



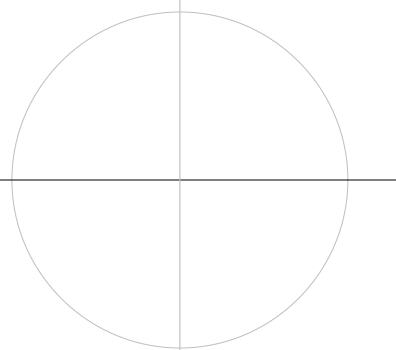
TAG Front
Copyright © 2022 Tag Front.
All rights reserved.

SUSHI ROKU

TENANT IMPROVEMENT
ARB Submittal
07.19.2022

RESERVED FOR CITY APPROVAL STAMPS

FIN
WJ
FINN WUATNO ARCHITECTS LLP
10000 Washington Boulevard
Suite 600
Culver City, CA 90232



IDG
INNOVATIVE DINING GROUP

SUSHI ROKU
STANFORD SHOPPING CENTER
180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

G000
COVER SHEET

SCALE: NTS
DATE: 07.19.2022

ABBREVIATION

ABBREVIATIONS MAY BE USED WITH OR WITHOUT PUNCTUATION

C.L. # (E) @ A.B. ABV. A.C. ACQUS A.D. ADJ. AFF AGGR ALUM ALT ANOD AOR APPROX ARCH ASB ASPH ASSY APL ATD	CENTERLINE DIAMETER NUMBER AT ANCHOR BOLTS ABOVE ASPHALT CONCRETE ACOUSTICAL AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE ALUMINUM ALTERNATE ANODIZED AREA OF REFUGE APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT ASSEMBLY ASSUMED PROPERTY LINE ALTERNATING TREAD DEVICE	GA GALV G.B. GENL G.I. GL GLBM G.N. GND GR GT GUT GVL GYL GYF BD GYF PL	GAUGE GALVANIZED GRAB BAR GENERAL GALVANIZED IRON GLASS GLUED LAMINATED BEAM GENERAL NOTE GROUND GRADE GROUT GUTTER GRAVEL GYPSUM GYPSUM BOARD GYPSUM PLASTER	R RAD RB RD REC REF REFR REVISE(ION) REINF REQD RESIL RFG RGR R.H. RLG RM RND R.O. R.W.L.	RISER RADIUS RUBBER ROOF DRAIN RECEASED REFERENCE REFRIGERATOR REVISE(ION) REINFORCED REQUIRED RESILIENT ROOFING REGISTER RIGHT HAND RAILING ROOM ROUND ROUGH OPENING RAIN WATER LEADER
BD BTW BITUM BLDG BLK BLKG BM B.N. B.O. BOT BRT BSMT BUR	BOARD BETWEEN BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOUNDARY NAILING BOTTOM OF BOTTOM BEARING BASEMENT BUILT-UP ROOFING	HB H.C. HDCP HD HDWD HDW HGR HM HORIZ HP.LAM. HR H.R.E. HT HTR H.V.A.C. HYD HYDR	HOSE BIBB HOLLOW CORE HANDICAPPED HEADER HARDWOOD HARDWARE HANGER HOLLOW METAL HORIZONTAL HIGH PRESSURE LAMINATE HOUR HAND RAIL EXTENSION HEIGHT HEATER HEATING/VENTILATING/ AIR CONDITIONING HYDRANT HYDRAULIC	S S.C. SCHED S.C.D. S.D. SECT SH SHR SHT SHD SHR S.N.D. S.N.R. SPEC S.S. S.S.K. STA STGR STD STL STR STRUC STU SYM SYS SSD	SOUTH SOLID CORE SCHEDULE SEAT COVER DISPENSER SOAP DISPENSER SECTION SHELF SHOWER SHEET SIMILAR SEE MECHANICAL DRAWINGS SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STATION STAGGER(ED) STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL SYSTEM SEE STRUCTURAL DRAWINGS
CAB C.B. CEM CER C.F. CHAM C.I. C.I.P. C.G. C.J. CLG CLKG CLD CLR CMU CNTR C.O. CO COL COMM CONC CONN CONST CONT CORR CRPT CTSX CSMT CT CTR C.Y.	CABINET CATCH BASIN CEMENT CERAMIC CUBIC FOOT CHAMFER (ED) CAST IRON CAST-IN-PLACE CORNER GUARD CONSTRUCTION JOINT CEILING CAUKING CLOSET CLEAR CONCRETE MASONRY UNIT COUNTER CASED OPENING CLEANOUT COLUMN COMMUNICATION CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR CARPET COUNTERSUNK CASEMENT CERAMIC TILE CENTER CUBIC YARD	INCAND INCL INFL INSP INSTL INSUL INT JAN JST JNT K.D. K.M. K.T. L LAB LAM LAV LB L.C. LDGR L.F. LH LH LKR LL LOC LT LT WT LTG MAX	INCANDESCENT INCLUDE(D)(ING) INFLUENCE INSPECTING(ION) INSTALLATION INSULATION INTERIOR JANITOR JOINT JOINT KILN DRIED KITCHEN KEYNOTE LEADER LABORATORY LAMINATE LABORATORY POUND LEDGER LINEAR FOOT LEFT HAND LINEAR LOOKER LIVE LOAD LOCATION LIGHT LIGHTWEIGHT LIGHTING MAXIMUM	TES T.B. T.C. TEL TEMP TERAZZO T&G THK THRD THRESH T.O.P. T.O.C. T.O.D. T.O.F. T.O.P.L. T.O.P. T.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.O.W. TYP	TREAD TOWEL BAR TOP OF CURB TELEPHONE TEMPERATURE TERAZZO TONGUE & GROOVE THICK THREADED(ED) THRESHOLD TOP OF CURB TOP OF DRAIN TOP OF FINISH TOP OF PLATE TOP OF PARAPET TOP OF ROOF TOP OF SLAB, STRUCTURE TOP OF TOPPING TOP OF PAVEMENT TOILET PAPER DISPENSER TELEVISION TOP OF WALL TYPICAL
DBL DEMO DEF DEPT DET, DETL D.F. D.H. DIA DIAG DIM DISP D.L. DN DR DTL DWR DS DSP DWG DW E EA E.B. E.C.R. E.F. E.J. EL ELAST ELEC ELEV EMER ENCL EQ EPT EQUIV ESMT E.W.C. EXP EXT	DOUBLE DEMOLITION DEPRESSION(ED) DEPARTMENT DETAIL DRINKING FOUNTAIN DOUBLE HUNG DIAMETER DIAGONAL DIMENSION DISPENSER DEAD LOAD DOWN DOOR DETAIL DRAWER DOWNSPOUT DRY STANDPIPE DRAWING DISHWASHER EAST EACH EXPANSION BOLT ELEV. CONTROL RM EACH FACE EXPANSION JOINT ELEVATION ELASTOMERIC ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANELBOARD EQU EQUIPMENT EQUIVALENT EASEMENT ELECTRIC WATER COOLER EXPANSION EXPOSED EXTERIOR	MAS MATL M.B. M.C. MECH MED MEMB MEZZ MFG MH MIN MIR MISC MLNK M.O. MTD MTG MTL MTR MUL N (N) N.A. N.L.C. NO. or # NOM N.T.S. O/ OA OBS O.C. OCC. O.D. OFF OFD OPNG OPPH OPD OR PAR PCF PERF PERP PFM P.LAM. PLAS PLBG PLF PLTWD PML PNT P.O.T. PAIR PRECAST PREFABRICATED(ED) PREFINISHED(ED) PROP PSI P.T. POINT P.T.D. PTN P.T.R. PVC P.WMT Q.T. QTY	MASONRY MATERIAL MACHINE BOLT MEDICINE CABINET MECHANICAL MEDIUM MEMBRANE MEZZANINE MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MILKWORK MASONRY OPENING MOUNTED MOUNTING METAL MORTAR MULLION NORTH NEW NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVER OVERALL OBSCURE ON CENTER OCCUPANTS OUTSIDE DIAMETER OFFICE OVERFLOW DRAIN OPENING OPPOSITE OVERHEAD PARALLEL POUNDS PER CUBIC FOOT PERFORATE PERPENDICULAR PLATE PLASTIC LAMINATE PLASTER PLUMBING POUNDS PER LINEAL FOOT PLYWOOD PANEL PAINT PATH OF TRAVEL PAIR PRECAST PREFABRICATED(ED) PREFINISHED(ED) PROPERTY POUNDS PER SQUARE INCH PRESSURE TREATED POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE POLYVINYL CHLORIDE PAVEMENT QUARRY TILE QUANTITY	UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL VCT VERT VEST V.I.F. VNR W W/ W/O W.B. W.C. W.DW W.F. W.GL W.I. W.D. W.N. WP WR W.S. WSCT WT WWF W.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.W. TYP UNF. U.N.O. UR UTIL	

EXTERIOR FINISH MATERIALS								
FLOORING								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
F-2	PATIO FINISH	TBD	FLAGSTONE	TBD	VARIES	-	-	PATIO PAVER STONES
WALL TILE								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
WT-1	DECORATIVE WALL TILE	INAX	HOMURA	LIGHT BEIGE	1.75" X 9.25"	SPEC CERAMICS	NON-COMBUSTIBLE	NO GROUT JOINTS, GR-3 AS NEEDED
WT-2	DECORATIVE WALL TILE	COTTO D'ESTE	CEMENT PROJECT - WORK	COLOR 10	39" X 118"	SPEC CERAMICS	NON-COMBUSTIBLE	NO GROUT JOINTS, GR-3 AS NEEDED
GROUT								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
GR-3	GROUT	LATICRETE	SANDED GROUT	TBD	-	-	NON-COMBUSTIBLE	WALL TILE
WOOD								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
WD-1	WOOD	-	NATURAL ACCOYA WOOD SLATS	NATURAL SEALER	2" X 2"	-	77 / 0	EXTERIOR CANOPY WOOD SCREEN
WD-2	WOOD	-	NATURAL ACCOYA WOOD PLANK	NATURAL SEALER	6" WIDTH	-	77 / 0	CANOPY WOOD PLANK
STONE								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
ST-1	STONE	-	STRIATED SPLITFACE BASALT	BLACK	SLAB		NON-COMBUSTIBLE	EXTERIOR PLATFORMS
PLASTER								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
PL-1	PLASTER	LAHABRA	SANTA BARBARA - SMOOTH	TBD		LA HABRA	NON-COMBUSTIBLE	
METAL								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
MT-1	METAL	WESTERN STATES	SPECIALTY SHEET METAL PANELS	CORTEN AZP RAW 22 GA	48"	WESTERN STATES METAL	NON-COMBUSTIBLE	EXTERIOR METAL FINISH
INTERIOR FINISH MATERIALS								
FLOORING								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
F-2	PATIO FINISH	TBD	FLAGSTONE	TBD	VARIES	-	-	PATIO PAVER STONES
BASE								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
B-1	WALL BASE REVEAL	-	-	-	-	-	NON-COMBUSTIBLE	1" METAL WALL BASE REVEAL
B-2	WALL COVE BASE	SUMMITVILLE	QUARRY TILE COVE BASE	OXFORD GRAY - 44	6" X 6"	SPEC CERAMICS	NON-COMBUSTIBLE	BACK BAR SERVICE AREA TILE
B-3	WALL COVE BASE	SCHLUTER	DILEX-AHK	AGRB GRAPHITE ALUMINUM	-	-	NON-COMBUSTIBLE	RESTROOM METAL COVE BASE
GROUT								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
GR-1	GROUT	LATICRETE	SANDED GROUT	#61 PARCHMENT	-	-	NON-COMBUSTIBLE	WOOD FLOOR TILE AS NEEDED
GR-2	GROUT	LATICRETE	EPOXY GROUT	#30 SAND BEIGE	-	-	NON-COMBUSTIBLE	SERVICE QUARRY TILE AREAS
WOOD								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
WD-3	WOOD	-	WOOD VENEER FINISH	TBD	-	-	77 / 0	MILLWORK WOOD FINISH
PAINT								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
P-1	PAINT	SHERWIN WILLIAMS	SW 6991	BLACK MAJIC	-	SHERWIN WILLIAMS	10 / 0	
P-2	PAINT	SHERWIN WILLIAMS	SW 7005	PURE WHITE	-	SHERWIN WILLIAMS	10 / 0	
P-3	PAINT	SHERWIN WILLIAMS	-	TBD	-	-	-	
METAL								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
SS-1	METAL	-	STAINLESS STEEL	-	-	-	NON-COMBUSTIBLE	BACK BAR SERVICE AREA DIE WALL
SPECIALTY FINISHES								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
WP-1	WALLPAPER	WALL & DECO	TEMPORARY COLLECTION - STILL H	WDSH1601	TBD	-	CLASS 1	INTERIOR WALL FINISH
FRP-1	FRP	-	-	TBD	-	-	-	SERVICE AREA WALLS
CEILING SYSTEM								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
CLG-1	ACOUSTICAL PANEL	ARKTURA	SOFTGRID-SKYLINE	HEATHER GRAY	-	-	-	DINING SUSPENDED PANEL

FIN

WJ

FINN WUATWA ARCHITECTS LLP

10000 Washington Boulevard
Suite 600
Culver City, CA 90232

IDG

INNOVATIVE DINING GROUP

SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22 - 004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION

G002

FINISH MATERIAL SCHEDULE

SCALE:

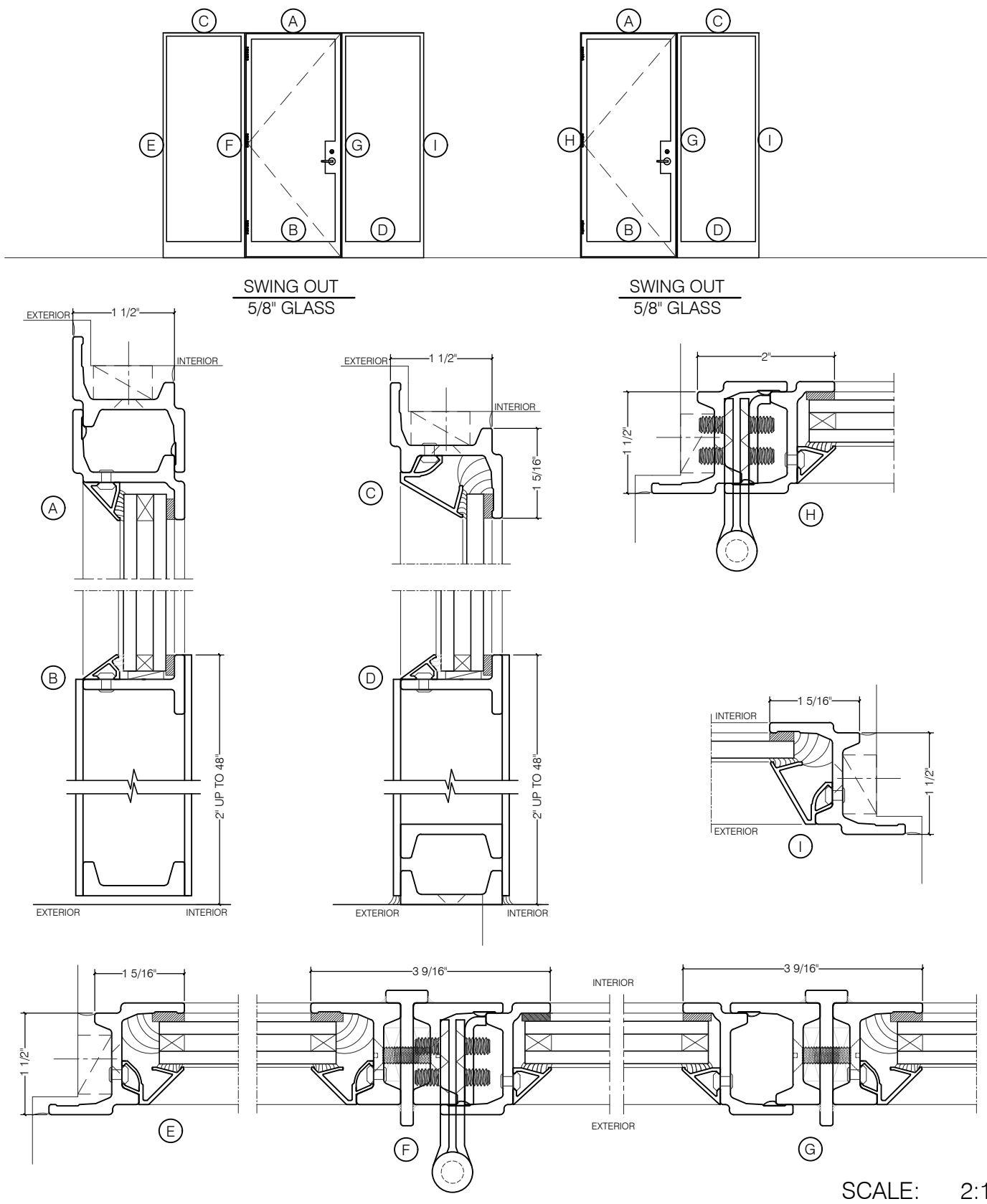
NTS

DATE:

07.19.2022

TORRANCE STEEL WINDOW CO., INC.

JEFFERSON 1900 - Z BAR FRAME



SCALE: 2:1

TYPICAL DETAIL - PROPOSED STEEL STOREFRONT SYSTEMS - TORRANCE STEEL WINDOW - SERIES 1900

2



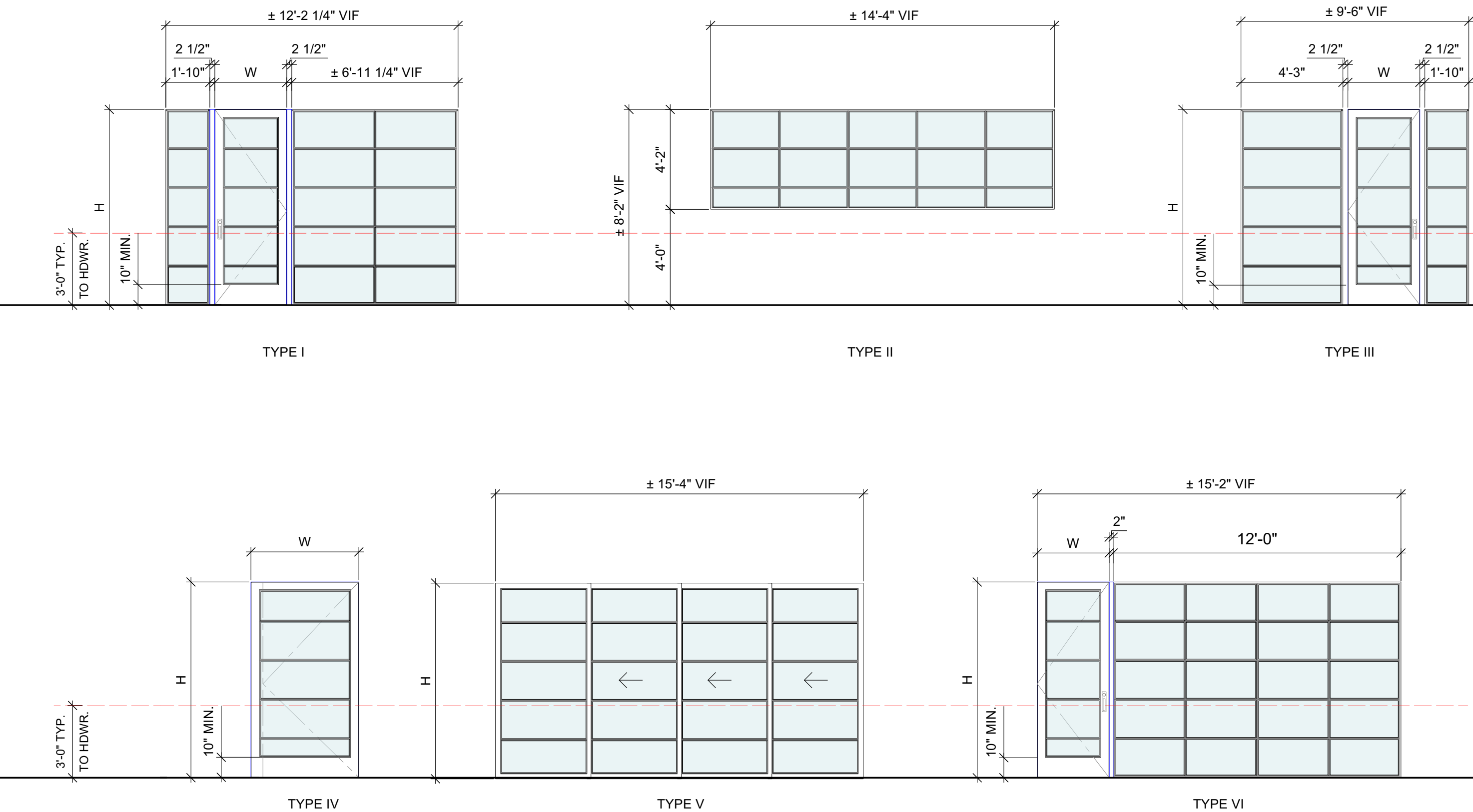
PRECEDENT - PROPOSED STEEL STOREFRONT SYSTEMS - TORRANCE STEEL WINDOW - SERIES 1900

1

ENTRANCE / STOREFRONT SCHEDULE

ID	Nominal Size			Door Style		Details		Fire Rating		Material		Data		Comments
	Width (W)	Height (H)	Thick	Configuration	Type	Head	Jamb	Frame	Leaf	Frame	Leaf	Manufacturer	Model No.	
01	3'0"	±8'-2" VIF	1 1/2"	Swing Simple	I	-	-	N/A	N/A	STL	GL/STL	TORRANCE STL	1900 SERIES	PATIO 2 EXIT DOOR: STEEL FRAMED DOOR+SIDE LIGHTS
02	±14'-4" VIF	±8'-2" VIF	1 1/2"	Fixed	II	-	-	N/A	N/A	STL	GL/STL	TORRANCE STL	1900 SERIES	PATIO 2 FIXED STOREFRONT: STEEL FRAMED
03	3'0"	±8'-2" VIF	1 1/2"	Swing Simple	III	-	-	N/A	N/A	STL	GL/STL	TORRANCE STL	1900 SERIES	ENTRY SIDE EXIT DOOR: STEEL FRAMED DOOR+SIDE LIGHTS
04	4'6"	±8'-2" VIF	1 1/2"	Swing Simple	IV	-	-	N/A	N/A	STL	GL/STL	TORRANCE STL	1900 SERIES	MAIN ENTRY PIVOT DOOR: STEEL FRAMED DOOR
05	±15'-2" VIF	±8'-2" VIF	1 1/2"	Multi-Slider	V	-	-	N/A	N/A	STL	GL/STL	TORRANCE STL	1900 SERIES	PATIO 1 MULTI-SLIDER: STEEL FRAMED 3-TRACK MULTI-SLIDE
06	3'0"	±8'-2" VIF	1 1/2"	Swing Simple	VI	-	-	N/A	N/A	STL	GL/STL	TORRANCE STL	1900 SERIES	PATIO 1 EXIT DOOR: STEEL FRAMED DOOR + SIDE LIGHT

DOOR/STOREFRONT TYPES



DOOR AND HARDWARE NOTES

- AT EXTERIOR STOREFRONTS, ALL FINISHES SHALL BE MATTE BLACK, UNO.
- VERIFY ALL DIMENSIONS IN FIELD, INCLUDING THROAT DIMENSIONS PRIOR TO FABRICATING DOORS AND FRAMES.
- DOOR AND HARDWARE SUPPLIER SHALL VERIFY FUNCTIONS OF ALL SPECIFIED HARDWARE BEFORE ORDERING AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT. SUPPLIER SHALL ALSO VERIFY THAT ALL ACCESSORIES REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE DOOR ARE ORDERED. SUPPLIER SHALL VERIFY HANDING OF ALL DOORS AND HARDWARE BEFORE ORDERING. SUPPLIER SHALL COORDINATE DOOR LEAF PREPARATION FOR ALL HARDWARE AND ACCESSORIES RQUIRED FOR PROPER INSTALLATION AND OPERATION OF THE DOOR.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. SURFACE-MOUNTED FLUSH OR SURFACE BOLTS ARE PROHIBITED. AUTOMATIC FLUSH BOLTS ARE ALLOWED ON PAIRS OF DOORS, PROVIDED THE DOOR WITH THE FLUSH BOLT HAS NO KNOBS OR SURAFACE MOUNTED HARDWARE AND THE UNLATCHING OF ANY LEAF REQUIRES ONLY A SINGLE OPERATION. (CBC 1010.1.9.3)
- FLOOR OR LANDINGS ON EACH SIDE OF DOORS SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. (CBC 1010.1.7)
- ALL EXISTING EXIT DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE APPROVED AND LISTED BY THE STATE FIRE MARSHAL.
- PROVIDE AND INSTALL RAMP THRESHOLDS (PEMKO OR APPR. EQ.) AS REQUIRED TO MAKE UP FINISH FLOOR HEIGHT DIFFERENTIAL AT DOORS.
- ALL DOORS SHALL BE PROVIDED WITH SILENCERS.
- HOLLOW METAL DOORS AND FRAMES SHALL COMPLY WITH THE REQUIREMENTS OF ANSI STANDARD A250.8-03 LEVEL 2-HEAVY DUTY.
- CONFORM TO REQUIREMENTS OF NFPA 80 FOR LABELED FIRE DOORS AND NFPA 101 FOR EXIT DOORS; PROVIDE UL LISTED HARDWARE UNLESS OTHERWISE SPECIFIED OR SCHEDULED.
- ALL THRESHOLDS SHALL COMPLY WITH SECTION 11B-404.2.5, 11B-302 AND 11B-303. SEE G020 SERIES DETAILS FOR ADDITIONAL INFORMATION.

