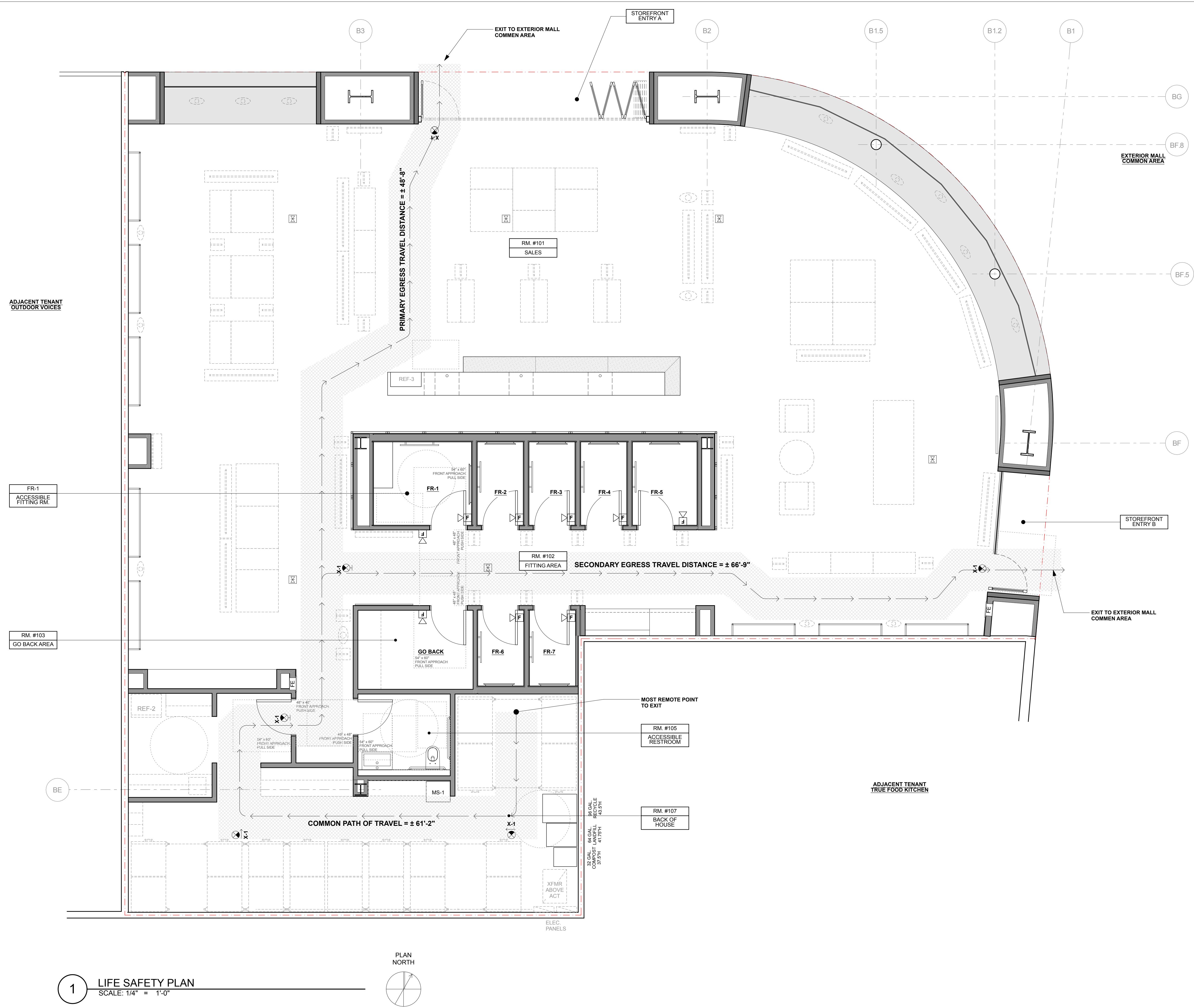


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1 LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

SUMMARY:

Tenant improvement of demised space in exterior mall building for retail use. Work includes general construction, storefront, mechanical, electrical lighting, power, and plumbing distribution. No change in Use.

CODES IMPLEMENTED

BUILDING:	2019 California Building Codes and the City of Palo Alto amendments
ACCESSIBILITY:	2019 California Building Code & Palo Alto Municipal Code
MECHANICAL:	2019 California Mechanical Code
ELECTRICAL:	2019 California Electrical Code
PLUMBING:	2019 California Plumbing Code
FIRE:	2019 California Energy Code
ENERGY:	2019 California Energy Code
GREEN BUILDING:	California Green Building Standards Code
AMENDMENTS:	w/ Local ordinance of the City of Palo Alto

FILED UNDER SEPARATE PERMIT APPLICATIONS:

1. FIRE ALARM SYSTEM
2. SPRINKLER SYSTEM
3. SIGNAGE
4. STORAGE RACKING

PLUMBING REQUIREMENTS

EMPLOYEE RESTROOMS
IF EMPLOYEE WORK AREA LESS THAN 300' FROM COMMON RESTROOM, A RESTROOM IN THE SPACE NOT REQUIRED
COMMON RESTROOMS ARE WITHIN 300'
EMPLOYEE RESTROOMS NOT REQUIRED IN SPACE

PUBLIC RESTROOMS
IF MAIN ENTRANCE IS LESS THAN 300' FROM COMMON RESTROOM, A RESTROOM IN THE SPACE NOT REQUIRED [CPC 422.4]
COMMON RESTROOMS ARE WITHIN 300'
PUBLIC RESTROOMS NOT REQUIRED IN SPACE

FOR CONVENIENCE ONE WATER CLOSET AND ONE LAVATORY PROVIDED.

SERVICE SINK
ONE SERVICE SINK REQUIRED (CPC 422 TABLE A)

DRINKING FOUNTAIN

Drinking fountain is not required if occupant load is 30 or less [CPC 415.2]
Occupants 4,683/200 = 24 OCCUPANT (CPC 422 TABLE A)

Drinking fountain is not required if public drinking fountains are within 300 feet of the most remote location in the store, and not more than one story above or below the tenant space [IPC 403.5]. Store within 300' of base building water fountain. (2290)
DRINKING FOUNTAIN NOT REQUIRED IN SPACE

CODE SUMMARY

CONSTRUCTION TYPE:
OCCUPANCY GROUP:
TENANT TO TENANT FIRE SEPARATION:
TENANT TO COMMON AREA FIRE SEPARATION:
SALES/STOCK SEPARATION:
SPRINKLER SYSTEM:
FIRE ALARM:

Type IIIB
M, Mercantile
1 Hour
1 Hour
None Required
Fully Sprinklered
Yes

PROJECT EXISTING VS. PROPOSED SQUARE FOOTAGE

PREVIOUS TENANT - LUISA SPAGNOLI (SUITE #1115) 1,472 SF
PREVIOUS TENANT - VINYARD VINES (SUITE #1130) 3,072 SF
TOTAL COMBINED SF OF TWO PREVIOUS TENANTS = 4,544 SF

PROPOSED LAYOUT - ALO (SUITE #1130A) 4,561 SF
SF DIFFERENCE FROM PREVIOUS TENANTS = PROPOSED ADD 17 SF

AREA AND OCCUPANCY CALCULATIONS

TYPE OF PROJECT:
PROJECT GROSS AREA (PER LOD):
MERCANTILE + FITTING AREAS:
STORAGE + STOCK AREAS:

TENANT IMPROVEMENT
4,683 GROSS SQ. FT.
3,940 GROSS SQ. FT.
676 GROSS SQ. FT.

OCCUPANT LOAD FACTOR:
MERCANTILE AREAS
STORAGE / STOCK AREAS

60SF
300SF

MERCANTILE & FITTING: 3940 GROSS SF/60SF
STORAGE/STOCK: 676 GROSS SF/300 SF
TOTAL OCCUPANTS

66 OCCUPANTS
3 OCCUPANTS
69 OCCUPANTS

EXIT ANALYSIS

NUMBER OF EXISTS REQUIRED:
NUMBER OF EXISTS PROVIDED:
EXIT ACCESS TRAVEL DISTANCE (CBC TABLE 1017.2)
WIDTH (CBC TABLE 1020.2)
LENGTH OF DEAD-END CORRIDOR (CBC 1020.4):
COMMON PATH OF TRAVEL (CBC TABLE 1006.2.1):
DISTANCE BETWEEN TWO EXISTS (IBC 1007.1.1)
CORRIDOR FIRE RATING (CBC TABLE 1020.1)


2
2
250FT WITH SPRINKLER SYSTEM
44 INCHES MIN
50FT MAX W/ SPRINKLERS
75FT MAX WITH SPRINKLER SYSTEM
MIN 1/3 DIAGONAL OF SPACE W/ SPRINKLER SYSTEM
0 HOURS WITH SPRINKLER SYSTEM

LIFE SAFETY LEGEND

- FE FIRE EXTINGUISHER
- FE FIRE EXTINGUISHER CABINET (RECESSED)
- EM-X CEILING MOUNTED / WALL MOUNTED SURFACE MOUNTED EMERGENCY LIGHT
- EM-X CEILING MOUNTED / WALL MOUNTED RECESSED EMERGENCY LIGHT
- CEILING MOUNTED EXIT SIGN
- WALL MOUNTED EXIT SIGN
- WALL MOUNTED FIRE ALARM DEVICE
- CEILING MOUNTED FIRE ALARM DEVICE

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	01.25.22	ARB SUBMITTAL SET REVISED PER COMMENTS
	11.15.21	ARB SUBMITTAL SET
NO.	DATE	ISSUE

alo

Stanford Shopping Center
180 El Camino Real
Bldg. BB, Suite #1130A,
Ground Floor
Palo Alto, CA 94304

LMA PROJECT NO. 2173

ARB SUBMITTAL SET

EGRESS & CODE
INFORMATION

T-002

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Stanford Shopping Center Parking and Loading Tabulation

10/16/20 Macys Mens Redevelopment

Gross Floor Area For Parking						
Building #	Basement	Ground Floor	Mezzanine	2nd Floor	3rd Floor	Outdoor Area
Bloomingdale's A (Phase II)*		123,678				123,678
WB (approved)		28,741				28,741
EE (approved)		6,749	0			6,749
RH (approved)		17,731		15,524	8,613	41,868
C-South		30,738		6,979		37,717
C-North		24,844		11,680		36,524
D		62,859		13,025		75,884
E		27,451		12,512		39,963
F		43,410		5,127		48,537
New Flemings (Phase I)		7,220			1,291	8,511
H		21,584		475		22,059
J		8,075		1,418		9,493
Macy's K*		225,830				225,830
L		23,610		2,446		26,056
M		55,048		13,492		68,540
N		20,402		325		20,727
P		9,955				9,955
Neiman Marcus*		120,000				120,000
V		31,567		32,573		64,140
W		10,608			1,385	11,993
Phase III						
AA		29,305				29,305
BB		25,978		25,915		51,893
CC		16,402				16,402
DD		16,823				16,823
Subtotal by Level	15,458	988,608	0	158,315	8,613	1,177,004.0
Nordstrom*		180,000				180,000
Container Store	5,534	24,116		8,651		38,301
Crate&Barrel		39,173				39,173
Subtotal by Level	5,534	243,289	0	8,651	0	257,474
TOTAL	20,992	1,231,897	0	166,966	8,613	1,434,478

Bicycle Parking:			
Required	Short Term (Racks)	Long Term (Lockers)	TOTAL
Required bicycle spaces 1/2, 750 sf (40% long term and 60% short term)	313	209	522
Existing bicycle spaces (per macys mens redevelopment)	254	97	351
Cargo Bike	4		4
Deficient Bike Parking	55	112	182

Loading Space	Req 3/120k sf	Req 1/50k sf over	Required	Existing	Proposed	Deficient
3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf	3 spaces (3 per 1st 120,000 sf)	26 spaces (based on 1,311,357 sf/50,000 sf)	29 spaces	24 spaces	25 spaces	4 spaces

Per AB1100: EVSE & EV Ready Van accessible & accessible spaces adjacent to an accessible path of travel are counted x2 towards the parking total									
Parking Provided by Space Type	Notes	Regular	ADA	EVSE	EV (Ready)	ADA EVSE/Ready***	x2 PK EVSE	Dedicated Parking	TOTAL
Required Parking Spaces 1/275 GFA	5,216								
Existing Parking Spaces	As of 3/27/2019	5,218	101	29	96				
Proposed Parking Spaces		4,978	10	0	57				
Dedicated Parking - Tesla	16PLN-00040							-6	
Loss of Physical Parking Spaces		-240							
Total Parking Spaces		4,978	111	29	153			-6	5,265
Excess number of spaces (Proposed - Required and Dedicated Spaces)									49

***Per AB1100: EVSE & EV Ready Van accessible & accessible spaces adjacent to an accessible path of travel are counted x2 towards the parking total ***

Net Floor Area For Entitlements*						
Building #	Basement	Ground Floor	Mezzanine	2nd Floor	3rd Floor	Outdoor Area
Bloomingdale's A (Phase II)*		117,494				117,494
WB (approved)		28,741				28,741
EE (approved)		6,749	0			6,749
RH (approved)		17,731		15,524	8,613	41,868
C-South		30,738		6,979		37,717
C-North		24,844		11,680		36,524
D		62,859		13,025		75,884
E		27,451		12,512		39,963
F		43,410		5,127		48,537
New Flemings (Phase I)		7,220			1,291	8,511
H		21,584		475		22,059
J		8,075		1,418		9,493
Macy's K*		225,830				225,830
L		23,610		2,446		26,056
M		55,048		13,492		68,540
N		20,402		325		20,727
P		9,955				9,955
Neiman Marcus*		120,000				120,000
V		31,567		32,573		64,140
W		10,608			1,385	11,993
Phase III						
AA		29,305				29,305
BB		25,978		25,915		51,893
CC		16,402				16,402
DD		16,823				16,823
Subtotal by Level	15,458	982,424	0	158,315	8,613	1,147,519
Nordstrom*		180,000				180,000
Container Store		24,116				24,116
Crate&Barrel		39,173				39,173
Subtotal by Level	0	243,289	0	0	0	234,289
TOTAL	15,458	1,225,713	0	158,315	8,613	1,381,808

Allowable NFA** 1,412,362

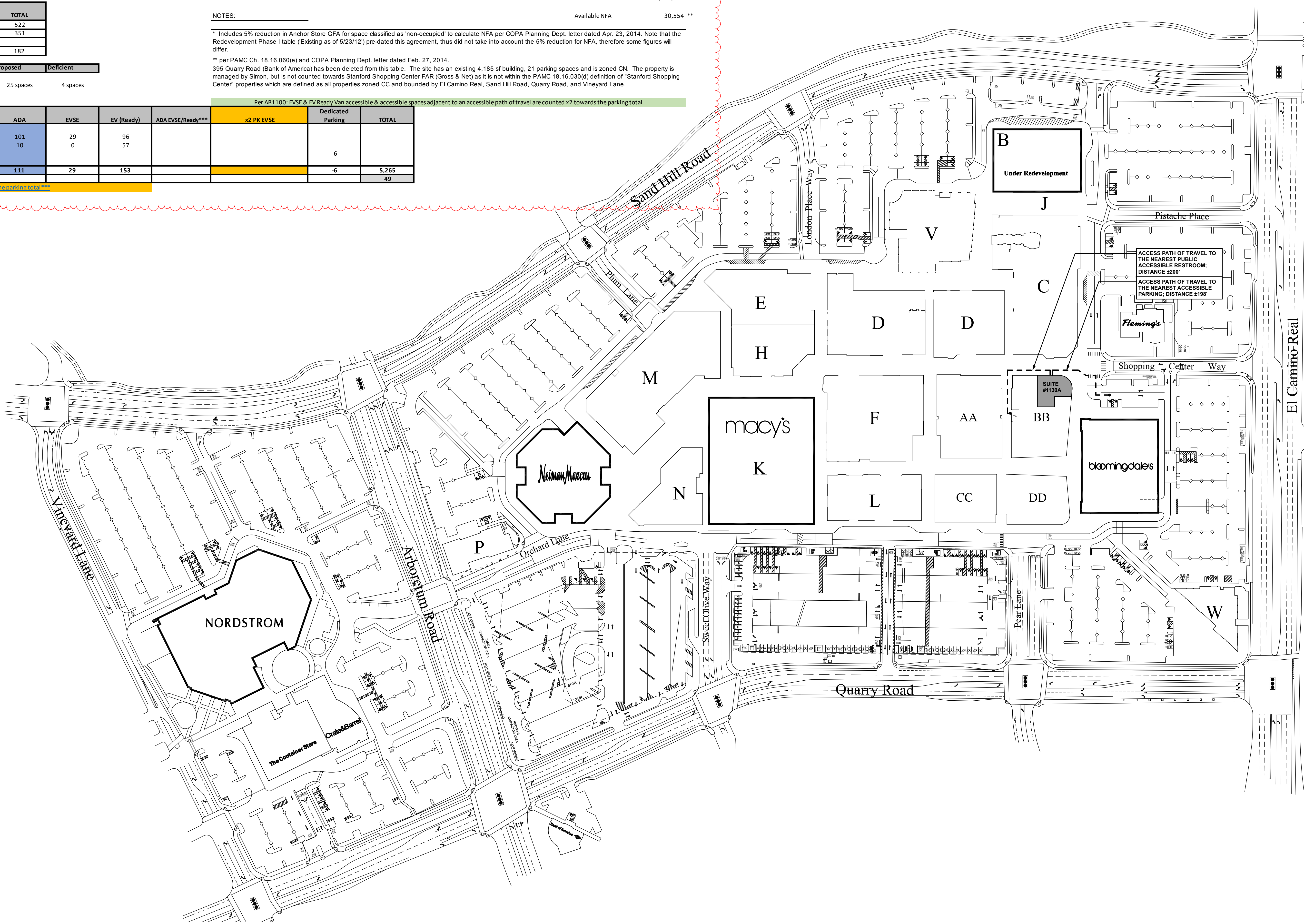
Available NFA 30,554 **

NOTES:

* Includes 5% reduction in Anchor Store GFA for space classified as 'non-occupied' to calculate NFA per COPA Planning Dept. letter dated Apr. 23, 2014. Note that the Redevelopment Phase I table (Existing as of 5/23/12) pre-dated this agreement, thus did not take into account the 5% reduction for NFA, therefore some figures will differ.


** per PAMC Ch. 18.16.060(e) and COPA Planning Dept. letter dated Feb. 27, 2014.

395 Quarry Road (Bank of America) has been deleted from this table. The site has an existing 4,185 sf of building, 21 parking spaces and is zoned CN. The property is managed by Simon, but is not counted towards Stanford Shopping Center FAR (Gross & Net) as it is not within the PAMC 18.16.030(d) definition of "Stanford Shopping Center" properties which are defined as all properties zoned CO and bounded by El Camino Real, Sand Hill Road, Quarry Road, and Vineyard Lane.



1 CURRENT SITE PLAN
SCALE: 1:0.50

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	11.15.21	ARB SUBMITTAL SET
NO.	DATE	ISSUE

alo
Stanford Shopping Center
180 El Camino Real
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Ground Floor
Palo Alto, CA 94304
LMA PROJECT NO. 2173

ARB SUBMITTAL SET
PROJECT SITE
PLAN

T-003

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2 SITE CONTEXT - EXISTING CONDITIONS
SCALE: 1:1.80



1 SITE CONTEXT - EXISTING CONDITIONS
SCALE: 1:1.46



5 SITE CONTEXT - EXISTING CONDITIONS
SCALE: 1:1.80



4 SITE CONTEXT - EXISTING CONDITIONS
SCALE: 1:1.80



3 SITE CONTEXT - EXISTING CONDITIONS
SCALE: 1:1.80



7 SITE PHOTO
NOT TO SCALE



6 SITE PHOTO
NOT TO SCALE

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ARB SUBMITTAL SET

SITE CONTEXT &
PHOTOS

T-004

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1 CONCEPT RENDERING
SCALE: 1/0.94



2 CONCEPT RENDERING
SCALE: 1/0.94

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ARB SUBMITTAL SET
SITE RENDERING

T-005

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8 1/2" TYP.

1" TYP.

RECYCLE

PLASTIC
PLÁSTICO

PAPER
PAPEL

GLASS
VIDRIO

METAL
METAL

E-WASTE
ELECTRÓNICOS

LANDFILL

ASEPTIC CONTAINERS
ENVASES ASÉPTICOS

SNACK PACKAGING
ENVOLTURAS DE APERITIVOS

EXPANDED POLYSTYRENE
ESPUMA DE POLIESTIRENO

OTHER GARBAGE
BASURA

COMPOST

FOOD SCRAPS
COMIDA

FOOD SOILED PAPER
PAPEL SUCIO DE ALIMENTOS

COMPOSTABLE PLASTIC
PLÁSTICO COMPOSTABLE

YARD TRIMMINGS
DESECHOS DE JARDIN

greenwaste
of palo alto

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1 ZERO WASTE POSTER
SCALE: 1" = 1'-0"

8 1/2"

5 1/2"

COMPOST

PAPER TOWELS
& TISSUES

4 PAPER TOWEL SIGN
SCALE: 1" = 1'-0"

11 3/4" TYP.

8 1/4" TYP.

RECYCLE
可回收的
PAPEL, BOTELLAS Y LATAS

LANDFILL
垃圾填埋場
BASURERO MUNICIPAL

COMPOST
廚餘和汚紙
DESECHOS Y PAPEL SUCIO

3 ZERO WASTE SIGN
SCALE: 6" = 1'-0"

TWO-WHEEL CART SPECIFICATIONS

96-GALLON EVR® II
UNIVERSAL / NESTABLE

Part Number:
79296

Size (l x w x h)
35-1/2" X 29-3/4" X 43-1/4"

Load Rating
335 lbs/151.9 kg

Wheel Diameter
10"

35-GALLON EVR® II
UNIVERSAL / NESTABLE*

Part Number:
79235

Size (l x w x h)
23-3/4" X 19-3/4" X 38-1/4"

Load Rating
122 lbs/55 kg

Wheel Diameter
10"

64-GALLON EVR® II
UNIVERSAL / NESTABLE

Part Number:
79264

Size (l x w x h)
31-1/2" X 24-1/4" X 41-3/4"

Load Rating
224 lbs/101.6 kg

Wheel Diameter
10"

32-GALLON EVR® II
UNIVERSAL / NESTABLE

Part Number:
79232

Size (l x w x h)
24" X 19-3/4" X 37-1/2"

Load Rating
112 lbs/50.8 kg

Wheel Diameter
8"

48-GALLON EVR® II
UNIVERSAL / NESTABLE

Part Number:
79248

Size (l x w x h)
28-3/4" X 23-1/2" X 37-1/2"

Load Rating
168 lbs/76.3 kg

Wheel Diameter
10"

21 & 24-GALLON EVR® II
UNIVERSAL**

Part Number:
79224*

Size (l x w x h)
23-1/2" X 19-3/4" X 34-1/2"

Load Rating
84.0 lbs/38.1 kg

Wheel Diameter
10"

AVAILABLE COLORS

Toter carts are available in a variety of colors and textures. Granite finishes mask normal wear by helping hide scuffs, scratches, and dirt, keeping carts looking new for years.

