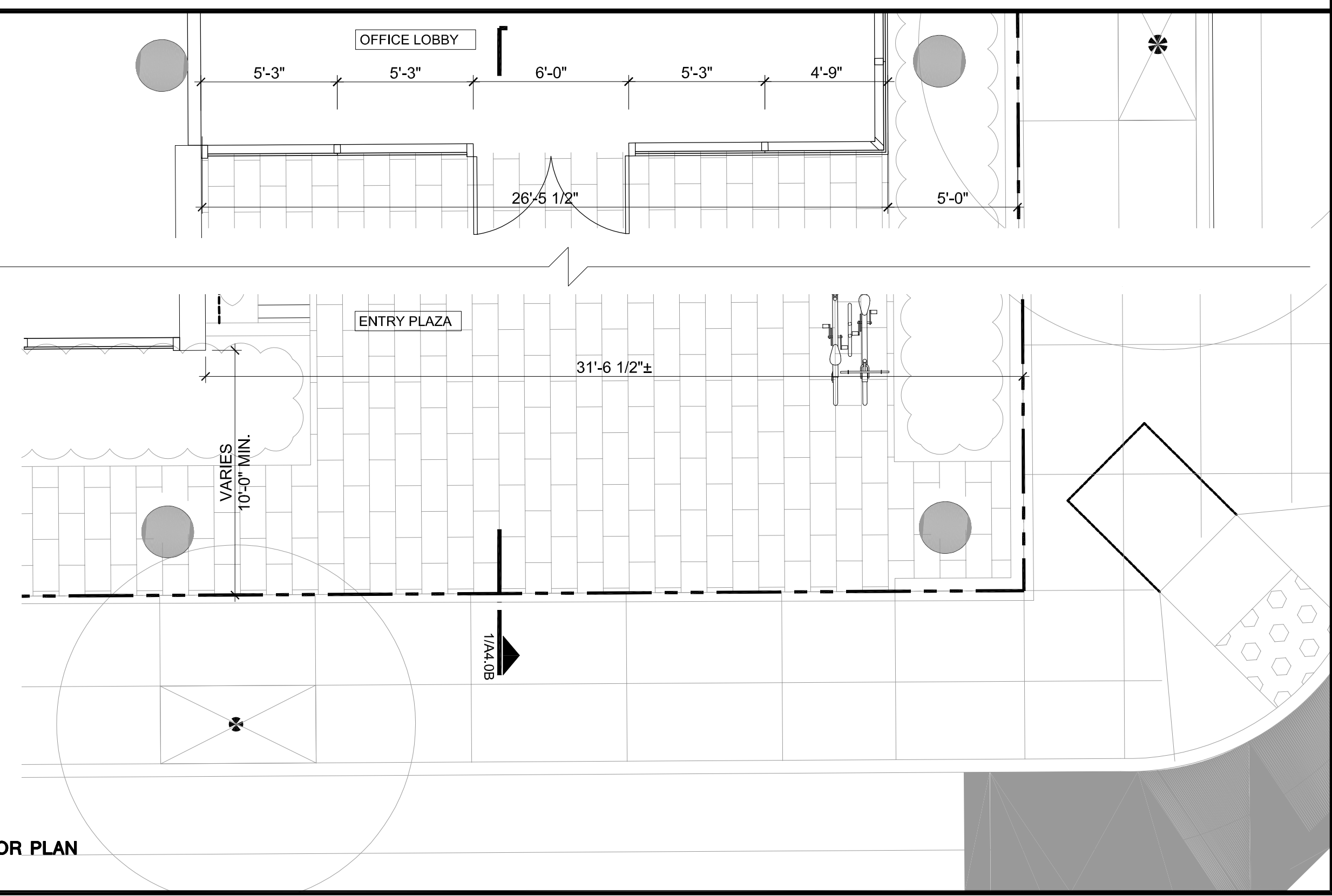




2 | ELEVATION
1/4"=1'-0"



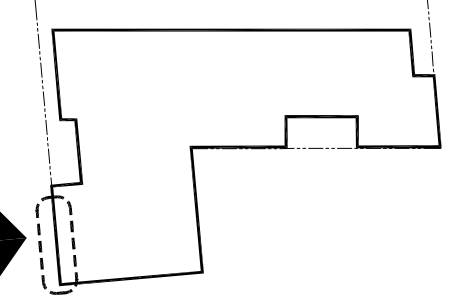
3 | SECOND FLOOR PLAN
1/4"=1'-0"



1 | FIRST FLOOR PLAN
1/4"=1'-0"

SMITH DEVELOPMENT

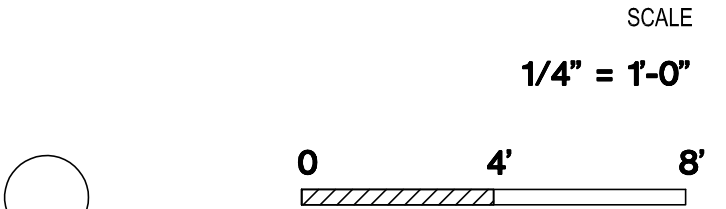
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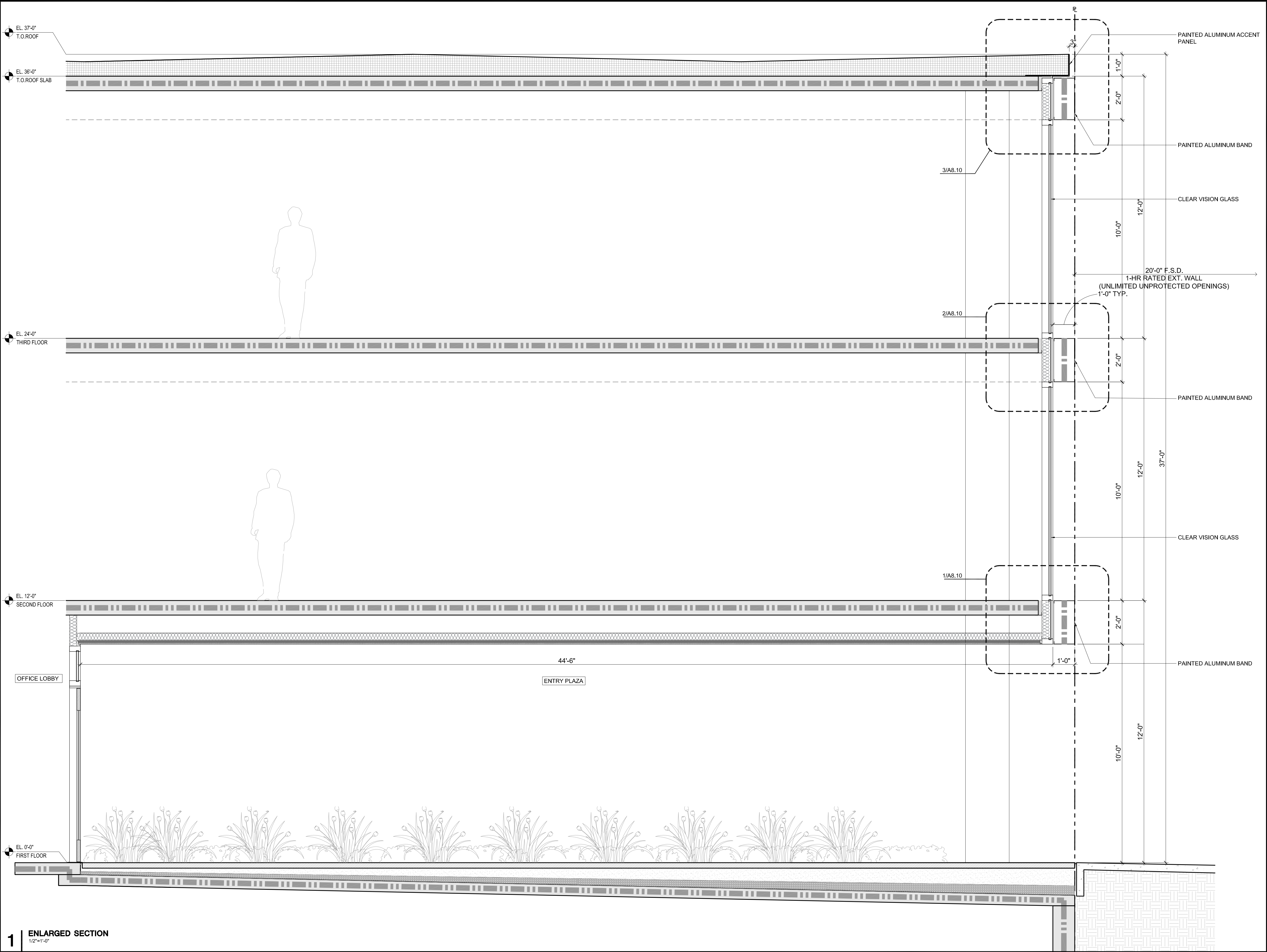
PROJECT NUMBER
20008

SHEET TITLE
ENLARGED ELEVATION



SHEET NUMBER

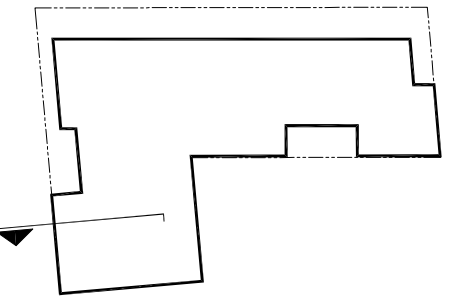
A4.0A



1 ENLARGED SECTION
1/2"=1'-0"

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PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
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02.04.22		PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
ENLARGED SECTION

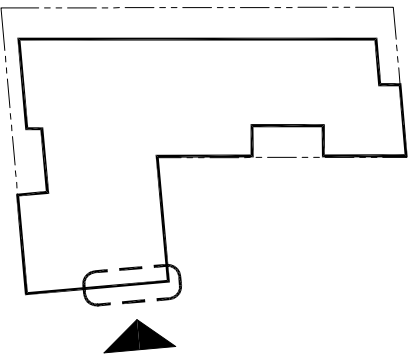
SCALE
1/2" = 1'-0"
0 2' 4'

SHEET NUMBER

A4.0B

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PROJECT NUMBER
20008

SHEET TITLE
ENLARGED ELEVATION

SCALE
1/4" = 1'-0"



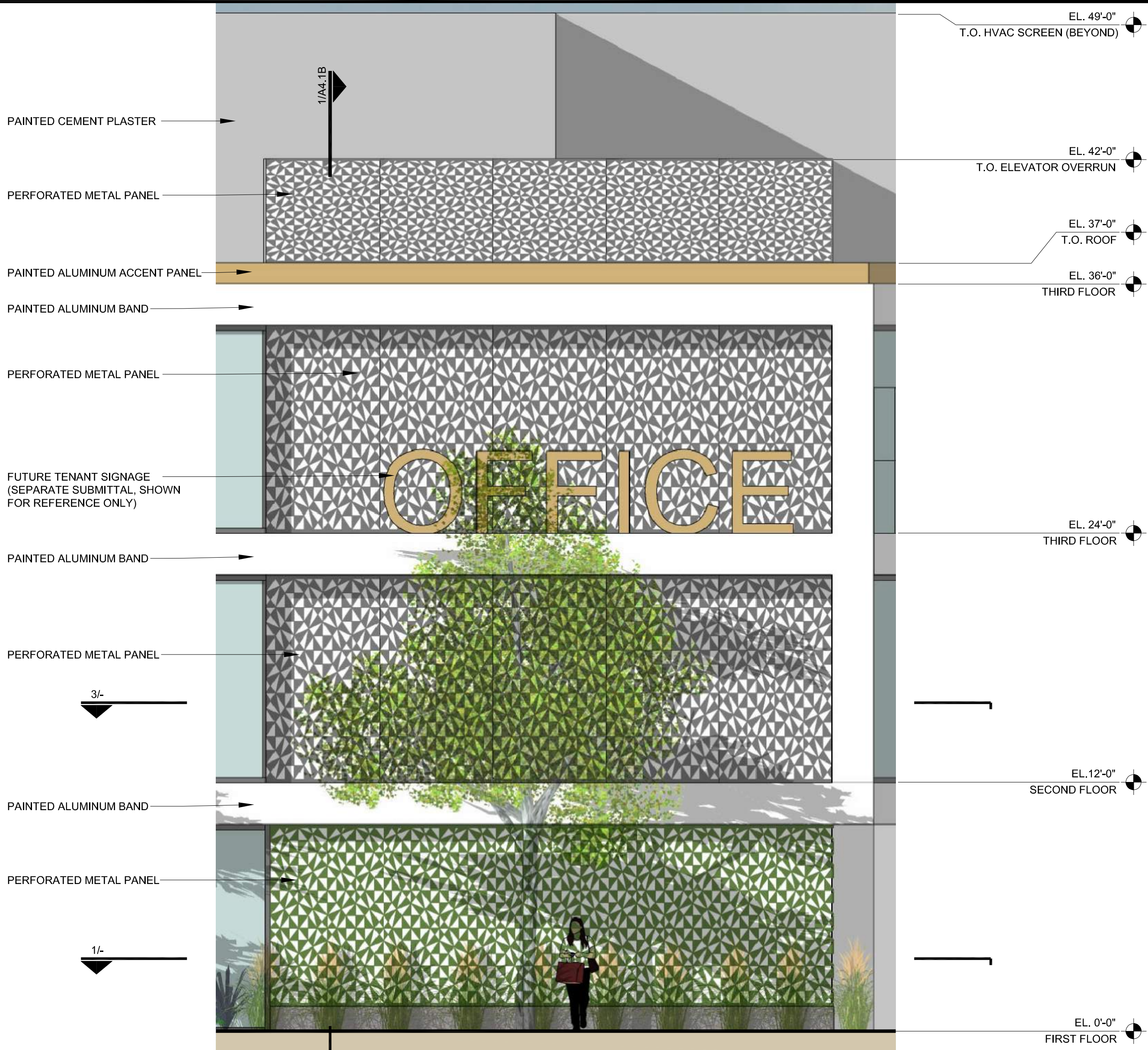
SHEET NUMBER

A4.1A

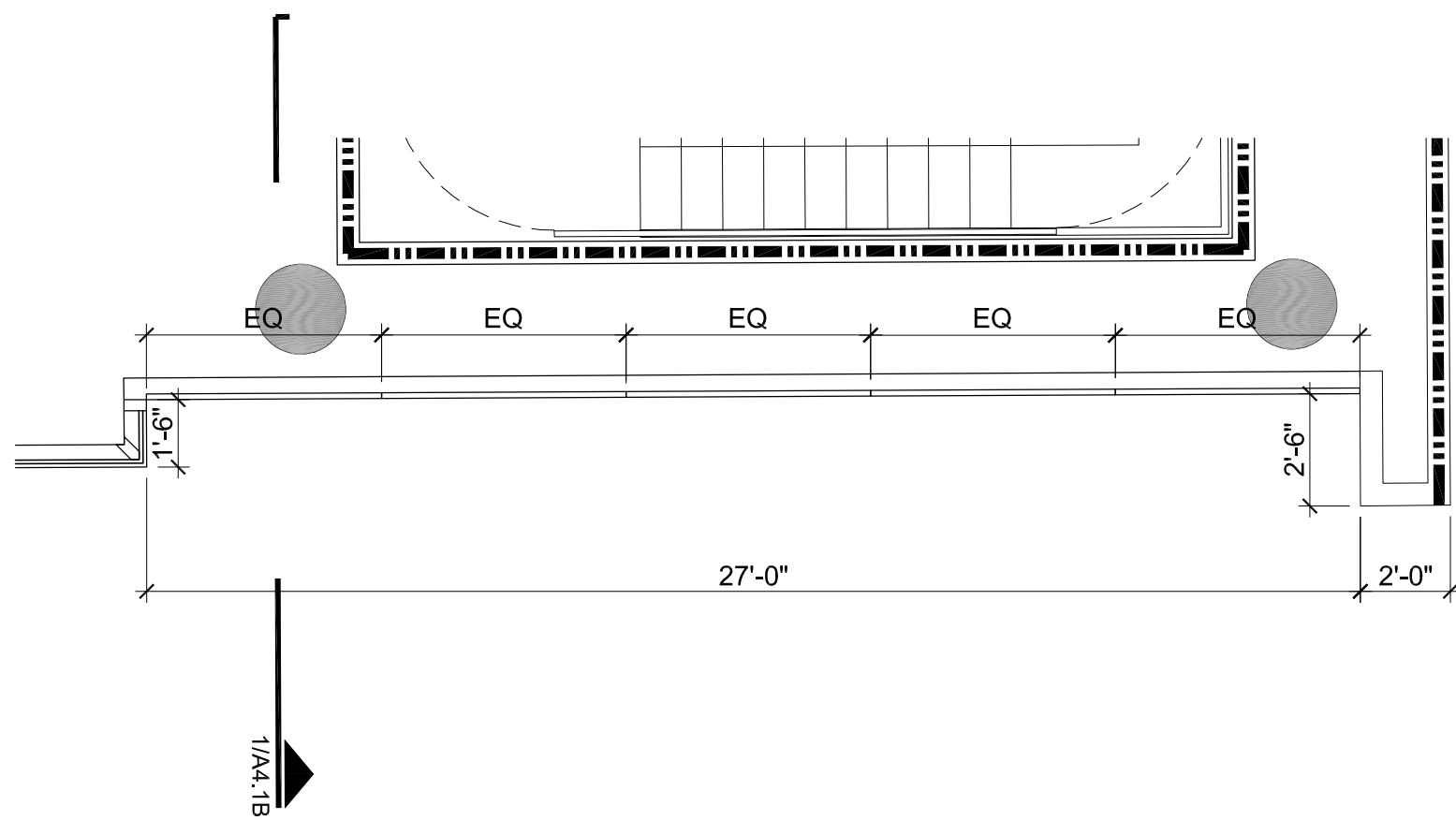
4 BUILDING ELEVATION
1/8"=1'-0"



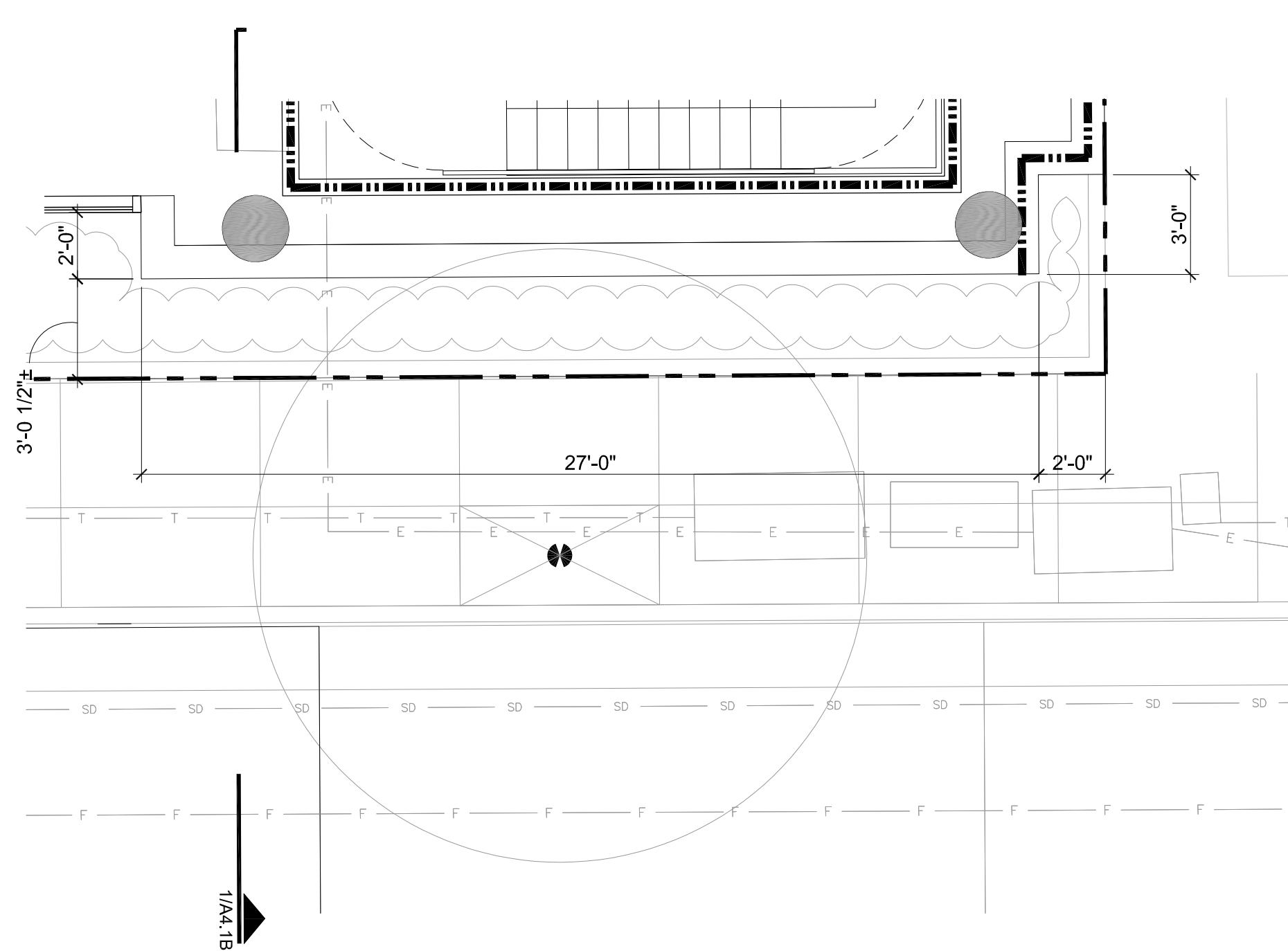
2 ENLARGED ELEVATION
1/4"=1'-0"

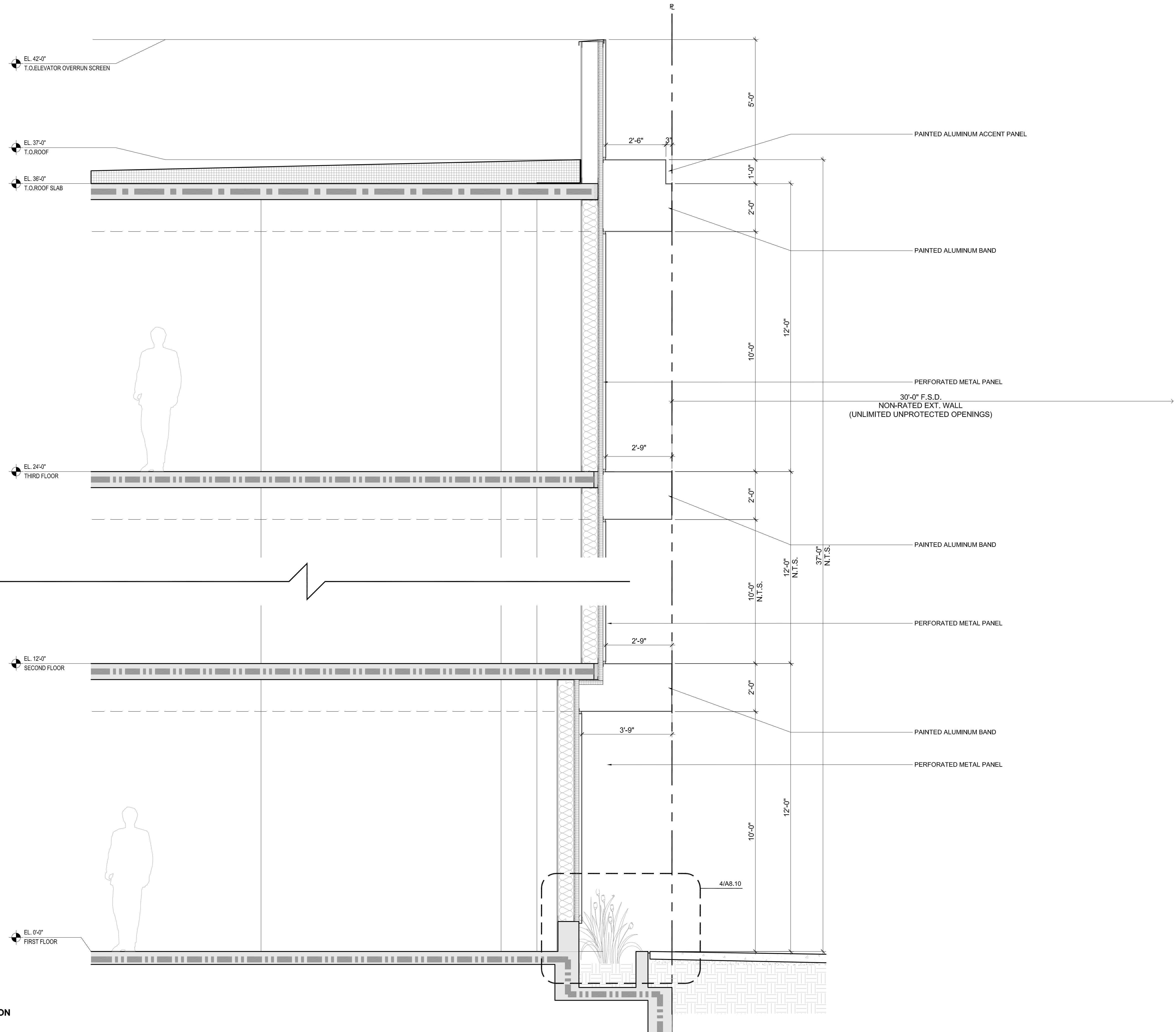


3 SECOND FLOOR PLAN
1/4"=1'-0"



1 FIRST FLOOR PLAN
1/4"=1'-0"





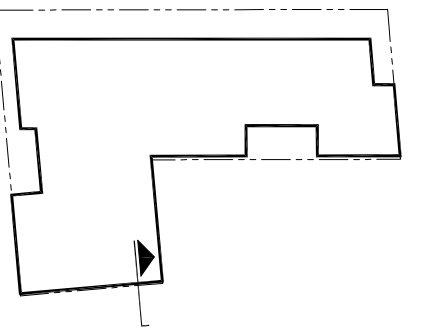
1 ENLARGED SECTION
1/2"=1'-0"

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



ARCHITECTS
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2

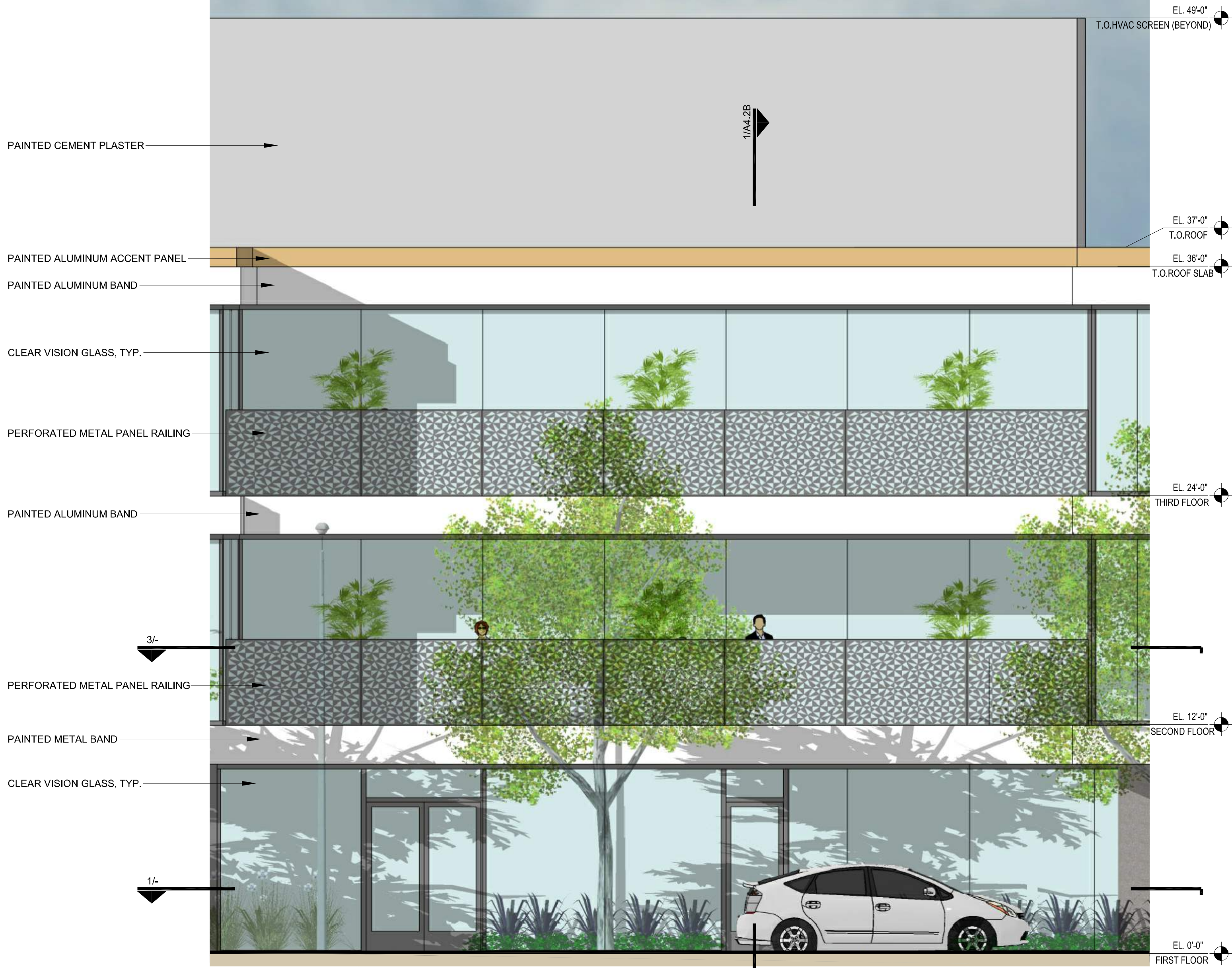
PROJECT NUMBER
20008

SHEET TITLE
ENLARGED SECTION

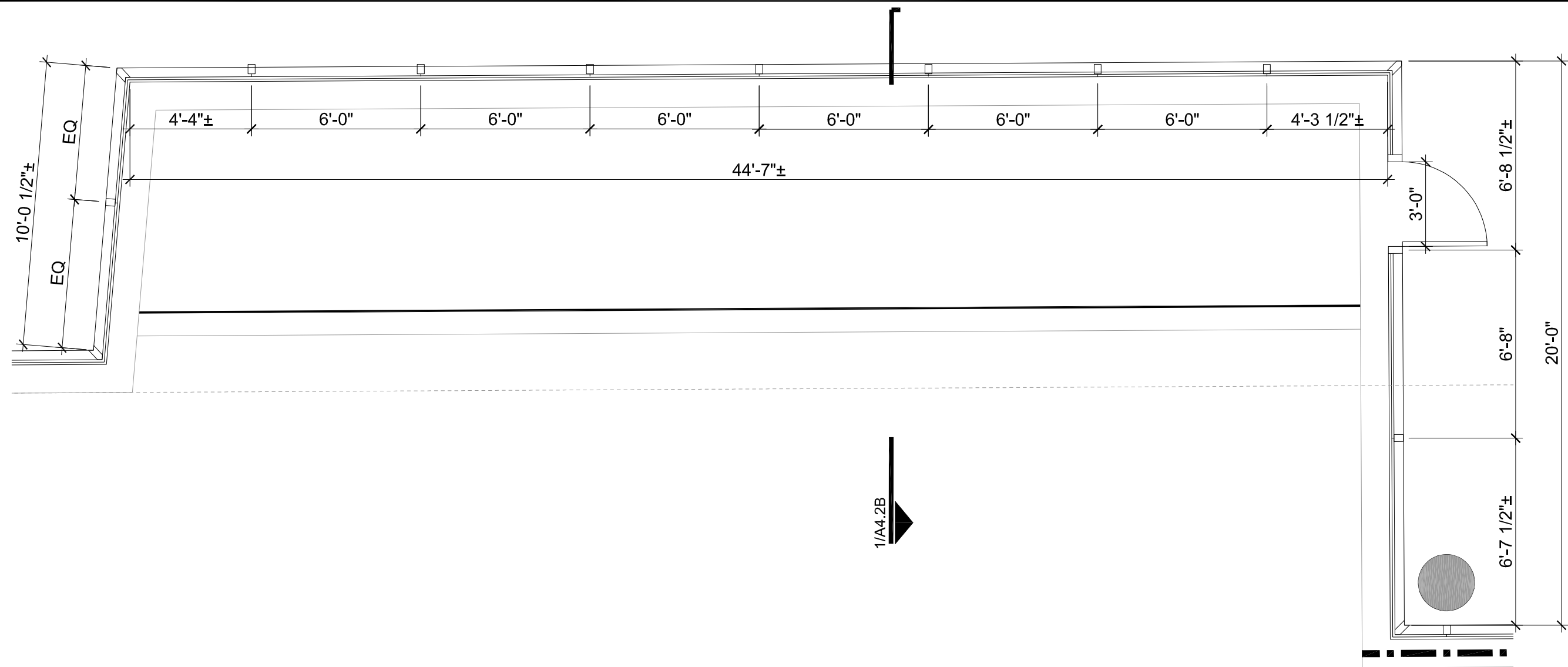
SCALE
1/2" = 1'-0"
0 2' 4'

SHEET NUMBER

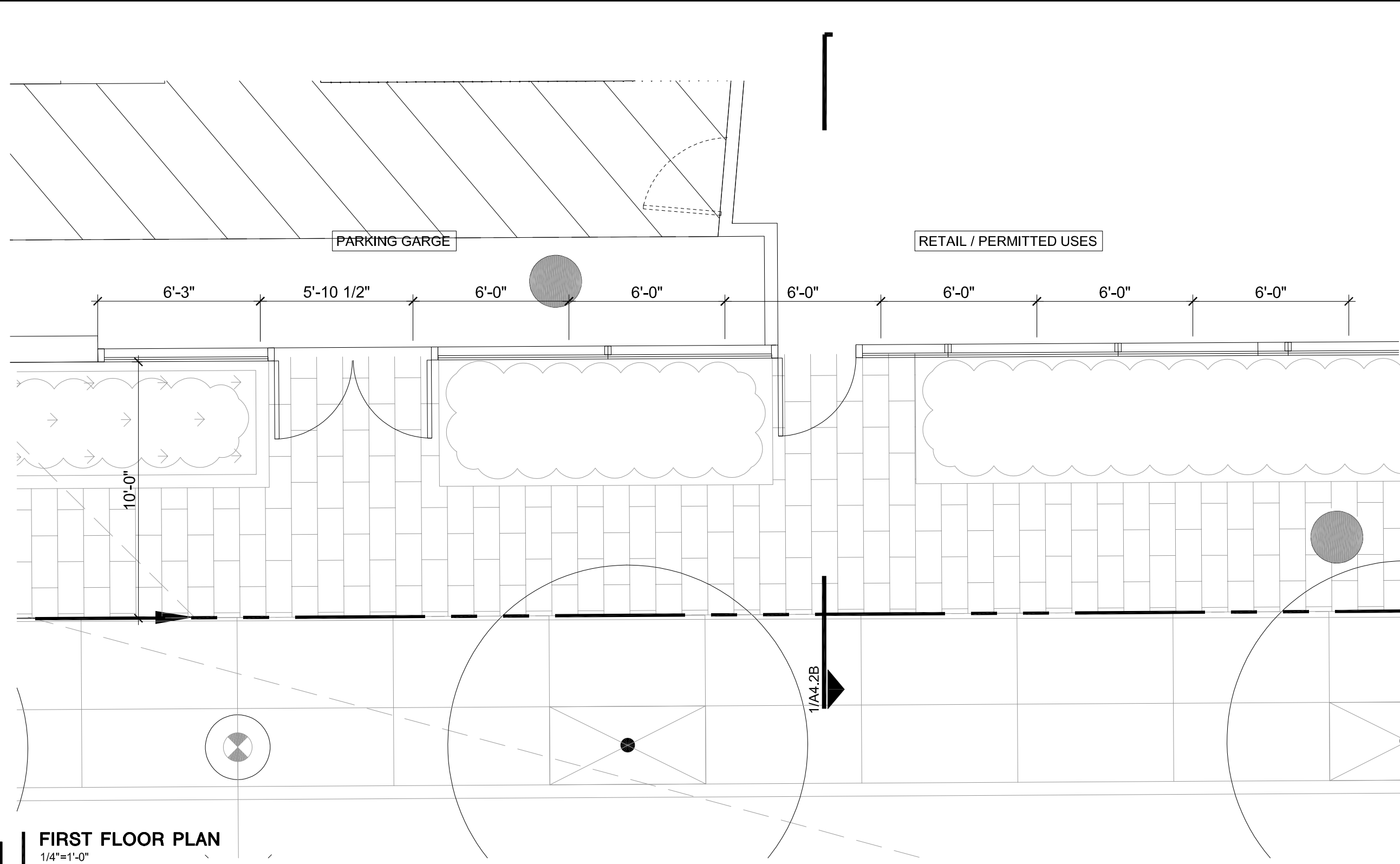
A4.1B



2 ELEVATION
1/4"=1'-0"



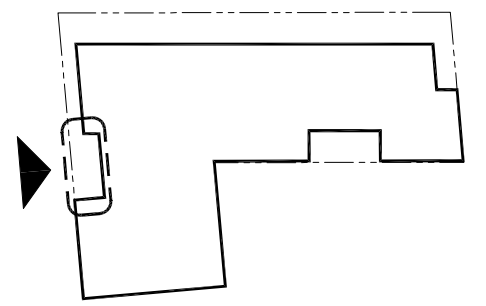
3 SECOND FLOOR PLAN
1/4"=1'-0"



