

GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 ALMA ST. PALO ALTO, CA 94306
APN - 132-25-037



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PROJECT PARTICIPANTS:

ARCHITECT:

JOHN LUM ARCHITECTURE
3246 17TH STREET
SAN FRANCISCO, CA 94110

PROJECT MANAGER:
HENRY MALMBERG
T: 415.558.9550 X10023
F: 415.558.0554

OWNER:

GEMINI DEVELOPMENT ONE PALO ALTO LLC
1350 BAYSHORE HIGHWAY, SUITE 950
BURLINGAME, CA 94010

GENERAL CONTRACTOR:

T.B.D.

STRUCTURAL ENGINEER:

T.B.D.

ARBORIST:

ADVANCED TREE CARE
ROBERT WEATHERILL
865 E. SAN CARLOS AVE.
SAN CARLOS, CA 94070
T: 650.839.9539

CIVIL ENGINEER:

T.B.D.

SURVEYOR:

LC ENGINEERING
596 E SANTA CLARA ST. #270
SAN JOSE, CA 95112
T: 408.806.7187

GEOTECHNICAL ENGINEER:

MURRAY ENGINEERS
935 FREMONT AVE.
LOS ALTOS, CA 94024
T: 650.559.9980

LANDSCAPE ARCHITECT:

KAREN AITKEN & ASSOCIATES
PAM JONES
T: 408.842.0245

PROJECT DATA:

CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
APPLICABLE PALO ALTO MUNICIPAL CODES

PROJECT ADDRESS

2609, 2611, 2615, & 2617 ALMA ST
PALO ALTO, CA 94306

PROJECT DESCRIPTION

- DECONSTRUCT 2 1-STORY 2-UNIT RESIDENTIAL BUILDINGS.
- CONSTRUCT (4) 3-STORY 1-UNIT BUILDINGS FOR MARKET-RATE RENTAL. EACH BUILDING TO INCLUDE 3 BEDROOMS, 2.5 BATHS, KITCHEN, LIVING ROOM, & PRIVATE YARD.

PLANNING INFORMATION

| | |
|--------------------------------------|---|
| APN | 132-25-057 |
| ZONING DISTRICT | RM-30 |
| BUILDING HEIGHT | EXISTING - 10'-0" PROPOSED - 30'-0" (35'-0" MAX) |
| NUMBER OF STORIES | EXISTING - 1 PROPOSED - 3 |
| SETBACKS | FRONT - 24'-0" (24'-0" MIN) REAR - 11'-6" (10'-0" MIN) SIDES - 10'-0" (6'-0" MIN) |
| LOT SIZE | 8,070 SQ. FT. (.185 ACRES) |
| LOT DENSITY | 3 UNITS (MIN) 5 UNITS (MAX) |
| ALLOWABLE FAR | (8,070 X 0.6) = 4,842 SQ. FT. |
| PROPOSED FAR | 4,839 SQ. FT. |
| SITE COVERAGE | 3,034.8 SQ. FT. (3,228 SQ. FT. MAX.) |
| FLOOD HAZARD AREA (NAVD88 DATUM) | X |
| PARKING SPACES (PAMC 18.52.040) | 8 PROPOSED (8 REQUIRED) |
| BIKE PARKING SPACES (PAMC 18.52.040) | 4 PROPOSED (4 REQUIRED) |
| COMMON USABLE OPEN SPACE | 346 SQ. FT. (800 SQ. FT. MIN.) |
| PRIVATE USABLE OPEN SPACE | 2,298 SQ. FT. (200 SQ. FT. MIN.) |

GROSS FLOOR AREAS:

| | | |
|----------------|---------------|---------------|
| TOTAL EXISTING | 2,920 SQ. FT. | TOTAL |
| FIRST FLOOR | 1,538 SQ. FT. | CONDITIONED |
| SECOND FLOOR | 1,938 SQ. FT. | CONDITIONED |
| THIRD FLOOR | 1,364 SQ. FT. | CONDITIONED |
| TOTAL PROPOSED | 4,839 SQ. FT. | CONDITIONED |
| | 0 SQ. FT. | UNCONDITIONED |
| | 4,839 SQ. FT. | TOTAL |

UNIT AREAS:

| | |
|--|---|
| UNIT 1 - GROSS FLOOR AREA PRIVATE OPEN SPACE | 1,211.7 SQ. FT. 474.5 SQ. FT. (150 SQ. FT. MIN.) |
| UNIT 2 - GROSS FLOOR AREA PRIVATE OPEN SPACE | 1,211.7 SQ. FT. 474.5 SQ. FT. (150 SQ. FT. MIN.) |
| UNIT 3 - GROSS FLOOR AREA PRIVATE OPEN SPACE | 1,207.9 SQ. FT. 674.5 SQ. FT. (150 SQ. FT. MIN.) |
| UNIT 4 - GROSS FLOOR AREA PRIVATE OPEN SPACE | 1,207.9 SQ. FT. 674.5 SQ. FT. (150 SQ. FT. MIN.) |

BUILDING INFORMATION

| | |
|---------------------|--|
| CONSTRUCTION TYPE | TYPE - 5B |
| OCCUPANCY | GROUP R, DIVISION 2 |
| MINIMUM ROOF CLASS | CLASS B ROOF |
| FIRE SPRINKLERS | NFPA-13D FULL COVERAGE - 3" HEAD CALCS |
| PHOTOVOLTAIC SYSTEM | TO BE SUBMITTED UNDER SEPARATE PERMIT |
| UTILITIES | PROJECT TO BE ALL ELECTRIC |

DEPARTMENT STAMPS

CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
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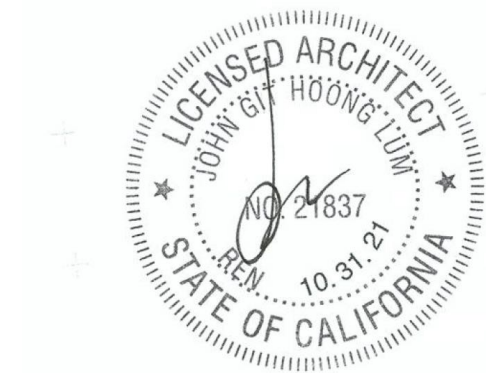
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2609, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 950
Burlingame, CA 94010

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
| 06.07.21 | Major AR Submittal | rm |
| 08.31.21 | Major AR - Rev.1 | rm |

TITLESHEET

A0.00

TREE REMOVAL CONSENT EMAIL:

11/4/2020
Mail - Tenzin Tsungmey - Outlook

Re: Alma Neighbors Property Management Company

Scott Bartner <scott@btproperties.com>

Tue 11/3/2020 2:01 PM

To: Tenzin Tsungmey <tenzin@geminiPaloAlto.com>
Cc: Ashley Sanderson <ashley@geminiPaloAlto.com>

Tenzin

If you would like to, that is fine. If it is easier for you just to accept the email from us, stating that you have the needed permission...thats good too!

Scott

On Tue, Nov 3, 2020 at 1:51 PM Tenzin Tsungmey <tenzin@geminipaloalto.com> wrote:
Great, thank you for getting back to me so quickly. Should we prepare for a signed Letter of Agreement stating that the owner gives us permission to take down the trees and the fence at our expense or not? We will go with whatever is easier for you and the owner.

Thank you!

Kind regards,

Tenzin Tsungmey | Business Development Manager
Gemini Investment Palo Alto LLC

1350 Bayshore Hwy Ste. 520
Burlingame, CA - 94010

P. 650-534-3388

M. 617-460-0545

E. tenzin@geminipaloalto.com

From: Scott Bartner <scott@btproperties.com>
Sent: Tuesday, November 3, 2020 1:46 PM
To: Tenzin Tsungmey <tenzin@geminiPaloAlto.com>
Cc: Ashley Sanderson <ashley@geminiPaloAlto.com>
Subject: Re: Alma Neighbors Property Management Company

Hi

Actually, yes, just this morning.
The owner has agreed to the removal of the tree and putting up a new fence at your expense.

Best

Scott

On Tue, Nov 3, 2020 at 1:45 PM Tenzin Tsungmey <tenzin@geminipaloalto.com> wrote:
Hi Scott,

I am following up to see if you heard anything from the owner.

Kind regards,

Tenzin Tsungmey | Business Development Manager
Gemini Investment Palo Alto LLC

https://outlook.office365.com/mail/AAMkAGYwOTc4M2JyLTJfOTcENDQkNy1hZTMzLTU0MTU5YWQNTc0ZQAUAAAAAAXUgB%2B%2BdczR5YHLc0j... 1/3

11/4/2020
Mail - Tenzin Tsungmey - Outlook

1350 Bayshore Hwy Ste. 520
Burlingame, CA - 94010

P. 650-534-3388

M. 617-460-0545

E. tenzin@geminipaloalto.com

From: Scott Bartner <scott@btproperties.com>
Sent: Thursday, October 29, 2020 8:32 AM
To: Tenzin Tsungmey <tenzin@geminiPaloAlto.com>
Cc: Ashley Sanderson <ashley@geminiPaloAlto.com>
Subject: Re: Alma Neighbors Property Management Company

Hi All

I have contacted the owners of the property and am waiting on their response. I will let you know once I get that.

Best

Scott

On Wed, Oct 28, 2020 at 2:38 PM Tenzin Tsungmey <tenzin@geminipaloalto.com> wrote:
Hi Scott,

My coworker Ashley reached out to you last week regarding the shared trees at Alma Street. We will be taking down the existing unoccupied building structure and construct a new 4-unit multifamily home.

We would like to take down the existing trees that are encroaching to your side of the property and replace the whole fence with a 7ft tall wooden fence. Of course, we will cover all expenses related to the fence and the tree removal.

Tenzin Tsungmey | Business Development Manager
Gemini Investment Palo Alto LLC

1350 Bayshore Hwy Ste. 520
Burlingame, CA - 94010

P. 650-534-3388

M. 617-460-0545

E. tenzin@geminipaloalto.com

From: Scott Bartner <scott@btproperties.com>
Sent: Thursday, October 22, 2020 5:09 PM
To: Ashley Sanderson <ashley@geminiPaloAlto.com>
Subject: Tree Removal

Hi Ashley

I have received your email regarding the shared tree at Alma St. Please feel free to reach out to me with your proposal.

Thanks and Stay Safe

Scott Bartner
Sr. Regional Manager
650-722-3994
btproperties.com

https://outlook.office365.com/mail/AAMkAGYwOTc4M2JyLTJfOTcENDQkNy1hZTMzLTU0MTU5YWQNTc0ZQAUAAAAAAXUgB%2B%2BdczR5YHLc0j... 2/3

ABBREVIATIONS:

| | |
|-------------|--|
| & | AND |
| @ | AT |
| # | NUMBER |
| C | CENTER LINE |
| R | PROPERTY LINE |
| (E) | EXISTING |
| (D) | DEMOLISH |
| (N) | NEW |
| (R) | REPLACE |
| ABV. | ABOVE |
| ADJ. | ADJACENT |
| A.F.F. | ABOVE FINISH FLOOR |
| ALUM. | ALUMINUM |
| ARCH. | ARCHITECTURE |
| ASPH. | ASPHALT |
| BD. | BOARD |
| BASE BD. | BASE BOARD |
| BLDG. | BUILDING |
| BLK. | BLOCK |
| BLKG. | BLOCKING |
| BOT. | BOTTOM |
| B.M. | BEAM |
| B.U. | BUILT-UP |
| CLG. | CEILING |
| CNTL. | CONTROL |
| CONT. | CONTINUOUS |
| CTR. | CENTER |
| CLR. | CLEAR |
| C.L. | CENTER LINE |
| DBL. | DOUBLE |
| D.F. | DOUGLAS FIR |
| DIM. | DIMENSION |
| DN. | DOWN |
| D.P. | DOUBLE POLE |
| D.S. | DOWN SPOUT |
| DWG. | DRAWING |
| EA | EAST |
| EL OR ELEV. | EACH |
| ELEC. | ELEVATION |
| EQ. | ELECTRICAL |
| EXP. | EQUAL |
| EXT. | EXPOSED |
| F.A.U. | EXTERIOR |
| FDN. | FORCED-AIR-UNIT |
| F.F. | FOUNDATION |
| F.F.E. | FINISHED FLOOR |
| FIN. | FINISHED FLOOR ELEVATION |
| F.O.C. | FINISH |
| F.O.S. | FACE OF CONCRETE |
| F.O.P. | FACE OF STUD |
| F.P. | FACE OF PLYWOOD |
| FURN. | FIRE PLACE |
| GA. | FURNACE |
| GALV. | GAUGE |
| GND. | GALVANIZED |
| GYP BD. | GROUND |
| H.C. | GYPSUM BOARD |
| HDR. | HOLLOW CORE |
| HDWD. | HEADER |
| H.V.A.C. | HARD WOOD |
| I.D. | HEATING, VENTILATION, AIR CONDITIONING |
| INSUL. | INSIDE DIMENSION |
| INT. | INSULATION |
| JST. | INTERIOR |
| MAX. | JOIST |
| M.C. | MAXIMUM |
| MECH. | MEDICINE CABINET |
| MEMB. | MECHANICAL |
| MFR. | MEMBRANE |
| MIN. | MANUFACTURER |
| MTL. | MINIMUM |
| N. | METAL |
| N.I.C. | NORTH |
| NO. | NOT IN CONTRACT |
| O.C. | NUMBER |
| OF.CI. | OVER |
| OPNG. | ON CENTER |
| O.D. | OWNER FURNISHED, CONTRACTOR INSTALLED |
| P.C. | OPENING |
| PL. | OUTSIDE DIMENSION |
| PLYWD. | PLUMBING CHASE |
| P.T. | PLATE |
| PTD. | PLYWOOD |
| R | PRESSURE TREATED |
| RET. AIR | PAINTED |
| RM. | RADIUS |
| RD.WD. | RETURN AIR |
| R.W.L. | ROOM |
| S | REDWOOD |
| S.S.D. | RAIN WATER LEADER |
| SQ. FT. | SOUTH |
| SHT. | SEE STRUCTURAL DRAWINGS |
| SHTG. | SQUARE FOOT |
| SIM. | SHEET |
| S.P. | SHEATHING |
| SQ. | SIMILAR |
| S.ST. | SINGLE POLE |
| ST. | SQUARE |
| SUP. AIR | STAINLESS STEEL |
| T&G | STEEL |
| T.B.D. | STANDARD |
| T.HK. | SUPPLY AIR |
| T.O.P. | TONGUE AND GROOVE |
| T.O.S. | TO BE DETERMINED |
| T.O.F.F. | THICK |
| T.O.W. | TOP OF PLATE |
| T.P. | TOP OF SLAB |
| T.R. | TOP OF FINISHED FLOOR |
| TYP. | TOP OF WALL |
| U.O.N. | TOILET PAPER HOLDER |
| VAR. | TOWEL RACK |
| V.D.C. | TYPICAL |
| VERT. | UNLESS OTHERWISE NOTED |
| V.I.F. | VARIES |
| W. | VERIFY DURING CONSTRUCTION |
| W.C. | VERTICAL |
| WD. | VERIFY IN FIELD |
| W.P. | WEST |
| W.H. | WITH |
| | WATER CLOSET |
| | WOOD |
| | WATER PROOF |
| | WATER HEATER |

SYMBOLS:

WALL TYPES

| | |
|----------------------------|--|
| NEW WALL (NON-RATED) | |
| NEW 1-HOUR FIRE-RATED WALL | |
| NEW 2-HOUR FIRE-RATED WALL | |
| NEW LOW WALL | |
| EXISTING WALL | |
| DEMO WALL | |

LINE TYPES

| | |
|----------------|--|
| OVERHEAD LINE | |
| HIDDEN LINE | |
| PROPERTY LINE | |
| SETBACK LINE | |
| CENTER LINE | |
| BREAK LINE | |
| ELEVATION LINE | |

DIMENSIONS

| | |
|----------------|--|
| FACE OF FINISH | |
| CL OF STUD | |

MARKERS

| | |
|---------------------------|--|
| DETAIL MARKER | |
| PLAN DETAIL MARKER | |
| ELEVATION MARKER | |
| SECTION MARKER | |
| INTERIOR ELEVATION MARKER | |
| REVISION MARKER | |
| DOOR TAG | |
| WINDOW TAG | |
| STEP | |

GENERAL NOTES:

AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT," ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT STATE & LOCAL CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
- CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
- SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
- DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
- ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
- IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
- WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
- DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
- "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- "TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
- CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
- ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
- WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
- MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO :
A. MINIMUM ROOF/CEILING INSULATION R-19
B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13.
C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13.
D. ALL INSULATION TO MEET CEO QUALITY STANDARDS.
E. INFILTRATION CONTROL:
1. DOORS AND WINDOWS WEATHER-STRIPPED.
2. EXHAUST SYSTEMS DAMPENED
3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
F. DUCTS CONSTRUCTED AND INSTALLED PER UMC.
G. ELECTRICAL OUTLET PLATEGASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
- SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
- GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES.
- LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWINGS. NOTED DIMENSIONS TAKE PRECEDENCE.

DEPARTMENT STAMPS:

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
| 06.07.21 | Major AR Submittal | rm |
| 08.31.21 | Major AR - Rev.1 | rm |

GENERAL NOTES

A0.01

GEMINI - PALO ALTO HOUSING

2008, 2011, 2015, & 2017 Alma St.
1350 Bayshore Highway, Suite 500
Burlingame, CA 94010

client:

Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 500
Burlingame, CA 94010

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET, SAN FRANCISCO, CA 94110
TEL: 415.558.9550 FAX: 415.558.9554





1 STREET CONTEXT ELEVATION
A0.02 Scale: 1/8" = 1'-0"



ADJACENT PROPERTY: 2571, 2577, & 2581 ALMA ST



ADJACENT PROPERTY: 2595 ALMA ST



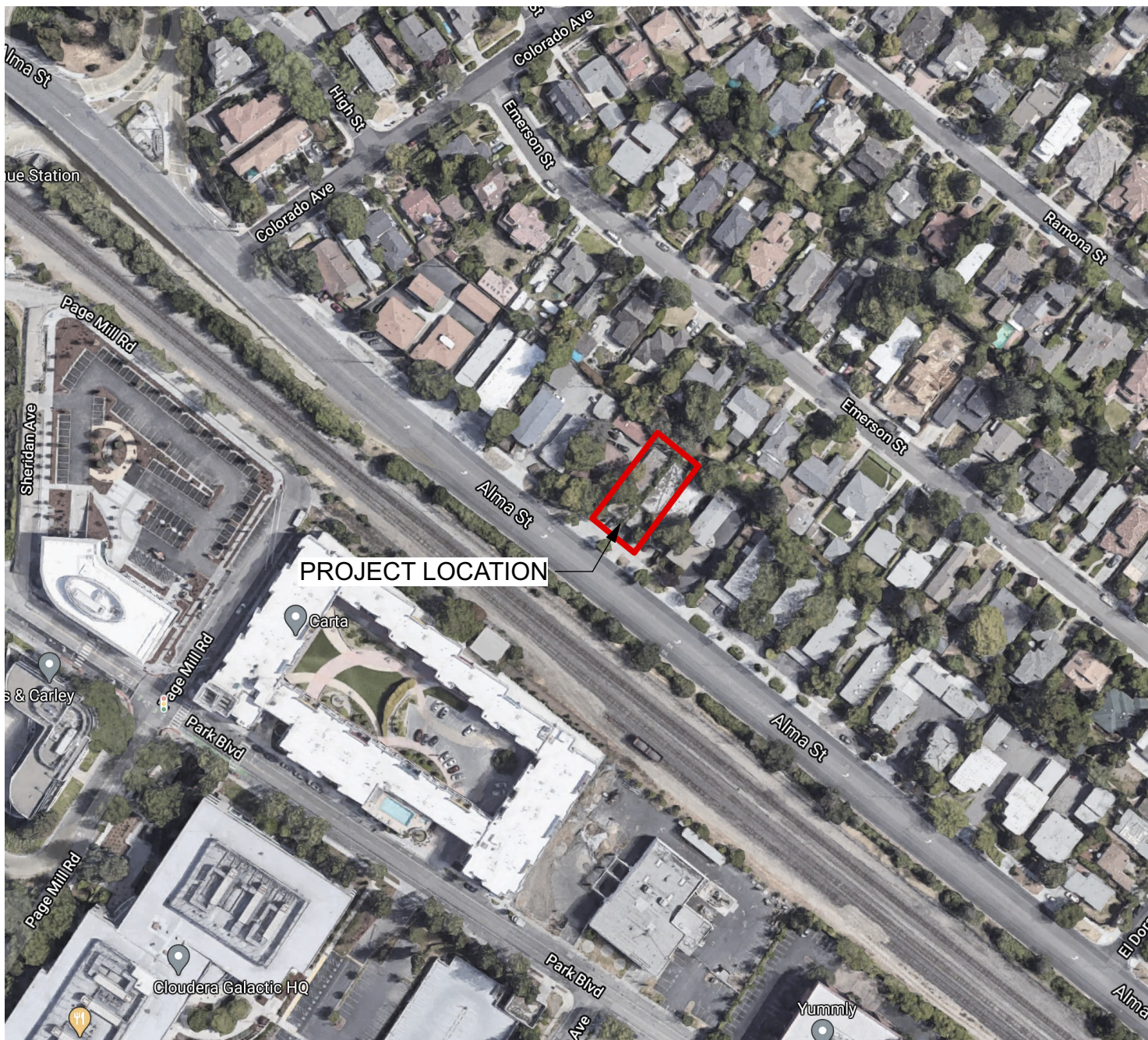
SUBJECT PROPERTY: 2609, 2911, 2615, & 2617 ALMA ST