ISSUE DATE DESCRIPTION

05.27.2022 LL Review & Prelim ARB

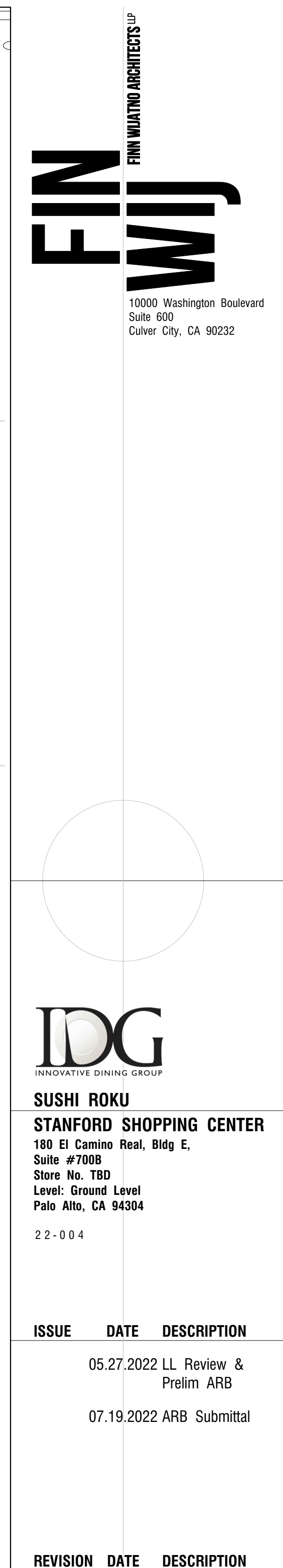
07.19.2022 ARB Submittal

REVISION DATE DESCRIPTION

G003

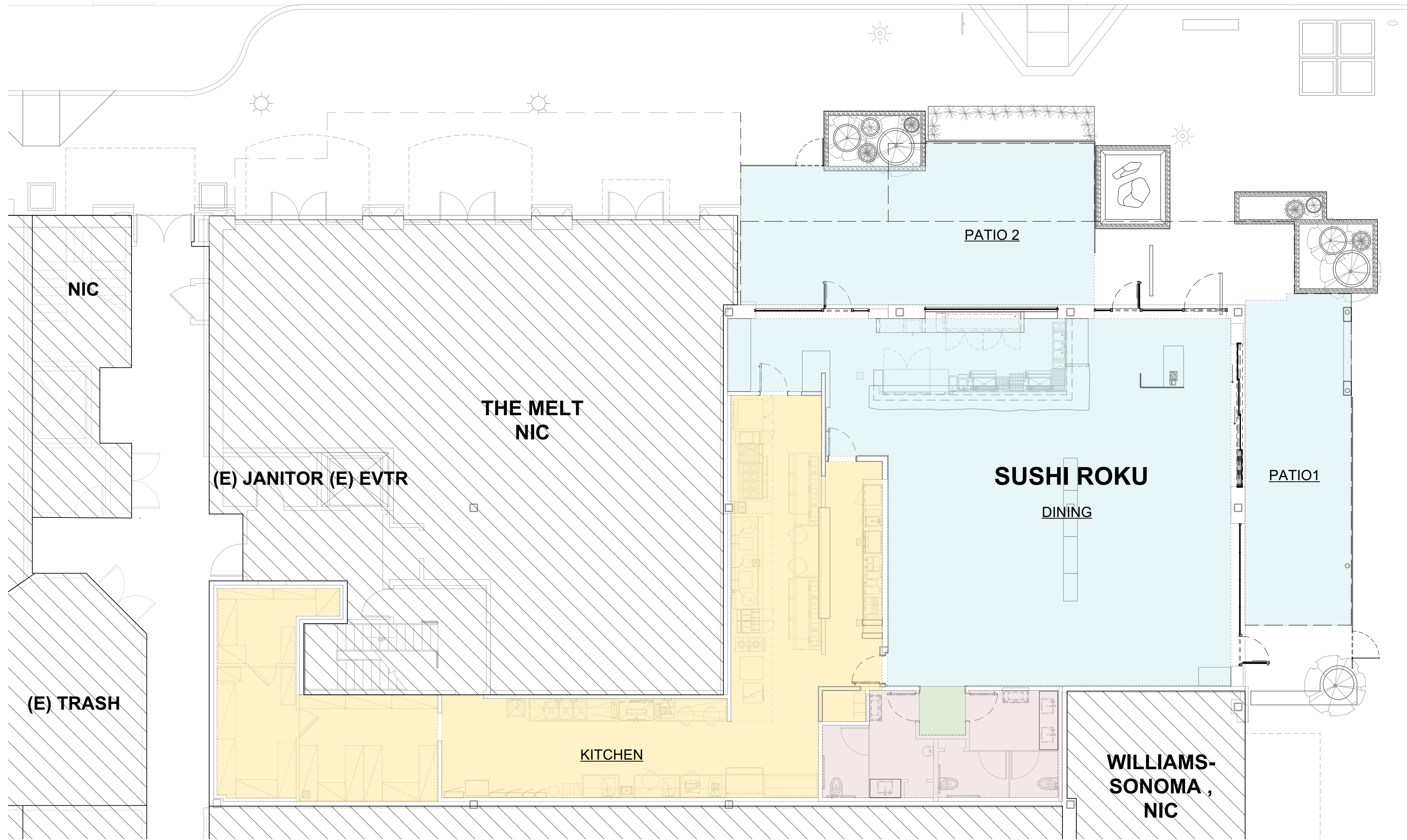
ENTRANCE/STOREFRONT SCHEDULE

SCALE: NTS
DATE: 07.19.2022



A horizontal timeline from 0 to 20 minutes with markers at 0, 4', 8', 12', 16', and 20'. Below the timeline, a series of gray rectangular blocks represent different activities. The blocks are: a small block from 0 to 2 minutes, a small block from 2 to 4 minutes, a medium block from 4 to 8 minutes, a small block from 8 to 10 minutes, a medium block from 10 to 12 minutes, a medium block from 12 to 16 minutes, and a medium block from 16 to 20 minutes. To the right of the timeline is a circular clock face with a hand pointing to the 12 o'clock position.

SCALE: 3/16" = 1'-0"
DATE: 07.19.2022



PLUMBING CODE OCCUPANT LOAD CALCULATION (2019 CPC TABLE A)								
OCCUPANCY	SQUARE FOOTAGE		TABLE A OCCUPANT LOAD FACTOR		OCCUPANTS			
DINING AREA	1,666 sf		30 sf/occ		56			
PATIO 1	410 sf		30 sf/occ		14			
PATIO 2	620 sf		30 sf/occ		21			
KITCHEN	1,327 sf		200 sf/occ		7			
TOTAL GROUP A GROSS SQUARE FOOTAGE	4,023 sf				97			
HALLWAY	24 sf							
RESTROOMS	253 sf							
EXCLUDED ACCESSORY AREAS **	277 sf		0 sf/occ		0			
** Per Table A Footnote: "Accessory areas may be excluded (for example: hallways, restrooms, stair enclosure)"								
MINIMUM PLUMBING FACILITIES (TABLE 422.1)								
FIXTURES REQUIRED (GROUP A-2)	OCCUPANTS	WCS/ PERSON	WCS REQ'D	URINALS/ PERSON	URINALS REQ'D	LAVS/ PERSON	LAVS REQ'D	DRINK'G FNTS/ PERSON
TOTAL	97							N/A ††
MALE	49	1: 1-50	1	1:200	1	1:150	1	
FEMALE	49	2: 26-50	2	N/A	N/A	1:150	1	
FIXTURES PROVIDED			WCS PROVIDED		URINALS PROVIDED		LAVS PROVIDED	
MALE			1		1		1	
FEMALE			2		N/A		2	
			OK!		OK!		OK!	
†† Per Section 415.2: "Where food is consumed indoors, water stations shall be permitted to be substituted for drinking fountains."								

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

G012

PLUMBING FIXTURE CALCULATION



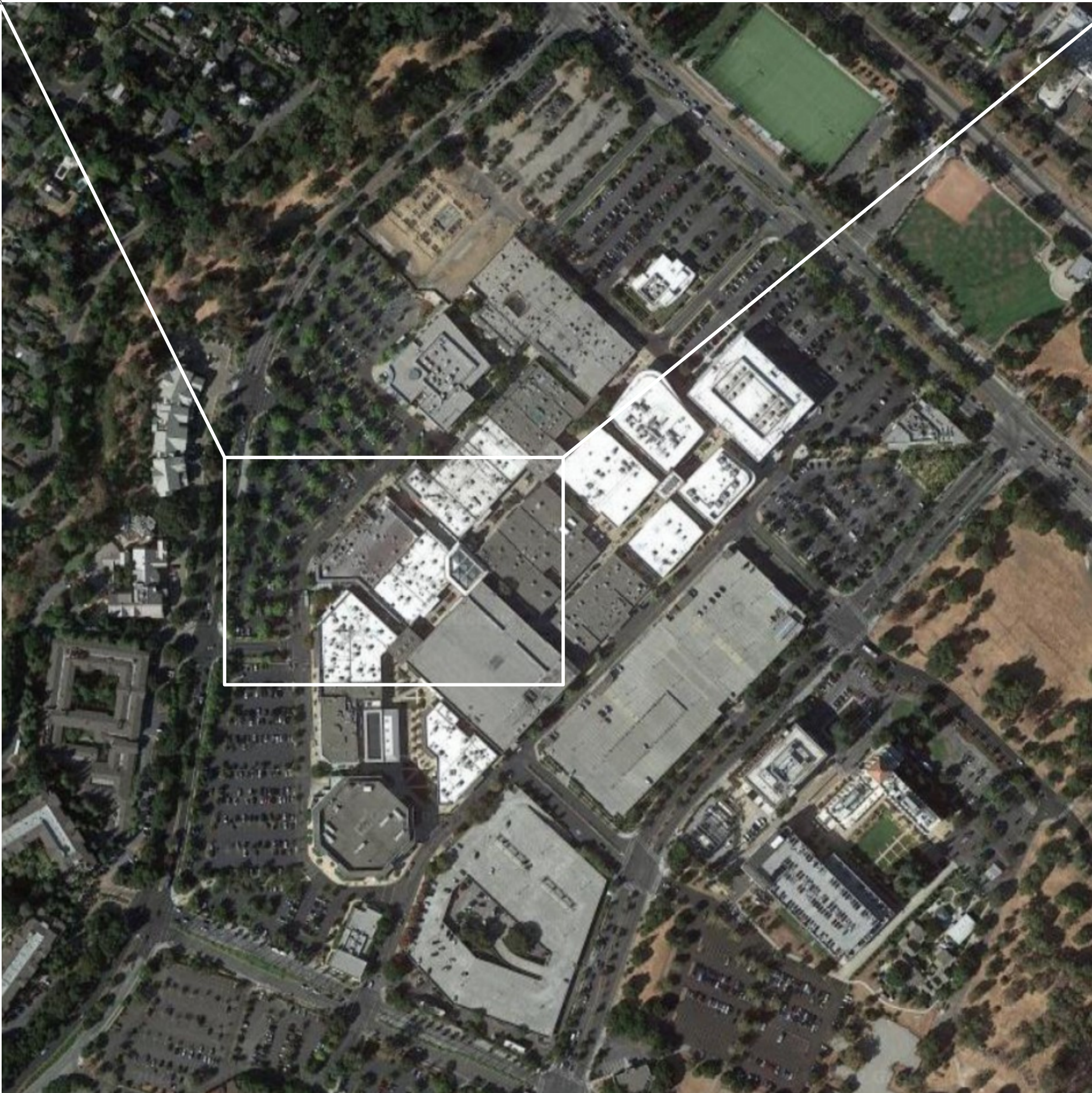
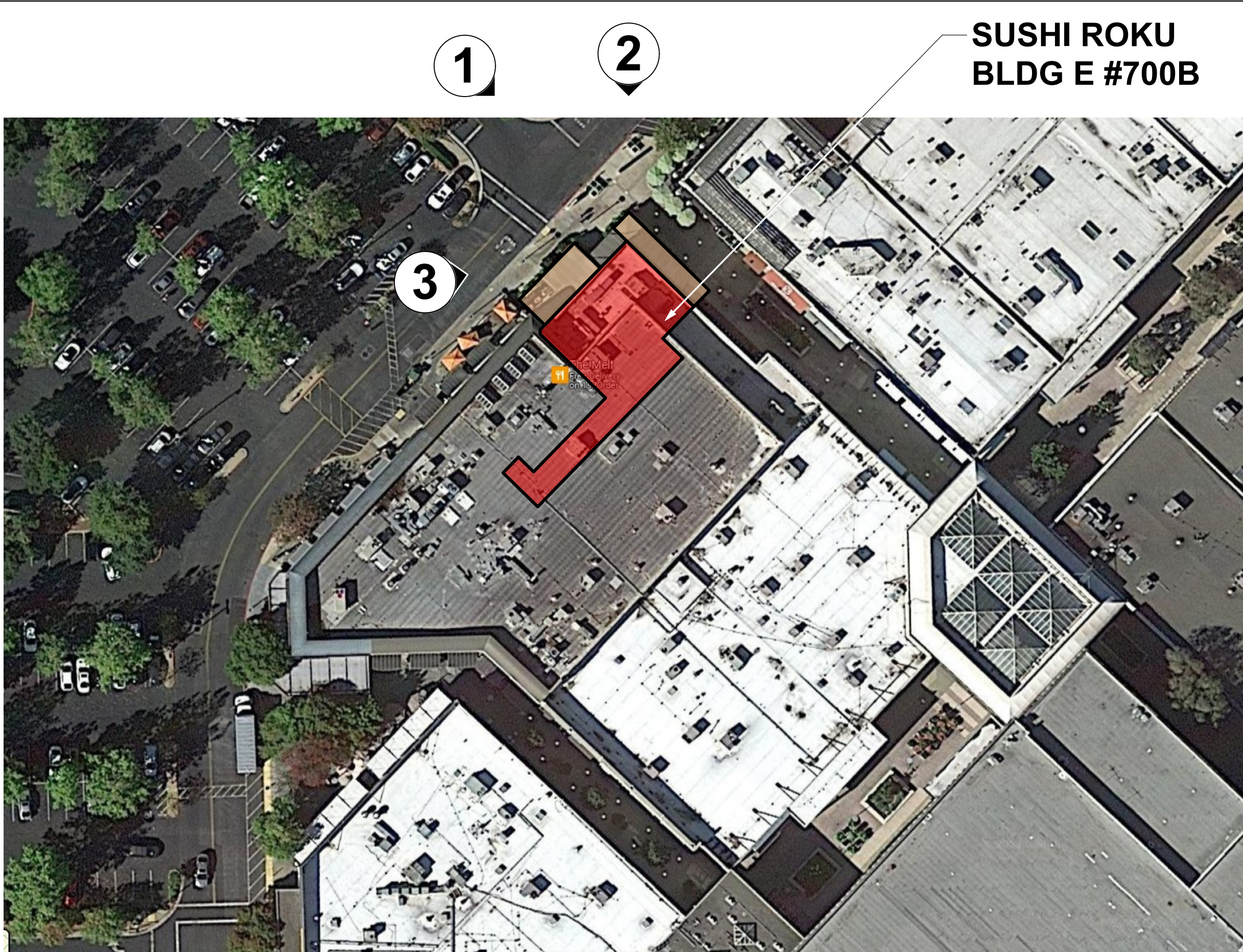
SOUTHEAST VIEW 1



SOUTH VIEW 2



EAST VIEW 3



AERIAL OF STANFORD SHOPPING CENTER


ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

**TREE DISCLOSURE STATEMENT**

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 180 EL CAMINO REAL BLDG E- SPACE 700B, PALO ALTO 94304

Are there Regulated trees on or adjacent to the property? YES ☐ NO ☒ If no, proceed to Section 4)

[Sections 1- 4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

☐ On the property
☐ On adjacent property overhanging the project site
☐ In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? YES ☐ YES (Check where applicable) NO ☒

☐ Protected Tree (s)
☐ Designated Tree (s)
☐ On or overhanging the property

3. Is there activity or grading within the drip-line? (radius 10 times the trunk diameter) of these trees? YES ☐ NO ☒

If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, Tree Protection, its Part of the Plan! per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? YES ☒ NO ☐

**Protection of Regulated Trees during development require the following: (1) Plans must show the measured trunk diameter and canopy drip-line; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the drip-line, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM - Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: Sean Finn Print: Sean Finn Date: 07.17.2022
(Prop. Owner or Agent)

FOR STAFF USE:

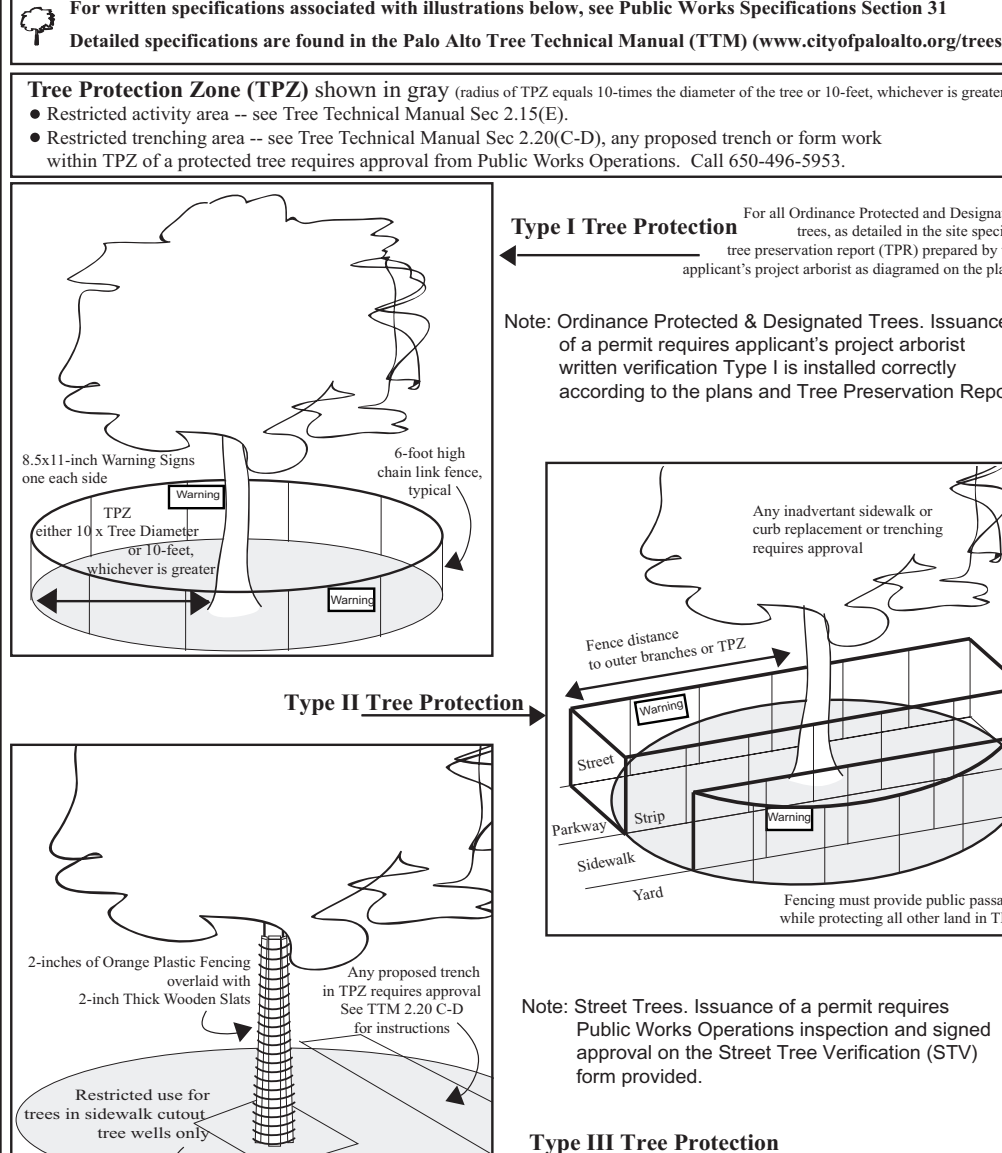
Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES ☐ NO ☐
(N/A if there are no protected trees, check here ☐)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. YES ☐ NO ☐
(N/A if there are no street trees, check here ☐)

* Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/tree-technical-manual.html>

S:\Plan\Plat\Arborist\Tree Protection Info\Tree Disclosure Statement Revised 08/06



For written specifications associated with illustrations below, see Public Works Specifications Section 31. Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/)

Tree Protection Zone (TPZ) (shown in grey outline of TPF equals 10-times the diameter of the tree or 10-foot, whichever is greater)

- Restricted activity area - see Tree Technical Manual Sec 2.15(E).
- Restricted trenching area - see Tree Technical Manual Sec 2.20C-D, any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.

Type I Tree Protection For all Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as diagramed on the plans.

Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report

Type II Tree Protection Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.

Type III Tree Protection No to be used only with approval of Public Works Operations)

Tree fencing is required and shall be erected before demolition, grading or construction begins.


Rev By Date
0 DWH 12/14/92
01 D.D. 08/04/04
02 D.D. 08/10/06

Scale: NTS

Tree Protection During Construction

City of Palo Alto Standard

Approved by: Dave Dockter
PE No. 2006
Date 2006
Dwg No. 605

**APPENDIX J**

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-

31-1 General

a. Tree protection has three primary functions. 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet; whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail #65 - Illustration of situations described below.

b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)

1. Trenching Restriction Zones (TTM, Section 2.20C)
2. Arborist Reporting Protocol (TTM, Section 6.30)
3. Site Plan Requirements (TTM, Section 6.32)
4. Tree Disclosure Statement (TTM, Appendix J)

c. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution

a. Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. Type II Tree Protection: For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. Size, type and area to be fenced. All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.


e. "Warning" signs. A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110".

f. Duration. Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

g. During construction

1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.
2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
3. The following tree preservation measures apply to all trees to be retained:
 - a. No storage of equipment (upward) vehicles or equipment shall be permitted within the TPZ.
 - b. The ground under and around the tree canopy area shall not be altered.
 - c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Construction, PWE, Section 31 Revised 08/06

**City of Palo Alto Tree Technical Manual**


CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/trees/tttm/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

1. ☒ Inspection of Protective Tree Fencing. For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).
2. ☒ Pre-Construction Meeting. Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager. (Contact 650-496-6962).
3. ☒ Inspection of Rough Grading or Trenching. Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect retention systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
4. ☒ Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).
5. ☒ Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
6. ☐ Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. Landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
7. ☐ List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

* ☐
* ☐

**City of Palo Alto Tree Department**

Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____

APPLICANT'S NAME: _____

APPLICANT'S ADDRESS: _____

APPLICANT'S TELEPHONE & FAX NUMBERS: _____

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: YES ☐ NO ☐
* If NO, go to #2 below

Inspected by: _____

Date of Inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant. _____

Subsequent Inspection

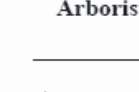
Street trees at above address were found to be adequately protected: YES ☐ NO ☐
* If NO, indicate in "Notes" below the disposition of case.

Inspected by: _____

Date of Inspection: _____

Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.
S:\PWO\Ops\Tree\OSR\TreeProt.doc 5/1/06

**City of Palo Alto Tree Technical Manual**

ADDENDUM 11

Arborist Firm Data Here

Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor:	#1: Job site superintendent
Inspection #:	Palo Alto, CA	Main Site Contact Information	Company:
			Email:
			Job site:
			Office:
			Cell:
			Mail:

Also present:

- _____
- _____

Distribution:

1. City of Palo Alto	Attn: Dave Dockter	Dave.Dockter@cityofpaloalto.org
2. Others		650-329-2440


Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

1. Assignment Activity (Demolition/grading/sewer/trenching/foundation list relevant visits)
 - a. Pre-construction meeting requirement with sub-contractors
 - b. Inspect to verify that tree protection measures are in place
 - c. Determine if field adjustments, watering or plan revisions may be needed
2. Field Observations (general site-wide and list by individual tree number)
 - a. Tree Protection Fences (TPF) are ...
 - b. Trenching has/will occur ...
3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - a. Tree Protection Fence (TPF) needs adjusting (tree #, x, y)
 - b. Root zone buffer material (wood chips) can be installed next
 - c. Schedule sewer trench, foundation dig with ...
4. Photographs (use often)
5. Tree Location Map (mandatory 8.5 x 11 sheet)
6. Recommendations, notes or monitor items for project/staff/schedule
7. Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (Include email, cell#, and mailing)
CC:

Enter Date CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

**City of Palo Alto Tree Department**

Verification of Street Tree Protection

---WARNING---


Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

***Palo Alto Municipal Code Section 8.10.110**

City of Palo Alto Tree Protection Instructions are located at <http://www.city-palo-alto.ca.us/trees/technical-manual.html>

**City of Palo Alto Tree Department**

Verification of Street Tree Protection

SPECIAL INSPECTIONS

PLANNING DEPARTMENT

TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: _____

DATE OF 1ST TREE ACTIVITY REPORT: _____

CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

Project Data

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet

City of Palo Alto



T-1



T1



S1



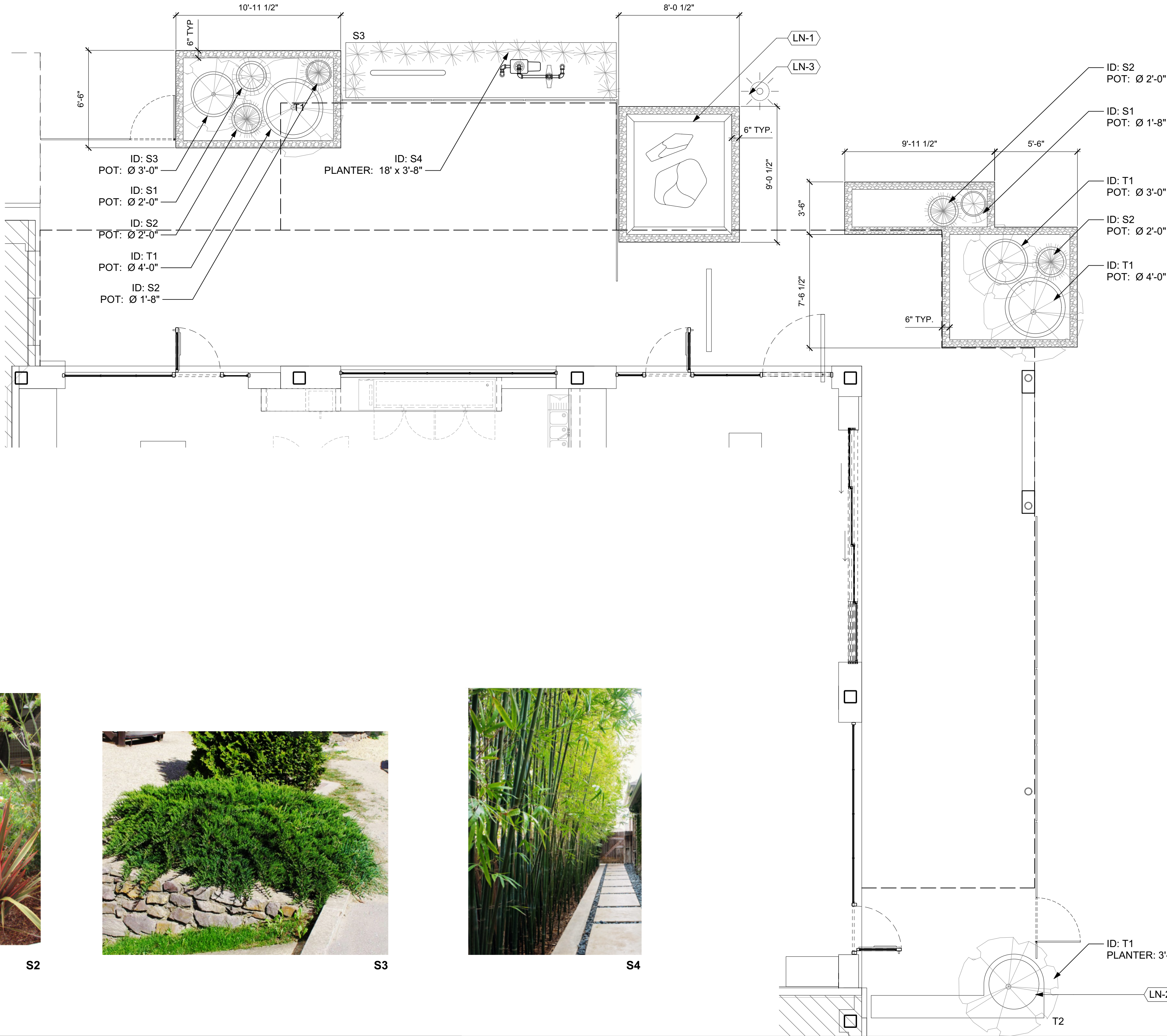
S2



S3



S4



General Notes		PLANTING SCHEDULE					LANDSCAPE PLAN NOTES	
1. LANDSCAPE AND IRRIGATION SHALL COMPLY WITH STATE AND CITY OF PALO ALTO LANDSCAPE WATER EFFECIENCY REQUIREMENTS. 2. THE PLANTS SPECIFIED ARE RATED LOW TO MODERATE WATER REQUIREMENT PLANTS BY WUCOLS IV ESTIMATING IRRIGATION WATER NEEDS FOR CALIFORNIA - REGION 1. 3. A FULLY AUTOMATIC WATER EFFECIENT DRIP IRRIGATION SYSTEM SHALL BE INSTALLED FOR THE PROPOSED PLANTERS. THE IRRIGATION CONTROLLER SHALL HAVE: 1. ET BASED SELF ADJUSTING STATION RUNTIME 2. MULTIPLE PROGRAM CAPABILITIES 3. FLEXIBLE ' CANDELA' PROGRAM	SHRUBS AND VINES					LN-1. NEW ELEVATED WATER FEATURE W/ DECORATIVE STONE PILLAR LN-2. NEW LOW WALL & PLANTER; LN-3. EXISTING LIGHT POLE TO REMAIN		
	ID	PLANT NAME	SIZE	QTY	WATER REQUIREMENT			
	S1	Kangaroo Paws ((Anigozanthos)	TBD	2	Low			
	S2	New Zealand Flax (Phorium Tenex)	TBD	4	Low			
	S3	Tamarix Juniper (Juniperus Sabina)	TBD	1	Low			
	S4	Golden Bamboo (Phyllostachys aurea)	TBD	TBD	Moderate			
	TREES							
	ID	PLANT NAME	SIZE	QTY	WATER REQUIREMENT			
	T1	Eastern Redbud (Cercis canadensis)	TBD	4	Moderate			