1 FIRST FLOOR PLAN
1/4"=1'-0"

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PALO ALTO, CA 94306

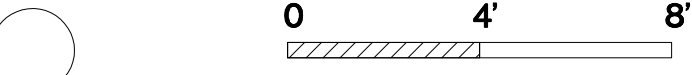


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08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

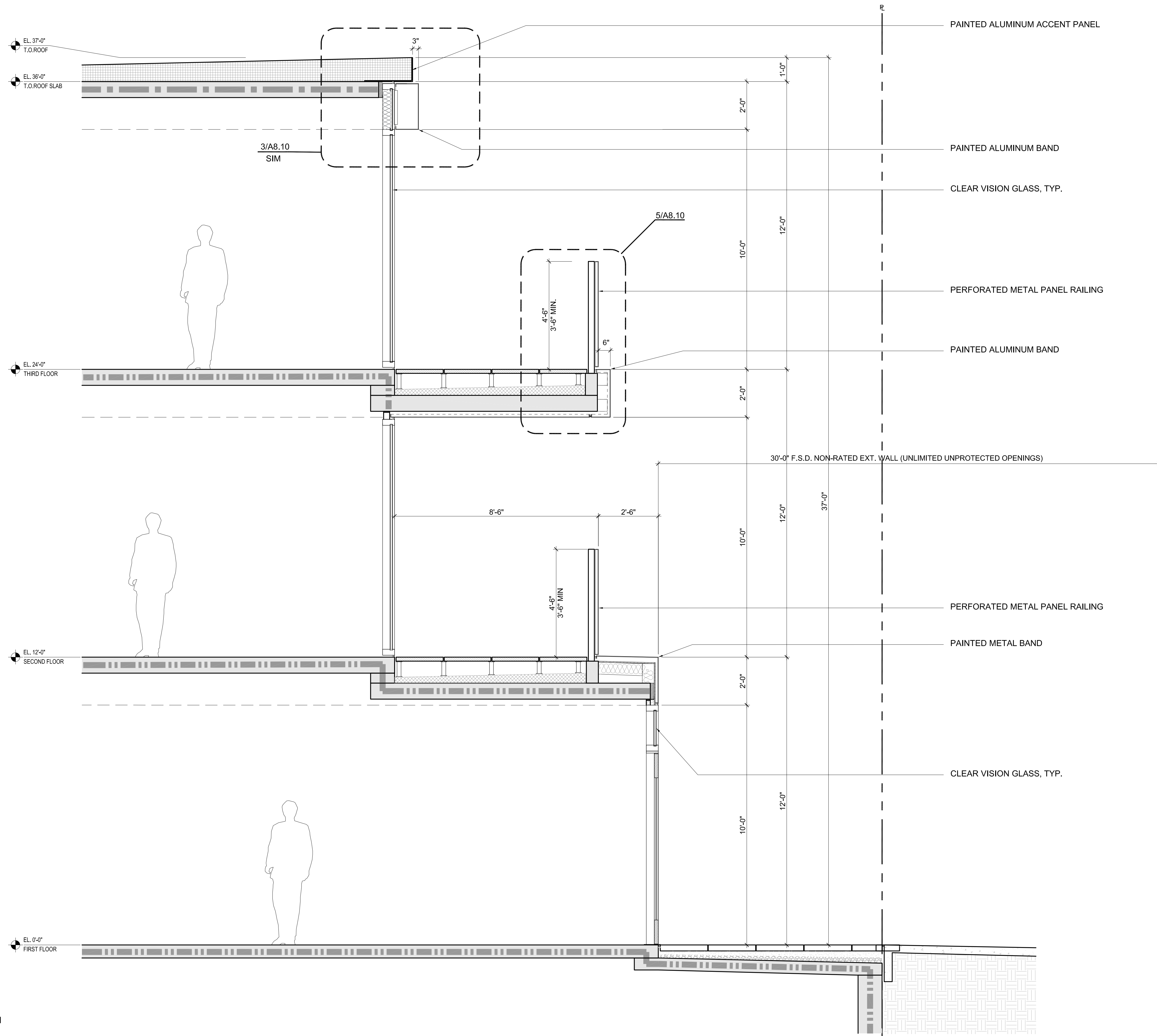
SHEET TITLE
ENLARGED ELEVATION

SCALE
1/4" = 1'-0"



SHEET NUMBER

A4.2A

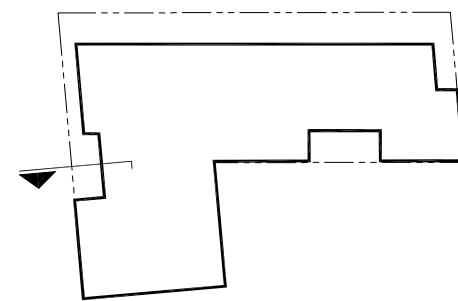


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ISSUES AND REVISIONS		
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PROJECT NUMBER
20008

SHEET TITLE
ENLARGED SECTION

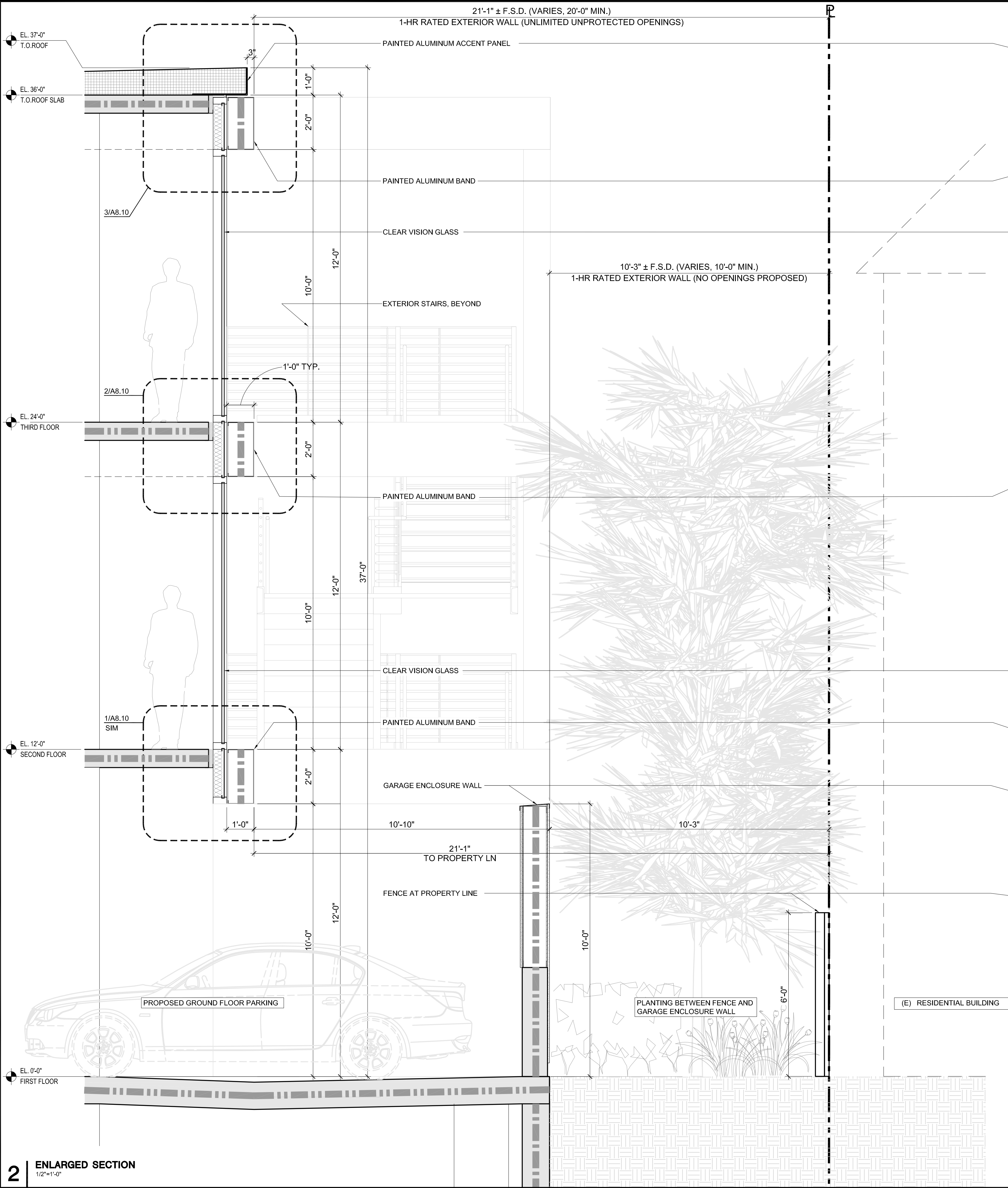
SCALE
1/2" = 1'-0"



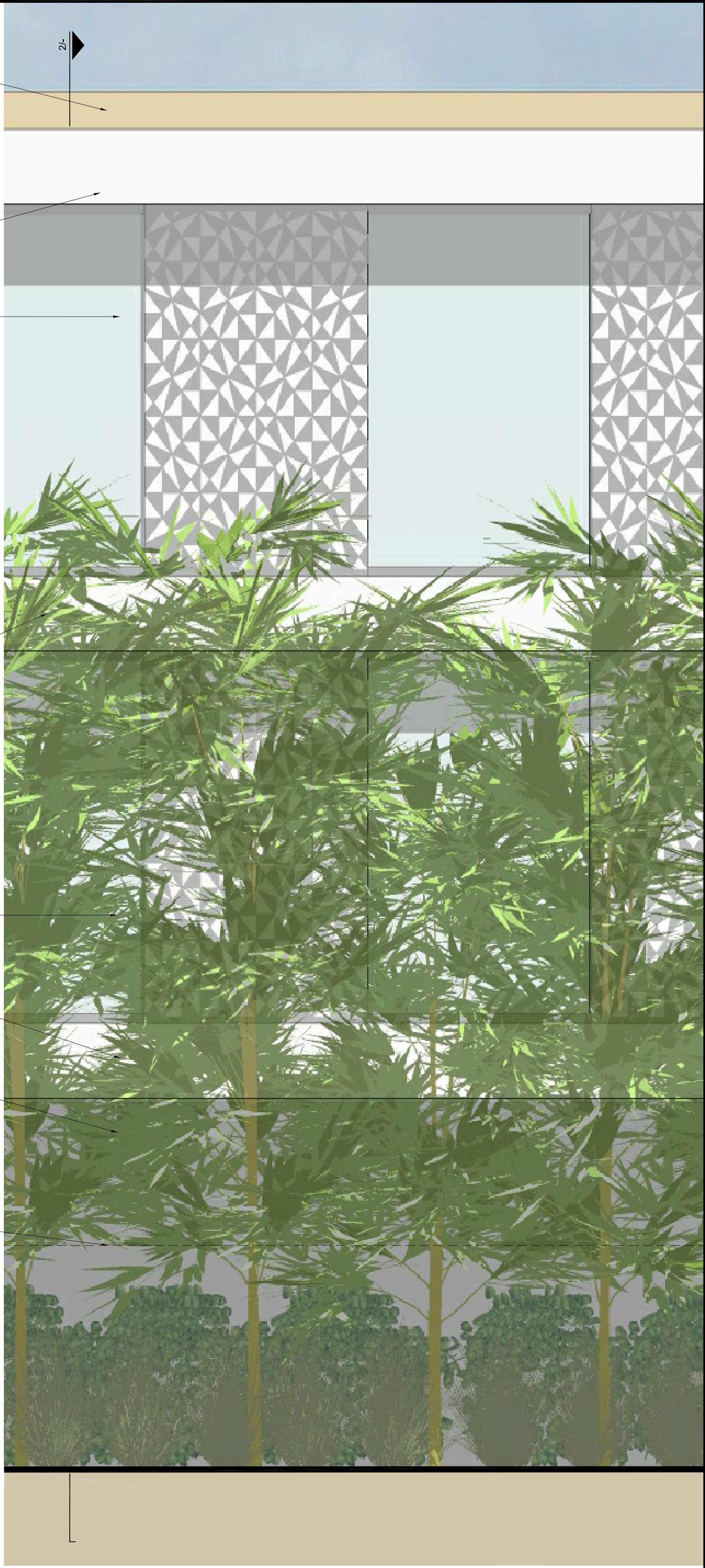
SHEET NUMBER

A4.2B

1 ENLARGED SECTION
1/2"=1'-0"



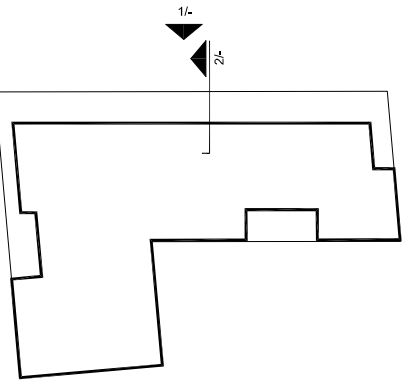
2 ENLARGED SECTION
1/2"=1'-0"



1 ENLARGED ELEVATION
1/2"=1'-0"

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PALO ALTO, CA 94306



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
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02.04.22		PLANNING RESUBMITTAL #2

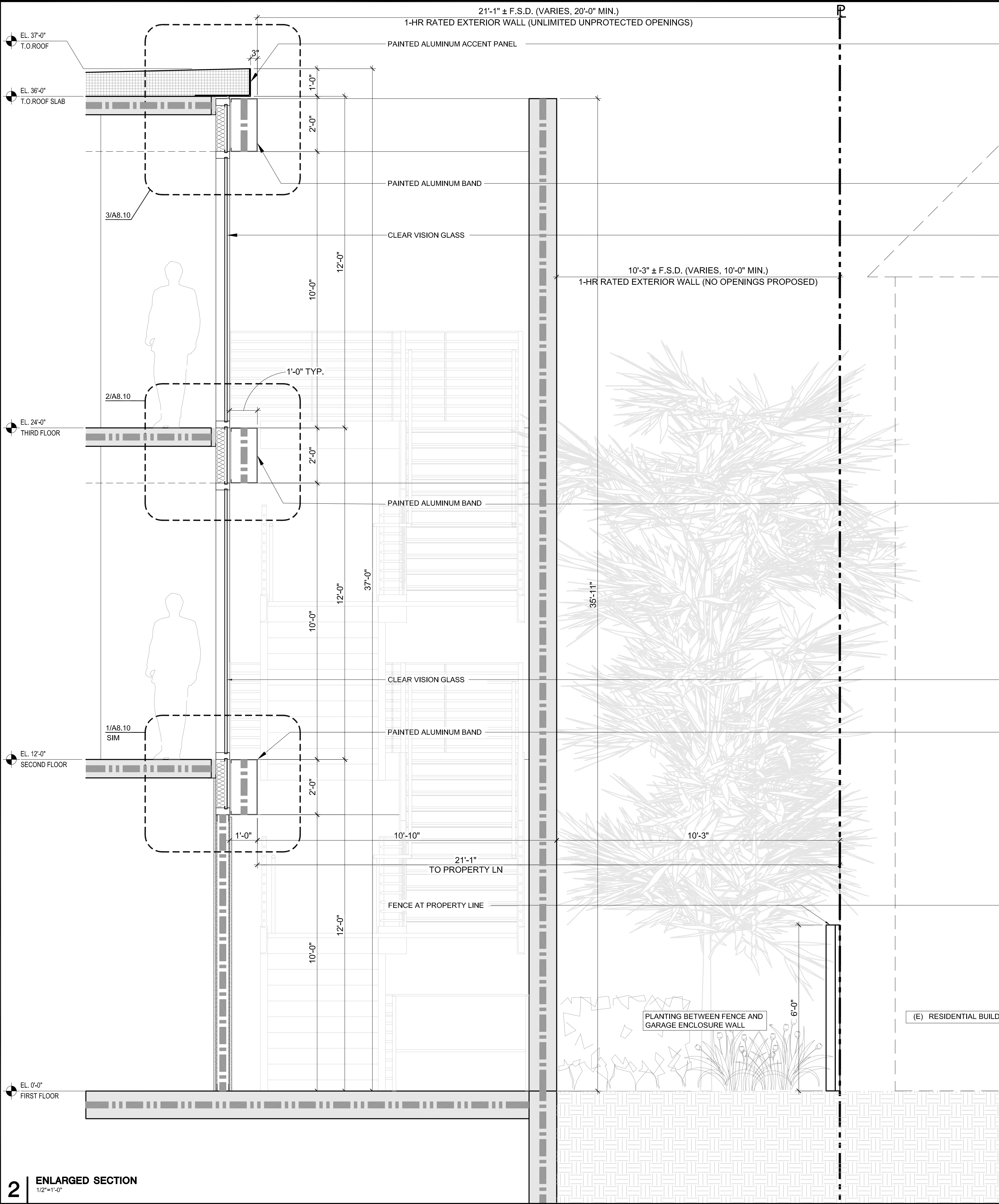
PROJECT NUMBER
20008

SHEET TITLE
ENLARGED ELEVATION
AND SECTION

SCALE
1/2" = 1'-0"
0 2' 4'

SHEET NUMBER

A4.3



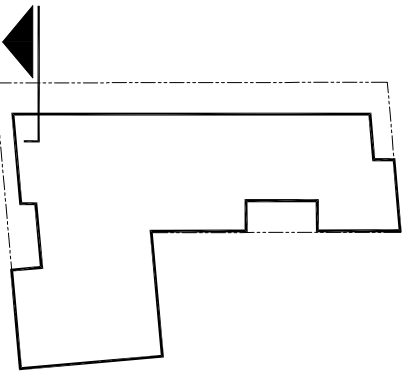
2 ENLARGED SECTION
1/2"=1'-0"



1 ENLARGED ELEVATION
1/2"=1'-0"

SMITH DEVELOPMENT

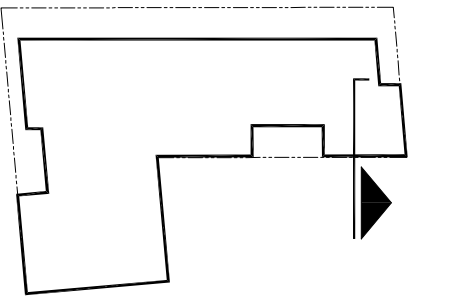
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ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER	
20008	
SHEET TITLE	
ENLARGED ELEVATION AND SECTION	
SCALE	
1/2" = 1'-0"	
SHEET NUMBER	
A4.4	

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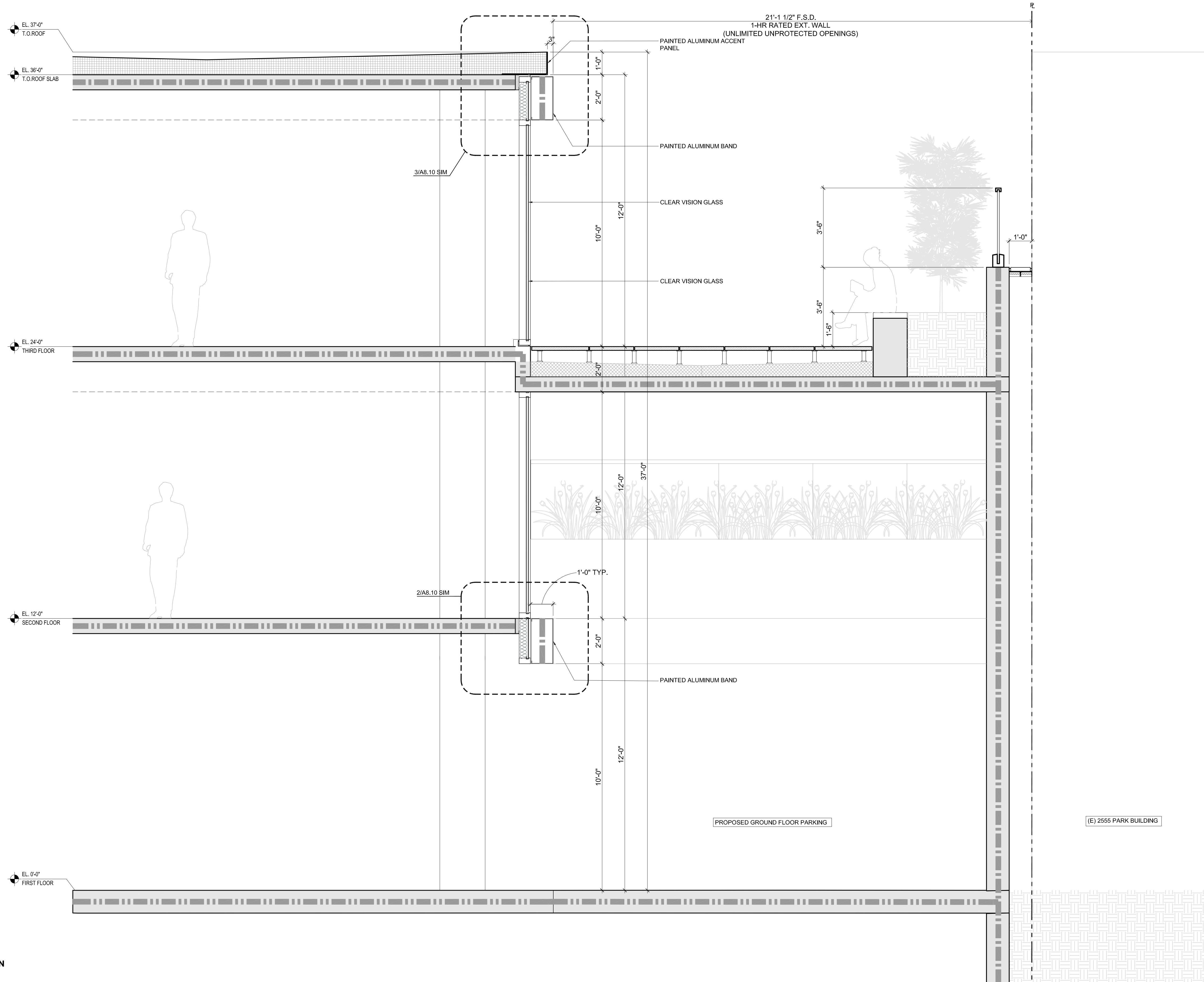
PROJECT NUMBER
20008

SALE

A diagram of a chromosome consisting of a circle (centromere) and a horizontal bar (chromatid). The bar is divided into three segments labeled 0, 2', and 4' above it. The segment from 0 to 2' is shaded with diagonal lines, and the segment from 2' to 4' is unshaded.

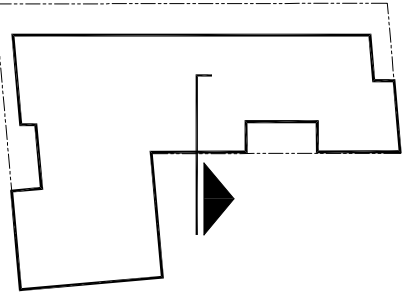
ET NUMBER

A4.5



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ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
ENLARGED SECTION

SCALE
1/2" = 1'-0"

0 2' 4'

SHEET NUMBER

A4.6



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

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	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
ENLARGED DETAILS

SCALE

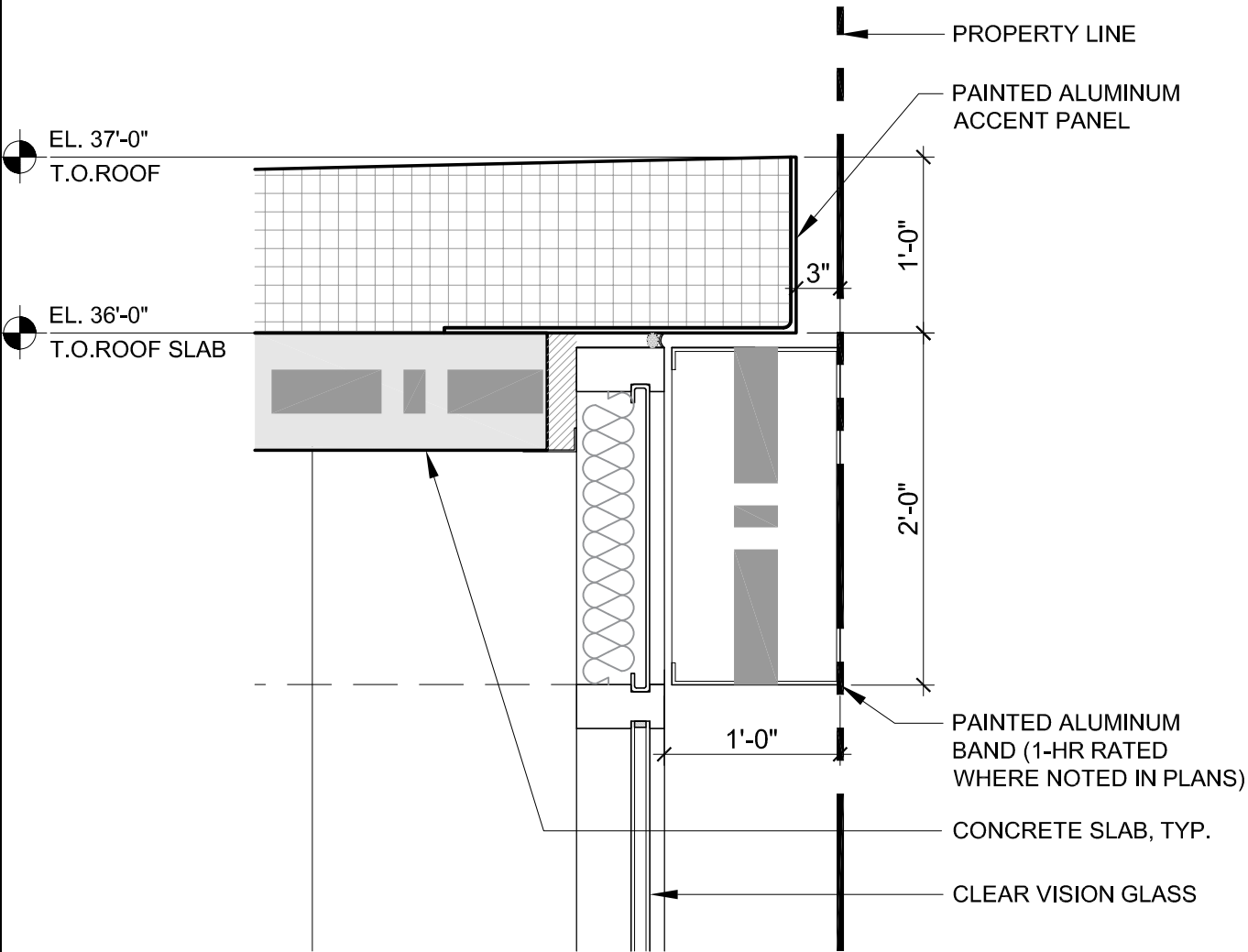
1" = 1'-0"



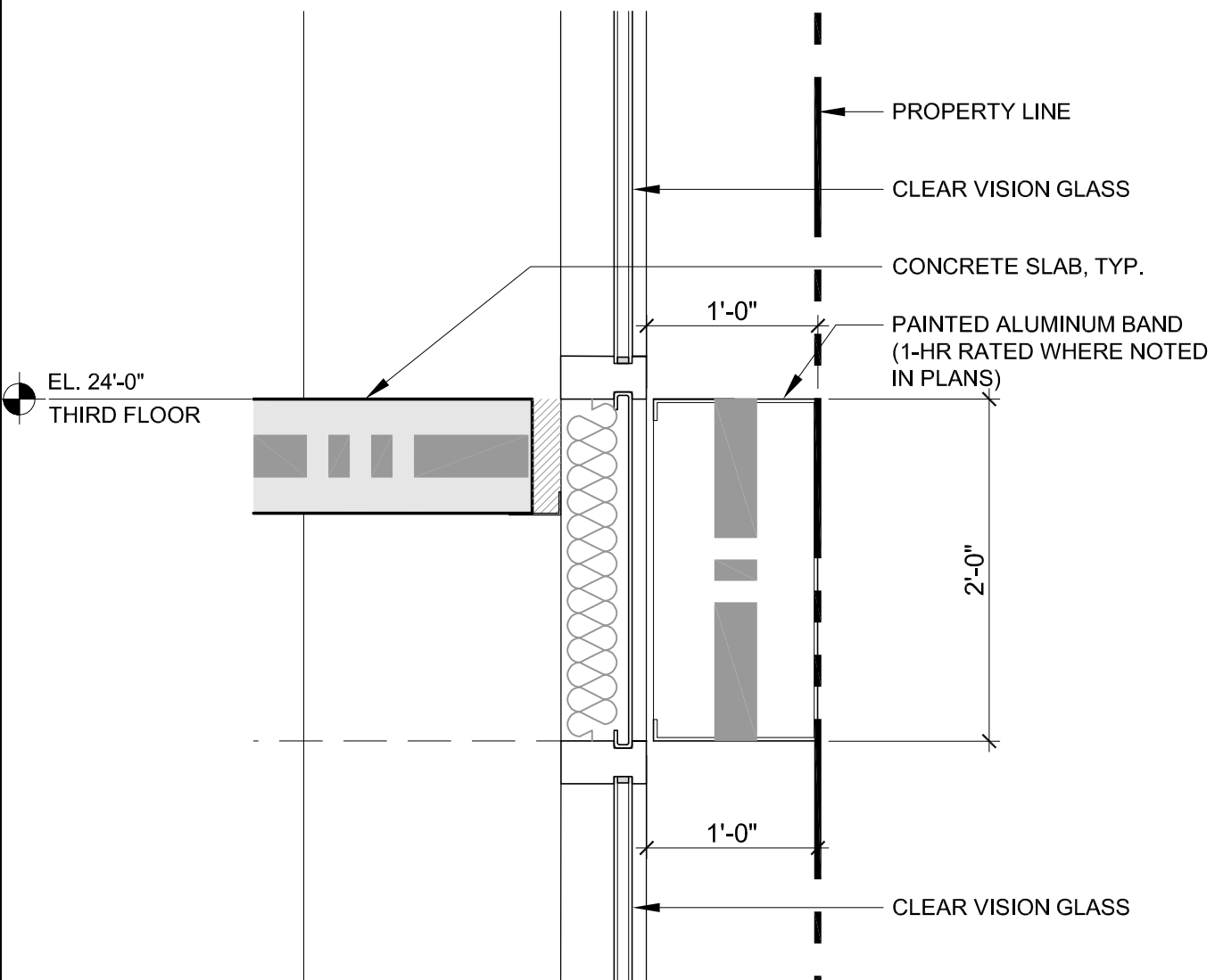
0 1 2'