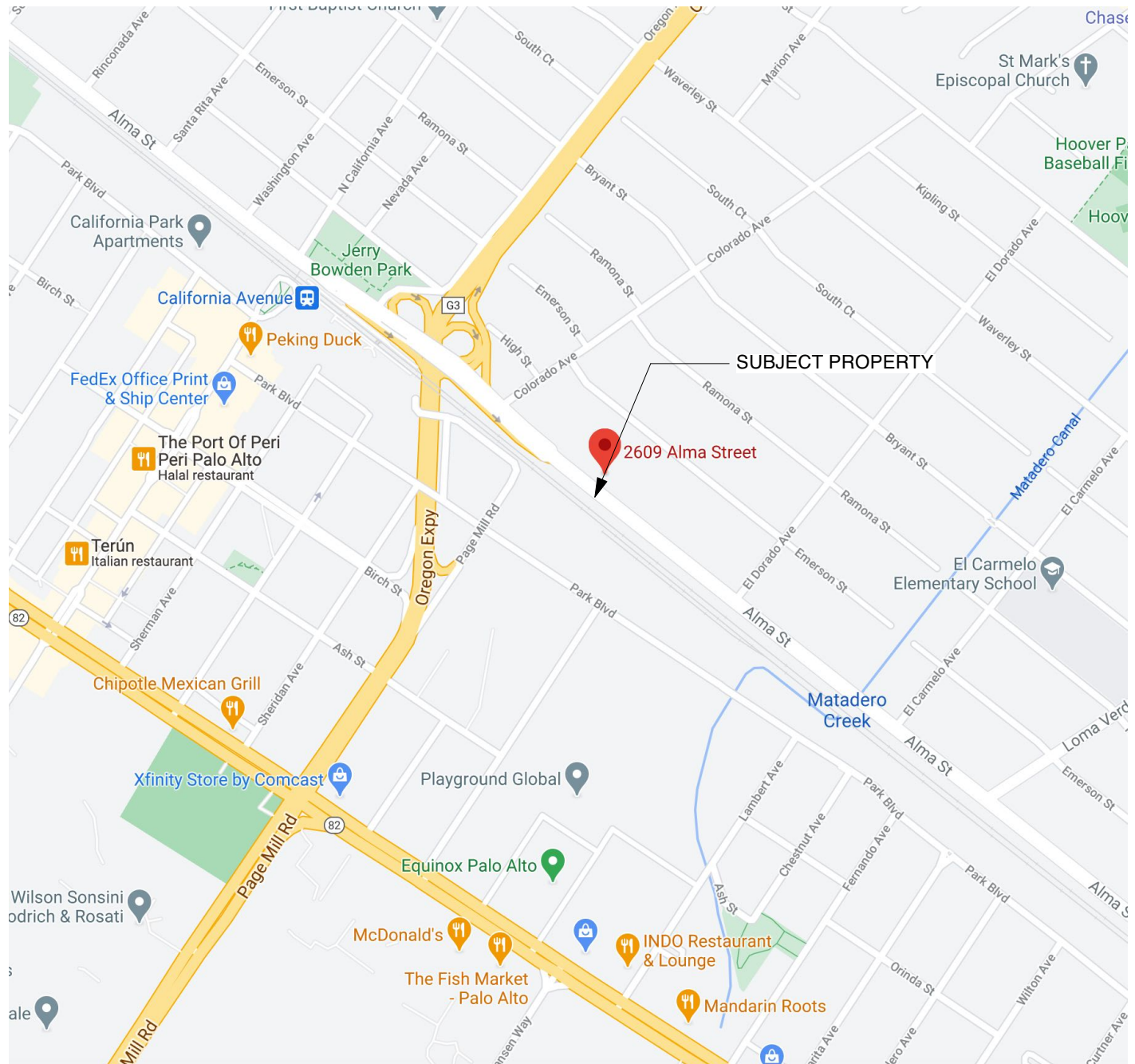
ADJACENT PROPERTY: 2619 & 2621 ALMA ST



ADJACENT PROPERTY: 2631, 2633, 2635 & 2637 ALMA ST



SATELLITE MAP



VICINITY MAP



VIEW ACROSS ALMA ST. FROM SUBJECT PROPERTY

DEPARTMENT STAMPS:

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
| 06.07.21 | Major AR Submittal | rm |
| 08.31.21 | Major AR - Rev.1 | rm |

SITE CONTEXT

A0.02

GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 850
Burlingame, CA 94010





2501 - 2505 ALMA ST



2507 - 2515 ALMA ST



2517 - 2533 ALMA ST



2537 & 2539 ALMA ST



2551 - 2559 ALMA ST



2571 - 2585 ALMA ST



2591 - 2599 ALMA ST



SUBJECT PROPERTY: 2609 - 2617 ALMA ST



2619 - 2621 ALMA ST



2631 - 2639 ALMA ST



2631 - 2639 ALMA ST



2643 - 2651 ALMA ST



2673 - 2681 ALMA ST



2689 - 2695 ALMA ST



2701 - 2721 ALMA ST



2725 - 2757 ALMA ST



2773 - 2781 ALMA ST



2799 ALMA ST

DEPARTMENT STAMPS:



JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554



GEMINI - PALO ALTO HOUSING

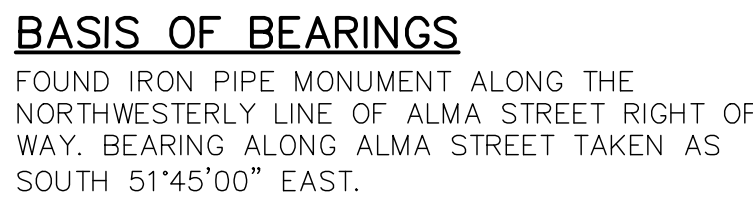
2609, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 850
Burlingame, CA 94010

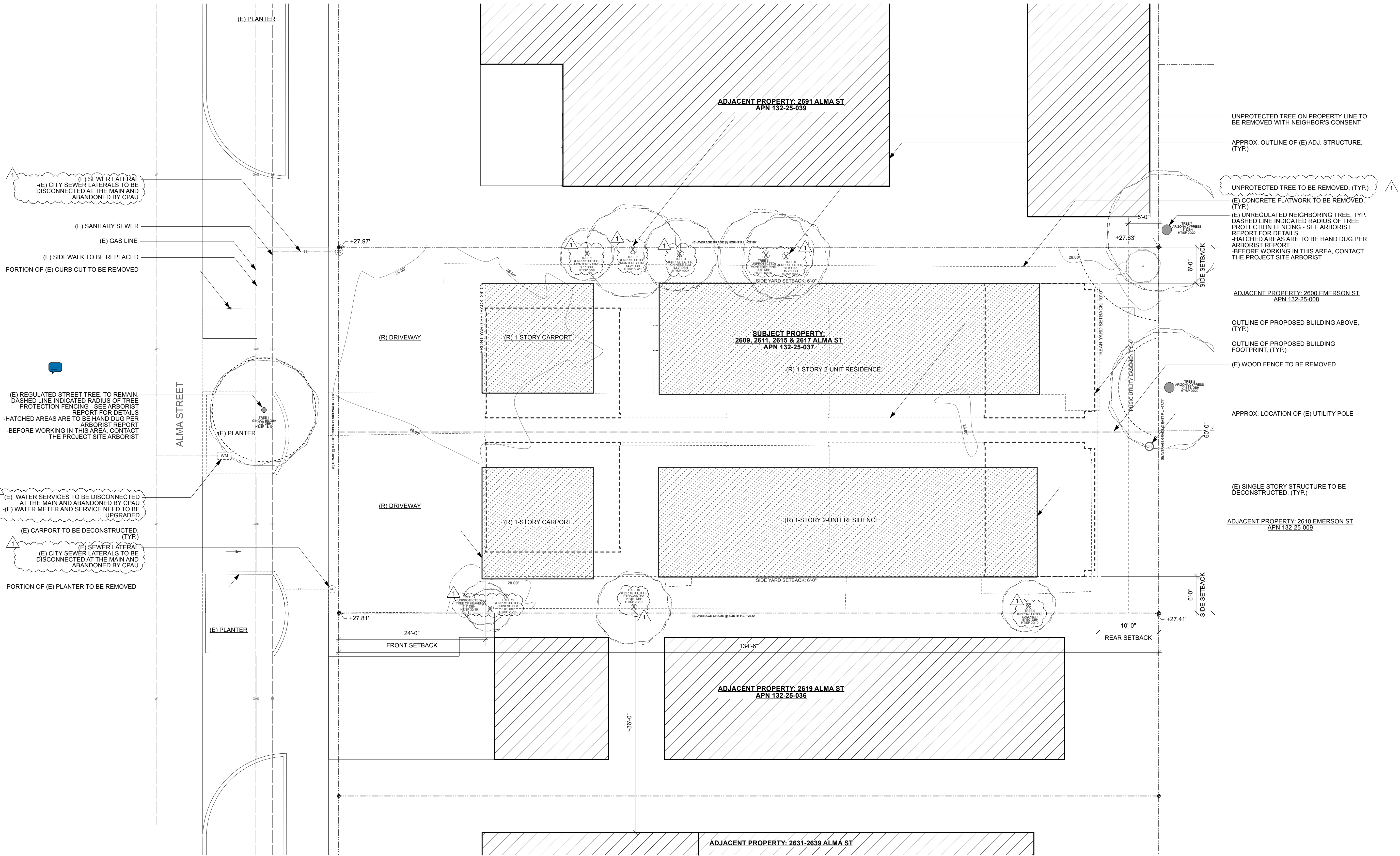
| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
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| 08.31.21 | Major AR - Rev.1 | rm |

STREET CONTEXT

A0.03



| | | | | | | | |
|--|--|--|--|--------------|--|-----------------|--|
| DRAWING NO. | | BOUNDARY SURVEY AND TOPOGRAPHIC MAP LANDS OF WANG 2609, 2611, AND 2617 ALMA STREET APN 132-25-057 | | PROJECT NO. | | FILE NO. | |
| SHT NO. 1 OF 1 | | Palo Alto California | | CONTRACT NO. | | FILE NO. | |
| GB DESIGNED PT DATE 01/17/16 01/17/16 | | DRAWN 1" = 10' SCALE NL CHECKED DATE 01/17/16 | | BY DATE | | APPRO'D DATE | |
| | | | | | | REVISIONS | |
| | | | | | | NO. | |



1 SITE PLAN - EXISTING / DEMO
A0.04 Scale: 1/8" = 1'-0"

DEPARTMENT STAMPS:

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
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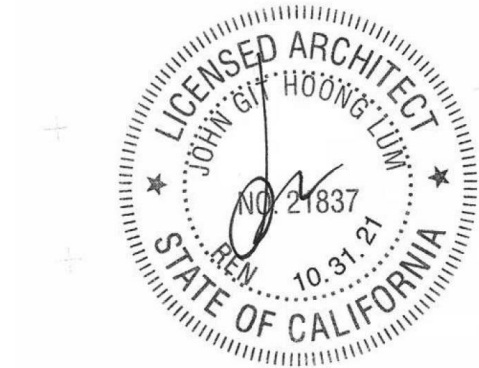
GEMINI - PALO ALTO HOUSING

2609, 2611, 2615 & 2617 Alma St
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 850
Burlingame, CA 94010

SITE PLAN

A0.04



Upgrade pubic
fire hydrant in
front of 2581
Alma St to a
Clow model 76.

Upgrade pubic
fire hydrant in
front of 2689
Alma St to a
Clow model 76.

1 SITE PLAN - PROPOSED
A0.05 Scale: 1/8" = 1'-0"

BAY FRIENDLY GUIDELINES

- DO NOT USE CHEMICAL FERTILIZERS, PESTICIDES, HERBICIDES OR COMMERCIAL SOIL AMMENDMENT. USE ORGANIC MATERIALS REVIEW INSTITUTE (OMRI) MATERIALS AND COMPOST. REFER TO THE BAY-FRIENDLY LANDSCAPE GUIDELINES: [HTTP://WWW.STOPWASTE.ORG/RESOURCE/BROCHURES/BAY-FRIENDLY-LANDSCAPE-GUIDELINES-SUSTAINABLE-PRACTICES-LANDSCAPE-PROFFESIONAL FOR GUIDANCE.](http://www.stopwaste.org/resource/brochures/bay-friendly-landscape-guidelines-sustainable-practices-landscape-professional-for-guidance)
- AVOID COMPACTING SOIL IN AREAS THAT WILL BE UNPAVED.
- STORMWATER QUALITY PROTECTION**
- TEMPORARY AND PERMANENT WASTE, COMPOST AND RECYCLING CONTAINERS SHALL BE COVERED TO PROHIBIT FLY-AWAY TRASH AND HAVING RAINWATER ENTER THE CONTAINERS.
- DRAIN DOWNSPOUTS TO LANDSCAPING (OUTWARD FROM BUILDING AS NEEDED).
- DRAIN HVAC FLUIDS FROM ROOFS AND OTHER AREAS TO LANDSCAPING.
- OFFSITE DOWNGRADE STORM DRAIN INLETS SHALL ALSO BE IDENTIFIED ON THIS PLAN SET AND PROTECTED. IF CITY STAFF REMOVES PROTECTION FROM AN INLET IN THE ROW DURING A RAIN EVENT, THE CONTRACTOR SHALL REPLACE THE INLET PROTECTION BY THE END OF THE FOLLOWING BUSINESS DAY.

SUSTAINABLE DESIGN MEASURES OUTLINE

- PROJECT HAS BEEN DESIGNED TO MEET SUSTAINABILITY AND GREEN BUILDING GOALS PER PAMC 18.13.060(7):
- SHADING / PRIVACY SCREENS & TRELLIS AT SOUTH-WEST FACING DECKS TO CONTROL OVERHEATING IN SUMMER AND ALLOW PASSIVE HEATING IN WINTER.
- DROUGHT TOLERANT NATIVE PLANTING AND USE OF LOW WATER USE & TURF LANDSCAPING REDUCES WATER USE.
- PEDESTRIAN PATHWAY THROUGH LANDSCAPING, LONG TERM BICYCLE STORAGE PROVIDED TO ENCOURAGE ALTERNATIVE TRANSPORTATION.
- DRIVEWAY AND PARKING COURT DESIGNED AS PERMEABLE PAVING SURFACE TO MAXIMIZE ONSITE STORMWATER MANAGEMENT AND REDUCE HEAT ISLAND EFFECTS.
- BUILDINGS TO BE ALL ELECTRIC AND EQUIPPED WITH SOLAR PV PANELS TO REDUCE DEPENDENCE ON FOSSIL FUELS.
- BUILDINGS TO BE EQUIPPED WITH ELECTRIC HEAT PUMPS AND ENERGY RECOVERY VENTILATORS TO PROVIDE EFFICIENT HEATING AND COOLING AS WELL AS HEALTHY INDOOR ENVIRONMENTS.

PLANNING INFORMATION

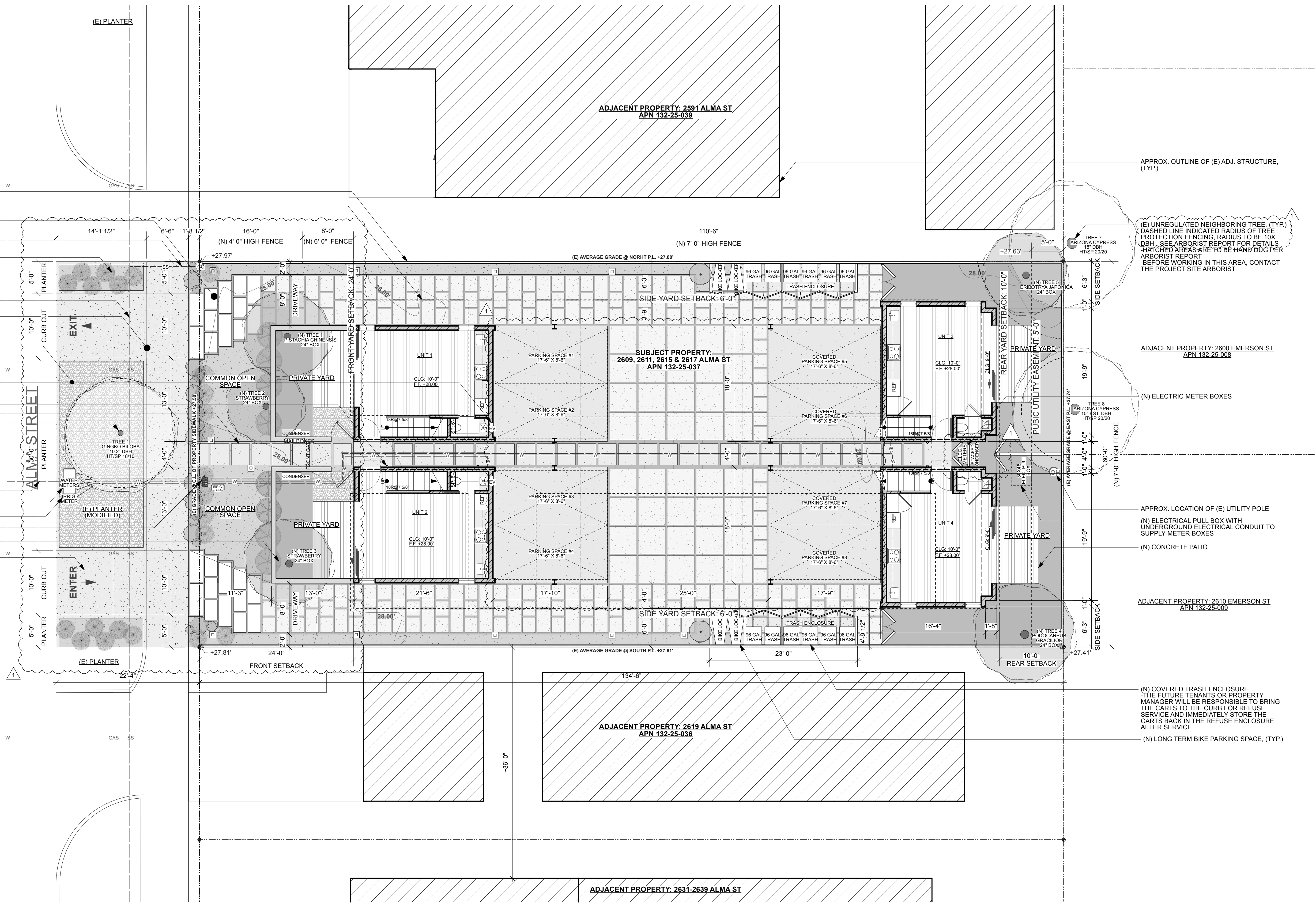
| | |
|----------------------------------|------------------------------|
| LOT SIZE | 8,070 SQ. FT. |
| ALLOWABLE FAR | (8,070 x 0.6) = 4,842 SQ.FT. |
| PROPOSED SQ. FOOTAGE | 4,839 SQ. FT. |
| SITE COVERAGE | 3,034.8 SQ. FT. |
| FLOOD HAZARD AREA (NAVD88 DATUM) | X |
| PARKING SPACES | 8 PROPOSED (8 REQUIRED) |
| COMMON USABLE OPEN SPACE | 346 SQ. FT. |
| PRIVATE USABLE OPEN SPACE | 2,298.2 SQ. FT. |