BLACK
#000

BLUE
#005

BROWN
#008

GRAY
#010

GREEN
#012

WASTE GREEN*
#015

BRIGHT LINE
GREEN*
#018

RED*
#020

YELLOW*
#022

SANDSTONE*
#025

REDSTONE*
#028

GREEN GRANITE*
#030

BLUESHINE*
#032

GRAYSTONE*
#035

GREENSTONE*
#038

DAKE GRAY
GRANITE*
#040

NAVY GRANITE*
#042

BLACKSTONE*
#045

Colors shown are as accurate as printing allows. Actual product colors are subject to variation from printed sample.
*Available at an additional charge

PO Box 5338
841 Meacham Road
Statesville, NC 28677

704-872-8171
800-424-0422

sales@wastequip.com
www.toter.com
Toter is a Wastequip® brand

Toter®

TOT047-092018

2 WASTE BIN SPECIFICATION
NOT TO SCALE

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180 El Camino Real
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Ground Floor
Palo Alto, CA 94304

LMA PROJECT NO. 2173

ARB SUBMITTAL SET

ZERO WASTE
SHEET

T-007

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

TREE DISCLOSURE STATEMENT

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: **180 El Camino Real, Building BB, Suite #1130A, Palo Alto, CA 94304**

Are there Regulated trees on or adjacent to the property? YES **NO** (If no, proceed to Section 4)

[Sections 1 - 4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

☐ On the property
☐ On adjacent property overhanging the project site
☐ In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? YES (Check where applicable) **NO**

☐ Protected Tree (s)
☐ Designated Tree (s)
☐ On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? YES **NO**

If Yes, a **Tree Preservation Report** must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.25). Attach this report to Sheet T-1, "Tree Protection, in Part of the Plan", per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? YES **NO**

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: David Guouzy Print: David Guouzy Date: 11/15/2012
(Please, Owner or Agent)

FOR STAFF USE:

Protective Fencing
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES **NO**
(N/A if there are no protected trees, check here ☐)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. YES **NO**
(N/A if there are no street trees, check here ☐)

Regulated Trees – a) Street trees – trees on public property; b) Protected trees – Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees – commercial or non-residential property trees, which are part of an approved landscape plan.

* Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at http://www.cityofpaloalto.org/planning-community/tree_technical_manual.html

For written specifications associated with illustrations below, see Public Works Specifications Section 31
Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (<http://www.cityofpaloalto.org/trees/>)

Tree Protection Zone (TPZ) shown in gray (radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater)

- Restricted activity area – see Tree Technical Manual Sec 2.15(F).
- Restricted trenching area – see Tree Technical Manual Sec 2.20(C-D), any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.

Type I Tree Protection

For all Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as diagrammed on the plans.

Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report

8.5x11-inch Warning Signs one each side

6-foot high chain link fence, typical

TPZ

Other 10 x Tree Diameter, whichever is greater

Type II Tree Protection

2-inches of Orange Plastic Fencing overlaid with 2-inch Thick Wooden Slats

Any proposed trench in TPZ requires approval See TTM 2.20 C-D (for construction)

Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.

Type III Tree Protection

(to be used only with approval of Public Works Operations)

Tree fencing is required and shall be erected before demolition, grading or construction begins.

Rev	By	Date
0	DWH	12/14/92
01	D.D.	08/04/04
02	D.D.	08/10/06

Tree Protection During Construction

Approved by: Dave Dockter
PE No. _____
Date 2006
Dwg No. 605

City of Palo Alto Standard

Scale: NTS

**PALO ALTO
STREET TREE PROTECTION INSTRUCTIONS
-SECTION 31-**

APPENDIX J

31-1 General

a. **Tree protection has three primary functions:** 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. **The Tree Protection Zone (TPZ)** is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. **Detail #65** - Illustration of situations described below.

b. **Tree Technical Manual (TTM) Forms** (<http://www.cityofpaloalto.org/trees/>)

1. Trenching Restriction Zones (TTM, Section 2.20(C))

2. Arboreal Reporting Protocol (TTM, Section 6.30)

3. Site Plan Requirements (TTM, Section 6.33)

4. Tree Disclosure Statement (TTM, Appendix J)

c. **Street Tree Verification (STV) Form** (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. **Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **Warning signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."

f. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right-of-way require a Street Work Permit from Public Works.

g. **During construction**

1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.

2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.

3. The following tree preservation measures apply to all trees to be retained:

- No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
- The ground under and around the tree canopy area shall not be altered.
- Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWE, Section 31

Revised 08/06

Table 2-2 Palo Alto Tree Technical Manual

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at <http://www.cityofpaloalto.org/environment/>

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

1. ☒ **Inspection of Protective Tree Fencing.** For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).

2. ☒ **Pre-Construction Meeting.** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6952).

3. ☒ **Inspection of Rough Grading or Trenching.** Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect irrigation system, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.

4. ☒ **Monthly Tree Activity Report Inspections.** The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any *revisions* to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).

5. ☒ **Special activity within the Tree Protection Zone.** Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).

6. ☐ **Landscape Architect Inspection.** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.

7. ☐ **List Other** (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

* _____

* _____

City of Palo Alto Tree Technical Manual ADDENDUM 11

Arborist Firm Data Here

email: RCA/ISA Certified Arborist #PWE-000
Contract # C48 #

Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1: Job site superintendent Company: Email: Job site Office: Cell: Mail:
Inspection # _____	Palo Alto, CA		
		Also present:	* _____ * _____
Distribution:	1. City of Palo Alto 2. Others	Attn: Dave Dockter	dave.dockter@cityofpaloalto.org 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

1. Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits)

- a. Pre-construction meeting requirement with sub-contractors
- b. Inspect to verify that tree protection measures are in place
- c. Determine if field adjustments, watering or plan revisions may be needed

2. Field Observations (general site-wide and list by individual tree number)

- a. Tree Protection Fences (TPF) are ...
- b. Trenching has/will occur ...

3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due

- a. Tree Protection Fence (TPF) needs adjusting (tree # x, x, x)
- b. Root zone buffer material (wood chips) can be installed next
- c. Schedule sewer trench, foundation dig with ...

4. Photographs (use often)

5. Tree Location Map (mandatory 8.5 x 11 sheet)

6. Recommendations, notes or monitor items for project/staff/schedule

- *

7. Past visits (list carry-over items satisfied/still outstanding)

- *

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____

Enter Date _____ CPA Monthly Tree Activity Report: Type site address here _____ Page #1 of 1

---WARNING---

Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

***Palo Alto Municipal Code Section 8.10.110**

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS

PLANNING DEPARTMENT

TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: _____

DATE OF 1ST TREE ACTIVITY REPORT: _____

CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

ARB SUBMITTAL SET

**TREE
PROTECTION
INSTRUCTION
SHEET**

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.

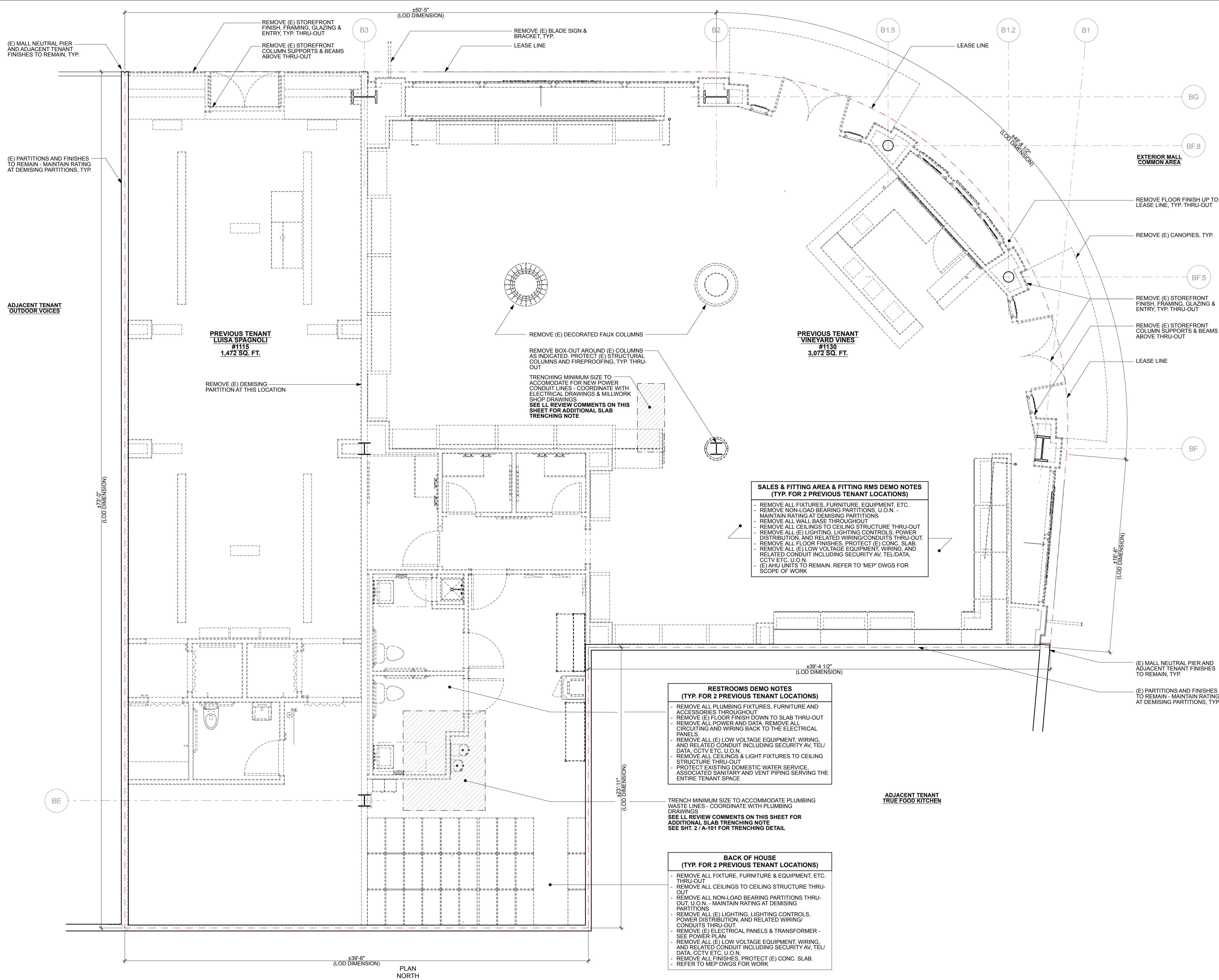
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-1

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1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

- ALL WORK IS TO COMPLY WITH LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES AS WELL AS ANY OTHER GOVERNING AGENCIES HAVING JURISDICTION, INCLUDING, BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (ADAA).
- G.C. TO PROVIDE ALL LIFE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO, TEMPORARY LIGHTING, BARRICADES, GUARD RAILS, AND VENTILATION SYSTEMS AS REQUIRED BY LOCAL, STATE, AND FEDERAL JURISDICTIONS.
- G.C. TO NOTIFY BUILDING FACILITY MANAGEMENT PRIOR TO THE COMMENCEMENT OF WORK, INCLUDING CUTTING, REMOVING, ALTERING, OR SHUTTING OFF ANY MECHANICAL SYSTEMS. COORDINATE ALL EFFORTS WITH THE FACILITIES MANAGER.
- G.C. TO COORDINATE WITH LANDLORD RUBBISH REMOVAL PROCEDURES, LOCATION OF TRASH DUMPSTERS, TIME SCHEDULES, ETC. DISPOSE OF ALL RUBBISH IN A MANNER COMPLIANT WITH ALL LAWS, REGULATIONS, ETC. ALL EQUIPMENT NOT TO BE REUSED IS TO BE REMOVED. ARRANGE TO IMMEDIATELY REMOVE AND LEGALLY DISPOSE OF ALL DEMOLITION MATERIALS.
- G.C. TO COORDINATE WITH TENANT PRIOR TO THE START OF DEMOLITION TO DETERMINE THE SCOPE OF ALL MATERIALS, FINISHES, AND SYSTEMS THAT ARE TO BE REUSED.
- G.C. SHALL MAINTAIN FIRE RATINGS ON ALL INTERIOR COLUMNS AND BEAMS, UNLESS OTHERWISE NOTED, PER RE-VERIFICATION OF RATING REQUIRED.
- THE SCOPE OF THE WORK INCLUDES ALL INTERIOR ELEMENTS NECESSARY TO ACCOMMODATE THE NEW WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL INDICATED NON-LOAD BEARING INTERIOR AND EXTERIOR WALLS, ALL CEILINGS, ALL FLOOR FINISHES DOWN TO A CLEAN AND LEVEL WORKING SURFACE, AND ALL SYSTEMS THAT ARE NOT TO BE REUSED IN THE NEW CONSTRUCTION. NO STRUCTURAL ELEMENTS SHALL BE REMOVED WITHOUT TENANT AND LANDLORD APPROVAL.
- G.C. SHALL VERIFY ALL FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF THE WORK.
- DURING THE DEMOLITION PHASE, G.C. SHALL SUPPORT ALL EXISTING STRUCTURES AS REQUIRED TO MAINTAIN A SAFE WORKING ENVIRONMENT. ANY DAMAGE CAUSED BY THE DEMOLITION PROCESS WILL BE CORRECTED BY THE G.C. AT NO COST TO TENANT.
- IF THE DEMOLITION PROCESS RESULTS IN AN UNSAFE WORKING ENVIRONMENT, THE G.C. IS TO STOP WORK IMMEDIATELY AND NOTIFY THE APPROPRIATE AUTHORITY, TENANT, AND ARCHITECT PRIOR TO PROCEEDING.

- ANY SYSTEMS THAT ARE CONNECTED TO A UTILITY, INCLUDING, BUT NOT LIMITED TO SANITARY LINES, DOMESTIC WASTE LINES, MECHANICAL LINES, AND ELECTRICAL WIRING, SHALL BE LEFT IN PLACE DURING THIS PHASE OF DEMOLITION WORK. MARK UTILITIES LOCATIONS AT THE SITE AND ON THE AS-BUILT SET OF PLANS.
- EXISTING SPRINKLER HEAD GRID, MAIN, AND BRANCH PIPES TO REMAIN FUNCTIONAL DURING THE DURATION OF THE DEMOLITION WORK. G.C. TO COORDINATE ANY ALTERATIONS OF THE SPRINKLER SYSTEM WITH THE SPRINKLER CONTRACTOR.
- IF AN EXISTING SECURITY SYSTEM IS IN PLACE, G.C. TO NOTIFY TENANT TO DETERMINE IF ANY OR ALL OF THE SYSTEM CAN BE REUSED.
- G.C. TO REMOVE ALL ABANDONED PIPING ABOVE THE CEILING LINE TO A LOGICAL POINT AND CAP. G.C. TO VERIFY THAT ANY PIPING TO REMAIN IS SECURELY ATTACHED TO THE LANDLORD'S STRUCTURE.
- G.C. TO PATCH AND REPAIR ALL WALLS TO REMAIN WHICH ARE DAMAGED DURING THE DURATION OF DEMOLITION WORK. G.C. TO PREPARE SURFACES AS REQUIRED FOR APPLICATION OF NEW FINISHES. MAINTAIN ALL EXISTING FIRE RATINGS.
- AREAS IN WHICH DEMOLITION AND SALVAGE WORK IS DONE SHALL BE CLEANED DAILY. ALL DUST, DIRT, DEBRIS, AND UNSALVAGEABLE ITEMS SHALL BE COMPLETELY REMOVED FROM THE PROJECT SITE DAILY. UNDER NO CIRCUMSTANCES SHALL REFUSE BE ALLOWED TO BLOCK OR IMPAIR CIRCULATION IN CORRIDORS, STAIRS, SIDEWALKS, OR OTHER TRAFFIC AREAS AT ANY TIME.
- PRIOR TO THE START OF ANY NEW CONSTRUCTION, G.C. TO CLEAN THE SITE OF ALL DEMOLITION DEBRIS. G.C. SHALL ASSURE THAT THE DEMOLITION WORK IS COMPLETE TO THE POINT WHERE NO ADDITIONAL DEMOLITION SHALL BE REQUIRED.
- ALL EXISTING FLOOR FIXTURES NOT REMOVED BY PREVIOUS OWNER ARE TO BE REMOVED BY G.C.
- ALL EXISTING MERCHANDISE WALL HARDWARE NOT REMOVED BY PREVIOUS OWNER TO BE REMOVED BY G.C.
- AFTER DEMOLITION, G.C. SHALL VERIFY ELEVATION OF EXISTING FLOOR SUBSTRATE AND SHALL BE RESPONSIBLE FOR FLASH PATCH TO SMOOTH NO MORE THAN 1/8" PER 10 FEET OUT OF LEVEL.
- REFER TO PRIOR TENANT DRAWINGS FOR MORE INFORMATION ON EXISTING CONDITIONS.

DEMOLITION LEGEND

- (E) EXISTING ELEMENT TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

Demolition Comments:


- Any existing equipment or component in or pertaining to the premises that is being abandoned must be demolished completely and properly removed from premises.
- All above ground utility lines not to be re-used must be removed to point of origin. All under slab utility lines to be cut, capped and sealed per code.
- All roof mounted equipment above the leased premises not to be re-used must be removed by tenant's GC. Roof must be properly patched by Mail required footer. Roof curbs must be removed and roof patched - do not cap. Coordinate all work with Mail Operations Director.
- Slab requirements:**
Slab on grade: Tenant's General Contractor shall advise the Operation Team prior to any slab modifications or removal. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at GC's expense.
Elevated Slabs: Tenant's General Contractor shall advise the Operations Team prior to any slab modification or removal. If any elevated slab is to be modified in anyway (drilled, core, or penetrated), tenant shall provide stamped and certified drawings by a licensed structural engineer certified in the local jurisdiction. All penetrations shall be CORE BORED ONLY. Saw cutting, light hammering, and trenching is strictly prohibited. All penetrations shall be sleeved, sealed, fire stopped, and waterproofed. The penetration sleeve shall extend a minimum of 4" on either side of the slab and be labeled with the required NFPA rating. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification maybe required.) Any damage or downtime caused by GC's work shall be repaired and reimbursed at GC's expense.

Field Verification Requirement:

Tenant's Contractors shall field verify all field conditions prior to the start of any construction. Be advised that all changes and modification to the Landlord's approved drawings shall be resubmitted to Landlord for re-approval. Any construction completed with out Landlord approval shall be corrected as approved by Landlord at GC's expense.

THOMAS A. PIRTLE III NCARB, AIA

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	01.25.22	ARB SUBMITTAL SET REVISED PER COMMENTS
	11.15.21	ARB SUBMITTAL SET
NO.	DATE	ISSUE

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Stanford Shopping Center
180 El Camino Real
Bldg. BB, Suite #1130A,
Ground Floor
Palo Alto, CA 94304

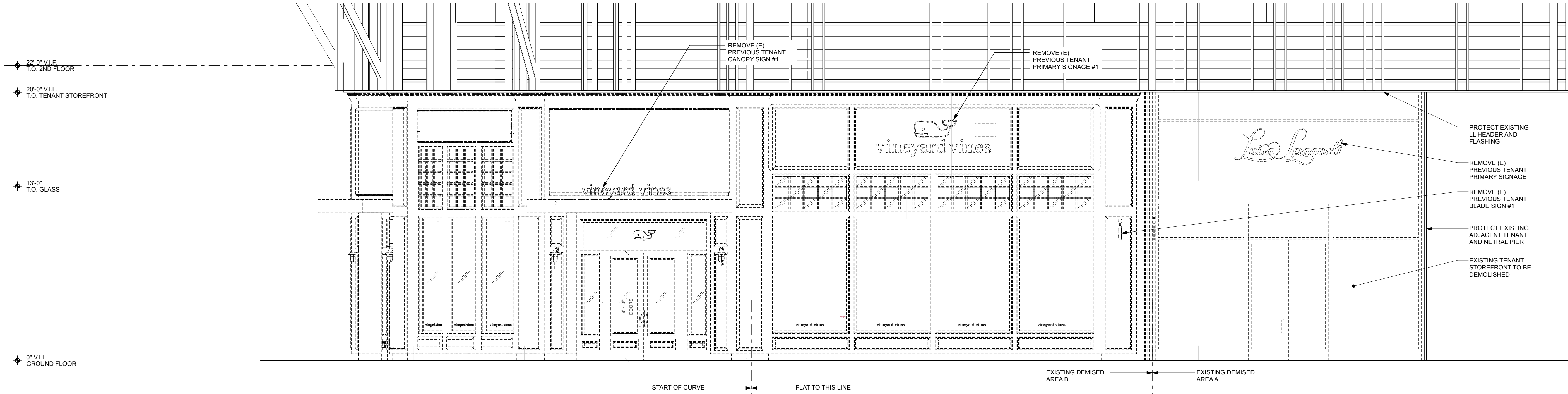
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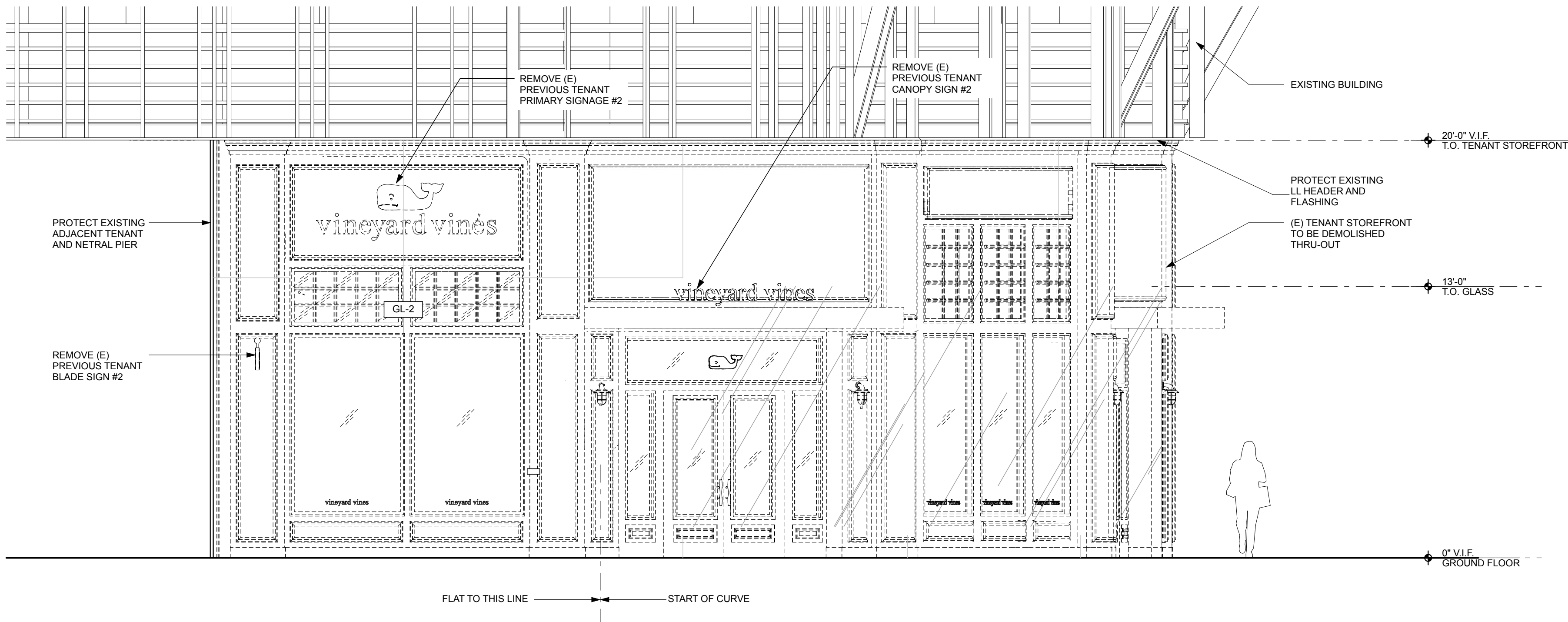
DEMOLITION
PLAN