SHEET NUMBER

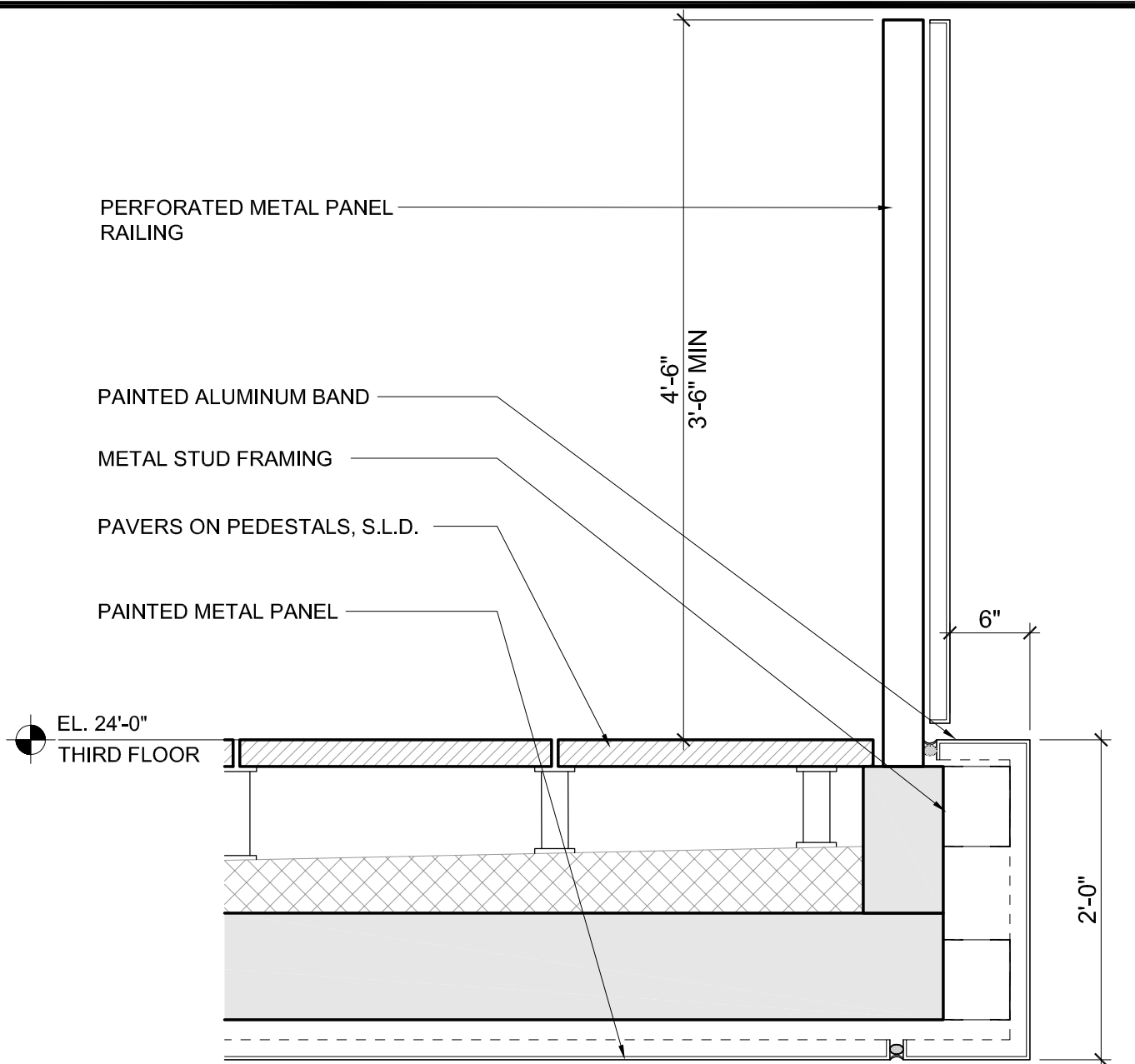
A8.10



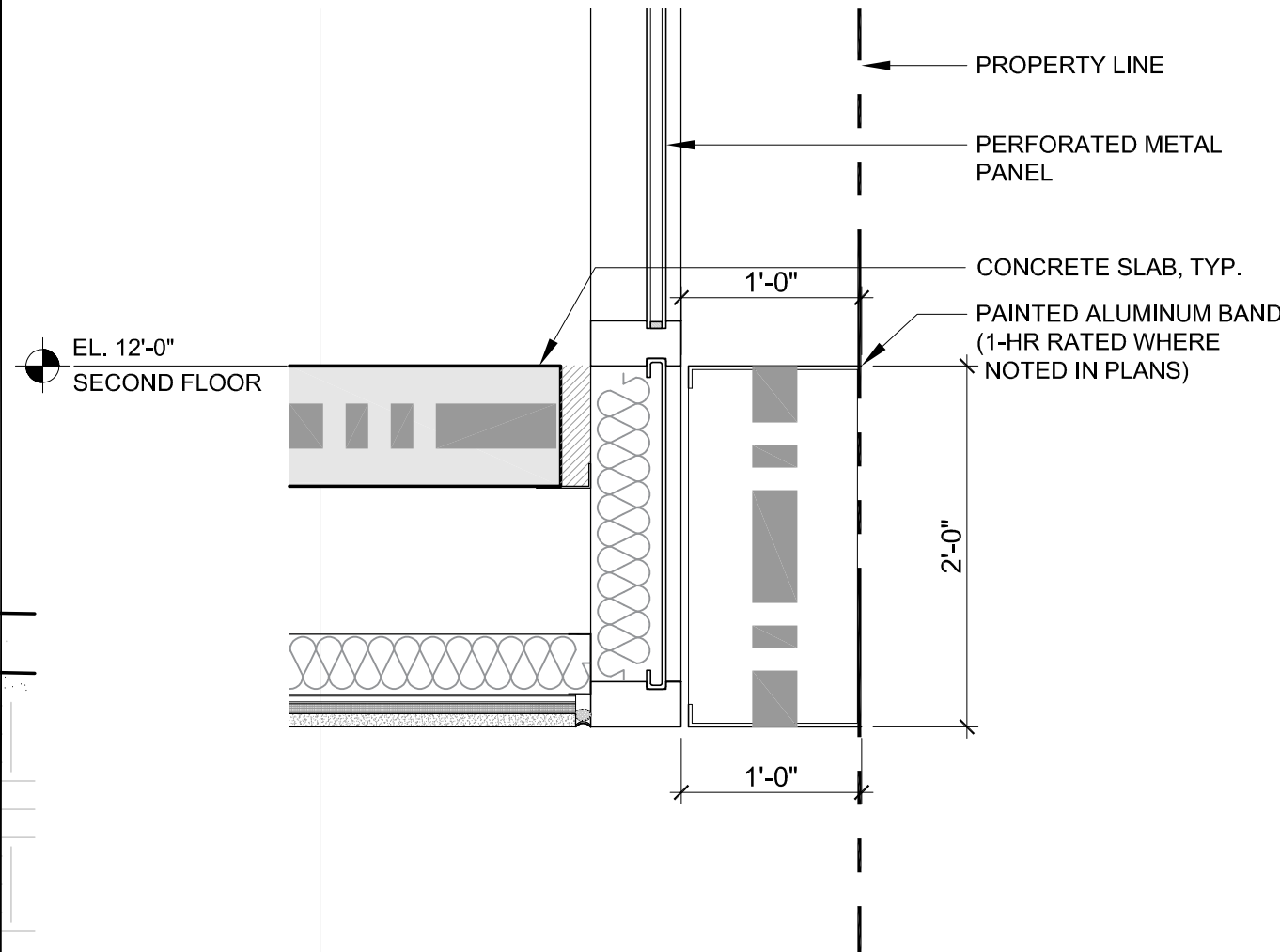
3 | CURTAIN WALL AT ROOF SLAB
1"=1'-0"



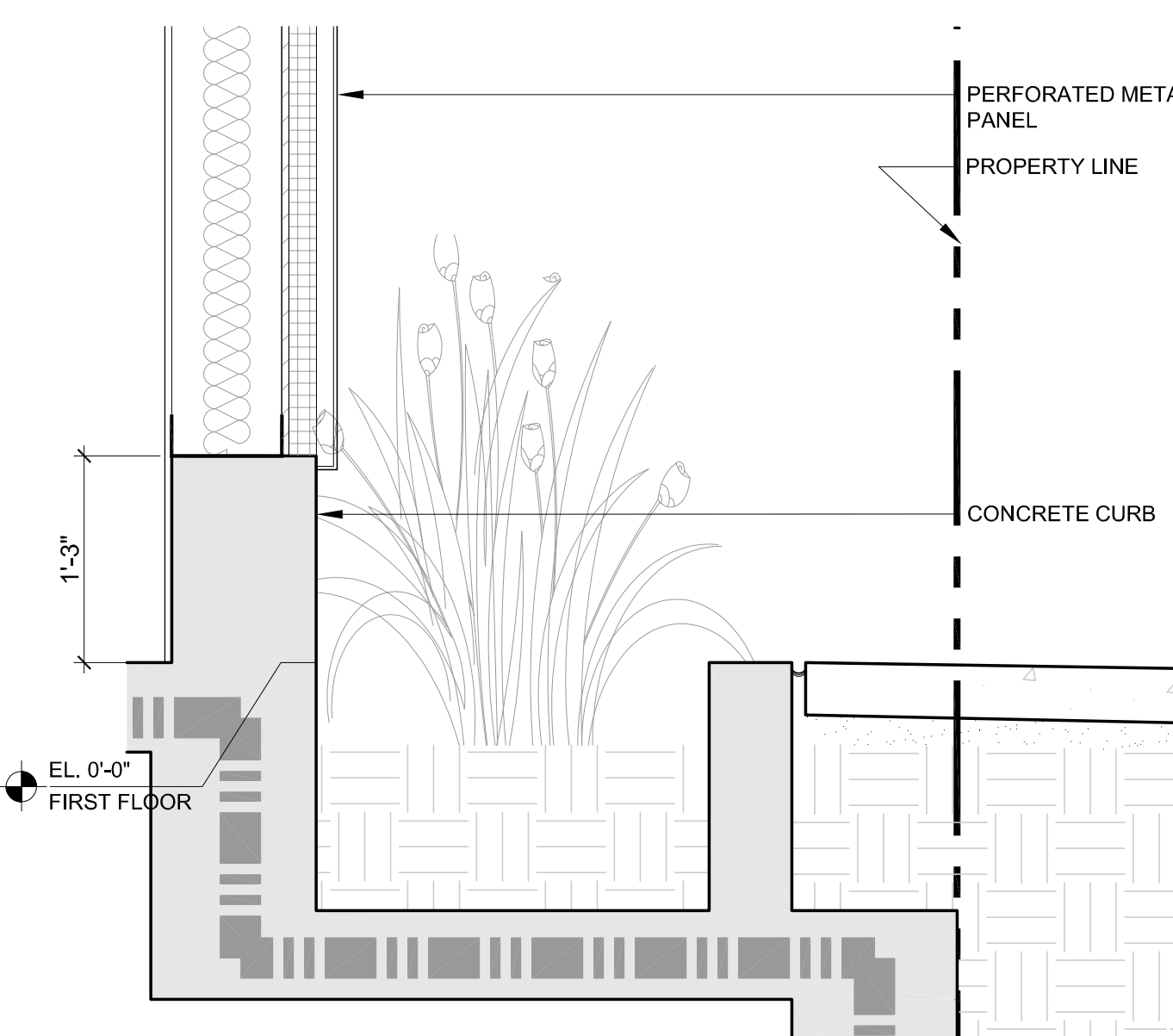
2 | CURTAIN WALL WITH ALUMINUM METAL BAND
1"=1'-0"



5 | 3RD FLOOR TERRACE
1"=1'-0"



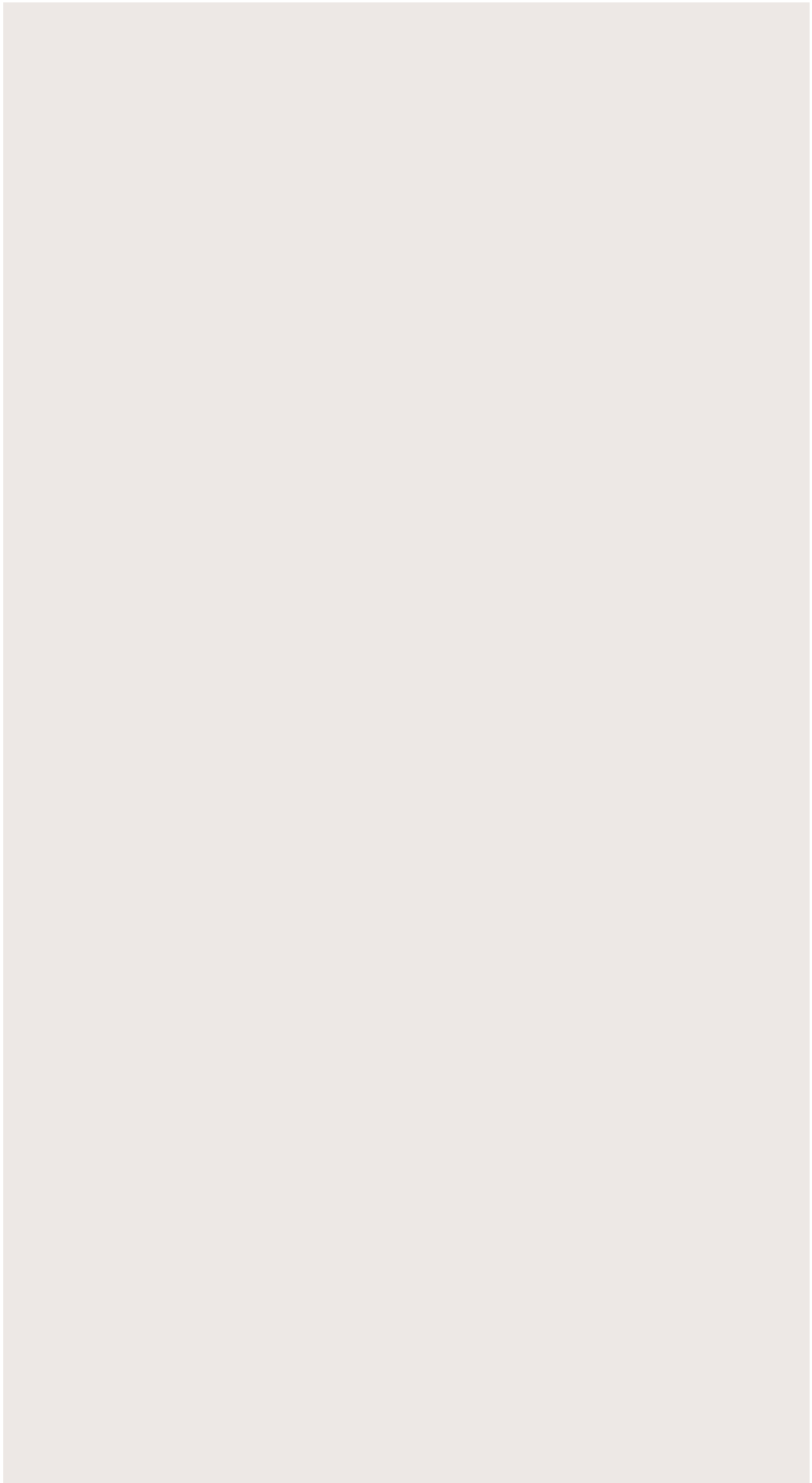
1 | CURTAIN WALL AT RECESS
1"=1'-0"



4 | STUD WALL AT GRADE
1"=1'-0"



CLEAR (LOW IRON) VISION GLASS



PAINTED METAL PANEL - BASE COLOR



CONCEPTUAL IMAGERY - WOOD INSPIRATION



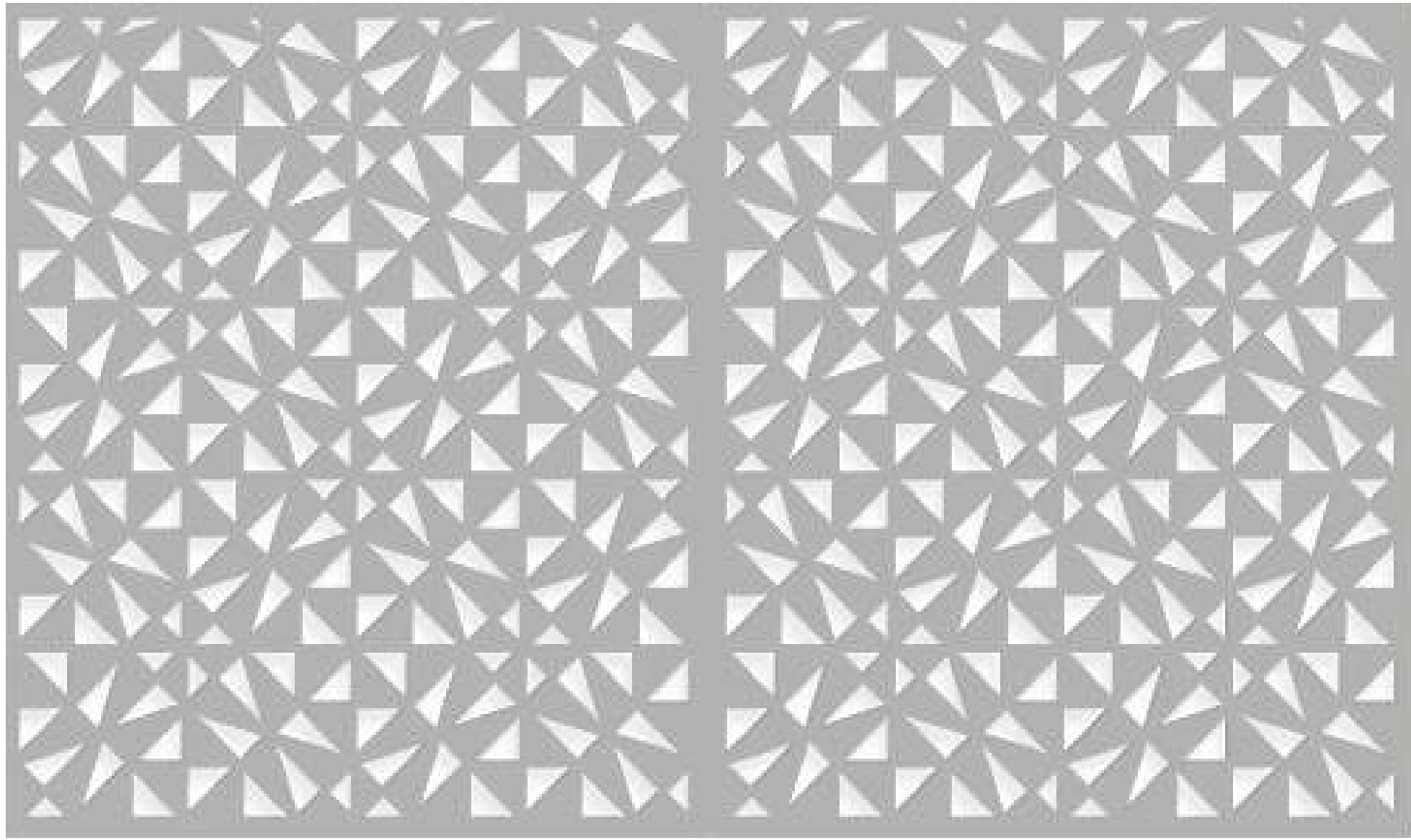
CONCEPTUAL IMAGERY - WOOD INSPIRATION



PAINTED METAL PANEL - ACCENT COLOR



CONCEPTUAL IMAGERY - BOK MODERN STENCILED METAL PANELS



BOK MODERN STENCILED METAL PANEL - B10



PAINTED METAL MULLIONS

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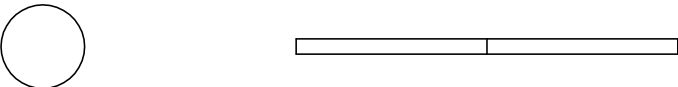


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NO.	DATE	DESCRIPTION
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	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
CONCEPTUAL MATERIALS

SCALE
N.T.S.



SHEET NUMBER

A10.1



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San Francisco, CA 94111
T 415 433 4672
F 415 433 5003

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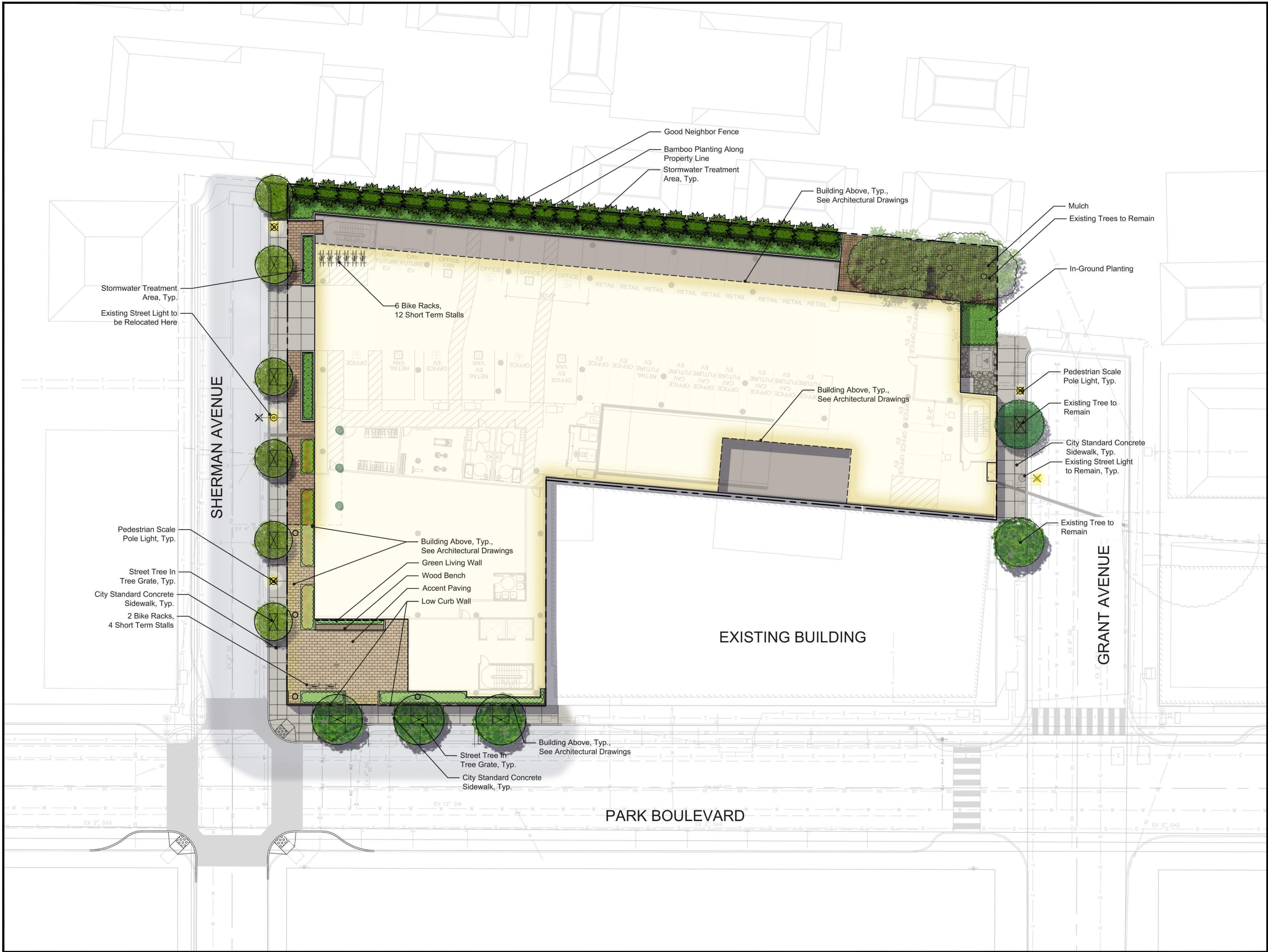
SHEET TITLE
LANDSCAPE PLAN - COMPOSITE



SCALE: 1/16" = 1'-0"
0' 8' 16' 32'

SHEET NUMBER

L1.1



SMITH DEVELOPMENT

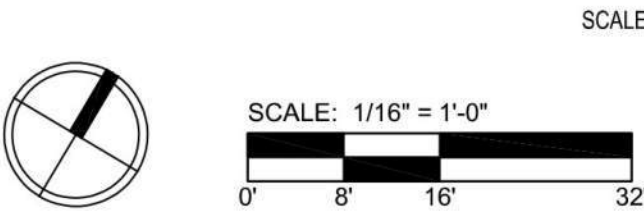
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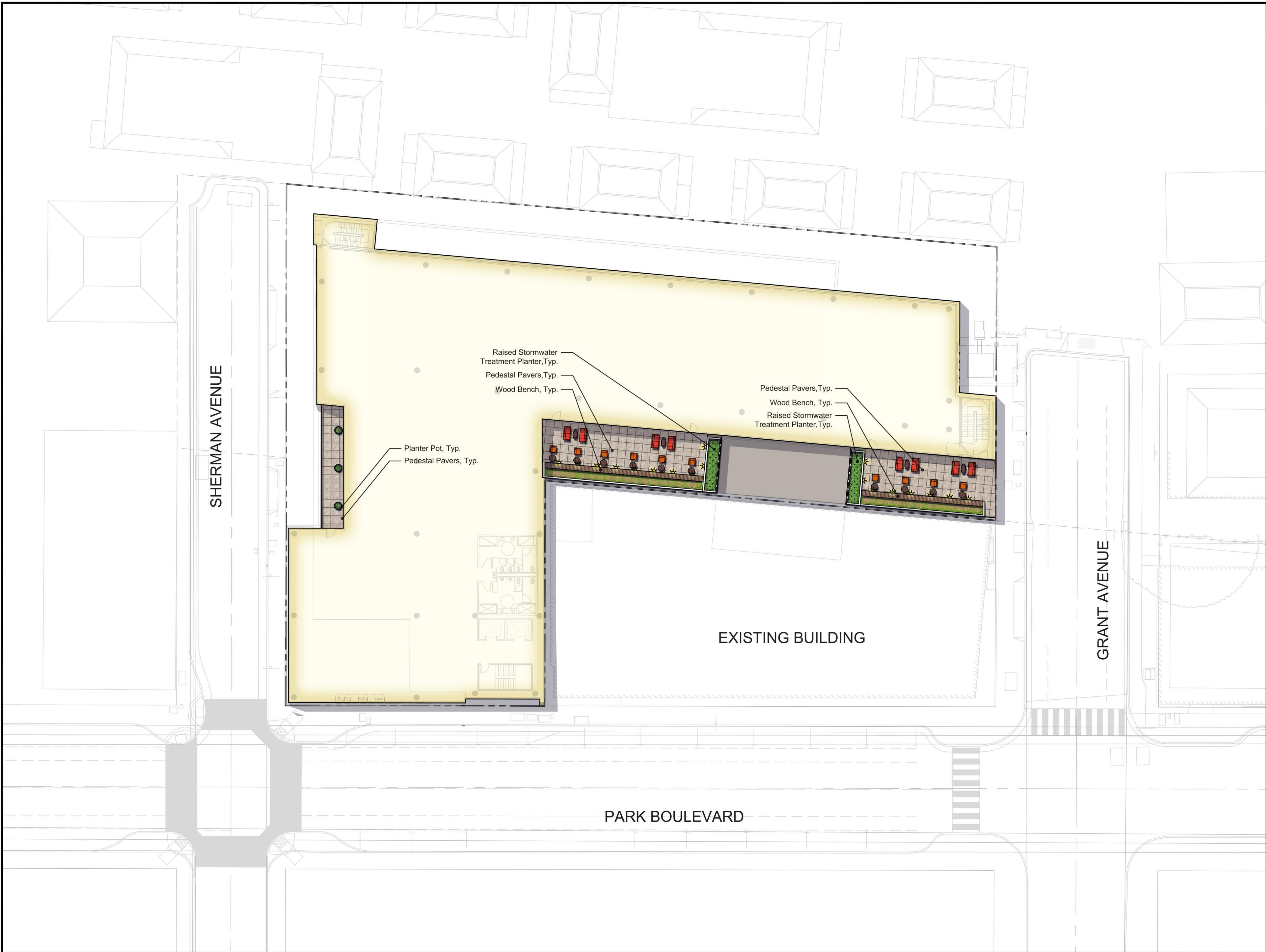
PROJECT NUMBER
20008

SHEET TITLE
LANDSCAPE PLAN - SITE



SHEET NUMBER

L1.2



SMITH DEVELOPMENT

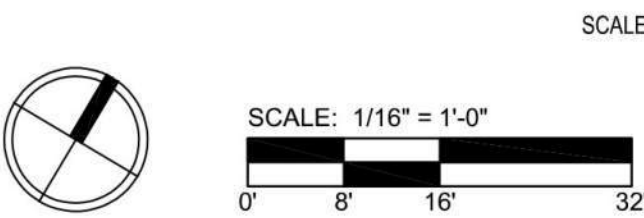
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PROJECT NUMBER
20008

SHEET TITLE
LANDSCAPE PLAN - UPPER LEVELS

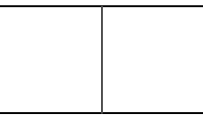


SHEET NUMBER

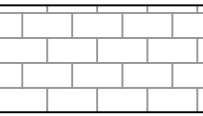
L1.3

COLOR AND FINISH SCHEDULE

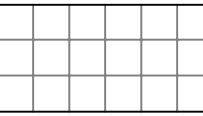
PAVING

- 

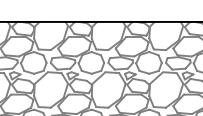
PEDESTRIAN / VEHICULAR CONCRETE PAVING
*All colors by Davis Colors, 800.356.4848, www.daviscolors.com

Type 1 (Sidewalks, Pedestrian) Natural Grey concrete with light broom finish. Sweep perpendicular to path of travel.
- 

PEDESTRIAN ACCENT PAVING
By: Acker-Stone, www.ackerstone.com; (T) 800.253.2353.

Type 1: California Paver Size: 6cm thick, 6"x12", Color: Granada White w/ Large Slag FM, Pattern: Running Bond
- 

PEDESTRIAN ACCENT PAVING - ON STRUCTURE
By: Acker-Stone, www.ackerstone.com; (T) 800.253.2353.


Type 1: California Paver, Size: 6cm thick, 24"x24", Color: Israel Pewter FM, Pattern: Stacked Bond
- 

DECORATIVE GRAVEL
Rounded 'Lin Creek' cobbles, 2"-3" diam. By Lyngso Garden Materials; www.lyngsogarden.com, (T) 650.364.1730.

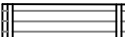
FURNISHINGS

- 

TREE GRATE
Type 1 - STA Style Tree Grate, 36"x72", 1-1/2" Thick, 24" Tree Opening, by South Bay Foundry (www.southbayfoundry.com).
- 


Type 2 - STA Style Tree Grate, 48"x72", 1-1/2" Thick, 24" Tree Opening, by South Bay Foundry (www.southbayfoundry.com).
- 


BIKE RACKS
Ride Bike Rack by Landscape Forms, Powdercoat, Surface Mount (www.landscapeforms.com)
- 

PLANTER POT
By: Green-Form, www.green-form.com; (T) 310.331.1665. Model: Kyoto Low, Size: 28" dia., 18" height, Color: Gray
- 

WOOD BENCH

LIGHTING FIXTURES

- 

Pedestrian-scale Pole Light: BEGA 99878, 12' tall. See Electrical Drawings for locations and mounting requirements.
- 

Wall Light: BEGA 33055, 12-1/2"x2-3/4". See Electrical Drawings.



Natural Gray Concrete



Pedestrian Accent Paving - Granada White



Pedestrian Accent Paving - Israel Pewter



Lin Creek Decorative Gravel



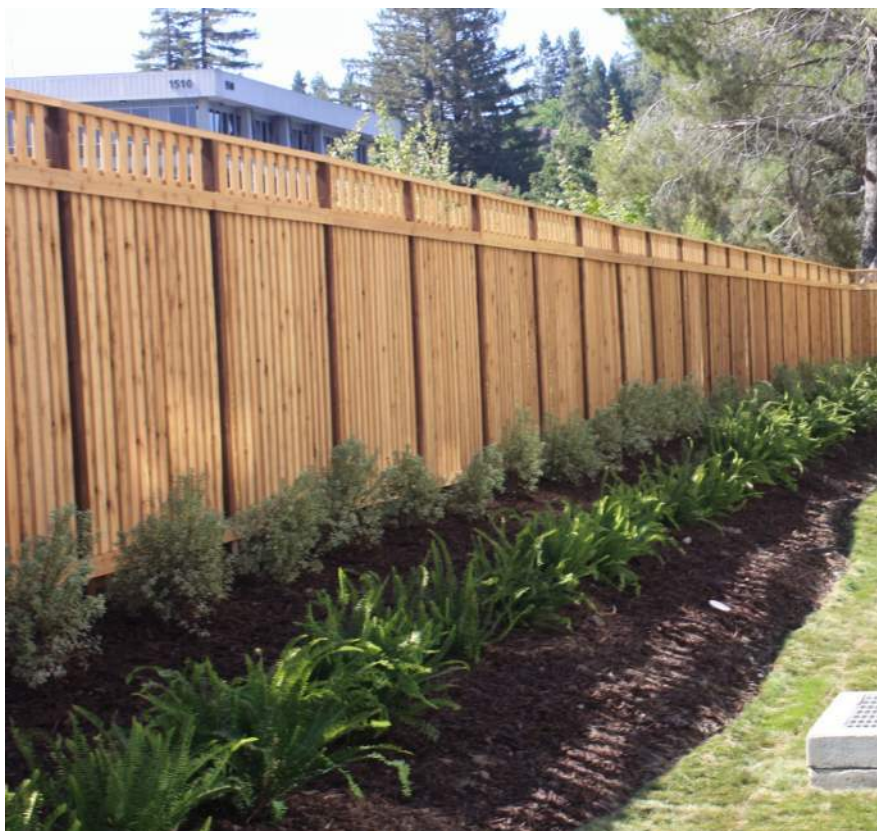
Planter Pots



Wood Top Seat Wall



Bike Rack



Good Neighbor Fence



Pedestrian Scale Pole Light



Wall Light

SMITH DEVELOPMENT

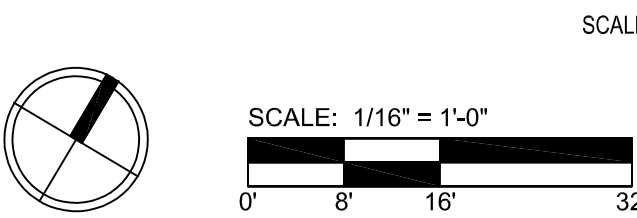
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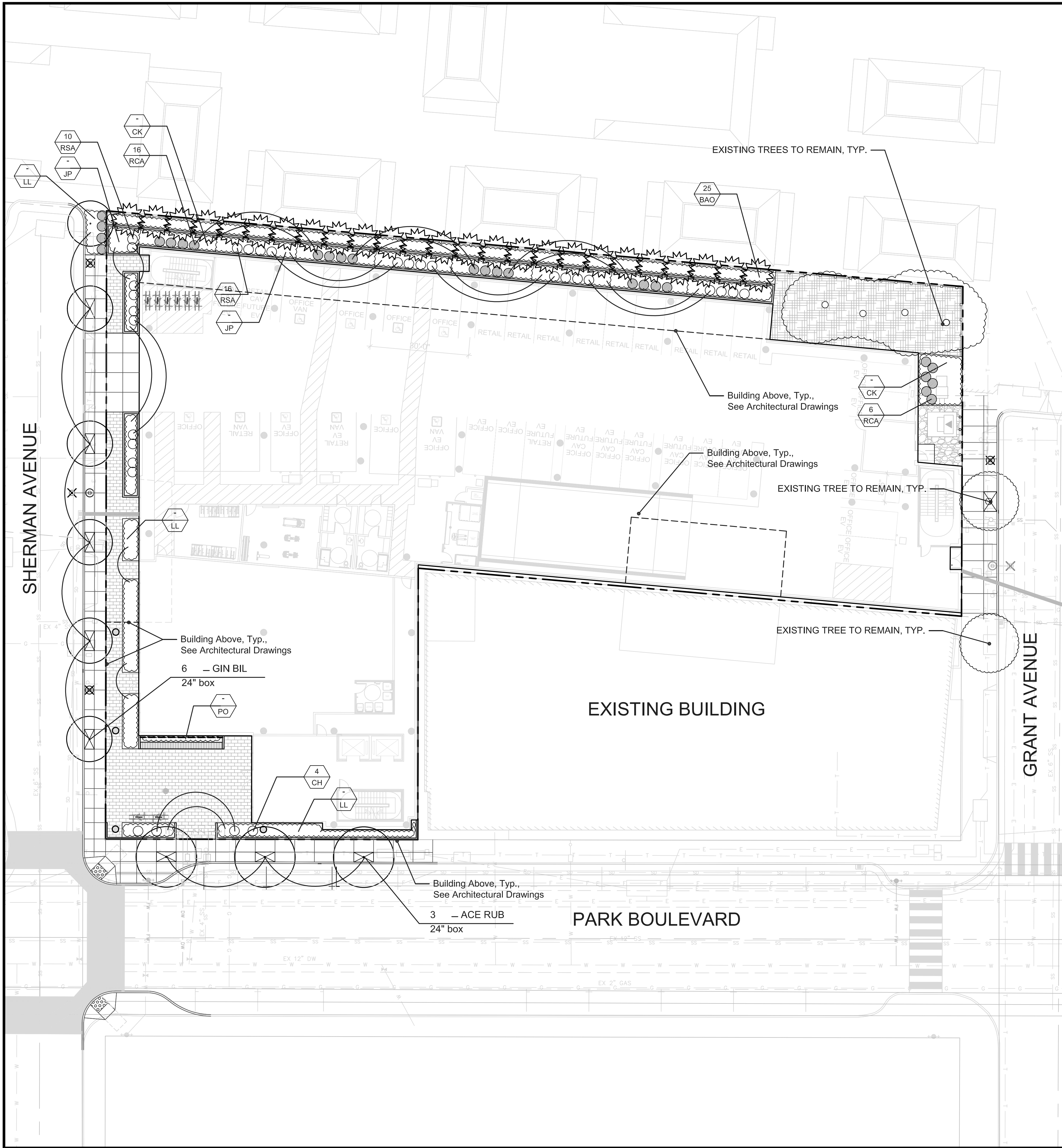
PROJECT NUMBER
20008

SHEET TITLE
SITE AMENITIES,
COLOR AND FINISH SCHEDULE



SHEET NUMBER

L2.1



PLANT PALETTE

TREES ^ 36" Box Standards Unless Noted Otherwise on Plans						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENT	WUCOL	CA NATIVE
ACE RUB		Acer rubrum	Red Maple		M	
AES CAL^		Aesculus californica	California Buckeye		L	Y
ARB MAR^		Arbutus 'Marina'	Marina Strawberry Tree		L	
CER OCC^		Cercis occidentalis	Western Redbud		L	Y
CIT MEY		Citrus 'Improved Meyer'	Meyer Lemon		M	
GIN BIL		Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree		M	
JAC MIM		Jacaranda mimosifolia	Jacaranda		M	
LAG MUS		Lagerstroemia 'Muskogee'	Crape Myrtle		L	
MAG GRA		Magnolia grandiflora 'Little Gem'	Little Gem Magnolia		M	
OLE EUR		Olea europea 'Swan Hill'	Swan Hill Olive		L	
PIS CHI		Pistachia chinensis	Chinese Pistachio		L	
QUE AGR^		Quercus agrifolia	Coast Live Oak		VL	Y
QUE LOB^		Quercus lobata	Valley Oak		VL	Y
TRI CON		Tristania conferta	Brisbane Box		L	