FIN WJW

10000 Washington Boulevard
Suite 600
Culver City, CA 90232

IDG

INNOVATIVE DINING GROUP

SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION

G043

PROPOSED LANDSCAPE

SCALE: 3/16" = 1'-0"

DATE: 07.19.2022

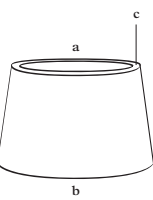
LRC



LR

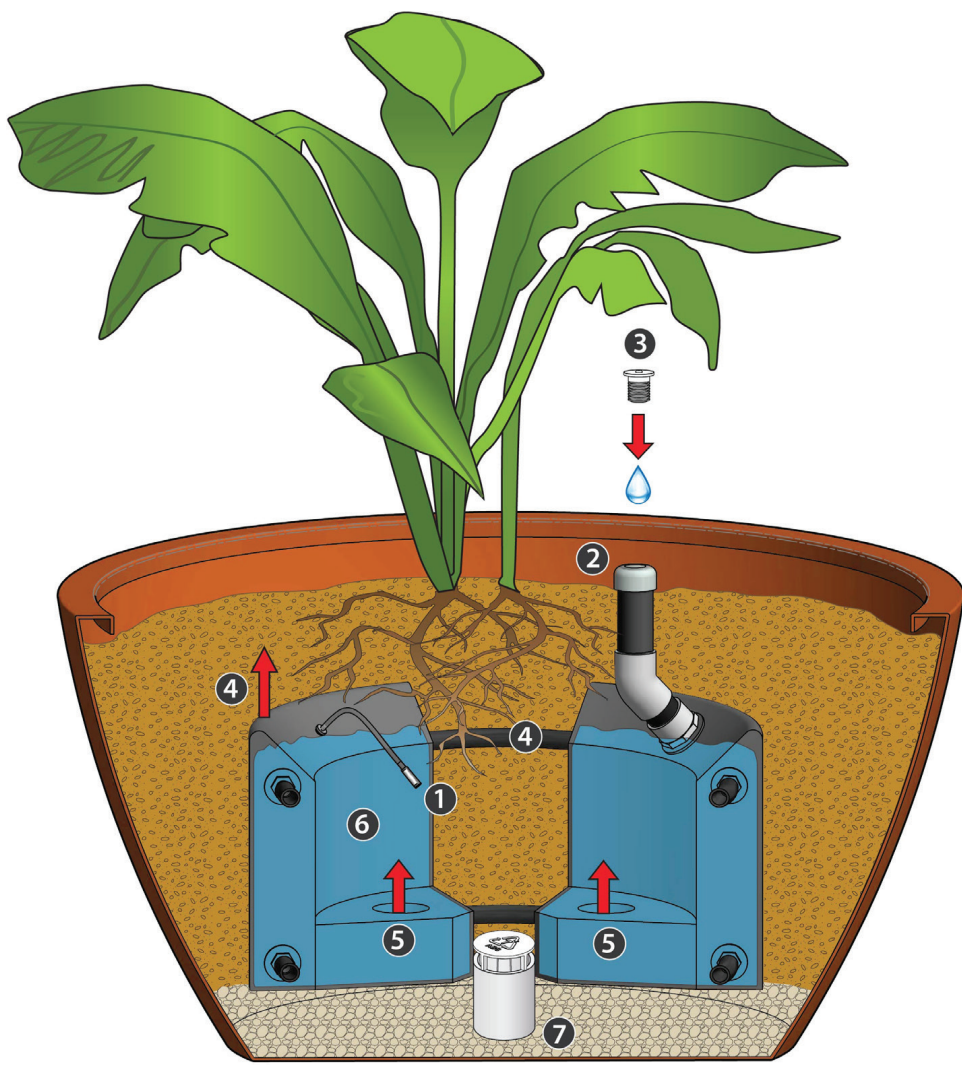
CLE

	a	b	c	d	e	f
CLE10	40cm	40cm	50cm	34cm	60kg	
CLE15	60cm	60cm	60cm	51.3cm	90kg	
CLE20	80cm	80cm	80cm	68.5cm	143.3kg	
CLE25	100cm	100cm	100cm	85.7cm	196.4kg	



ateliervierkant - Collection 2022

PROPOSED EXTERIOR POTS - ATELIERVIERKANT
Scale: NTS 2



1. The key to the system – A micro-porous sensor tube acts as a simple valve. It allows air to pass when the soil is dry, closes when soil is moist.
2. Reservoir modules are filled through a hole at the top of a fill pipe, which extends above the soil – the amount of water is dependent on the size and number of the modules. Water flows from the fill module to the others via a tube connecting them at the bottom.
3. Once the modules are full, the fill pipe is closed with a tamper-resistant stopper, which creates an airtight seal (and prevents curious fingers from removing it).
4. When the soil is moist (the plant has water), the sensor tube is closed and a vacuum is created above the water, preventing it from flowing. The vacuum is shared by a tube connecting the tops of the modules.
5. When the soil dries, air is allowed through the sensor tube and breaks the vacuum. Water flows into the soil from holes in the bottom of each module, and wicks up into the soil like a sponge.
6. When the roots become moist, the sensor closes and the vacuum is created – stopping the flow until the plant uses the water and the process starts again.
7. When it rains, excess water builds up in the bottom of the container. The modular system includes an overflow drain adapter over the drain hole. Excess water flows out, preventing oversaturation.

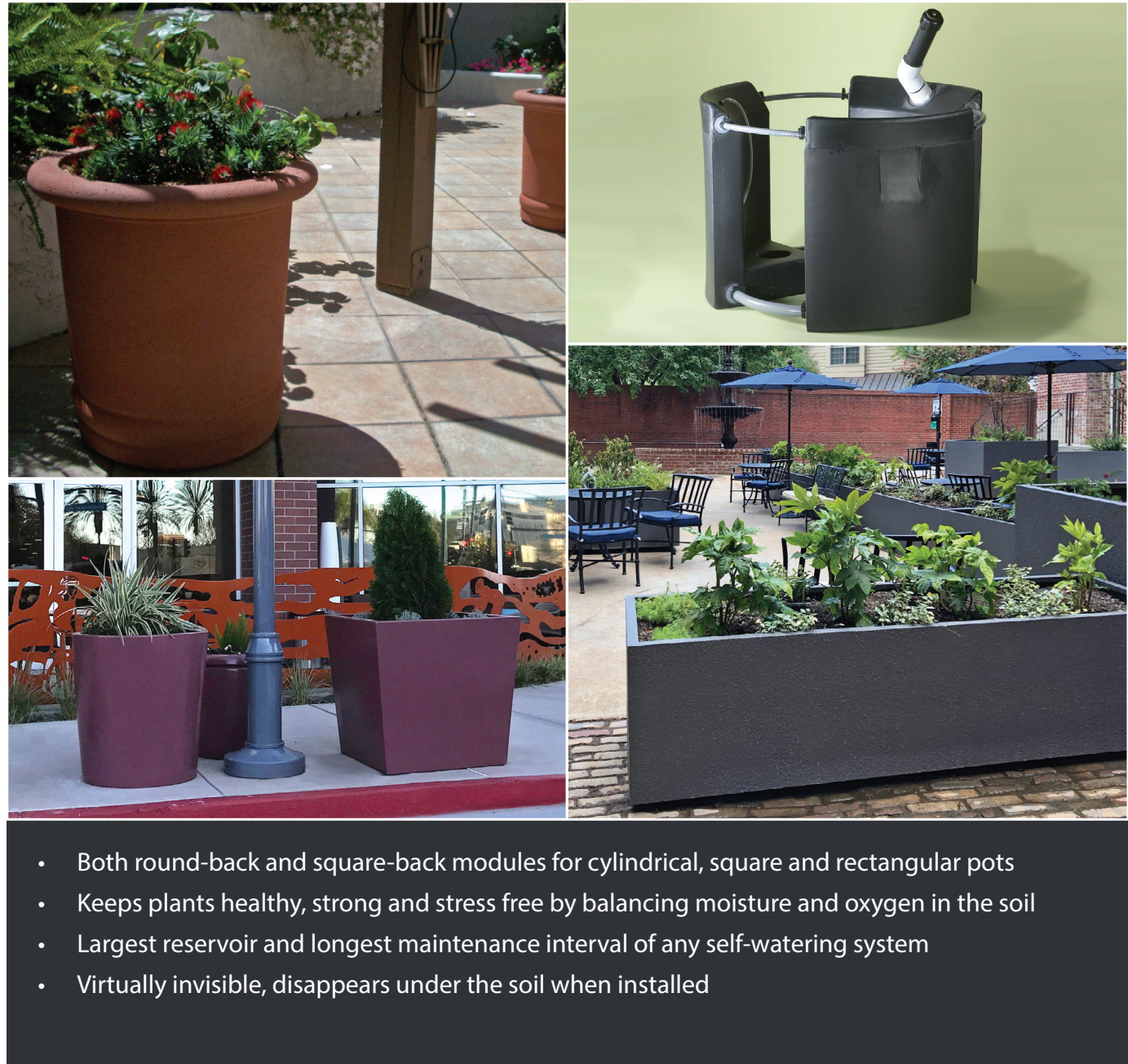
Tournesol SITEWORKS
Successful sites start here™

CWM Modular Container Irrigation

The most flexibility for planters, large and small

Tournesol SITEWORKS
Successful sites start here™

CWM Modular is a versatile self-watering system designed for use in any large planter, freestanding or otherwise. Reservoir modules are linked together and buried within the pot. The hand-filled reservoir utilizes Tournesol Siteworks' vacuum-sensor system to precisely monitor the soil moisture in the container, giving plants exactly the amount of water they need. The CWM Modular provides optimal flexibility for use in virtually any shape planter, will not interfere with lighting or other electrical connections, and requires no plumbing.



- Both round-back and square-back modules for cylindrical, square and rectangular pots
- Keeps plants healthy, strong and stress free by balancing moisture and oxygen in the soil
- Largest reservoir and longest maintenance interval of any self-watering system
- Virtually invisible, disappears under the soil when installed

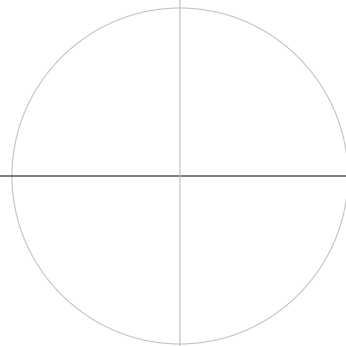
PROPOSED MODULAR CONTAINER IRRIGATION
Scale: NTS 1

LANDLORD'S GENERAL NOTES

1. PLANS REVIEWED AND APPROVED BY LANDLORD'S TENANT COORDINATOR MUST BE PRESENT ON THE JOB SITE AND BE ACCOMPANIED BY PLANS APPROVED FOR BUILDING PERMIT. ANY PROPOSED DEVIATION FROM THE LANDLORD APPROVED PLANS MUST BE NUMBERED AND CLOUDED ON THE PLANS, AND THEN RESUBMITTED BY THE TENANT TO THE LANDLORD FOR RE-APPROVAL PRIOR TO ANY CONSTRUCTION CHANGES TAKING PLACE IN THE FIELD.
2. TENANT'S GC IS REQUIRED TO CHECK IN WITH LANDLORD'S ON SITE PROPERTY MANAGER PRIOR TO THE START OF TENANT CONSTRUCTION. CONTACT MALL MANAGEMENT OFFICE.
3. CONTACT PROPERTY MANAGEMENT FOR CONSTRUCTION BARRICADE REQUIREMENTS, INCLUDING BARRICADE GRAPHICS.
4. TENANT'S GC IS RESPONSIBLE TO COMPLY WITH ALL MALL RULES AND REGULATIONS AND AS INSTRUCTED ON SITE BY MALL MANAGEMENT.
5. ANY DAMAGE TO LANDLORD'S PROPERTY DURING TENANT DEMOLITION OR CONSTRUCTION (MALL FLOORING, BULKHEAD, NEUTRAL PIERS, ETC.) WILL BE REPAIRED PER MALL SPECIFICATIONS, AT TENANT'S EXPENSE.
6. ANY LANDLORD EQUIPMENT, COMPONENT, AND / OR SERVICE FEEDING OTHER TENANT(S) THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. TENANT SHALL INSTALL ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS. ACCESS PANELS SHALL BE LABELED TO PROPERLY IDENTIFY SYSTEM, COORDINATE WITH MALL OPERATIONS.
7. ALL LANDLORD COMMENTS FROM PREVIOUS REVIEW(S) ARE TO BE INCORPORATED INTO THE FINAL SET OF APPROVED DRAWINGS AND ARE TO BE ADHERED TO IN THE FIELD.
8. ALL LANDLORD COMMENTS ON THIS SET OF DRAWINGS SHALL APPLY TO THE ENTIRE DOCUMENT SET, EVEN IF NOT REPEATED ON EVERY SHEET IN DRAWING SET.
9. THE RE-USE OF ANY EXISTING CONSTRUCTION, FINISHES, EQUIPMENT, OR ELECTRICAL, PLUMBING OR HVAC SYSTEMS CURRENTLY IN THE SPACE IS CONDITIONAL UPON IT BEING APPROPRIATE FOR RE-USE. ANY EXISTING CONDITION OR EQUIPMENT TO BE RE-USED MUST BE RESTORED TO LIKE NEW CONDITIONS. THE LANDLORD MAKES NO WARRANTY ON THE RE-USE OF ANY EXISTING CONDITION IN THE SPACE.
10. IF AT ANY POINT A FAILURE, UPGRADES, AND / OR IMPROVEMENTS TO EXISTING SYSTEMS OCCUR, IT IS THE SOLE RESPONSIBILITY OF THE TENANT TO REPAIR OR REPLACE, AT TENANT EXPENSE.
11. LANDLORD AND TENANT RESPONSIBILITIES ARE AS DEFINED IN LEASE AGREEMENT.
12. LANDLORD STRONGLY PREFERS USE OF ENERGY STAR PRODUCTS AND/OR EQUIPMENT WHENEVER POSSIBLE DURING TENANT BUILD OUT, WHICH CAN REDUCE ENERGY CONSUMPTION.
13. THE TENANT'S GC SHALL BE REQUIRED TO CONTRACT DIRECTLY WITH THE MALL'S FIRE ALARM VENDOR FOR THE SCOPE OF WORK ASSOCIATED WITH THE SYSTEM WITHIN THE PREMISES. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE "SAFE OFF" OF THE SYSTEM PRIOR TO COMMENCEMENT OF DEMO, DESIGN AND PERMITTING OF NEW SYSTEM (OR MODIFICATIONS TO EXISTING), SUPPLYING "ARTS & SMARTS" AS REQUIRED FOR TENANT'S GC INSTALL AND THE SECURING OF THE FINAL CITY INSPECTIONS/SIGN-OFFS.
14. TENANT'S GC IS REQUIRED TO CONTRACT WITH ONE OF THE MALL'S RECOMMENDED SPRINKLER VENDORS FOR THE DESIGN, PERMITTING AND INSTALLATION OF THE SPRINKLER SYSTEM WITHIN THE PREMISES.
15. THE TENANT SHALL BE REQUIRED TO SUBMIT THE PROJECT TO THE CITY OF PALO ALTO PLANNING DEPT FOR REVIEW AND APPROVAL WHICH IS EXPECTED TO INCLUDE PUBLIC HEARINGS. THE RULINGS, JUDGMENTS, STIPULATIONS, ETC. ISSUED BY THE CITY OF PALO ALTO PLANNING DEPT. GOVERN OVER ANY AND ALL PREVIOUS REVIEWS, APPROVALS, ETC. ISSUED BY THE LANDLORD AND/OR STANFORD UNIVERSITY.
16. LANDLORD STRONGLY RECOMMENDS THAT THE TENANT SECURES A COPY OF THE MALL'S GC RULES & REGULATIONS DIRECTLY FROM MALL OPERATIONS DIRECTOR AND ISSUES SAME TO THEIR BIDDING GC'S FOR REVIEW AND COMMENT BEFORE AWARDDING THE PROJECT.
17. FIELD VERIFICATION REQUIREMENT: TENANT, TENANT'S DESIGN TEAM, AND TENANT'S CONTRACTORS SHALL FIELD VERIFY ALL FIELD CONDITIONS PRIOR TO THE START OF ANY CONSTRUCTION. BE ADVISED THAT ALL CHANGES AND MODIFICATION TO THE LANDLORD'S APPROVED DRAWINGS SHALL BE RESUBMITTED TO LANDLORD FOR RE-APPROVAL. ANY CONSTRUCTION COMPLETED WITHOUT LANDLORD APPROVAL SHALL BE CORRECTED AS APPROVED BY LANDLORD AT TENANT'S EXPENSE.

LANDLORD'S STOREFRONT ELEVATION / SECTION NOTES

1. IF NOT ALREADY EXISTING, TENANT MUST PROVIDE A SEALED PARTITION ABOVE THE STOREFRONT TO SEPARATE THE COMMON AREA CEILING FROM THE TENANT'S SPACE. (SHALL BE RATED IF REQUIRED BY CODE AND ALL PENETRATION SHALL COMPLY AND BE LABELED WITH THE REQUIRED NFPA RATING.)
2. NOTHING IS PERMITTED TO BE ATTACHED TO, SUSPENDED FROM, OR PENETRATE LANDLORD'S STRUCTURE, FLOOR DECK, OR ROOF DECK. YOU MAY ATTACH, NON-DESTRUCTIVELY, TO OR SUSPEND FROM THE TOP CHORD OF THE JOIST OR THE STRUCTURAL STEEL WHICH EXISTS ABOVE THE TENANT SPACE. WHEN ATTACHING TO LANDLORD'S STRUCTURE, DO NOT DRILL, WELD, SCREW, OR SHOOT INTO STRUCTURE. ALTERNATIVE METHODS OF ATTACHMENT ONLY, NOTHING TO DAMAGE LANDLORD'S BASE BUILDING STRUCTURE. TENANT SHALL PROVIDE SIGNED AND SEALED STRUCTURAL DRAWINGS, BY A STRUCTURAL ENGINEER WITH LEGALLY ACTIVE REGISTRATION AS INDICATED BY ALL JURISDICTIONAL REQUIREMENTS, FOR ALL STRUCTURAL MODIFICATIONS FOR LANDLORD RECORDS.
3. ANY LANDLORD EQUIPMENT, COMPONENT, AND / OR SERVICE FEEDING OTHER TENANT(S) THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. TENANT SHALL INSTALL ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS. ACCESS PANELS SHALL BE LABELED TO PROPERLY IDENTIFY SYSTEM, COORDINATE WITH MALL OPERATIONS.
4. WHEN STOREFRONT GRILLES ARE PERMITTED BY LANDLORD, THEY MUST BE FLOOR SUPPORTED AND SHALL ATTACH TO LANDLORD'S STRUCTURE FOR LATERAL SUPPORT ONLY. WHEN IN OPEN POSITION, BOTTOM RAIL OF GRILLE MUST BE FULLY RECESSED INTO CEILING TREATMENT ABOVE. NO WELDING TO STRUCTURE IS PERMITTED.
5. SLAT WALL MAY NOT BE USED WITHIN THE FIRST 5'-0" OF THE SPACE.
6. VERTICAL GLASS JOINTS SHALL BE FRAMELESS BUTT JOINTS.
7. PAINTED DRYWALL IS NOT AN ACCEPTABLE STOREFRONT FINISH.
8. ANY DAMAGE TO MALL PROPERTY OR ADJACENT TENANTS DURING CONSTRUCTION MUST BE REPAIRED TO MALL SPECIFICATIONS, AT TENANT'S EXPENSE.
9. STOREFRONT SIGN MUST BE ON A 7-DAY, 24-HOUR TIME CLOCK. ILLUMINATED SIGNS MUST REMAIN ILLUMINATED DURING ALL MALL HOURS.
10. APPROVAL OF THE TENANT'S CONSTRUCTION / DESIGN DOCUMENTS BY THE LANDLORD SHALL NOT CONSTITUTE REVIEW AND APPROVAL OF THE TENANT'S SIGNAGE. SIGNAGE SHOP DRAWINGS MUST BE SUBMITTED UNDER SEPARATE SUBMITTAL FOR LANDLORD REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION OF THE SIGN.



SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

G051
LANDLORD NOTES

SCALE: NTS
DATE: 07.19.2022

Stanford Shopping Center Parking and Loading Tabulation

4/19/2021 Macys Mens Redevelopment

Gross Floor Area For Parking						
Building #	Basement	Ground Floor	Mezzanine	2nd Floor	3rd Floor	Outdoor Area
Bloomingdale's A (Phase II)*		123,678				123,678
WB (approved/future)		28,741	0			
EE (approved/future)		6,749				
RE (approved)		17,731				
C-South		30,738		15,524	8,613	
C-North		24,844		11,680		
D		62,859		13,025		222
E		27,451		12,512		2,318
F	15,458	43,410		5,127		
New Flemings (Phase I)		7,220		8,511		1,291
H		21,584		475		
J		8,075		1,418		
Macys's K*		225,830				
L		23,610		2,446		589
M		55,048		13,492		
N		20,402		325		
P		9,955				
Neiman Marcus*		120,000				
V		31,567		32,573		
W		10,608				1,385
Phase III						
AA		29,305				
BB		25,978		25,915		174
CC		16,402				
DD		16,823		16,824		
Subtotal by Level	15,458	988,608	0	158,315	8,613	5,979
Nordstrom*		180,000				
Container Store	5,534	24,116		8,651		
Crate&Barrel		39,173				
Subtotal by Level	5,534	243,289	0	8,651	0	0
TOTAL	20,992	1,231,897	0	166,966	8,613	5,979

Bicycle Parking:				Short Term (Racks)	Long Term (Lockers)	TOTAL
Required bicycle spaces 1/2,750 sf (40% long term and 60% short term)				305	203	509
Existing bicycle spaces (per macys mens redevelopment)				254	97	351
Cargo Bike				4		
Deficient Bike Parking				47	106	153

Loading Space	Req 3/1200	Req 1/50k sf of	Existing	Proposed	Deficient
3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf	3 spaces (3 per 1st 120,000 sf)	1,311,357 (based on 120,000 sf)	29 spaces	24 spaces	5 spaces

Parking Provided by Space Type	Notes	Regular	ADA	EVSE	EV (Ready)	ADA EVSE/Ready***	x2 PK EVSE	Dedicated Parking	TOTAL
Required Parking Spaces 1/275 GFA	5087	5,087							
Existing Parking Spaces	As of 3/27/2019	5,218	101	29	96			-96	
Proposed Parking Spaces		3			37			-37	
Dedicated Parking - Tesla	16PLN-00040							-6	
Loss of Physical Parking Spaces		-54							
Total Parking Spaces		5,167	101	29	133			-139	5,291
Excess number of spaces (Proposed - Required and Dedicated Spaces)									204

Per AB1100: EVSE & EV Ready Van accessible & accessible spaces adjacent to an accessible path of travel are counted x2 towards the parking total

Net Floor Area For Entitlements*						
Building #	Basement	Ground Floor	Mezzanine	2nd Floor	3rd Floor	Outdoor Area
Bloomingdale's A (Phase II)*		117,494				117,494
WB (approved/future)		28,741	0			
EE (approved/future)		6,749				
RE (approved)		17,731		15,524	8,613	
C-South		30,738		6,979		
C-North		24,844		11,680		
D		62,859		13,025		
E		27,451		12,512		
F	15,458	43,410		5,127		
New Flemings (Phase I)		7,220		8,511		
H		21,584		475		
J		8,075		1,418		
Macys's K*		225,830				
L		23,610		2,446		
M		55,048		13,492		
N		20,402		325		
P		9,955				
Neiman Marcus*		120,000				
V		31,567		32,573		
W		10,608				
Phase III						
AA		29,305				
BB		25,978		25,915		
CC		16,402				
DD		16,823		16,824		
Subtotal by Level	15,458	982,424	0	158,315	8,613	0
Nordstrom*		180,000				
Container Store		24,116				
Crate&Barrel		39,173				
Subtotal by Level	0	243,289	0	0	0	0
TOTAL	15,458	1,225,713	0	158,315	8,613	0

Allowable NFA**	1,412,362
Available NFA	66,044 **

NOTES:

* Includes 5% reduction in Anchor Store GFA for space classified as 'non-occupied' to calculate NFA per COPA Planning Dept. letter dated Apr. 23, 2014. Note that the Redevelopment Phase I table (Existing as of 5/23/12) pre-dated this agreement, thus did not take into account the 5% reduction for NFA, therefore some figures will differ.

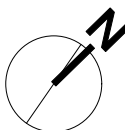
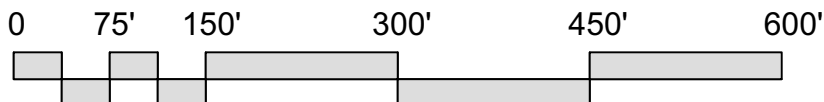
** per PAMC Ch. 18.16.060(e) and COPA Planning Dept. letter dated Feb. 27, 2014.

395 Quarry Road (Bank of America) has been deleted from this table. The site has an existing 4,185 sf building, 21 parking spaces and is zoned CN. The property is managed by Simon, but is not counted towards Stanford Shopping Center FAR (Gross & Net) as it is not within the PAMC 18.16.030(d) definition of 'Stanford Shopping Center' properties which are defined as all properties zoned CC and bounded by El Camino Real, Sand Hill Road, Quarry Road, and Vineyard Lane.