A-010

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1 STOREFRONT DEMO ELEVATION
SCALE: 1/4" = 1'-0"



2 STOREFRONT DEMO ELEVATION
SCALE: 1/4" = 1'-0"

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DEMOLITION LEGEND

- (E) EXISTING ELEMENT TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
11. ANY SYSTEMS THAT ARE CONNECTED TO A UTILITY, INCLUDING, BUT NOT LIMITED TO SANITARY LINES, DOMESTIC WATER LINES, MECHANICAL LINES, AND ELECTRICAL WIRING, SHALL BE LEFT IN PLACE DURING THIS PHASE OF DEMOLITION WORK. MARK UTILITIES LOCATIONS AT THE SITE AND ON THE AS-BUILT SET OF PLANS.
12. EXISTING SPRINKLER HEAD GRID, MAIN, AND BRANCH PIPES TO REMAIN FUNCTIONAL DURING THE DURATION OF THE DEMOLITION WORK. G.C. TO COORDINATE ANY ALTERATIONS OF THE SPRINKLER SYSTEM WITH THE SPRINKLER CONTRACTOR.
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19. ALL EXISTING MERCHANDISE WALL HARDWARE NOT REMOVED BY PREVIOUS OWNER TO BE REMOVED BY G.C.
20. AFTER DEMOLITION, G.C. SHALL VERIFY ELEVATION OF EXISTING FLOOR SUBSTRATE AND SHALL BE RESPONSIBLE FOR FLASH PATCH TO SMOOTH NO MORE THAN 1/8" PER 10 FEET OUT OF LEVEL.
21. REFER TO PRIOR TENANT DRAWINGS FOR MORE INFORMATION ON EXISTING CONDITIONS.

THOMAS A. PIRTLE III NCARB, AIA

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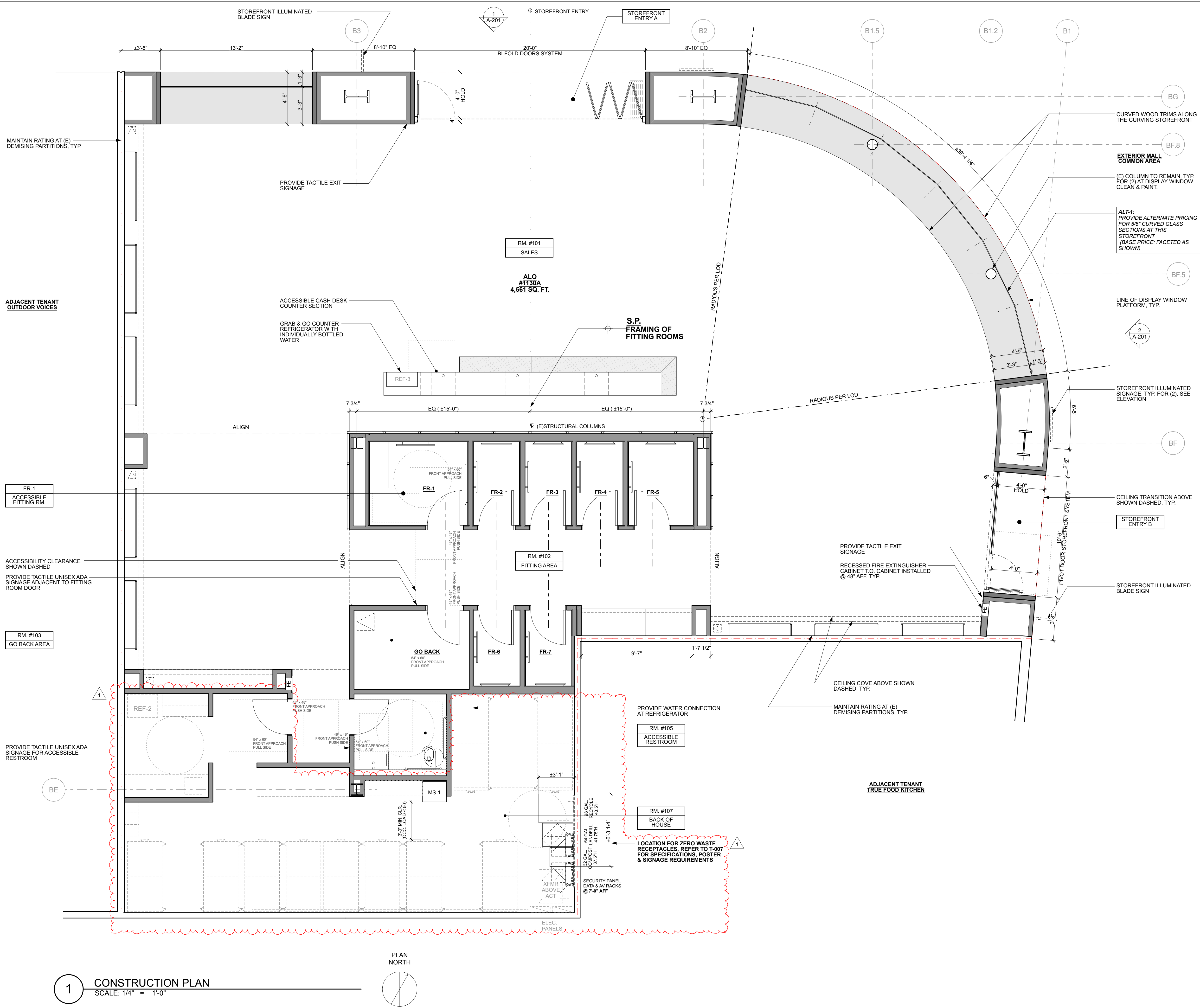
LMA PROJECT NO. 2173

ARB SUBMITTAL SET

STOREFRONT
DEMOLITION
ELEVATIONS

A-011

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CONSTRUCTION NOTES

GENERAL

- SEE SPECIFICATIONS FOR ADDITIONAL NOTES AND REQUIREMENTS.
- SEE RESPONSIBILITY SCHEDULE FOR ADDITIONAL INFORMATION.
- G.C. SHALL CHECK IN WITH LANDLORD'S OPERATIONS MANAGER PRIOR TO STARTING WORK.
- G.C. SHALL COVER AIR OPENINGS BEFORE AND DURING CONSTRUCTION.
- G.C. IS RESPONSIBLE FOR THE PATCHING, REPLACING AND THE INSTALLATION OF FIRES TOPPING AND / OR DRAFT STOPPING AS REQUIRED BY CODE IN EXISTING OR NEW CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:
 - INTERCONNECTIONS BETWEEN ENCLOSED VERTICAL AND HORIZONTAL SPACES, CEILING AND FLOOR LEVELS OF CONCEALED SPACES IN STUD WALLS AND FURRED SURFACES. FURRED SPACES SHALL BE FIRES TOPPED INTO AREAS NOT TO EXCEED THOSE SPECIFIED BY CODE.
 - CONCEALED SPACES BETWEEN SLEEPERS OR SHIMS UNDER FLOORING OR SUBFLOORING.
 - OPENINGS IN RATED CONSTRUCTION OCCURRING AROUND PIPES, DUCTS AND OTHER PENETRATIONS, INCLUDING ALL EXISTING DEMISING PARTITIONS AND PENETRATIONS.
 - G.C. SHALL SURVEY EXISTING CONDITION OF DEMISING PARTITIONS AND SHALL PATCH / REPAIR ALL HOLES IN DEMISING PARTITIONS AND CEILING / ROOF TO MAINTAIN RATING OF PARTITIONS AS INDICATED ON THE DRAWINGS.
- G.C. IS RESPONSIBLE FOR PATCHING NEW AND EXISTING OPENINGS IN SLABS, RATED PARTITIONS, AND OTHER RATED CONSTRUCTION AS REQUIRED TO MATCH AND MAINTAIN RATING.
- FILLING HOLES IN SLABS AND WOOD FLOORS:

IN CONCRETE FLOORS: FILL SMALL HOLES (LESS THAN 6" IN DIAMETER) WITH NON-SHRINK GROUT AND PLACE (1) #3 REINFORCING BOWEL EMBEDDED 2" INTO THE SIDE OF THE HOLE WITH HILTI HY-150 ADHESIVE ANCHORS. SO THAT THE GROUT DOES NOT FALL OUT TO THE FLOOR BELOW. THE BAR COULD BE DIAGONAL, SO THAT DRILLING IS POSSIBLE. G.C. SHALL NOTIFY ARCHITECT IF ANY OPENING IS GREATER THAN 6" IN DIAMETER. VERIFY ALL FILL METHODS WITH MALL PRIOR TO PERFORMING WORK.

IN WOOD FLOORS: FILL ALL HOLES WITH CONSTRUCTION TO MATCH ADJACENT.

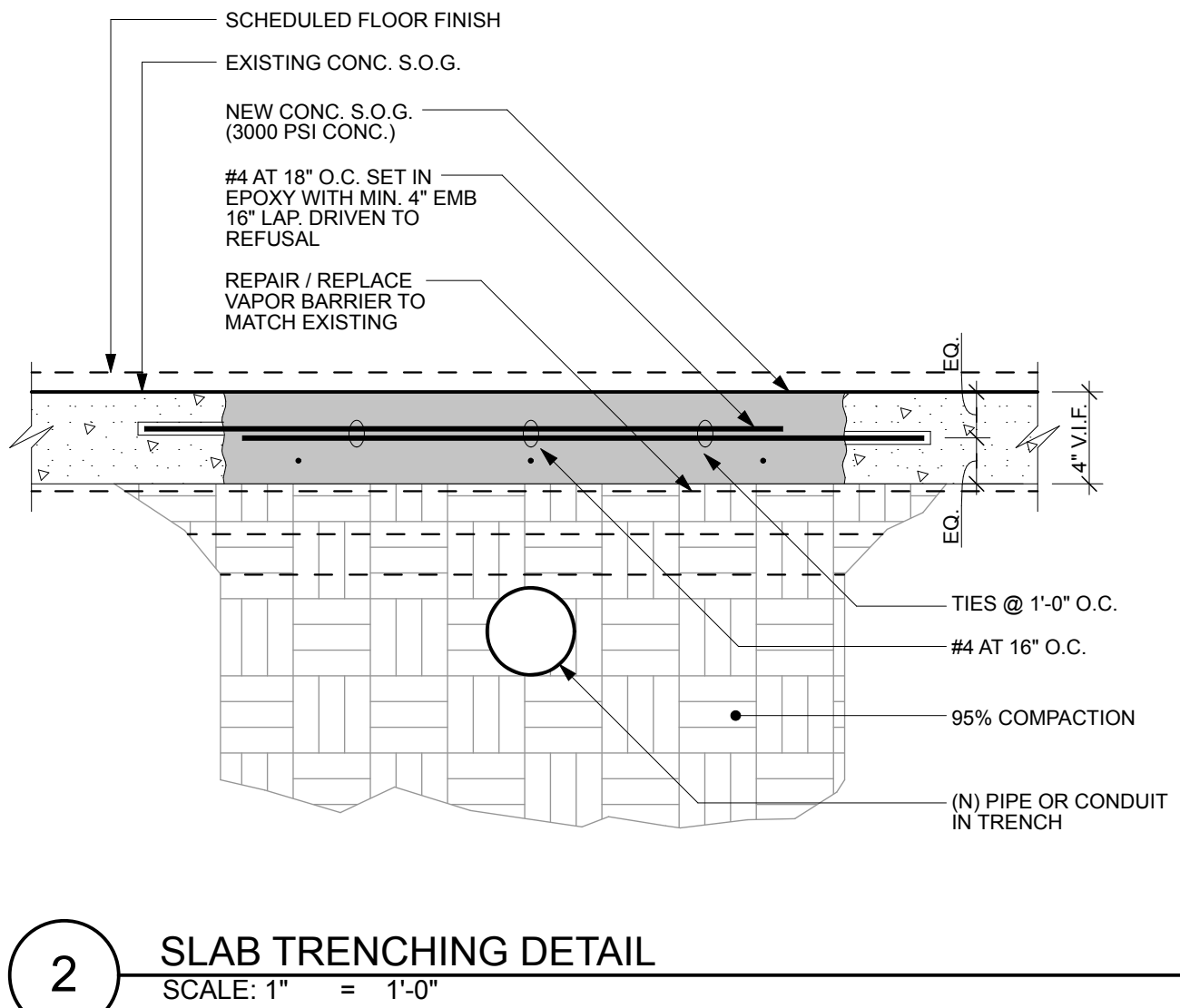
- ALL FLOOR PENETRATIONS MUST BE SLEEVED AND SEALED LIQUID TIGHT.
- NOTHING SHALL BE ATTACHED TO, SUSPENDED FROM OR PENETRATE THROUGH THE FLOOR OR THE ROOF DECK ABOVE UNLESS OTHERWISE NOTED.
- G.C. IS RESPONSIBLE FOR ALL STRUCTURAL PENETRATIONS & ROOFING WORK IF INDICATED ELSEWHERE ON THE DRAWINGS.
- G.C. SHALL FRAME, BRACE AND / OR SUSPEND AS REQUIRED TO / FROM THE TOP CHORD OF JOISTS OR STRUCTURAL STEEL WHICH EXIST ABOVE THE SPACE.
- G.C. IS RESPONSIBLE FOR THE INSTALLATION OF FIRE-RETARDANT TREATED BLOCKING AND FIRE-RETARDANT TREATED PLYWOOD BACKING IN PARTITIONS AS REQUIRED TO SECURE WALL MOUNTED WORK. REFER TO RESPONSIBILITY SCHEDULE FOR BLOCKING REQUIRED FOR ITEMS FURNISHED OR INSTALLED BY OWNER'S CONTRACTORS AND MILLWORKERS. AND MEP DRAWINGS FOR LOCATIONS OF ELECTRICAL EQUIPMENT. G.C. SHALL SUPPLY AND INSTALL METAL BLOCKING WITHIN PARTITIONS WHERE REQUIRED BY CODE.
- AT NO TIME SHALL BLOCKING WITHIN CEILING BE WOOD OR FIRE-RETARDANT TREATED WOOD.
- ALL SHEETROCK TO BE GREENGUARD CERTIFIED GYPSUM WALL BOARD AND 20 GA MIN. STEEL STUDS TO BE USED ON ALL INTERIOR PARTITIONS, U.O.N. SEE SPECS FOR ADDITIONAL NOTES AND REQUIREMENTS.
- G.C. IS RESPONSIBLE FOR PAINTING ALL SURFACES BEFORE INSTALLATION OF FIXTURES.
- G.C. SHALL FURNISH AND INSTALL FIRE EXTINGUISHERS IN COMPLIANCE WITH MOST CURRENT NFPA REGULATIONS OR AS DIRECTED BY LOCAL FIRE MARSHALL.
- G.C. IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS CONCERNING HAZARDOUS MATERIALS.
- G.C. SHALL REPAIR AND / OR REPAIR LANDLORD PROPERTY (NEUTRAL PIERS, BULHEAD, REAR CORRIDOR, ETC.) DAMAGED DURING TENANT IMPROVEMENTS.
- G.C. SHALL REMOVE ALL UNUSED SUPPLIES, MATERIALS, EQUIPMENT AND DEBRIS, INCLUDING PAINT, OUT OF THE STORE WHEN FINAL PUNCH LIST IS COMPLETED.

LAYOUT

- IT IS THE RESPONSIBILITY OF THE G.C. TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
 - FINAL PLACEMENT OF ALL LAYOUTS SHALL BE APPROVED IN FIELD BY ARCHITECT OR OWNER PRIOR TO THE COMMENCEMENT OF ANY FRAMING.
 - NOTIFY ARCHITECT DURING LAYOUT AND PRIOR TO FRAMING IF:
 - DIMENSION LABELED "MIN" CAN NOT BE ACHIEVED.
 - DIMENSION LABELED "H" VARIES MORE THAN 2" FROM ACTUAL FIELD DIMENSION.
 - ANY DISCREPANCY, OMISSION OR UNANTICIPATED FIELD CONDITION ALTERS THE INTENT OF THESE DOCUMENTS.
 - LAY OUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN (UNLESS NOTED OTHERWISE IN DRAWINGS).
 - UNDER NO CIRCUMSTANCES SHALL DRAWINGS BE SCALED. IF DIMENSIONS ARE NOT INDICATED ON THE CONSTRUCTION DOCUMENTS THE G.C. SHALL CONTACT THE ARCHITECT OR OWNER FOR DIRECTION.
 - ALL DIMENSIONS ARE FROM FACE OF FINISH TO FINISH (UNLESS NOTED OTHERWISE IN DRAWINGS).
 - DIMENSIONS INDICATED IN PLAN FOR MILLWORK ARE OVERALL FINISHED DIMENSIONS. G.C. SHALL COORDINATE WITH MILLWORKER TO VERIFY ROUGH OPENINGS REQUIRED FOR MILLWORK INSTALLATIONS.
- #### COORDINATION
- G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFTER DEMOLITION AND COORDINATE ALL TRADES PRIOR TO ANY WORK. CHECK IN WITH MALL OPERATIONS PRIOR TO ANY WORK.
 - ALL PENETRATIONS AND / OR MODIFICATIONS TO STRUCTURAL STEEL OR CONCRETE MUST BE COORDINATED WITH THE LANDLORD.
 - ALL CORING OF ELEVATED SLAB SHALL BE COORDINATED WITH LANDLORD. G.C. SHALL VERIFY AND BE RESPONSIBLE FOR DAMAGE TO EMBEDDED OR UNDER SLAB CONDUIT AND WIRING.
 - G.C. IS RESPONSIBLE FOR COORDINATING ALL LAYOUT ISSUES WITH MILLWORKER TO ESTABLISH MILLWORK LAYOUTS (WALL CASES, PORTALS, DOORS AND FRAMES, ETC.) OBTAIN MILLWORK SHOP DRAWINGS PRIOR TO ANY FRAMING.
 - G.C. IS RESPONSIBLE FOR SURVEYING FIELD INFORMATION AND DIMENSIONS TO THE MILLWORKER OR ANY OTHER OWNER'S CONTRACTORS AS REQUIRED FOR EACH CONTRACTOR TO PERFORM THEIR TRADE.