SHRUBS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
BAM	5 gal	Bambusa multiplex 'Alphonse Karr'	Alphonse Karr Bamboo	36" o.c.	L	
BAO	25 gal	Bambusa oldhamii	Giant Timber Bamboo	See Plan	L	
CCO	5 gal	Ceanothus concha	California Mountain Lillac	48" o.c.	L	Y
HXH	5 gal	Hypericum x 'Hidcote'	Gold Flower	36" o.c.	M	Y
LAS	15 gal	Lavatera assurgentiflora	Tree Mallow	60" o.c.	L	Y
LCH	5 gal	Loropetalum chinense	Chinese fringe flower	36" o.c.	L	
LEB	5 gal	Leucadendron 'Ebony'	Ebony Conebush	48" o.c.	L	
LJE	5 gal	Leucadendron 'Jester'	Jester Conebush	48" o.c.	L	
MRE	5 gal	Mahonia repens	Oregon Grape	48" o.c.	L	Y
MCA	15 gal	Myrica californica	California Coffeeberry	60" o.c.	M	Y
PRC	15 gal	Prunus caroliniana 'Bright & Tight'	Carolina Laurel Cherry	60" o.c.	L	
RSA	5 gal	Ribes sanguineum	Red Flowering Currant	30" o.c.	L	Y
RCA	15 gal	Rhamnus californica 'Little Sur'	Little Sur Coffeeberry	48" o.c.	L	Y
RIC	5 gal	Rhaphiolepis indica 'Clara'	Indian Hawthorn	24" o.c.	L	

ACCENT SHRUBS, GRASSES AND PERENNIALS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
AG	1 gal	Achillea millefolium spp.	Yarrow spp	24" o.c.	L	Y
AD	5 gal	Agave 'desertii'	Desert Agave	30" o.c.	VL	Y
AL	5 gal	Aloe plicata	Aloe plicata	24" o.c.	L	
AN	5 gal	Anigozanthos spp.	Kangaroo Paws	24" o.c.	L	
CG	1 gal	Calandrinia grandiflora 'Jazz Time'	Rock Purslane	24" o.c.	L	
CA	5 gal	Calamagrostis foliosa	Mendocino Reed Grass	36" o.c.	M	Y
CK	5 gal	Calamagrostis x a. 'Karl Foerster'	Feather Reed Grass	36" o.c.	M	Y
CH	5 gal	Chondropetalum tectorum	Cape Reed	36" o.c.	L	
DI	5 gal	Dietes vegeta / hybrids	Fortnight Lily / Lemon Drops	30" o.c.	L	
EC	1 gal	Elymus condensatus 'Canyon Prince'	Lyme Grass	30" o.c.	VL	Y
HU	2 gal	Heuchera spp.	Coral Bells	24" o.c.	M	Y
HP	5 gal	Hesperaloe parviflora	Red Yucca	36" o.c.	VL	
JP	5 gal	Juncus patens	California Gray Rush	24" o.c.	L	Y
LD	5 gal	Lavandula dentata	French Lavander	24" o.c.	L	
LP	1 gal	Libertia p. 'Bronze Sword'	Libertia	24" o.c.	L	
LL	5 gal	Lomandra longifolia 'Platinum Beauty'	Variegated Dwarf Mat Rush	24" o.c.	L	
MA	5 gal	Mahonia 'soft caress'	Soft Caress Holly	30" o.c.	M	
MU	5 gal	Muhlenbergia c. 'Regal Mist'	R. Mist Pink Muhlenbergia	42" o.c.	L	
MR	5 gal	Muhlenbergia rigens	Deer Grass	42" o.c.	L	Y
MS	5 gal	Mimulus 'Sam'	Yellow Monkeyflower	24" o.c.	L	
NE	1 gal	Nephrolepis cordifolia	Southern Sword Fern	24" o.c.	M	Y
OE	15 gal	Olea europaea 'Montra'	Little Ollie Dwarf Olive	30 o.c.	L	Y
PE	5 gal	Pennisetum s. 'Rubrum'	Purple Fountain Grass	36" o.c.	L	
PO	5 gal	Polystichum munitum	Western Sword Fern	24" o.c.	L	Y
SI	1 gal	Sisyrinchium bellum	Blue-eyed Grass	18" o.c.	L	Y
SG	5 gal	Salvia greggii	Autumn Sage	30" o.c.	L	Y
ST	5 gal	Stipa arundinacea	New Zealand Wind Grass	18" o.c.	L	
ZC	5 gal	Zauschneria California 'Ghostly Red'	California Fuschia 'Ghostly Red'	18" o.c.	L	Y

GROUNDCOVERS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
AE	5 gal	Arctostaphylos 'Emerald Carpet'	Manzanita	36" o.c.	L	Y
AC	5 gal	Acacia cognata 'Cousin Itt'	Little River Wattle	30" o.c.	L	
FE	1 gal	Festuca Rubra	Red Fescue	18" o.c.	L	Y
MH	5 gal	Mahonia repens	Creeping Oregon Grape	24" o.c.	L	Y
RP	5 gal	Rosmarinus o. 'Prostratus'	Prostrate Rosemary	24" o.c.	L	
RI	1 gal	Ribes viburnifolium	Catalina Currant	48" o.c.	L	Y
SM	1 gal	Senecio mandraliscae	Blue Chalk Sticks	12" o.c.	L	

Note: Tree Planting. Prior to in-ground installation, Urban Forestry inspection / approval required for tree stock, planting conditions and irrigation adequacy. Contact (650-496-5953).

Irrigation and tree planting in the right-of-way requires a street work permit per CPA Public Works standards.

Note: Native plant species are used for 52% of the total planting area. (1,722 SF of 3,299 SF total).

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306

THE
GUZZARDO
PARTNERSHIP INC.

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F 415 433 5003

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

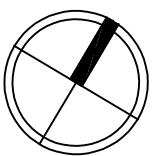
PROJECT NUMBER

20008

SHEET TITLE

PLANTING PLAN - SITE

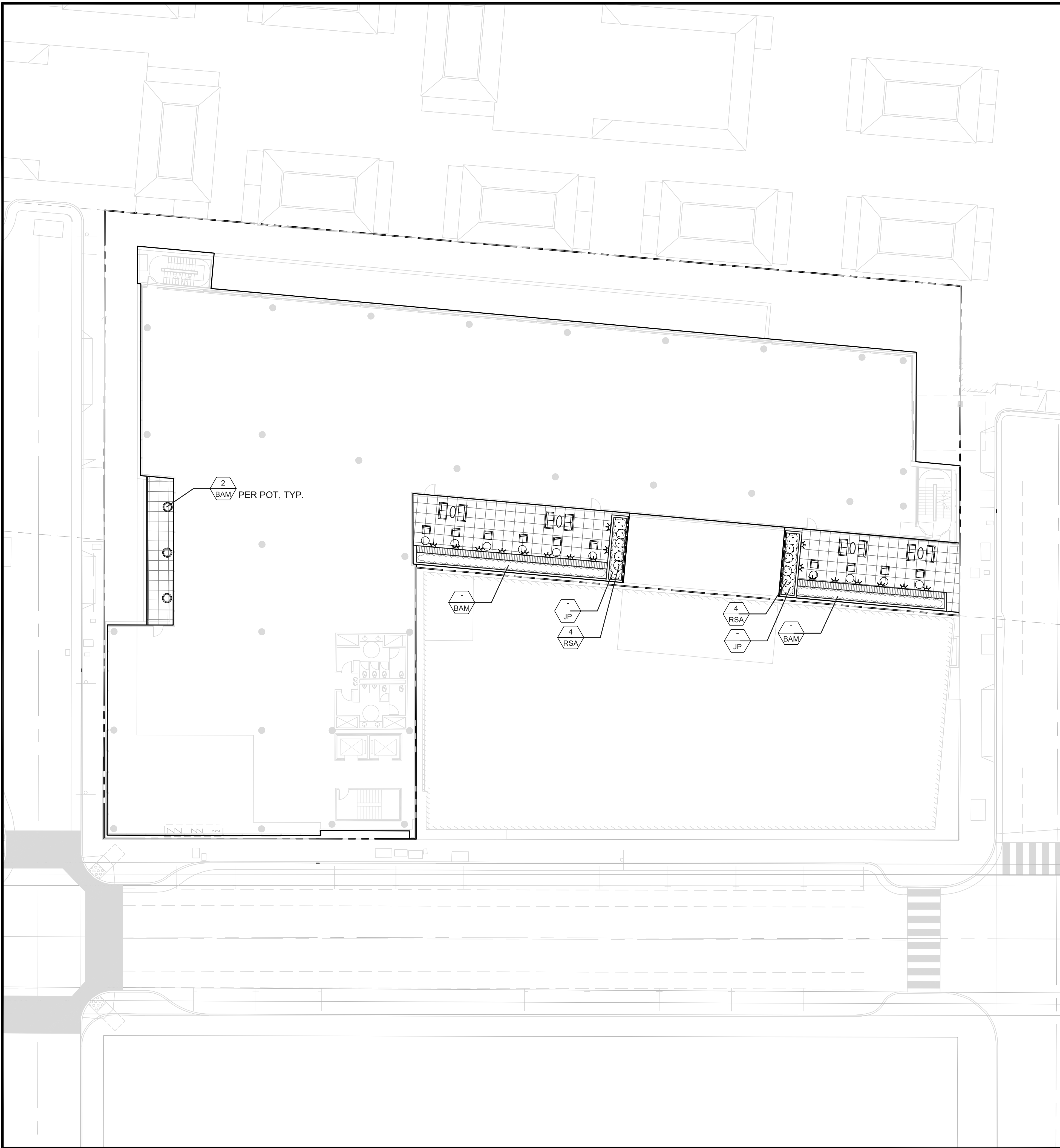
SCALE



SCALE: 1/16" = 1'-0"
0' 8' 16' 32'

SHEET NUMBER

L3.1



PLANT PALETTE

TREES ^ 36" Box Standards Unless Noted Otherwise on Plans						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENT	WUCOL	CA NATIVE
ACE RUB		Acer rubrum	Red Maple		M	
AES CAL^		Aesculus californica	California Buckeye		L	Y
ARB MAR^		Arbutus 'Marina'	Marina Strawberry Tree		L	
CER OCC^		Cercis occidentalis	Western Redbud		L	Y
CIT MEY		Citrus 'Improved Meyer'	Meyer Lemon		M	
GIN BIL		Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree		M	
JAC MIM		Jacaranda mimosifolia	Jacaranda		M	
LAG MUS		Lagerstroemia 'Muskogee'	Crape Myrtle		L	
MAG GRA		Magnolia grandiflora 'Little Gem'	Little Gem Magnolia		M	
OLE EUR		Olea europea 'Swan Hill'	Swan Hill Olive		L	
PIS CHI		Pistachia chinensis	Chinese Pistachio		L	
QUE AGR^		Quercus agrifolia	Coast Live Oak		VL	Y
QUE LOB^		Quercus lobata	Valley Oak		VL	Y
TRI CON		Tristania conferta	Brisbane Box		L	

SHRUBS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
BAM	5 gal	Bambusa multiplex 'Alphonse Karr'	Alphonse Karr Bamboo	36" o.c.	L	
BAO	25 gal	Bambusa oldhamii	Giant Timber Bamboo	See Plan	L	
CCO	5 gal	Ceanothus concha	California Mountain Lillac	48" o.c.	L	Y
HXH	5 gal	Hypericum x 'Hidcote'	Gold Flower	36" o.c.	M	Y
LAS	15 gal	Lavatera assurgentiflora	Tree Mallow	60" o.c.	L	Y
LCH	5 gal	Loropetalum chinense	Chinese fringe flower	36" o.c.	L	
LEB	5 gal	Leucadendron 'Ebony'	Ebony Conebush	48" o.c.	L	
LJE	5 gal	Leucadendron 'Jester'	Jester Conebush	48" o.c.	L	
MRE	5 gal	Mahonia repens	Oregon Grape	48" o.c.	L	Y
MCA	15 gal	Myrica californica	California Coffeeberry	60" o.c.	M	Y
PRC	15 gal	Prunus caroliniana 'Bright & Tight'	Carolina Laurel Cherry	60" o.c.	L	
RSA	5 gal	Ribes sanguineum	Red Flowering Currant	30" o.c.	L	Y
RCA	15 gal	Rhamnus californiaca 'Little Sur'	Little Sur Coffeeberry	48" o.c.	L	Y
RIC	5 gal	Rhaphiolepis indica 'Clara'	Indian Hawthorn	24" o.c.	L	

ACCENT SHRUBS, GRASSES AND PERENNIALS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
AG	1 gal	Achillea millefolium spp.	Yarrow spp	24" o.c.	L	Y
AD	5 gal	Agave 'deserti'	Desert Agave	30" o.c.	VL	Y
AL	5 gal	Aloe plicata	Aloe plicata	24" o.c.	L	
AN	5 gal	Anigozanthos spp.	Kangaroo Paws	24" o.c.	L	
CG	1 gal	Calandrinia grandiflora 'Jazz Time'	Rock Purslane	24" o.c.	L	
CA	5 gal	Calamagrostis foliosa	Mendocino Reed Grass	36" o.c.	M	Y
CK	5 gal	Calamagrostis x a. 'Karl Foerster'	Feather Reed Grass	36" o.c.	M	Y
CH	5 gal	Chondropetalum tectorum	Cape Reed	36" o.c.	L	
DI	5 gal	Dietes vegeta / hybrids	Fortnight Lily / Lemon Drops	30" o.c.	L	
EC	1 gal	Elymus condensatus 'Canyon Prince'	Lyme Grass	30" o.c.	VL	Y
HU	2 gal	Heuchera spp.	Coral Bells	24" o.c.	M	Y
HP	5 gal	Hesperaloe parviflora	Red Yucca	36" o.c.	VL	
JP	5 gal	Juncus patens	California Gray Rush	24" o.c.	L	Y
LD	5 gal	Lavandula dentata	French Lavander	24" o.c.	L	
LP	1 gal	Libertia p. 'Bronze Sword'	Libertia	24" o.c.	L	
LL	5 gal	Lomandra longifolia 'Platinum Beauty'	Variegated Dwarf Mat Rush	24" o.c.	L	
MA	5 gal	Mahonia 'soft caress'	Soft Caress Holly	30" o.c.	M	
MU	5 gal	Muhlenbergia c. 'Regal Mist'	R. Mist Pink Muhlenbergia	42" o.c.	L	
MR	5 gal	Muhlenbergia rigens	Deer Grass	42" o.c.	L	Y
MS	5 gal	Mimulus 'Sam'	Yellow Monkeyflower	24" o.c.	L	
NE	1 gal	Nephrolepis cordifolia	Southern Sword Fern	24" o.c.	M	Y
OE	15 gal	Olea europaea 'Montra'	Little Ollie Dwarf Olive	30 o.c.	L	Y
PE	5 gal	Pennisetum s. 'Rubrum'	Purple Fountain Grass	36" o.c.	L	
PO	5 gal	Polystichum munitum	Western Sword Fern	24" o.c.	L	Y
SI	1 gal	Sisyrinchium bellum	Blue-eyed Grass	18" o.c.	L	Y
SG	5 gal	Salvia greggii	Autumn Sage	30" o.c.	L	Y
ST	5 gal	Stipa arundinacea	New Zealand Wind Grass	18" o.c.	L	
ZC	5 gal	Zauschneria California 'Ghostly Red'	California Fuschia 'Ghostly Red'	18" o.c.	L	Y

GROUNDCOVERS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	CA NATIVE
AE	5 gal	Arctostaphylos 'Emerald Carpet'	Manzanita	36" o.c.	L	Y
AC	5 gal	Acacia cognata 'Cousin Itt'	Little River Wattle	30" o.c.	L	
FE	1 gal	Festuca Rubra	Red Fescue	18" o.c.	L	Y
MH	5 gal	Mahonia repens	Creeping Oregon Grape	24" o.c.	L	Y
RP	5 gal	Rosmarinus o. 'Prostratus'	Prostrate Rosemary	24" o.c.	L	
RI	1 gal	Ribes viburnifolium	Catalina Currant	48" o.c.	L	Y
SM	1 gal	Senecio mandraliscae	Blue Chalk Sticks	12" o.c.	L	

Note: Native plant species are used for 52% of the total planting area. (1,722 SF of 3,299 SF total).

SMITH DEVELOPMENT

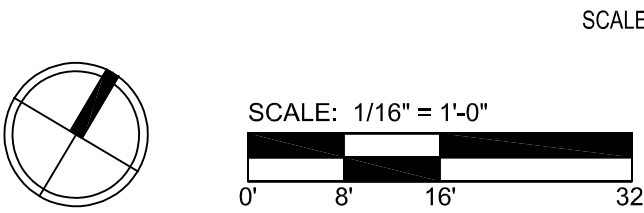
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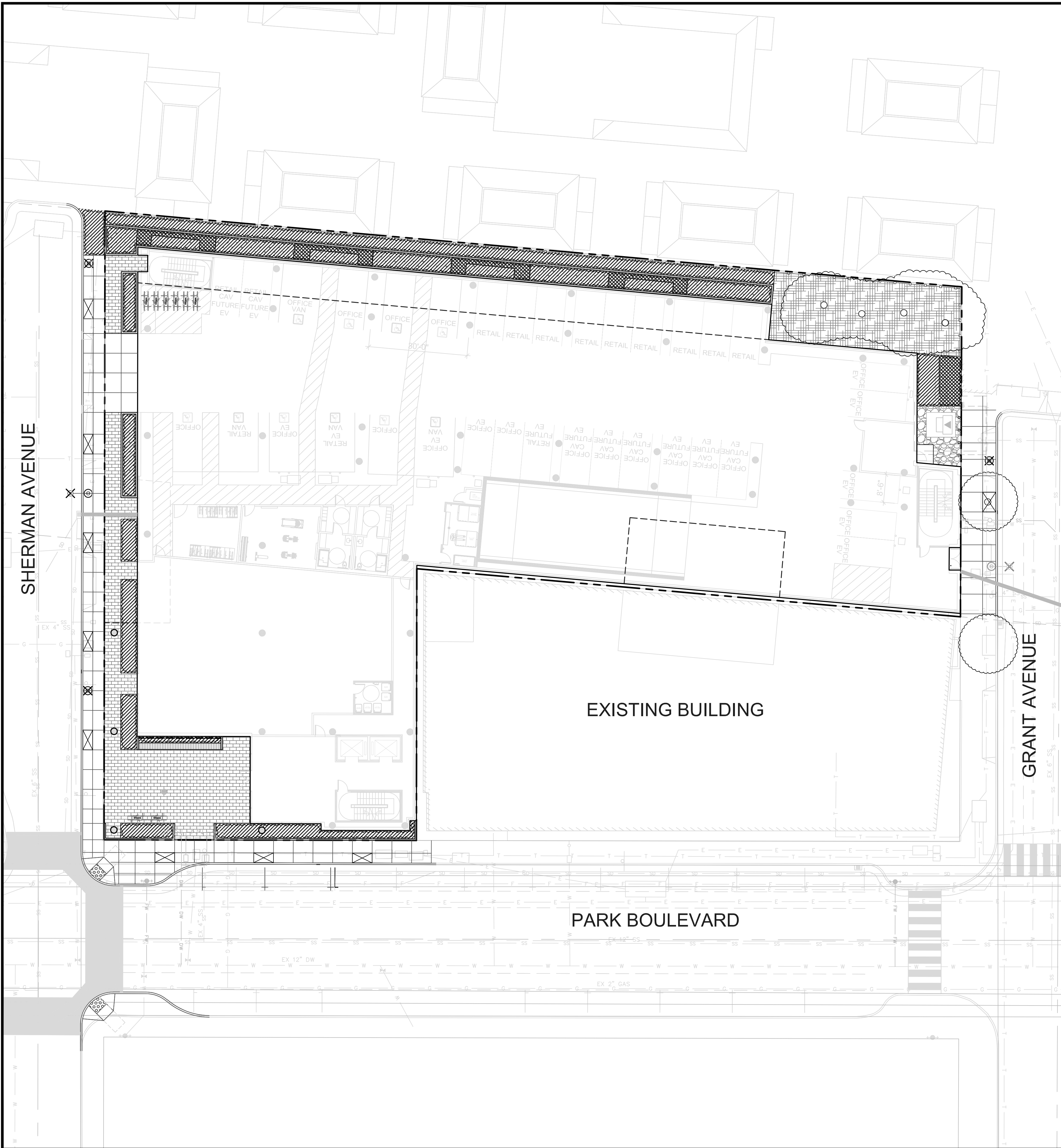
PROJECT NUMBER
20008

SHEET TITLE
PLANTING PLAN - UPPER LEVELS



SHEET NUMBER

L3.2



WATER USE LEGEND

	WUCOLS Low: 2,474 SF
	WUCOLS Moderate: 350 SF
	WUCOLS High: 0 SF
	Water Features: N/A
	Special Landscape Area: N/A

* Based upon total landscape area of 2,824 SF

SMITH DEVELOPMENT

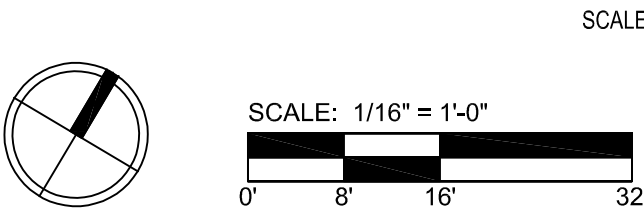
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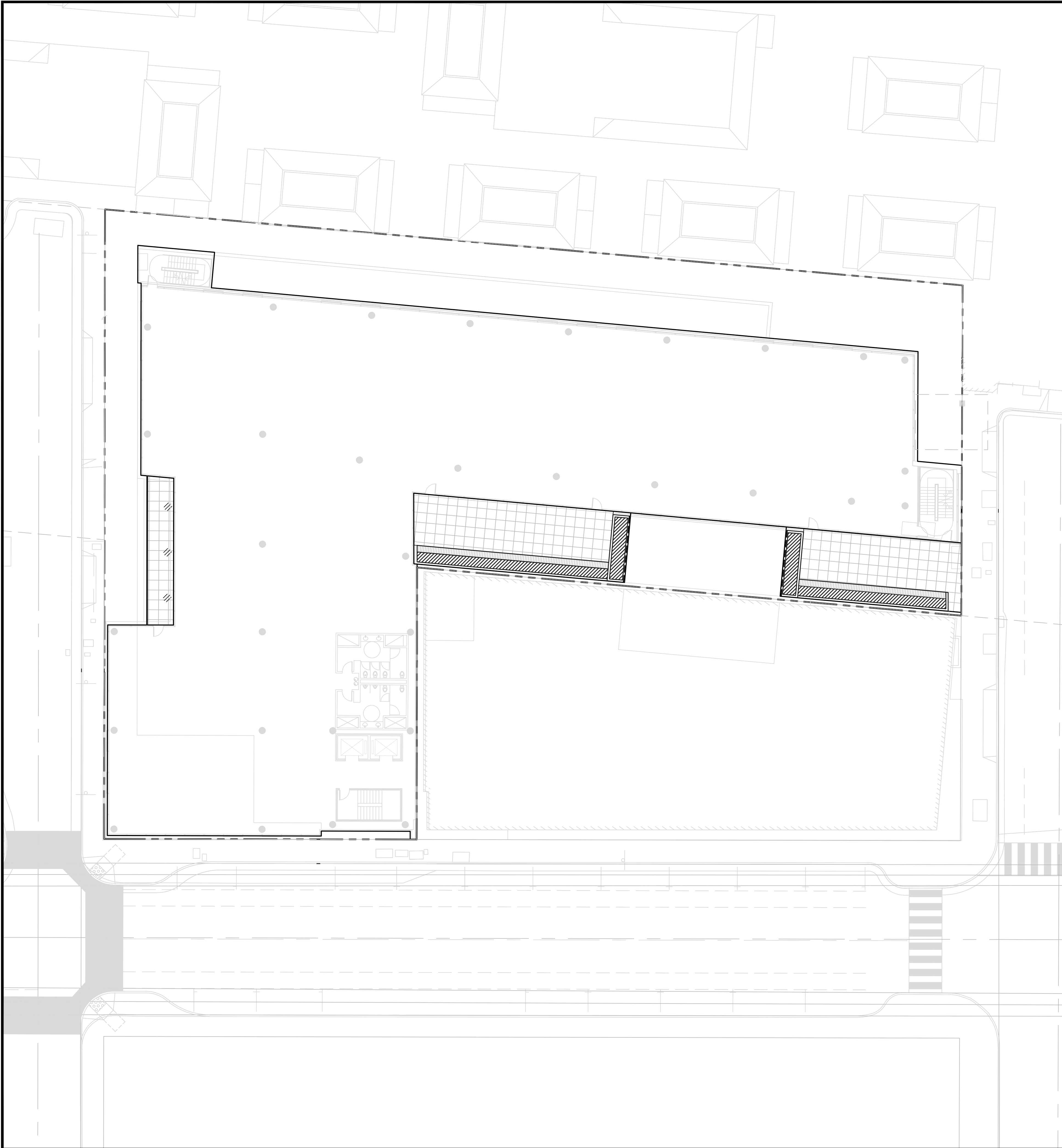
PROJECT NUMBER
20008

SHEET TITLE
HYDROZONE PLAN - SITE



SHEET NUMBER

L4.1



WATER USE LEGEND

	WUCOLS Low: 475 SF
	WUCOLS Moderate: 0 SF
	WUCOLS High: 0 SF
	Water Features: N/A
	Special Landscape Area: N/A

* Based upon total landscape area of 475 SF

SMITH DEVELOPMENT

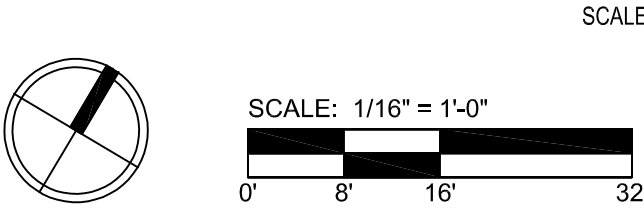
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PROJECT NUMBER
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SHEET TITLE
HYDROZONE PLAN - UPPER LEVELS




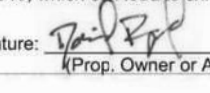
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

L4.2

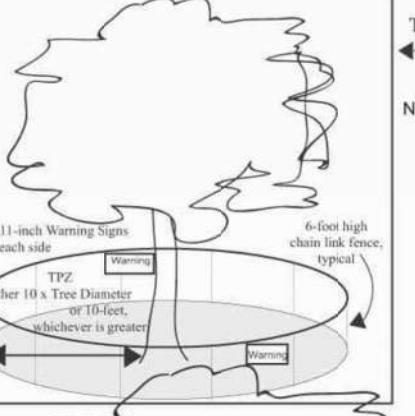
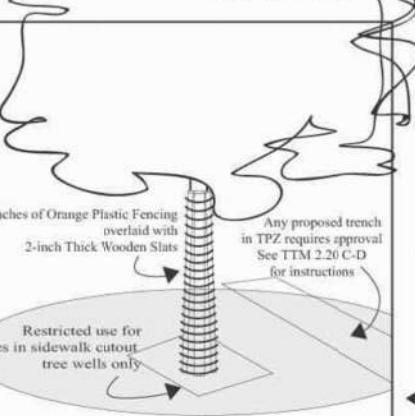
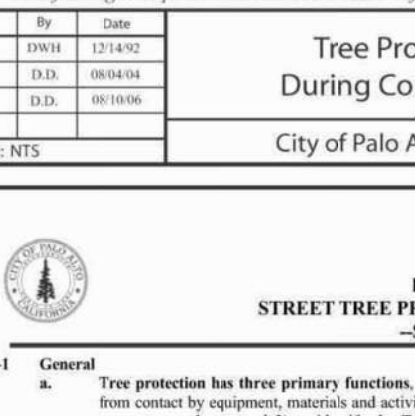
City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

	TREE DISCLOSURE STATEMENT	CITY OF PALO ALTO Planning Division, 250 Hamilton Avenue Palo Alto, CA 94301 (650) 329-2441 http://www.cityofpaloalto.org
Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.		
PROPERTY ADDRESS: 2625 Park Boulevard, Palo Alto, CA 94306		
Are there Regulated trees on or adjacent to the property? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (If no, proceed to Section 4)		
[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]		
1. Where are the trees? Check those that apply (Plans must be submitted showing over 4" diameter trees) <input checked="" type="checkbox"/> On the property <input type="checkbox"/> On adjacent property overhanging the project site <input checked="" type="checkbox"/> In the City planter area or right-of-way easement within 30' of property line (Street Trees)**		
*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).		
2. Are there any Protected or Designated Trees? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (Check where applicable) <input type="checkbox"/> Protected Tree (s) <input type="checkbox"/> Designated Tree (s) <input type="checkbox"/> On or overhanging the property		
3. Is there activity or grading within the dieline? (radius 10 times the trunk diameter) of these trees? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 5.25). Attach this report to Sheet T-1, Tree Protection, its Part of the Plan", per Site Plan Requirements.		
4. Are the Site Plan Requirements** completed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO **Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dieline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dieline, per Sheet T-1 and Detail #605 - http://www.cityofpaloalto.org/trees/forms.htm (See also TTM, Section 2.15 for area to be fenced)		
I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.		
Signature: 	Print: Daniel Raymond	Date: 2/4/2022
FOR STAFF USE: Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).		
5. Protected Trees The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES <input type="checkbox"/> NO <input type="checkbox"/> (N/A if there are no protected trees, check here <input type="checkbox"/>)		
6. Street Trees A signed Public Works Street Tree Protection Verification form is attached. YES <input type="checkbox"/> NO <input type="checkbox"/> (N/A if there are no street trees, check here <input type="checkbox"/>)		
Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 10" in diameter or larger, when measured 24" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan. Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at http://www.cityofpaloalto.org/planning/community/trees/technical-manual.html		
S:\Plan\Public\Arb\Tree Protection Info Tree Disclosure Statement Revised 08/06		

	City of Palo Alto 250 Hamilton Avenue, Palo Alto, CA 94301
Search: <input type="text"/>	Advanced <input type="checkbox"/> Browse By Topic <input type="text"/>
Home Planning & Community Environment	
	Tree Technical Manual
To purchase the Tree Technical Manual	
June, 2001 First Edition	
View by section:	
<ul style="list-style-type: none">Table of Contents (PDF, 87KB)Intent and Purpose (PDF, 1.05MB)Introduction - Use of Manual (PDF, 1.05MB)Section 1.0 - Definitions (PDF, 96KB)Section 2.0 - Protection of Trees During Construction (PDF, 259KB)Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 174KB)Section 4.0 - Hazardous Trees (PDF, 105KB)Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)Section 6.0 - Tree Reports (PDF, 84KB)	
View ALL sections:	
<ul style="list-style-type: none">Tree Technical Manual - Full (PDF, 1.84MB)	
APPENDICES A: Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations B: Tree City - USA C: ISA Hazard Evaluation Form D: List of Inherent Failure Patterns for Selected Species (Reference source) E: ISA Tree Pruning Guidelines (PDF, 1.05MB) F: Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source) G: Pruning Performance Standards, ANSI A300-1995 (Reference source) H: Tree Planting Details, Diagram 504 & 505 I: Tree Disclosure Statement J: Palo Alto Standard Tree Protection Instructions	

For written specifications associated with illustrations below, see Public Works Specifications Section 31 Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/)		
Tree Protection Zone (TPZ) shown in gray indicates 10 times the diameter of the tree or 10 feet, whichever is greater. • Restricted activity area - see Tree Technical Manual Sec 2.15A.F. • Restricted trenching area - see Tree Technical Manual Sec 2.20C-D, any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.		
	Type I Tree Protection For all Ordinance Protected and Designated trees as described in the site specific tree preservation report (TPR) prepared by the applicant's project arborist or designated arborist. Note: Ordinance Protected & Designated Trees, issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plan and Tree Preservation Report. Fence distance is 10 times trunk diameter or 10 feet, whichever is greater. Fencing must provide public passage while protecting all other trees in TPZ.	
	Type II Tree Protection For all Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided. Fence distance is 10 times trunk diameter or 10 feet, whichever is greater. Fencing must provide public passage while protecting all other trees in TPZ.	
	Type III Tree Protection For all Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided. Fence distance is 10 times trunk diameter or 10 feet, whichever is greater. Fencing must provide public passage while protecting all other trees in TPZ.	
Tree fencing is required and shall be erected before demolition, grading or construction begins.		
Rev. No.	By	Date
1	DWR	12/14/02
2	DJS	08/04/04
3	DJS	09/20/06
Scale: NTS		
Tree Protection During Construction City of Palo Alto Standard		
Approved by: Dave Doctter PE No. 2006 Date 2/4/2022 City No. 605		



	PALO ALTO STREET TREE PROTECTION INSTRUCTIONS SECTION 31-
31-1 General Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state; and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.	
31-2 Reference Documents a. Detail #65 - Illustration of situations described below. b. Tree Technical Manual (TTM) Forms (http://www.cityofpaloalto.org/trees/) 1. Tree Protection Zones (TTM, Section 2.20C) 2. Arborist Reporting Permit (CPL, Section 5.3) 3. Site Plan Requirements (TTM, Section 5.13) 4. Tree Disclosure Statement (CPL, Appendix 3) c. Street Tree Verification (STV) Form (http://www.cityofpaloalto.org/trees/forms)	
31-3 Execution a. Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the fence may be supported by an appropriate grade-level concrete base, if approved by Public Works Operations. b. Type II Tree Protection: For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use. c. Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bonded securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist. d. Size, type and area to be fenced. All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be installed on two-inch diameter galvanized steel posts, driven into the ground to a depth of at least 2-feet or so more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form. e. Warning signs. A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 18-inches by 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110". f. Duration. Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works. g. During construction 1. All neighbors' trees that overhang the project site shall be protected from impact of any kind. 2. The applicant shall be responsible for the repair or replacement of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code. 3. The following tree preservation measures apply to all trees to be retained: a. No storage of material, tools, vehicles or equipment shall be permitted within the TPZ. b. The ground under and around the tree canopy area shall not be altered. c. Trees to be retained shall be irrigated, weeded and maintained as necessary to ensure survival.	
END OF SECTION City of Palo Alto 2004 Standard Drawing and Specifications Street Tree Verification of Protection, PWE, Section 31 Revised 08/06	

Table 2-2: Palo Alto Tree Technical Manual ARBORIST INSPECTION SCHEDULE	
All Checked Items Apply to this project:	
1. <input checked="" type="checkbox"/> Inspection of Protective Tree Fencing. The Street Tree Verification Form shall be signed by the City Arborist. For other Protected Trees, the project arborist shall provide a written statement with a photograph verifying that he has conducted a field inspection of the trees and that the protective tree fencing is in place prior to issuance of a demolition, grading, or building permit. (see Verification of Tree Protection, Section 1.39).	
2. <input type="checkbox"/> Pre-Construction Meeting. Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading equipment operators, project arborist, City Arborist, and, if a city maintained irrigation system exists, the Parks Manager (Contact 650-496-6962).	
3. <input type="checkbox"/> Inspection of Rough Grading. The project arborist shall perform an inspection during the course of rough grading adjacent to the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 48 hours advance notice of such activity.	
4. <input type="checkbox"/> Monthly Inspections. The project arborist shall perform a monthly activity inspection to monitor and advise for conditions and tree health. The City Arborist shall be in receipt of the activity report during the first week of each calendar month or, immediately if there are any revisions to the approved plans or protection measures. Fax to (650) 329-2154. (see Monthly Inspection Report, Section 1.17).	
5. <input type="checkbox"/> Special activity within the Tree Protection Zone. Work in this area (TPZ - described in #7 below) requires the direct onsite supervision of the project arborist (see Trenching, Excavation and Equipment, TTM Section 2.20 C).	
6. <input type="checkbox"/> Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The City shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.	
7. <input type="checkbox"/> Other (please describe)	