DEPARTMENT STAMPS:

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
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| 08.31.21 | Major AR - Rev.1 | rm |

SITE PLAN

A0.05



GEMINI - PALO ALTO HOUSING

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Palo Alto, CA 94306

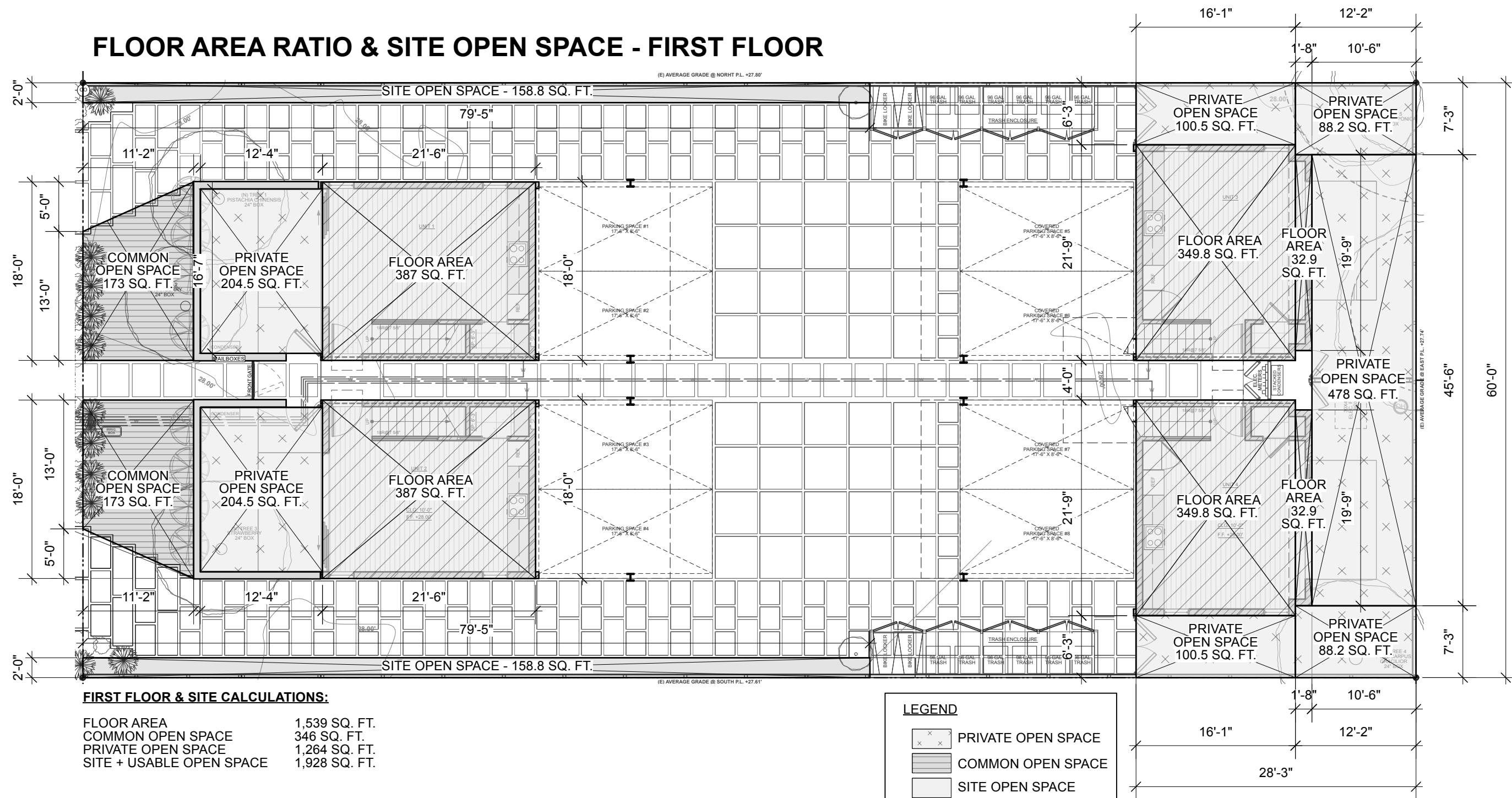
client: Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 950
Burlingame, CA 94010

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET, SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554

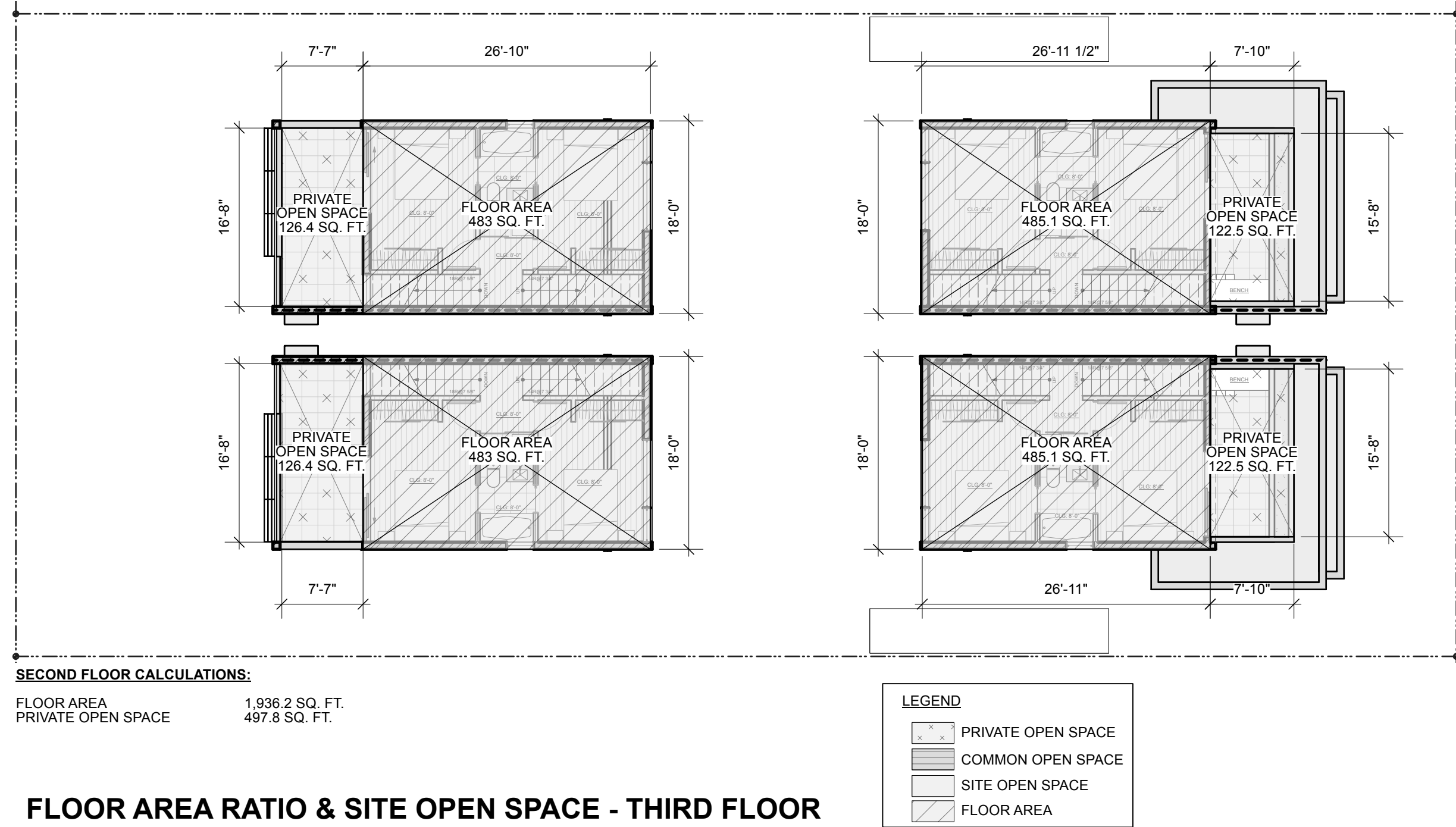


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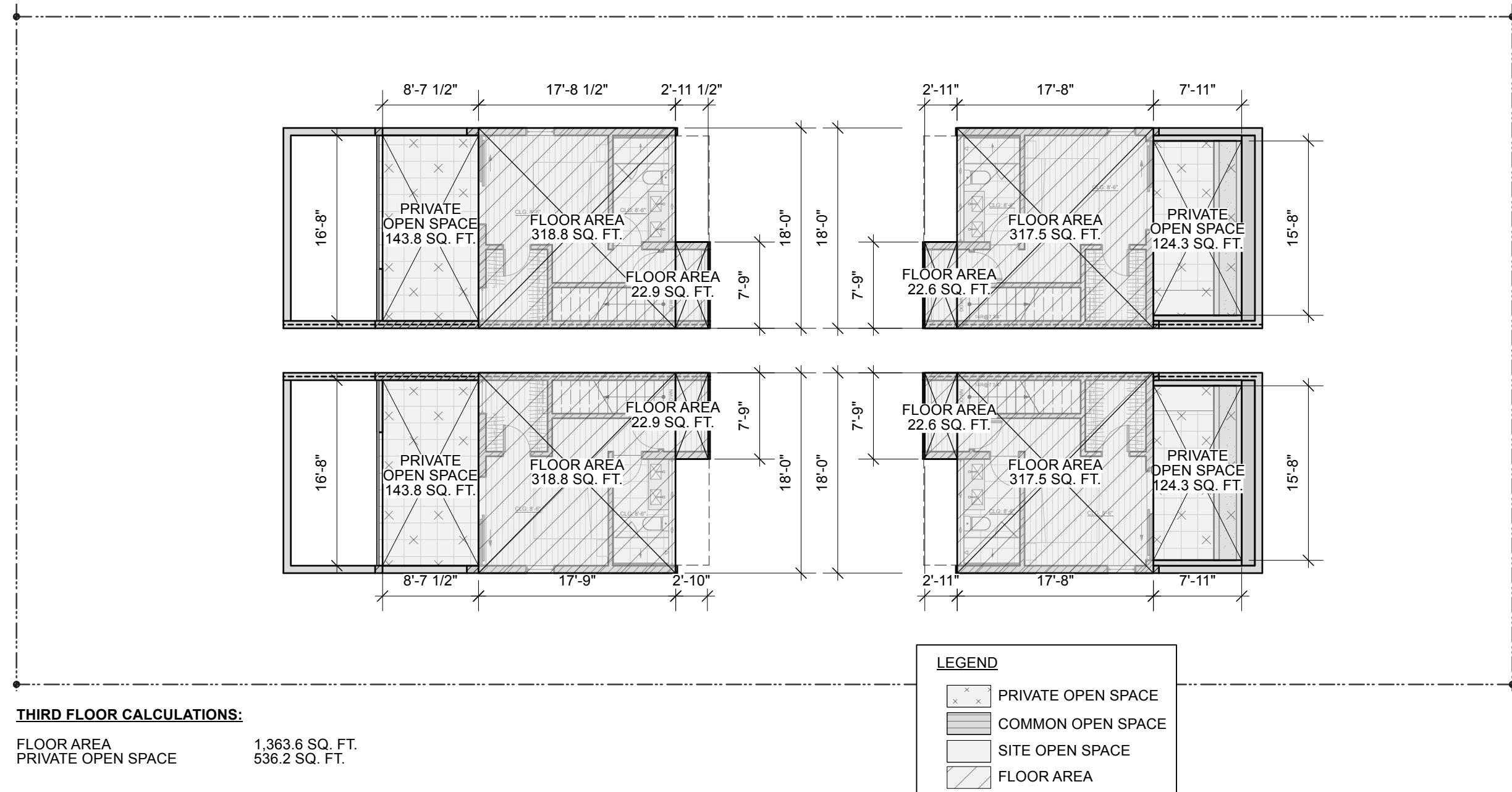
FLOOR AREA RATIO & SITE OPEN SPACE - FIRST FLOOR



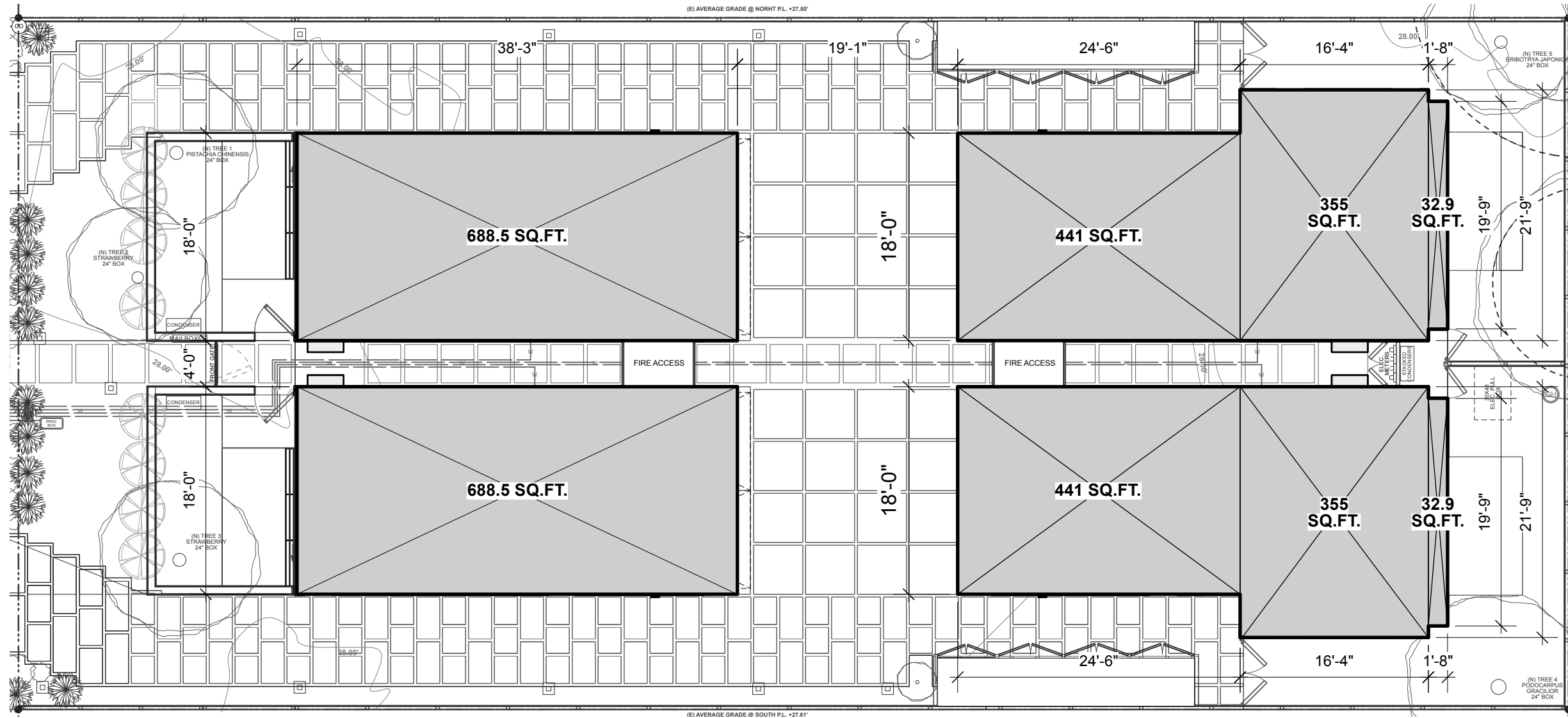
FLOOR AREA RATIO & SITE OPEN SPACE - SECOND FLOOR



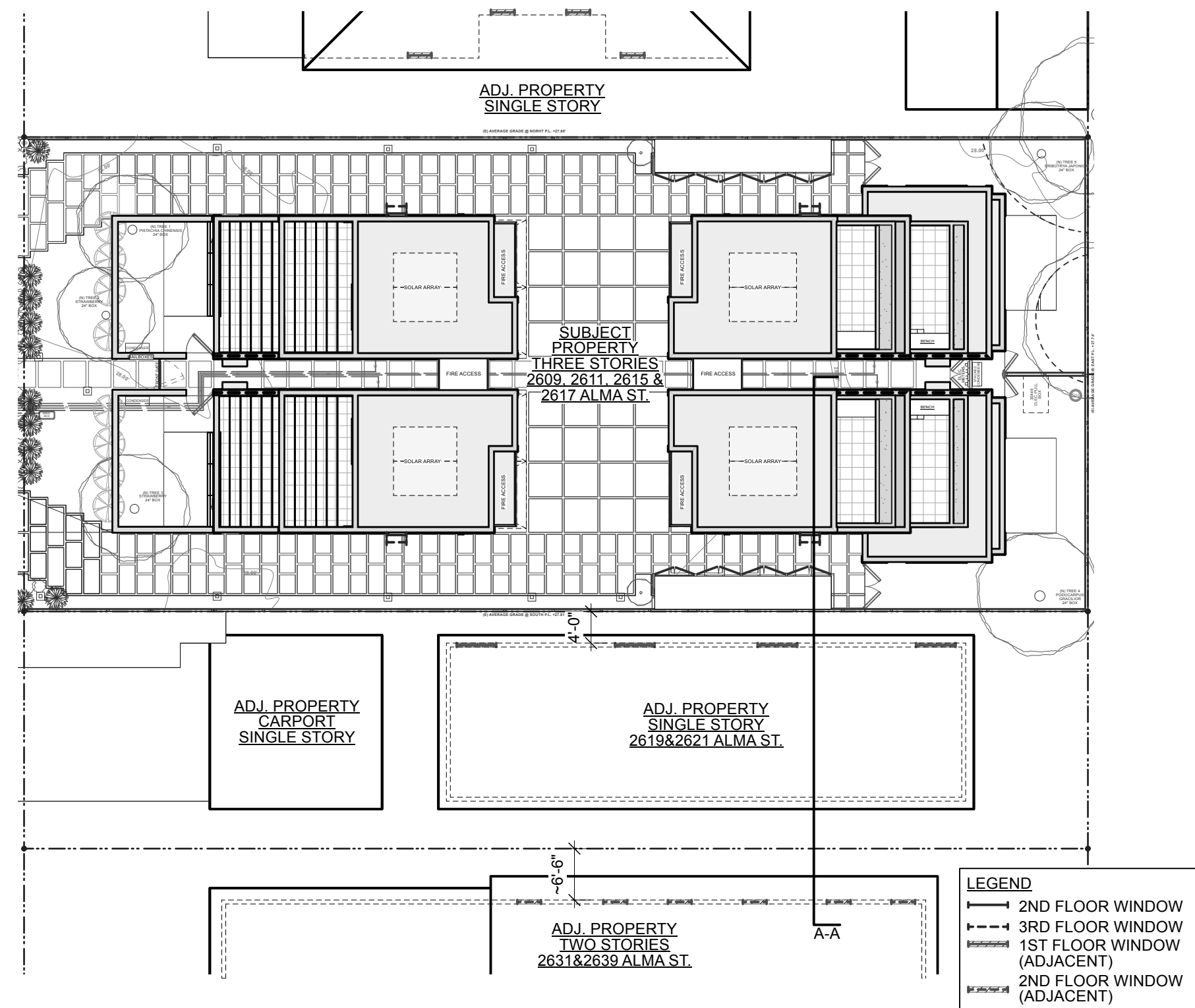
FLOOR AREA RATIO & SITE OPEN SPACE - THIRD FLOOR