CONSTRUCTION LEGEND

- LEASE LINE
- EXISTING CONSTRUCTION TO REMAIN. MODIFY AS INDICATED - SEE PARTITION TYPES.
- NEW PARTITION TYPES - SEE PARTITION TYPES.
- PARTITION TYPE - SEE SHEET A-401 FOR MORE INFO.
- DOOR KEY - SEE SHEET T-201 FOR MORE INFO.
- ROOM NAME ROOM NAME
- EXISTING BUILDING COLUMN GRID
- FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET (RECESSED)
- 1'-0" SPOT ELEVATION
- 12'-0" AFF ELEVATION MARKER
- S.P. STARTING POINT FOR LAY-OUT
- ELEVATION KEY
- DRAWING NUMBER SHEET NUMBER
- SECTION KEY
- DRAWING NUMBER SHEET NUMBER
- DETAIL KEY
- DRAWING NUMBER SHEET NUMBER



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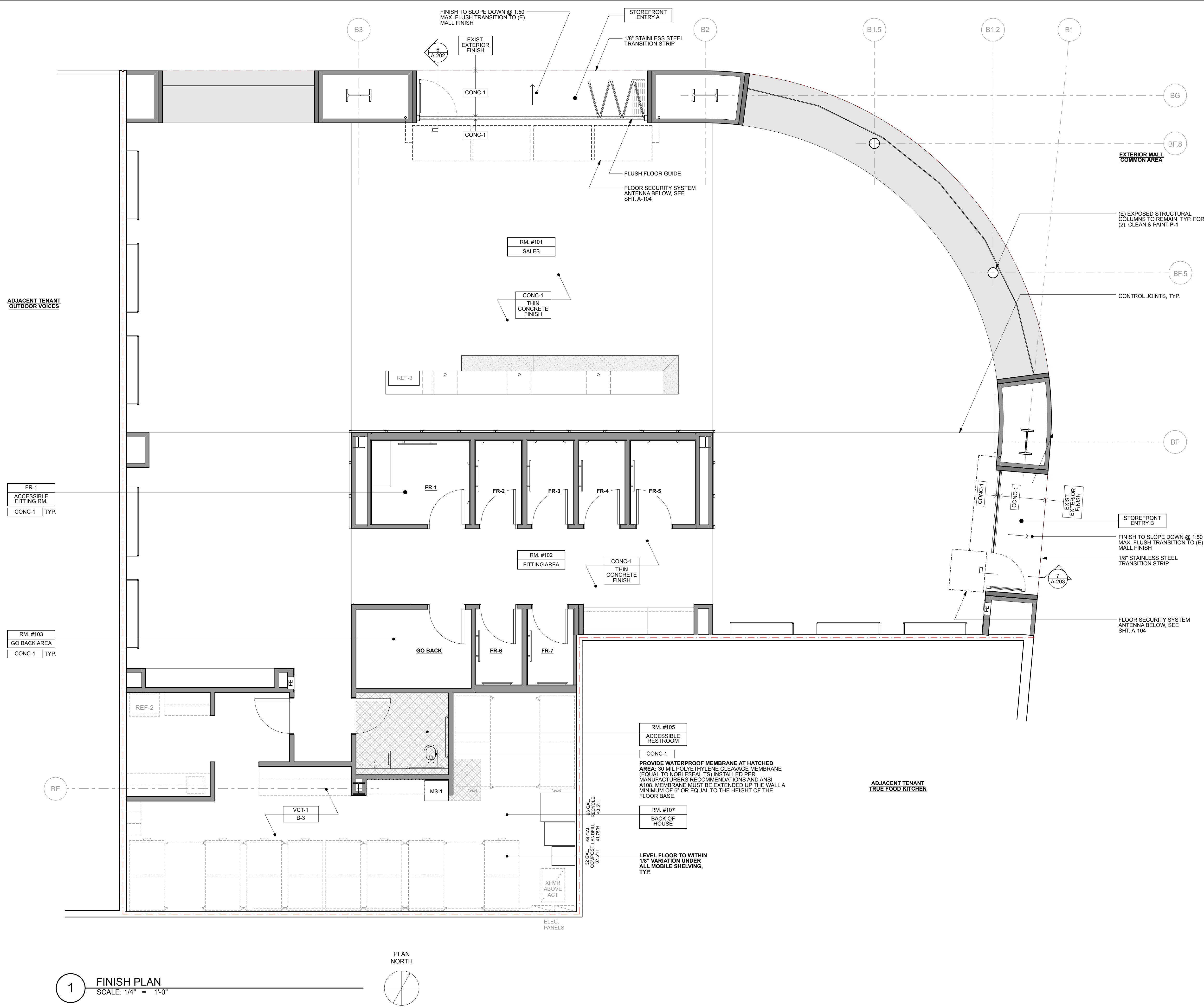
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ARB SUBMITTAL SET
CONSTRUCTION
PLAN

A-101

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- GENERAL FINISH NOTES**
- SEE SPECIFICATIONS FOR ADDITIONAL NOTES AND REQUIREMENTS.
 - SEE RESPONSIBILITY SCHEDULE FOR SCOPE DIVISIONS.
 - SEE FINISH SCHEDULE FOR ALL FINISH SPECIFICATIONS.
 - PROTECT ALL EXISTING TO REMAIN SURFACES. CLEAN, PATCH, REPAIR OR REPLACE ALL EXISTING FINISHES TO "LIKE-NEW" CONDITIONS.
 - SEE INTERIOR ELEVATIONS FOR WALL AND BASE FINISHES TYPICAL.

LEGEND	
F-1	(FLOOR) FINISH

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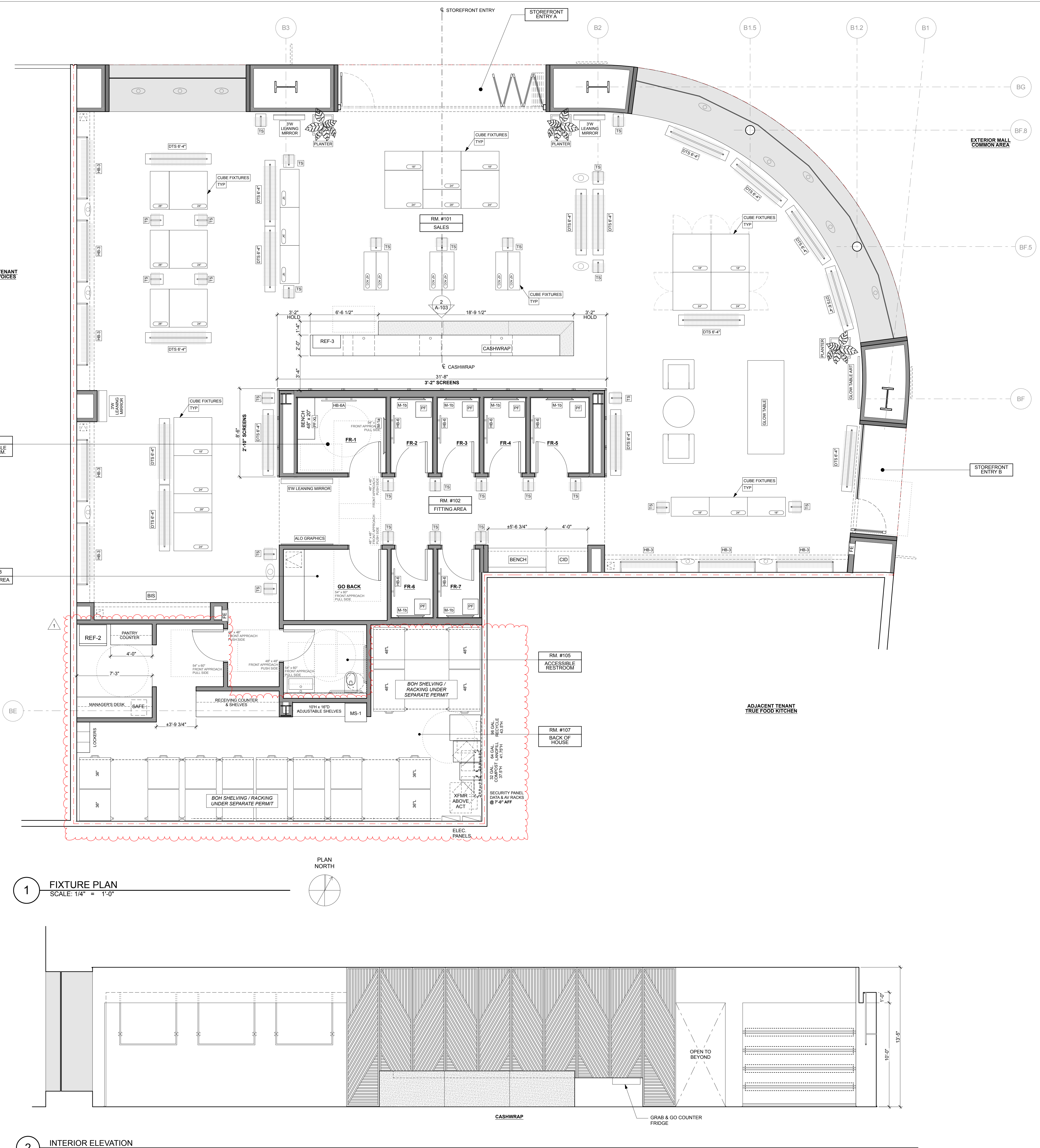
FINISH PLAN

A-102

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FIXTURE SCHEDULE				
ITEM	LABEL	ITEM	VENDOR	MODEL & FINISH
SALES PERIMETER BUILT-IN FIXTURES	HB-1	Wall Hanger Bar	Mike Becker	Custom Finish: PC Matte Black
	HB-2	Drop Down Hang Bar	Mike Becker	Custom: 5'-6"W x (VIF)H drop down Finish: PC Matte Black
	HB-3	Drop Down Hang Bar Wall Supported	Mike Becker	Custom: 5'-6"W x (VIF)H drop down Finish: PC Matte Black
	HB-4	Double Drop Down Hang Bar	Mike Becker	Custom: 5'-6"W x (VIF)H drop down Finish: PC Matte Black
	HB-5	Wall mounted Face Out	Mike Becker	Custom Finish: PC Matte Black
	BIS	Wall Shelves	Mike Becker	Custom Finish: PC WD-1
		Platform	Mike Becker	Custom Finish: PC WD-1
		Leaning Mirror	GC	Custom: refer to plans & elevations Finish: GL-4
		Cashwrap	Mike Becker	Custom: refer to plans & elevations Finish: refer to plans & elevations
		Backwrap	Mike Becker	Custom: refer to plans & elevations Finish: refer to plans & elevations
SALES FREE-STANDING FIXTURES	CID	Check in Desk	Mike Becker	Custom Finish: WD-1
		Bench	Mike Becker	Custom Finish: WD-1 w/ Aphokhty
	DTS	Double T-Stand	Mike Becker	Custom: 5'-6" bar width Finish: PC Matte Black
	DTS-XL	Double T-Stand XL	Mike Becker	Custom: 8'-2" bar width Finish: PC Matte Black
	DTS-N	Double T-Stand Narrow	Mike Becker	Custom: 4'-2" bar width Finish: PC Matte Black
	TS	T-Stands	Mike Becker	Custom Finish: PC Matte Black
	TS-SM	Original Small	Mike Becker	Custom Finish: PC Matte Black
	TS-XL	T-Stands Oversized	Mike Becker	Custom Finish: PC Matte Black
		Glow Table	Mike Becker	Custom Finish: PC Matte Black
		Table Mirror (Glow Table)	Mike Becker	Custom Finish: PC Matte Black
FITTING ROOM FIXTURES	DT-1	Custom Drum Table	Mike Becker	Custom Finish: PC Matte Black
	BS-1	Book Stand	Mike Becker	Custom Finish: PC Matte Black
	SBS	Surf Board Stand	Mike Becker	Custom Finish: PC Matte Black
		Cube Fixtures	Mike Becker	Custom per plan Finish: PC Matte Black
		Planter	Modern Floristry	TBD Location per plan
BOH FIXTURES	HB-6A	Dressing Room Hang Bar	Mike Becker	Custom: 2'-10"W Finish: PC Matte Black
	HB-6A	Dressing Room Hang Bar (Assessible Room)	Mike Becker	Custom: 3'-4"W Finish: PC Matte Black
	M-1a	@ Accessible Fitting Rm	Mike Becker	Custom: 3'-2"W refer to & elevations Finish: PC Matte Black
	M-1b	@ Typical Fitting Rm	Mike Becker	Custom: 2'-8"W refer to & elevations Finish: PC Matte Black
	PF	@ Typical Fitting Rm	Voila	18"x18"x18"H
MISC.	PF-XL	@ Accessible Fitting Rm	Voila	20"x48"x18"H
		Mobile Shelving System	Pipp Mobile	Manual Mobile / Rivet Style Shelving Color: Standard Gray
		Receiving Counter	GC	see plan & elevations
		Manager Desk	GC	see plan & elevations
		Pantry Counter	GC	see plan & elevations
		IT Rack		
		Safe	Amphion	

NOTES:
1. Refer to Sht. A-103 Fixture Plan for fixture layout.
2. G.C. to coordinate fixture installation and fixture location with Owner & Millworker per shop drawings, typ.
3. G.C. to coordinate location of j-box, duplex, transformers, low voltage wiring...etc. dedicated for millwork lights / data with Owner & Millworker per shop drawings, typ.
4. G.C. to provide blocking for fixtures as required per millwork shop drawings, typ.



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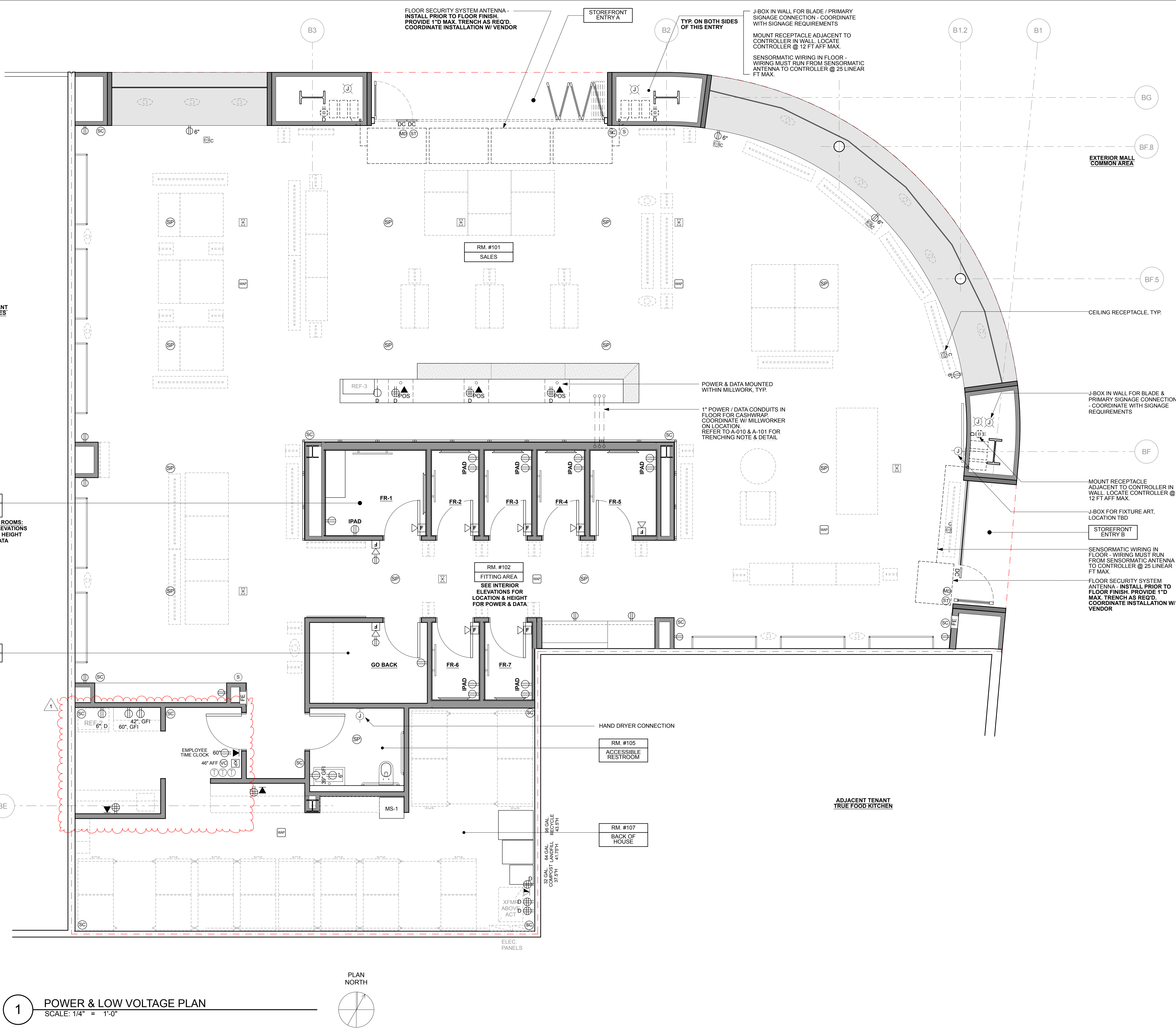
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FIXTURE PLAN

A-103

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1 POWER & LOW VOLTAGE PLAN
SCALE: 1/4" = 1'-0"

GENERAL POWER AND LOW VOLTAGE NOTES		POWER LEGEND		LOW VOLTAGE LEGEND	
1. SEE SPECIFICATIONS FOR ADDITIONAL NOTES AND REQUIREMENTS. 2. SEE RESPONSIBILITY SCHEDULE FOR SCOPE DIVISIONS. 3. SEE MEP DRAWINGS FOR ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS FOR ALL ELECTRICAL AND COMMUNICATION WORK. 4. ALL OUTLETS, PHONE AND DATA JACKS ARE SHOWN IN ARCHITECTURE DRAWINGS FOR CRITICAL LOCATION AND PLACEMENT ONLY. NOT QUANTITY. SEE MEP DRAWINGS FOR OTHER REQUIRED OUTLETS, WIRING AND SPECIFICATIONS. 5. DEVICES AND COVER PLATES A. ALL COVER PLATES TO BE SCREWLESS TYPE, LEVITON DECORA OR EQUAL. B. WHERE AN ELECTRICAL DEVICE IS LOCATED ON A GWB SURFACE, DEVICES AND COVER PLATES SHALL BE WHITE, UNLESS OTHERWISE NOTED. C. WHERE AN ELECTRICAL DEVICE IS LOCATED ON A WOOD MILLWORK SURFACE, DEVICES AND COVER PLATES SHALL BE WHITE, UNLESS OTHERWISE NOTED. D. GAND ADJACENT DEVICES IN THE SINGLE PLATE, UNLESS OTHERWISE NOTED. E. ADJACENT POWER AND DATA RECEPTACLE COVER PLATES TO HAVE 1/2" MINIMUM SPACE IN-BETWEEN. 6. ALL TELEPHONE, DATA, AND AV LOW VOLTAGE WIRING TO BE IN CONDUIT UP TO CEILING SPACE OR AS DIRECTED IN LOW VOLTAGE WIRING DRAWINGS. SEE MEP DRAWINGS FOR FURTHER EMPTY CONDUIT AND STUB-UP REQUIREMENTS. 7. ALL FIRE ALARM DEVICES SHOWN FOR CRITICAL LOCATION AND PLACEMENT ONLY. NOT QUANTITY. SEE MEP DRAWINGS FOR FIRE ALARM SYSTEM REQUIREMENTS. 8. SEE TYPICAL MOUNTING HEIGHT DIAGRAMS FOR RECEPTACLE HEIGHTS. 9. REFER TO ELEVATION DRAWINGS FOR MOUNTING HEIGHTS IF NOT INDICATED ON PLAN. CONTACT ARCHITECT IMMEDIATELY IF CRITICAL DIMENSIONS ARE NOT PROVIDED. DO NOT SCALE DRAWINGS FOR MOUNTING LOCATIONS OR PLACEMENT. 10. WHERE POWER AND TEL DATA RECEPTACLES ARE LOCATED ADJACENT TO EACH OTHER, THEY ARE TO BE LOCATED AT THE SAME HEIGHT, UNLESS OTHERWISE NOTED. 11. ALL TELEPHONE AND DATA OUTLET CABLING TO HAVE HOME-RUNS FROM OUTLET LOCATION TO IT RACK. 12. ALL CABLING FOR AV EQUIPMENT, SPEAKERS, VOLUME CONTROLS, ETC. TO HOME-RUN TO AV EQUIPMENT LOCATION AT IT CLOSET. CONFIRM REQUIREMENTS WITH OWNER VENDOR PRIOR TO INSTALL. 13. SEE REFLECTED CEILING PLAN FOR SPEAKER LOCATIONS, SECURITY CAMERA LOCATIONS, AND LOCATIONS OF CEILING MOUNTED WIRELESS ACCESS POINTS. 14. SEE REFLECTED CEILING PLAN FOR CEILING POWER		(E) - EXISTING (R) - RELOCATED B - IN BASE, SEE DETAIL C - CEILING MOUNTED CK - CLOCK (RECESSED) D - DEDICATED G - GROUND GFI - GROUND FAULT INTERRUPTER WALL OR FUTURE MOUNTED DUPLEX RECEPTACLE FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE WALL OR FUTURE MOUNTED QUAD RECEPTACLE FLUSH FLOOR MOUNTED QUAD RECEPTACLE WALL OR FUTURE MOUNTED JUNCTION BOX FLOOR MOUNTED JUNCTION BOX CEILING MOUNTED JUNCTION BOX		AV DEVICES SP - FLUSH CEILING MOUNTED SPEAKER SP - PENDANT CEILING MOUNTED SPEAKER V - WALL MOUNTED VOLUME CONTROL LOW VOLTAGE DEVICES ST - CEILING MOUNTED TRAFFIC COUNTER (1 DATA CABLE) WHS - CEILING MOUNTED WIRELESS ACCESS POINT (2 DATA CABLES) WALL MOUNTED DATA / TELEPHONE OUTLET (2) PORTS/CABLES WALL MOUNTED DATA / TELEPHONE OUTLET (4) PORTS/CABLES SECURITY DEVICES DC - DOOR CONTACT MC - CEILING MOUNTED MOTION DETECTOR SC - CEILING MOUNTED SECURITY CAMERA WC - WALL MOUNTED SECURITY CAMERA SL - CEILING MOUNTED STROBE LIGHT AL - WALL MOUNTED SECURITY ALARM KP - WALL MOUNTED SECURITY KEYPAD	
				GC TO COORDINATE WITH OWNER VENDOR COORDINATE LOCATIONS WITH ARCHITECTURAL PLANS AND ELEVATIONS HOME RUN ALL LV DEVICES TO DATA AV RACK. LEAVE 6" SLACK AT RACK. PROVIDE PLENUM RATED CAT5 CABLE AT OUTLETS TERMINATE AT FACE PLATE WITH RJ45 FEMALE PORT COORDINATE LOCATIONS WITH ARCHITECTURAL PLANS AND ELEVATIONS GC TO COORDINATE WITH OWNER VENDOR COORDINATE LOCATIONS WITH ARCHITECTURAL PLANS AND ELEVATIONS	
LOW VOLTAGE LEGEND		HVAC DEVICES		FIRE ALARM	
THERMOSTAT THERMOSTAT REMOTE SENSOR		WALL MOUNTED FIRE ALARM DEVICE CEILING MOUNTED FIRE ALARM DEVICE WALL MOUNTED FIRE ALARM DEVICE FIRE ALARM PULL STATION		SEE HVAC DRAWINGS FOR MORE INFORMATION ON HVAC DEVICES AND WIRING. COORDINATE LOCATIONS WITH ARCHITECTURAL PLANS AND ELEVATIONS. COORDINATE WITH BUILDING BMS SYSTEM. THESE PLANS SHALL NOT SERVE AS THE FIRE ALARM PERMIT DOCUMENTS. CONTRACTOR SHALL INCLUDE IN THEIR BID A COMPLETE SET OF FIRE ALARM DESIGN AND PERMIT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND OBTAINING NECESSARY SIGN-OFFS FROM THE BUILDING AND FIRE DEPARTMENTS.	