	City of Palo Alto Tree Department Public Works Operations P.O. Box 10260 Palo Alto, CA 94303 650-496-5953 FAX: 650-852-6289 inspector@cityofpaloalto.org
Verification of Street Tree Protection	
Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.	
APPLICATION DATE: _____	
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____	
APPLICANT'S NAME: _____	
APPLICANT'S ADDRESS: _____	
APPLICANT'S TELEPHONE & FAX NUMBERS: _____	
This section to be filled out by City Tree Staff	
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, go to R2 below
Inspected by: _____	
Date of Inspection: _____	
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____	
Indicate how the required modifications were communicated to the applicant: _____	
Subsequent Inspection	
Street trees at above address were found to be adequately protected: _____	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, indicate in "Notes" below the disposition of case.
Inspected by: _____	
Date of Inspection: _____	
Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.	
Return approved sheet to Applicant for demolition or building permit issuance.	
S:\PDG\PS\Tree\0515 Tree\Tree\Tree	

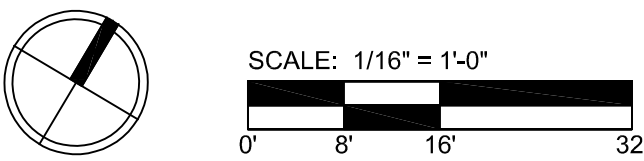
---WARNING---	
Tree Protection Zone	
This fencing shall not be removed without City Arborist approval (650-496-5953)	
Removal without permission is subject to a \$500 fine per day*	
*Palo Alto Municipal Code Section 8.10.110	
City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.html	

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
19030

SHEET TITLE
TREE PROTECTION PLAN

SCALE



SHEET NUMBER

L5.1

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at www.cityofpaloalto.org/arb/forms

Special Tree Protection Instruction Sheet
City of Palo Alto



T-1

NO.	DATE	DESCRIPTION
05.25.21		PLANNING SUBMITTAL
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2



City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.** For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

Kiely Arborist Services LLC
Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
650-532-4418

Revised February 4th, 2022

Smith Development
Attn: Jenn Bodine

Site: 150 Grant Avenue, 123 Sherman Avenue, & 2501 Park Boulevard, Palo Alto

Dear Smith Development,

As requested on March 23rd, 2021, I visited the above site for the purpose of inspecting and commenting on the trees. A mixed-use project is proposed for this site, and your concern as to the future health and safety of the trees has prompted this visit. Planning submittal package by KSH Architects was reviewed for writing this report. This report will go over the general health of the trees on site and will give recommendations for the proposed construction. A tree protection plan to follow throughout the entire length of the proposed construction will also be found within this report.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey Key:

DBH-Diameter at breast height (54 inches above grade)

CON-Condition rating

HTSP-Tree height and canopy spread

P-Indicates protected tree by city ordinance

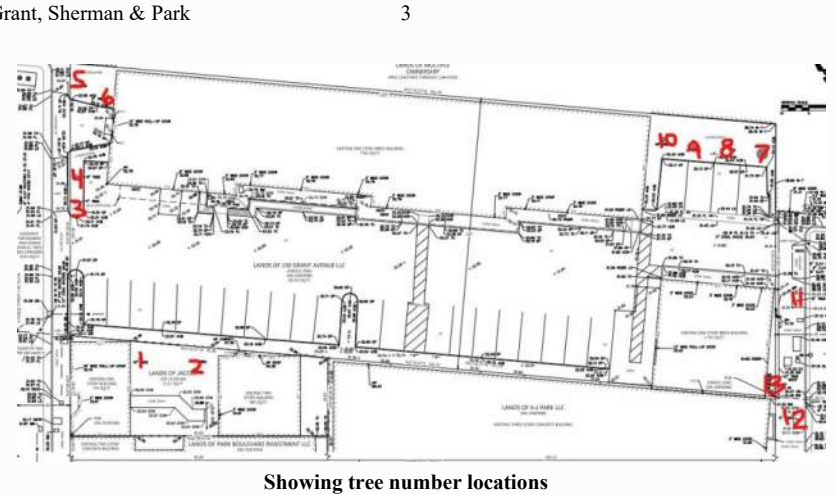
R-Indicates proposed tree removal

Grant, Sherman & Park			2		
Survey:					
Tree#	Species	DBH	CON	HTSP	Comments
1R	Plum (<i>Prunus sp.</i>)	8.8	60	15/15	Fair vigor, fair form, minor deadwood.
2R	Japanese maple (<i>Acer palmatum</i>)	3.8-5.5	0	12/6	DEAD.
3R	Raywood ash (<i>Fraxinus angustifolia</i> 'Raywood')	7.8	55	25/15	Fair vigor, fair form.
4R	Raywood ash (<i>Fraxinus angustifolia</i> 'Raywood')	8.7	55	25/15	Fair vigor, fair form.
5R	Magnolia (<i>Magnolia grandiflora</i>)	4.8	30	15/12	Fair vigor, poor form, heartwood rot.
6R	Photinia (<i>Photinia x fraseri</i>)	5.0	50	12/12	Fair vigor, fair form.
7P	Redwood (<i>Sequoia sempervirens</i>)	36.8	70	65/25	Good vigor, good form.
8	Redwood (<i>Sequoia sempervirens</i>)	13.5	70	45/15	Good vigor, good form, suppressed.
9	Redwood (<i>Sequoia sempervirens</i>)	8.8	70	35/12	Good vigor, good form, suppressed.
10P	Redwood (<i>Sequoia sempervirens</i>)	19.8	70	50/15	Good vigor, good form.
11P	Magnolia (<i>Magnolia grandiflora</i>)	6.0	65	20/15	Fair vigor, fair form, street tree .
12*P	Magnolia (<i>Magnolia grandiflora</i>)	5.8	45	15/12	Fair to poor vigor, fair form, street tree .
13R	Tree of heaven (<i>Ailanthus altissima</i>)	11.5	45	40/25	Fair vigor, fair form, poor location, poor species, invasive.

NO TREES FOUND ON THE 2501 PARK BOULEVARD SIDE OF PROJECT

P-Indicates a protected tree by city ordinance

*Indicates neighbors tree



Non-protected trees proposed for removal:

Trees #1-6 & #13 are proposed for removal to facilitate the proposed construction. Plum tree #1 and Japanese maple (dead) tree #2 are within an existing courtyard between 2 buildings. These trees are not of a protected species. All trees proposed for removal will need to be replaced per the tree canopy replacement standard.



Showing ash trees #3 and #4 Showing heartwood rot on magnolia #5



Showing tree of heaven #13

Tree replacement measures:

The tree canopy replacement standard as seen in Palo Alto's Tree Technical Manual was used to establish the number of replacement trees required on site. Below is a list of the canopy distance for each tree to be removed followed by the number of replacement trees required to fulfill city requirements. Using the standards, a total of twenty 24" box trees are needed on site.

Plum tree #1= 15-foot-wide canopy

Replacement trees= Three 24" box trees or two 36" box trees.

Japanese maple tree #2= 6-foot-wide canopy

Replacement trees= Two 24" box trees or one 36" box tree.

Raywood ash tree #3= 15-foot-wide canopy

Replacement trees= Three 24" box trees or two 36" box trees.

Raywood ash tree #4= 15-foot-wide canopy

Replacement trees= Three 24" box trees or two 36" box trees.

Magnolia tree #5= 12-foot-wide canopy

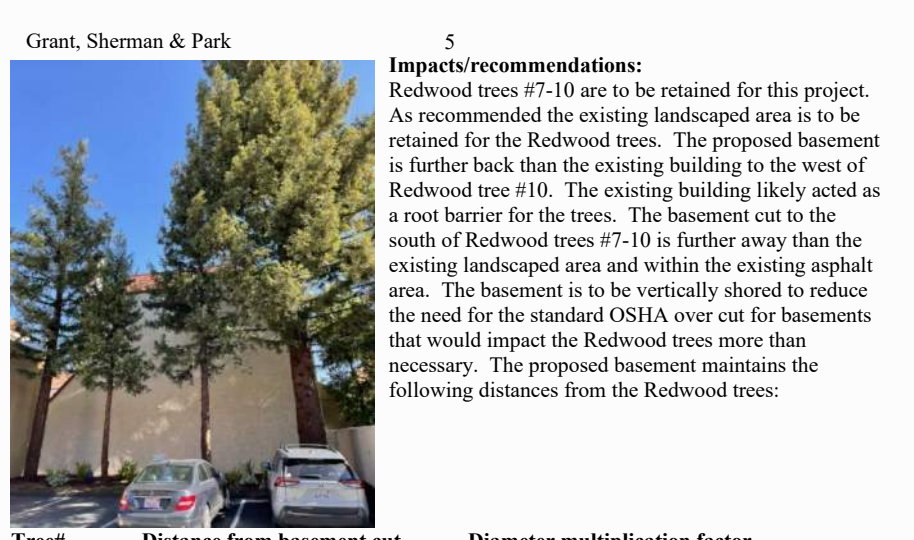
Replacement trees= Three 24" box trees or two 36" box trees.

Photinia #6= 12-foot-wide canopy

Replacement trees= Three 24" box trees or two 36" box trees.

Tree of heaven #13= 25-foot-wide canopy

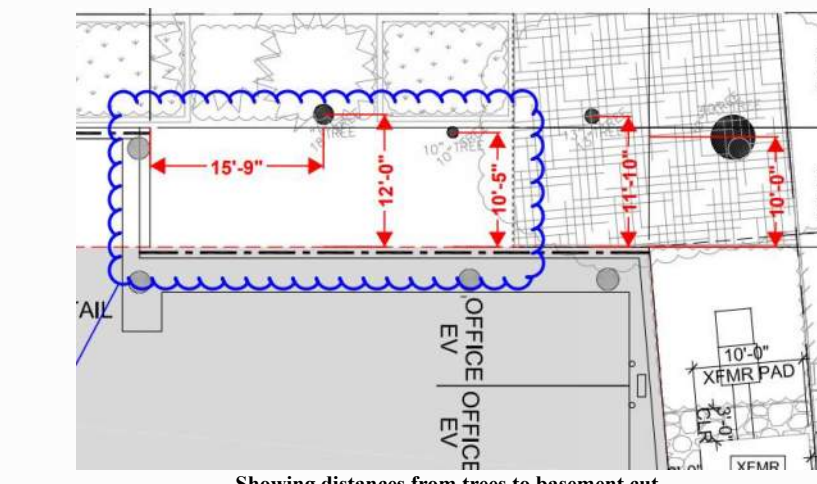
Replacement trees= Three 24" box trees or two 36" box trees.



Impacts/recommendations:

Redwood trees #7-10 are to be retained for this project. As recommended the existing landscaped area is to be retained for the Redwood trees. The proposed basement is further back than the existing building to the west of Redwood tree #10. The existing building likely acted as a root barrier for the trees. The basement cut to the south of Redwood trees #7-10 is further away than the existing landscaped area and within the existing asphalt area. The basement is to be vertically shored to reduce the need for the standard OSHA over cut for basements that would impact the Redwood trees more than necessary. The proposed basement maintains the following distances from the Redwood trees:

Tree#	Distance from basement cut	Diameter multiplication factor
#7-	10' from basement	3.3x diameter (corner cut)
#8-	11'10" from basement	1.1x diameter
#9-	10' 5" from basement	1.4x diameter
#10	12' from basement cut	7.3x diameter



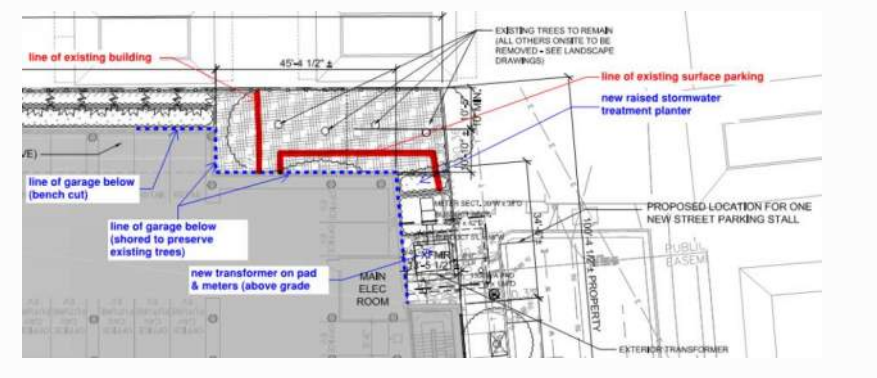
Showing distances from trees to basement cut

Grant, Sherman & Park

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Redwood tree #7 is the closest to the proposed basement cut. The basement cut will be a corner cut from this tree. The area immediately to the south of the tree is to become a landscaped area. Any existing roots within the landscaped area will be retained and will help to reduce impacts. The existing asphalt to be demolished when within the proposed landscape area near tree #7 is recommended to be done by hand under the Project Arborist supervision. Any exposed roots during the demolition of the asphalt within the proposed landscaped area are recommended to be covered by soil and wetted down as soon as possible after being exposed. If to be left exposed for longer than half a day, the exposed roots will need to be covered by 3 layers of wetted down burlap to help avoid root desiccation. Before the construction of the basement is to start, it is recommended to perform a hand excavation trench at the edge of the proposed basement cut when within 30 feet from the Redwood trees while under the Project Arborist supervision. The depth of the trench is recommended to be 3' deep (depth of majority of root zone). All encountered roots are to be recorded and documented. Encountered roots are to be clearly cut using a hand saw or loppers. The wall of the trench on the tree side where roots have been cut is recommended to be covered by 3 layers or wetted down burlap. Burlap moisture must be maintained by the contractor by wetting down the burlap multiple times a day. At this time an irrigation system is recommended to be installed within the landscaped area. The irrigation system is recommended to consist of a series of soaker hoses within the existing landscaped area. Once a week the soaker hoses shall be turned on until the top foot of soil is saturated. The Redwood trees are recommended to be deep water fertilized using 500 gallons of water mixed with a well-balanced fertilizer in early May of 2022. Every May for the next 3 years the Redwood trees are recommended to be deep water fertilized. The Redwood trees will need to be inspected monthly during the required monthly inspections. Impacts to the Redwood trees are expected to be minor with impacts to Redwood tree #7 to be moderate. The above recommendations consisting of irrigation, deep water fertilized, and hand excavation will act as mitigations for the expected impacts.

A new transformer on a pad with meters is to be constructed above grade at 20' from Redwood tree #7. This work is recommended required to be supervised by the Project Arborist. Any excavation needed for utilities when within 20' from this tree (10x diameter) will need to be done by hand. Any encountered roots are recommended to be retained by tunneling utility lines below or besides roots where possible. Impacts are expected to be minor.



Grant, Sherman & Park

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The sidewalk is to be replaced around Magnolia tree #11. The tree is a young street tree with a diameter of only 6". The sidewalk is recommended to be demolished by hand while under the Project Arborist supervision when within 6' from this tree. Existing base rock will also need to be removed by hand. All encountered roots within 6' from the tree will need to be retained where possible. The use of an air spade is recommended to help remove the existing soil and base rock from the tree's roots. The exposed roots are recommended to be kept moist by covering exposed roots in layers of wetted down burlap. New base rock when within 6' from the tree is recommended to consist of Structural Soil (CU Mix). Structural soil shall be packed around the existing roots with the new sidewalk being built up on top of the existing tree roots. Structural Soil looks like average base rock but larger pieces mixed with a hydro gel. Roots will be able to continue to grow in this medium. The Magnolia tree will need to be irrigated frequently during this proposed work. While roots are exposed and the work is taking place irrigation is recommended to take place every 3 hours. Once the work is completed the tree is recommended to be irrigated with 20 gallons of clean water. Impacts are expected to be minor.

Neighboring magnolia tree #12 is not expected to be impacted. This tree will need to be protected by type 3 tree protection fencing. The following tree protection plan will help to insure the future health of the retained trees on site. No impacts to the protected trees on site are expected.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. All tree protection measures, recommended inspections, irrigation, and construction scheduling shall be implemented in full by the owner and contractor. Fencing for the protection zones should be 6-foot-tall metal chain link type supported by 2-inch diameter metal poles pounded into the ground to a depth of no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be placed at a minimum distance equal to the tree driplines, and at a maximum distance of 10 times the trees diameters where possible. Where tree protection fencing cannot be placed at the dripline because of the approved proposed work, tree protection should be placed as close as possible to the proposed work while still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. If tree protection zones need to be reduced for access or any other reason, then a landscape barrier shall be installed where tree protection does not extend out to the tree driplines. The following tree protection distances should be followed throughout the entire length of the project:

- Magnolia street trees #11 and #12 will need to be protected by type 3 tree protection. Fencing shall consist of orange plastic fencing wrapped around the tree trunk from the ground to a height equal to the first lateral branch, to form a 2-inch thick layer of orange plastic fencing. On the outside of the orange plastic fencing, 2-inch thick wooden slats are recommended to be bound securely to the fencing. During installation of the wood slats, caution shall be used to avoid damaging any bark or branches.
- Redwood trees #7-10 will need to be protected by type 1 tree protection fencing. Fencing will need to be installed at the edge of the proposed basement cut and out to 30 feet from tree #7 where possible.



Landscape Barrier

Where tree protection does not cover the entire root zone of the trees (at canopy spread), or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

Tree Pruning

During construction any trimming will be supervised by the site arborist and must stay underneath 25% of the tree's total foliage. At this time no pruning is proposed. All pruning shall be done by a licensed tree care provider.

Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation and a tree monitoring program at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. All roots measuring 1.5 inches in diameter or larger to be cut, must first be shown to the Project Arborist.

Trenching and Excavation

Trenching and excavation shall strive to stay outside of the tree protection zones. If not possible trenching for any reason, should be hand dug when beneath the dripline of desired trees. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open with exposed roots shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below.

Grant, Sherman & Park

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Irrigation

Normal irrigation should be maintained throughout the entire length of the project for the imported trees. Irrigation should consist of surface flooding, with enough water to wet the entire root zone twice a month during the dry season.

Inspections

The site will be inspected after the tree protection measures are installed, and before the start of construction. Monthly inspections are generally required for site such as this. Inspections will be carried out during the first week of each month. The inspections will be documented with inspection letters being provided to the owner, contractor and city arborist. Other inspections will be carried out on an as needed basis. The inspections are required by the city of Palo Alto as a condition of approval. It is the contractor's responsibility to notify the site arborist when construction is to start, and whenever there is to be work performed within the 10 times the diameter of a protected tree on site at least 48 hours in advance. Kiely Arborist Services can be reached at 650-515-9783(Kevin), or by email at kkarbor476@yahoo.com.

Further information about tree protection can be found in the Tree Technical Manual provided by the city of Palo Alto. This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely, Kevin R. Kiely Certified Arborist WE#0476A

David Beckham Certified Arborist WE#10724A TRAQ Qualified

Kevin Kiely

David Beckham



City of Palo Alto
Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

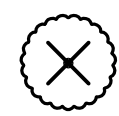


Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

SMITH DEVELOPMENT

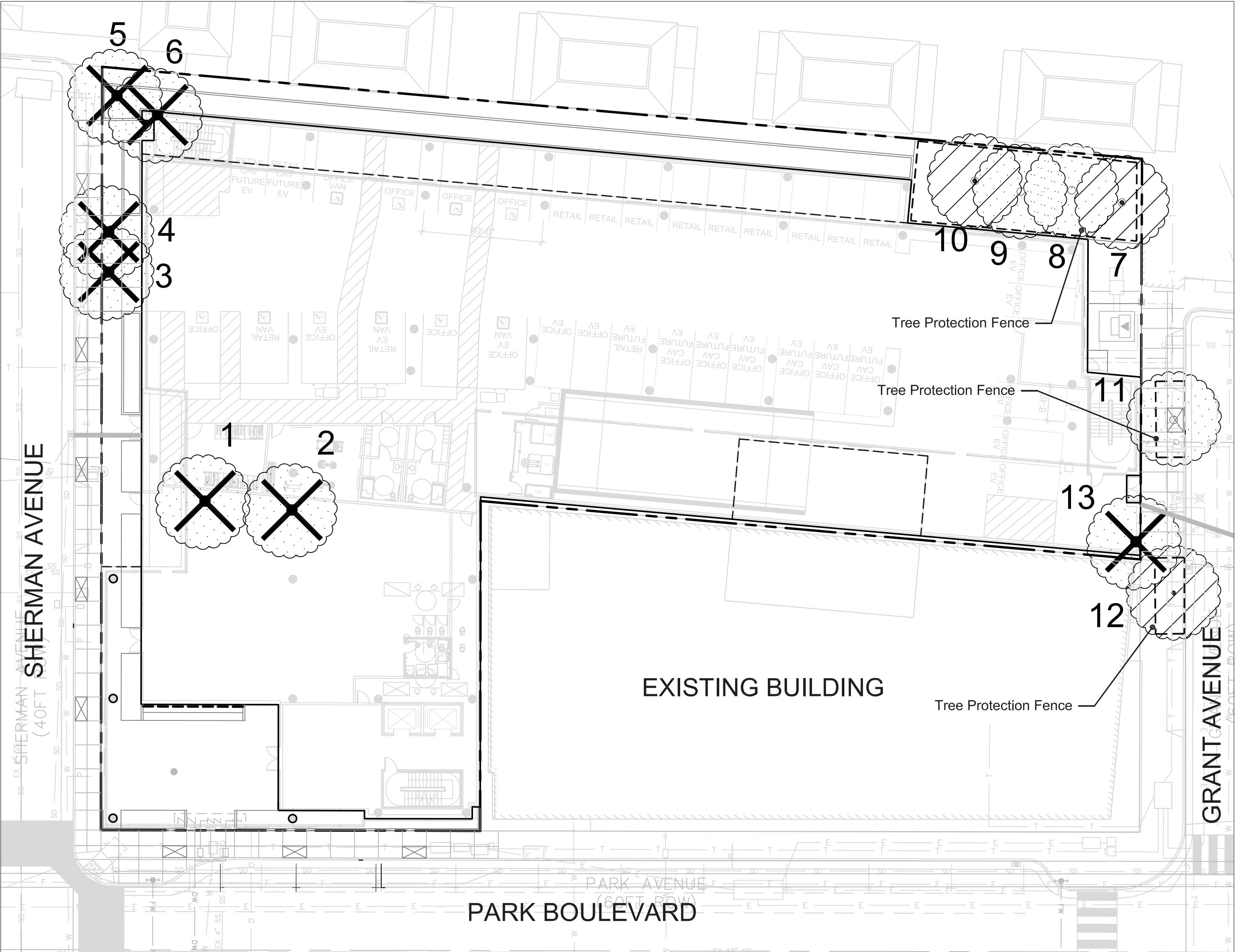
150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306

THE
GUZZARDO
PARTNERSHIP INC.
Landscape Architects • Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5003

TREE DISPOSITION LEGEND

SYMBOL	# OF TREES	DESCRIPTION
	7 → 7	EXISTING TREE TO BE REMOVED (#1, 2, 3, 4, 5, 6, 7) OMIT
	4 → 4	PROTECTED TREES (HERITAGE & STREET TREES) TO REMAIN (#7, 10, 11, 12) ADD #10
	0 → 0	EXISTING TREES TO REMAIN (#8, 9) OMIT (SAY 'NONE' ?)
	7 → 7	TOTAL NUMBER OF TREES TO BE REMOVED
	6 → 6	EXISTING TREES TO REMAIN
	9	NEW TREES PLANTED
	15	TOTAL NUMBER OF TREES TO EXIST ON SITE AT PROJECT COMPLETION

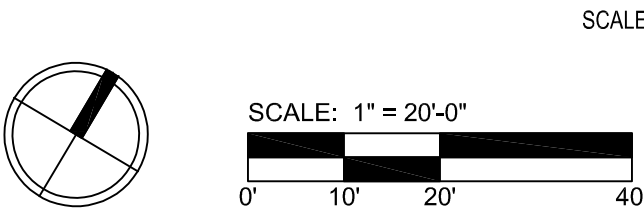
REVIEW & CONFIRM



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
ARBORIST REPORT &
TREE DISPOSITION PLAN



SHEET NUMBER

L5.3

T-3



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at www.cityofpaloalto.org/arb/forms

Special Tree Protection Instruction Sheet
City of Palo Alto



T-3

Scope of Work

To ensure all of the plants are looking immaculate at all times, Habitat Horticulture is proposing the following weekly maintenance regime. Additionally, we will be available to come on as needed basis to keep the wall looking clean, healthy and vibrant throughout the year. A 100% plant warranty is included in the maintenance cost for Option A & B.

Green Element	System	Dimensions	Location
Living Wall	Non-Recirculating		

Maintenance Task List

- Check and Clean Pre and Post Filters
- Manually add nutrients to fertigation system
- Develop an Integrated Pest Management program
- Remove dust from leaves and shine leaves
- System flushes to mitigate salt build up in drip lines and in growing medium
- Clean fallen leaves and debris, deadhead flowers, weeding and aesthetic pruning
- Test each irrigation zone and adjust according to stage of growth and season
- Replace plants as needed throughout the year

Project:

123 Sherman, Typical Non-recirculating Living Wall Shop Drawings

Issue Description:	By:	Date:
Shop Drawings	GC	08/10/21

Drawings:

LW0: Title Sheet

LW1: Living Wall Plan & Elevation

LW2: Living Wall Details

LW3: Irrigation System Details

LW4: Functional Diagram

LW5: Installation Images

LW6: Plant Palette

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



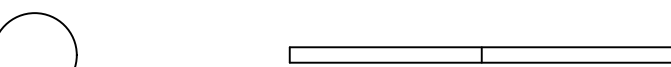
1038 Ashby Ave. Berkeley CA 94710
Tel: 415 684 8555
Email: hello@habitathorticulture.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
LIVING WALL TITLE SHEET

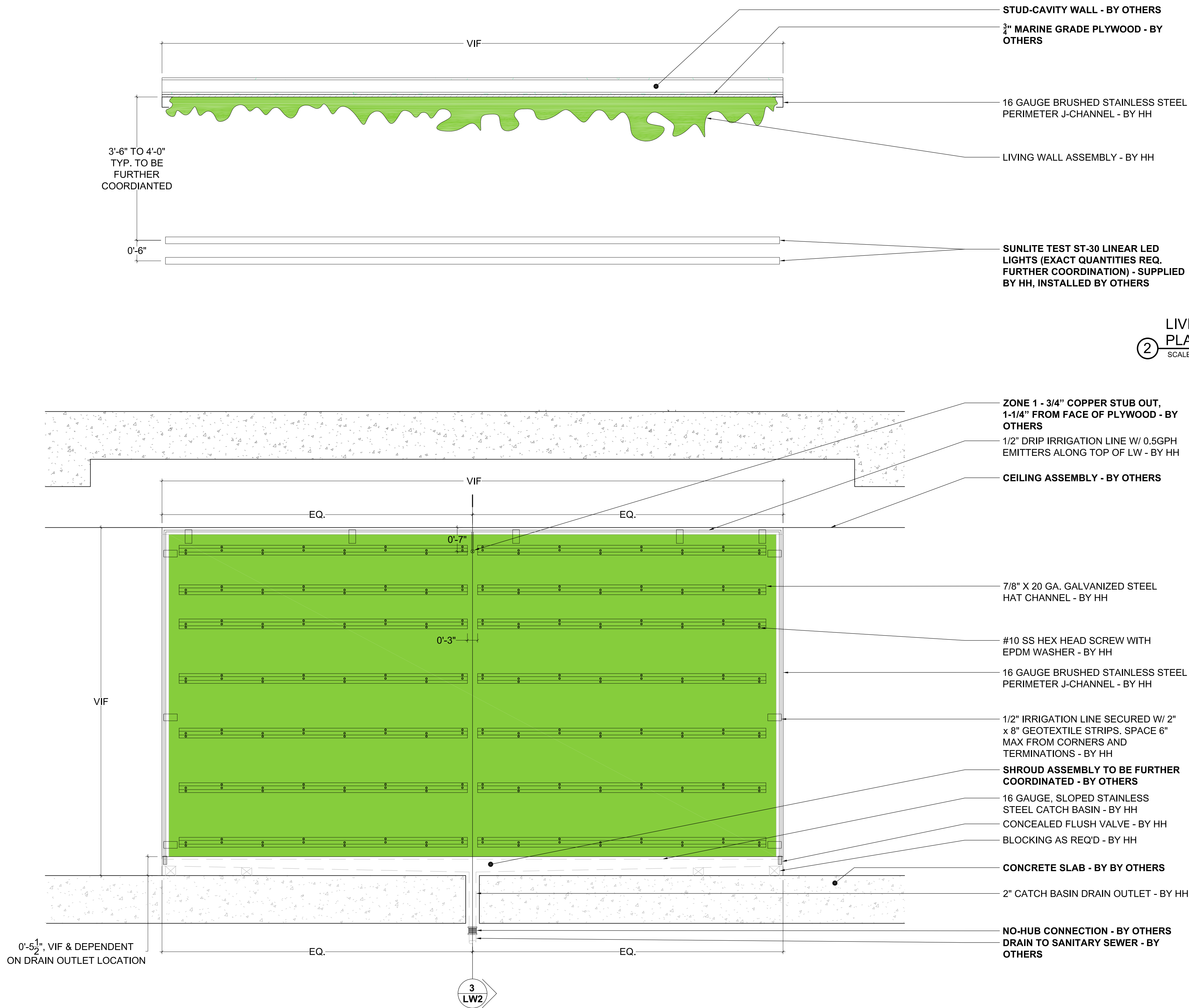
SCALE
1/16" = 1'-0"



SHEET NUMBER

LW0

- NOTES:
1. ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
 2. ALL PIPE ROUTING (SUPPLY AND DRAINAGE) ARE TO BE DESIGNED AND INSTALLED BY OTHERS
 3. SEE LW4 FOR IRRIGATION MANIFOLD REQUIREMENTS.
 4. ALL DETAILS REPRESENT TYPICAL CONDITIONS FOR PRELIMINARY DESIGN DEVELOPMENT PURPOSES. PROJECT SPECIFIC CUSTOMIZATION IS ATTAINABLE UPON FURTHER COORDINATION WITH HABITAT HORTICULTURE.