Per AB1100: EVSE & EV Ready Van accessible & accessible spaces adjacent to an accessible path of travel are counted x2 towards the parking total



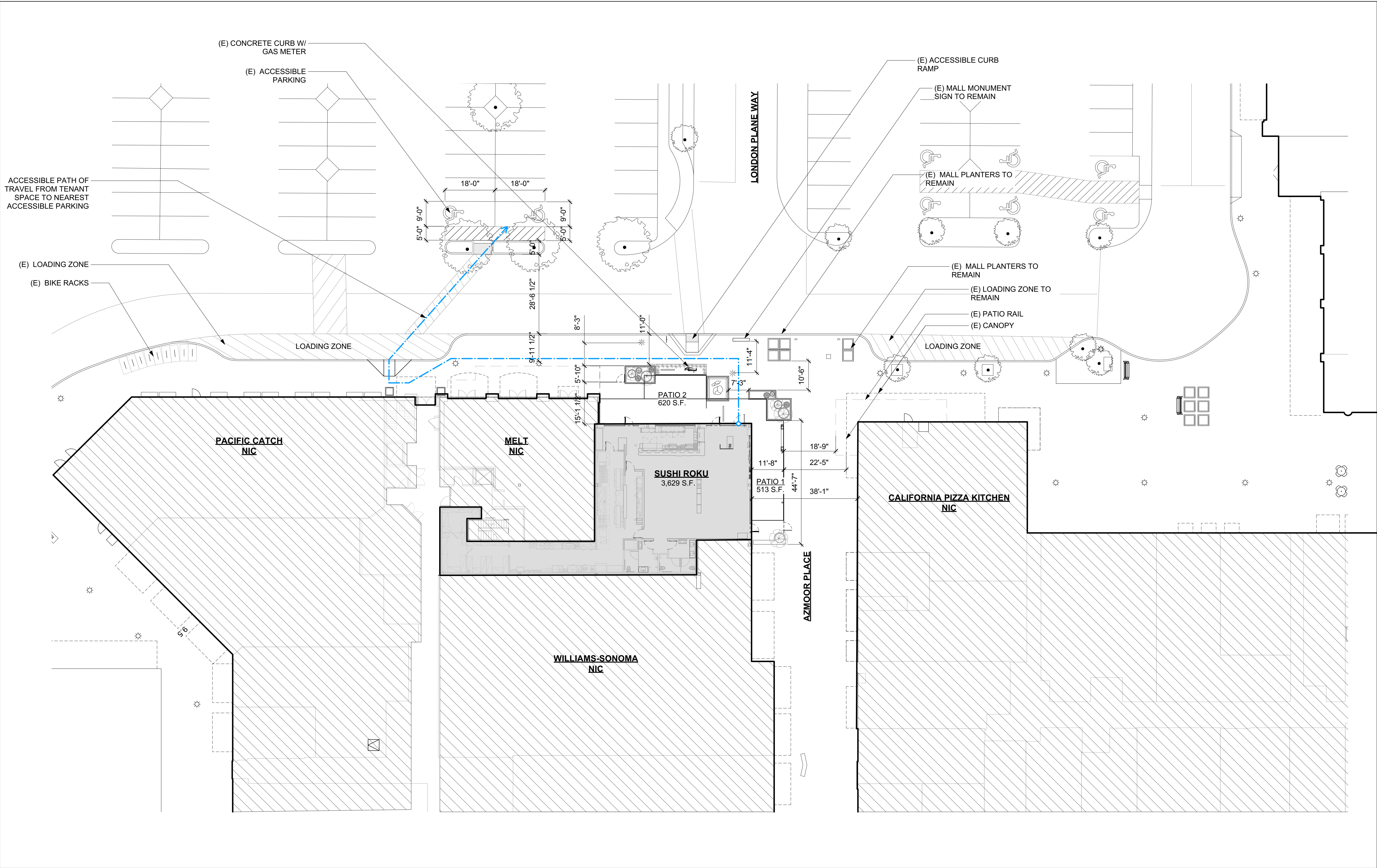
SUSHI ROKU
BLDG E
SPACE #700B



ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

A001
CURRENT MALL SITE
PLAN

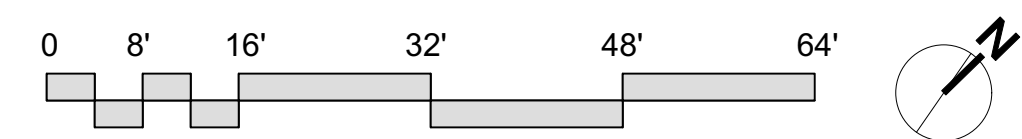


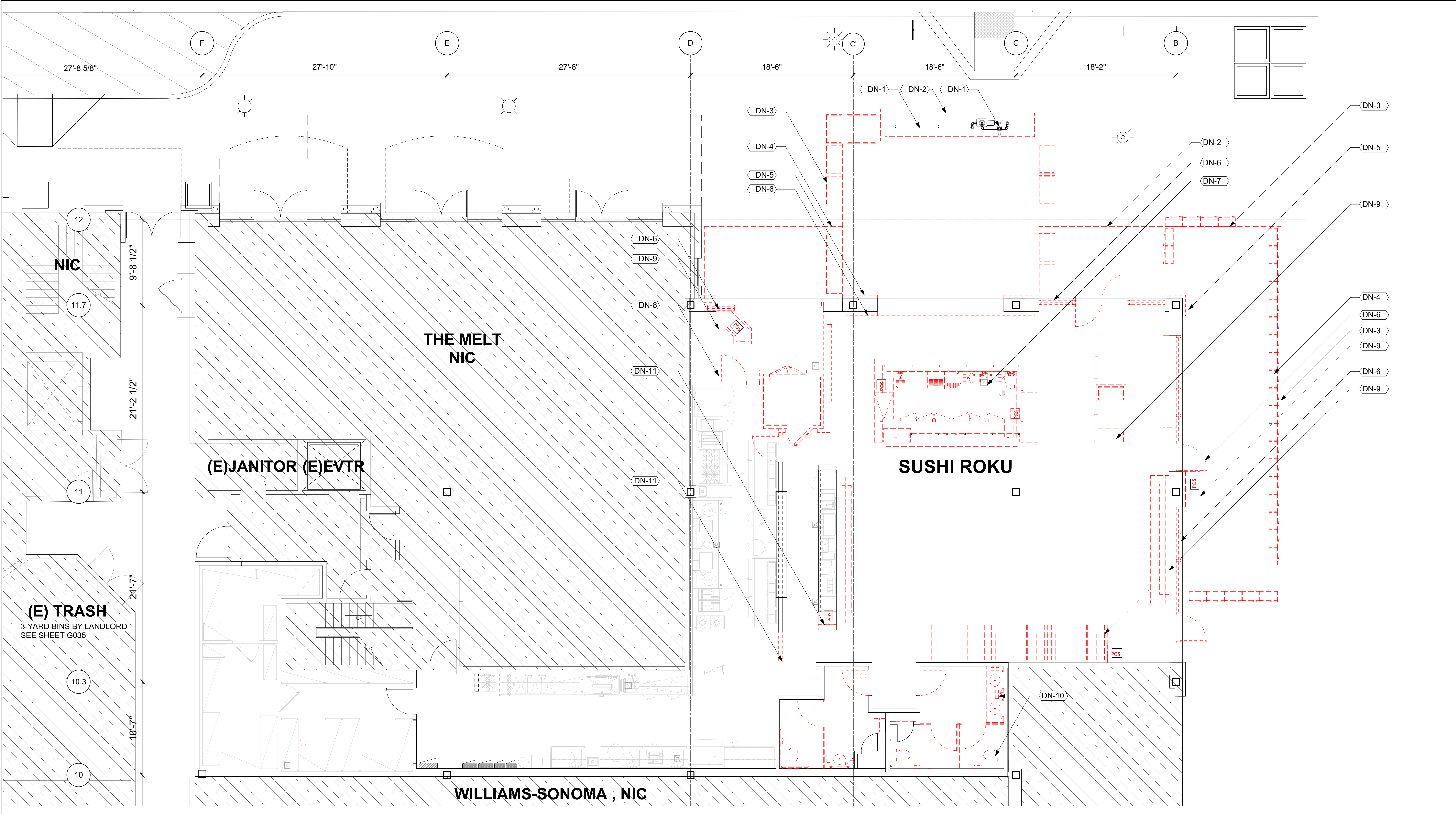
ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal




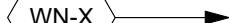
REVISION	DATE	DESCRIPTION
----------	------	-------------

A002
ENLARGED SIDEWALK & PROMENADE

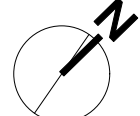
SCALE: 1/16" = 1'-0"
DATE: 07.19.2022





DEMOLITION PLAN NOTES		DEMOLITION PLAN LEGEND	
DN-1.	(E) GAS METER AND WATER LINE TO REMAIN		NOT IN SCOPE
DN-2.	(E) LOW CONCRETE CURB TO BE DEMOLISHED TO PROVIDE FLUSH CONDITION AT PLANTER		(E) CONSTRUCTION TO REMAIN
DN-3.	(E) PLANTERS TO BE REMOVED, TYPICAL		(E) CONSTRUCTION TO BE REMOVED
DN-4.	(E) CANOPY TO BE DEMOLISHED; (E) CANOPY STRUCTURE TO REMAIN TO BE REFINISHED AND REUSED		PLAN NOTES; REFER TO "DEMOLITION PLAN NOTES" LIST ON THIS SHEET
DN-5.	PREPARE (E) WALL FINISH FOR NEW WALL TILE		
DN-6.	(E) ENTRY DOORS AND STOREFRONT SYSTEMS TO BE DEMOLISHED		
DN-7.	(E) COUNTER TOP AND DIE WALL TO BE DEMOLISHED; BAR EQUIPMENT TO BE REMOVED AND SAFE FOR REUSE PER TENANT, IF NEEDED.		
DN-8.	(E) INTERIOR DOORS TO BE DEMOLISHED AND REPLACED		
DN-9.	(E) MILLWORK TO BE DEMOLISHED, TYPICAL		
DN-10.	(E) PLUMBING FIXTURES, BATHROOM ACCESSORIES TO BE REMOVED AND REPLACED IN PLACE		
DN-11.	PORTIONS OF (E) INTERIOR WALLS TO BE DEMOLISHED.		

0 4' 8' 12' 16' 20'



FIN WJW

FIN WUATNO ARCHITECTS LLP

10000 Washington Boulevard
Suite 600
Culver City, CA 90232

IDG

INNOVATIVE DINING GROUP

SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal
REVISION	DATE	DESCRIPTION

A101

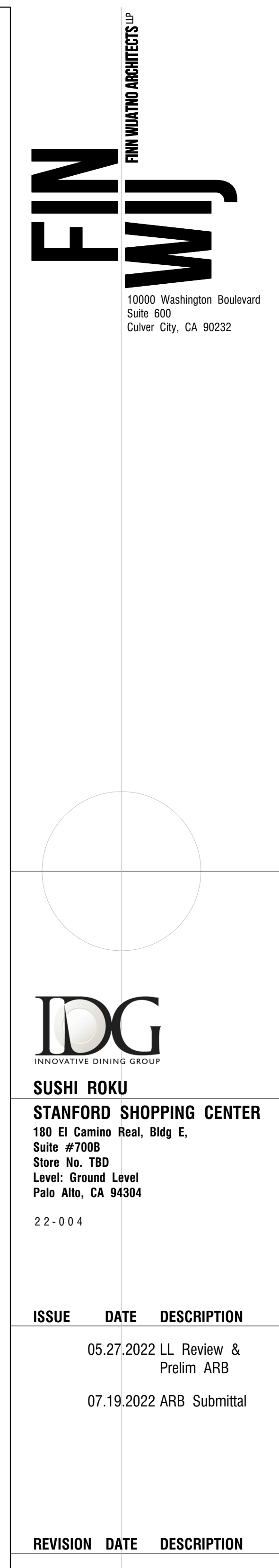
EXISTING CONDITION / DEMO PLAN

SCALE:

DATE:

3/16" = 1'-0"

07.19.2022



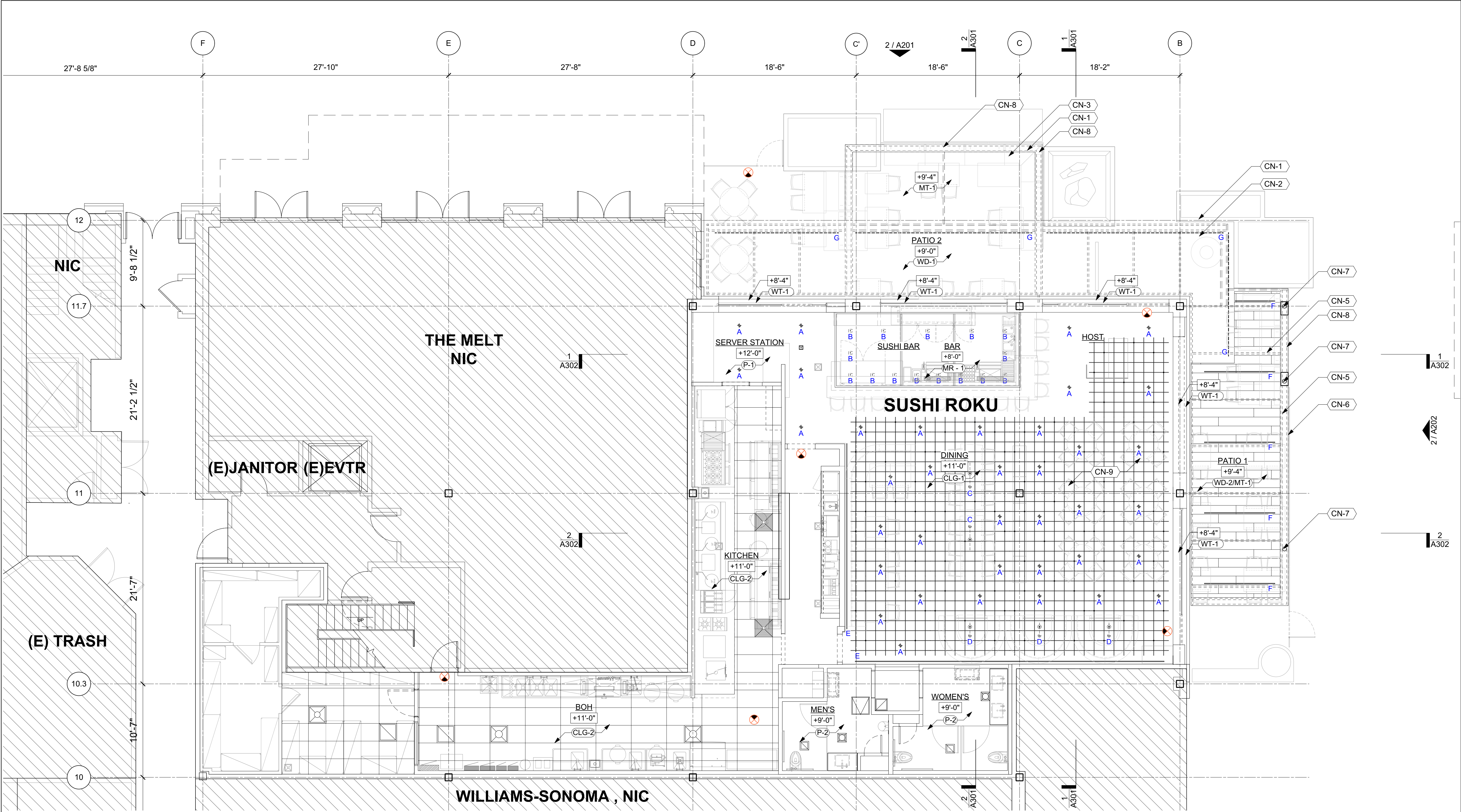
REVISION	DATE	DESCRIPTION
----------	------	-------------















A111

PROPOSED PLAN




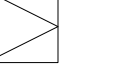


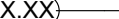

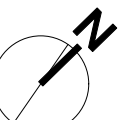
SCALE: 3/16" = 1'-0"

DATE: 07.19.2022



LIGHTING LEGEND															
SYMBOL	ID	MFG	MODEL	LAMP	QTY.	VENDOR	REMARKS	SYMBOL	ID	MFG	MODEL	LAMP	QTY.	VENDOR	REMARKS
	A	BK Lighting	DENALI SM-3-DE-LED-TR-x101-FL-BLP-12-C-010	12W LED	-	LIGHT	SURFACE MOUNTED DOWNLIGHT		H				-		
	B	DesignPlan	Genius - Naked BU1061BL4R40M.27.WD.US	8.5W LED	-	PLP	RECESS DOWNLIGHT		J				-		
	C	ARTEMIDE	nh S1 14 Suspension	5W LED	-	PLP	DECORATIVE PENDANT - 19" Rod		K				-		
	D	ARTEMIDE	nh S2 14 Suspension	5W LED	-	PLP	DECORATIVE PENDANT - 34" Rod		L				-		
	E	CORE	PROFILE: ALP 2700TL LED TAPE: LRB-1348-27K-24V	8.8W/FT	-	-	LED STRIP WALL WASHER		M				-		
	F	CORE	PROFILE: ALP 80 LED TAPE: LSMW60-27K-8'-24	6W/FT	-	PLP	EXTERIOR CANOPY STRIP DOWNLIGHT		X	DUAL-LITE	LES SERIES	2.5-4W LED	-	PLP	EMERGENCY EGRESS EXIT SIGN
	G	CORE	PROFILE: ALP 20 LED TAPE: LSMW60-27K-length-24	6W/FT	-	PLP	EXTERIOR CANOPY BACKLIGHTING		Y	DUAL-LITE	CLML SERIES	10W LED	-	PLP	EMERGENCY EGRESS LIGHTING

REFLECTED CEILING PLAN NOTES	
CN-1. EXISTING TUBE STEEL CANOPY STRUCTURE, STRUCTURAL TO VERIFY ADDED WOOD SCREEN ATTACHMENT & WEIGHT	
CN-2. NEW 2X2 WOOD SCREEN SUPPORTED BY TUBE STEEL FRAME WORK ATTACHED TO EXISTING STEEL CANOPY	
CN-3. NEW MOTORIZED CANOPY LOUVER SYSTEM	
CN-4. EXISTING TUBE STEEL CANOPY STRUCTURE, STRUCTURAL ENGINEER TO VERIFY ADDED MOTORIZED CANOPY WEIGHT	
CN-5. EXISTING TUBE STEEL CANOPY STRUCTURE, TENANT G.C. TO REMOVE EXISTING DIAGONAL BRACING, INSTALL NEW COLUMN SUPPORTS ALONG FRONT EDGE OF CANOPY STRUCTURE	
CN-6. TENANT G.C. TO CLOSE OPEN CANOPY STRUCTURE WITH NEW METAL PANEL FINISH	
CN-7. NEW CANOPY SUPPORT COLUMN	
CN-8. POSSIBLE ROLLER SHADE INSTALLED IN EXISTING CANOPY	
CN-9. SUSPENDED ACOUSTICAL CEILING PANELS	

REFLECTED CEILING PLAN LEGEND	
	AREA OF NEW CEILING
	LIGHT FIXTURE (SEE SCHEDULE) FIXTURE TYPE, TYP. (SEE SCHEDULE)
	EXIT SIGN
	ACCESS PANEL
	CEILING MOUNTED DEVICES
	REFLECTED CEILING NOTES; REFER TO "REFLECTED CEILING PLAN NOTES" LIST ON THIS SHEET
	MATERIALS KEYNOTE; REFER TO SHEET G002 - FINISH MATERIAL SCHEDULE
	
	