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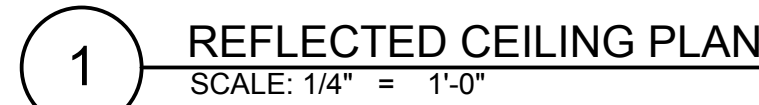
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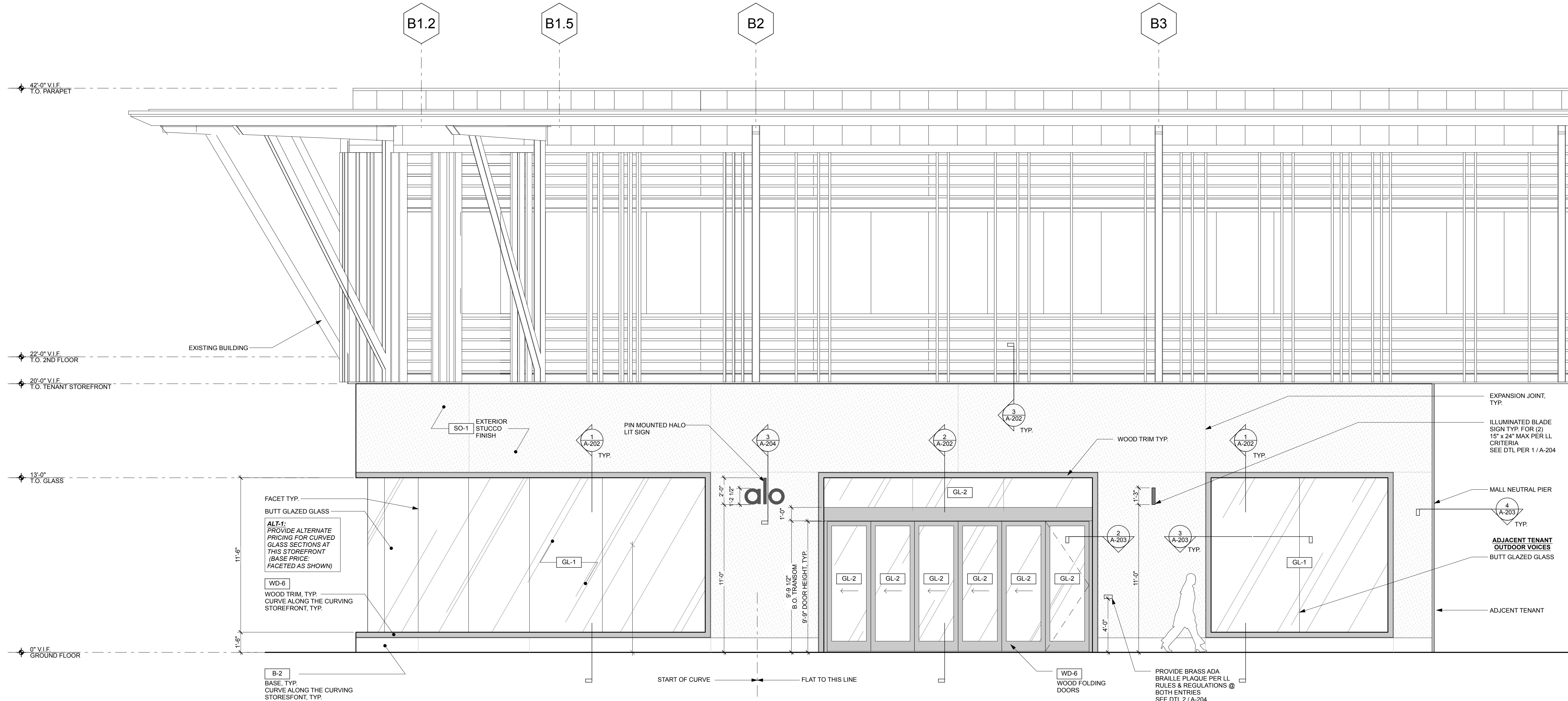
POWER & LOW
VOLTAGE PLAN

A-104

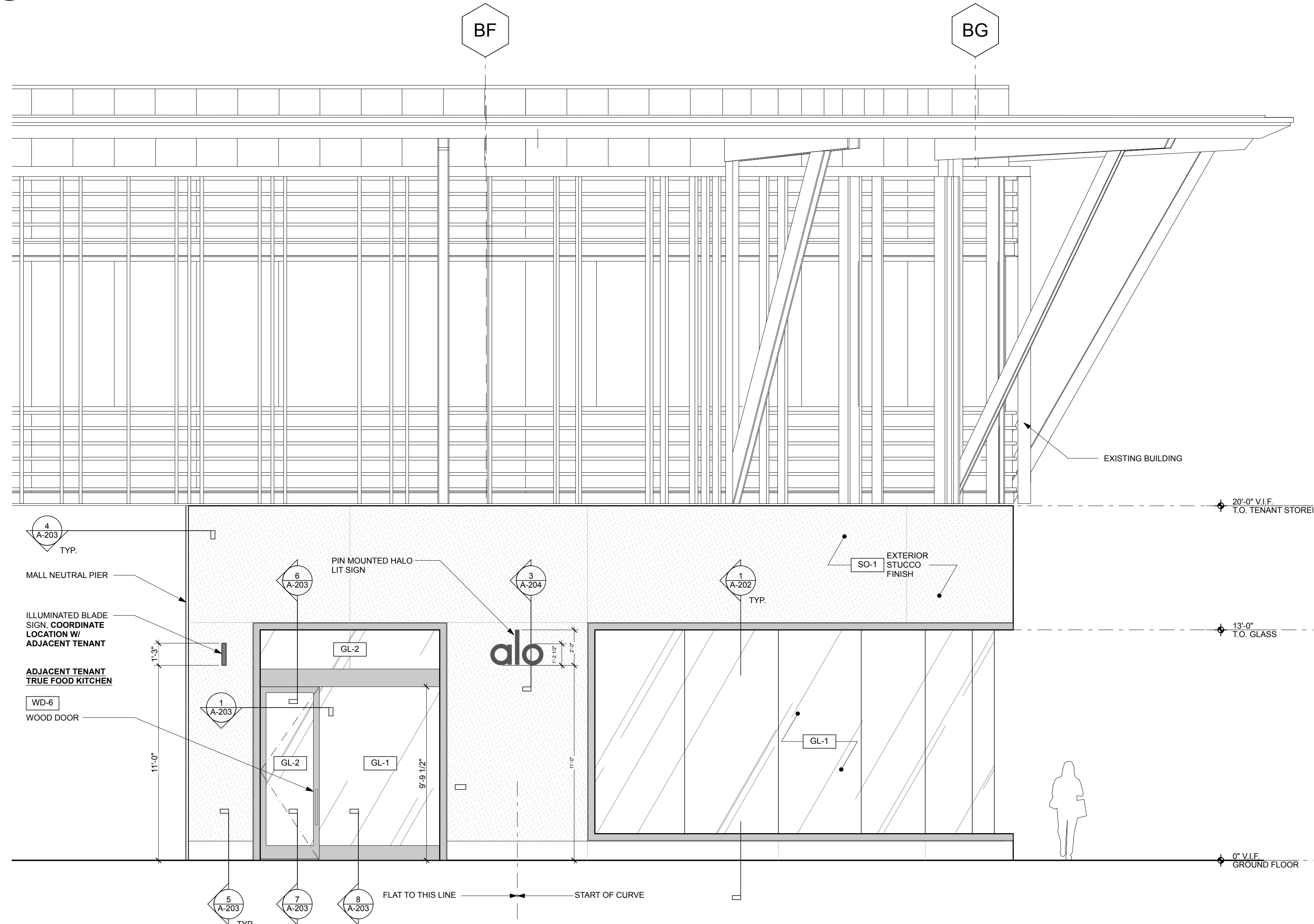


REFLECTED CEILING PLAN NOTES		RCP LEGEND SEE E-SHEETS FOR ALL LIGHT FIXTURE SPECIFICATIONS, CIRCUITING, ETC.			
GENERAL 1. SEE SPECIFICATIONS FOR ADDITIONAL NOTES AND REQUIREMENTS. 2. SEE RESPONSIBILITY SCHEDULE FOR SCOPE DIVISIONS. 3. SEE MEP DRAWINGS FOR ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER AND FIRE ALARM WORK. 4. G.C. IS RESPONSIBLE FOR SUBMITTING A COORDINATED SHOP DRAWING INDICATING ELECTRICAL, MECHANICAL, SPRINKLER AND PLUMBING WORK ABOVE PROPOSED CEILING. THE G.C. SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND COORDINATE ROUTING AND PLACEMENT OF EQUIPMENT WITH ALL TRADES PRIOR TO THIS SUBMISSION. 5. HEIGHTS INDICATED ARE FROM FINISHED FLOOR TO FINISHED CEILING AND/OR UNDERSIDE OF EXPOSED DECK. NOTIFY ARCHITECT OR OWNER TO REVIEW ANY DISCREPANCIES PROPOSED CEILING HEIGHT AND EXISTING CONDITIONS AFTER DEMOLITION WORK IS COMPLETED. 6. ALL CEILING GRILLES, ACCESS PANELS AND SPRINKLER HEADS ARE SHOWN ON PLAN OR IN DETAILS. ONLY THE BEST PRACTICES SHALL BE IN ACCORD WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. G.C. SHALL CONTACT ARCHITECT FOR INSTRUCTIONS PRIOR TO ANY WORK. 7. G.C. IS RESPONSIBLE FOR INSTALLING TRACK HEADS PER DRAWINGS. 8. TYPICAL ACCESS PANEL SPEC: INTERFORMS MODEL "LIFT & SHIFT ACCESS PANEL SQUARE DOOR CORNERS". 9. ALL LOW VOLTAGE WIRING IN EXPOSED CEILING AREA TO BE IN EMT CONDUIT - COORDINATE WIRE PATH WITH ARCHITECT	SPRINKLER 1. SPRINKLER COVERAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. MORE SPRINKLER HEADS MAY BE REQUIRED THAN SHOWN. SEE MEP SPRINKLER DRAWING FOR SPRINKLER HEAD LAYOUT. 2. HEADS SHOWN FOR LOCATIONS RELATIVE TO LIGHT FIXTURES, WALLS AND OTHER CEILING FEATURES ONLY. ALL SPRINKLER HEADS ON THE SALES FLOOR SHALL BE INSTALLED SO CENTERED ON LIGHT FIXTURES/GRILLES, ETC. AND EQUALLY SPACED BETWEEN LIGHT FIXTURES/GRILLES ETC. 3. G.C. SHALL PROVIDE SPRINKLER AND FIRE ALARM SHOP DRAWINGS BASED ON THE ARCHITECTURAL REFLECTED CEILING PLAN. SHOP DRAWINGS SHALL BE SUBMITTED IN A TIMELY FASHION, FOR REVIEW PRIOR TO INSTALLATION. SHOULD INSTALLATION OCCUR PRIOR TO REVIEW AND APPROVAL, THE G.C. SHALL AT THE OWNERS OR ARCHITECTS DISCRETION BE REQUIRED TO RELOCATE HEADS AND DEVICES PER ARCHITECT'S SHOP DRAWINGS. THE RELOCATION SHALL BE AT THE G.C.'S EXPENSE. SEE ENGINEER'S DRAWINGS FOR SPECIFICATIONS, DETAILS, ETC.	GENERAL (E) (R) -EM -NL [X]<			

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1 STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"

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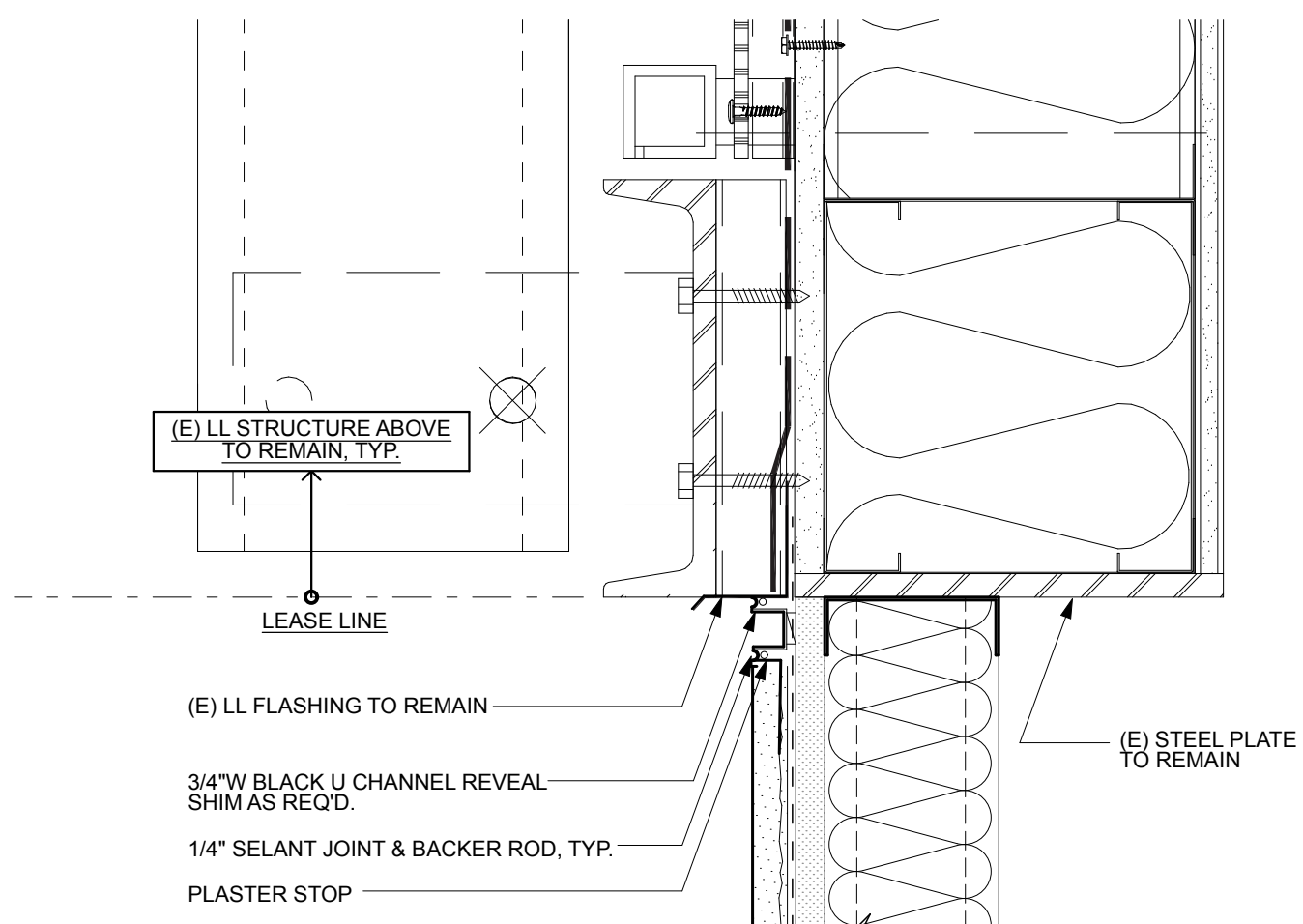
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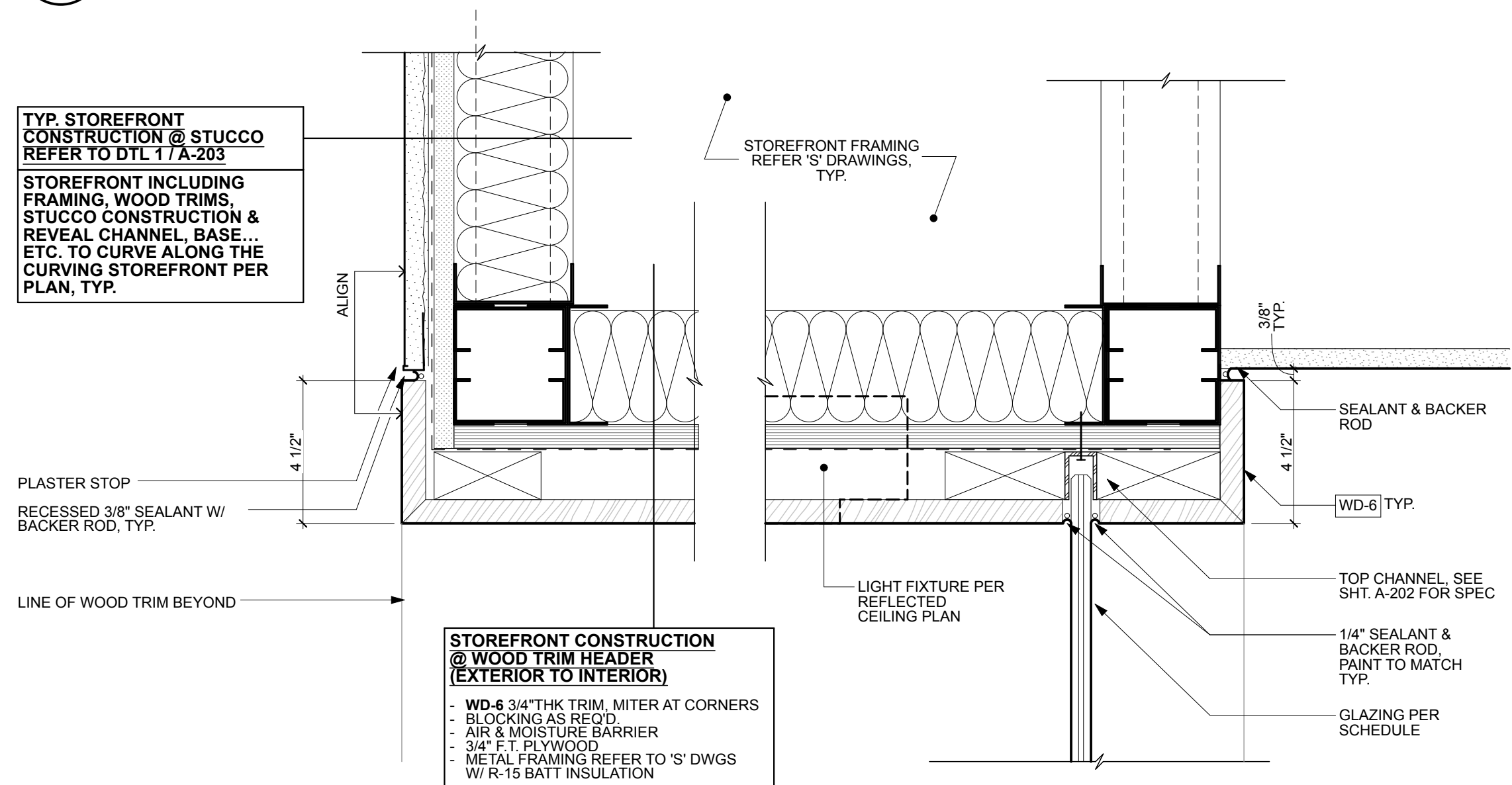
STOREFRONT
ELEVATIONS