LIVING WALL
PLAN
SCALE: 3/4" = 1'-0"

LIVING WALL
ELEVATION
SCALE: 3/4" = 1'-0"

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



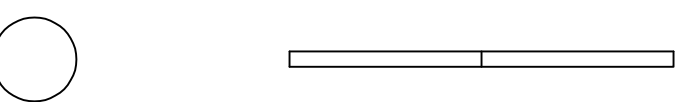
1038 Ashby Ave. Berkeley CA 94710
Tel: 415 684 8555
Email: hello@habitathorticulture.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

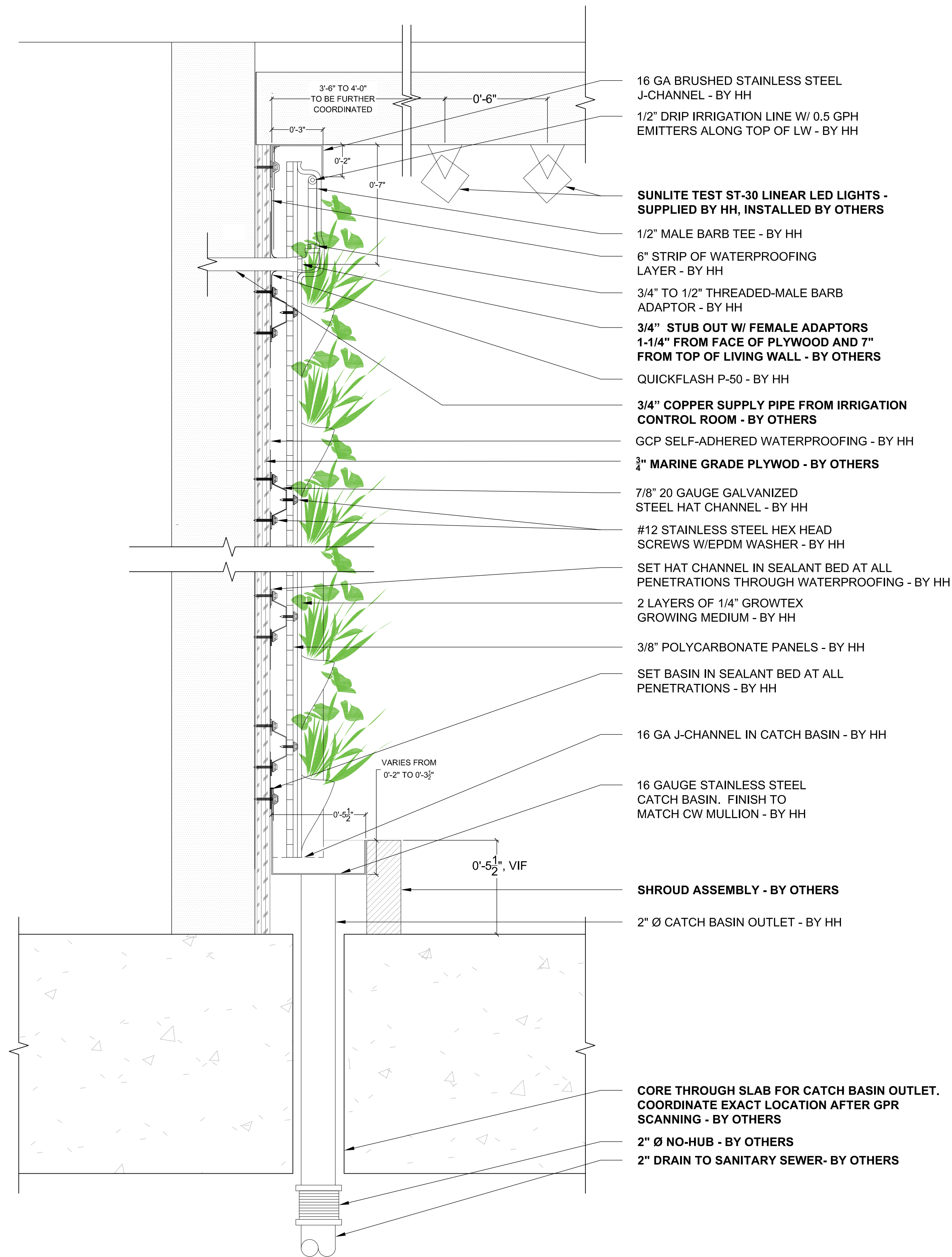
SHEET TITLE
LIVING WALL PLAN & ELEVATION

SCALE
1/16" = 1'-0"

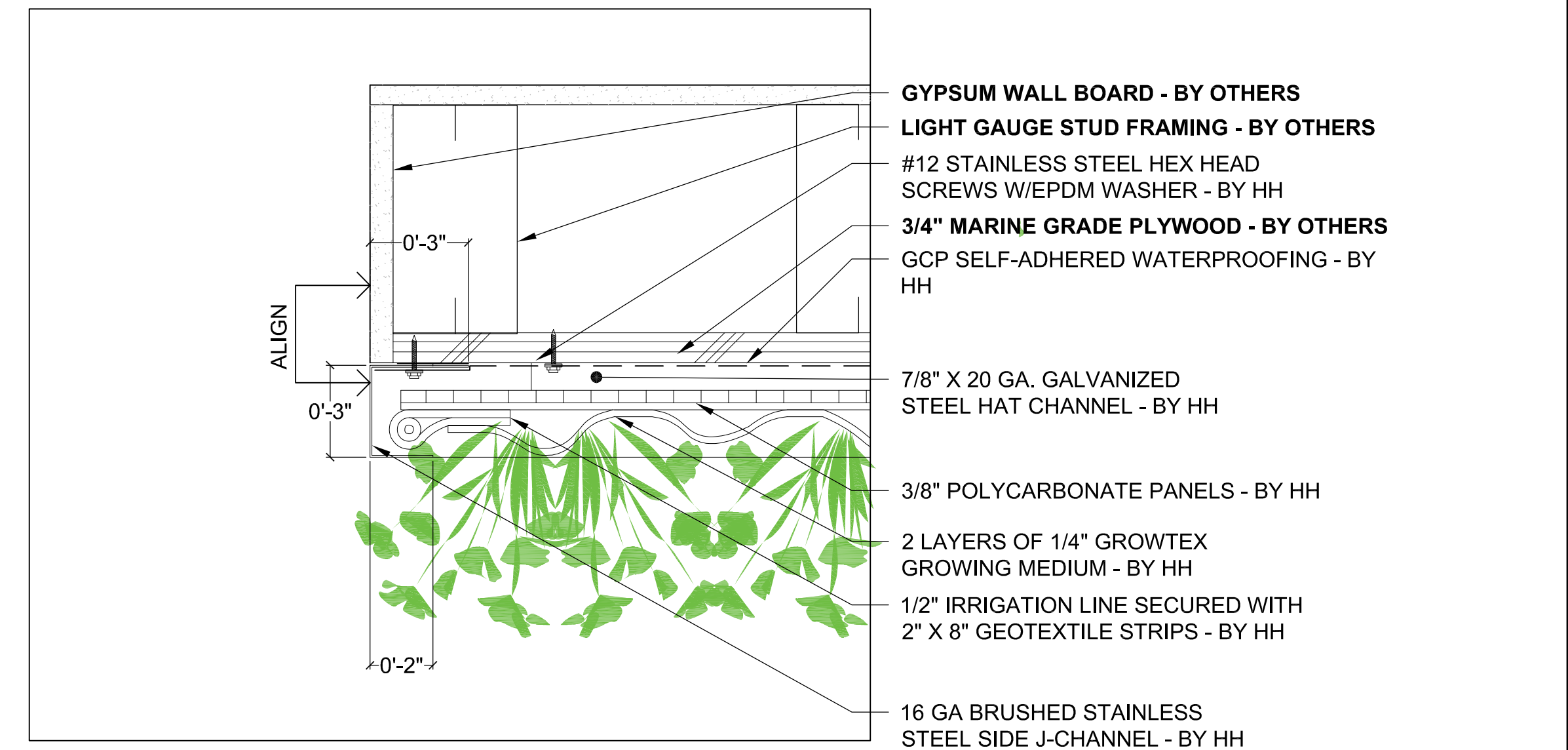


SHEET NUMBER

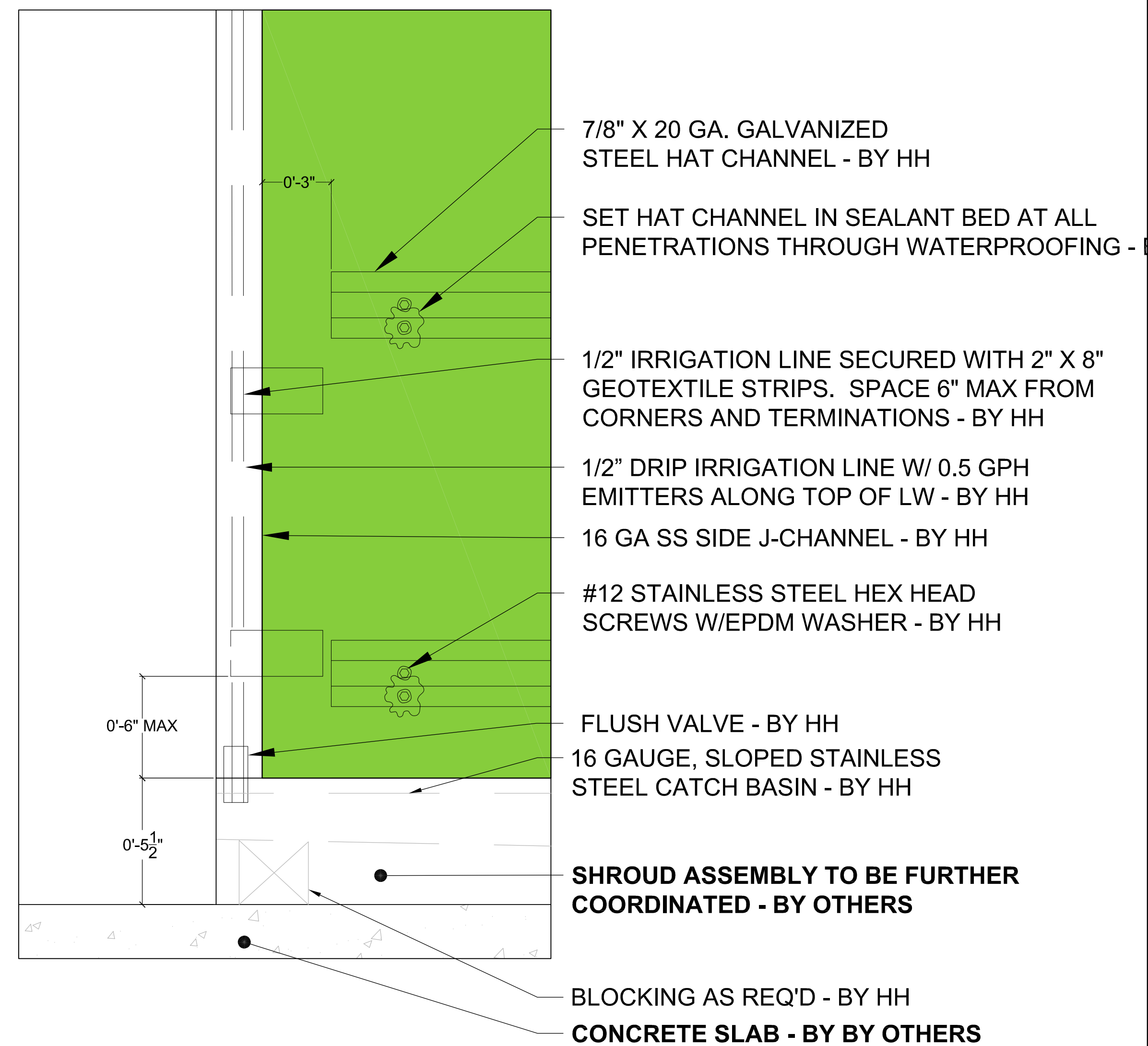
LW1



3 LIVING WALL
SECTION DETAIL
SCALE: 3" = 1'-0"



2 LIVING WALL
EDGE PLAN DETAIL
SCALE: 3" = 1'-0"



1 LIVING WALL
PANEL ATTACHMENT DETAIL
SCALE: 3" = 1'-0"

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



1038 Ashby Ave. Berkeley CA 94710
Tel: 415 684 8555
Email: hello@habitathorticulture.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
LIVING WALL DETAILS

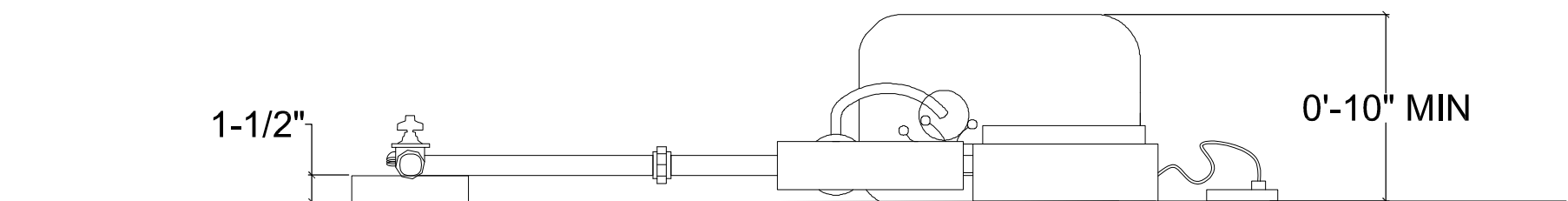
SCALE
1/16" = 1'-0"

SHEET NUMBER

LW2

NOTES:

1. ALL FERTIGATION COMPONENTS EXCEPT FOR THE BACKFLOW DEVICE ASSEMBLY, BRASS FITTINGS, AND COPPER PIPE ADAPTERS WILL BE PROCURED BY HH AND INSTALLED BY OTHERS UNLESS OTHERWISE NOTED.
2. A MINIMUM WATER PRESSURE OF 50 PSI IS REQUIRED AT 1" DOMESTIC COLD WATER SUPPLY POC AT IRRIGATION CONTROLS.
3. A MINIMUM WATER PRESSURE OF 25 PSI IS REQUIRED AT EACH TOP OF WALL 3/4" COPPER STUB OUT.
4. ALL PIPE ROUTING (SUPPLY AND DRAINAGE) ARE TO BE DESIGNED AND INSTALLED BY OTHERS.
5. ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.



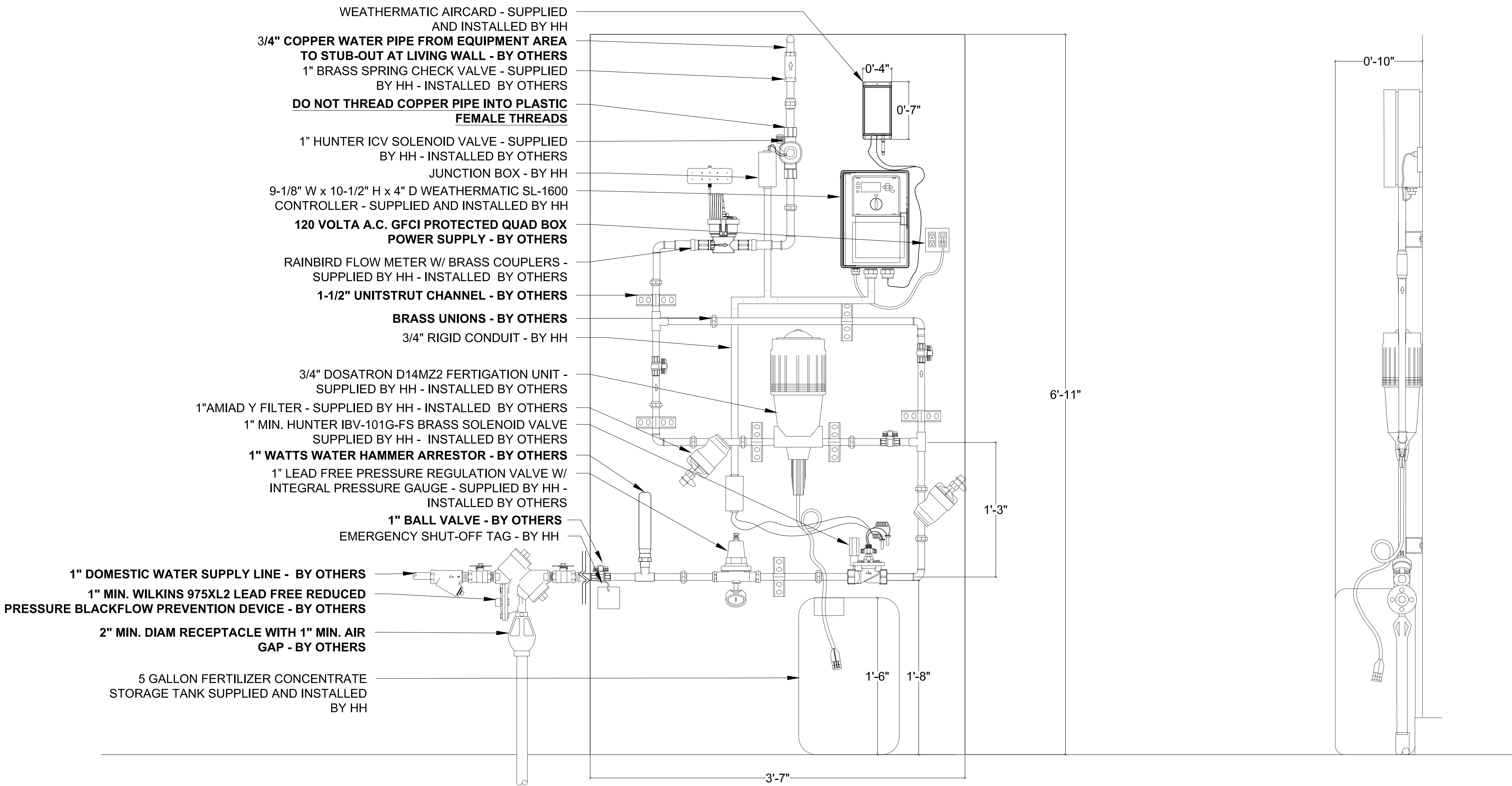
3 NON-RECIRCULATING IRRIGATION SYSTEM PLAN
SCALE: 3/4" = 1'-0"

SUPPLIED BY HH:

- 2 QTY 1" HUNTER SOLENOID VALVE
- 1 QTY 1" PRV WITH INTEGRAL PSI GAUGE
- 2 QTY 1" AMIAD Y-FILTER
- 1 QTY 3/4" DOSATRON
- 1 QTY 1" BRASS SPRING CHECK
- 1 QTY RAINBIRD FLOW METER
- 1 QTY WEATHERMATIC SL-1600
- 1 QTY WEATHERMATIC AIRCARD
- 1 QTY FERTILIZER STORAGE TANK

SUPPLIED BY OTHERS:

- 5 QTY BALL VALVES
- COPPER PIPE, UNIONS, AND ADAPTERS
- BACKFLOW PREVENTION DEVICE
- POWER SUPPLY
- AIR GAP DRAIN
- WATER HAMMER ARRESTOR



2 NON-RECIRCULATING IRRIGATION SYSTEM ELEVATION
SCALE: 3/4" = 1'-0"

1 NON-RECIRCULATING IRRIGATION SYSTEM SECTION
SCALE: 3/4" = 1'-0"

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306



1038 Ashby Ave. Berkeley CA 94710
Tel: 415 684 8555
Email: hello@habitathorticulture.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

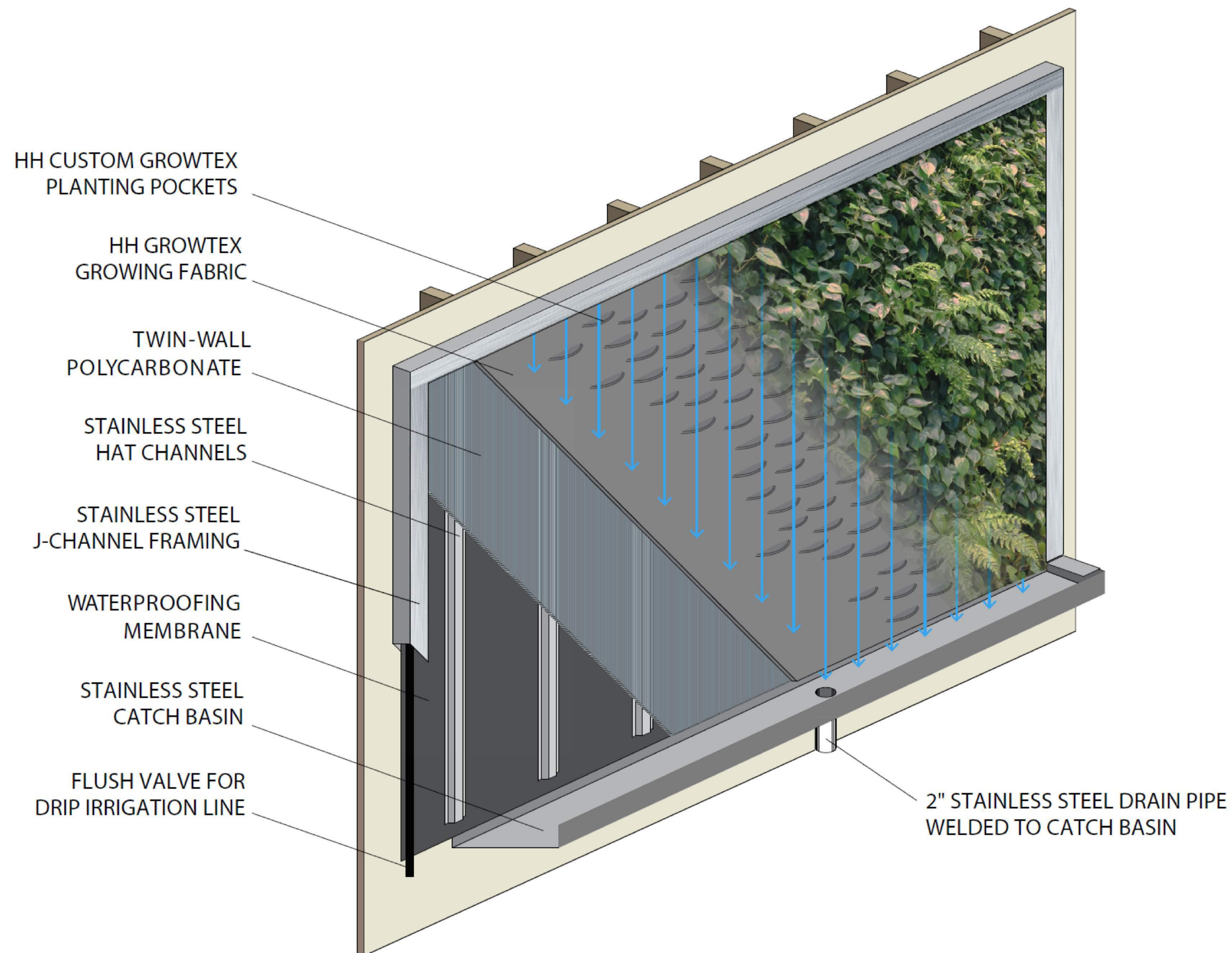
PROJECT NUMBER
20008

SHEET TITLE
IRRIGATION SYSTEM DETAILS

SCALE
1/16" = 1'-0"

SHEET NUMBER

LW3



1 FUNCTIONAL DIAGRAM
SCALE: NTS

SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306

Habitat Horticulture
Design | Build | Maintain
1038 Ashby Ave. Berkeley CA 94710
Tel: 415 684 8555
Email: hello@habithorticulture.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2

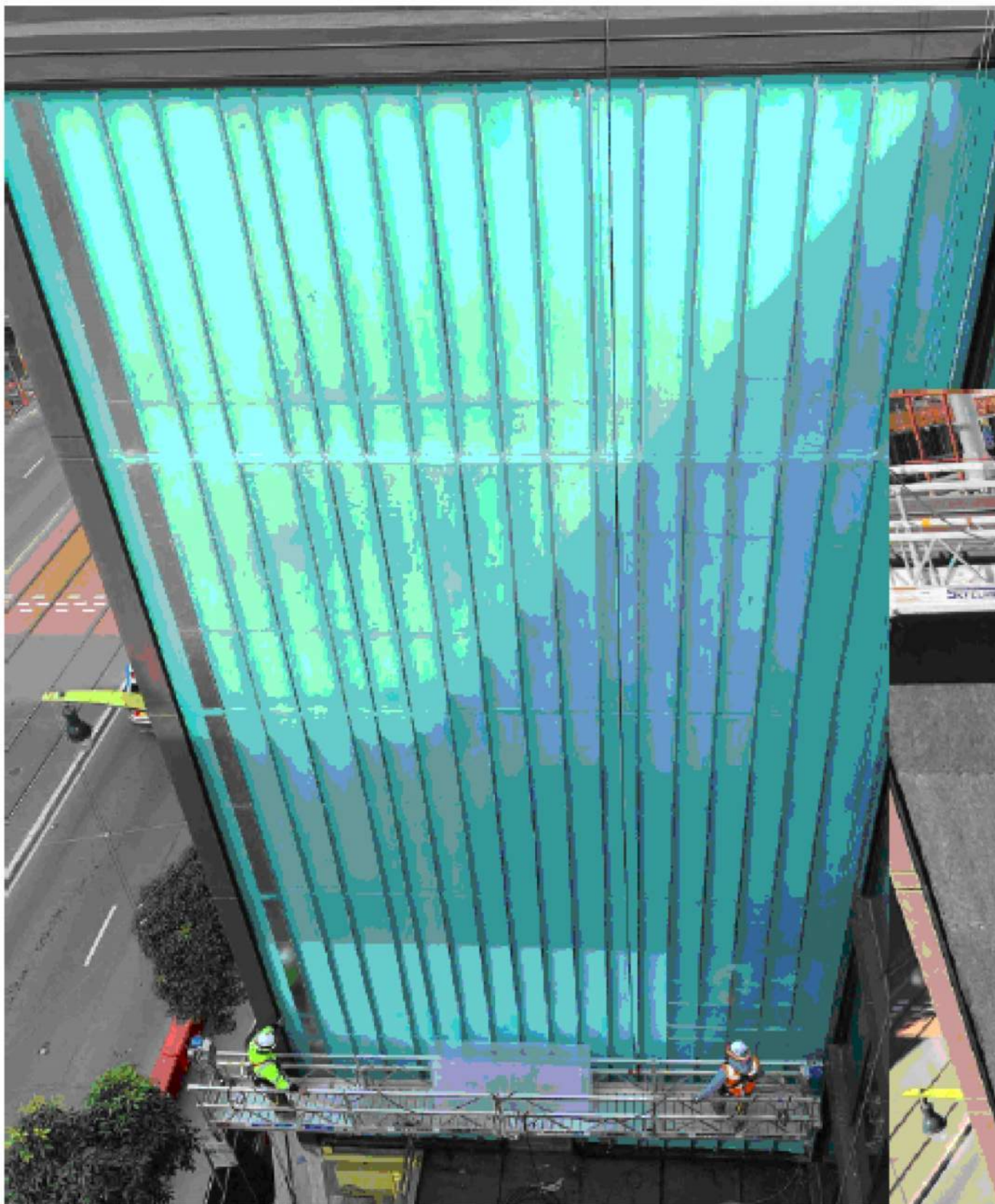
PROJECT NUMBER
20008

SHEET TITLE
FUNCTIONAL DIAGRAM

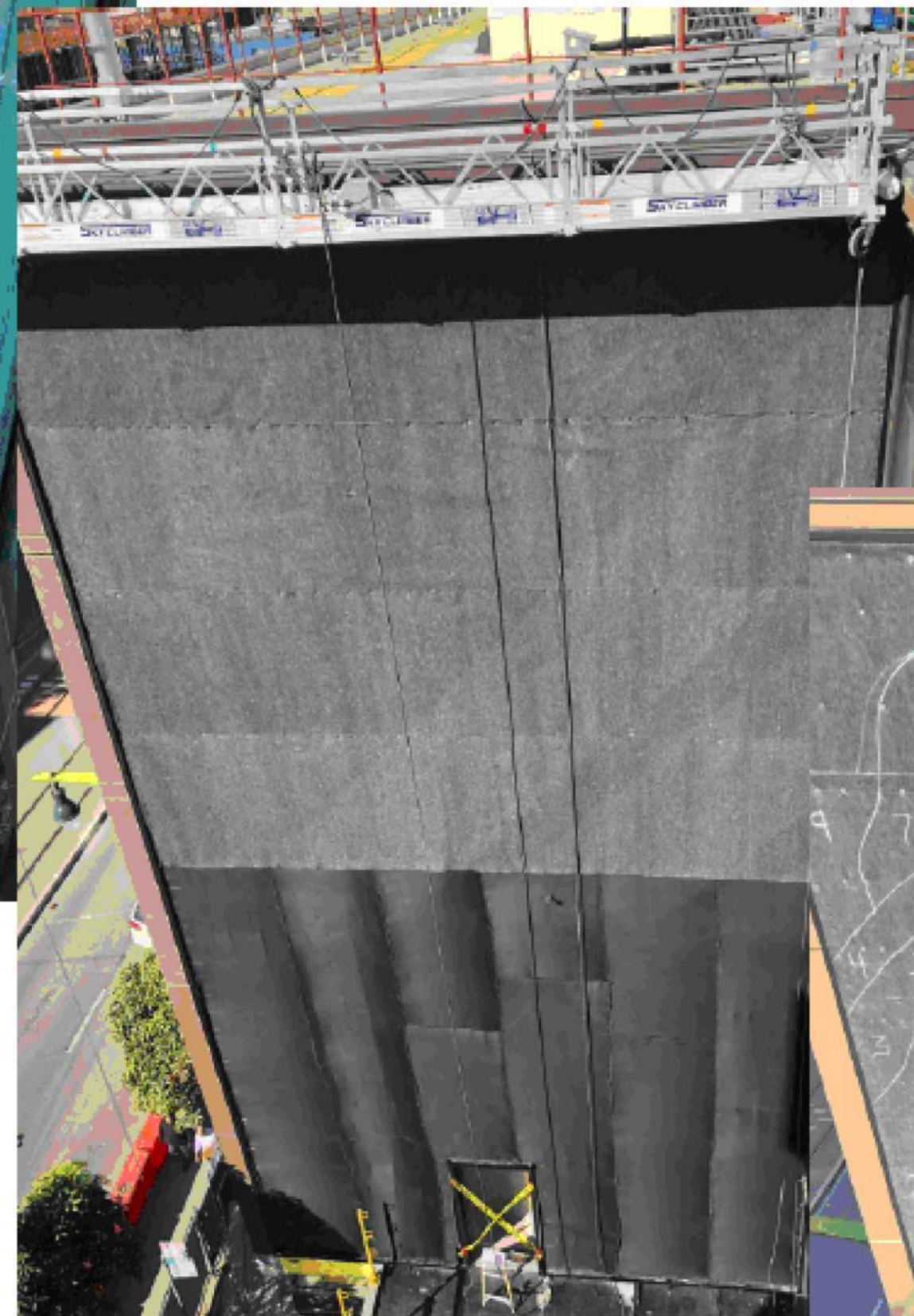
SCALE
1/16" = 1'-0"

SHEET NUMBER

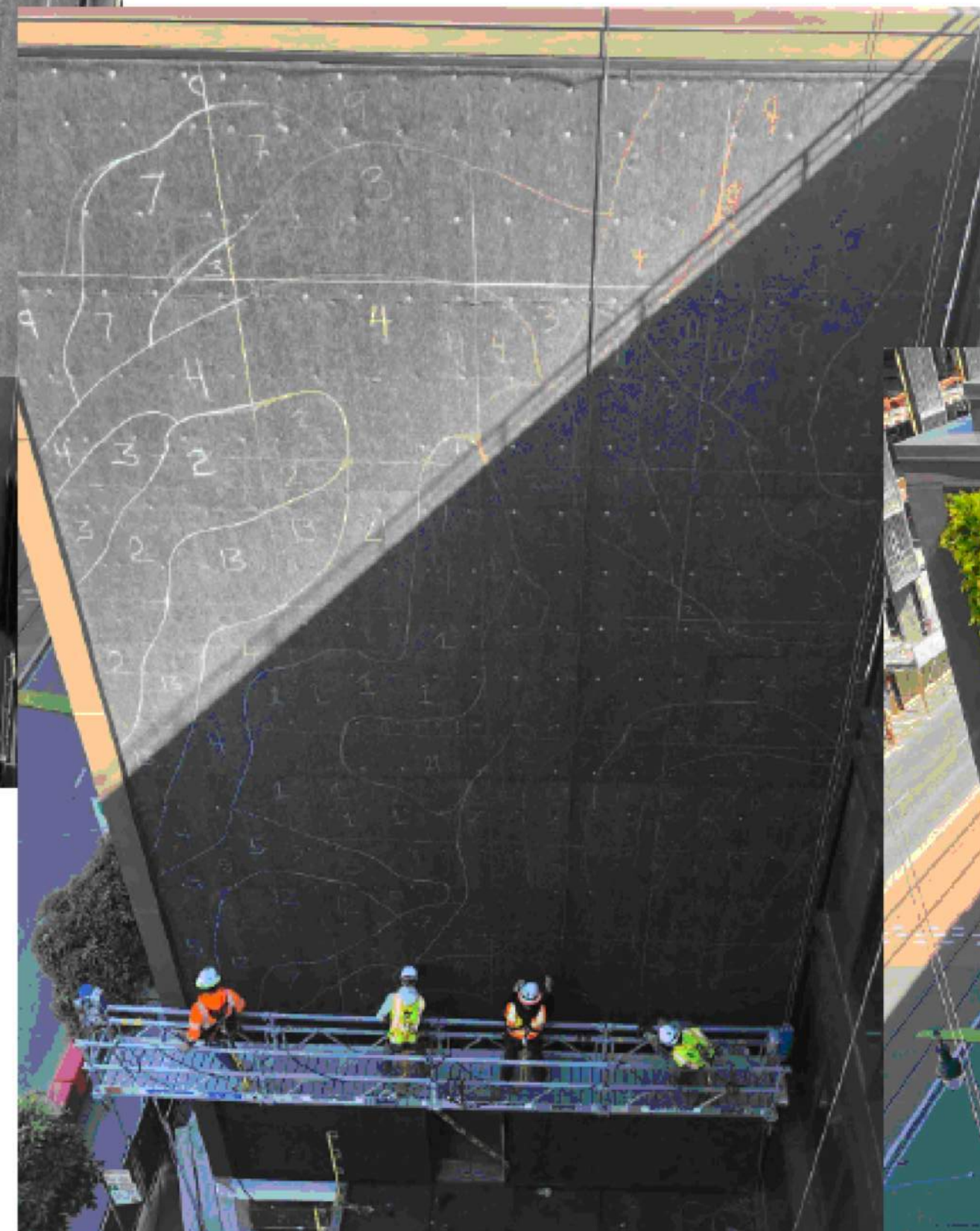
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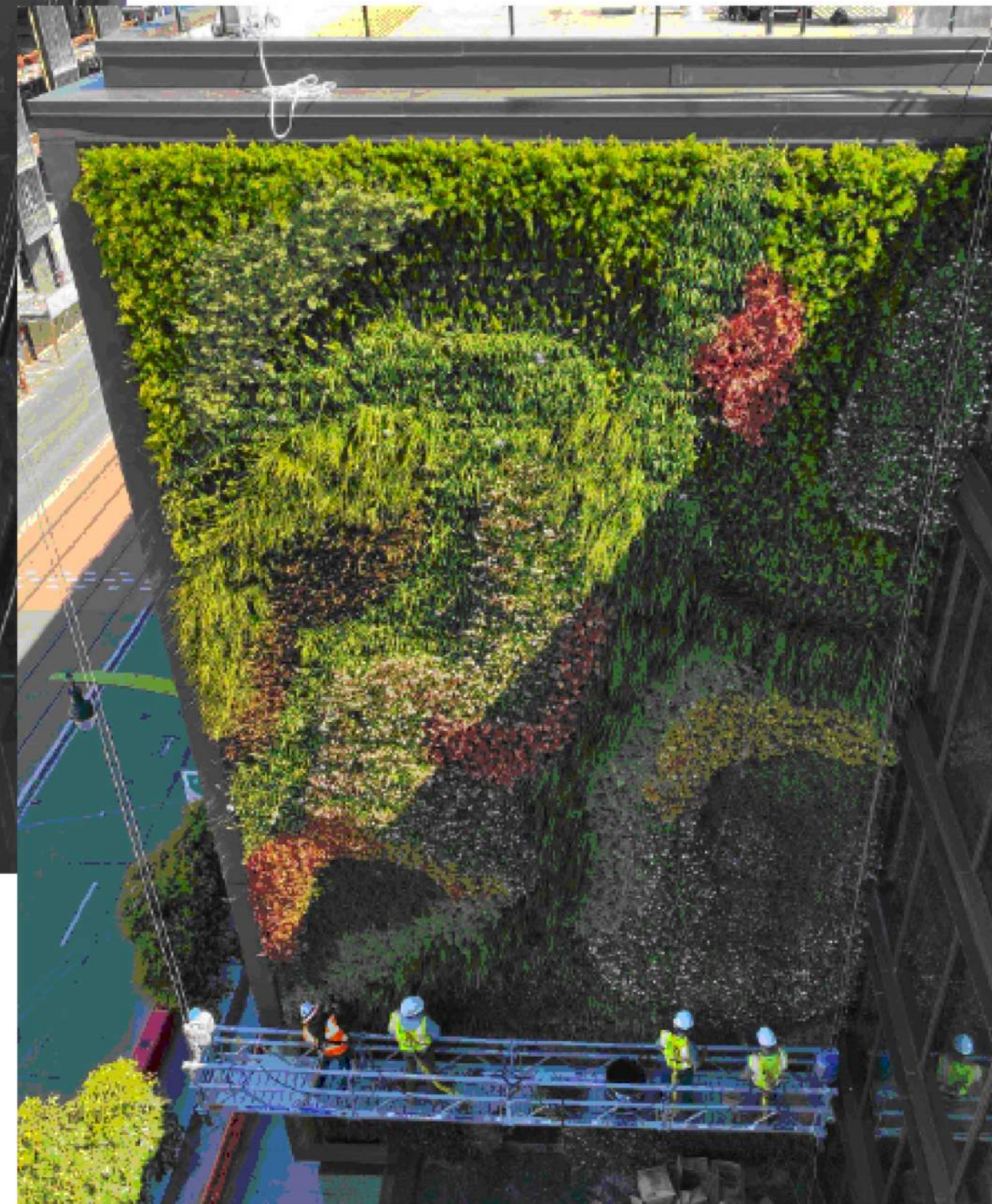
Waterproofing + Furring +
(Translucent) Rigid Panels



Growtex Felt + Wicking
Fabric



Chalked Plant Design



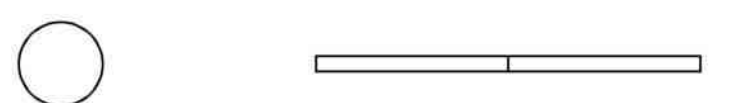
PLANTS!