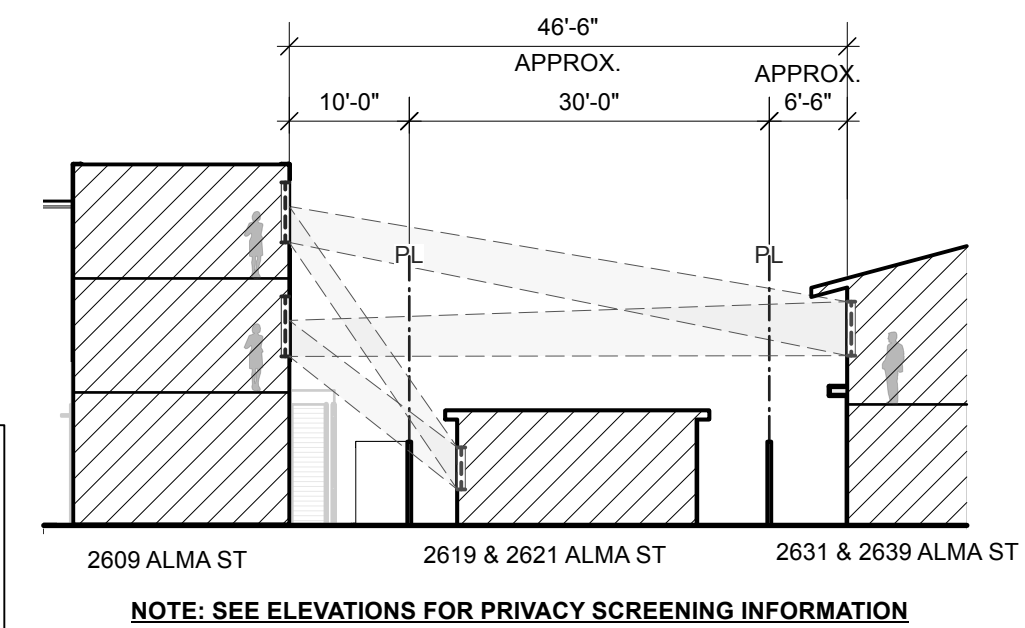
SITE / LOT COVERAGE



PRIVACY DIAGRAM



SECTION DIAGRAM A-A



FAR, PARKING, & OPEN SPACE CALCULATIONS

| | | | |
|---|---|----------|--|
| PRIVATE OPEN SPACE | | | |
| FIRST FLOOR | 1,264 SQ. FT. | | |
| SECOND FLOOR | 497.8 SQ. FT. | | |
| THIRD FLOOR | 536.2 SQ. FT. | | |
| TOTAL | 2,298.2 SQ. FT. | | |
| REQUIRED | (4X50 SQ. FT.) = 200 SQ. FT. | COMPLIES | |
| COMMON OPEN SPACE | | | |
| FIRST FLOOR | 346 SQ. FT. | | |
| REQUIRED | (4X75 SQ. FT.) = 300 SQ. FT. | COMPLIES | |
| USABLE OPEN SPACE | | | |
| REQUIRED | 2,644.4 SQ. FT. | COMPLIES | |
| | (4X150 SQ. FT.) = 600 SQ. FT. | | |
| SITE OPEN SPACE | | | |
| | 317.6 SQ. FT. | | |
| SITE + USABLE OPEN SPACE | | | |
| REQUIRED | 2,962.0 SQ. FT. | COMPLIES | |
| | (.3 X 8,070 SQ. FT.) = 2,421 SQ. FT. | | |
| SITE COVERAGE | | | |
| MAXIMUM | 3,034.8 SQ. FT. | COMPLIES | |
| | (.4 X 8,070 SQ. FT.) = 3,228 SQ. FT. | | |
| FLOOR AREA RATIO | | | |
| FIRST FLOOR | 1,539 SQ. FT. | | |
| SECOND FLOOR | 1,936.2 SQ. FT. | | |
| THIRD FLOOR | 1,363.6 SQ. FT. | | |
| TOTAL | 4,839.2 SQ. FT. | COMPLIES | |
| MAX. ALLOWED | (8,070 X 0.6) = 4,842 SQ. FT. | | |
| PARKING REQUIREMENTS (PER PAMC18.52.040 TABLE 1) | | | |
| BICYCLE PARKING | (1 PER UNIT X 4 UNITS) = 4 SPACES | COMPLIES | |
| CAR PARKING | (2 PER UNIT X 4 UNITS) = 8 SPACES | COMPLIES | |
| | MIN. (4 COVERED + 4 UNCOVERED) = 8 SPACES | | |

DEPARTMENT STAMPS:

| date | issues / revisions | by |
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| 05.17.21 | SB-330 Pre App Submittal | rm |
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| 08.31.21 | Major AR - Rev.1 | rm |

CALCULATIONS

A0.06

GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

client:

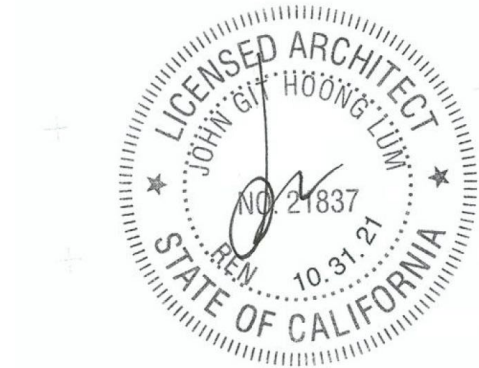
Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 850
Burlingame, CA 94010



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET, SAN FRANCISCO, CA 94110
TEL. 415.558.9550 FAX. 415.558.9554



DEPARTMENT STAMPS:



GEMINI - PALO ALTO HOUSING

2008, 2011, 2015, & 2017 Alma St.
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 850
Burlingame, CA 94010

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PERSPECTIVES

A0.07



DEPARTMENT STAMPS:

JOHN LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.558.8550 FAX 415.558.8554



GEMINI - PALO ALTO HOUSING

2608, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 850
Burlingame, CA 94010

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| 08.31.21 | Major AR - Rev.1 | rm |

PERSPECTIVES

A0.08

GEMINI - ALMA STREET HOUSING
MATERIALS BOARD

06.02.2021



SHOU-SUGI-BAN WOOD SIDING - DELTA MILLOWORKS "WOLVERINE"



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554

GEMINI - PALO ALTO

2609, 2611, 2615, & 2617 ALMA ST.
PALO ALTO, CA 94306



ALUMINUM WINDOWS - BRONZE ANODIZED



STUCCO - LA HABRA "CRYSTAL WHITE"



GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

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DEPARTMENT STAMPS:

filename: GEMINI_DO Rev 1_210827.wvx

EXTERIOR LANDSCAPE LIGHTING

Learn more. Visit: fxl.com | +1760.744.5240

CB Path Light ORDERING INFORMATION

| Fixture | Luxor Option | Output | Riser | Finish | |
|---------|-----------------------|--|------------------------------|-----------------------|-----------------------|
| CB* | [default] Zone | 1LED 44 Lumens | 08R 8" (203 mm) Riser | CU Natural Copper | FW Flat White |
| | ZD Zone/Dim | 3LED 94 Lumens | 12R 12" (305 mm) Riser | BZ Bronze Metallic | AL Almond |
| | | 3LED** Wildlife-Friendly Amber (585-595 nm) Riser | 18R 18" (457 mm) Riser | DG Desert Granite | SV Silver |
| | ZDC Zone/Dim/Color | [default] 83 Lumens | 24R 24" (610 mm) Riser | WI Weathered Iron | AB Antique Bronze |
| | | | 36R 36" (914 mm) Riser | FB Black | AT Antique Tumbled |
| | | | | WG White Gloss | NP Nickel Plate |

CB Path Light SPECIFICATIONS

| Output | 1LED | 3LED | 3LEDT | ZDC |
|-----------------------------|----------------|----------------|----------------|----------------------|
| Total Lumens* | 44 | 94 | 74 | 83 |
| Input Voltage | 10 to 15V | 10 to 15V | 10 to 15V | 11 to 15V |
| Input Power (W) | 2.0 | 4.2 | 4.2 | 6.0 |
| VA | 2.4 | 4.5 | 4.5 | 7.2 |
| Efficacy (Lumens/Watt) | 23 | 64 | 21 | 36 |
| Color Rendering Index (CRI) | 80+ | 80+ | -- | 80+ |
| Max Candela | 15 | 30 | 29 | 40 |
| Dimming | PWM, Phase** | PWM, Phase** | PWM, Phase** | -- |
| RGBW Available | No | No | No | Yes |
| Luxor Compatibility | | | | |
| Default | Zoning | Zoning | -- | -- |
| ZD Option | Zoning/Dimming | Zoning/Dimming | Zoning/Dimming | -- |
| ZDC Option | -- | -- | -- | Zoning/Dimming/Color |
| Minimum Rated Life (L70) | 50,000 Hrs | 50,000 Hrs | 50,000 Hrs | 50,000Hrs |

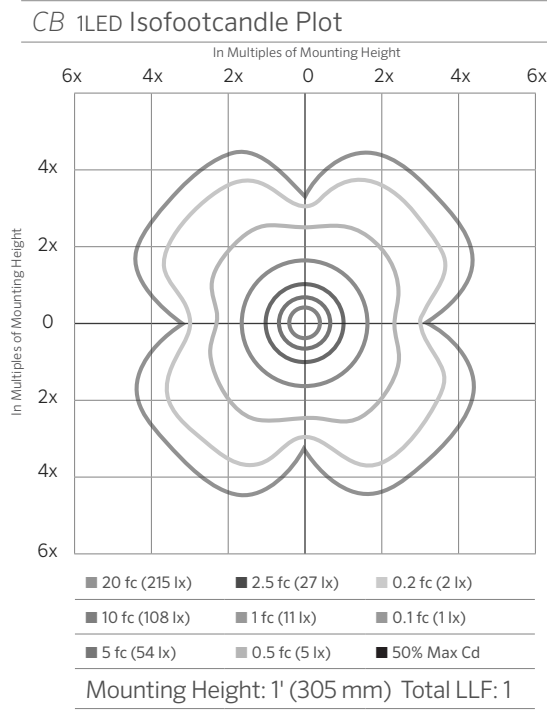
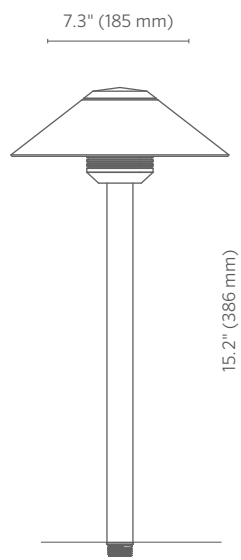
** For optimal performance, use a trailing-edge, phase-cut dimmer.
* Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).

LANDSCAPE LIGHTING

CB Path Light DESIGNER PREMIUM

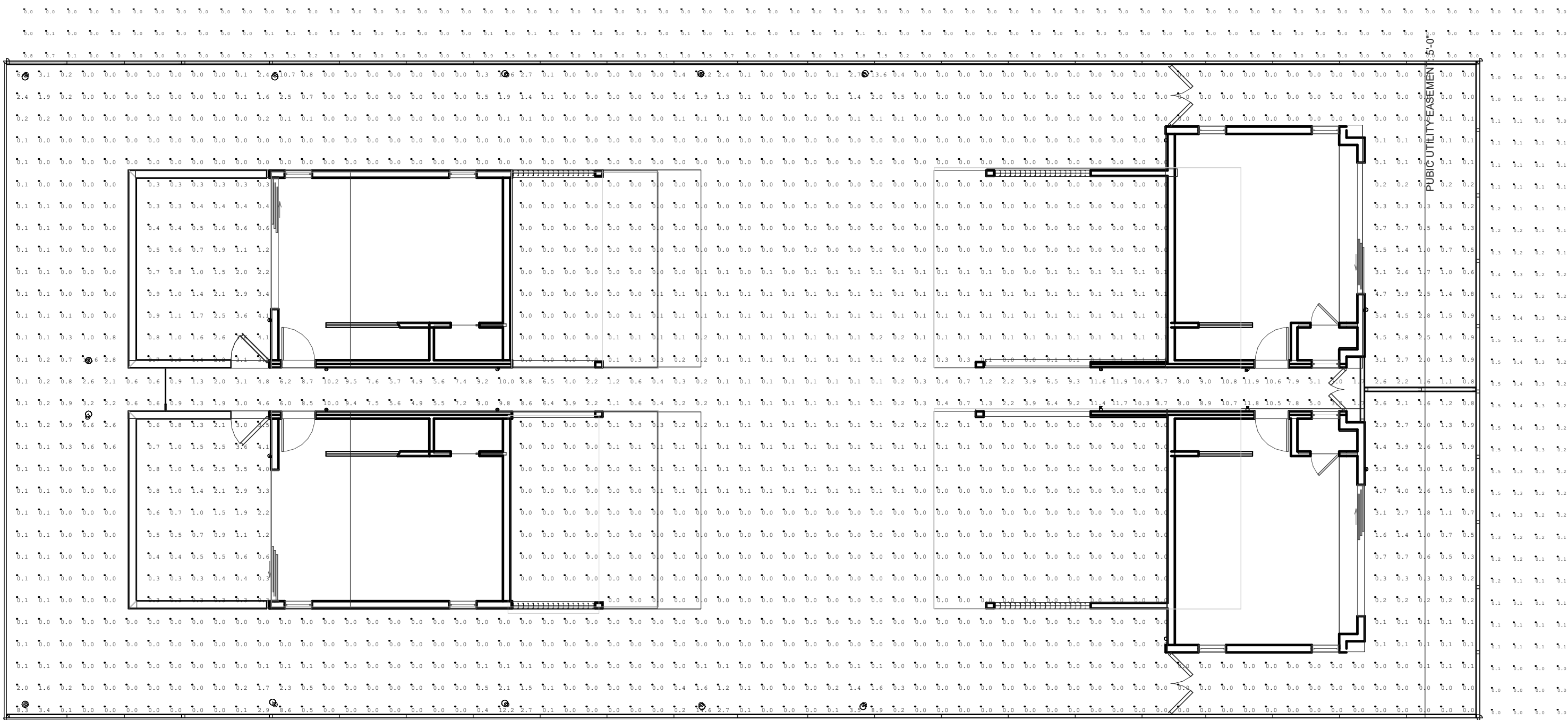
Classic styling combines metals in this 1 or 3 LED area light. Copper and brass construction. RGBW capable with Luxor® system.

- Quick Facts
- Copper/brass construction
 - Natural copper/brass, powder coat, or antique finishes
 - Cree® integrated LEDs
 - Tamper-resistant features
 - Color temperature filters
 - Compatible with Luxor technology
 - Phase and PWM dimmable
 - Input voltage: 10-15V



| Calculation Summary | | | | | | |
|---------------------|-------------|------|-----|-----|---------|---------|
| Label | CalcType | Avg | Max | Min | Avg/Min | Max/Min |
| Object_20_Top_1 | Illuminance | 1.50 | 4.5 | 0.1 | 15.00 | 45.00 |

2 PHOTOMETRIC PLAN - TYPICAL UPPER FLOOR DECK
A0.10 Scale: Actual Size



| Calculation Summary | | | | | | |
|---------------------|-------------|------|------|-----|---------|---------|
| Label | CalcType | Avg | Max | Min | Avg/Min | Max/Min |
| ext perim | Illuminance | 0.11 | 1.8 | 0.0 | N.A. | N.A. |
| Perimeter | Illuminance | 0.67 | 18.2 | 0.0 | N.A. | N.A. |

1 PHOTOMETRIC PLAN - SITE PLAN
A0.10 Scale: Actual Size

WAC LIGHTING

Caliber

Outdoor Wall Sconce 3000K

| Model & Size | Color Temp & CRI | Finish | Watt | LED Lumens | Delivered Lumens |
|---------------|------------------|--|------|------------|------------------|
| WS-W36610 10" | 3000K 90 | AL Brushed Aluminum BK Black BZ Bronze | 11W | 735 | 560 |
| BK | | | | | |

Example: WS-W36610-BZ
For custom requests please contact custom@wacighting.com

DESCRIPTION

Light projection tuned with precision, Caliber is a discrete cylinder with minimal mounting hardware. Available in a single or double light configuration which can be mounted bothvertically and horizontally. The light engine is factory sealed for maximum protection against the harshest elements.

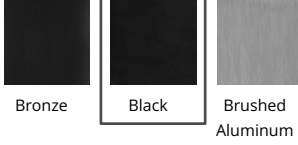
FEATURES

- Discrete cylinder with minimal mounting hardware
- Weather-resistant powder coated finish
- WS-W36614 is Up & down light, WS-W36610 is one direction
- Light engine is factory sealed for maximum protection from the elements
- Driver concealed within the fixture
- 5 year warranty

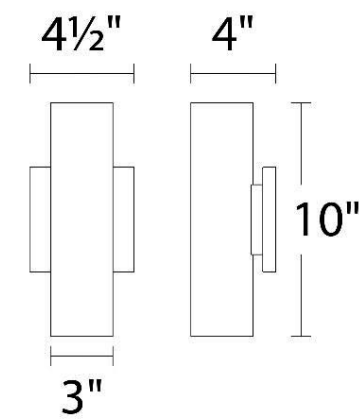
SPECIFICATIONS

| | |
|---------------|---|
| Color Temp: | 3000K |
| Input: | 120-277 VAC, 50/60Hz |
| CRI: | 90 |
| Dimming: | ELV: 100-10% |
| Rated Life: | 72000 Hours |
| Mounting: | Can be mounted on wall vertically or horizontally |
| Standards: | ETL, cETL, IP65 Wet Location Listed |
| Construction: | Aluminum hardware with lens diffuser |

FINISHES:



LINE DRAWING:



WS-W36610

wacighting.com | Phone (800) 526.2588 | Fax (800) 526.2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. June 2021

EXTERIOR SCONCE LIGHTING

PHOTOMETRIC PLAN

A0.10

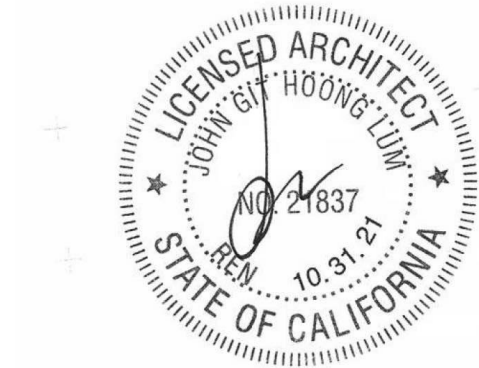
GEMINI - PALO ALTO HOUSING

2009, 2011, 2015, & 2017 Alma St.
Palo Alto, CA 94306

client:

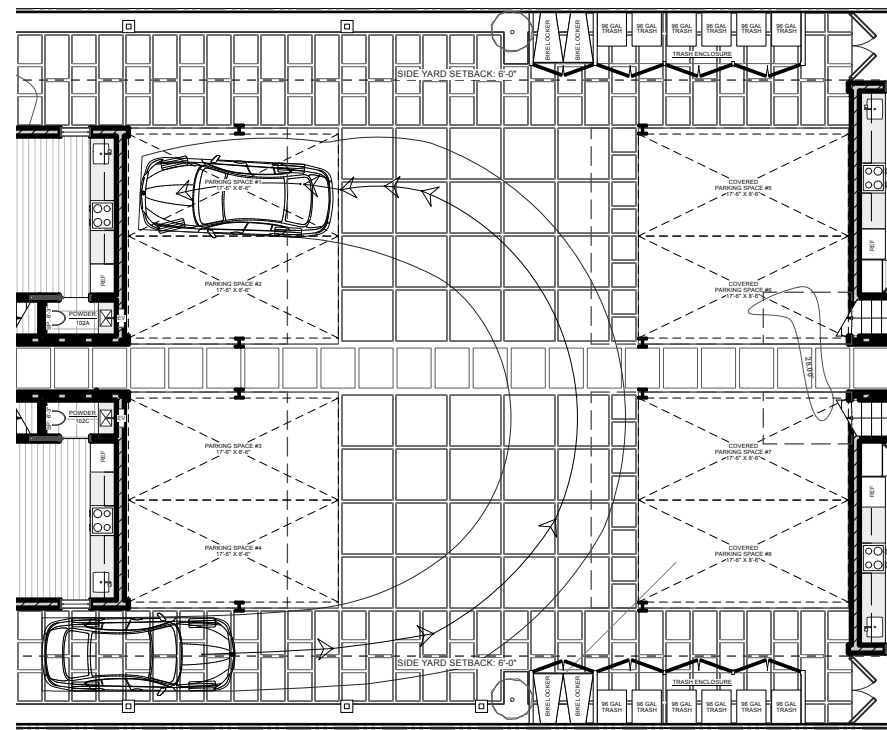
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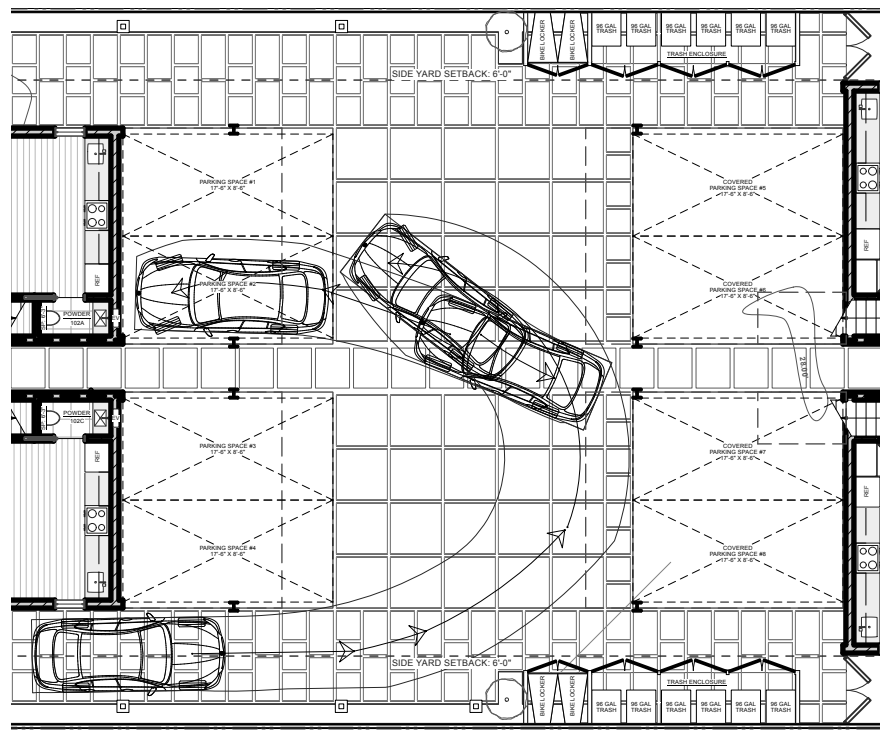


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3246 SEVENTEEN STREET, SAN FRANCISCO, CA 94110
TEL 415.558.8550 FAX 415.558.0554

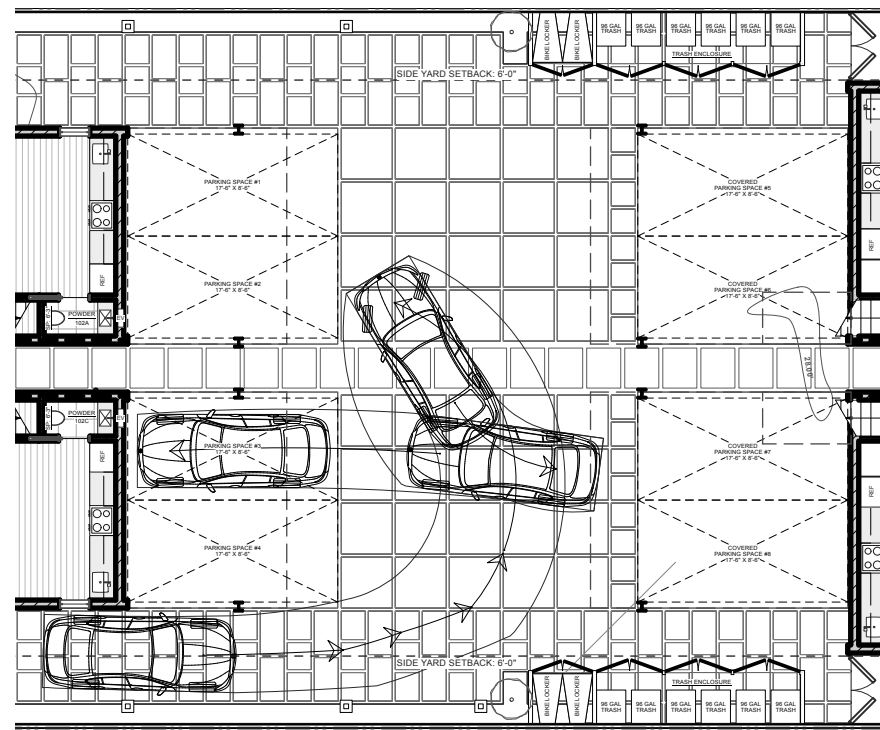
PARKING ACCESS PLANS



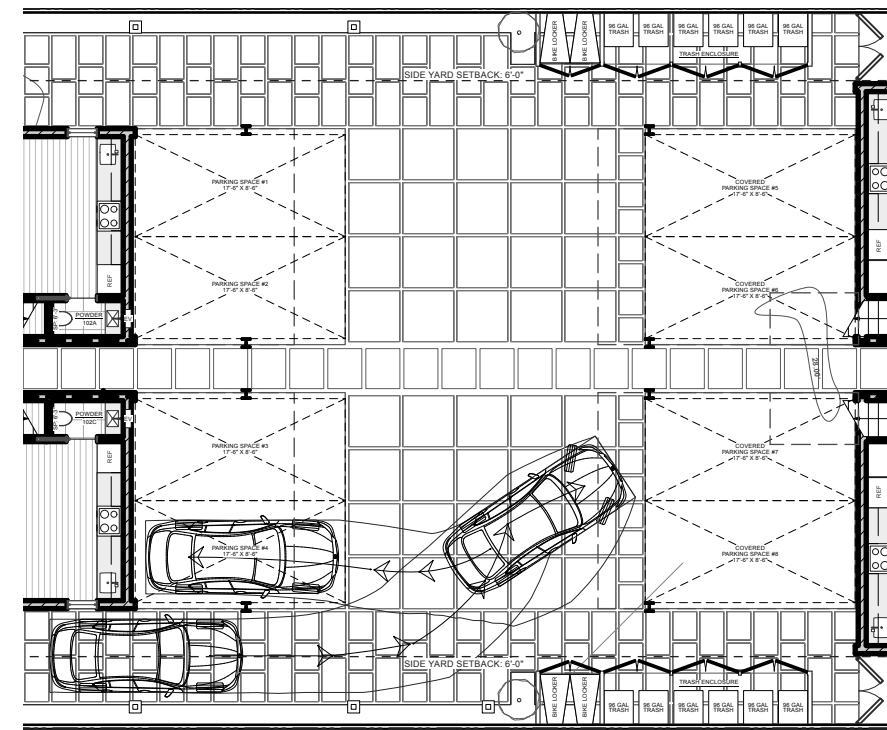
PARKING SPACE #1



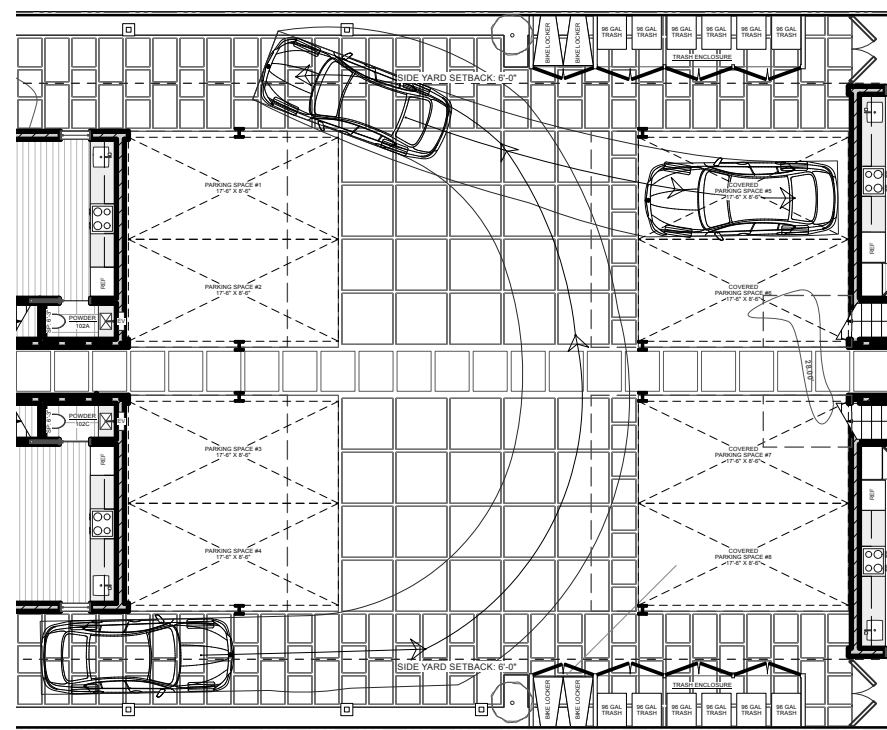
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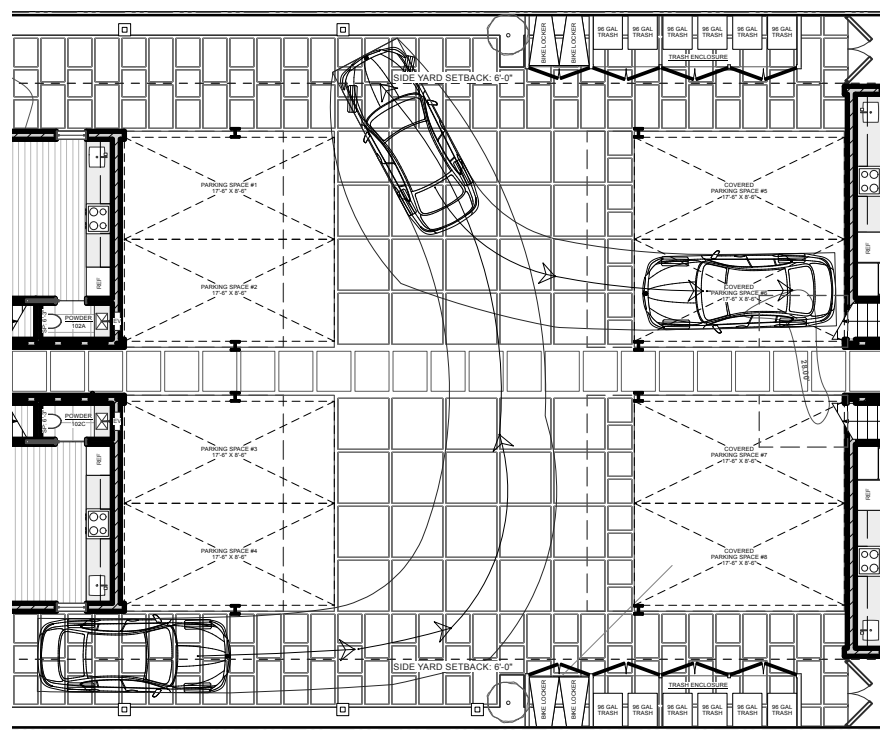
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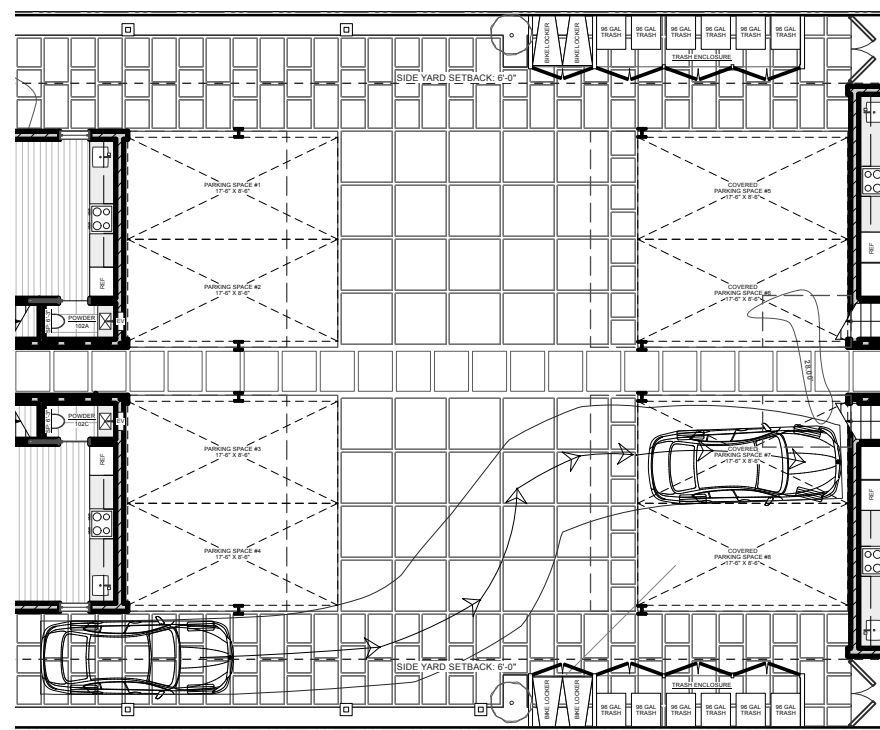
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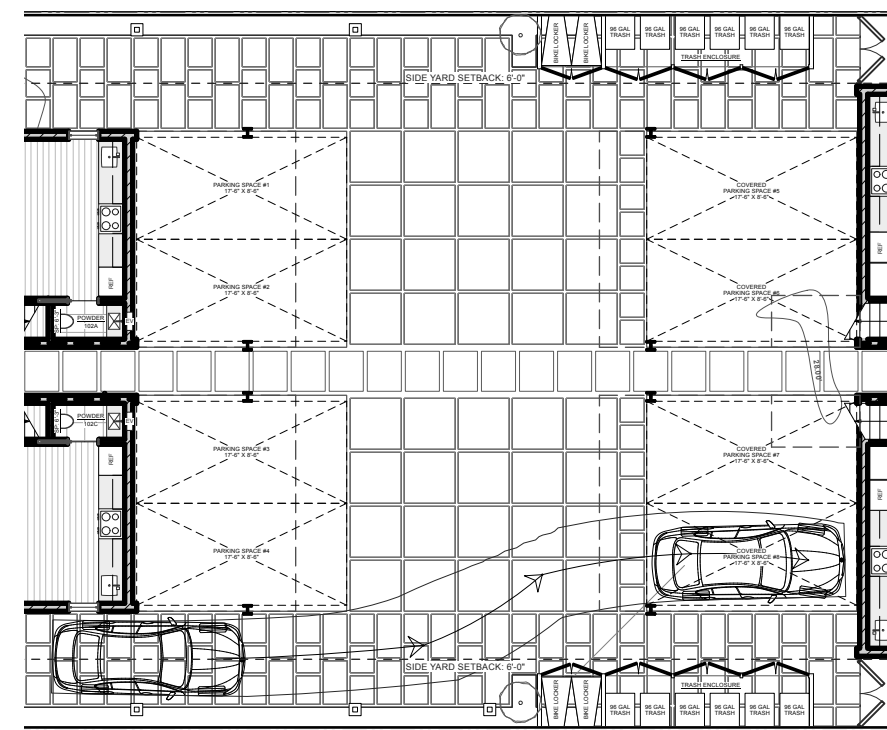
PARKING SPACE #5



PARKING SPACE #6



PARKING SPACE #7



PARKING SPACE #8

BICYCLE PARKING SPECIFICATION

HUNTCO
SITE FURNISHINGS
Tradition & Innovation

Bike racks, lockers, benches and architectural site furnishings since 1980.
PHONE 503.224.8700
FAX 503.274.2055
EMAIL Sales@Huntco.com
WEB Huntco.com
MAIL P.O. Box 10385
Portland, Or. 97296-0385
TWITTER @HuntcoSupply

VERTICAL WEDGE BIKE LOCKER

Great for small-footprint spaces, same security and storage as the standard Wedge bike locker.

CONSTRUCTION/MATERIAL

- 12 Gauge Steel (Door/Frame)
- 14 & 16 Gauge Steel (Body)

DIMENSIONS

- 50" Length
- 30" Width
- 73" Height

MOUNTING

- Surface Mount
- (4) 437" Mounting Holes
- Self-leveling feet

FINISH OPTIONS

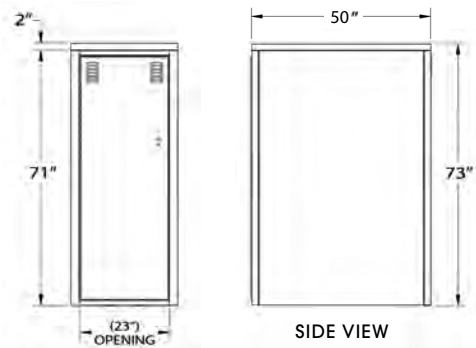
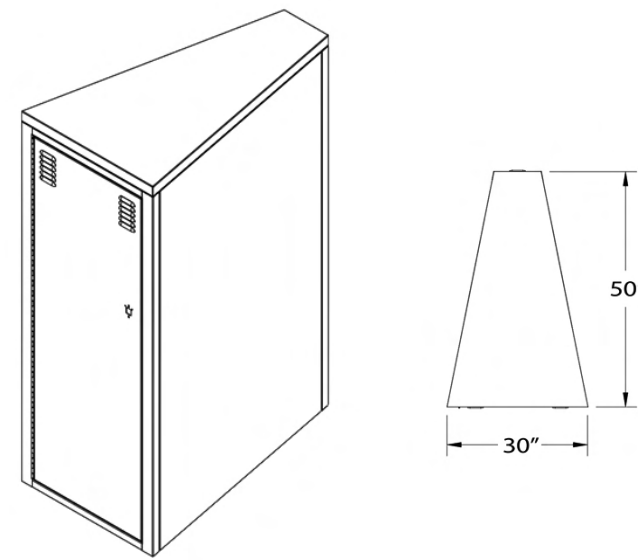
- 304 Stainless Steel
- #4 Satin Finish
- Powder Coating
- #

DECORATIVE OPTIONS

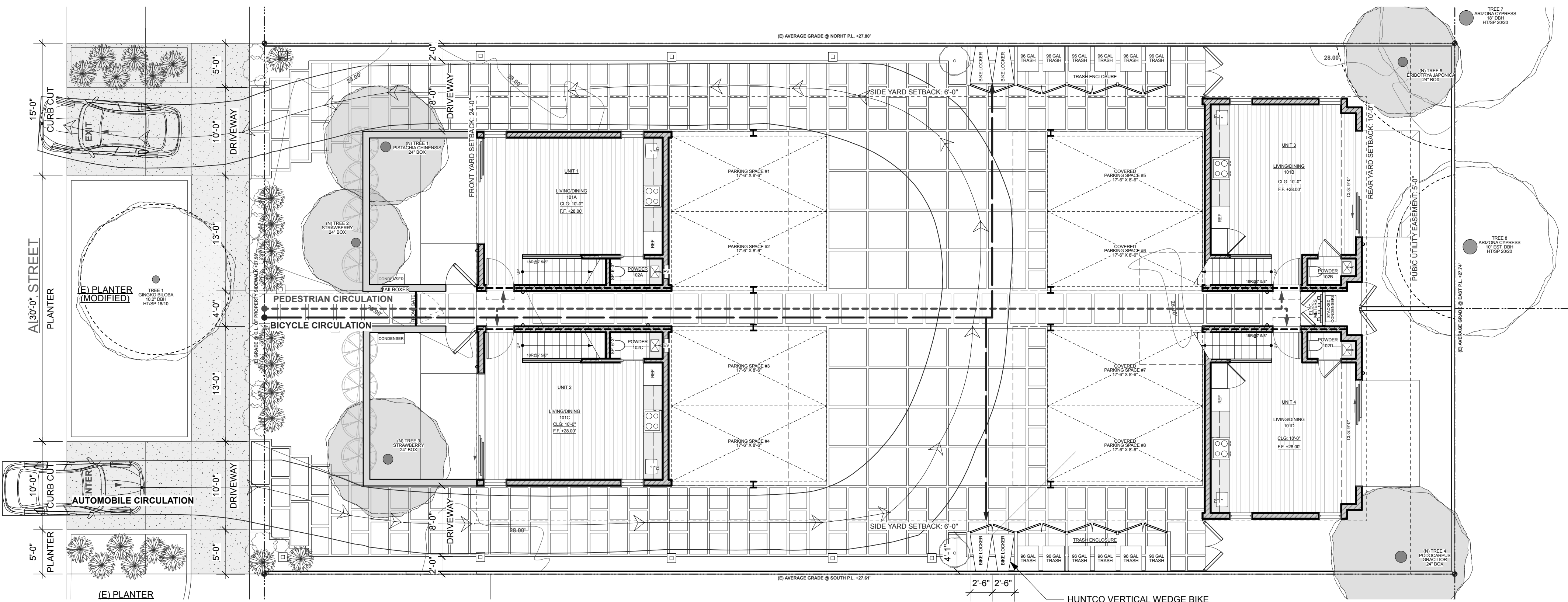
- No Perforation
- Custom Perforation

HANDLE OPTIONS

- Padlock Handle
- Pop T-Lock
- U-Lock Box



CONTRACTOR: _____
JOB: _____
NOTES: _____



1
A0.11
CIRCULATION PLAN - PROPOSED
Scale: 1/8" = 1'-0"

0 10 20 30 FT



DEPARTMENT STAMPS:

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
| 06.07.21 | Major AR Submittal | rm |
| 08.31.21 | Major AR - Rev.1 | rm |

CIRCULATION PLAN

A0.11

GEMINI - PALO ALTO HOUSING

2608, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

client:

Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 850
Burlingame, CA 94010




JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET, SAN FRANCISCO, CA 94110
TEL 415.558.8550 FAX 415.558.8554

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.



TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 2611 ALMA ST

Are there Regulated trees on or adjacent to the property? ☒ YES ☐ NO (If no, proceed to Section 4)

[Sections 1- 4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)
☐ On the property
☐ On adjacent property overhanging the project site
☒ In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected¹ or Designated¹ Trees? ☐ YES (Check where applicable) ☒ NO
☐ Protected Tree (s)
☐ Designated Tree (s)
☐ On or overhanging the property

3. Is there activity or grading within the drip-line? (radius 10 times the trunk diameter) of these trees? ☒ YES ☐ NO
If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.23). Attach this report to Sheet T-1, Tree Protection, as Part of the Plan, per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? ☒ YES ☐ NO

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy drip-line; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the drip-line, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM - Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: Tungmy Print: _____ Date: November 20th, 2020
(Prop. Owner or Agent)


FOR STAFF USE:
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES NO
(N/A if there are no protected trees, check here [X])

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. YES NO
(N/A if there are no street trees, check here [X])

* Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community-environment/tree-technical-manual.html>

S:\Plan\Div\Arborist\Tree Protection Info\Tree Disclosure Statement Revised 08/06



For written specifications associated with illustrations below, see Public Works Specifications Section 31
Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/)

Tree Protection Zone (TPZ) shown in gray (radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater).
• Restricted activity area - see Tree Technical Manual Sec 2.15(E).
• Restricted trenching area - see Tree Technical Manual Sec 2.20(C-D), any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.

Type I Tree Protection
Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report.
8 x 11-inch Warning Signs one each side
6-foot high chain link fence, typical
2-inch thick wooden slats
2-inches of Orange Plastic Fencing overlaid with 2-inch Thick Wooden Slats
Any proposed trench in TPZ requires approval See TTM 2.20(C-D) for instructions
Any inoperative sidewalk or curb replacement or trenching requires approval
Fence distance no more than 10' from tree trunk
Fencing must provide public passage while protecting all other land in TPZ
Restricted use for trees in sidewalk canopy - tree wells only
Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.
Type III Tree Protection
(to be used only with approval of Public Works Operations)
Tree fencing is required and shall be erected before demolition, grading or construction begins.


| Rev | By | Date |
|-----|------|----------|
| 0 | DWH | 12/14/92 |
| 01 | D.D. | 08/04/04 |
| 02 | D.D. | 08/10/06 |

Tree Protection During Construction

City of Palo Alto Standard

Approved by: Dave Dockter
PE No. _____
Date 2006
Dwg No. 605

Scale: NTS



**PALO ALTO
STREET TREE PROTECTION INSTRUCTIONS
-SECTION 31-**

APPENDIX J

31-1 General
a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve root and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents
a. Detail 605 - Illustration of situations described below.
b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)
1. Trenching Restriction Zones (TTM, Section 2.20(C))
2. Arborist Reporting Protocol (TTM, Section 6.23)
3. Site Plan Requirements (TTM, Section 6.23)
4. Tree Disclosure Statement (TTM, Appendix J)
c. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution
a. Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.
b. Type II Tree Protection: For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
c. Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.
d. Size, type and area to be fenced. All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.
e. Warning signs. A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."
f. Duration. Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.
g. During construction
1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.
2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
3. The following tree preservation measures apply to all trees to be retained:
a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
b. The ground under and around the tree canopy area shall not be altered.
c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PW/E, Section 31
Revised 08/06

5/1706

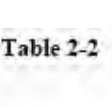


Table 2-2 Palo Alto Tree Technical Manual

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

1. Inspection of Protective Tree Fencing For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).

2. Pre-Construction Meeting Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).

3. Inspection of Rough Grading or Trenching Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect irrigation system, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.

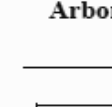
4. Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report form shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).

5. Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct on-site supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).

6. Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.

7. List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

Respectfully submitted,
Project site arborist
Consultant contact information (Include email, cell#, and mailing)
Cc:
Enter Date CPA Monthly Tree Activity Report: Type site address here Page #1 of 1



**City of Palo Alto Tree Technical Manual
ADDENDUM 11**

Arborist Firm Data Here

Monthly Tree Activity Report- Construction Site

| Inspection Date: | Site address: | Contractor- Main Site Contact Information | #1: Job site superintendent Company: Email: Job site Office: Cell: Mail: |
|------------------|-----------------------------------|---|--|
| Inspection # | Palo Alto, CA | Also present: | |
| Distribution: | 1. City of Palo Alto 2. Others | Attn: Dave Dockter | Dave.dockter@cityofpaloalto.org 650-329-2440 |

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

1. Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits)
a. Pre-construction meeting requirement with sub-contractors
b. Inspect to verify that tree protection measures are in place
c. Determine if field adjustments, watering or plan revisions may be needed

2. Field Observations (general site-wide and list by individual tree number)
a. Tree Protection Fences (TPF) are ...
b. Trenching has/will occur ...

3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
a. Tree Protection Fence (TPF) needs adjusting (tree # x, x, x)
b. Root zone buffer material (wood chips) can be installed next
c. Schedule sewer trench, foundation dig with ...


4. Photographs (use often)

5. Tree Location Map (mandatory 8.5 x 11 sheet)

6. Recommendations, notes or monitor items for project/staff/schedule

7. Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,
Project site arborist
Consultant contact information (Include email, cell#, and mailing)
Cc:
Enter Date CPA Monthly Tree Activity Report: Type site address here Page #1 of 1



**City of Palo Alto
Tree Department**

**Verification of
Street Tree Protection**

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Staff will inspect and notify applicant.

APPLICATION DATE:
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:
APPLICANT'S NAME:
APPLICANT'S ADDRESS:
APPLICANT'S TELEPHONE & FAX NUMBERS:

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: YES ☐ NO ☐
* If NO, go to #2 below

Inspected by:
Date of inspection:

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:
Indicate how the required modifications were communicated to the applicant.

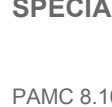
Subsequent inspection
Street trees at above address were found to be adequately protected. YES ☐ NO ☐
* If NO, indicate in "Notes" below the disposition of case.

Inspected by:
Date of inspection:

Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.

5/1706



SPECIAL INSPECTIONS

PLANNING DEPARTMENT

TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE:
DATE OF 1ST TREE ACTIVITY REPORT: _____
CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

GEMINI - PALO ALTO HOUSING

2008, 2011, 2015, & 2017 Alma St
Palo Alto, CA 94306

client:

Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 850
Burlingame, CA 94010

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
| 06.07.21 | Major AR Submittal | rm |
| 08.31.21 | Major AR - Rev.1 | rm |

T-1

All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto

T1

TREE PROTECTION PLAN

filename: GEMINI_DO Rev. 1_210827.wmk

Tenzin Tsungmey
Gemini Development One Palo Alto LLC
1350 Bayshore Hwy Ste. 520
Burlingame, CA - 94010

Site: 2609/2611 Alma St., Palo Alto

Dear Tenzin,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. The two adjacent lots will be merged and the two single story apartment buildings will be deconstructed and replaced by four new individual units, prompting the need for this tree protection report.

Method:

Palo Alto regulates coast live oaks and valley oaks greater than 11.5 inches in diameter, and coastal redwoods greater than 18.0 inches in diameter. Palo Alto requests that all trees with a trunk diameter greater than 6 inches at standard height be included in the report including all street trees and trees on neighboring properties that might be impacted.

The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:



| | |
|-----------|-----------|
| 1 to 29 | Very Poor |
| 30 to 49 | Poor |
| 50 to 69 | Fair |
| 70 to 89 | Good |
| 90 to 100 | Excellent |

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely



Robert Weatherill
Certified Arborist WE 1936A

Tree Survey

| Tree# | Species | DBH | Ht/Sp | Con Rating | Comments |
|-------|---|--------|-------|------------|--|
| 1 | Maiden hair tree <i>Ginkgo biloba</i> | 10.2" | 18/10 | 50 | Fair health and condition, street tree, topped, Regulated |
| 2 | Monterey pine <i>Pinus radiata</i> | 9.1" | 30/8 | 40 | Poor health and condition, one sided canopy, Not Regulated |
| 3 | Monterey pine <i>Pinus radiata</i> | 14.2" | 50/20 | 55 | Fair health and condition, joint owned Not Regulated |
| 4 | Chinese elm <i>Ulmus parvifolia</i> | 13.7" | 40/25 | 55 | Fair health and condition, growing through fence, Not Regulated |
| 5 | Monterey pine <i>Pinus radiata</i> | 16.6" | 50/25 | 55 | Fair health and condition, growing through fence, Not Regulated |
| 6 | Silk oak <i>Grevillea robusta</i> | 15.7" | 40/20 | 55 | Fair health and condition, one sided canopy, Not Regulated |
| 7 | Arizona cypress <i>Cupressus arizonica</i> | 18"est | 20/20 | 50 | Fair health and condition, topped by utility, neighbors Not Regulated |
| 8 | Arizona cypress <i>Cupressus arizonica</i> | 10"est | 20/20 | 50 | Fair health and condition, topped by utility, neighbors Not Regulated |
| 9 | Camphor <i>Cinnamomum camphor</i> | 5@2"0 | 20/10 | 40 | Fair health, poor condition, basal sprouts, Not Regulated |
| 10 | Pyracantha <i>Pyracantha spp</i> | 14"@1" | 20/10 | 40 | Fair health, poor condition Not Regulated |
| 11 | Chinese elm <i>Ulmus parvifolia</i> | 8.0" | 20/15 | 40 | Fair health, poor condition Not Regulated |
| 12 | Tree of heaven <i>Ailanthus altissima</i> | 7.1" | 30/15 | 70 | Good health and condition, invasive Not Regulated |

Summary:

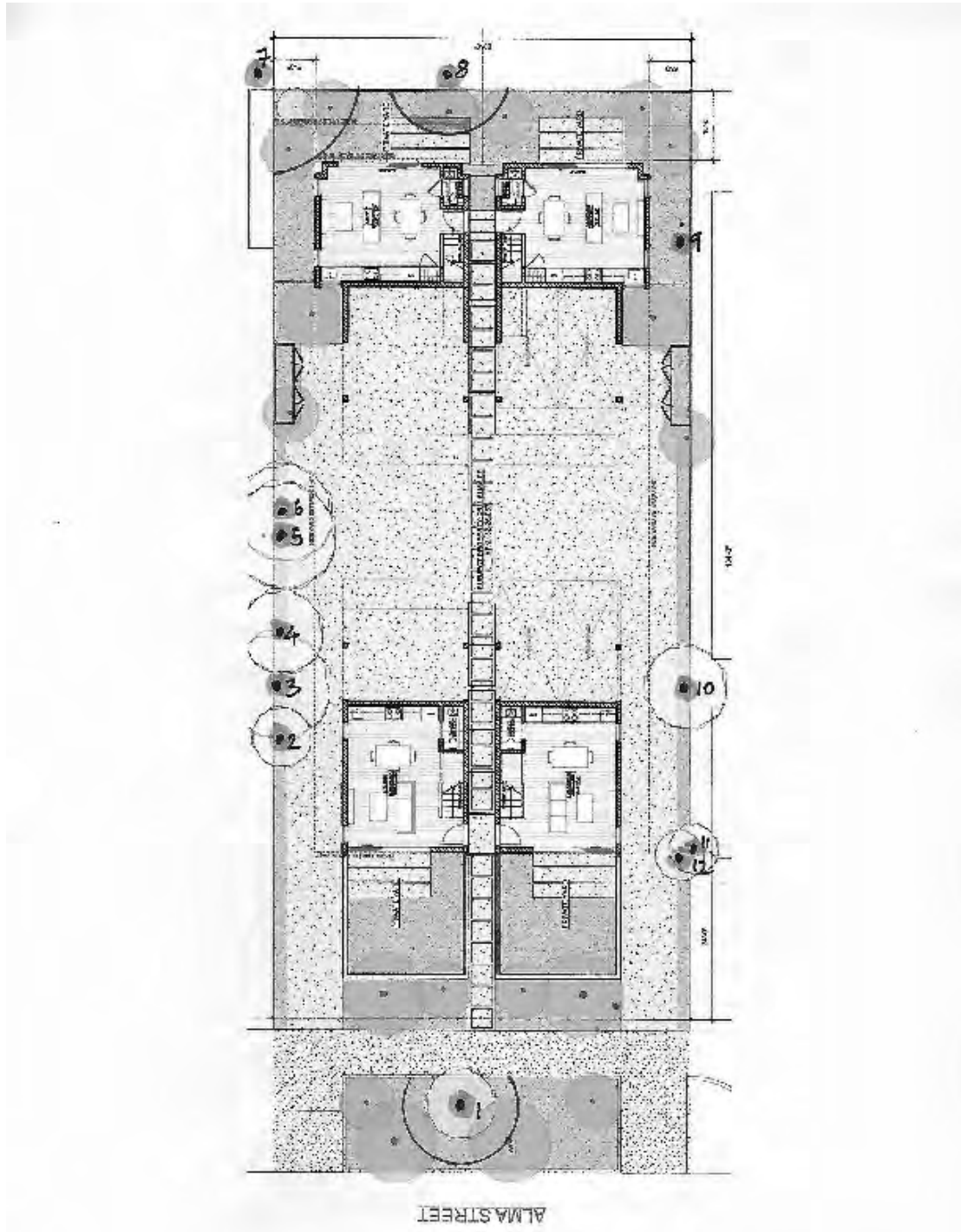
The trees on the site are a variety of natives and non-natives.

Tree # 1 is a street tree that is Regulated and should be protected during construction.

Tree #s 2, 4, 5, 6, 9, 10, 11 and 12 are not Regulated trees and can be removed if desired.

Tree # 3 is not a Regulated tree but because of its location on the property line it is a joint owned tree. The tree is in fair health and condition but not tolerant of construction activity. With all the surrounding trees removed, this tree will look unsightly since its growth pattern has been influenced by the surrounding trees. I recommend that this tree be removed, but because it is joint owned, the neighbor's permission is required.

Tree #s 7 and 8 are not Regulated trees but are located on the rear neighbor's property, consequently, both trees should be protected during construction.



Location of proposed 4 new individual units, protected trees and their Tree Protection Zones

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree # 1: TPZ should be at 8.5 feet from the trunk closing on the edge of sidewalk and road in accordance with Type II Tree Protection as outlined and illustrated in image 2.15- 3⁽⁹⁾. The improvements to the existing sidewalk within the TPZ should be done by hand. No roots greater than 2" in diameter should be cut.

Tree #s 7 and 8: TPZ should be at 15 and 8 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾.

The patio encroaching into TPZ for Tree # 8 should be dug with hand tools within the TPZ, area shaded in blue. No roots greater than 2" in diameter should be cut.



IMAGE 2.15-1
Tree Protection Fence at the Dripline



IMAGE 2.15-2
Tree Protection Fence at the Dripline

• Type I Tree Protection
The fences shall enclose the entire area under the **canopy dripline** or **TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (see *Images 2.15-1 and 2.15-2*). **Parking Areas:** If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.



IMAGE 2.15-3
Tree Protection within a Planter Strip

• Type II Tree Protection
For trees situated within a **narrow planting strip**, only the **planting strip** shall be enclosed with the **required chain link protective fencing in order to keep the sidewalk and street open for public use** (see *Image 2.15-3*)

2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.

3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾

4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾

5. Do Not:⁽⁴⁾

- Allow run off or spillage of damaging materials into the area below any tree canopy.
- Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
- Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
- Allow fires under any adjacent trees.
- Discharge exhaust into foliage.
- Secure cable, chain or rope to trees or shrubs.
- Apply soil sterilants under pavement near existing trees.

6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.⁽⁶⁾

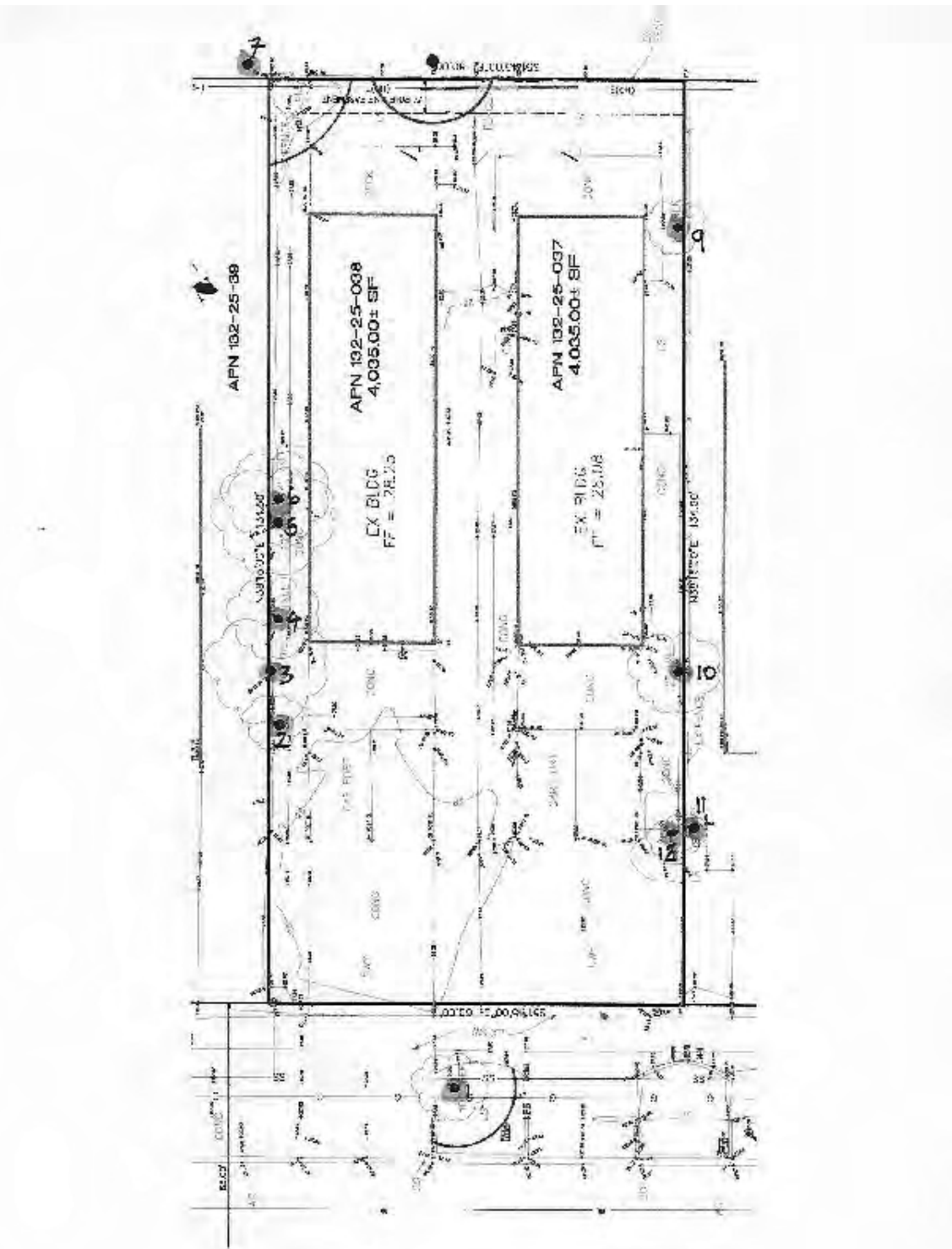
7. Route pipes into alternate locations to avoid conflict with roots.⁽⁴⁾

8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.⁽⁴⁾

9. Compaction of the soil within the dripline shall be kept to a minimum.⁽²⁾ If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4" of wood chip overlaid with plywood.