A-201

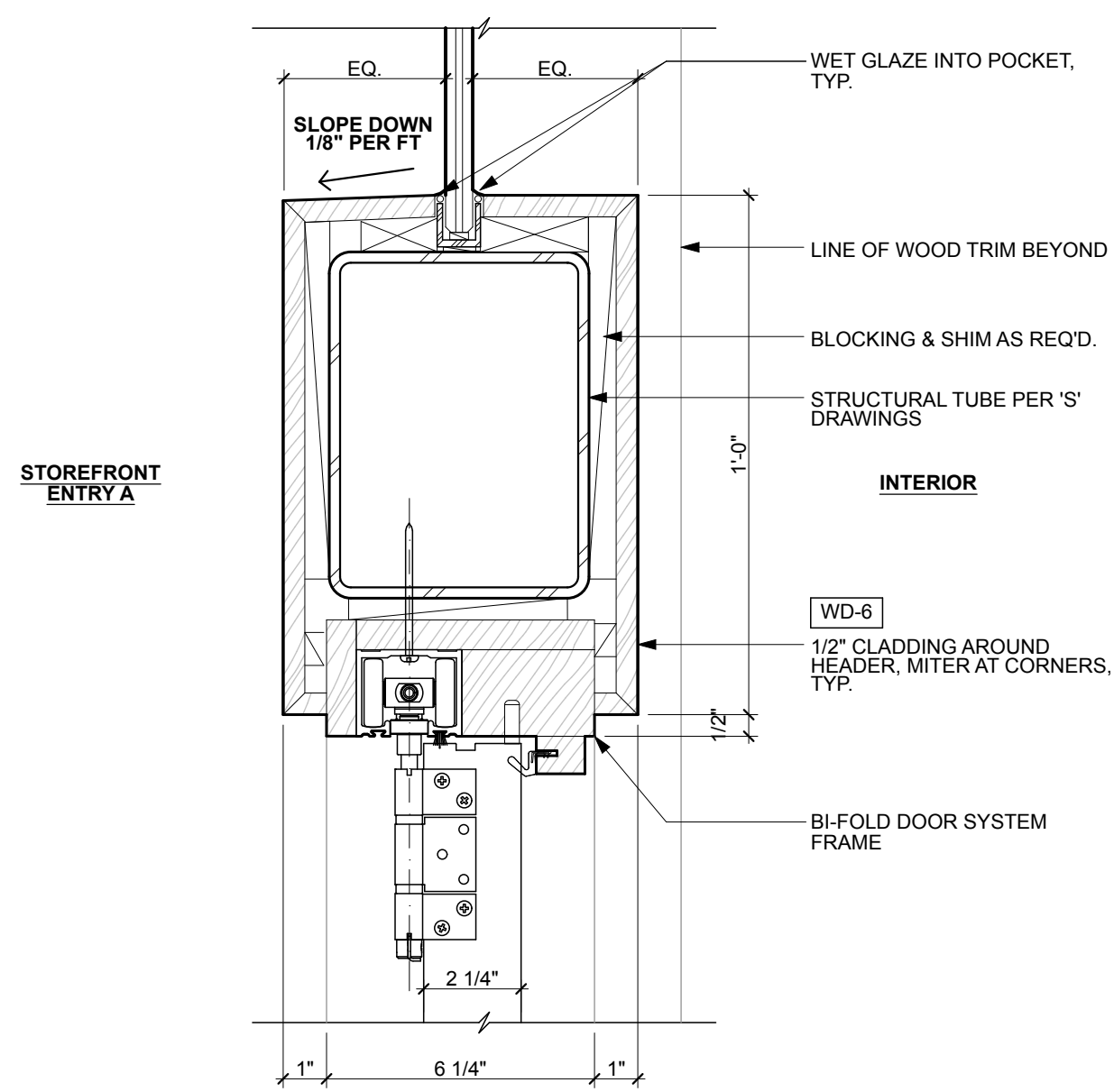
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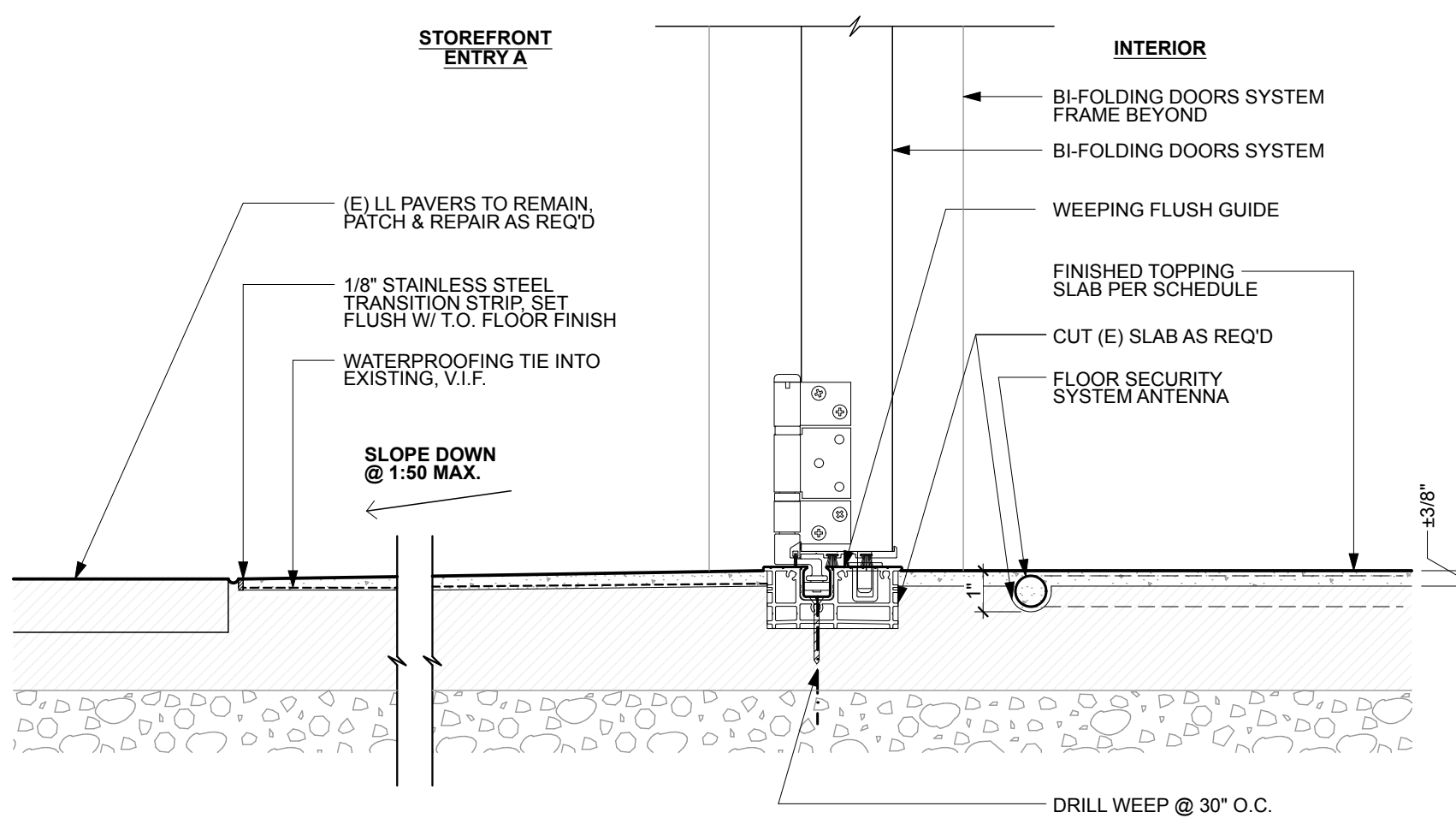
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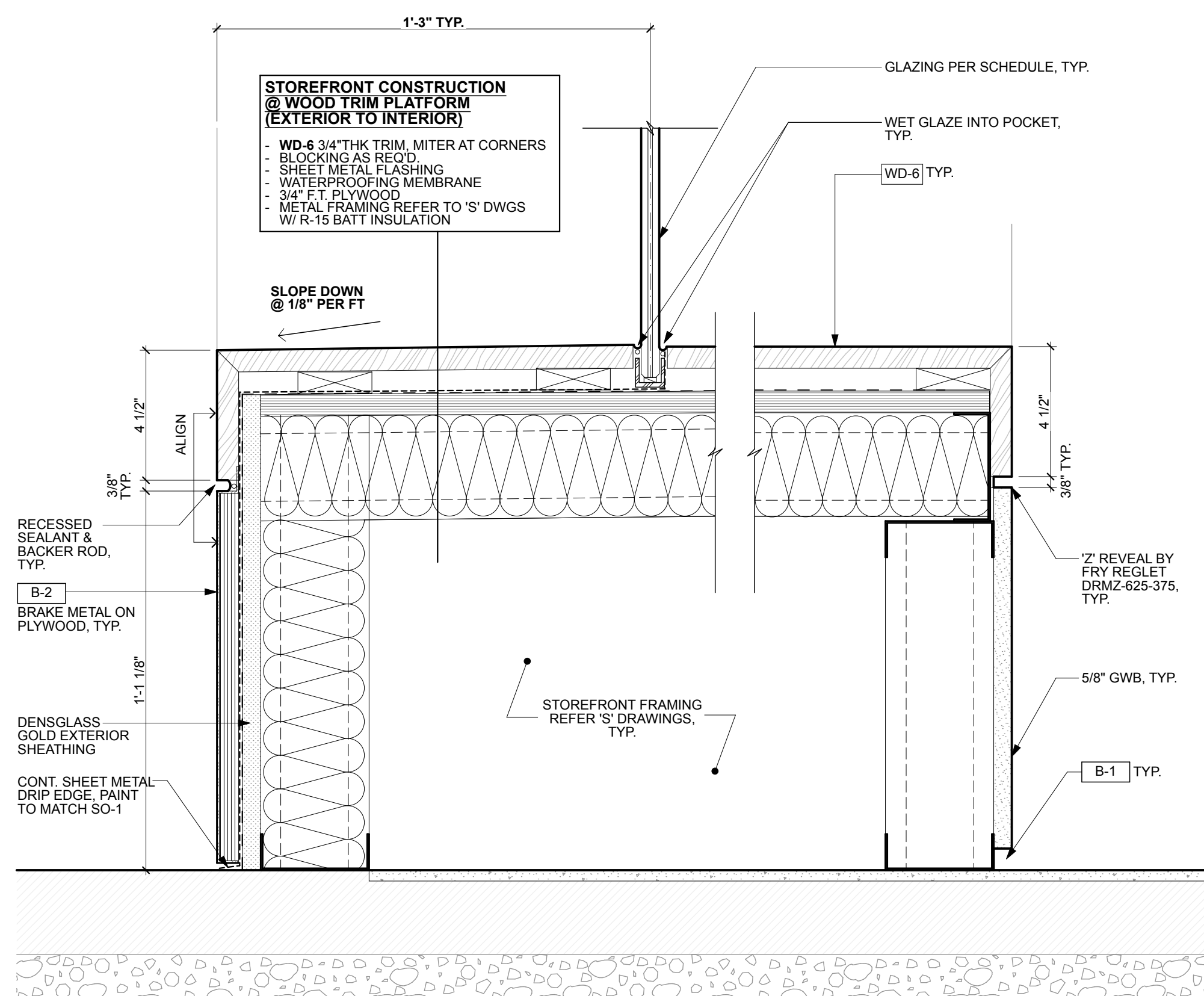
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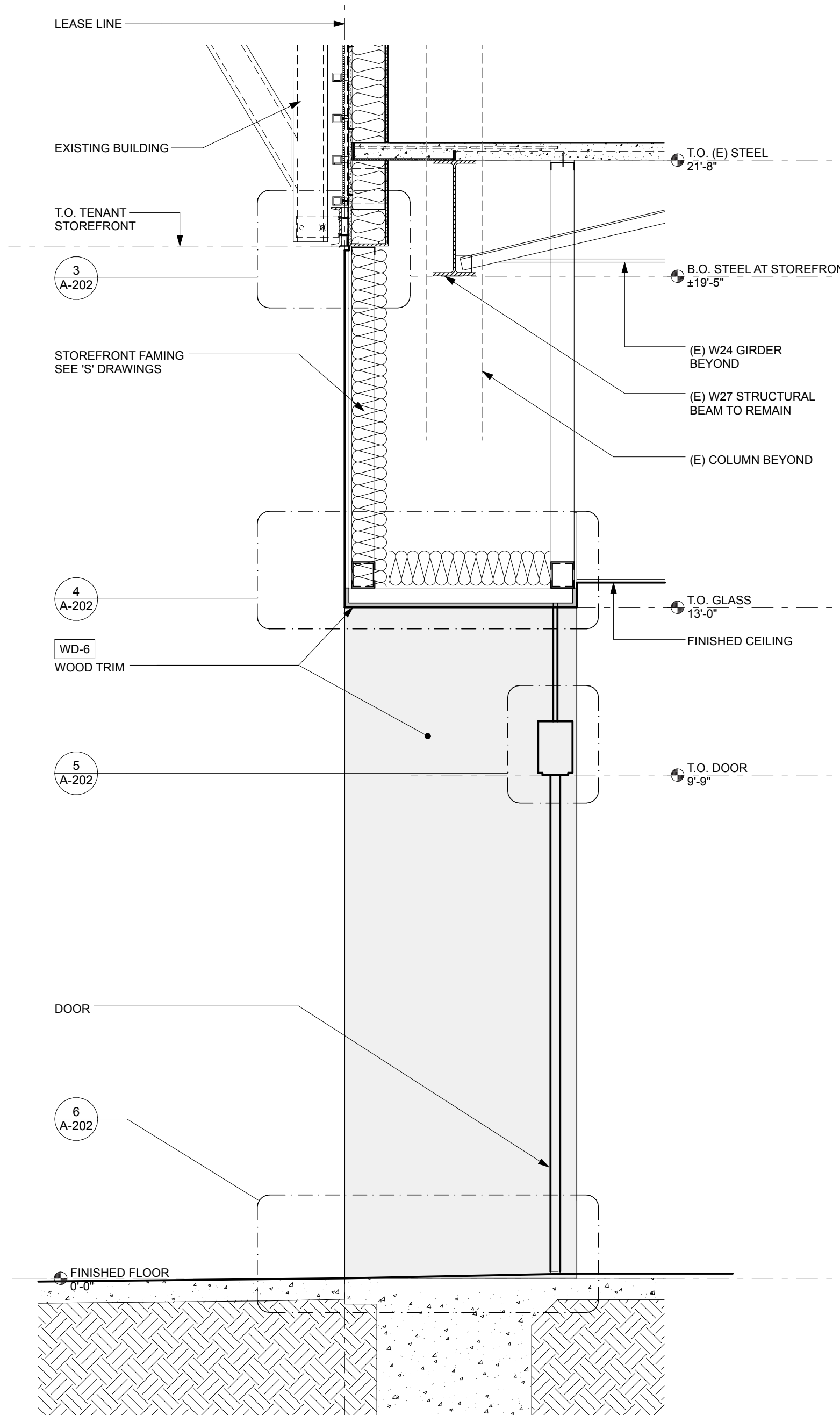
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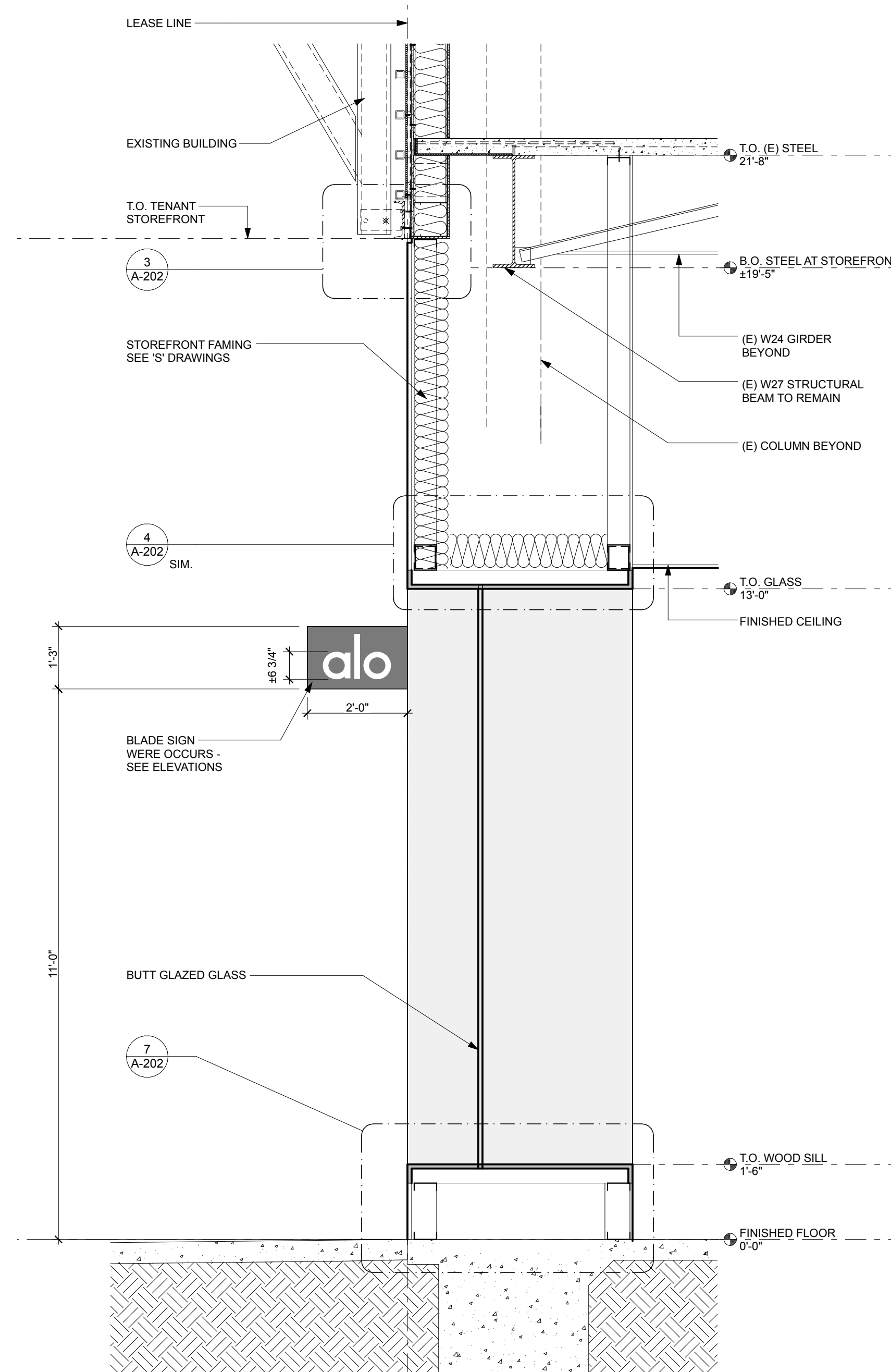
6 SECTION DETAIL @ BI-FOLD DOORS TRANSITION
SCALE: 3\"/>



7 SECTION DETAIL @ DISPLAY PLATFORM
SCALE: 3\"/>



2 STOREFRONT SECTION @ STOREFRONT ENTRY
SCALE: 1/2\"/>



1 STOREFRONT SECTION @ DISPLAY WINDOW
SCALE: 1/2\"/>

STOREFRONT ENTRY 'B' SPECIFICATIONS:

- PIVOT SWING DOOR W/ SIDE/TE PANEL - CUSTOM STOREFRONT SYSTEM**
 - SIZE:** 2 1/4" THICK PANELS, WIDTH & HEIGHT PER PLAN & ELEVATION ON THIS SHEET
 - FINISH:** **WD-6** WHITE OAK, FINISH TO MATCH **WD-1** PROVIDE SAMPLE FOR APPROVAL
- SIGN** - THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED/ 1" HIGH WHITE LETTERS APPLIED TO FRAME OF ENTRY DOORS
- PIVOTS** - (X1) CENTER HUNG PIVOT SETS WITH WALKING TOP PIVOT TO SUIT
- LOCK** - (X1) BOTTOM RAIL LOCKS
- CYLINDER** - (X1) CYLINDER W/ SFC 7PIN CORE ON EXTERIOR SIDE (X1) THUMB TURN ON INTERIOR SIDE
- DUSTPROOF STRIKE** - (X2) ROCKWOOD 576
- HANDLE** - (X2) DALLAS SERIES BY HOPPE, SATIN NICKEL RESISTA FINISH (ONE ON EXTERIOR; ONE ON INTERIOR)
- W/ WEATHERSTRIPPING**
- CLOSER** - **GL-2 GLAZING** - 1/2" SINGLE PANE TEMPERED LOW IRON GLASS FENESTRATION TO MEET OVERALL U-FACTOR 0.99, OVERALL SHGC 0.74 OR BETTER GLASS THICKNESS IS RECOMMENDED MINIMUM - PROVIDE THICKNESS AS REQUIRED FOR APPLICATION.
- GL-1 GLAZING** - 5/8" SINGLE PANE TEMPERED LOW IRON GLASS FENESTRATION TO MEET OVERALL U-FACTOR 1.04, OVERALL SHGC 0.76 OR BETTER GLASS THICKNESS IS RECOMMENDED MINIMUM - PROVIDE THICKNESS AS REQUIRED FOR APPLICATION.

FIXED GLAZING & HARDWARE SPEC:

- TOP CHANNEL** - CRL - SINGLE ALUM. U-CHANNEL 1 1/2"H OR EQ. SIZE TO SUIT PER GLAZING. FASTENER SIZE & SPACING BY GLAZING CONTRACTOR
- BOTTOM CHANNEL** - CRL - SINGLE ALUM. U-CHANNEL 1"H OR EQ. SIZE TO SUIT PER GLAZING. FASTENER SIZE & SPACING BY GLAZING CONTRACTOR
- GL-1 GLAZING** - 5/8" SINGLE PANE TEMPERED LOW IRON GLASS FENESTRATION TO MEET OVERALL U-FACTOR 1.04, OVERALL SHGC 0.76 OR BETTER GLASS THICKNESS IS RECOMMENDED MINIMUM - PROVIDE THICKNESS AS REQUIRED FOR APPLICATION.
- ALT-1 CURVED GLAZING AT CURVING STOREFRONT:** PROVIDE ALTERNATE PRICING FOR CURVED GLASS & CURVED TOP & BOTTOM TRACK TO SUIT AT CURVING STOREFRONT.

STOREFRONT ENTRY 'A' SPECIFICATIONS:

- BI-FOLD SLIDING DOORS & FRAME SYSTEM - BI-FOLD GLASS WALL SYSTEM / WOOD FOLDING DOORS & WINDOWS BY LANAI DOORS INCLUDE WEATHERSTRIPPING & ASSOCIATE BIFOLD DOOR HARDWARE TO SUIT**
 - SIZE:** 2 1/4" THICK PANELS, WIDTH & HEIGHT PER PLAN & ELEVATION ON THIS SHEET
 - FINISH:** **WD-6** WHITE OAK, FINISH TO MATCH **WD-1** PROVIDE SAMPLE FOR APPROVAL
- FLOOR GUIDE** - WEEPING FLUSH GUIDE TO SUITE PROVIDE GUIDE INSERT FOR ACCESSIBILITY
- SIGN** - THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED/ 1" HIGH WHITE LETTERS APPLIED TO FRAME OF ENTRY DOORS
- LOCK** - (X1) ADAMS RITE MS1850S-X5X (X1) EXIT INDICATOR BY ADAMS RITE 4089 AS REQ'D
- CYLINDER** - (X1) CYLINDER W/ SFC 7PIN CORE ON EXTERIOR SIDE (X1) THUMB TURN ON INTERIOR SIDE
- HANDLE** - (X2) DALLAS SERIES BY HOPPE, SATIN NICKEL RESISTA FINISH (ONE ON EXTERIOR; ONE ON INTERIOR)
- GL-2 GLAZING** - 1/2" SINGLE PANE TEMPERED LOW IRON GLASS FENESTRATION TO MEET OVERALL U-FACTOR 0.99, OVERALL SHGC 0.74 OR BETTER GLASS THICKNESS IS RECOMMENDED MINIMUM - PROVIDE THICKNESS AS REQUIRED FOR APPLICATION.

STOREFRONT GENERAL NOTES

STOREFRONT NOTES

- THE ENGINEERING OF THE STOREFRONT COMPONENTS, GLAZING, AND DOORS, INCLUDING ANCHORING TO SURROUNDING MATERIALS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- STOREFRONT & DOORS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL MEMBERS SHALL BE FLUSH AND ALL JOINTS SHALL BE MINIMAL. NO VISIBLE FASTENERS ALLOWED, UNLESS OTHERWISE NOTED.
- SEE DOOR AND HARDWARE SCHEDULES ON THIS SHEET AND SPECIFICATIONS FOR MORE INFORMATION.
- SUBSTRATES UPON WHICH COMPONENTS SHALL BE MOUNTED, SHALL BE FRAMED ABSOLUTELY PLUMB.
- PROVIDE CUSTOM FABRICATED COMPONENT AS SHOWN ON DRAWINGS AND AS REQUIRED TO ACCOMPLISH THE INTENDED USE. METAL COMPONENTS SHALL COMPLY WITH ALL MANUFACTURER'S RECOMMENDATIONS. WARRANTY SHALL BE 10 YEARS.
- THERE SHALL NOT BE ANY VISIBLE DISTORTION SUCH AS ROLLER WAVE, BOW AND WARP IN GLAZING, TYP.