FIN WJ

FIN MUATNO ARCHITECTS LLP

10000 Washington Boulevard
Suite 600
Culver City, CA 90232

IDG

INNOVATIVE DINING GROUP

SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

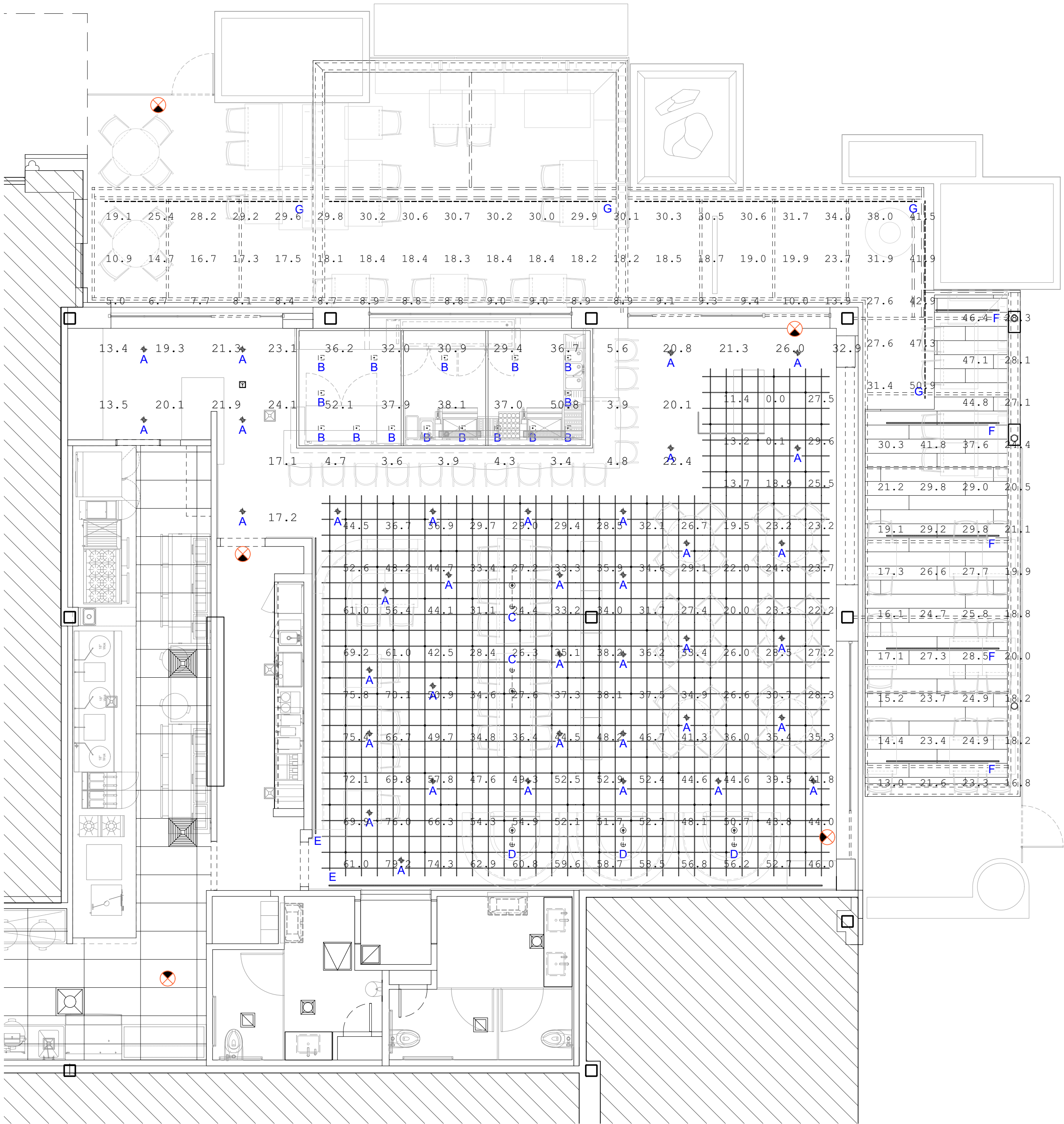
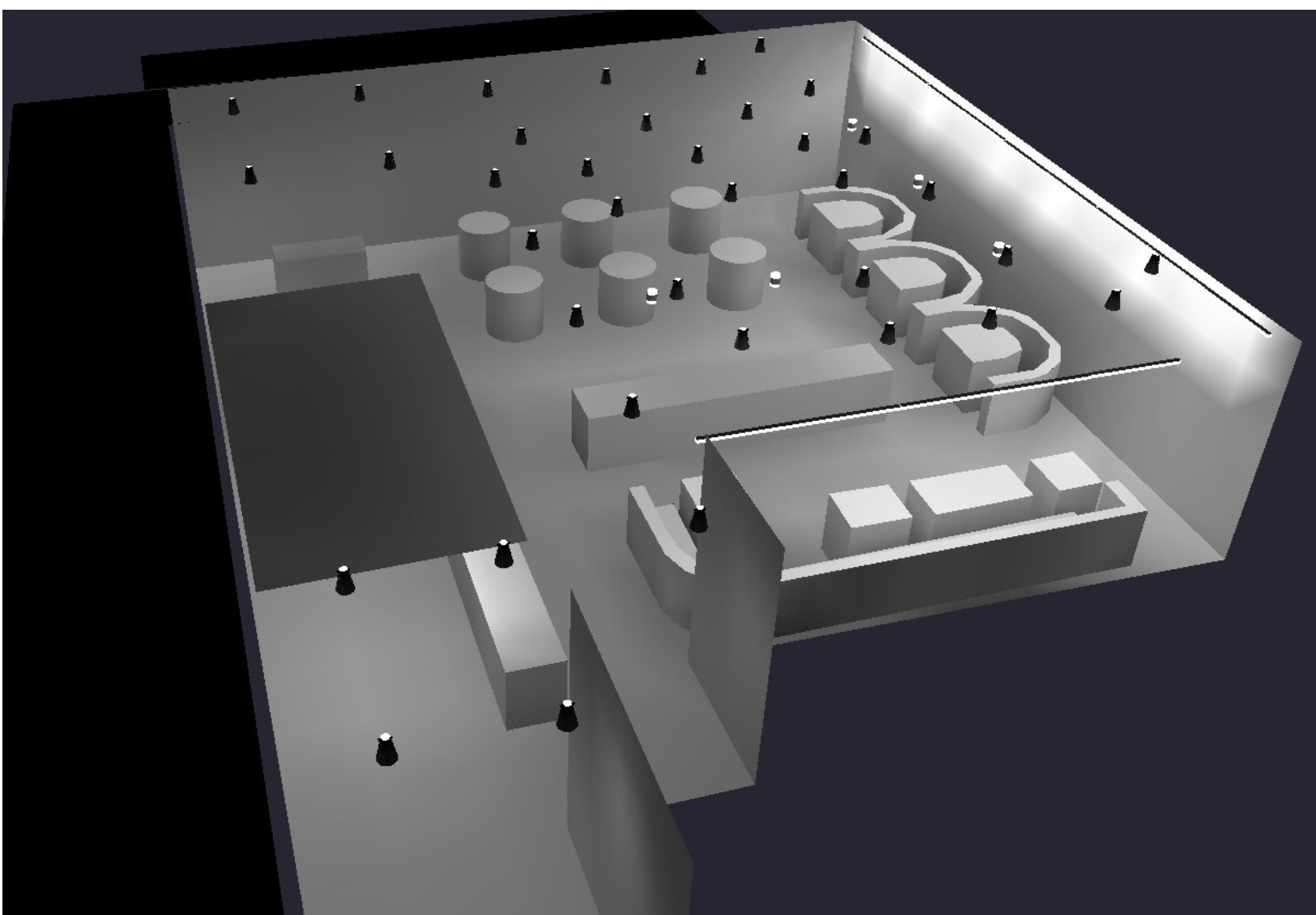
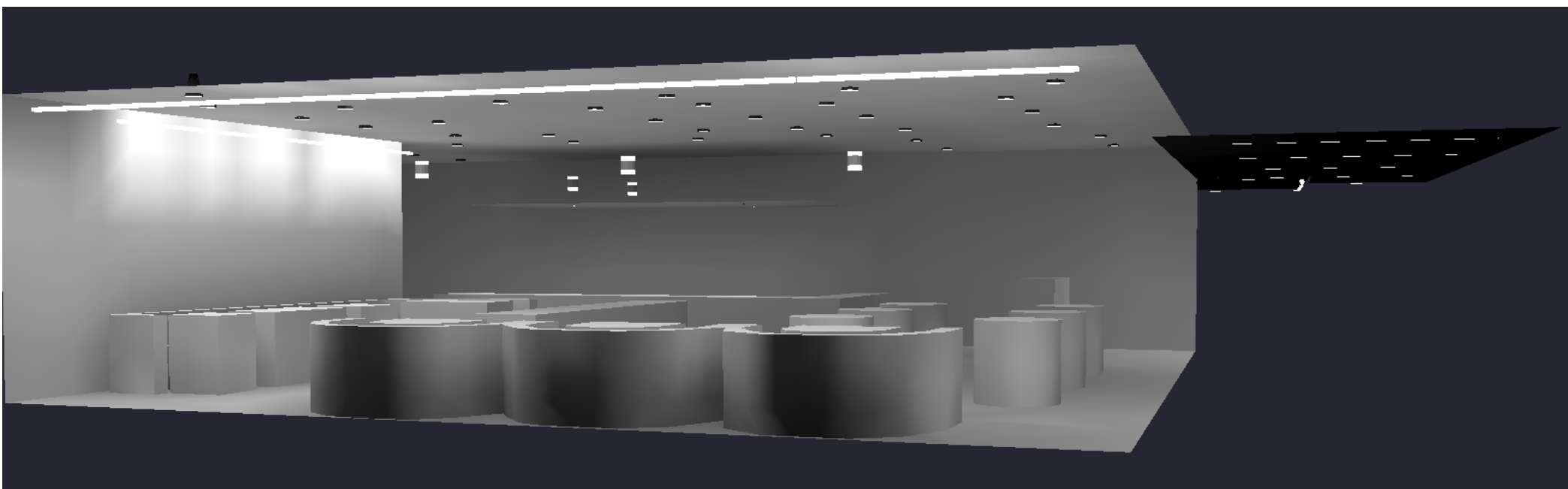
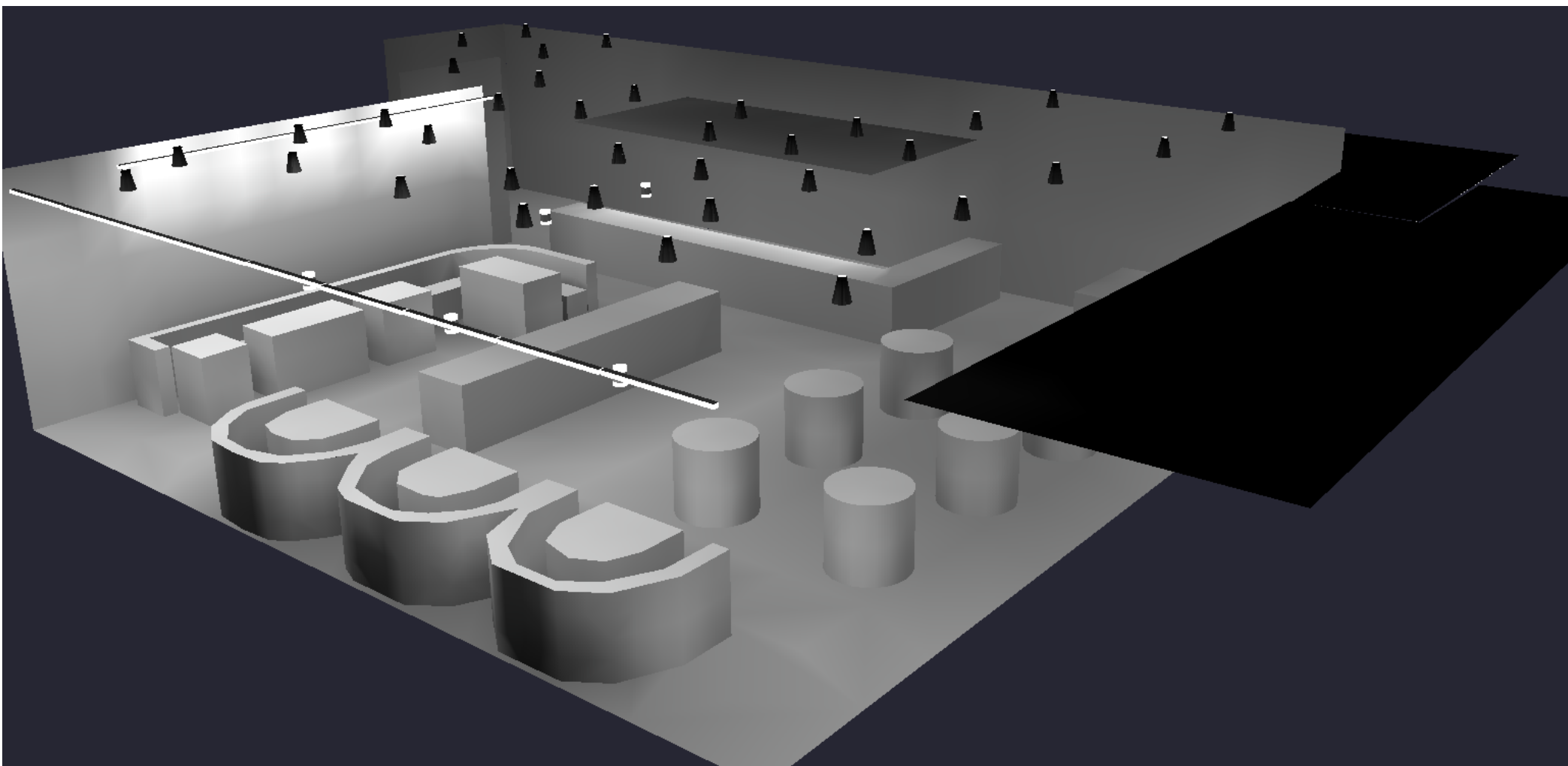
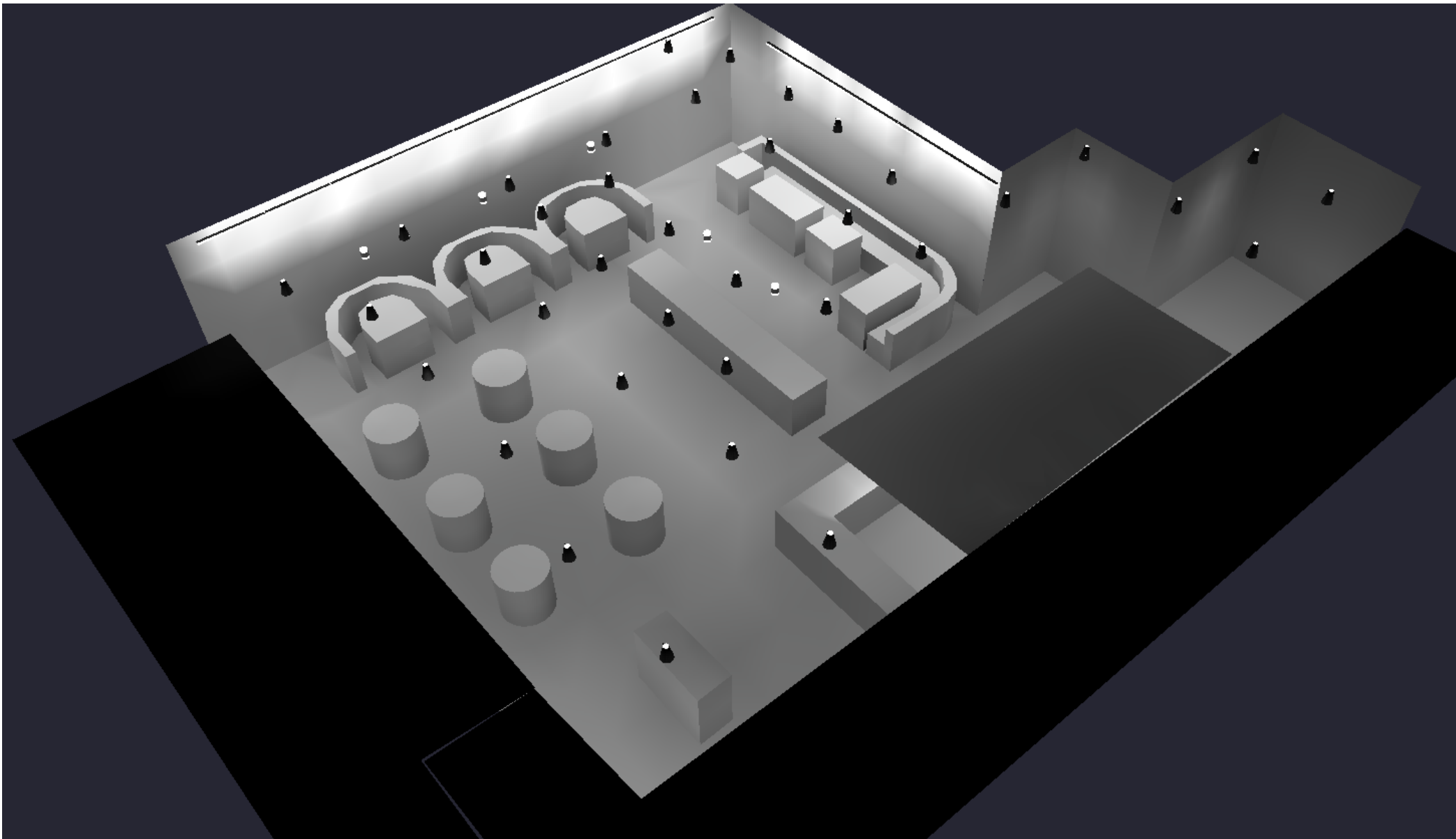
REVISION	DATE	DESCRIPTION

A121

PROPOSED RCP

SCALE: 3/16" = 1'-0"

DATE: 07.19.2022



CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
MAIN DINING GRID CLG	FC	41.27	79.2	0.0	N.A.	N.A.
NON GRID (TOP SUSHI BAR AREA)	FC	22.05	52.1	3.4	6.49	15.32
PATIO RIGHT	FC	25.31	47.1	13.0	1.95	3.62
PATIO TOP	FC	21.77	50.9	5.0	4.35	10.18

READINGS TAKEN AT 3'0" AFF (APPROXIMATE TABLE HEIGHT)

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

A122

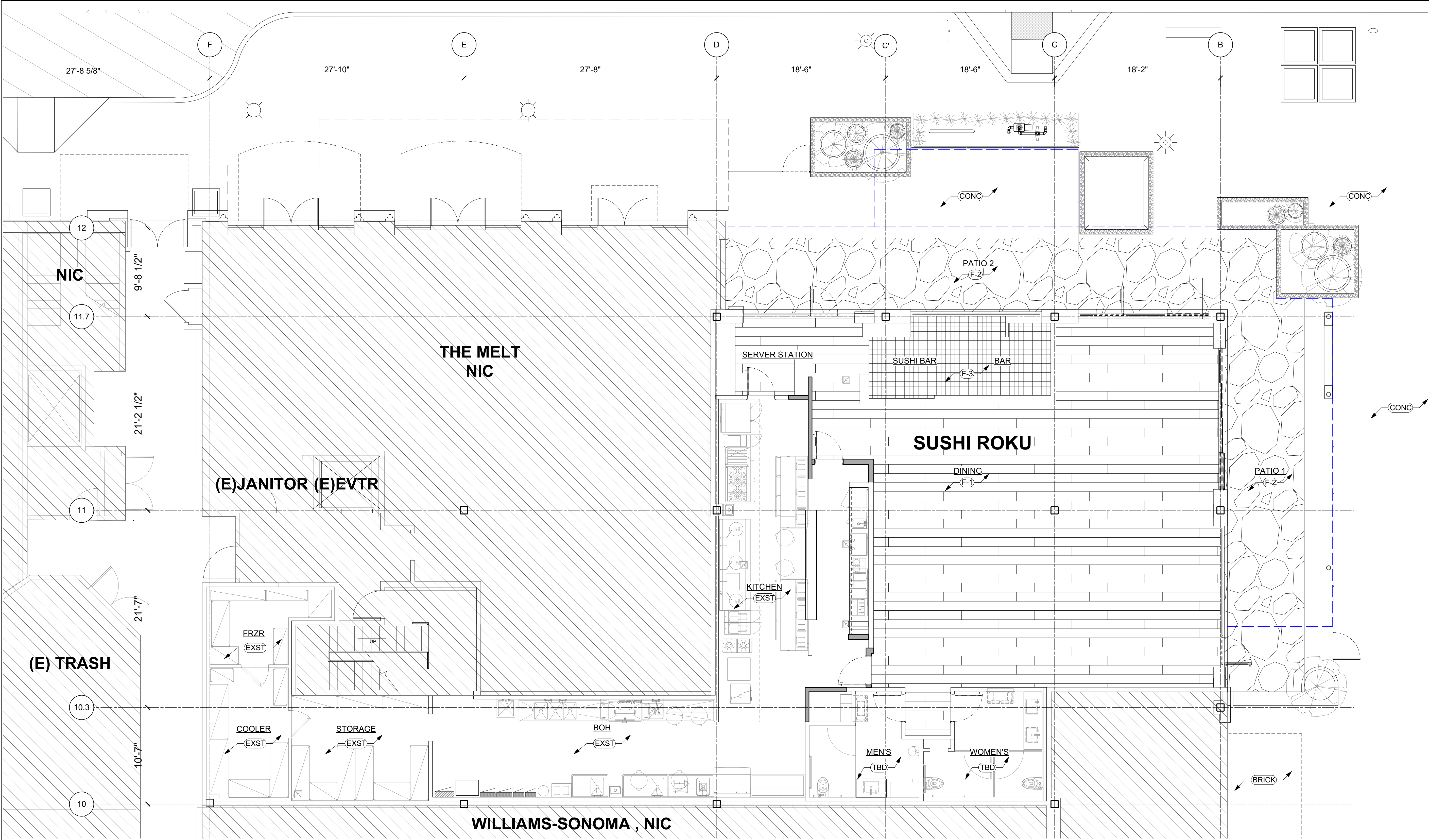
PHOTOMETRIC PLAN

SCALE:

3/16" = 1'-0"

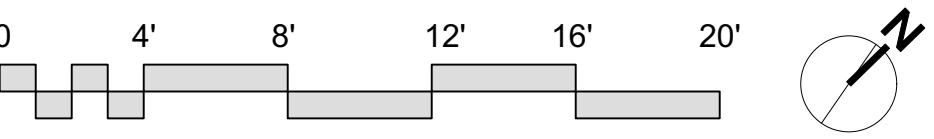
DATE:

07.19.2022



FINISH FLOOR PLAN LEGEND

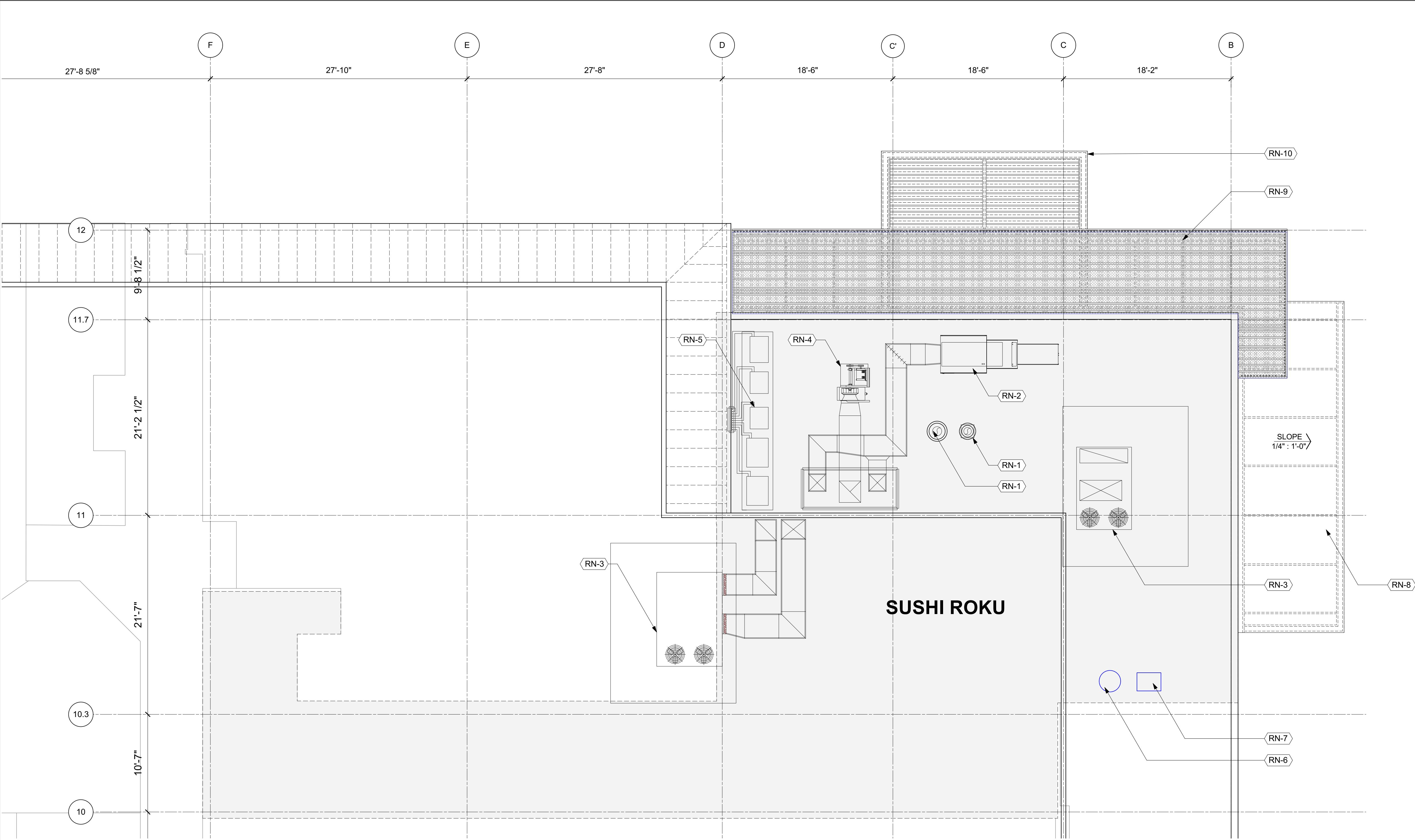
- NOT IN SCOPE
- MATERIAL KEYNOTE: REFER TO G002 FINISH MATERIAL SCHEDULE



ISSUE	DATE	DESCRIPTION
	05.27.2022 LL	Review & Prelim ARB
	07.19.2022 ARB	Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

A131
FINISH PLAN

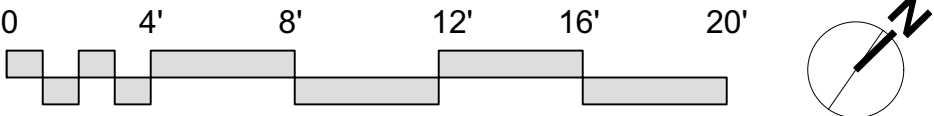


ROOF NOTES

- RN-1. EXISTNG EXHAUST FAN
- RN-2. EXISTING MAKEUP UNIT
- RN-3. EXISTING AIR CONDITIONING UNIT
- RN-4. EXISTING KITCHEN EXHAUST FAN
- RN-5. EXISTING REMOTE CONDENSERS
- RN-6. EXISTING STORAGE TANK
- RN-7. EXISTING GAS WATER HEATER
- RN-8. EXISTING CANOPY STRUCTURE REUSED W/ NEW METAL FINISH
- RN-9. NEW WOOD CANOPY INSTALLED IN EXISTING STEEL STRUCTURE W/ BIRD SCREEN MESH
- RN-10. NEW OPERABLE CANOPY LOUVER SYSTEM INSTALLED IN EXISTING CANOPY STRUCTURE; SEE A121
- 11. N/A

ROOF PLAN LEGEND

- ROOF AREA ABOVE TENANT SPACE #700B
- PLAN NOTES; REFER TO "ROOF NOTES" LIST ON THIS SHEET
- MATERIAL KEYNOTE; REFER TO G002 FINISH MATERIAL SCHEDULE

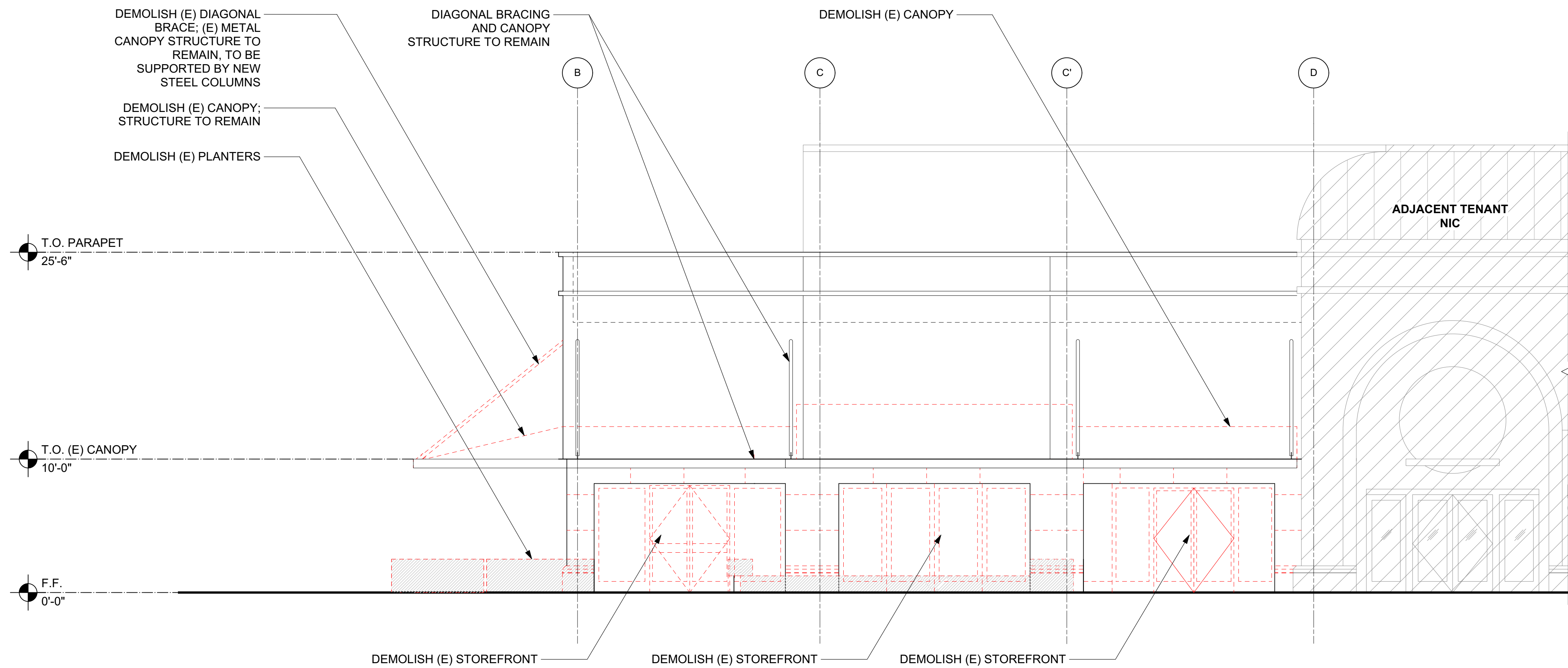
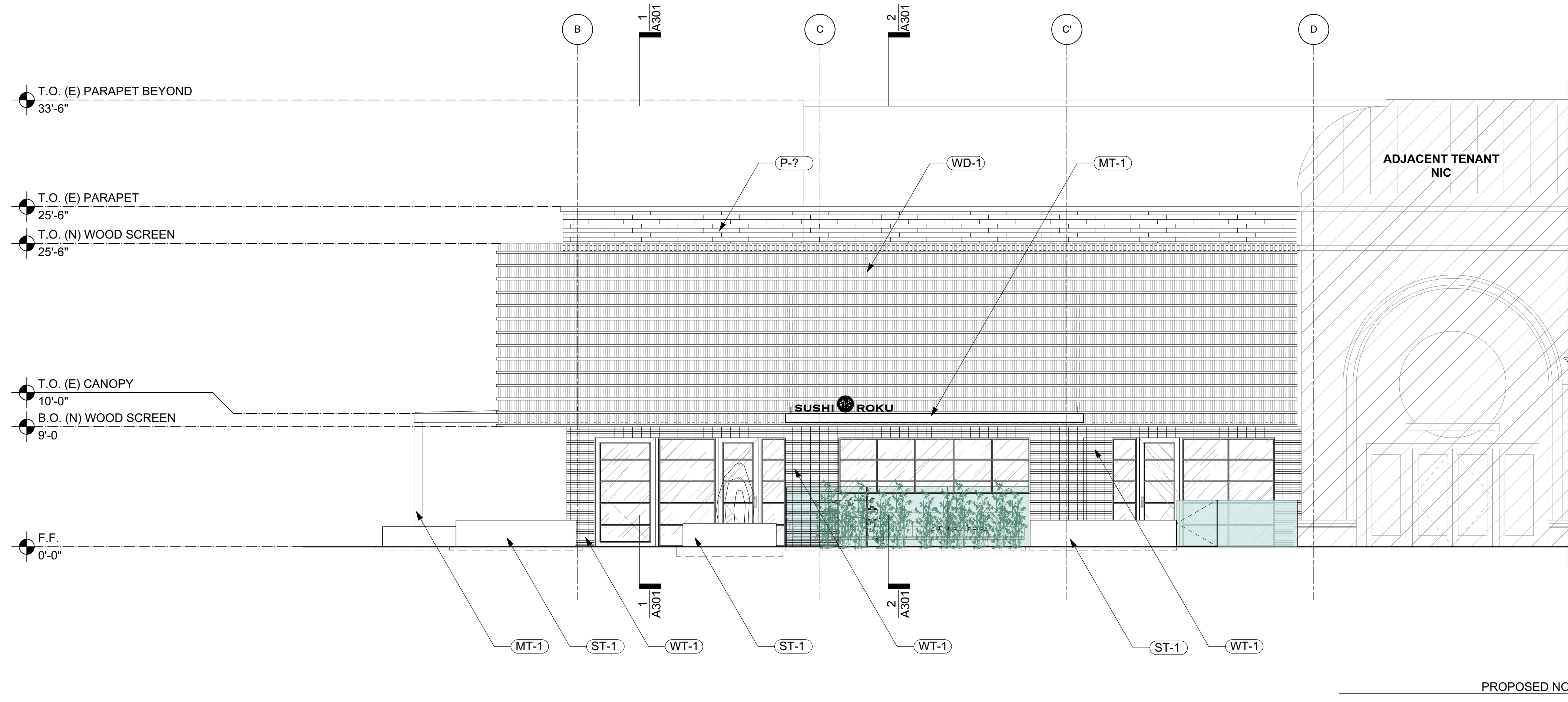


ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB

REVISION	DATE	DESCRIPTION
----------	------	-------------

A141
PARTIAL ROOF PLAN

SCALE: 3/16" = 1'-0"
DATE: 07.19.2022



DEMOLITION LEGEND



NOT IN SCOPE



(E) CONSTRUCTION TO REMAIN



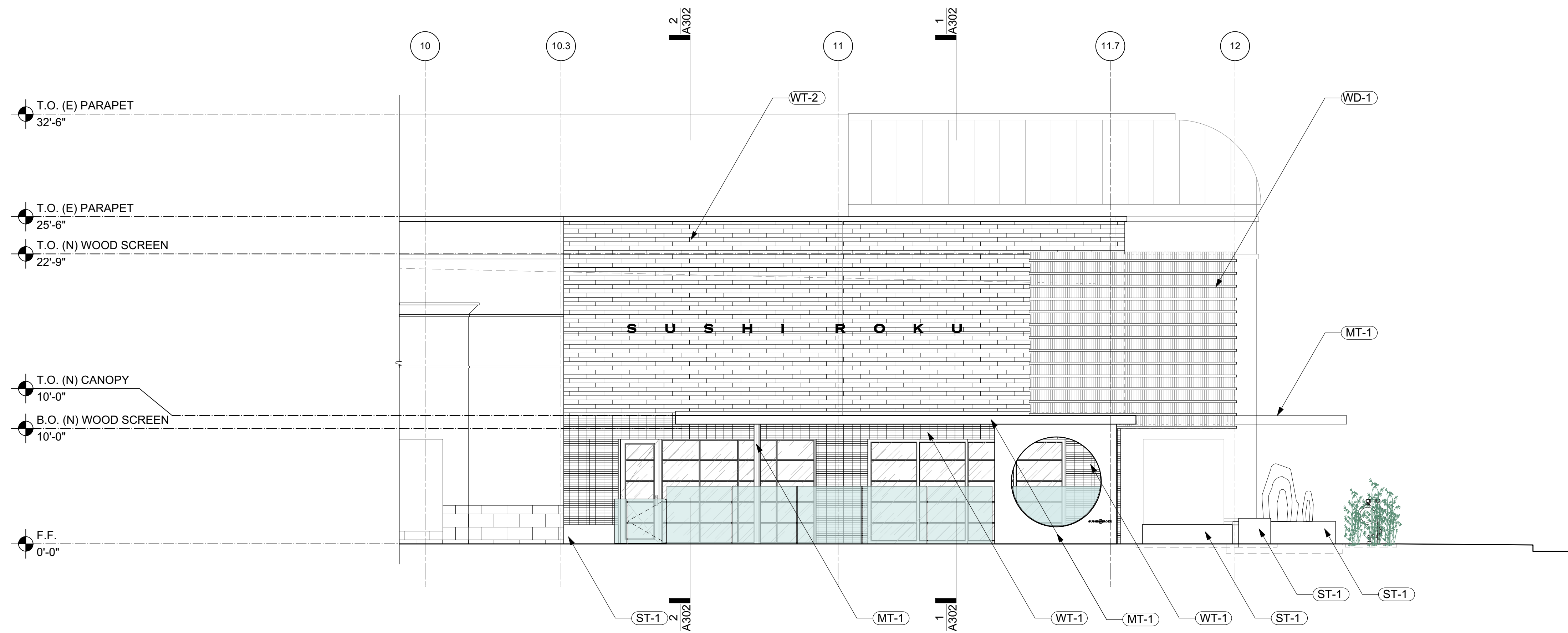
(E) CONSTRUCTION TO BE REMOVED

ISSUE	DATE	DESCRIPTION
08.29.2022	ARB Submittal	Prelim ARB
07.19.2022	ARB Submittal	

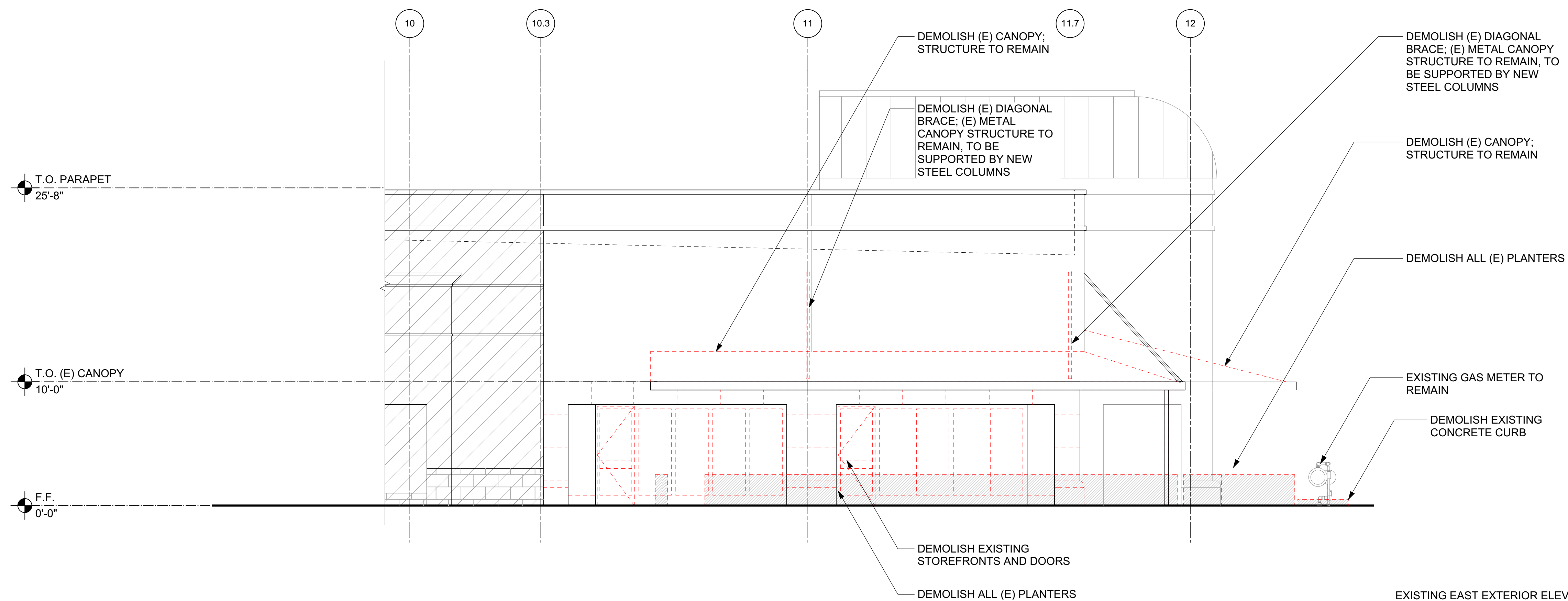
REVISION	DATE	DESCRIPTION
----------	------	-------------

A201
EXISTING AND PROPOSED
EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"
DATE: 07.19.2022



PROPOSED EAST EXTERIOR ELEVATION 2



DEMOLITION LEGEND

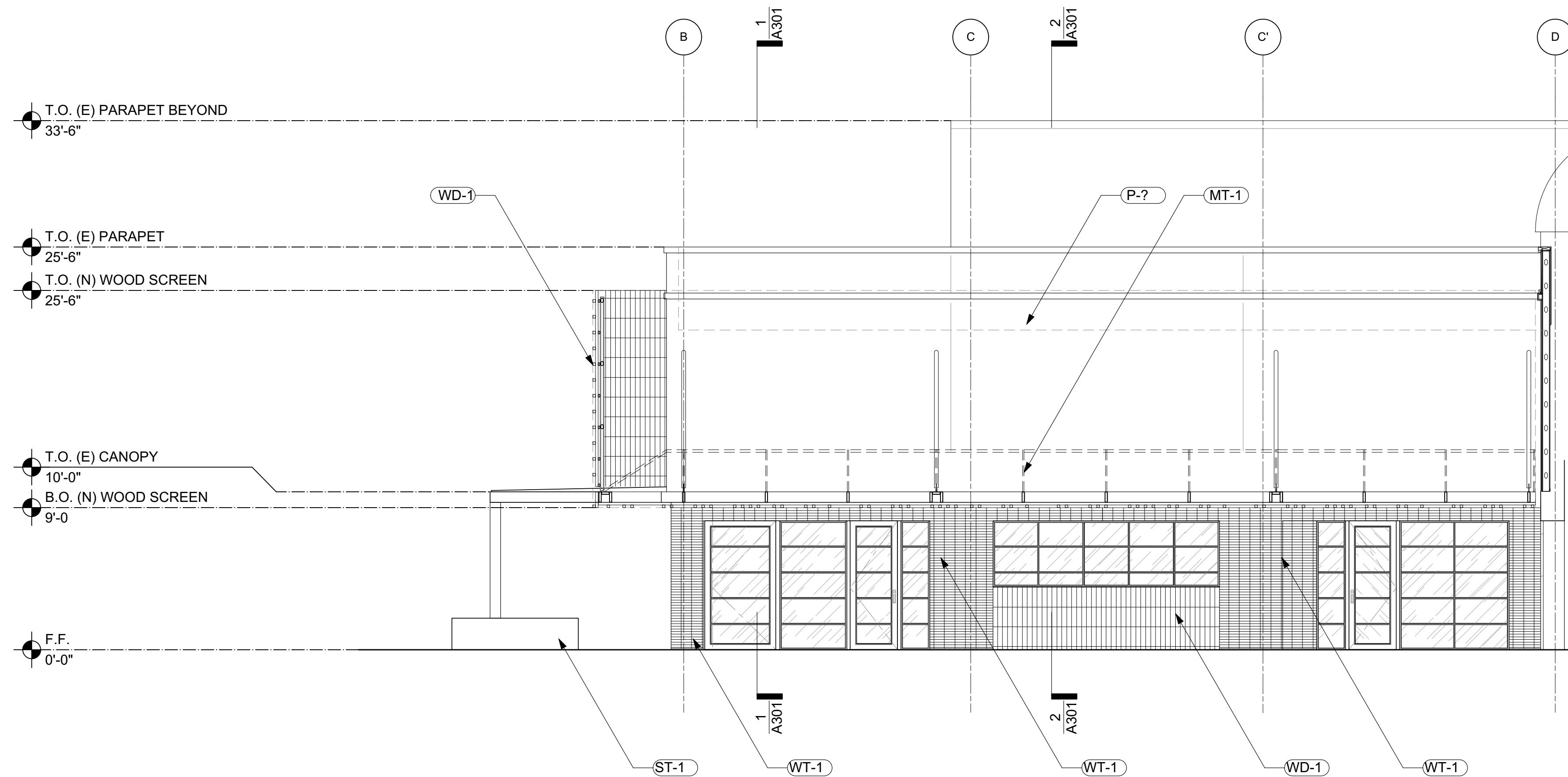
- NOT IN SCOPE
- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

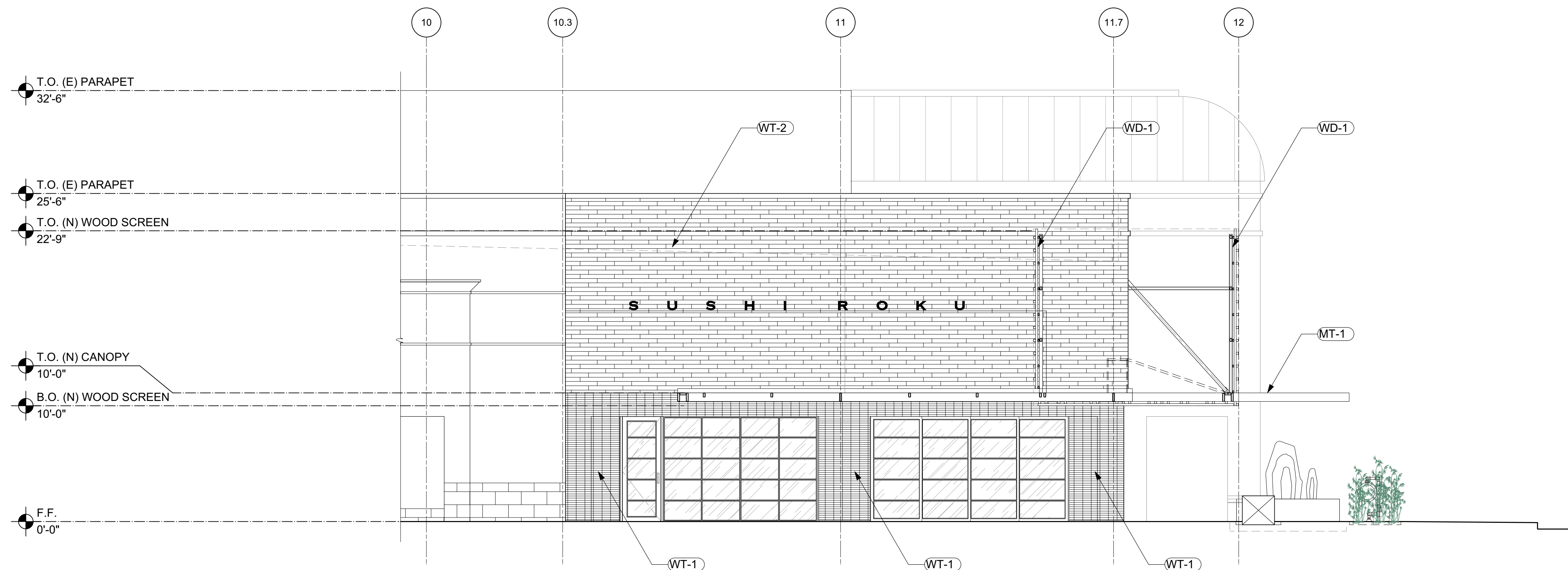
A202
EXISTING AND PROPOSED
EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"
DATE: 07.19.2022



PROPOSED NORTH EXTERIOR ELEVATION - PATIO 2

2



PROPOSED EAST EXTERIOR ELEVATION - PATIO 1

1

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

A203

EXTERIOR PATIO
ELEVATIONS

SCALE: 3/16" = 1'-0"
DATE: 07.19.2022



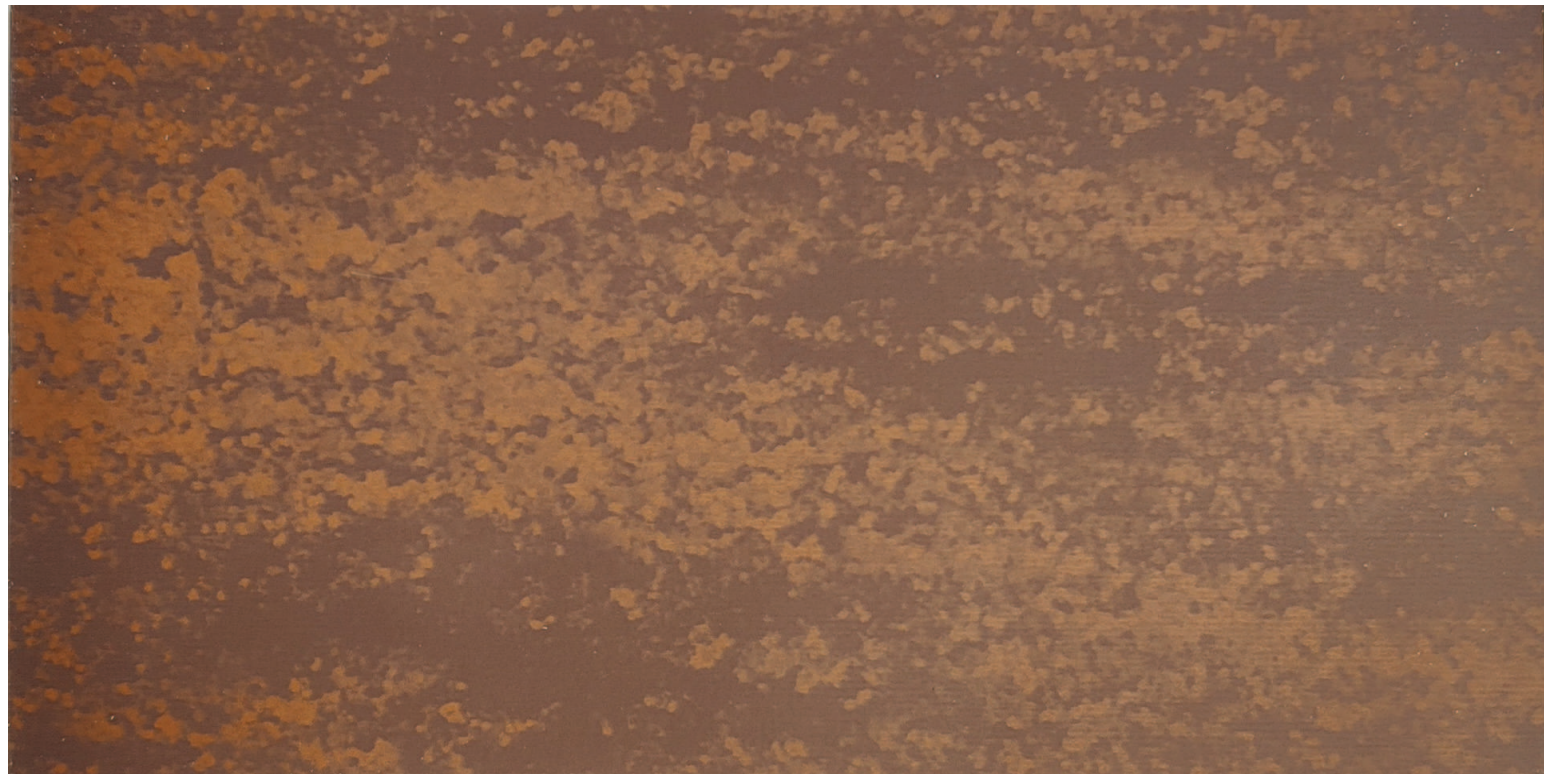
WT-2
FACAD TILE



WD-1
WOOD SCREEN



WD-2
CANOPY CEILING WOOD



MT-1
METAL FINISH



WT-1
WALL TILE



ST-1
PEDESTAL STONE

MATERIAL SCHEDULE

WALL TILE

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	REMARKS
WT-1	WALL TILE	INAX	HOMURA	LIGHT BEIGE	1.75" x 9.25"	SPEC CERAMICS	FACAD WALL TILE
WT-2	WALL TILE	COTTO D'ESTE	CEMENT PROJECT - WORK	COLOR 10	39" x 118"	SPEC CERAMICS	EXTERIOR & INTERIOR WALL TILE

STONE

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	REMARKS
ST-1	STONE	-	STRIATED SPLTFACE BASALT	BLACK	SLAB	-	EXTERIOR PLATFORMS

METAL

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	REMARKS
MT-1	METAL	WESTERN STATES	SPECIALTY SHEET METAL PANELS	CORTEN A2P RAW 22 GA	48"	WESTERN STATES METAL	EXTERIOR METAL FINISH

WOOD

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	REMARKS
WD-1	WOOD	-	NATURAL ACCOYA WOOD SLATS	NATURAL SEALER	2 x 2	-	EXTERIOR CANOPY WOOD SCREEN
WD-2	WOOD	-	NATURAL ACCOYA WOOD PLANK	NATURAL SEALER	6" WIDTH	-	CANOPY WOOD PLANK





VIEW OF PATIO 2 FROM SIDEWALK 3



VIEW OF MAIN ENTRY 1



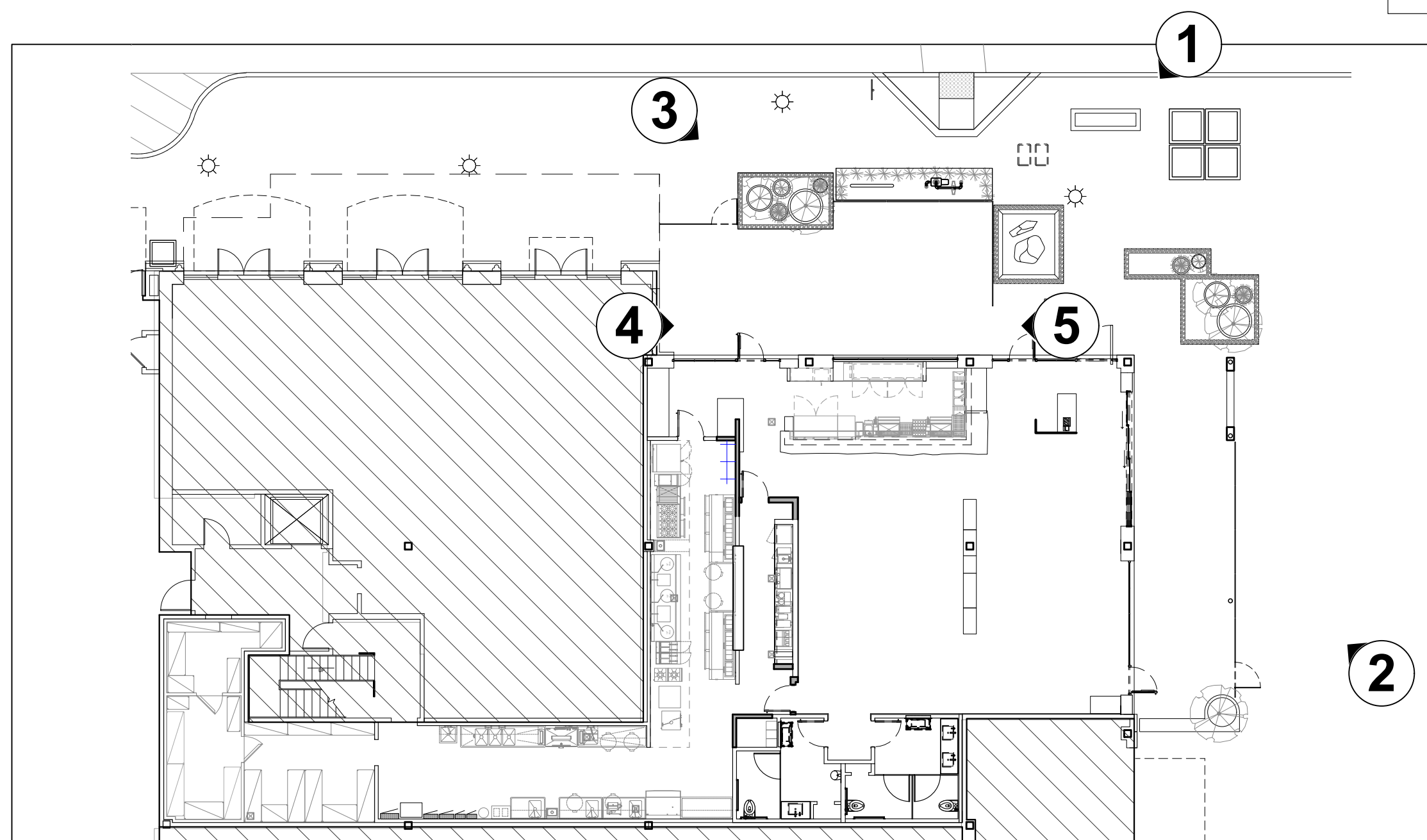
VIEW OF INTERIOR OF PATIO 2 4



VIEW OF PATIO 1 FROM PROMENADE 2



VIEW OF PATIO 2 FROM MAIN ENTRY 5



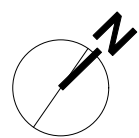
ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

A211

EXTERIOR RENDERINGS

SCALE: NTS
DATE: 07.19.2022





VIEW FROM HOST STAND 3



VIEW OF DINING ROOM TOWARDS MAIN ENTRY 1



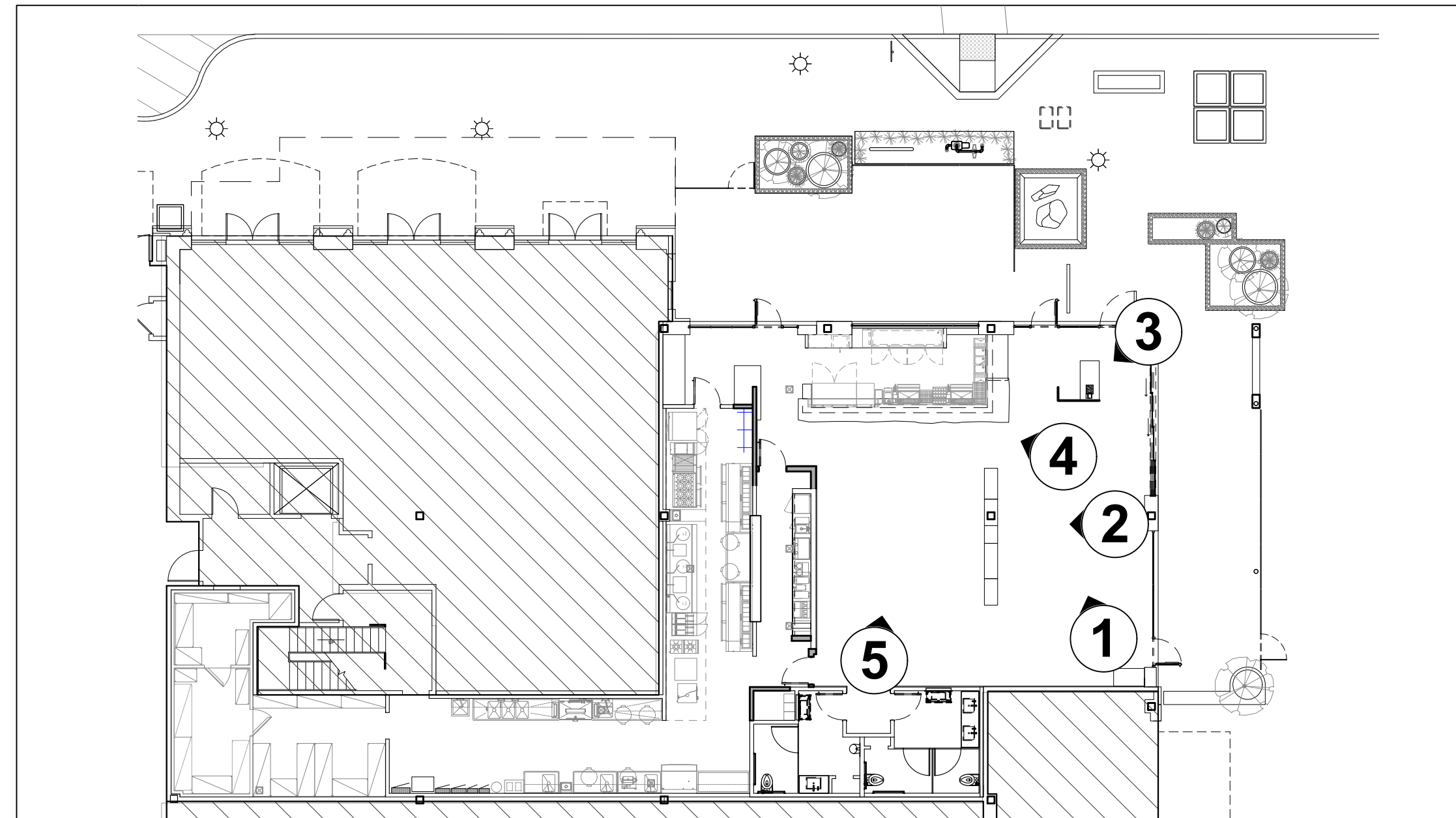
VIEW OF BAR 4



VIEW OF DINING ROOM TOWARDS BAR 2



VIEW OF DINING ROM FROM BANQUETTES 5



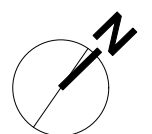
ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