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.31.21	PLANNING RESUBMITTAL #1
	02.04.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
INSTALLATION PROCESS

SCALE
1/16" = 1'-0"



SHEET NUMBER

123 Sherman
preliminary plant palette



SMITH DEVELOPMENT

150 GRANT / 123 SHERMAN / 2501 PARK
PALO ALTO, CA 94306

 **Habitat
Horticulture**
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Email: hello@habithorticulture.com



Asparagus sprengeri

Asparagus Fern

Muehlenbeckia complexa

Maidenhair Vine

Microlepia strigosa

Lace Fern

Polypodium glycyrrhiza

Licorice Fern

Nephrolepis 'Jesters Crown Fern'

Boston Fern



Geranium cantabrigiense
'Karmina'

Cranesbill Karmina

Oxalis vulcanicola
'Plum crazy'

Plum Crazy
Volcanic Sorrel

Hebe pimeleoides
'Quicksilver'

Quicksilver Hebe

Ceanothus griseus var.
horizontalis 'Yankee Point'

Yankee Point Ceanothus

Astelia chathamica
'Silver Spear'

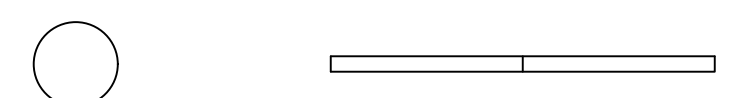
Silver Spear

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
08.31.21		PLANNING RESUBMITTAL #1
02.04.22		PLANNING RESUBMITTAL #2

PROJECT NUMBER
20008

SHEET TITLE
PLANT PALETTE

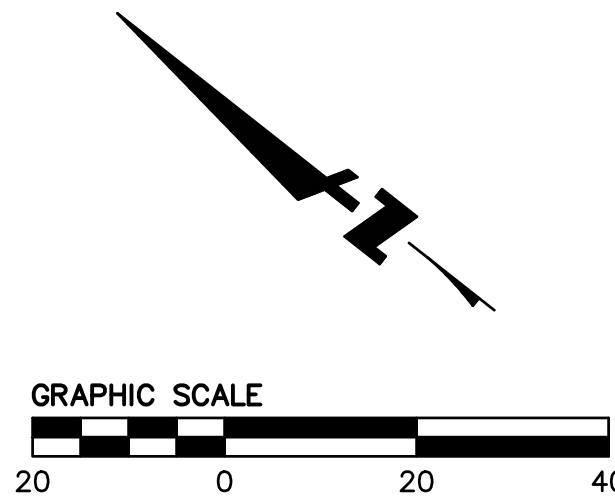
SCALE
1/16" = 1'-0"



SHEET NUMBER

LW6

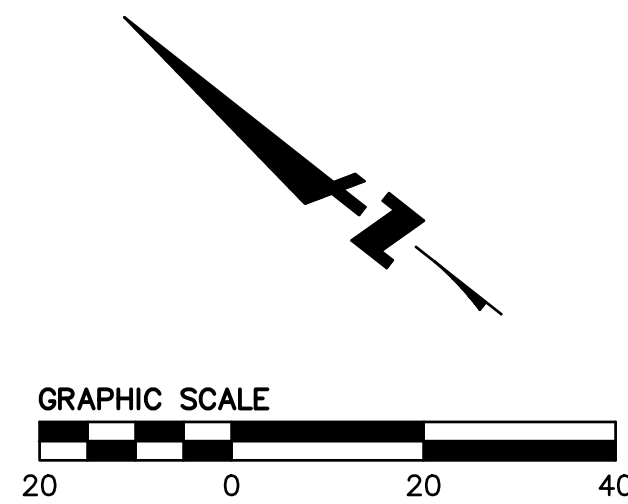
123 SHERMAN AVENUE

SD1.0

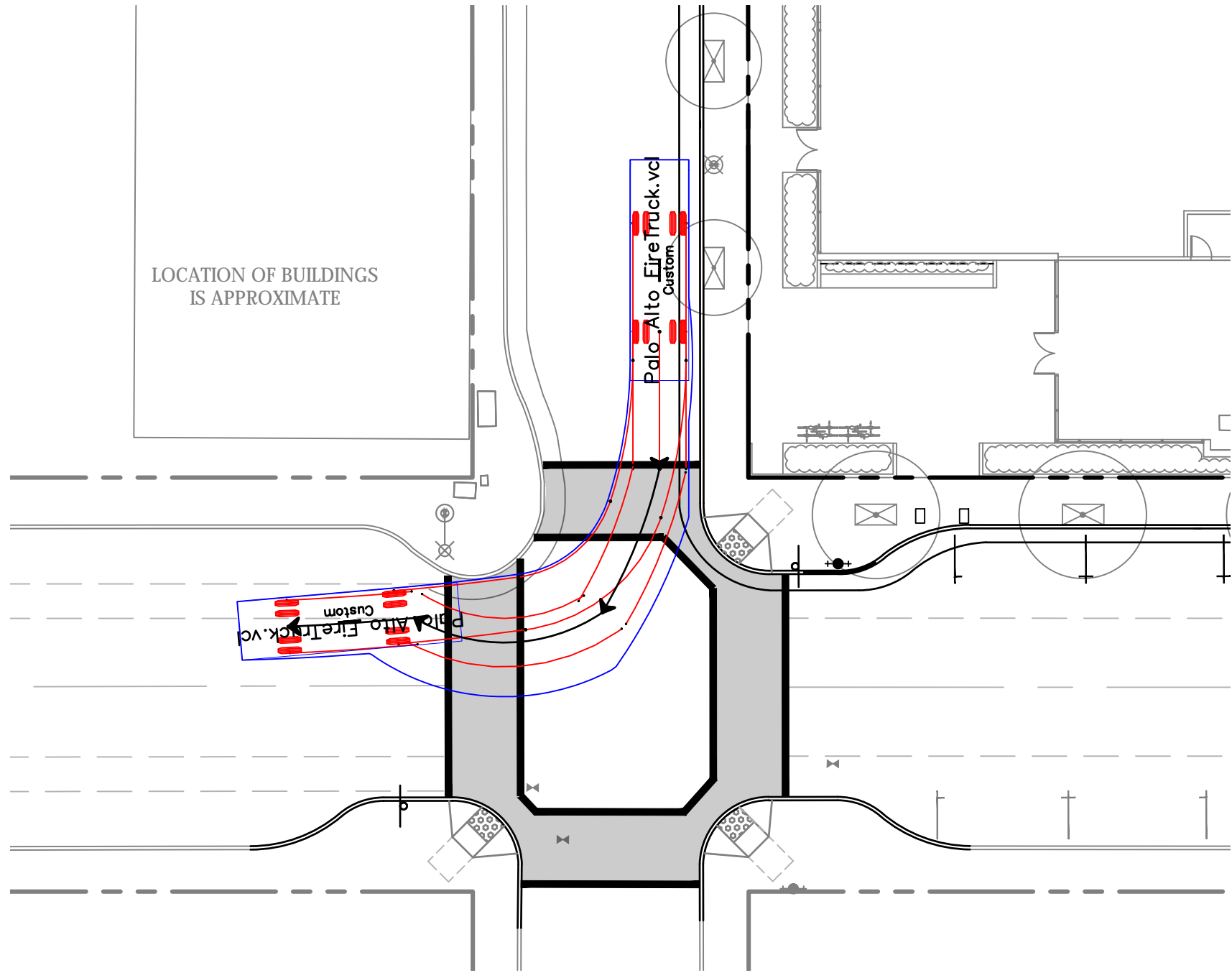
**123 SHERMAN AVENUE
SITE PLAN**

Drawing Number:

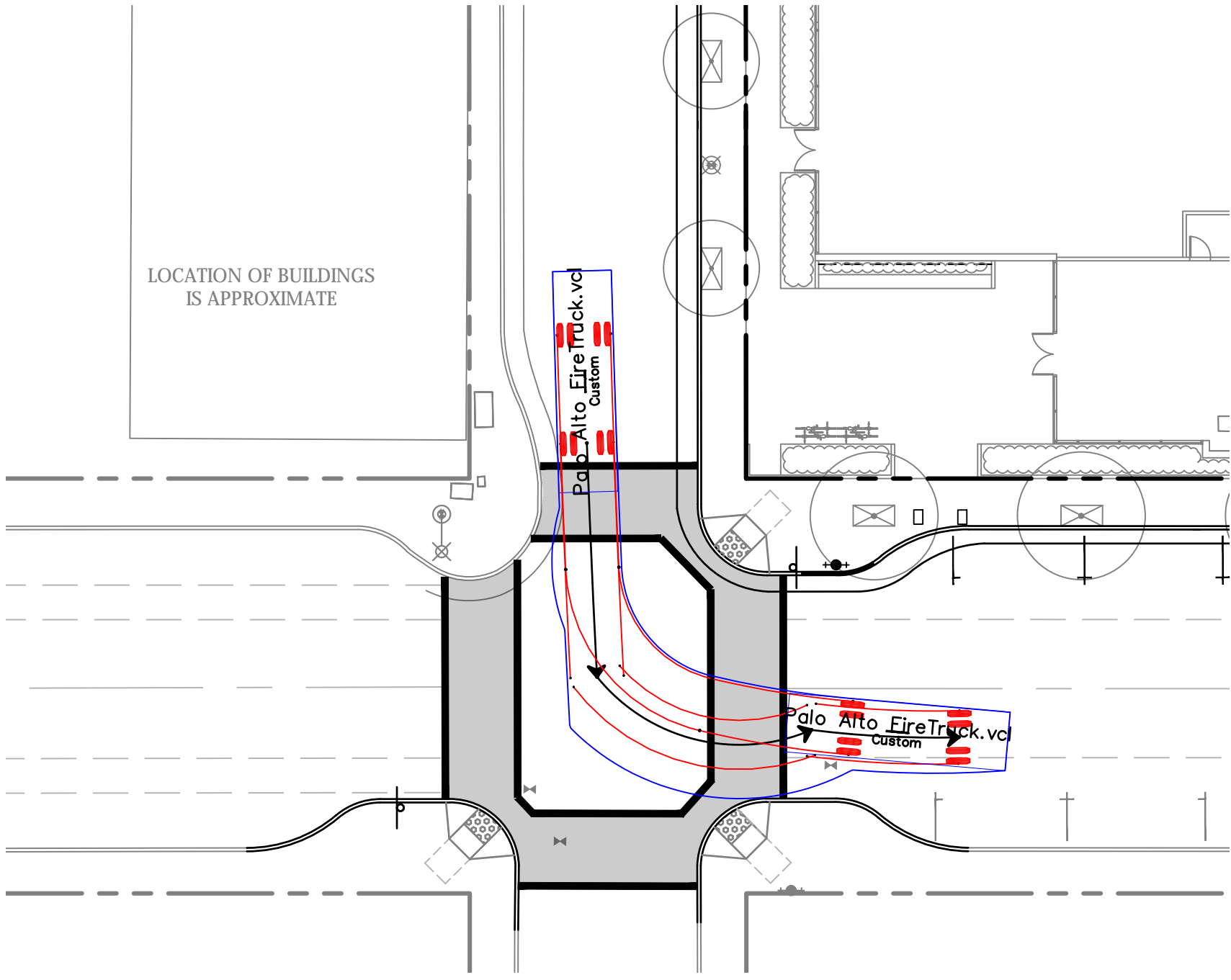
SD2.0



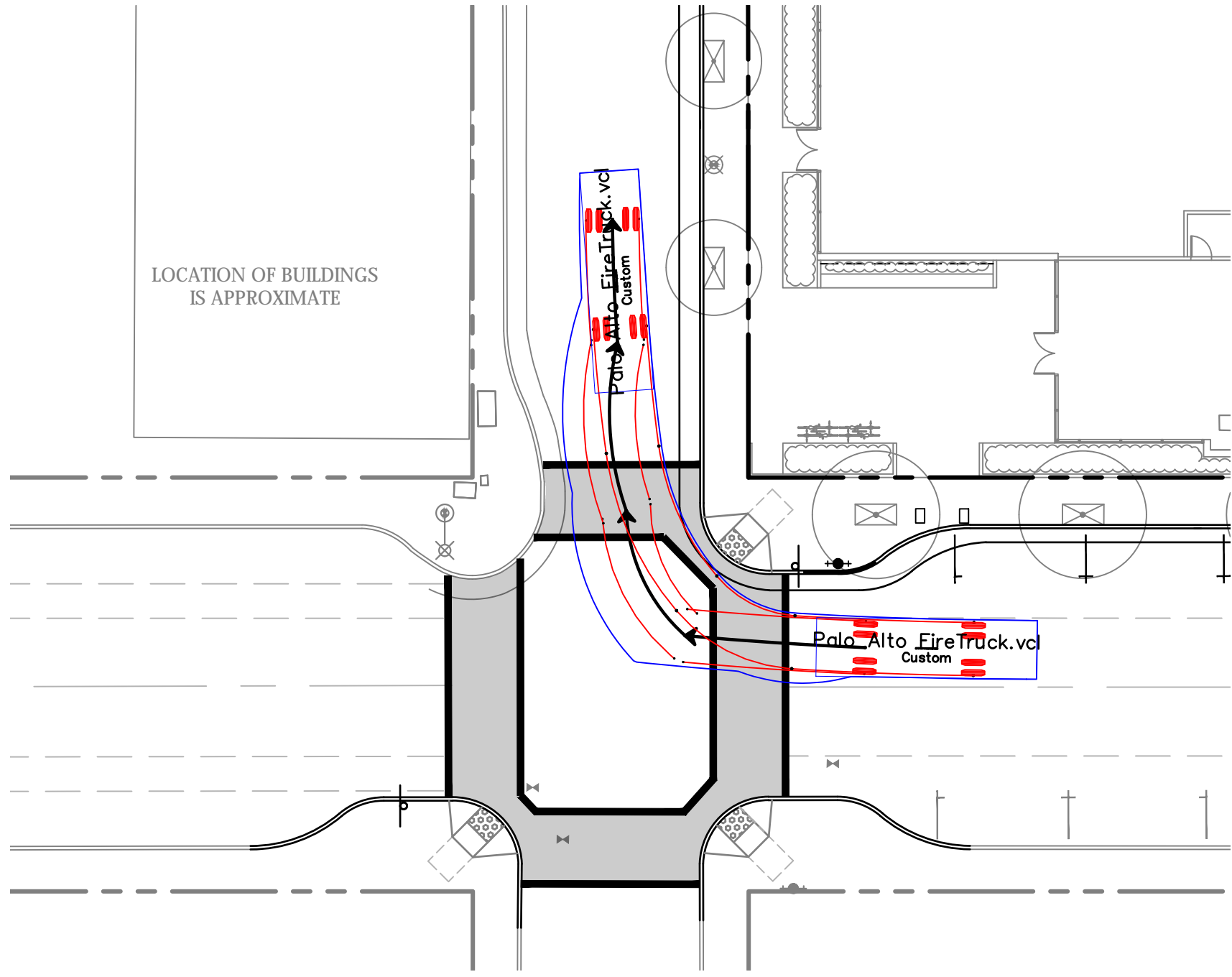
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PLOT DATE: 02-07-22 PLOTTED BY: RUSL



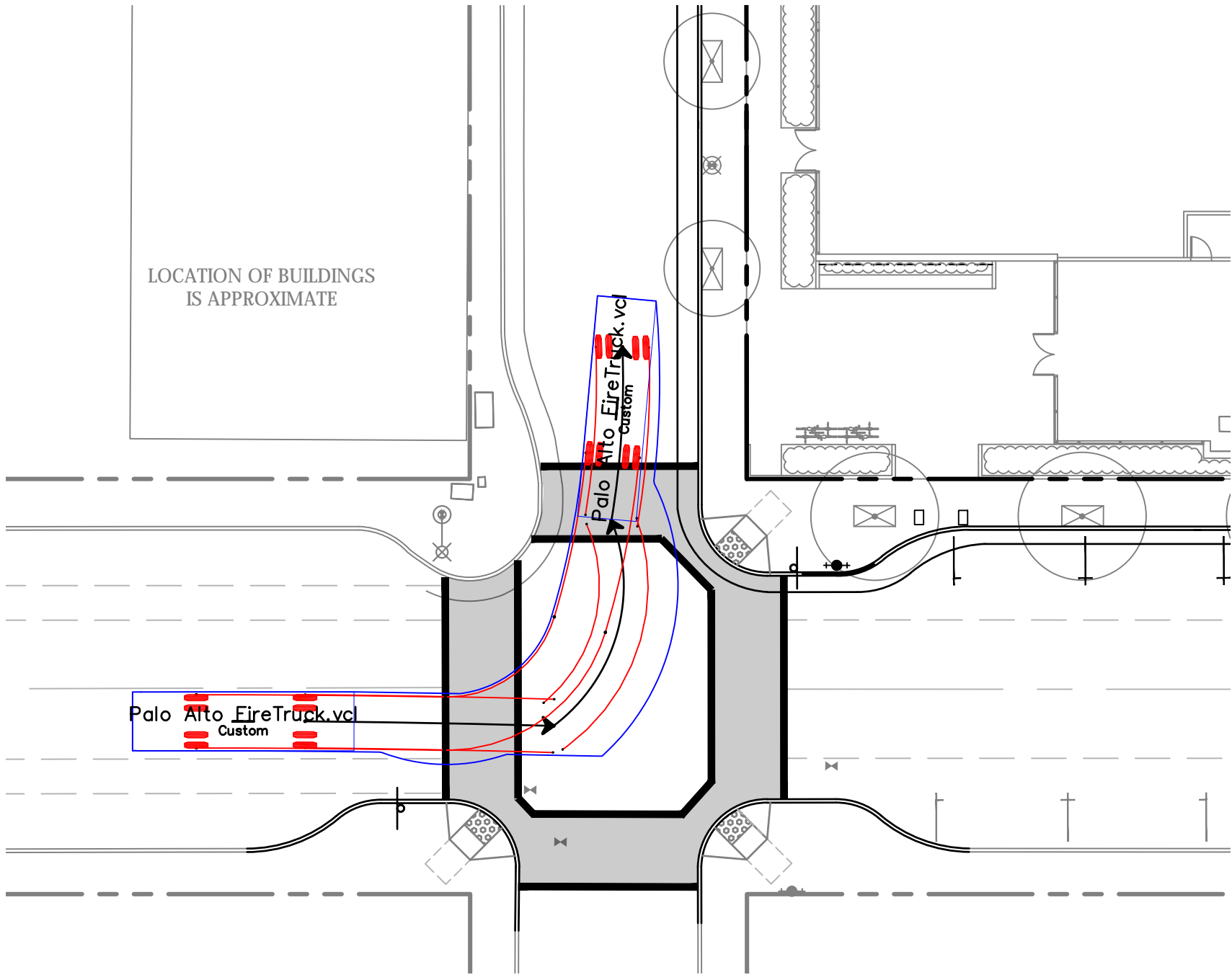
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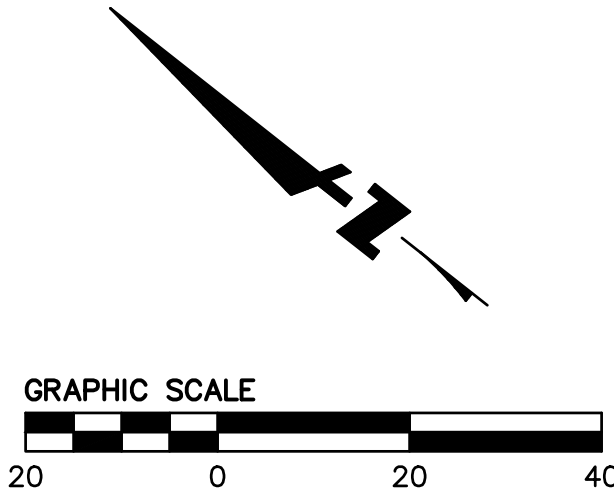
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MOTION 3



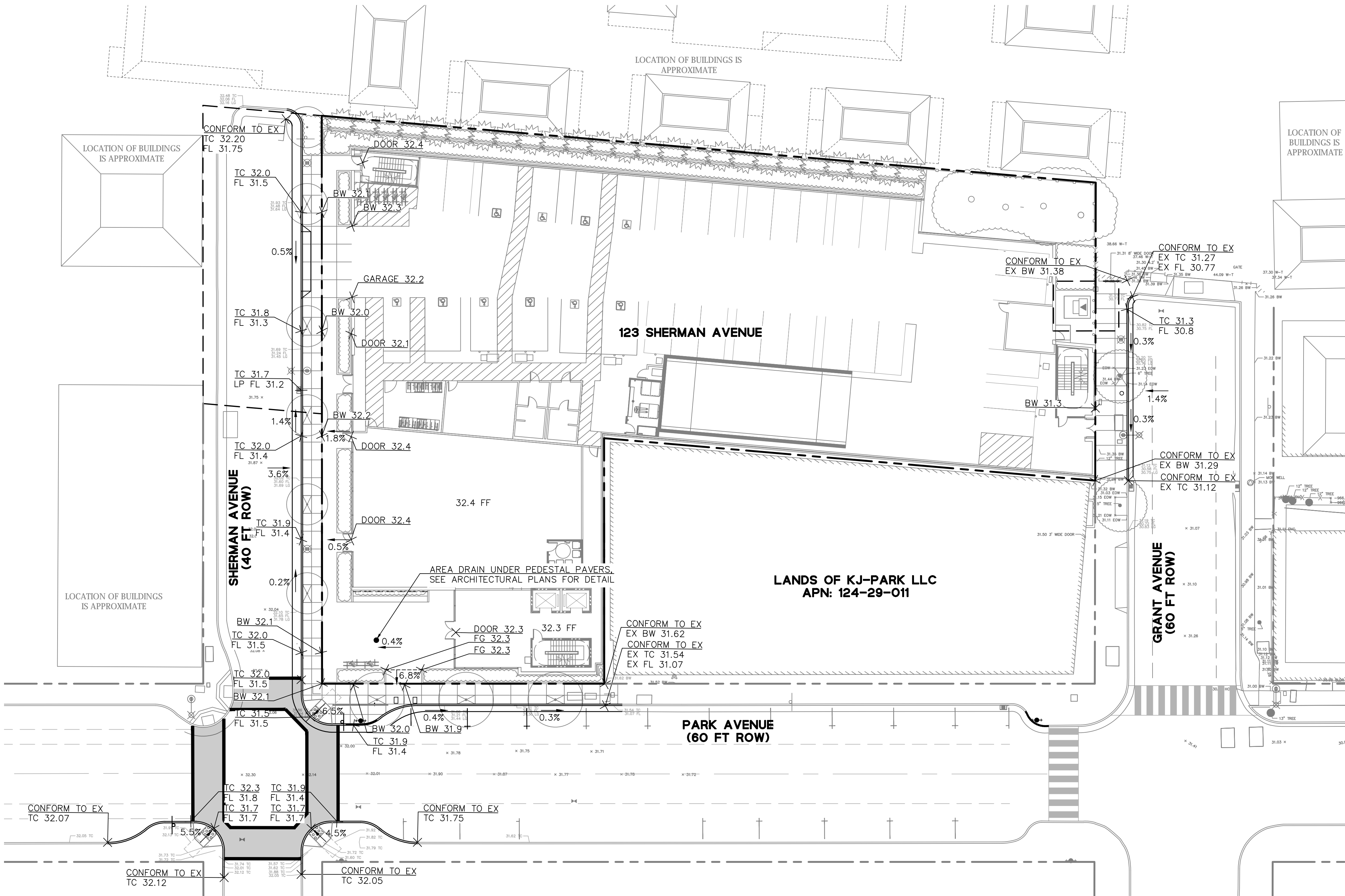
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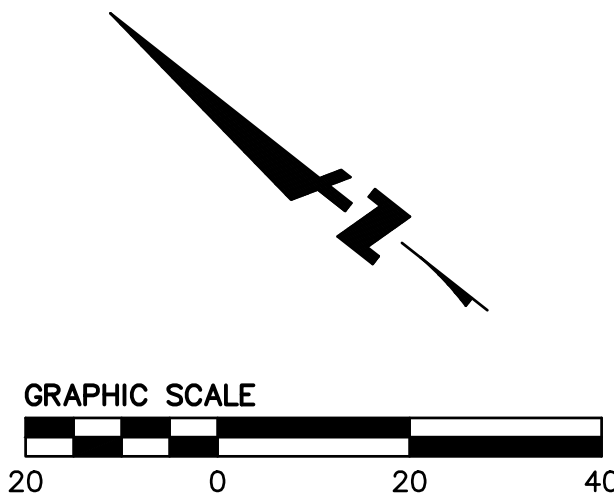
Revisions	
No.	Date
1	05/27/2021
2	02/04/2022
MS	Design
LER	Drawn
RKB	Approved
20210512	Job No

Drawing Number: SD2.1

DRAWING NAME: K:\2021\210512\123_Sherman_Ave\ENG\SD3_0-Grading.dwg
PLOT DATE: 02-07-22 PLOTTED BY: RUSL



- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EASEMENT
 - GRADE BREAK
 - BUILDING OVERHANG
 - GROUND LEVEL OPEN TO SKY ABOVE

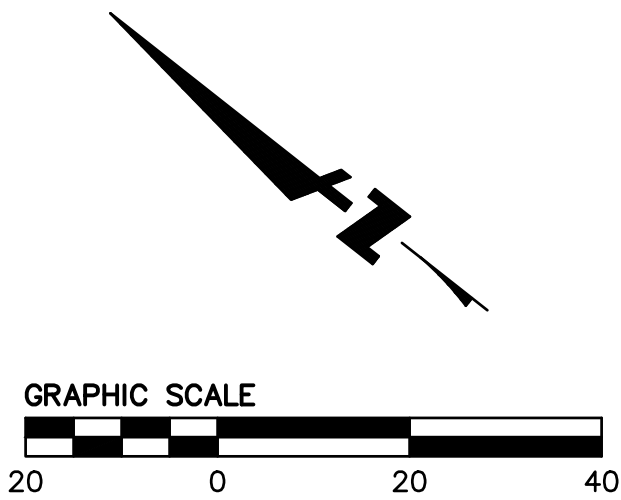
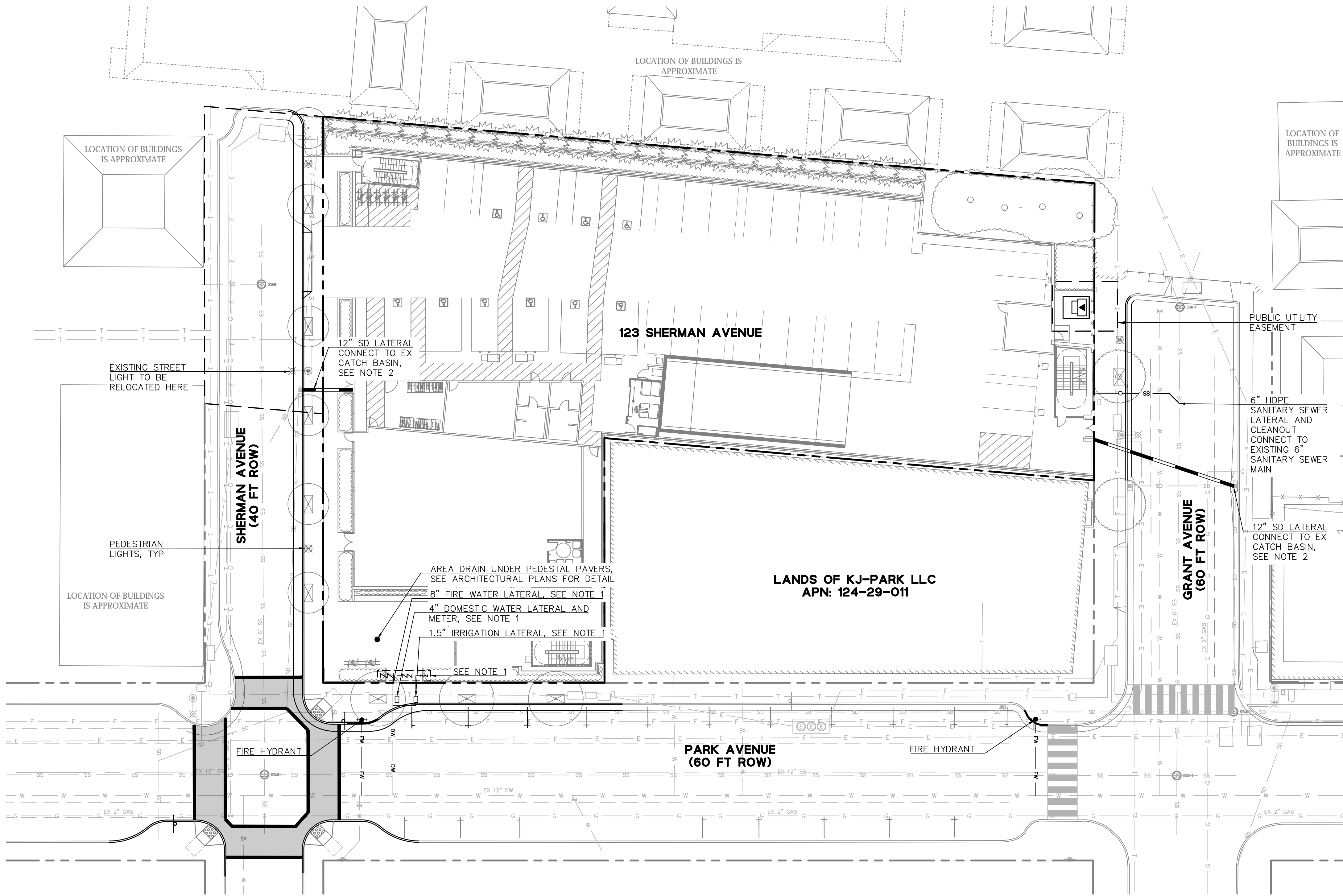


BKF
255 SHORELINE DRIVE
SUITE 200
PALO ALTO, CA 94301
(650) 482-1300
www.bkf.com

CITY OF PALO ALTO
SANTA CLARA COUNTY
CALIFORNIA
123 SHERMAN AVENUE
GRADING PLAN

Revisions	
Date	No.
05/27/2021	1
08/31/2021	2
02/04/2022	3
02/04/2022	4
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PLOT DATE: 02-07-22 PLOTTED BY: RUSL



255 SHORELINE DRIVE
SUITE 200
SAN JOSE, CA 95131
(408) 482-1300
www.bkf.com



123 SHERMAN AVENUE UTILITY PLAN

CALIFORNIA

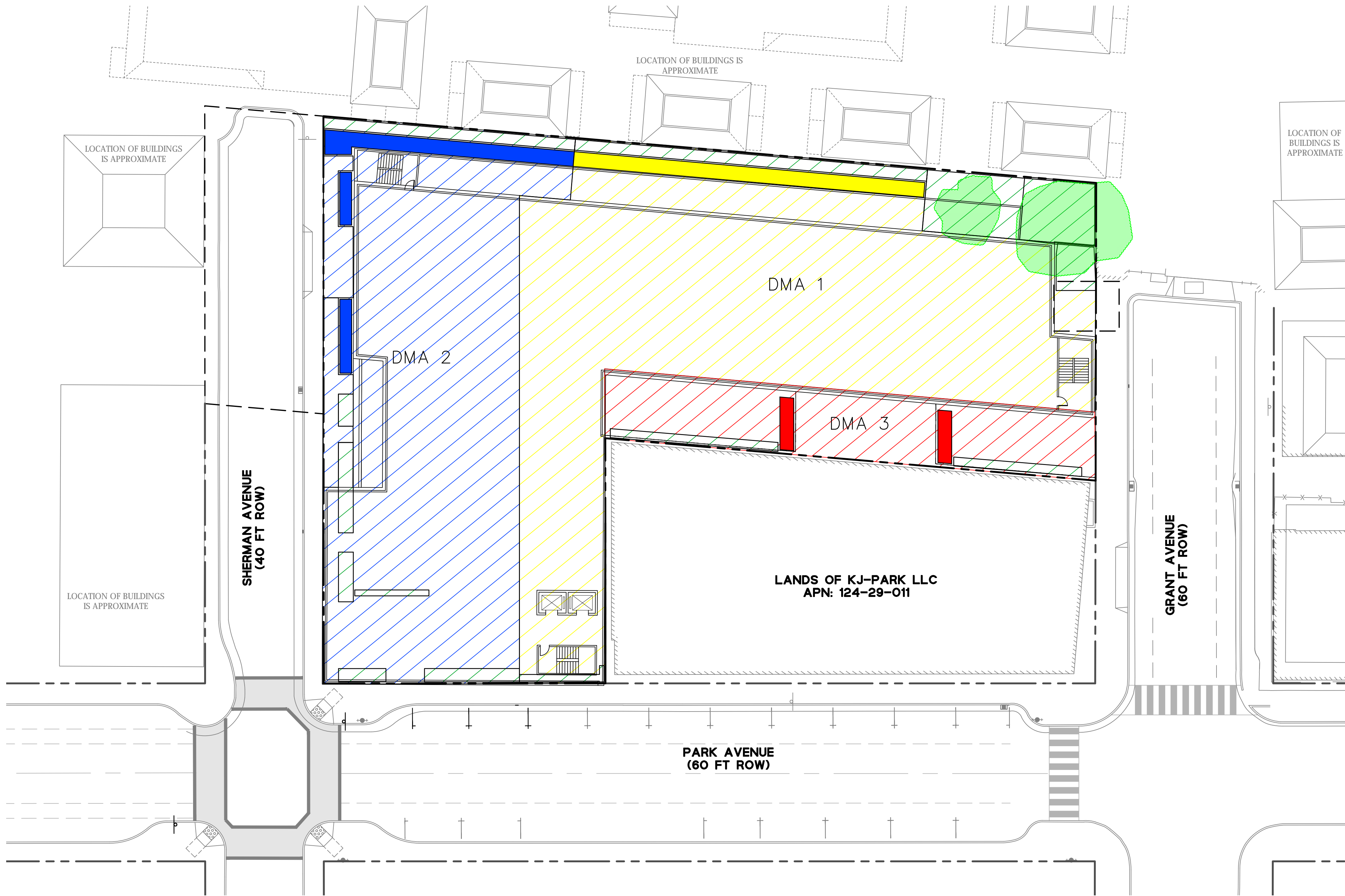
SANTA CLARA COUNTY

CITY OF PALO ALTO

Revisions	
Date	No.
05/27/2021	1
PLANNING RESUBMITTAL	08.31.2021
Scale	1" = 20'
Design	MS
Drawn	LER
Approved	RKB
Job No	20210512
Drawing Number:	

SD4.0

DRAWING NAME: K:\2021\210512_123_Sherman_Ave\ENG\SD\SD5.0-SWMP.dwg
PLOT DATE: 02-07-22 PLOTTED BY: RUSL



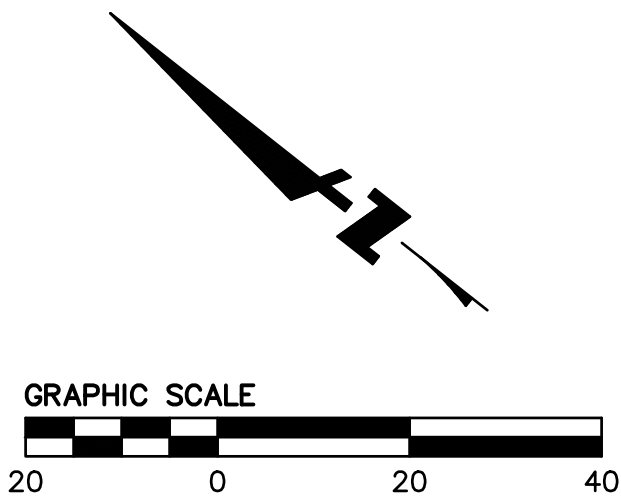
LEGEND:
--- PROPERTY LINE
--- ADJACENT PROPERTY LINE
--- EASEMENT

NOTE:
EXISTING TREE CANOPY SHOWN IS APPROXIMATE.