SUBMITTALS

- SUBMIT COMPLETE SHOP DRAWINGS & TECHNICAL INFORMATION TO ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING.
 - SHOP DRAWINGS SHALL INDICATE THICKNESS AND SPECIFICATIONS OF ALL PROPOSED MATERIALS, ALL ANCHORS / FASTENERS, SPACING, AND REINFORCING.
 - SHOP DRAWINGS SHALL CLEARLY INDICATED ADHESIVE METHODOLOGY.
 - SHOP DRAWINGS SHOULD INCLUDE: ALL DIMENSIONS, COORDINATION WITH ADJACENT ARCHITECTURE, STRUCTURE AND FINISHES, ALL FASTENERS, ALL HARDWARE, FINISH SPECS FOR ALL STOREFRONT COMPONENTS.
- SUBMIT SAMPLES FOR APPROVAL AS FOLLOW (1 TO OWNER & 1 TO ARCHITECT):
 - STOREFRONT FINISH: **SO-1**
 - STOREFRONT DOOR SYSTEM: **WD-6**

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11.15.21	ARB SUBMITTAL SET

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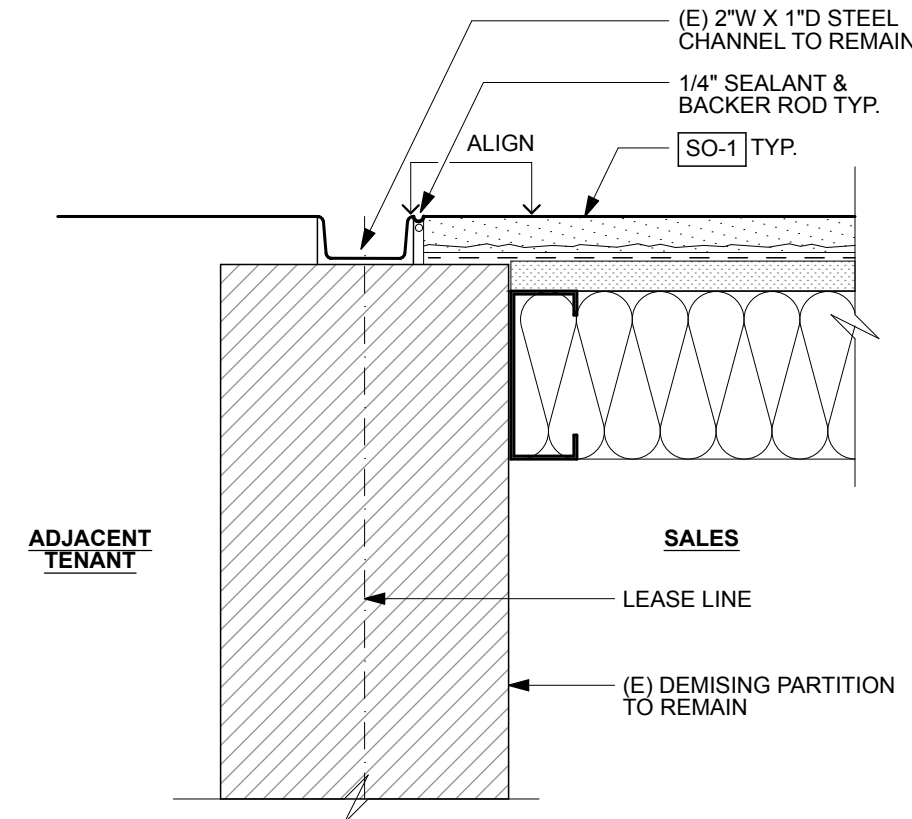
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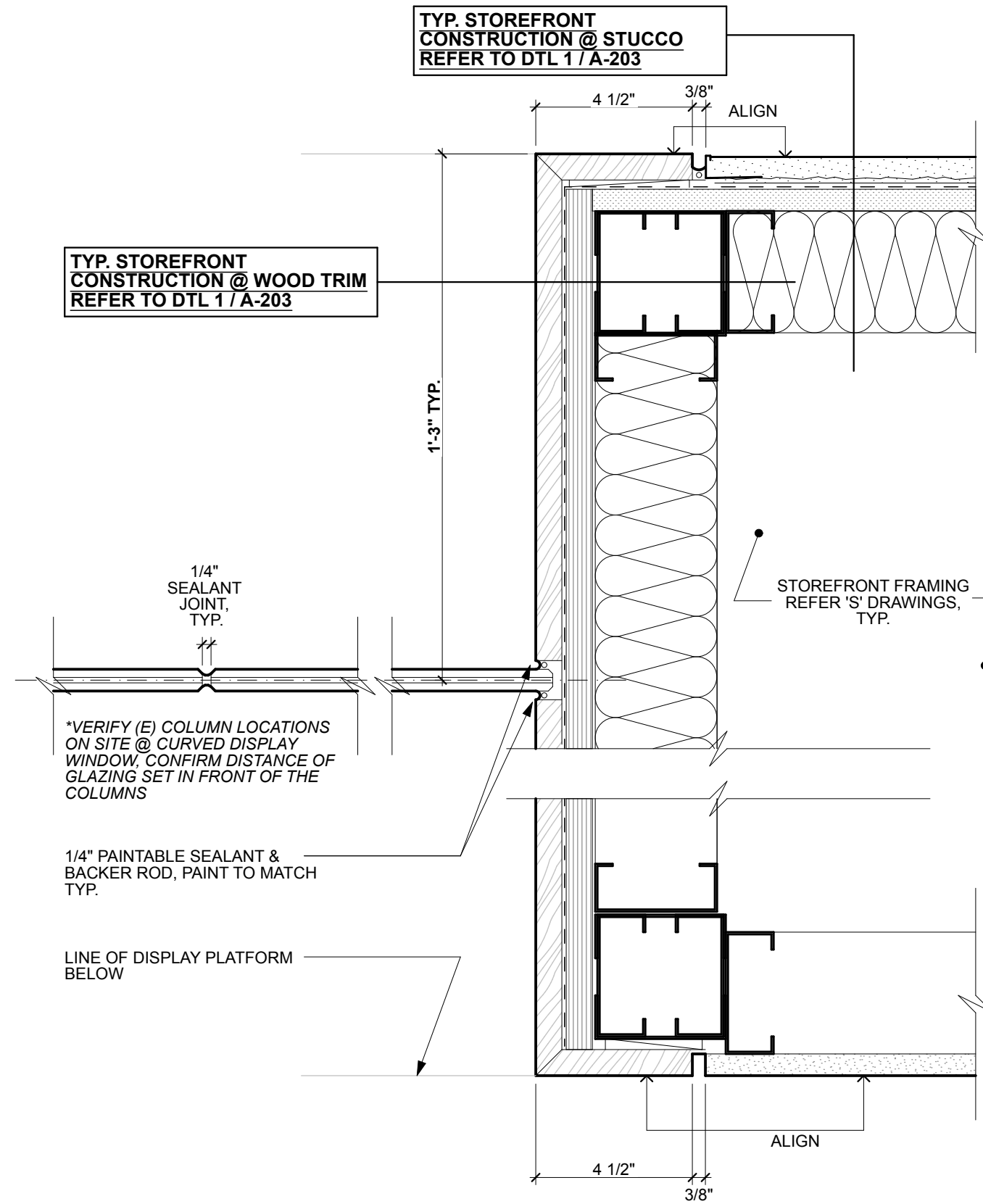
STOREFRONT
SECTIONS &
DETAILS

A-202

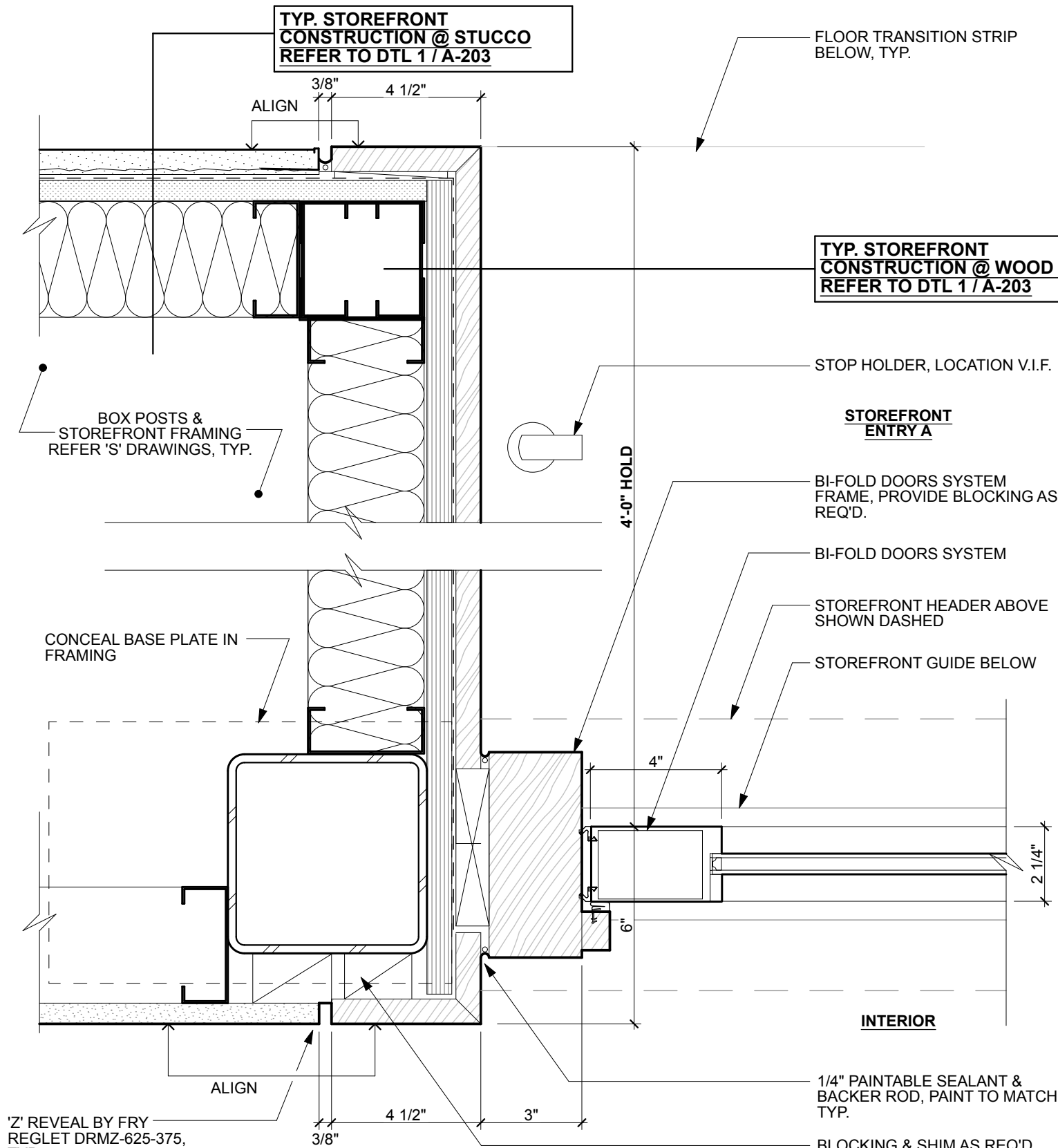
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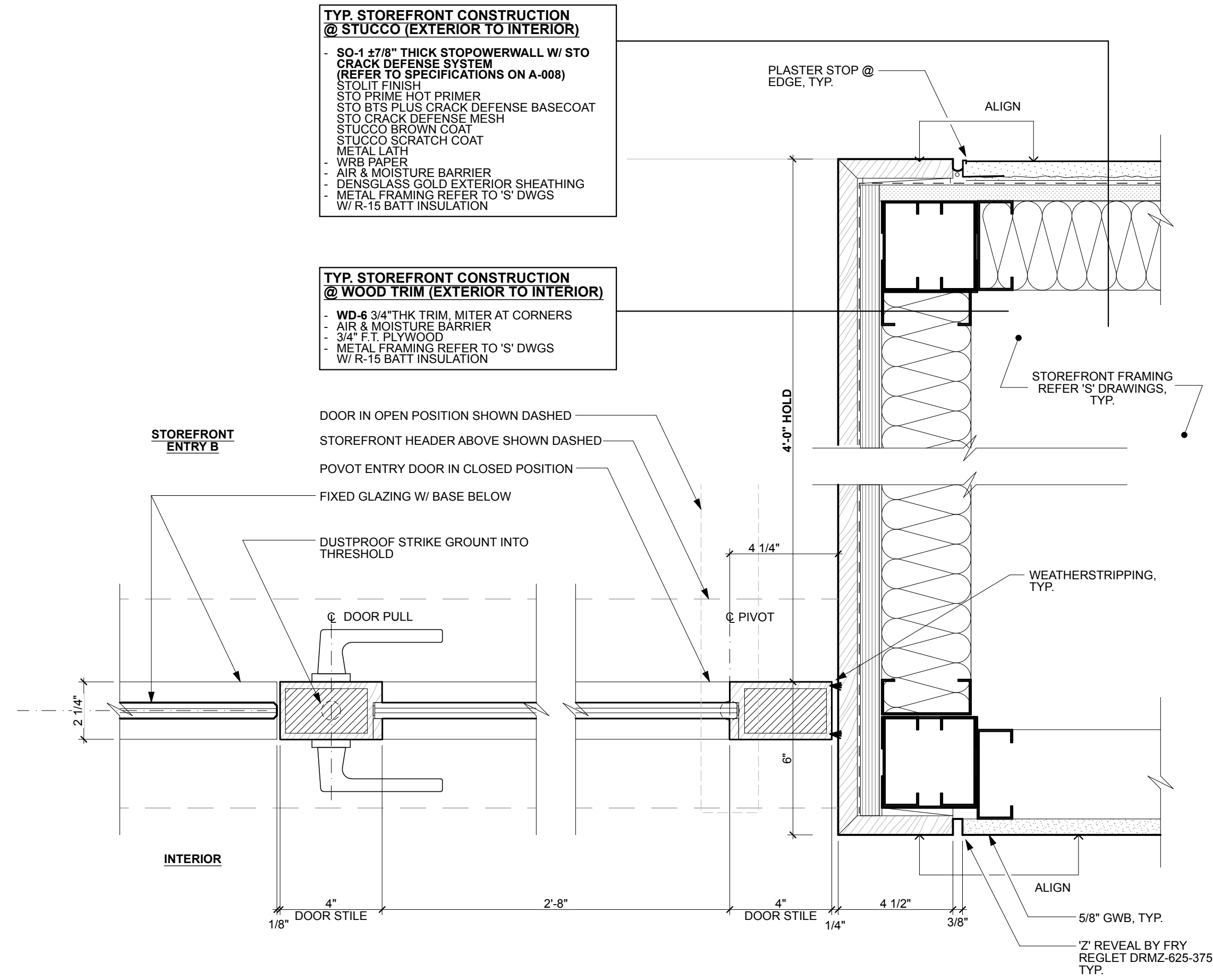
4 TYP. NEUTRAL PIER DETAIL
SCALE: 3" = 1'-0"



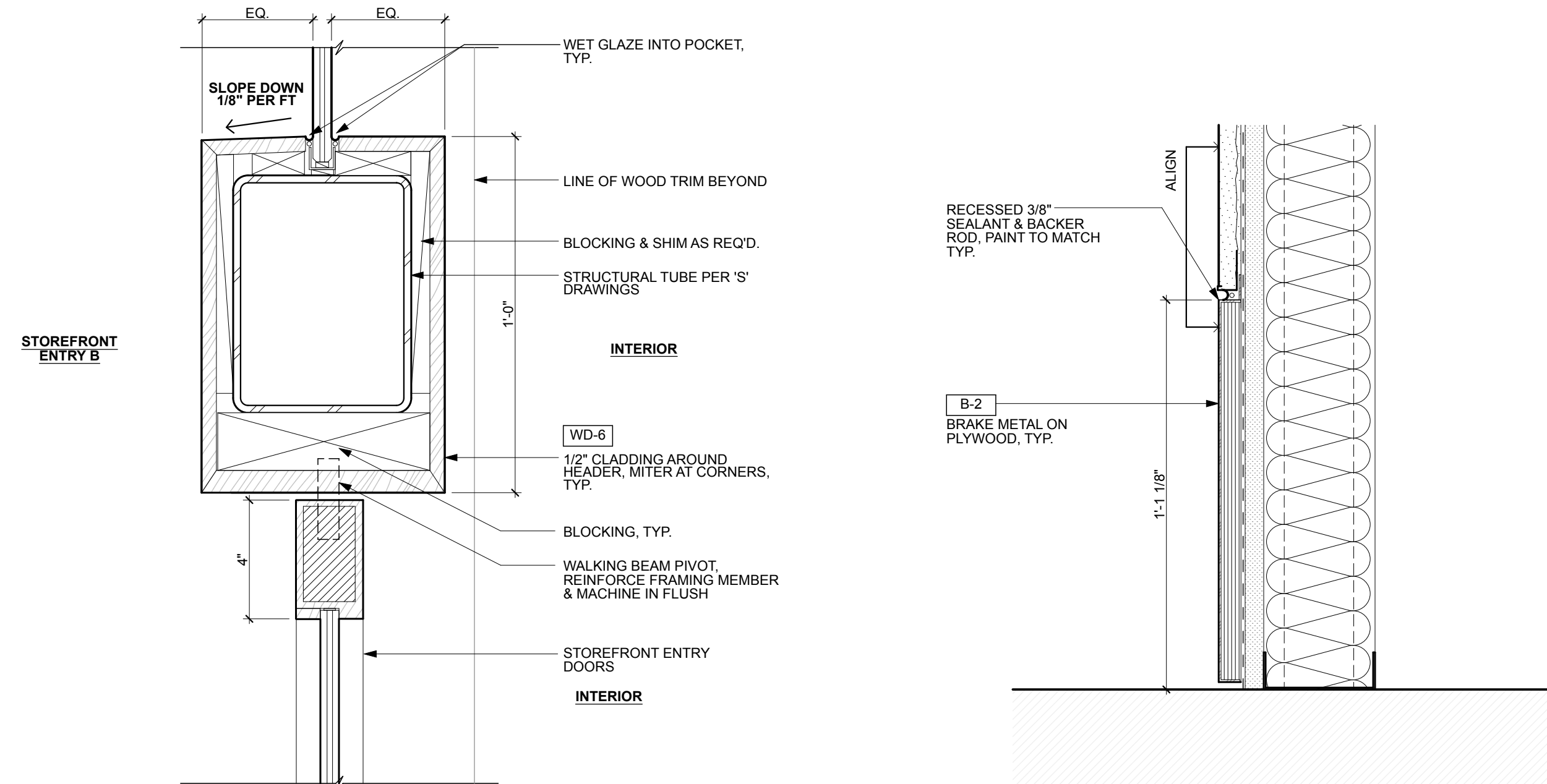
3 TYP. PLAN DETAIL @ DISPLAY PLATFORM
SCALE: 3" = 1'-0"