A212

INTERIOR RENDERINGS

SCALE:
DATE: 07.19.2022





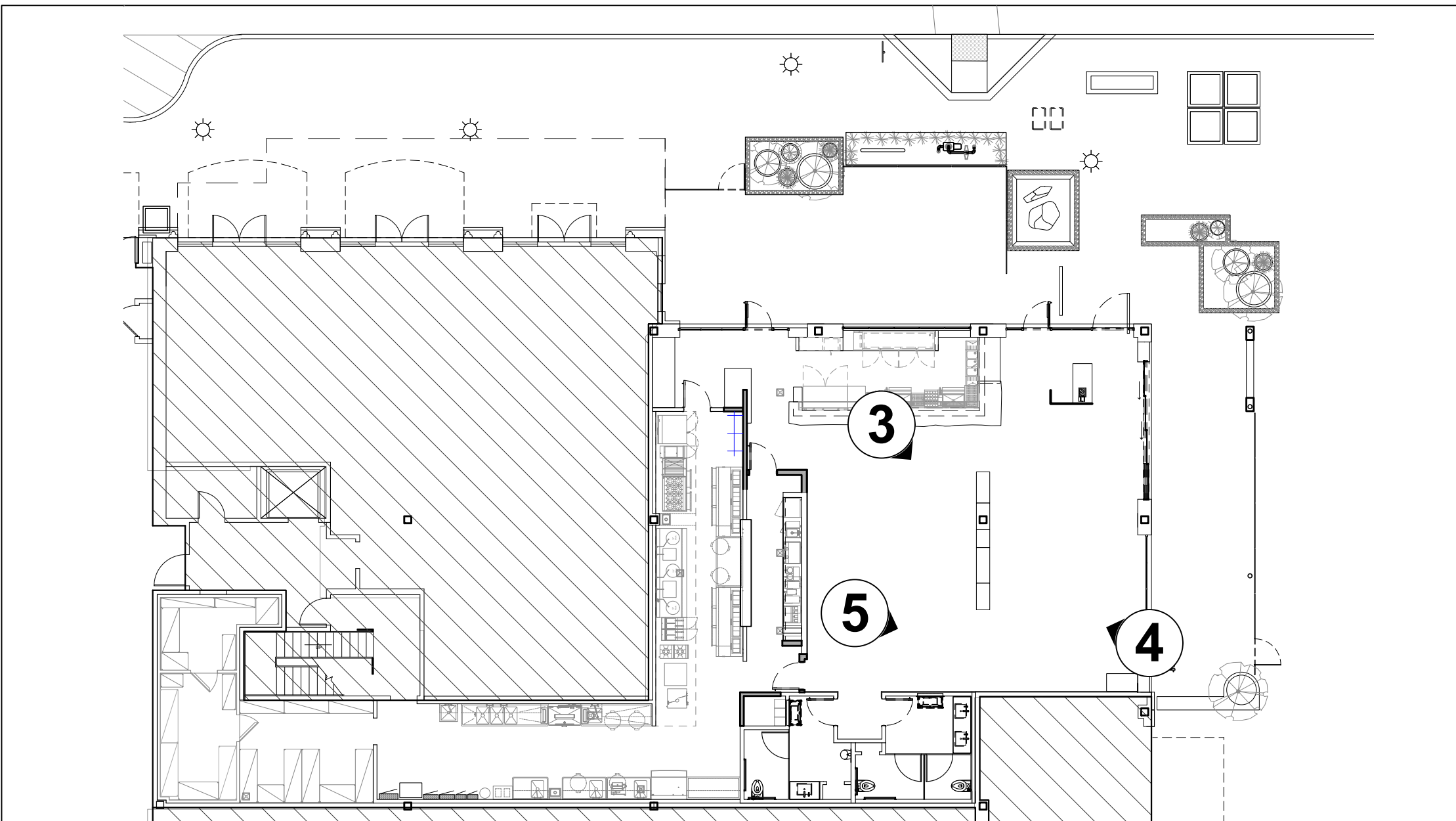
VIEW OF DINING ROOM FROM BAR 3



VIEW OF DINING ROOM FROM BANQUETTES 4



VIEW OF BANQUETTES 5



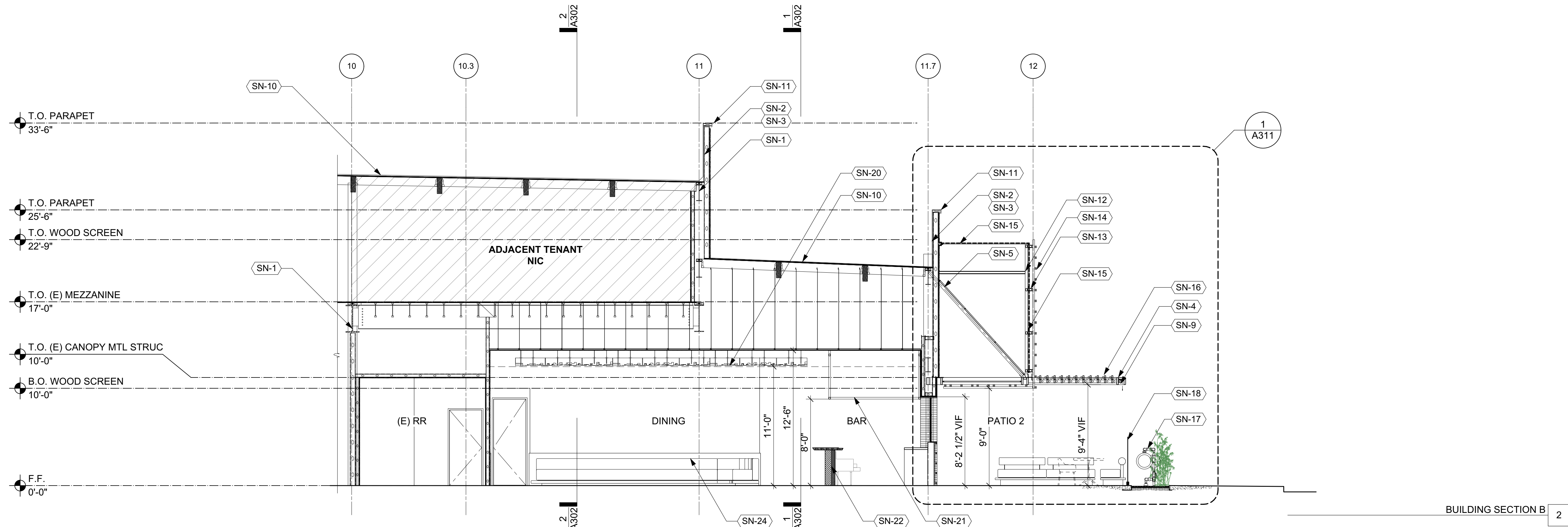
ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

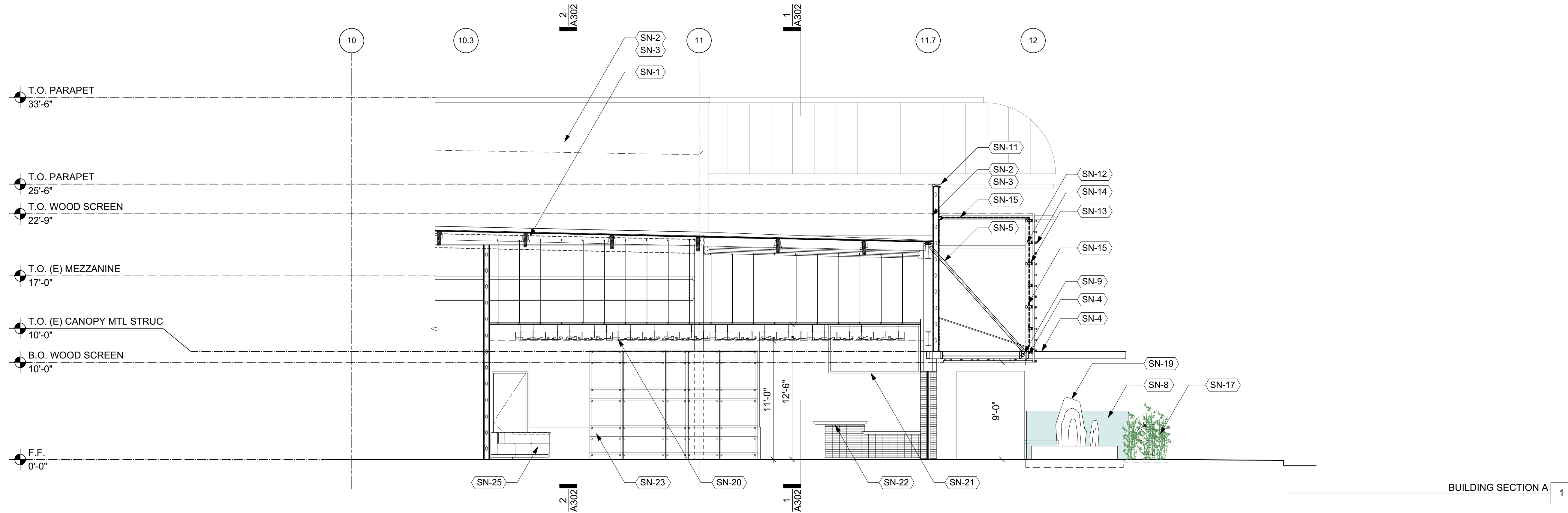
A213

INTERIOR RENDERINGS

SCALE: NTS
DATE: 07.19.2022



BUILDING SECTION B 2



BUILDING SECTION A 1

SECTION NOTES

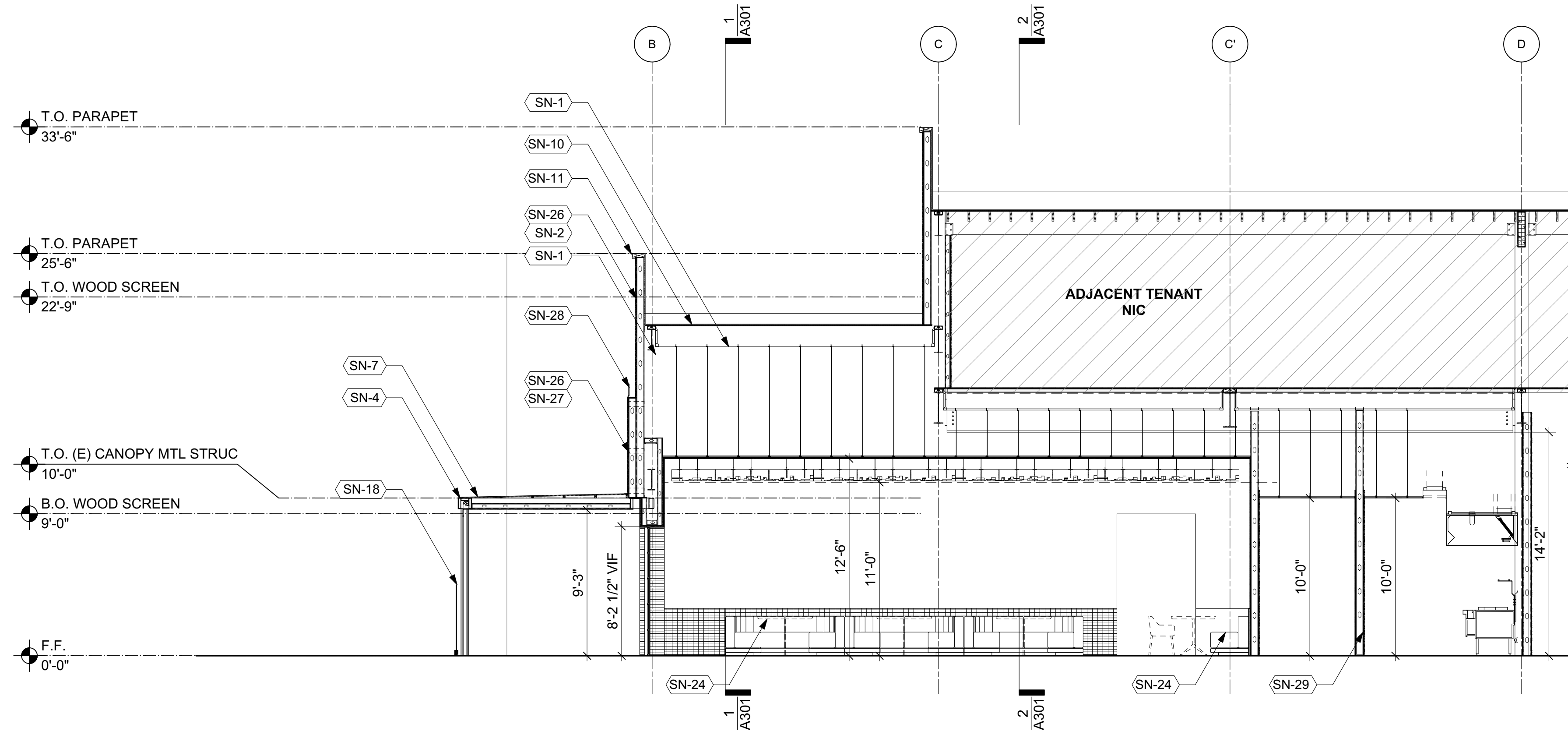
- | | | | |
|---|---|---|---|
| SN-1. EXISTING STRUCTURAL BEAM TO REMAIN | SN-9. NEW ROLLER SHADE INSTALLED IN EXISTING CANOPY CAVITY | SN-17. EXISTING GAS METER & WATER LINE TO REMAIN | SN-25. NEW INTERIOR BOOTH SEATING, TBD |
| SN-2. EXISTING METAL WALL FRAMING TO REMAIN | SN-10. EXISTING ROOFING MATERIAL TO REMAIN, TENANT G.C. TO PATCH AND REPAIR ANY DAMAGED AREAS TO LIKE NEW CONDITION | SN-18. NEW GLASS RAILING, 54" A.F.F. | SN-26. NEW EXTERIOR WALL TILE FINISH PER PLANS |
| SN-3. EXISTING PLASTER FINISH TO REMAIN, G.C. TO PATCH AND REPAIR DAMAGED AREAS TO LIKE NEW CONDITION | SN-11. EXISTING ROOF PARAPET TO REMAIN | SN-19. NEW EXTERIOR WATER FEATURE W/ LARGE STONES | SN-27. NEW 6" METAL STUD WALL FURRING |
| SN-4. EXISTING 2X8 TUBE STEEL CANOPY STRUCTURE TO REMAIN | SN-12. NEW 3x3 VERTICAL TUBE STEEL @48" O.C., ATTACHED TO TOP OF EXISTING 2x8 TUBE STEEL CANOPY STRUCTURE, W/ 2x3 TUBE STEEL TIE BACK SUPPORTS CONNECTED TO EXISTING BUILDING STRUCTURE | SN-20. NEW SUSPENDED ACOUSTICAL BAFFLE CEILING SYSTEM | SN-28. NEW 9" TALL BACKLIT STOREFRONT SIGNAGE |
| SN-5. EXISTING TUBE STEEL DIAGONAL BRACING TO REMAIN | SN-13. NEW 2x3 HORIZONTAL TUBE STEEL @48" O.C., ATTACHED TO 3x3 VERTICAL TUBE STEEL STRUCTURE, FOR WOOD SLAT SCREEN SUPPORT STRUCTURE | SN-21. NEW BAR SOFFIT | SN-29. EXISTING INTERIOR METAL WALL FRAMING TO REMAIN. TENANT G.C. TO REPAIR AS NEEDED AND PREP FOR NEW INTERIOR FINISHES |
| SN-6. EXISTING TUBE STEEL CANOPY STRUCTURE, TENANT G.C. TO REMOVE EXISTING DIAGONAL BRACING, INSTALL NEW COLUMN SUPPORTS ALONG FRONT EDGE OF CANOPY STRUCTURE | SN-14. NEW 2x2 WOOD SLAT SCREEN WALL | SN-22. NEW BAR DIE WALL & WOOD COUNTER TOP | |
| SN-7. TENANT G.C. TO CLOSE EXISTING CANOPY STRUCTURE WITH NEW METAL PANEL FINISH, SLOPE ROOF 1/4":1'-0" | SN-15. NEW 1x1 TUBE STEEL FRAME W/ BIRD SCREEN MESH | SN-23. NEW INTERIOR DECORATIVE SHELIVING, TBD | |
| SN-8. NEW CANOPY SUPPORT COLUMN | SN-16. NEW OPERABLE CANOPY LOUVER SYSTEM INSTALLED IN EXISTING CANOPY STRUCTURE | SN-24. NEW INTERIOR BANQUETTE SEATING, TBD | |

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

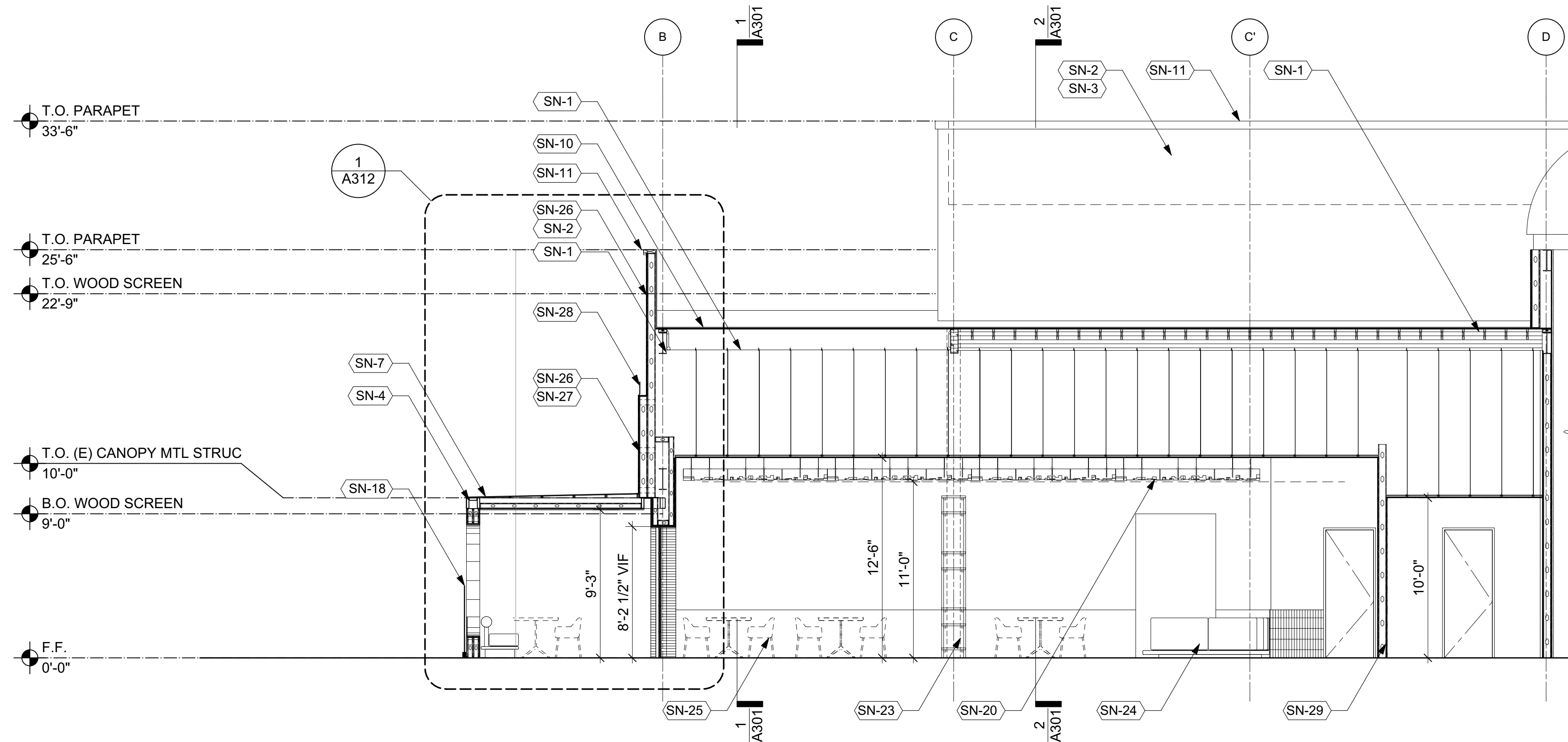
A301
BUILDING SECTIONS

SCALE: 3/16" = 1'-0"
DATE: 07.19.2022



BUILDING SECTION D

2



BUILDING SECTION C

1

SECTION NOTES

- SN-1. EXISTING STRUCTURAL BEAM TO REMAIN

SN-2. EXISTING METAL WALL FRAMING TO REMAIN

SN-3. EXISTING PLASTER FINISH TO REMAIN, G.C. TO PATCH AND REPAIR DAMAGED AREAS TO LIKE NEW CONDITION

SN-4. EXISTING 2X8 TUBE STEEL CANOPY STRUCTURE TO REMAIN

SN-5. EXISTING TUBE STEEL DIAGONAL BRACING TO REMAIN

SN-6. EXISTING TUBE STEEL CANOPY STRUCTURE, TENANT G.C. TO REMOVE EXISTING DIAGONAL BRACING, INSTALL NEW COLUMN SUPPORTS ALONG FRONT EDGE OF CANOPY STRUCTURE

SN-7. TENANT G.C. TO CLOSE EXISTING CANOPY STRUCTURE WITH NEW METAL PANEL FINISH, SLOPE ROOF 1/4":1'-0"

SN-8. NEW CANOPY SUPPORT COLUMN
- SN-9. NEW ROLLER SHADE INSTALLED IN EXISTING CANOPY CAVITY

SN-10. EXISTING ROOFING MATERIAL TO REMAIN, TENANT G.C. TO PATCH AND REPAIR ANY DAMAGED AREAS TO LIKE NEW CONDITION

SN-11. EXISTING ROOF PARAPET TO REMAIN

SN-12. NEW 3x3 VERTICAL TUBE STEEL @48" O.C., ATTACHED TO TOP OF EXISTING 2x8 TUBE STEEL CANOPY STRUCTURE, W/ 2x3 TUBE STEEL TIE BACK SUPPORTS CONNECTED TO EXISTING BUILDING STRUCTURE

SN-13. NEW 2x3 HORIZONTAL TUBE STEEL @48" O.C., ATTACHED TO 3x3 VERTICAL TUBE STEEL STRUCTURE, FOR WOOD SLAT SCREEN SUPPORT STRUCTURE

SN-14. NEW 2x2 WOOD SLAT SCREEN WALL

SN-15. NEW 1x1 TUBE STEEL FRAME W/ BIRD SCREEN MESH

SN-16. NEW OPERABLE CANOPY LOUVER SYSTEM INSTALLED IN EXISTING CANOPY STRUCTURE
- SN-17. EXISTING GAS METER & WATER LINE TO REMAIN

SN-18. NEW GLASS RAILING, 54" A.F.F.

SN-19. NEW EXTERIOR WATER FEATURE W/ LARGE STONES

SN-20. NEW SUSPENDED ACOUSTICAL BAFFLE CEILING SYSTEM

SN-21. NEW BAR SOFFIT

SN-22. NEW BAR DIE WALL & WOOD COUNTER TOP

SN-23. NEW INTERIOR DECORATIVE SHELVEING, TBD

SN-24. NEW INTERIOR BANQUETTE SEATING, TBD
- SN-25. NEW INTERIOR BOOTH SEATING, TBD

SN-26. NEW EXTERIOR WALL TILE FINISH PER PLANS

SN-27. NEW 6" METAL STUD WALL FURRING

SN-28. NEW 9" TALL BACKLIT STOREFRONT SIGNAGE

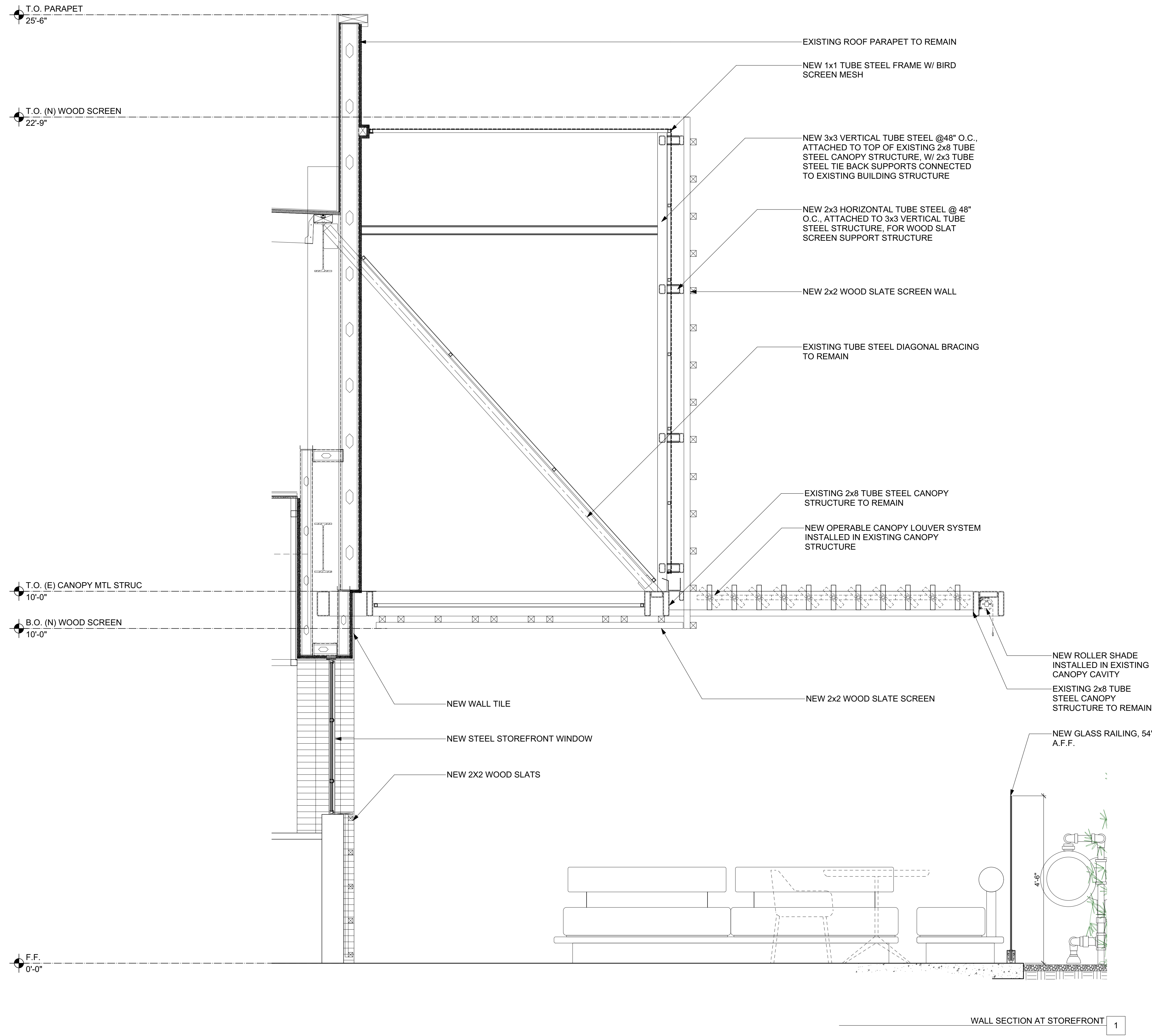
SN-29. EXISTING INTERIOR METAL WALL FRAMING TO REMAIN. TENANT G.C. TO REPAIR AS NEEDED AND PREP FOR NEW INTERIOR FINISHES

ISSUE	DATE	DESCRIPTION
	05.27.2022 LL	Review & Prelim ARB
	07.19.2022 ARB	Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