10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.

11. Ensure upon completion of the project that the original ground level is restored



Location of existing apartments on adjacent lots, protected trees and their Tree Protection Zones

Glossary

| | |
|------------------------|--|
| Canopy | The part of the crown composed of leaves and small twigs. ⁽²⁾ |
| Cavities | An open wound, characterized by the presence of extensive decay and resulting in a hollow. ⁽¹⁾ |
| Decay | Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin ⁽¹⁾ |
| Dripline | The width of the crown as measured by the lateral extent of the foliage ⁽¹⁾ |
| Genus | A classification of plants showing similar characteristics. |
| Root plate | The point at which the trunk flares out at the base of the tree to become the root system. |
| Species | A Classification that identifies a particular plant. |
| Standard height | Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level |

References

- Matheny, N.P., and Clark, J.P. *Evaluation of Hazard Trees in Urban Areas*. International Society of Arboriculture, 1994.
- Harris, R.W., Matheny, N.P. and Clark, J.R. *Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines*. Prentice Hall, 1999.
- Carlson, Russell E. *Paulownia on The Green: An Assessment of Tree Health and Structural Condition*. Tree Tech Consulting, 1998.
- Extracted from a copy of Tree Protection guidelines. Anon
- T. D. Sydnor, *Arboricultural Glossary*. School of Natural Resources, 2000
- D Dockter, *Tree Technical Manual*. City of Palo Alto, June, 2001

Certification of Performance⁽³⁾

I, Robert Weatherill certify:

* That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;

* That I have no current or prospective interest in the vegetation and the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

* That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;

* That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;

* That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

* That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 20 years.

Signed





Robert Weatherill
Certified Arborist WE 1936a
Date: 8/2/21

Terms and Conditions⁽³⁾

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care:

- All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
- It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
- All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
- The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
- All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
- The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
- Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
- Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
- Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphic material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.



| | | | | Code Section | Y | Plan Sheet, Spec or Attachment Reference | Compliance Path Verification | | | | | | | |
|---------------------------------------|---|---|---|--------------|---------------------------------------|--|-------------------------------|---------|----------------------------|---------|------|---------|--|--|
| | | Plan Check | | | | | Rough GB Inspection IVR # 152 | | Final Inspection IVR # 153 | | | | | |
| | | CORR | INITIAL | | | | CORR | INITIAL | CORR | INITIAL | CORR | INITIAL | | |
| | | | | | | | | | | | | | | |
| 4.1 Planning and Design | | | | | | | | | | | | | | |
| Mandatory | Mandatory | Storm water drainage and retention during construction (less than one acre) | | | 4.106.2 | X | | | | | | | | |
| | Tier 2 Mand. | Topsoil protection - Tier 2 requirements | | | PAMC 16.14.070/ A4.106.2.3 | X | | | | | | | | |
| | Mandatory | Grading and paving | | | 4.106.3 | X | | | | | | | | |
| | Tier 2 Mand. | Water permeable surfaces for 30% - Tier 2 requirements | | | A4.106.4 | X | | | | | | | | |
| | Tier 2 Mand. | Cool roof for reduction of heat island effect -Tier 2 requirements | | | PAMC 16.14.070/ A4.106.5 | X | | | | | | | | |
| | Tier 2 Mand. | Electric vehicle (EV) charging for residential structures (Locally amended) | | | PAMC 16.14.420/ A4.106.8 | X | | | | | | | | |
| | Mandatory | EV Charging: New single family residences | | | PAMC 16.14.420/ A4.106.8.1 | X | | | | | | | | |
| | Mandatory | EV Charging: New multi-family residential structures | | | PAMC 16.14.420/ A4.106.8.2 | X | | | | | | | | |
| | Mandatory | EV Charging: New Hotels | | | PAMC 16.14.420/ A4.106.8.3 | X | | | | | | | | |
| | Mandatory | Bicycle Parking [MF] (locally amended)When an addition or change of use results in increased parking | | | PAMC 18.54.060/ A4.106.9 | X | | | | | | | | |
| Electives (choose 4) | Elective | Site selection | | | A4.103.1 | X | | | | | | | | |
| | Elective | Community connectivity | | | A4.103.2 | X | | | | | | | | |
| | Elective | Supervision and education by a Special Inspector (Locally amended) | | | PAMC 16.14.090/ A4.104.1 | X | | | | | | | | |
| | Elective | Deconstruction (Locally amended; Mandatory on or after July 1, 2020) | | | PAMC 16.14.130/ A4.105.1 | X | | | | | | | | |
| | Elective | Reuse of existing materials (Locally amended) | | | PAMC 16.14.130/ A4.105.2 | X | | | | | | | | |
| | Elective | Soil analysis | | | A4.106.2.1 | X | | | | | | | | |
| | Elective | Soil protection | | | A4.106.2.2 | X | | | | | | | | |
| | Elective | Landscape design | | | A4.106.3 | X | | | | | | | | |
| | Elective | Vegetated roof | | | A4.106.6 | X | | | | | | | | |
| | Elective | Reduction of heat island effect for nonroof areas | | | A4.106.7 | X | | | | | | | | |
| Electives (choose 4) | Elective | Light pollution reduction (Locally amended) | | | PAMC 16.14.170/ A4.106.10 | X | | | | | | | | |
| | Elective | Innovative concepts and local environmental conditions | | | A4.108.1 | X | | | | | | | | |
| PAMC 16.17 Energy Reach Code | | | | | | | | | | | | | | |
| Mandatory | Effective April 1, 2020: | All-Electric Design with performance approach specified within the 2019 California Energy Code shall be used to demonstrate the energy budget calculated for the proposed design building is no greater than the energy budget calculated for the Standard Design Building. Exception: Detached newly constructed Accessory Dwelling Units, ADU's | | | PAMC 16.17.110/ 2016 Title 24, Part 6 | X | | | | | | | | |
| | Mandatory | | | | | | | | | | | | | |
| 4.3 Water Efficiency and Conservation | | | | | | | | | | | | | | |
| Mandatory | Mandatory | Indoor Water Use: Water closets (1.28 gpf) | | | 4.303.1.1 | X | | | | | | | | |
| | Mandatory | Indoor Water Use: Urinals (Wall Mounted) 0.125 gpf, all others 0.5 gpf) | | | 4.303.1.2 | X | | | | | | | | |
| | Mandatory | Indoor Water Use: Single showerhead (1.8 gpm at 80 psi) | | | 4.303.1.3.1 | X | | | | | | | | |
| | Mandatory | Indoor Water Use: Multiple showerheads serving one shower (1.8 gpm at 80 psi) | | | 4.303.1.3.2 | X | | | | | | | | |
| | Mandatory | Indoor Water Use: Residential lavatory faucets (1.2 gpm at 60 psi) | | | 4.303.1.4.1 | X | | | | | | | | |
| | Mandatory | Indoor Water Use: [MF] Lavatory faucets in common and public use areas (0.5 gpm at 60 psi) | | | 4.303.1.4.2 | X | | | | | | | | |
| | Mandatory | Indoor Water Use: Metering faucets (0.2 gallons per cycle) | | | 4.303.1.4.3 | X | | | | | | | | |
| | Mandatory | Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi) | | | 4.303.1.4.4 | X | | | | | | | | |
| | Mandatory | Indoor Water Use: Standards for plumbing fixtures and fittings (Meet 2019 Plumbing Code) | | | 4.303.2 | X | | | | | | | | |
| | Mandatory | Outdoor potable water use in landscape areas (MWELC) | | | 4.304.1 | X | | | | | | | | |
| Electives (choose 3) | Mandatory | Recycled water supply systems [N] | | | 4.305.1 | X | | | | | | | | |
| | Tier 2 Mand. | Recycled water for landscape irrigation [MF only][AA] (when landscape >1,000 sq. ft) | | | PAMC 16.14.230/ A4.305.3 | X | | | | | | | | |
| | Elective | Kitchen faucets (1.5 gpm at 60 psi) | | | A4.303.1 | X | | | | | | | | |
| | Elective | Alternate water sources for nonpotable applications | | | A4.303.2 | X | | | | | | | | |
| | Elective | Appliances | | | A4.303.3 | X | | | | | | | | |
| | Elective | Nonwater supplied urinals and waterless toilets | | | A4.303.4 | X | | | | | | | | |
| | Elective | Hot water recirculation systems | | | A4.303.5 | X | | | | | | | | |
| | Elective | Rainwater catchment systems | | | A4.304.1 | X | | | | | | | | |
| | Elective | Potable water elimination | | | A4.304.2 | X | | | | | | | | |
| | Elective | Irrigation metering device (locally amended) | | | PAMC 16.14.220/ A4.304.3 | X | | | | | | | | |
| Electives (choose 3) | Elective | Graywater (Locally amended; Whole house graywater system counts as 3 electives) | | | PAMC 16.14.230/ A4.305.1 | X | | | | | | | | |
| | Elective | Graywater (Locally amended) | | | PAMC 16.14.230/ A4.305.2 | X | | | | | | | | |
| | Elective | Recycled water for landscape irrigation (Locally amended) | | | PAMC 16.14.230/ A4.305.3 | X | | | | | | | | |
| | Elective | Innovative concepts and local environmental conditions | | | A4.306.1 | X | | | | | | | | |
| | 4.4 Material Conservation and Resource Efficiency | | | | | | | | | | | | | |
| | Mandatory | Tier 2 Mand. | Recycled content - 15% - Tier 2 requirements | | | PAMC 16.14.070/ A4.405.3.1 | X | | | | | | | |
| | | Mandatory | Rodent proofing fill annular spaces around pipes, cables, conduits or other openings to protect against rodents | | | 4.406.1 | X | | | | | | | |
| | | Mandatory | Enhanced construction waste reduction (80% Diversion w/ job valuation >\$25,000 or meet state standards of 65%) | | | PAMC 16.14.260/ 4.408.1 | X | | | | | | | |
| | | Mandatory | Construction waste management plan in Green Halo | | | A4.408.2 | X | | | | | | | |
| | | Mandatory | Waste management company | | | 4.408.3 | X | | | | | | | |
| Mandatory | | Operation and maintenance manual provided to the building owner | | | 4.410.1 | X | | | | | | | | |
| Mandatory | | Recycling by occupants (≥ 5 multi-family units) | | | 4.410.2 | X | | | | | | | | |
| Elective | | Reduction in cement use - 25% | | | PAMC 16.14.250/ A4.403.2 | X | | | | | | | | |
| Elective | | Efficient framing techniques - Lumber size | | | A4.404.1 | X | | | | | | | | |
| Elective | | Efficient framing techniques - Dimensions and layouts | | | A4.404.2 | X | | | | | | | | |
| Electives (choose 4) | Elective | Efficient framing techniques - Building systems | | | A4.404.3 | X | | | | | | | | |
| | Elective | Efficient framing techniques - Pre-cut materials and details | | | A4.404.4 | X | | | | | | | | |
| | Elective | Prefinished building materials | | | A4.405.1 | X | | | | | | | | |
| | Elective | Concrete floors | | | A4.405.2 | X | | | | | | | | |
| | Elective | Use of building materials from rapidly renewable sources | | | A4.405.4 | X | | | | | | | | |
| | Elective | Drainage around foundations | | | A4.407.1 | X | | | | | | | | |
| | Elective | Roof drainage | | | A4.407.2 | X | | | | | | | | |
| | Elective | Flashing details | | | A4.407.3 | X | | | | | | | | |
| | Elective | Material protection | | | A4.407.4 | X | | | | | | | | |
| | Elective | Door protection | | | A4.407.6 | X | | | | | | | | |
| Electives (choose 4) | Elective | Roof overhangs | | | A4.407.7 | X | | | | | | | | |
| | Elective | Innovative concepts and local environmental conditions | | | A4.411.1 | X | | | | | | | | |

| | | | | | Compliance Path Verification | | | | | | | | | | | |
|---------------------------|--------------|--|--------------------------|---|------------------------------|---|--------------------------------|--|----------------------------|--|---------|--|------|--|---------|--|
| | | | | | Plan Check | | Rough GB Inspection IVR # 152 | | Final Inspection IVR # 153 | | | | | | | |
| | | | | | CORR | | INITIAL | | CORR | | INITIAL | | CORR | | INITIAL | |
| | | | | | Reference | | | | | | | | | | | |
| 4.5 Environmental Quality | | | | | Code Section | Y | Plan Sheet, Spec or Attachment | | | | | | | | | |
| Mandatory | Mandatory | Fireplaces shall be direct-vent sealed combustion type (all-electric on or after April 1, 2020) | 4.503.1 | X | | | | | | | | | | | | |
| | Mandatory | Covering of duct openings, protection of mechanical equipment during construction | 4.504.1 | X | | | | | | | | | | | | |
| | Mandatory | Adhesives, sealants and caulks - Table 4.504.1 and 4.504.2 for VOC limits | 4.504.2.1 | X | | | | | | | | | | | | |
| | Mandatory | Paints and coatings - Table 4.504.3 for VOC limits | 4.504.2.2 | X | | | | | | | | | | | | |
| | Mandatory | Aerosol paints and coatings | 4.504.2.3 | X | | | | | | | | | | | | |
| | Mandatory | Verification - documentation to verify complaint VOC limit on finish materials | 4.504.2.4 | X | | | | | | | | | | | | |
| | Mandatory | Carpet systems compliant with VOC limits | 4.504.3 | X | | | | | | | | | | | | |
| | Mandatory | Carpet cushion | 4.504.3.1 | X | | | | | | | | | | | | |
| | Mandatory | Carpet systems: Carpet adhesive - Table 4.504.1 for VOC limits | 4.504.3.2 | X | | | | | | | | | | | | |
| | Tier 2 Mand. | Resilient flooring systems for 100% - Tier 2 requirements | PAMC 16.14.070/ A4.504.2 | X | | | | | | | | | | | | |
| Electives (1) | Mandatory | Composite wood products | 4.504.5 | X | | | | | | | | | | | | |
| | Mandatory | Concrete slab foundations - vapor retarder required | 4.505.2 | X | | | | | | | | | | | | |
| | Mandatory | Capillary break for slab-on-grade foundations | 4.505.2.1 | X | | | | | | | | | | | | |
| | Mandatory | Moisture content of building materials ≤ 19% for wall and floor framing | 4.505.3 | X | | | | | | | | | | | | |
| | Mandatory | Bathroom exhaust fans (when required) shall be provided with the following: | 4.506.1 | X | | | | | | | | | | | | |
| | Mandatory | 1. ENERGY STAR fans ducted to outside of building | | X | | | | | | | | | | | | |
| | | 2. Humidity controlled OR functioning as a component of a whole-house ventilation system | | X | | | | | | | | | | | | |
| | | 3. Humidity controls with manual or automatic means of adjustment for relative humidity range of ≤50% to 80% max | | X | | | | | | | | | | | | |
| | Mandatory | Heating and air conditioning system design | 4.507.2 | X | | | | | | | | | | | | |
| | Mandatory | Indoor Air Quality Management Plan | PAMC 16.14.410 | X | | | | | | | | | | | | |
| Electives (1) | Elective | Compliance with formaldehyde limits | PAMC 16.14.265/ A4.504.1 | X | | | | | | | | | | | | |
| | Elective | Thermal insulation | PAMC 16.14.270/ A4.504.3 | X | | | | | | | | | | | | |
| | Elective | Construction filters [HR] | A4.506.2 | X | | | | | | | | | | | | |
| | Elective | Direct-vent appliances | A4.506.3 | X | | | | | | | | | | | | |
| | Elective | Innovative concepts and local environmental conditions. | A4.509.1 | X | | | | | | | | | | | | |

Legend:

Y - Yes; the measure is in the scope of work
N - No; the measure is not in the scope of work
PAMC - Palo Alto Municipal Code; locally amended
[N] - New Construction
[MF] - Multi-family dwellings
[AA] - Additions and alterations
[HR] - High-rise building

ADU Exception:

Free standing detached Accessory Dwelling Units of new construction shall meet the following:
1. California Green Building Standards Code Mandatory plus Tier 2 prerequisite requirements.
2. No Planning and Design electives.
3. Two (2) Water Efficiency and Conservation electives.
4. Two (2) Material Conservation and Resource Efficiency electives.
5. One (1) Environmental Quality elective.

The Green Building Survey is a required project submittal. The survey can be found at the following [link](#). The online survey shall be completed and a Green Building Survey Report will be sent in an email. Include a copy of the survey report on a separate page in this plan set. Please indicate the reference page here _____.

Special Inspector Acknowledgement

The project will be verified by a
RESIDENTIAL GREEN BUILDING SPECIAL INSPECTOR

I have reviewed the project plans and specifications, and they are in conformance with the CALGreen mandatory and elective measures claimed. I have reviewed and understand the after-construction requirements below.


Signature (Green Building Special Inspector)

Richard Yang
Print Name

richard@jbrycilc.com
Phone or Email

6/7/2021
Date

Certified Energy Analyst Acknowledgement

The project will be verified by a
CERTIFIED ENERGY ANALYST

**REQUIREMENT EFFECTIVE
ON APRIL 1, 2020**

The Certificate of Compliance shall be prepared and signed by a Certified Energy Analyst and the energy budget for the Proposed Design shall be no greater than the Standard Design Building.

I am a Certified Energy Analyst with the California Association of Building Energy Consultants as of the date of submission of a Certificate of Compliance as required under Section 10-103 of the Building Energy Efficiency Standards for Residential and Non-Residential Buildings.

Signature (Certified Energy Analyst)

Print Name

Phone or Email

Date

SECTION TO BE COMPLETED AFTER CONSTRUCTION

After construction is complete submit the following at the City Development Center to schedule your final inspection:

- ☐ Construction debris receipts from an approved facility using Green Halo.
☐ If HERS testing was required per the homes energy report, attach the completed forms.
☐ If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Types) rerun the report and attach it.

I certify that:

- ☐ CALGreen inspections were performed throughout construction.
☐ The home has met the CALGreen measures as claimed on this sheet. Those required for landscaping may be excluded from this confirmation if verified within 6 months of final inspection.

Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment.

Signature (Green Building Special Inspector)

Sign only after project is complete

Print Name

CITY STAMPS ONLY



Title 24, Part 11, California Green Building Code (CALGreen)
City of Palo Alto Development Center Green Building Requirements
ity of Palo Alto Green Building Ordinance 5481 (PAMC 16.14 Amendments)

<http://www.bac.ca.gov/Home/CALGreen.aspx>
https://www.cityofpaloalto.org/gov/depts/ds/green_building/default.asp
[http://library.amlegal.com/rxd/gateway.dll/California/paloalto_ca/palcaitmunipalcode?7=templates&fn=default.htm&3.0&](http://library.amlegal.com/rxd/gateway.dll/California/paloalto_ca/palcaitmunipalcode?7=templates&fn=default.htm&3.0&vid=amlegal:paloalto_ca)


This landscape plan is designed to have a clean look, in keeping with the modern architectural style. Additionally, the intention is for low maintenance and maximum usability for the rental occupants. There is substantial screening in front of the buildings to add privacy and mitigate the busy street sound. A turf strip pattern has been integrated into the driveways and parking area to soften and break-up the expanse of concrete. A second Ginkgo tree is proposed for the front parking strip for visual balance and further screening

PLANT SCHEDULE

| TREES | SIZE | QTY | Water use | Species |
|---|--------|-----|-----------|------------|
| Arbutus 'Marina' | 24"box | 2 | Low | Non-native |
| Strawberry Tree | 24"box | 1 | Low | Non-native |
| Eriobotrya japonica | 24"box | 2 | Low | Non-native |
| Loquat | 24"box | 1 | Low | Non-native |
| Pistacia chinensis | 24"box | 1 | Low | Non-native |
| Chinese Pistache | 24"box | 1 | Low | Non-native |
| Podocarpus gracilior | 24"box | 1 | Low | Non-native |
| Fern Pine | 24"box | 1 | Low | Non-native |
| SHRUBS | SIZE | QTY | Water use | Species |
| Achillea millefolium 'Paprika' | 1 gal | 10 | Low | Native |
| Red Yarrow | 1 gal | 8 | Moderate | Native |
| Buxus microphylla japonica 'Green Beauty' | 1 gal | 8 | Moderate | Native |
| Boxwood 'G.B' | 5 gal | 6 | Low | Native |
| Deschampsia cespitosa | 5 gal. | 2 | Low | Native |
| Tussock Grass | 5 gal. | 2 | Low | Native |
| Heteromeles arbutifolia | 5 gal. | 8 | Low | Native |
| Toyon | 5 gal. | 8 | Low | Native |
| Rhamnus californica 'Eve Case' | 5 gal. | 8 | Low | Native |
| Dwarf Cali. Coffeeberry | 5 gal. | 8 | Low | Native |
| GROUND COVERS | SIZE | QTY | Water use | Species |
| Arctostaphylos uva-ursi | 1 gal. | 10 | Low | Native |
| Kinnikinnick | 1 gal. | 10 | Low | Native |

NOTE: Majority of species must be native.