2 PLAN DETAIL @ BI-FOLD DOOR SYSTEM
SCALE: 3" = 1'-0"

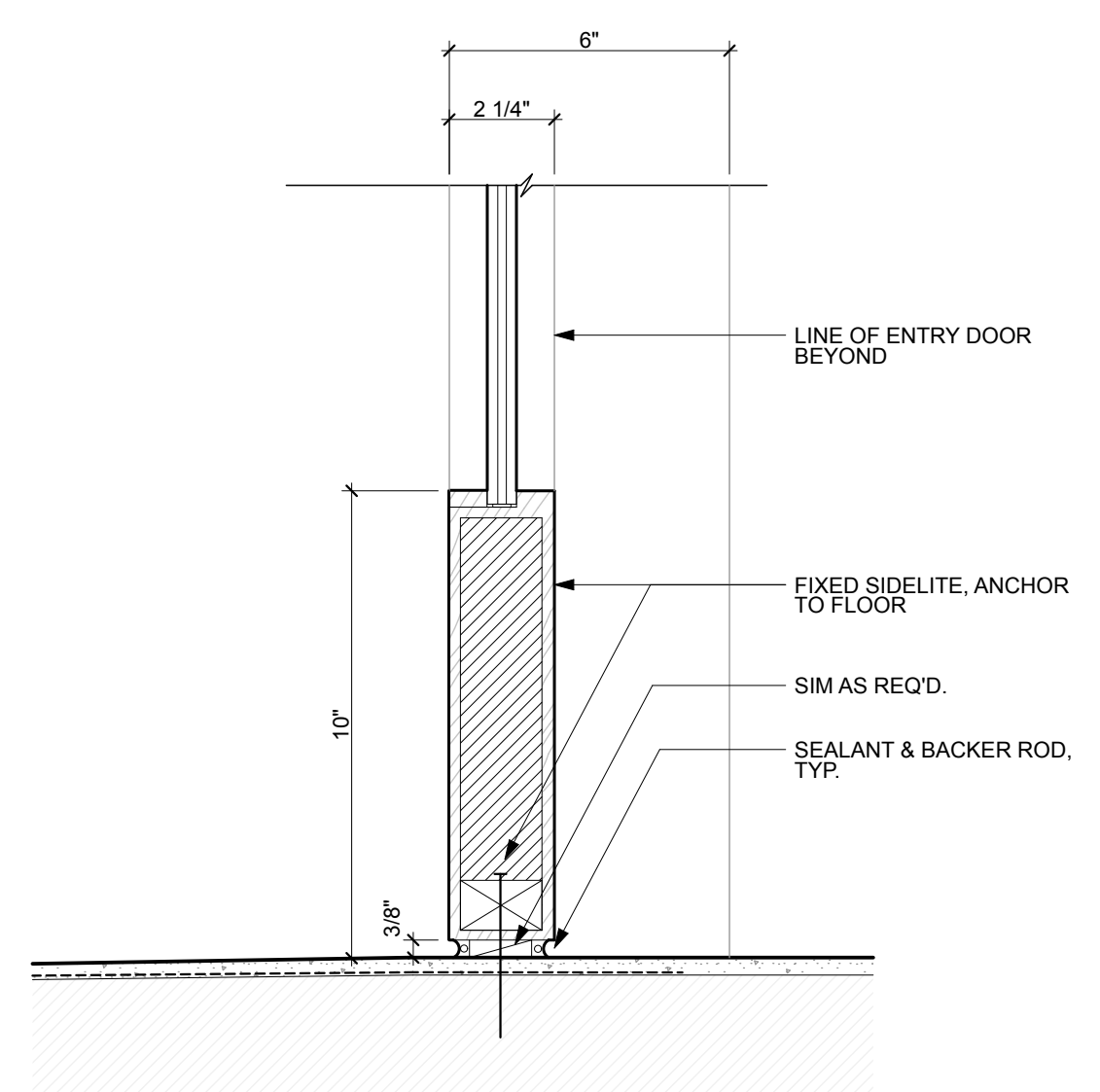


1 PLAN DETAIL @ PIVOT SWING DOOR
SCALE: 3" = 1'-0"

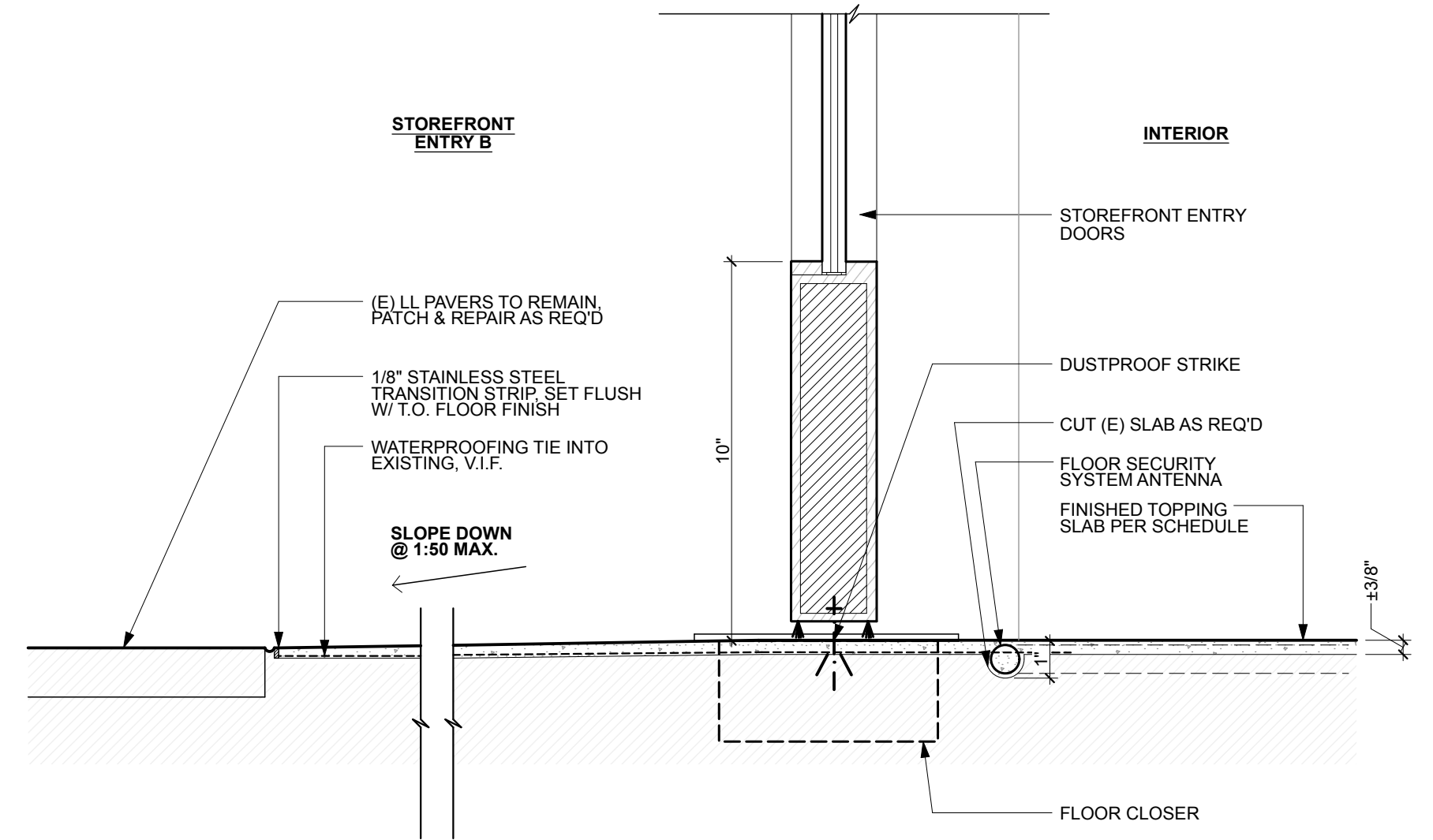


6 SECTION DETAIL @ PIVOT DOOR HEADER
SCALE: 3" = 1'-0"

5 TYP. STOREFRONT BASE DETAIL
SCALE: 3" = 1'-0"



8 SECTION DETAIL @ SIDELITE BASE
SCALE: 3" = 1'-0"



7 SECTION DETAIL @ PIVOT DOOR TRANSITION
SCALE: 3" = 1'-0"

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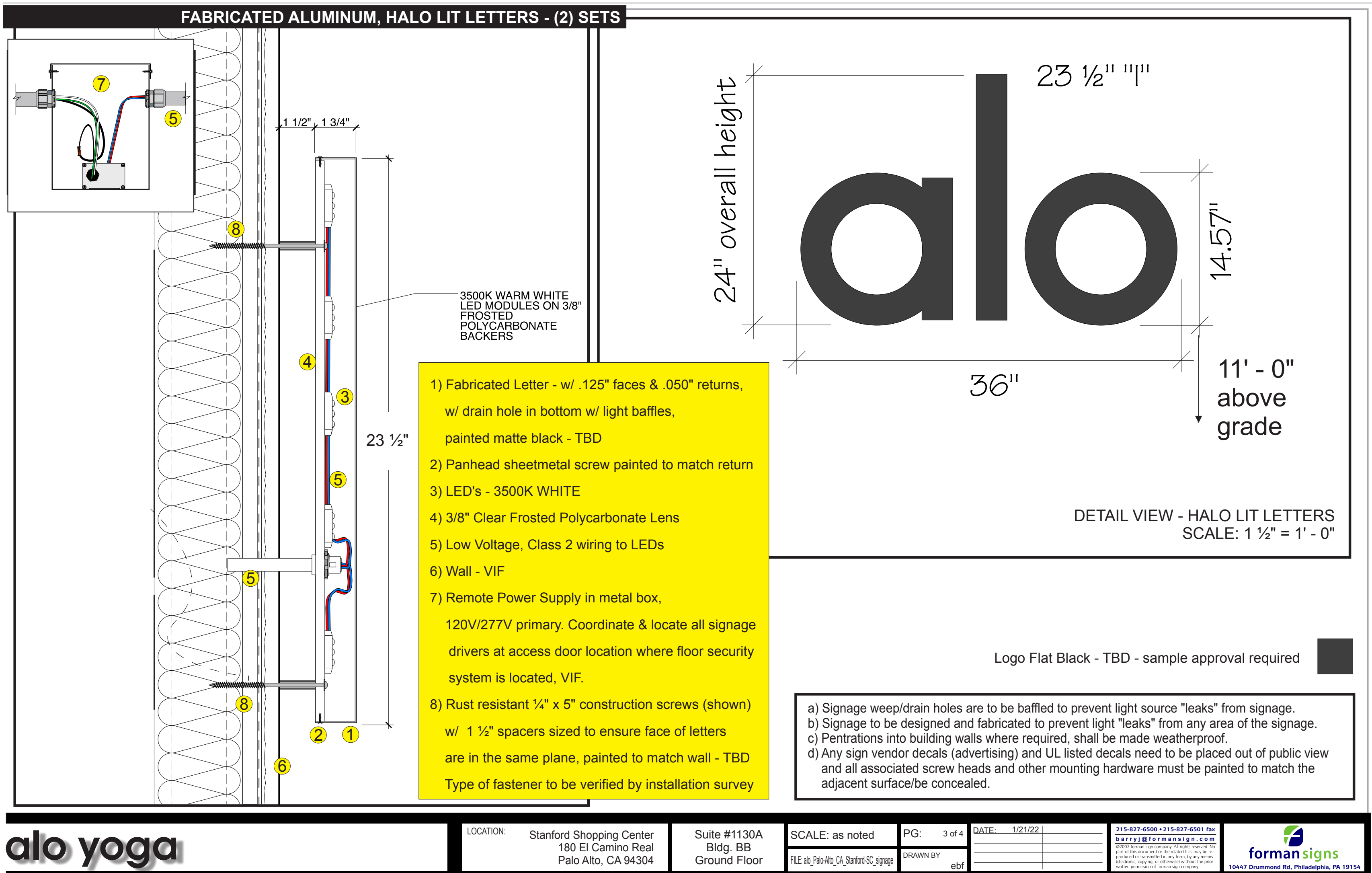
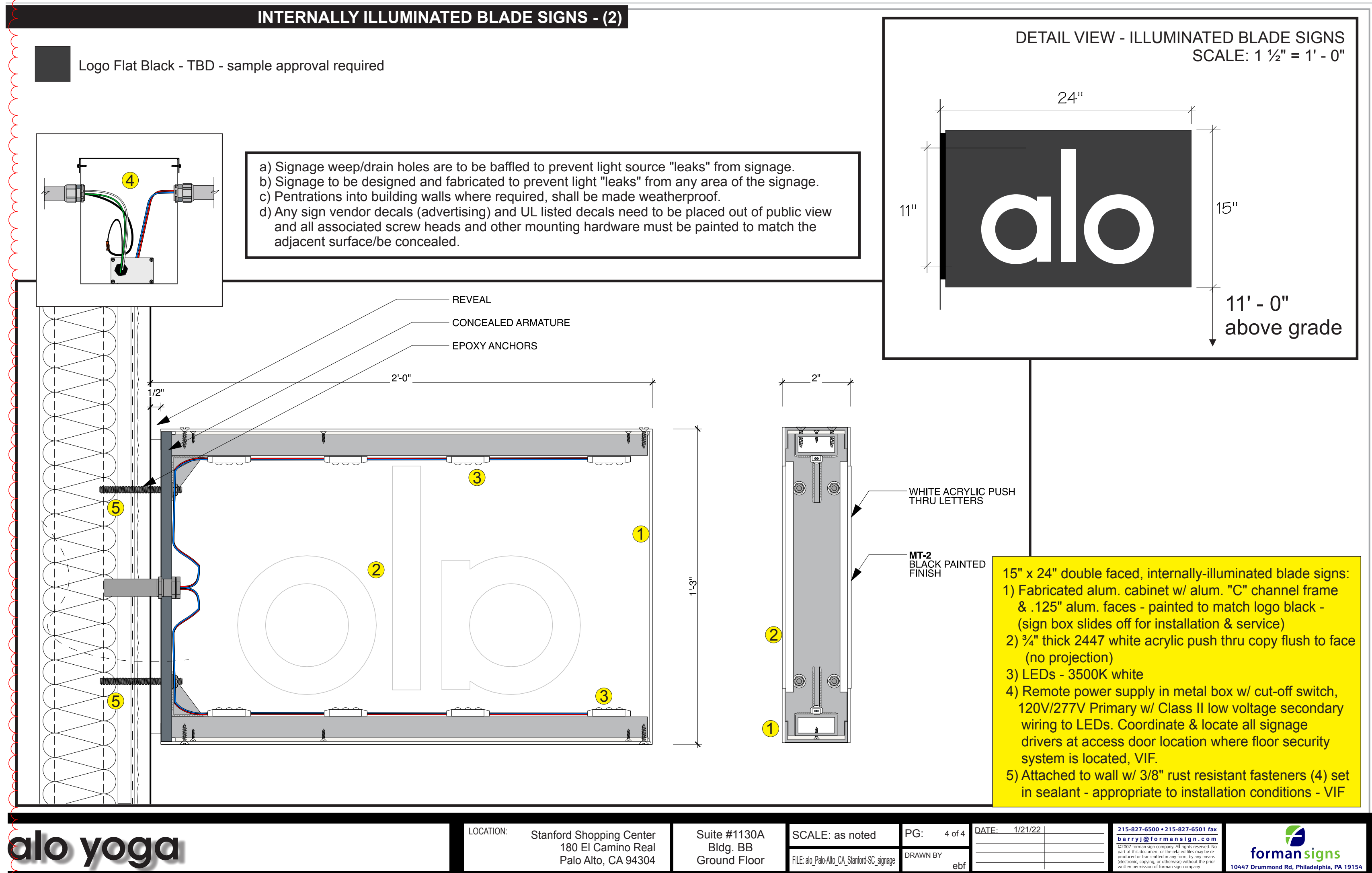
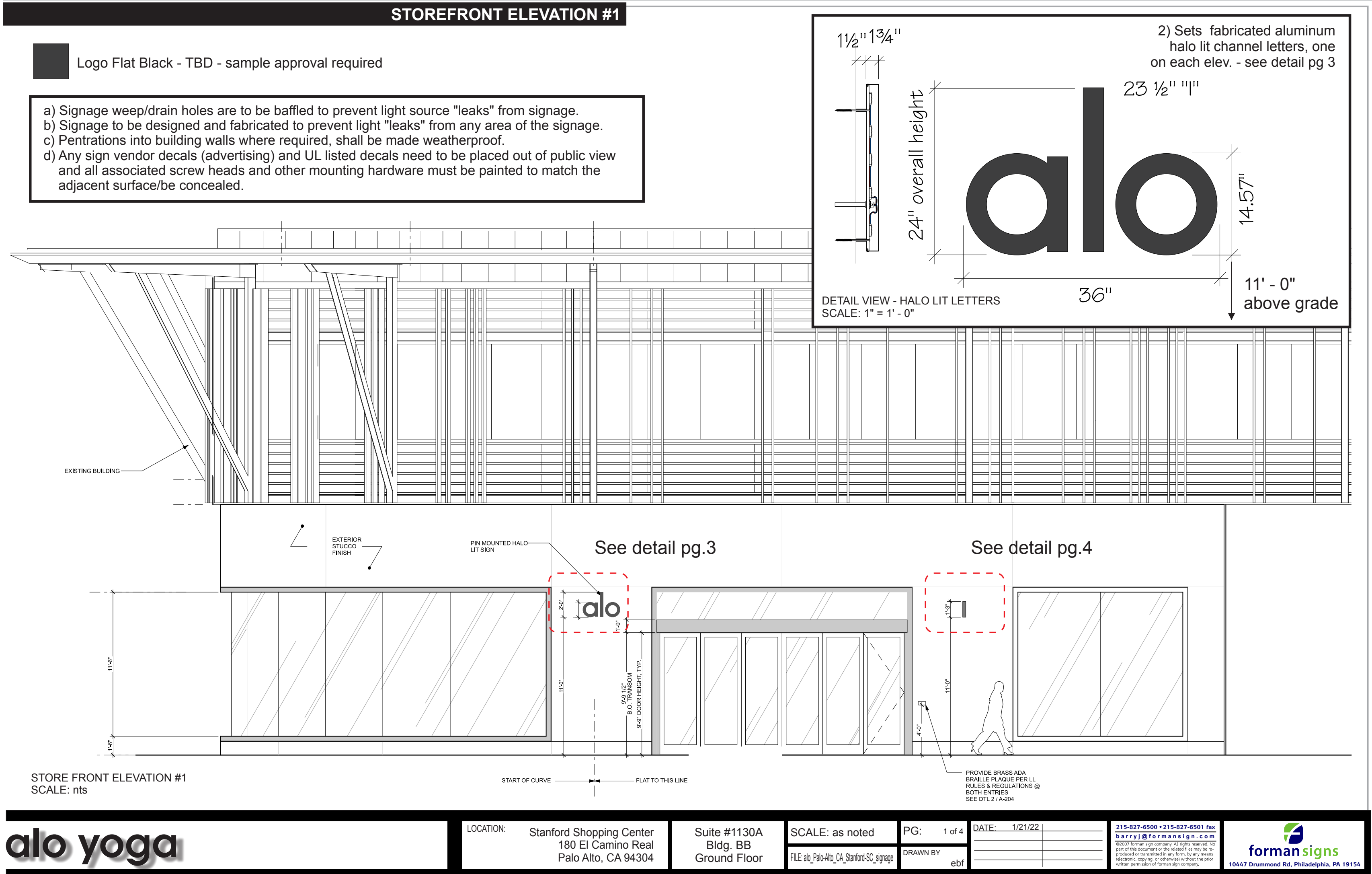
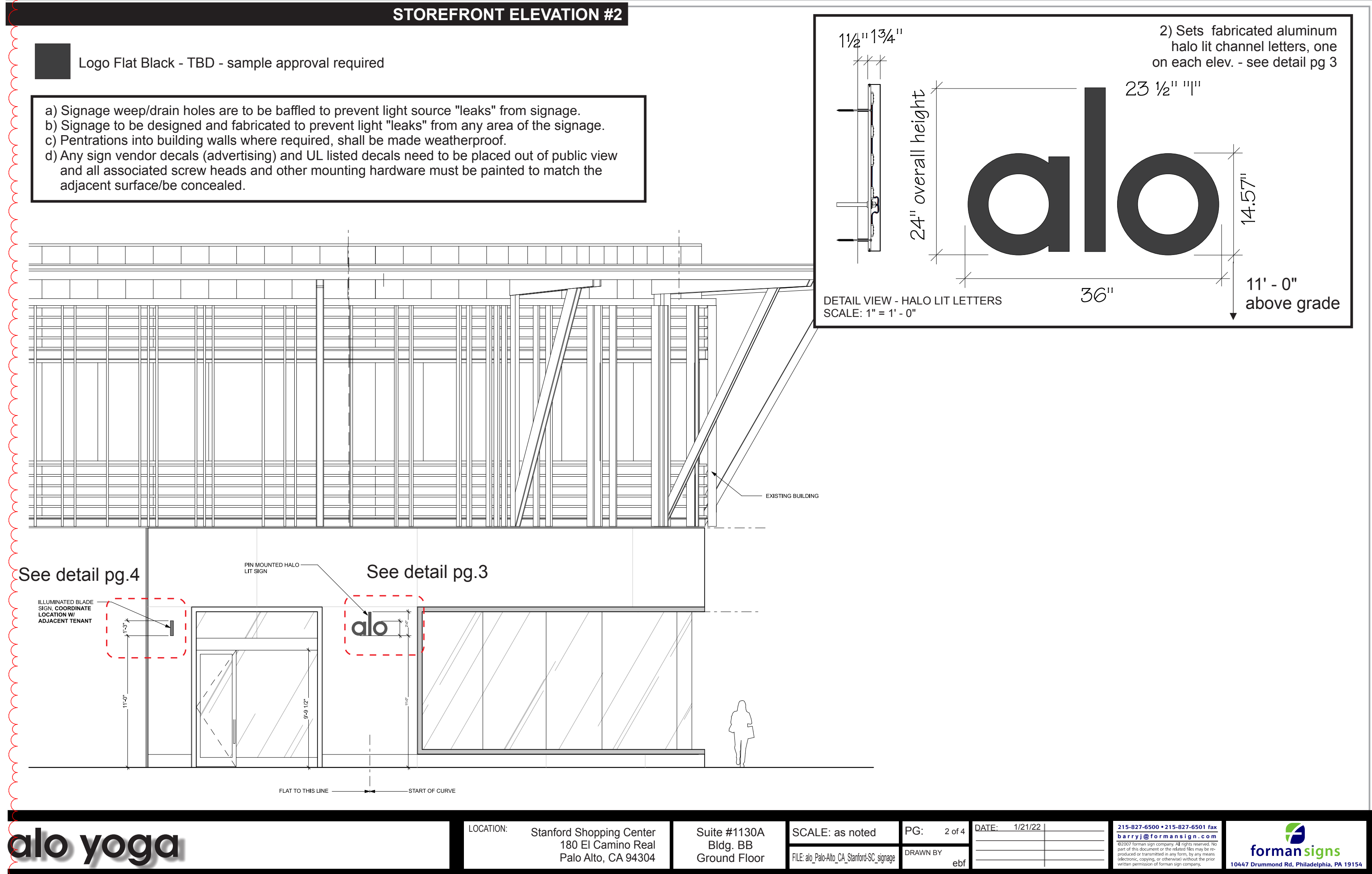
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STOREFRONT
PLAN & SECTION
DETAILS

A-203

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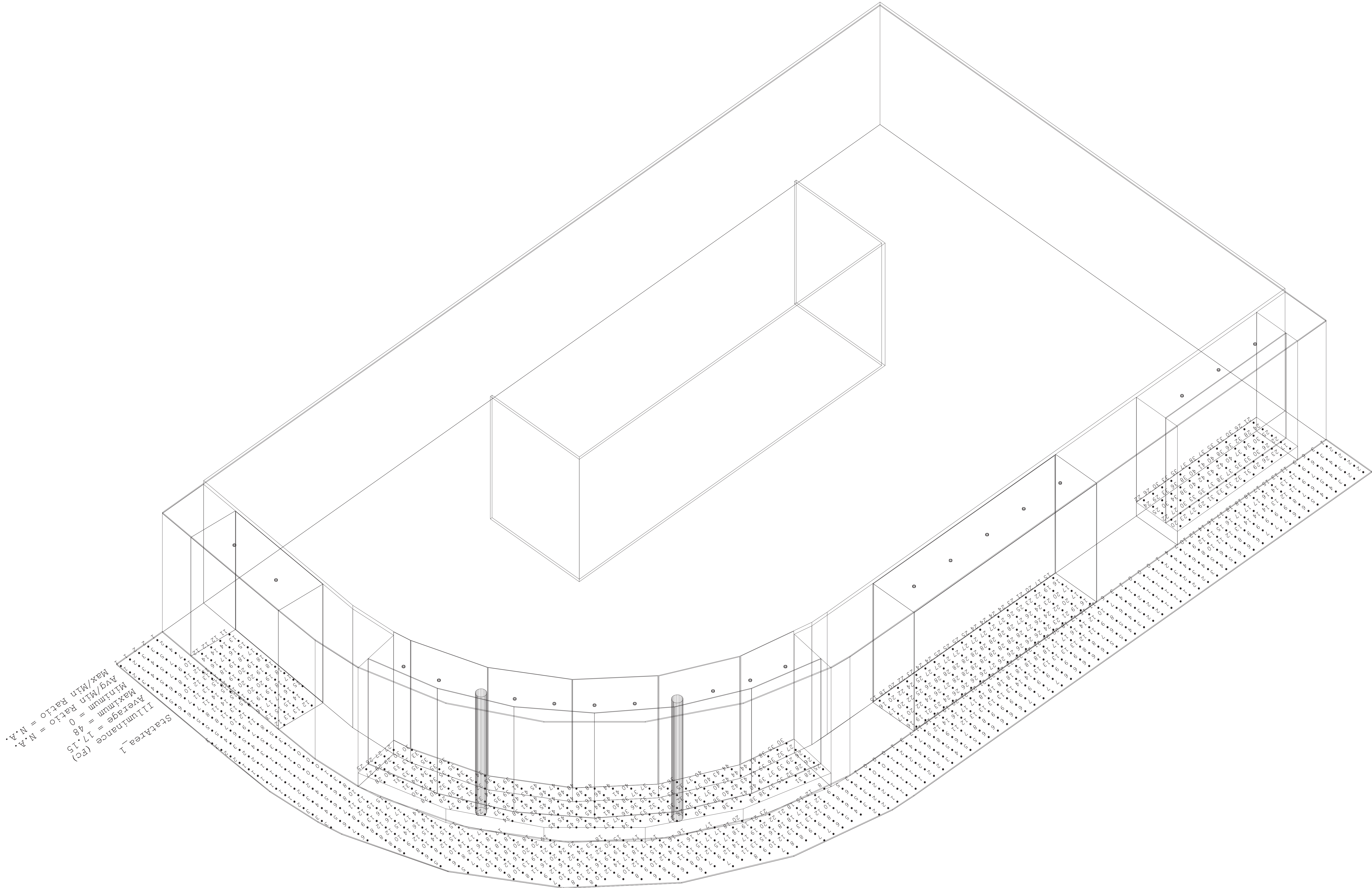
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STOREFRONT
SIGNAGE SHOP
DRAWINGS

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1 STOREFRONT PHOTOMETRIC - ISOMETRIC
NOT TO SCALE

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PHOTOMETRICS -
EXTERIOR

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