A302
BUILDING SECTIONS

SCALE: 3/16" = 1'-0"
DATE: 07.19.2022



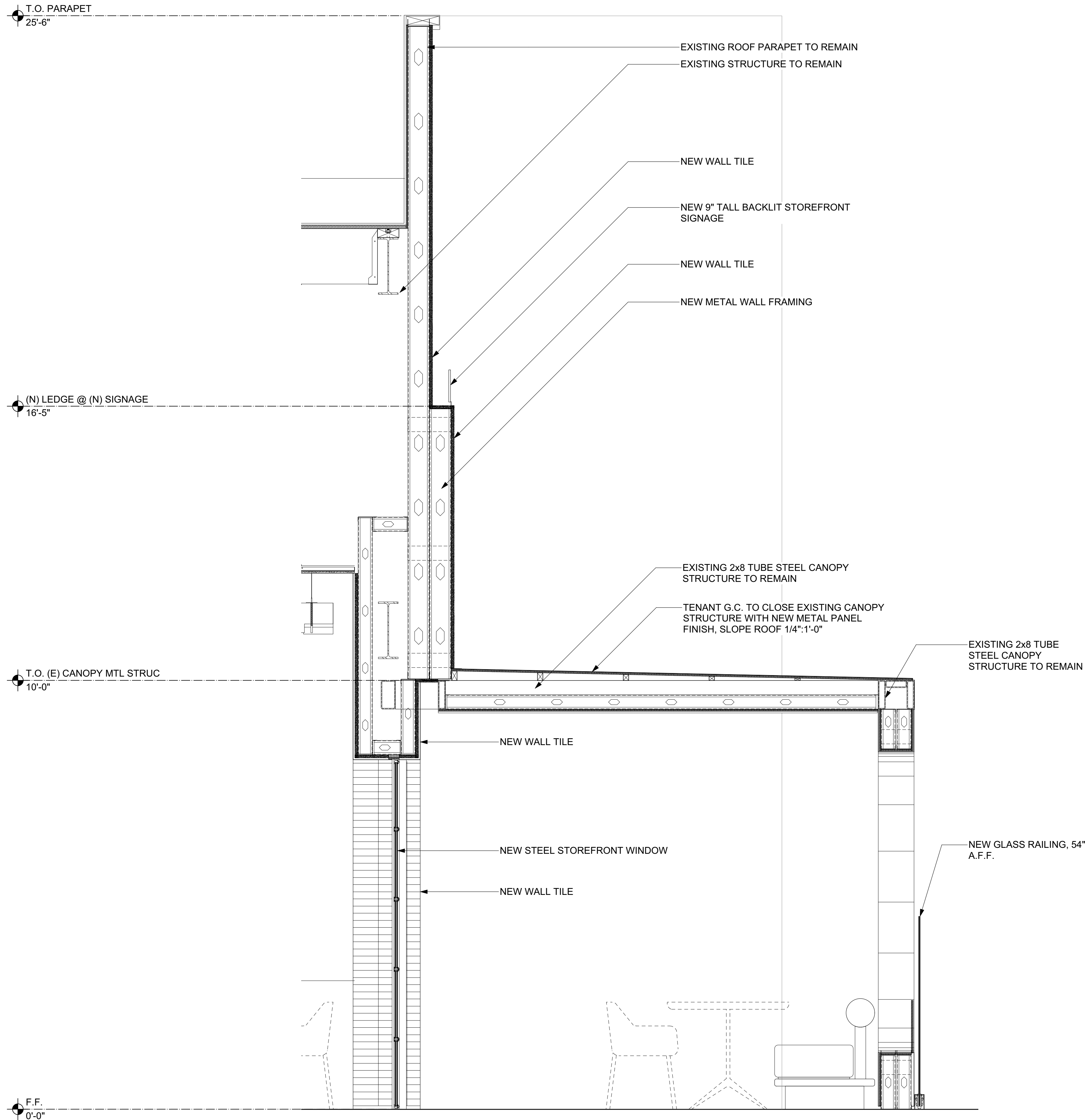
ISSUE	DATE	DESCRIPTION
	05.27.2022 LL	Review & Prelim ARB
	07.19.2022 ARB	Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

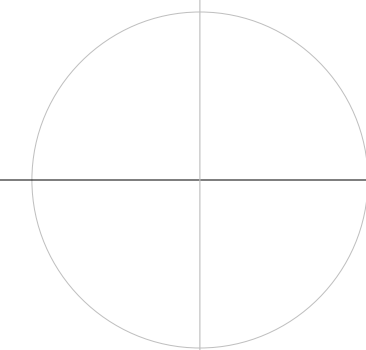
A311

ENLARGED EXTERIOR
WALL SECTION

SCALE: 3/4" = 1'-0"
DATE: 07.19.2022



WALL SECTION AT STOREFRONT 1



SUSHI ROKU
STANFORD SHOPPING CENTER
180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304
22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal

REVISION	DATE	DESCRIPTION
----------	------	-------------

A312
ENLARGED EXTERIOR
WALL SECTION

SCALE: 3/4" = 1'-0"
DATE: 07.19.2022

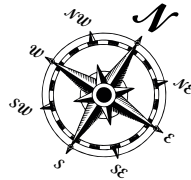
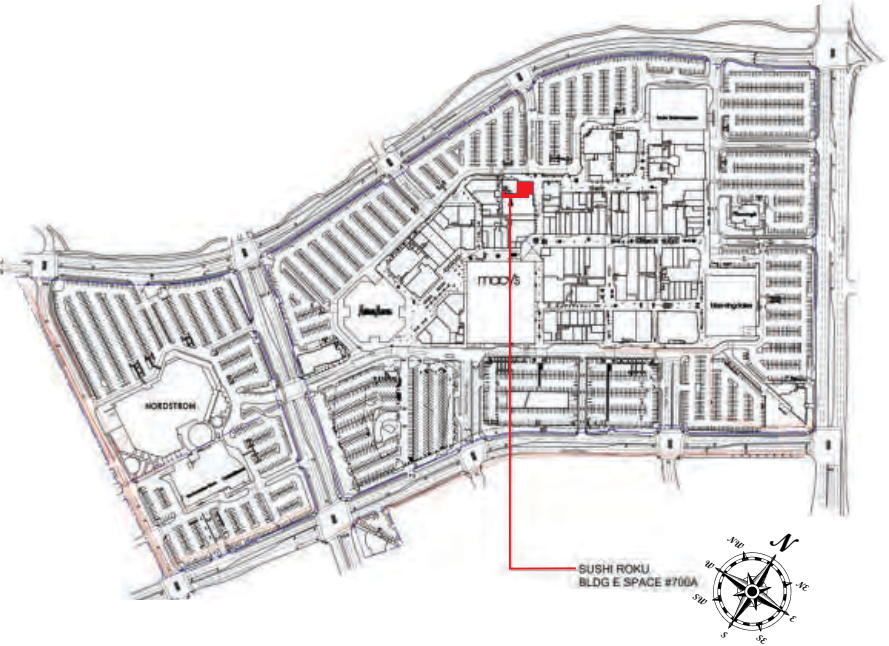
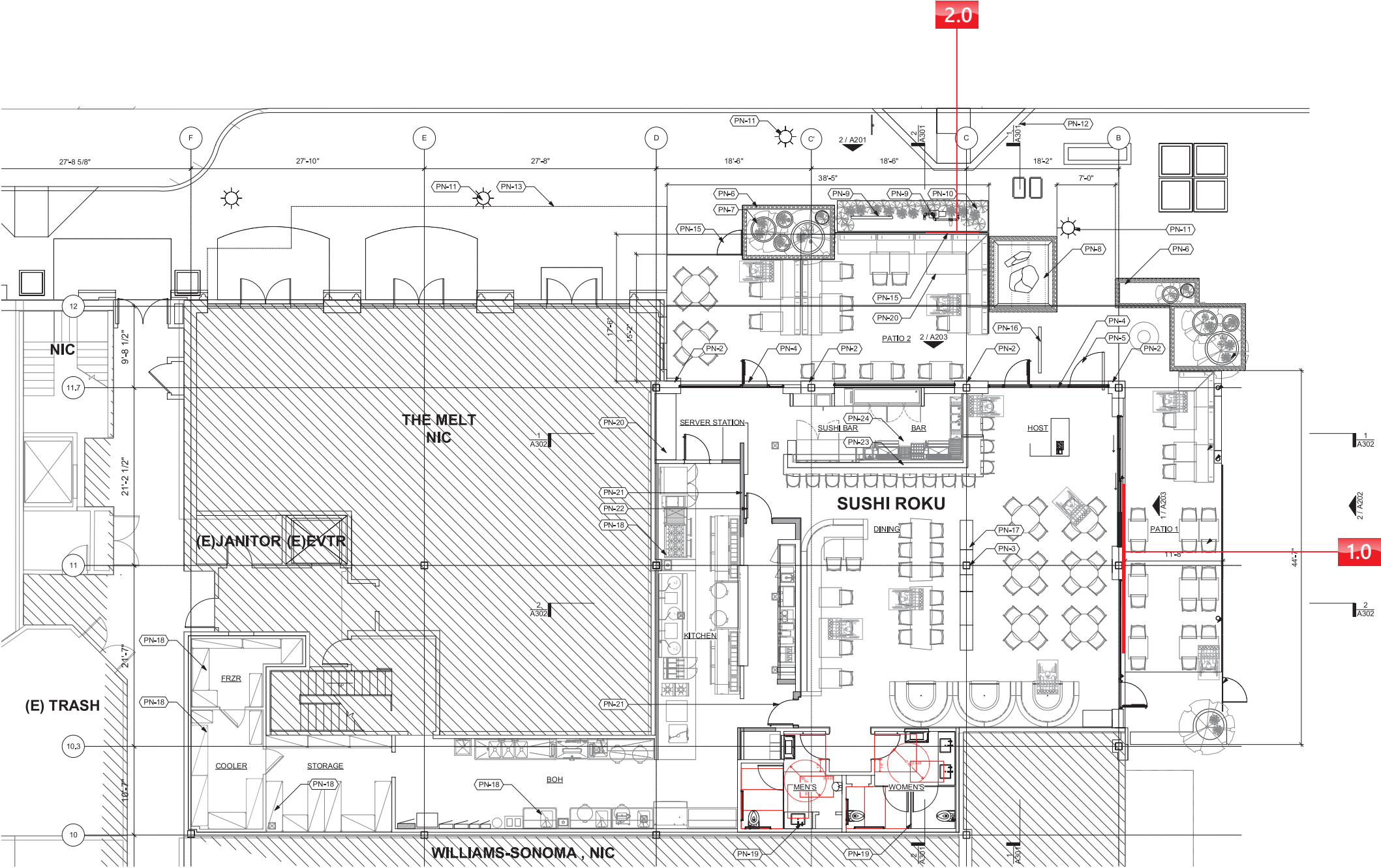


WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299

SITE PLAN

SIGNAGE SPECIFICATIONS

- 1.0
- FREESTANDING FCO LETTERS ON LEDGE:
Manufacture and Install (1) One Sign.
- 2.0
- FREESTANDING THROUGH FACE LIT LTRS ON STEEL CANOPY:
Manufacture and Install (1) One Sign.



PS 127:1

P R O J E C T

C L I E N T

J O B / D R A W I N G #



WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299

Project Name: SUSHI ROKU
Address: 180 El Camino Real
City, State, Zip: Palo Alto, CA 94025

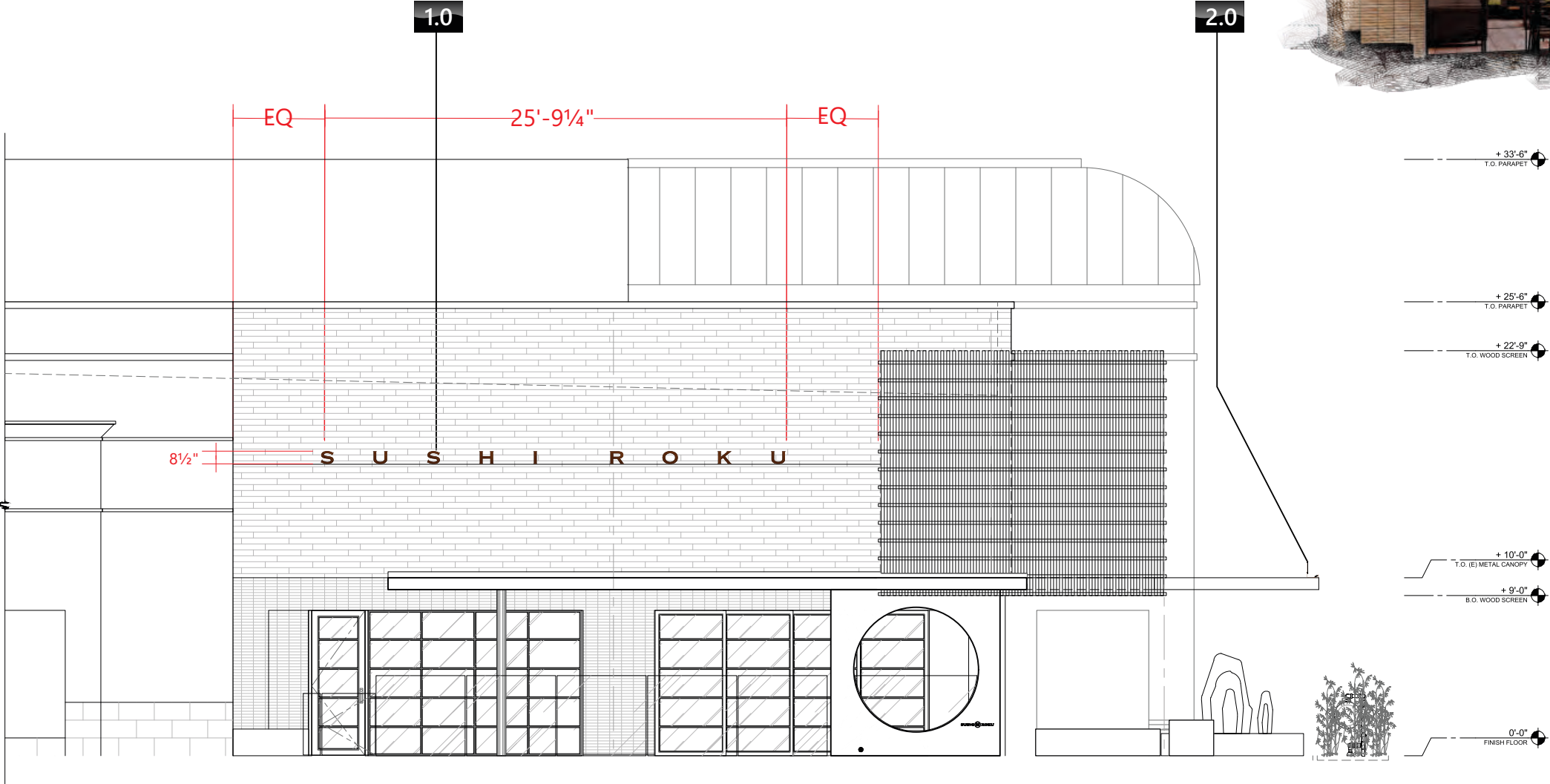
Client Approval:
Landlord Approval:
Designer: Garcia, G. Sales: Chris D.

All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of Signage-Solutions, and were created, evolved and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose what so ever without written permission.

#	Designer:	Date:	Revision Notes:
1	Garcia, G.	07.11.22	
2	Garcia, G.	07.12.22	
3			
4			
5			
6			
7			
8			
9			
10			

SUSHI ROKU

220511-02
SN-2



PROPOSED ELEVATION - EAST
SCALE: 1/8" = 1'-0"



WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299

Project Name: **SUSHI ROKU**
Address: 180 El Camino Real
City, State, Zip: Palo Alto, CA 94025

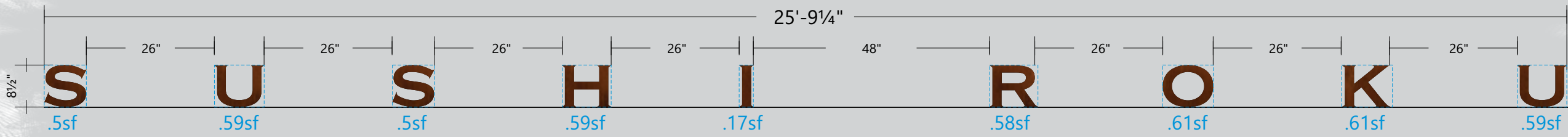
Client Approval:
Landlord Approval:
Designer: Garcia, G. Sales: Chris D.

All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of Signage-Solutions, and were created, evolved and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose what so ever without written permission.

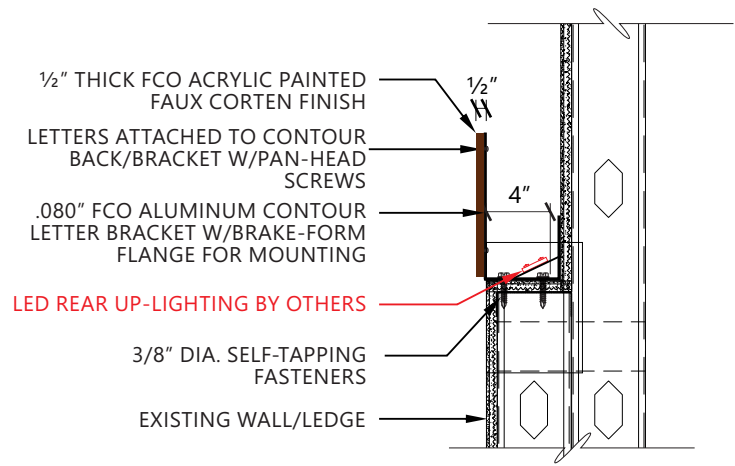
#	Designer:	Date:	Revision Notes:
1	Garcia, G.	07.11.22	
2	Garcia, G.	07.12.22	
3			
4			
5			
6			
7			
8			
9			
10			



220511-02
SN-3



1.0 SIGN ELEVATION / NON-ILLUMINATED FCO FREESTANDING LETTERS
Quantity: One (1) Sign Required 4.74 Sq. Ft.
Scale: 1/2" = 1'-0"



1 SECTION DETAIL / FREESTANDING
Scale: 1"= 1'-0"



SQUARE FOOTAGE	
4.74 SQ. FT. PROPOSED	
MATERIALS	
M1	.080 ALUM BACKER
M2	1/2" FCO ACRYLIC LETTERS
PAINT FINISH	
P1	FAUX CORTEN FINISH



+ 33'-6"
T.O. PARAPET

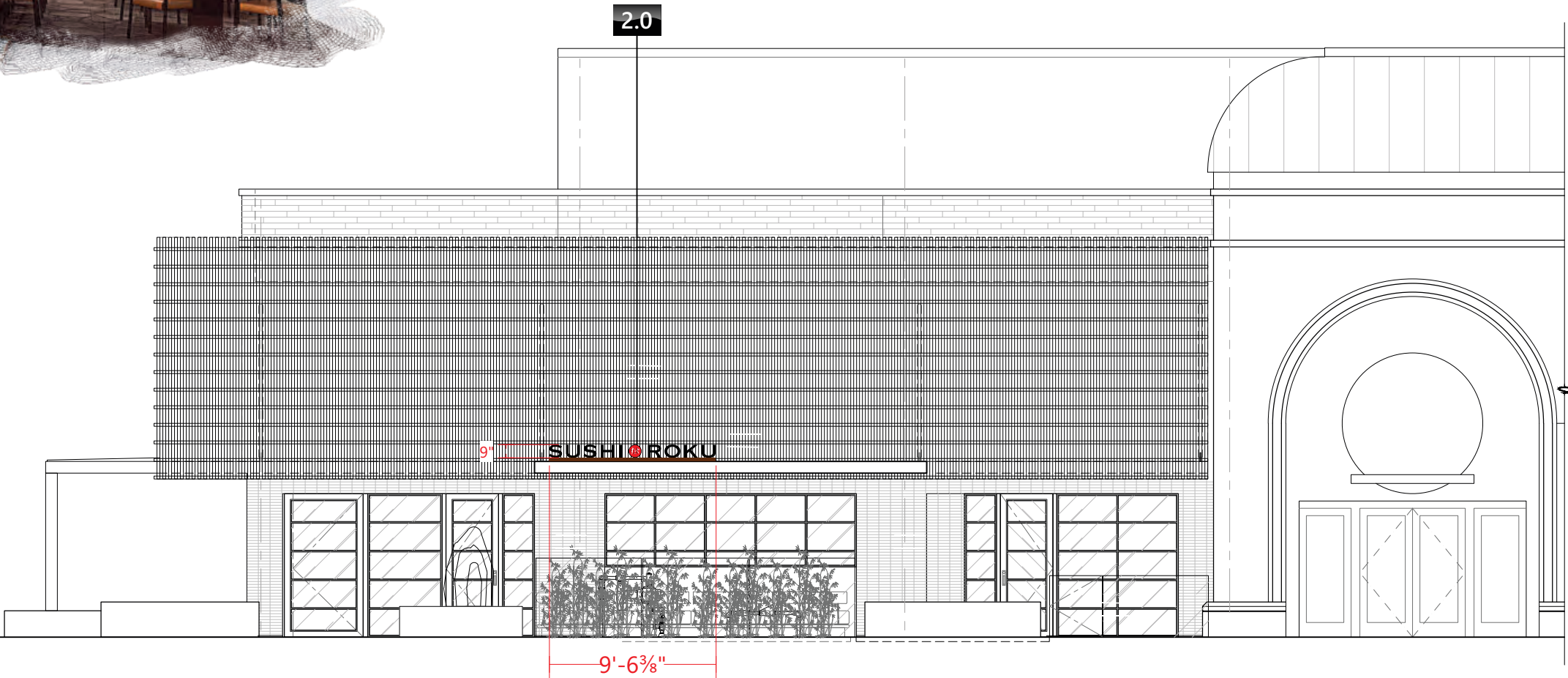
+ 25'-6"
T.O. PARAPET

+ 22'-9"
T.O. WOOD SCREEN

+ 10'-0"
T.O. (E) METAL CANOPY

+ 9'-0"
B.O. WOOD SCREEN

0'-0"
FINISH FLOOR



PROPOSED ELEVATION - NORTH

SCALE: 1/8" = 1'-0"

PS 127:1

P R O J E C T

C L I E N T

J O B / D R A W I N G #

Project Name: SUSHI ROKU

Address: 180 El Camino Real

City, State, Zip: Palo Alto, CA 94025

Client Approval:

Landlord Approval:

Designer: Garcia, G.

Sales: Chris D.

All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of Signage-Solutions, and were created, evolved and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose what so ever without written permission.

#	Designer:	Date:	Revision Notes:
1	Garcia, G.	07.11.22	
2	Garcia, G.	07.12.22	
3			
4			
5			
6			
7			
8			
9			
10			

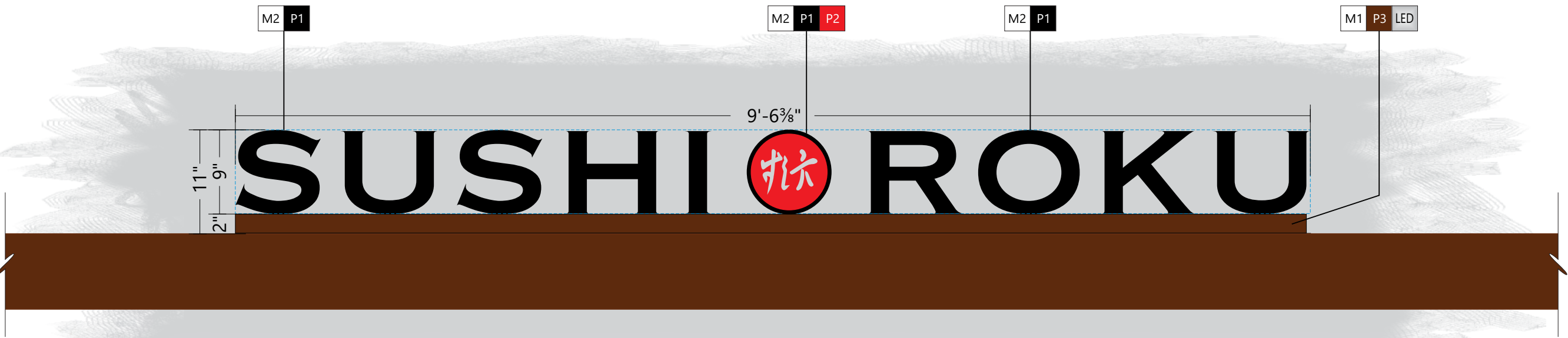


WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299



220511-02
SN-5

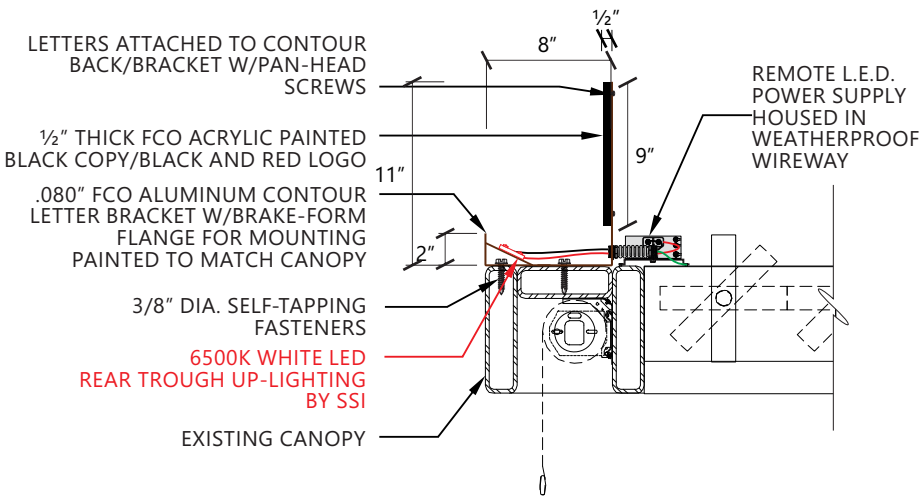
Page 5 of 6



2.0 SIGN ELEVATION / NON-ILLUMINATED FCO FREESTANDING LETTERS

Quantity: One (1) Sign Required

Scale: 1" = 1'-0"



1 SECTION DETAIL / FREESTANDING

Scale: 1"= 1'-0"



ILLUMINATED RENDERING

SQUARE FOOTAGE	
7.14 sf	
M1	.080" ALUM TROUGH
M2	1/2" FCO ACRYLIC LETTERS
PAINT FINISH	
P1	BLACK
P2	RED
P3	PAINT TO MATCH CANOPY
ILLUMINATION	
LED	6500K WHITE L.E.D.



ELECTRICAL REQUIREMENTS

Approx. A load (amps)
(1) 120V 20A circuit req'd

UL labels required away from public view.

IMPORTANT NOTE

UL COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HOOK UP BY OTHERS.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AS PER NEC 2008 ART: 600.6 FBC ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

PS 127:1

P R O J E C T

C L I E N T

J O B / D R A W I N G #



WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299

Project Name: SUSHI ROKU

Address: 180 El Camino Real

City, State, Zip: Palo Alto, CA 94025

Client Approval:

Landlord Approval:

Designer: Garcia, G. Sales: Chris D.

All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of Signage-Solutions, and were created, evolved and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose what so ever without written permission.

#	Designer:	Date:	Revision Notes:
1	Garcia, G.	07.11.22	
2	Garcia, G.	07.12.22	
3			
4			
5			
6			
7			
8			
9			
10			



220511-02
SN-6

Page 6 of 6