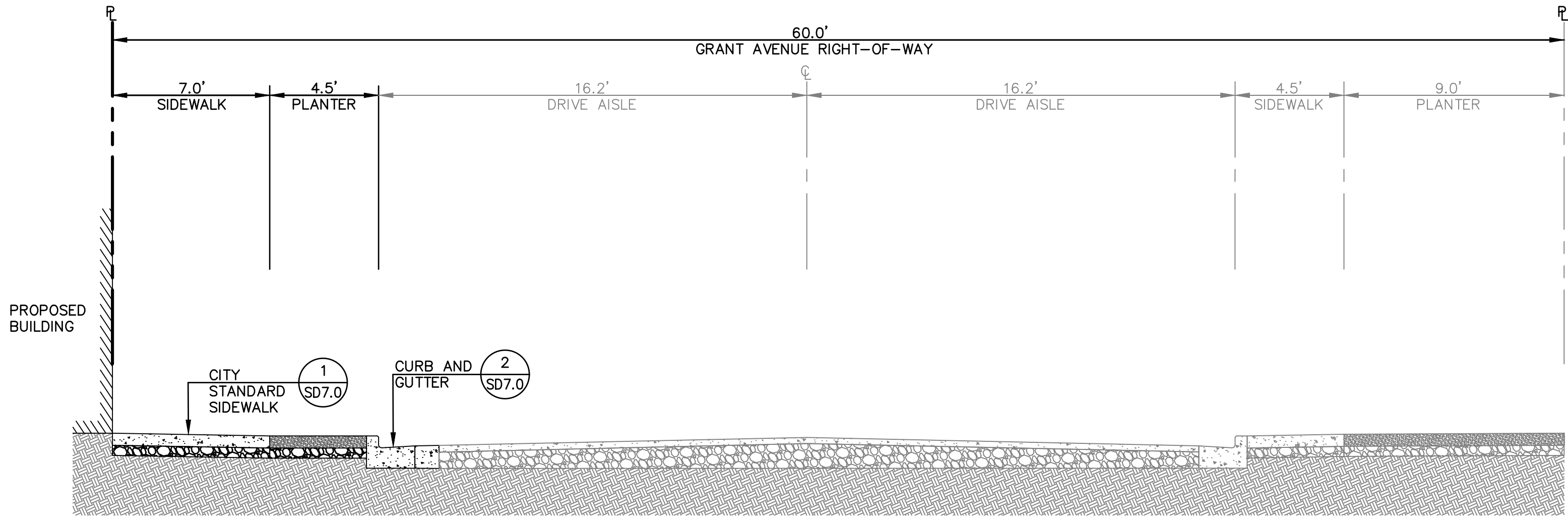
STORMWATER QUALITY SIZING SUMMARY								
CATCHMENT ID	CATCHMENT AREA	INTERCEPTOR TREE CREDIT 4	CATCHMENT AREA REQUIRING TREATMENT	BIO-RETENTION AREA/FLOW THROUGH PLANTER	SELF-RETAINING TREATMENT AREAS	LID TREATMENT AREA	TREATMENT AREA REQUIRED	AVERAGE PONDING DEPTH
DMA 1	15,156 SF	1,405 SF	13,751 SF	①	-	593 SF	550 SF	6"
DMA 2	11,398 SF	-	11,398 SF	②	-	649 SF	456 SF	6"
DMA 3	3,376 SF	-	3,376 SF	③	-	165 SF	135 SF	6"

STRA SELF TREATING/RETAINING AREA (3,070 SF)

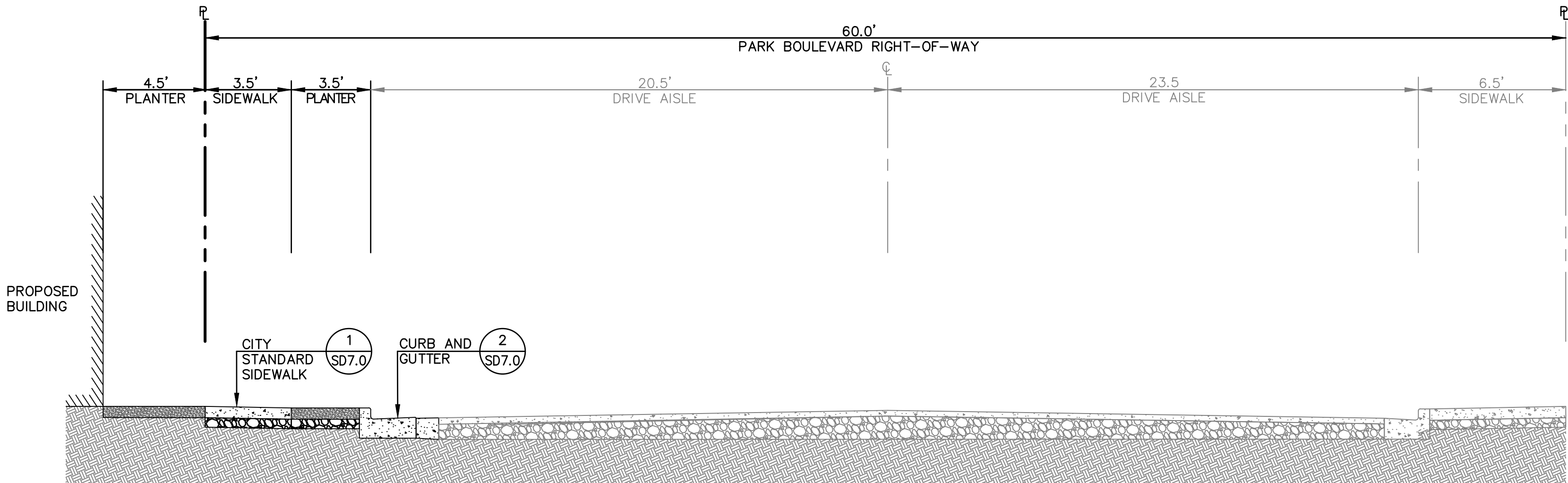
EXISTING INTERCEPTOR TREES



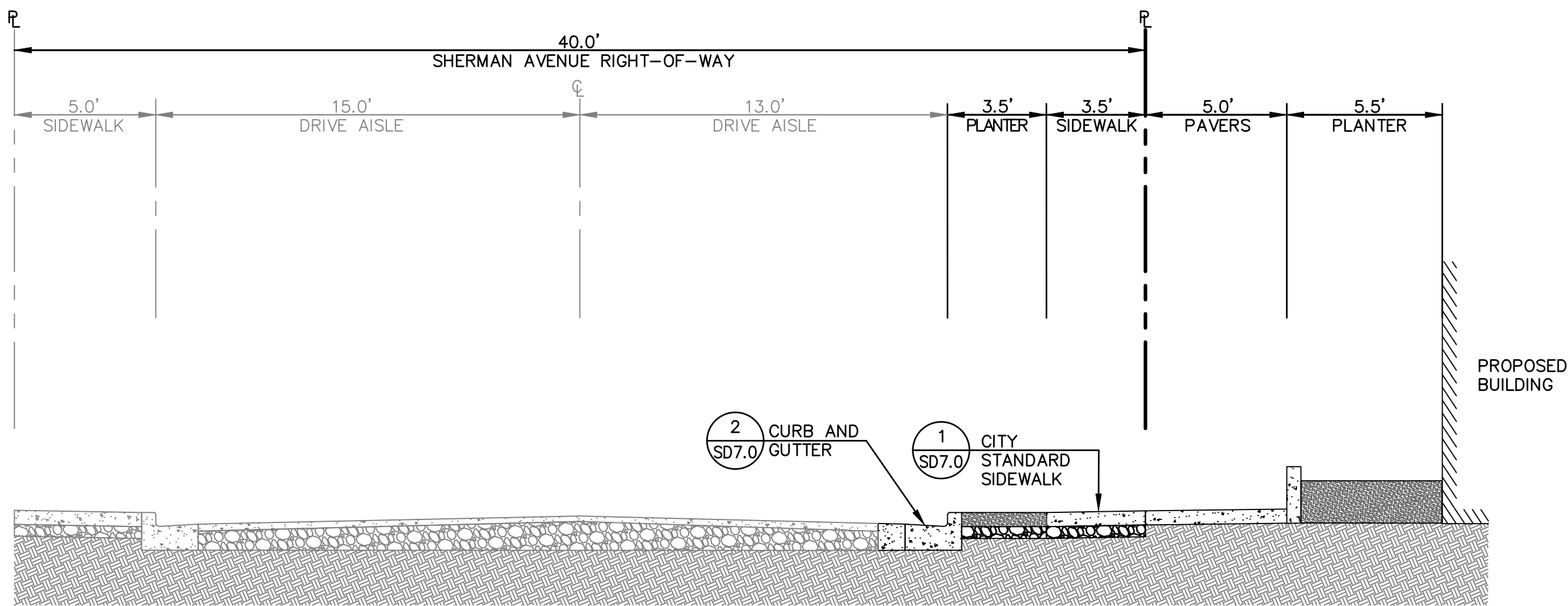
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PLOT DATE: 02-07-22 PLOTTED BY: RUSL



SECTION A
NOT TO SCALE



SECTION B
NOT TO SCALE



SECTION C
NOT TO SCALE

255 SHORELINE DRIVE
SUITE 200, CITY, CA 94065
(415) 482-1300
www.bkf.com



123 SHERMAN AVENUE
SECTIONS

CALIFORNIA

SANTA CLARA COUNTY

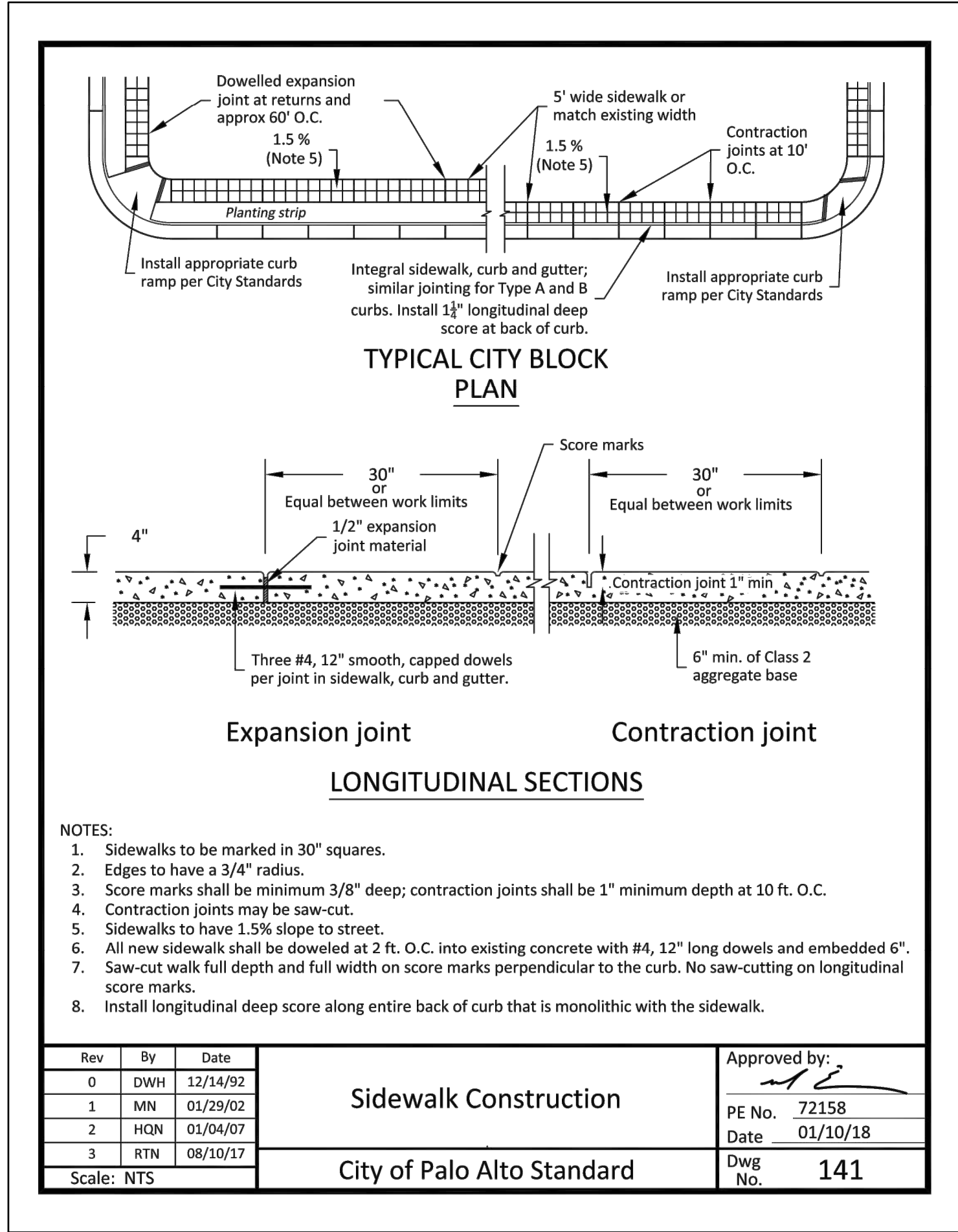
CITY OF PALO ALTO

Revisions	
Date	No.
05/27/2021	1
08/31/2021	2
02/04/2022	2
MS	LER
Drawn	RBK
Approved	20210512
Job No	

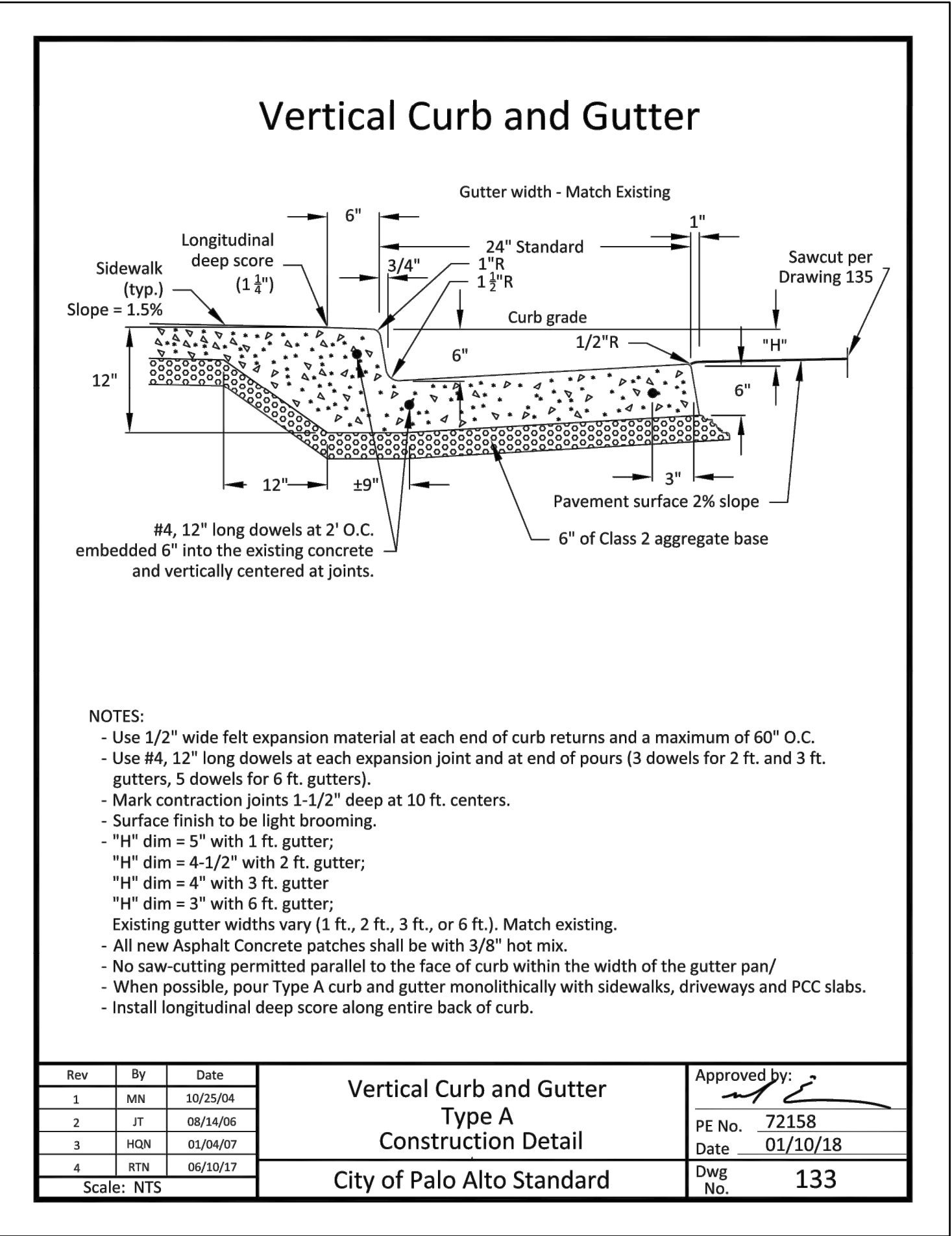
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SD6.0

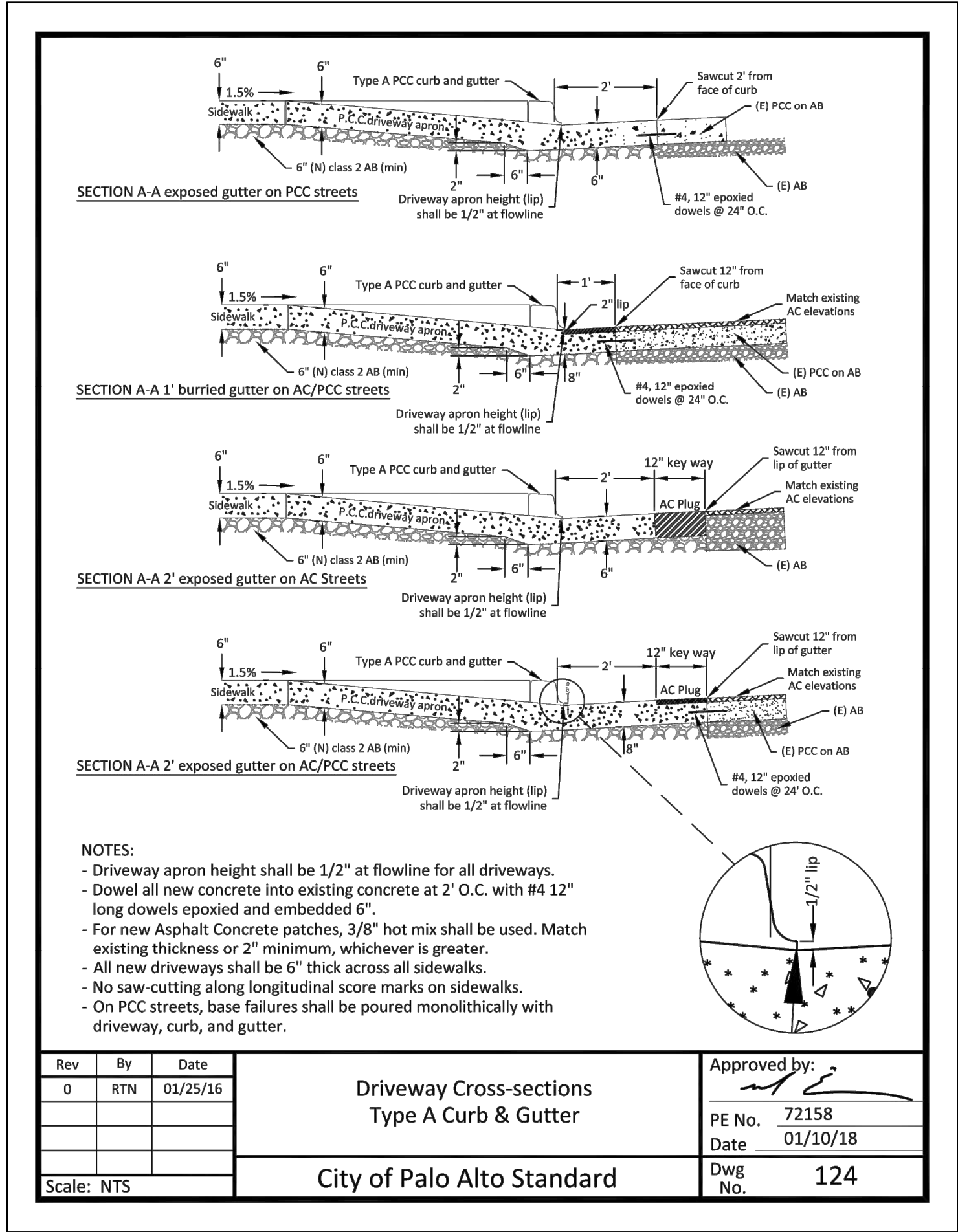
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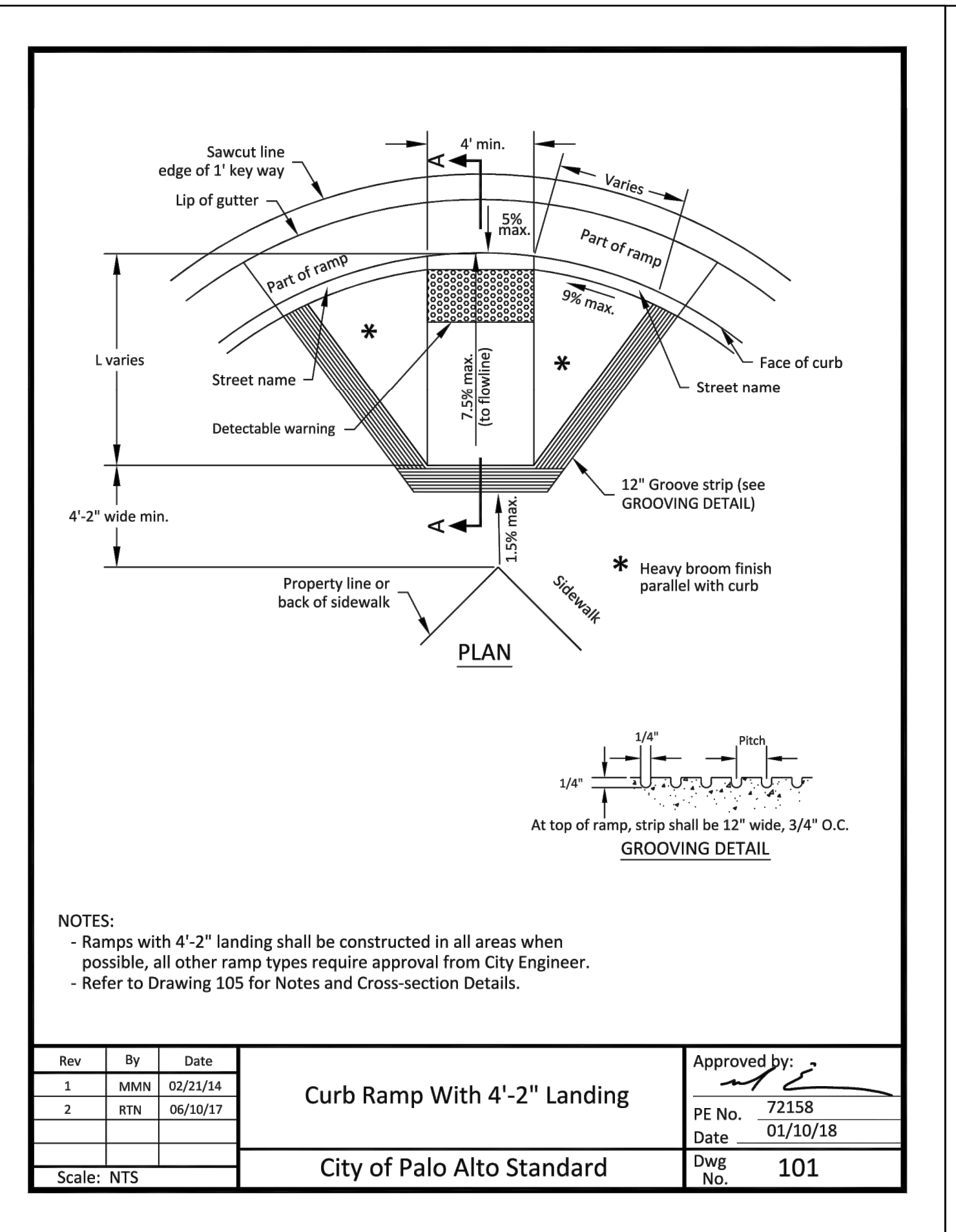
1
- **SIDEWALK CONSTRUCTION**
NOT TO SCALE



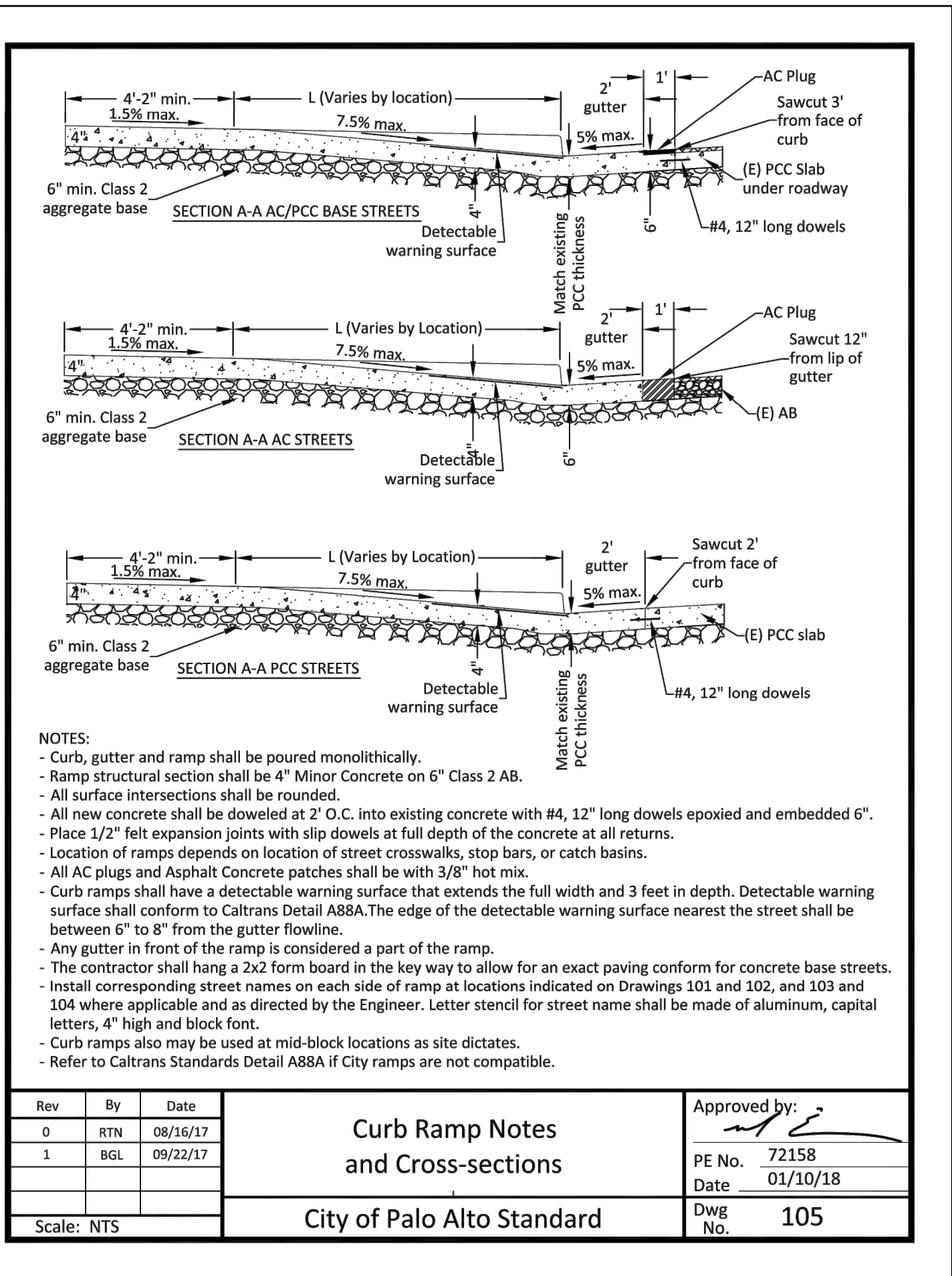
2
- **CURB AND GUTTER**
NOT TO SCALE



3
- **DRIVEWAY**
NOT TO SCALE



4
- **CURB RAMP**
NOT TO SCALE



SMITH DEVELOPMENT

2625 PARK BLVD
PALO ALTO, CA 94306



INTERFACE
ENGINEERING

PROJECT

2021-0196

CONTACT

Kristina Santi

135 Main Street, Suite 400
San Francisco, CA 94105
TEL 415.489.7240
www.interfaceengineering.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.03.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
19030

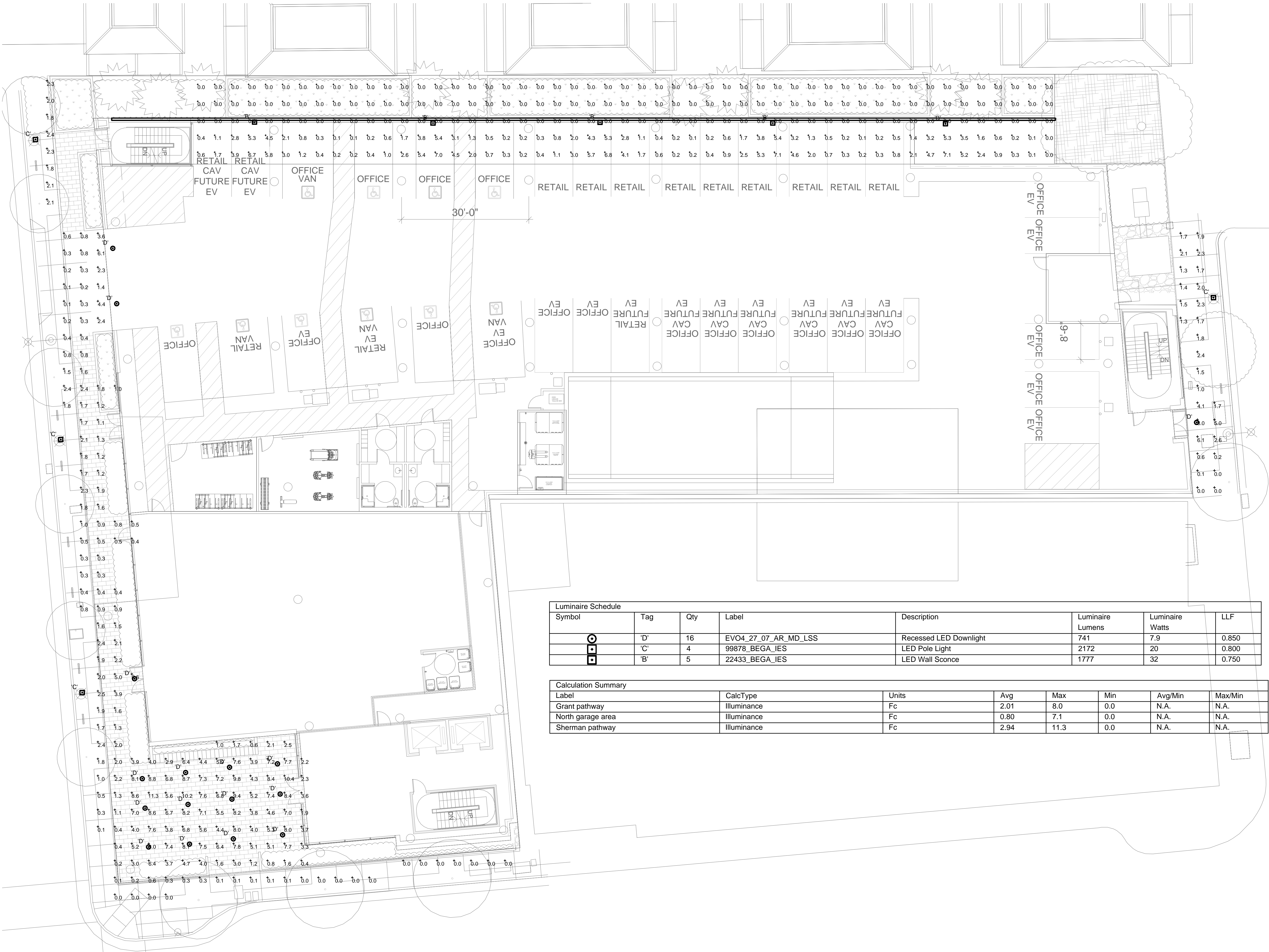
SHEET TITLE
SITE LIGHTING PHOTOMETRIC PLAN

SCALE

NO SCALE

SHEET NUMBER

E1.1



2625 PARK BLVD
PALO ALTO, CA 94306



INTERFACE
ENGINEERING

PROJECT

2021-0196

CONTACT

Kristina Santi

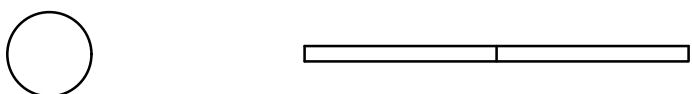
135 Main Street, Suite 400
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ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.25.21	PLANNING SUBMITTAL
	08.31.21	PLANNING RESUBMITTAL #1
	02.03.22	PLANNING RESUBMITTAL #2

PROJECT NUMBER
19030

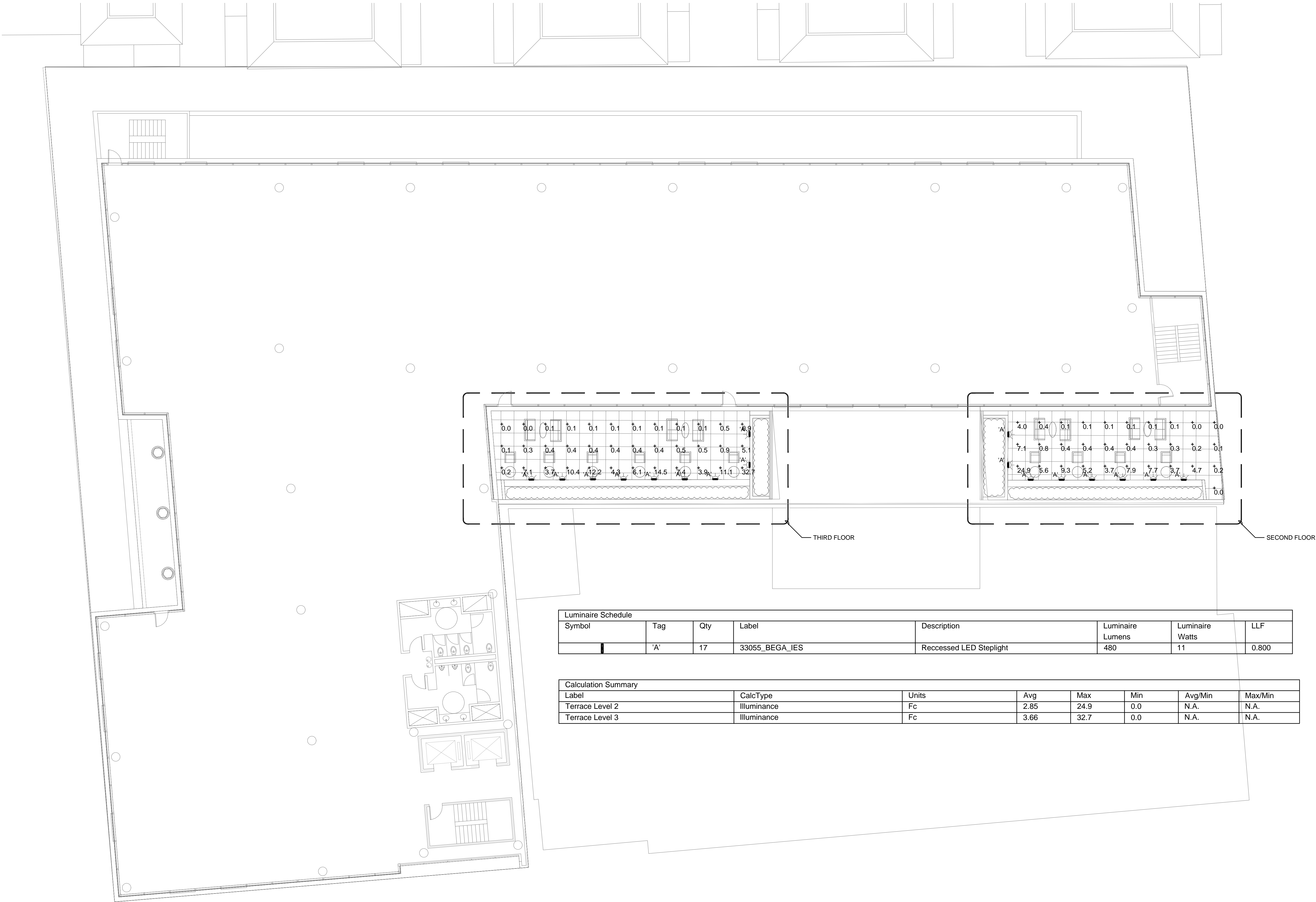
SHEET TITLE
LEVEL 2 AND LEVEL 3 TERRACE
LIGHTING PHOTOMETRIC PLAN

SCALE
NO SCALE



SHEET NUMBER

E1.2



Luminaire Schedule							
Symbol	Tag	Qty	Label	Description	Luminaire Lumens	Luminaire Watts	LLF
	A	17	33055_BEGA_IES	Recessed LED Steplight	480	11	0.800

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Terrace Level 2	Illuminance	Fc	2.85	24.9	0.0	N.A.	N.A.
Terrace Level 3	Illuminance	Fc	3.66	32.7	0.0	N.A.	N.A.