LIGHTING_SCHEDULE

| SYMBOL | MODEL/DESCRIPTION | QTY |
|---|-----------------------------------|-----|
|  | FX Luminaire CA - 3LED Path Light | 12 |



PLANTING NOTES

- The contractor shall locate and verify the existence of all utilities prior to starting work.
- The plant material locations are diagrammatic and subject to change in the field as directed by the Landscape Architect.
- All plant material shall conform to the guidelines established by the current American Standard of Nursery Stock, published by The American Association of Nurserymen.
- The plant count is for contractor's convenience. In case of discrepancy, the plan shall govern.
- All trees to be staked plumb unless otherwise noted.
- The landscape contractor shall guarantee all trees for a period of one year and all shrubs for a period of six months. Protect existing trees and shrubs as necessary.
- All planted areas and plant pits shall be free from rocks and debris greater than 2" in diameter.
- Apply a 3" Layer of BROWN Pro-Chip recycled wood mulch over all planted areas. Verify mulch distributor sources w/landscape architect if necessary.
- Trees shall be standard single trunk, not multi-trunked, and a minimum size of 24" Box.

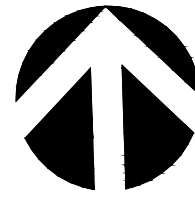
NOTES

- Tree planting- prior to in-ground installation, urban Forestry inspection/approval required for tree stock.Planting conditions and irrigation adequacy. Contact (650) 496-5953
- Planting preparation- tree pit shall be dug at least twice the Diameter of the root ball. Dig soil to at least 30-inches deep, Backfilled with a quality topsoil, and dressing w/ 2-inches of Wood or bark mulch on top of the rootball keeping clear of The trunk by 1-inch.
- Irrigation and tree planting in the right of way requires a street Work permit per cpa public works standards
- All tree protection and inspection schedule measures, design recommendations, watering and construction scheduling shall be implemented in full by owner and contractor, as stated on sheet t-1, in the tree protection report, and the Approved plans.
- Utility trenching shall not occur within the tpz of protected trees. Contractor shall be responsible for ensuring that no trenching occurs within the tpz of the protected trees by contractors, city crews or final landscape workers.
- Pruning restrictions - no pruning or clearance cutting of branches is permitted On city trees. Contractor shall obtain a public tree permit from urban forestry (650-496-5953) for any work on public trees.

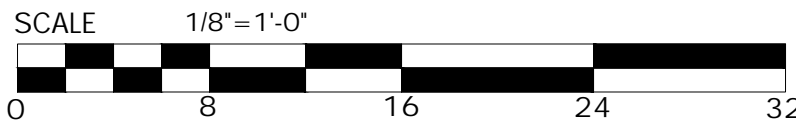
"I have complied with the criteria of the Model Water Efficient Landscape Ordinance and have applied them for the efficient use of water in the landscape design plan"

"I have complied with the criteria of the Model Water Efficient Landscape Ordinance and have applied them for the efficient use of water in the irrigation design plan"

Karen Aitken

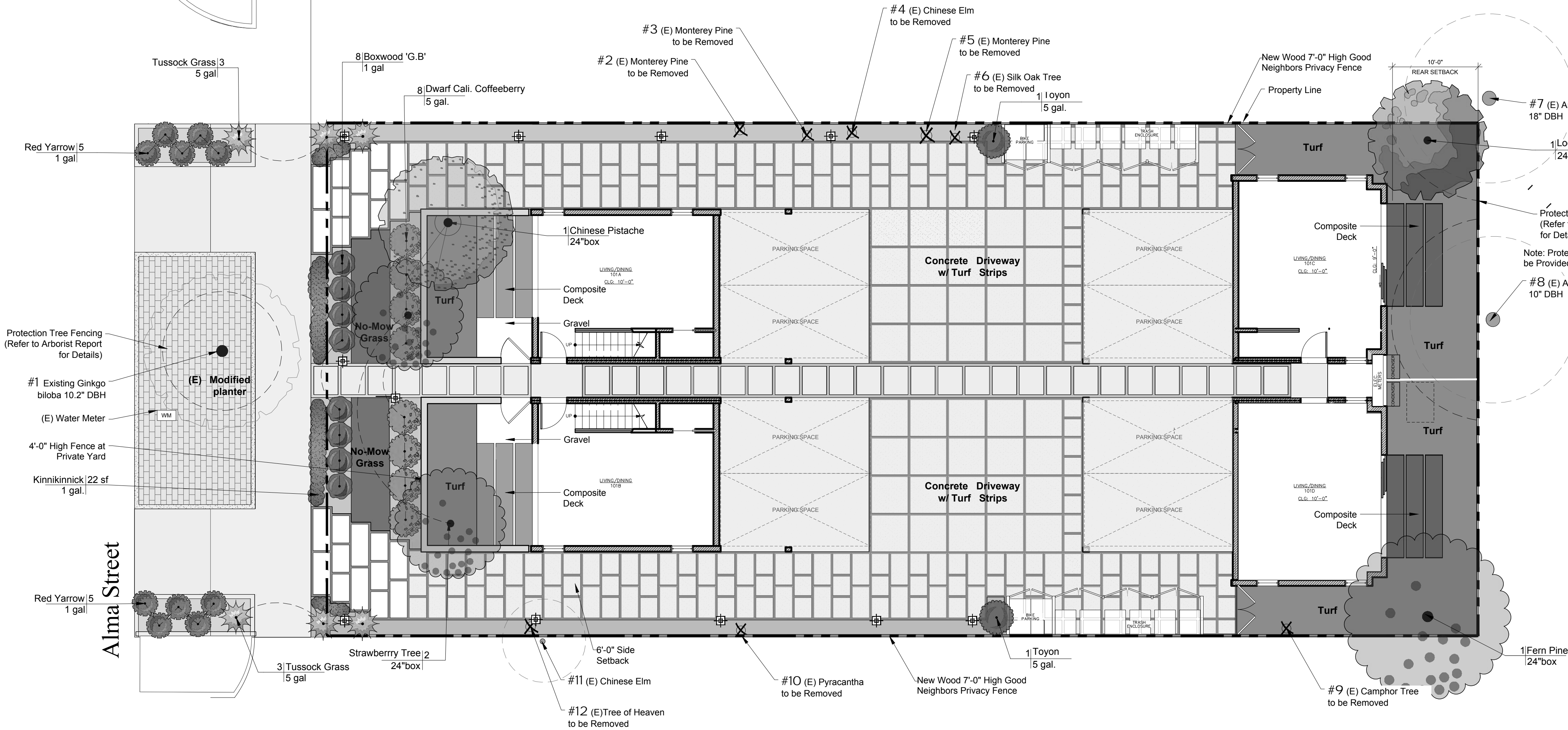


NORTH

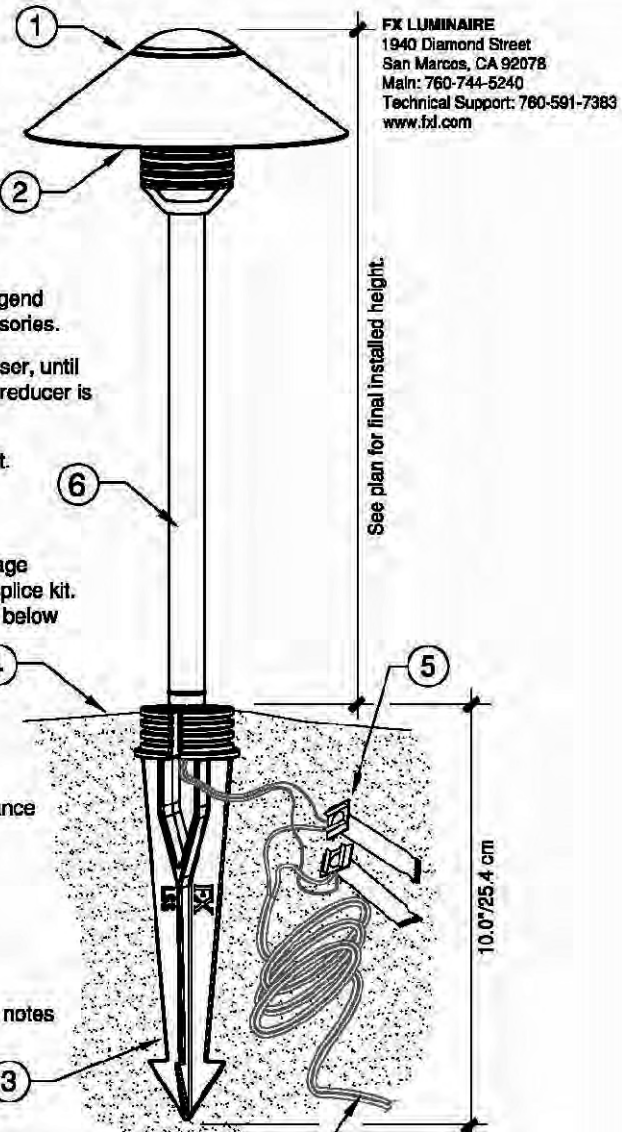


*NOTES (E)= Existing
P.A.= Planting Area

A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas.
Refer to L-3 for Planting Details



FXLuminaire



DETAIL LEGEND

- FX Luminaire CA fixture. See plan legend for wattage, beam spread and accessories.
- Twist top assembly clockwise onto floor, until the gap between the lens and brass reducer is completely sealed.
- FX Luminaire Long Slot Spike mount.
- Finished grade.
- Direct bury, UF/UL, copper, low voltage cable with 3M DBRY-6 direct bury splice kit. Leave 18" minimum wire loop coiled below fixture for service.
- GFA mount, see plan for height.

NOTES

- Installation to be completed in accordance with manufacturer's specifications.
- Accepts 10-15 volts - AC or DC
- See plan legend for LED board and accessories.
- Always refer to FX product installation notes prior to installation.

CA Path Light SPECIFICATIONS

| Output | 1LED | 3LED | 3LEDT | ZDC |
|-----------------------------|----------------|----------------|----------------|----------------------|
| Total Lumens* | 44 | 94 | 74 | 83 |
| Input Voltage | 10 to 15V | 10 to 15V | 10 to 15V | 11 to 15V |
| Input Power (W) | 2.0 | 4.2 | 4.2 | 6.0 |
| VA | 2.4 | 4.5 | 4.5 | 7.2 |
| Efficacy (Lumens/Watt) | 23 | 64 | 21 | 36 |
| Color Rendering Index (CRI) | 80+ | 80+ | -- | 80+ |
| Max Candela | 15 | 30 | 29 | 40 |
| Dimming | PWM, Phase** | PWM, Phase** | PWM, Phase** | -- |
| RGBW Available | No | No | No | Yes |
| Luxor Compatibility | | | | |
| Default | Zoning | Zoning | -- | -- |
| ZD Option | Zoning/Dimming | Zoning/Dimming | Zoning/Dimming | -- |
| ZDC Option | -- | ++ | ++ | Zoning/Dimming/Color |
| Minimum Rated Life (L70) | 50,000 Hrs | 50,000 Hrs | 50,000 Hrs | 50,000Hrs |

** For optimal performance, use a trailing-edge, phase-cut dimmer.
* Measured using the 3,000K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |
| | |

AITKEN ASSOCIATES
LANDSCAPE ARCHITECTS

8262 Rancho Real Gilroy, CA 95020
Calif. Reg. #2239 (408) 842-0245
karen@kaa.design

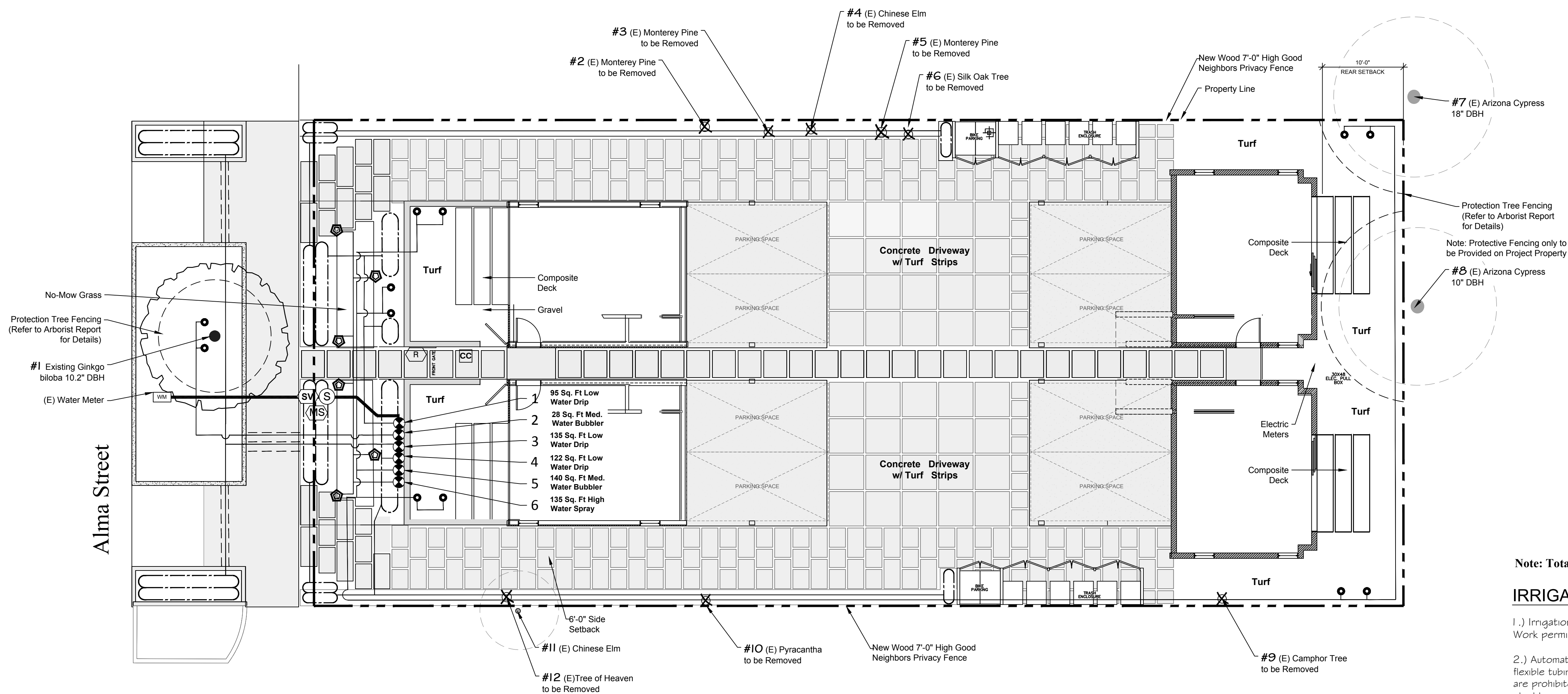
GEMINI - PALO ALTO
2609 - 2617 Alma Street, Palo Alto, CA.

PLANTING & LIGHTING PLAN



| | |
|-------|------------------|
| DATE | 08-13-2021 |
| SCALE | 1/8"= 1'-0" |
| DRAWN | SL & AD |
| JOB | GEMINI-PALO ALTO |

L-1

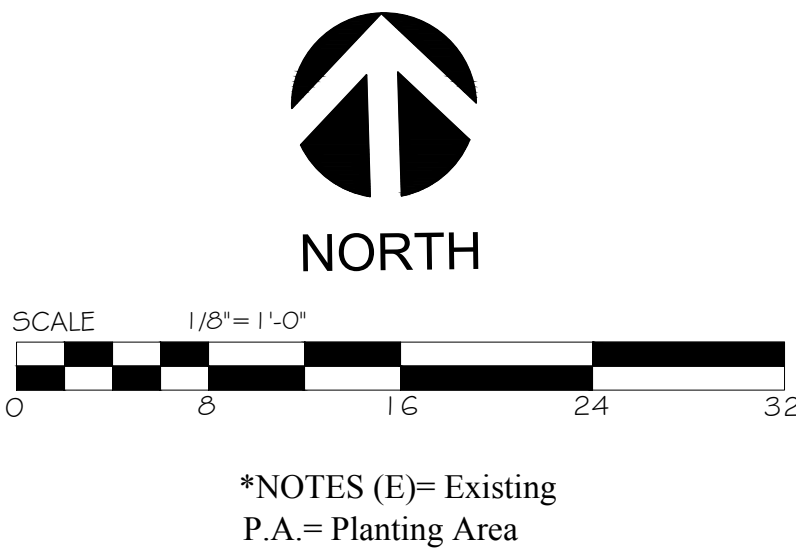


| IRRIGATION_LEGEND | | |
|--|--------------------|-----|
| SYMBOL | MANUFACTURER/MODEL | QTY |
| 1300 Series Bubblers: | | |
| -1 Bubbler per 15 Gallon Tree | | |
| -2 Bubbler per 24" Box Tree | | |
| -3 Bubbler per 36" Box Tree | | |
| Area to Receive Dripline | | |
| Rain Bird FS-06-12 | | |
| Rainbird 1800 series 6" Spray Head | | |
| w Rainbird alve PEB | | |
| SYMBOL | MANUFACTURER/MODEL | QTY |
| Rain Bird DF (DRIP) | | |
| Rain Bird ESP-SMTE with () ESP-SM6 | | |
| Master Shutoff alve behind P.O.C | | |
| Irrigation Lateral Line: PC Schedle 0 | | |
| Irrigation Mainline: PC Schedle 0 | | |
| Rainbird RSD Series Rain Sht Off | | |
| Rainbird SMRT-Y Soil Moistre Sensor | | |
| Rainbird Flow Sensor FS-200-P | | |
| Note: Provide a clear, unobstructed distance of at least 10xs the pipe's diameter pstream of the sensor and at least xs the pipe's diameter downstream of the sensor | | |
| HYDROZONE NUMBER | | |
| WATER USE AND TYPE | | |
| 1 LOW WATER DRIP | | |

Note: Total irrigated Landscape Area = 684 Sq.Ft.

IRRIGATION NOTES

- 1.) Irrigation and tree planting in the right of way requires a street Work permit per CPA public works standards
- 2.) Automatic irrigation shall be provided for each tree. Two bubbler heads mounted on flexible tubing placed at the edge of the root ball. Bubblers mounted inside an aeration tube are prohibited. the tree irrigation system shall be connected to a separate Valve from other shrubbery and ground cover, pursuant to the city's Landscape water efficiency standards.



Refer to L-3 for Water Calculation & Irrigation Details

AITKEN ASSOCIATES
LANDSCAPE ARCHITECTS

8262 Rancho Real Gilroy, CA 95020
Calif. Reg. #2239 (408) 842-0245
karen@kaa.design

GEMINI - PALO ALTO

2609 - 2617 Alma Street, Palo Alto, CA.

IRRIGATION PLAN

LICENSED LANDSCAPE ARCHITECT

KAREN JONES AITKEN

No. 2239

Exp. 8-31-23

STATE OF CALIFORNIA

DATE

08-13-2021

SCALE

1/8" = 1'-0"

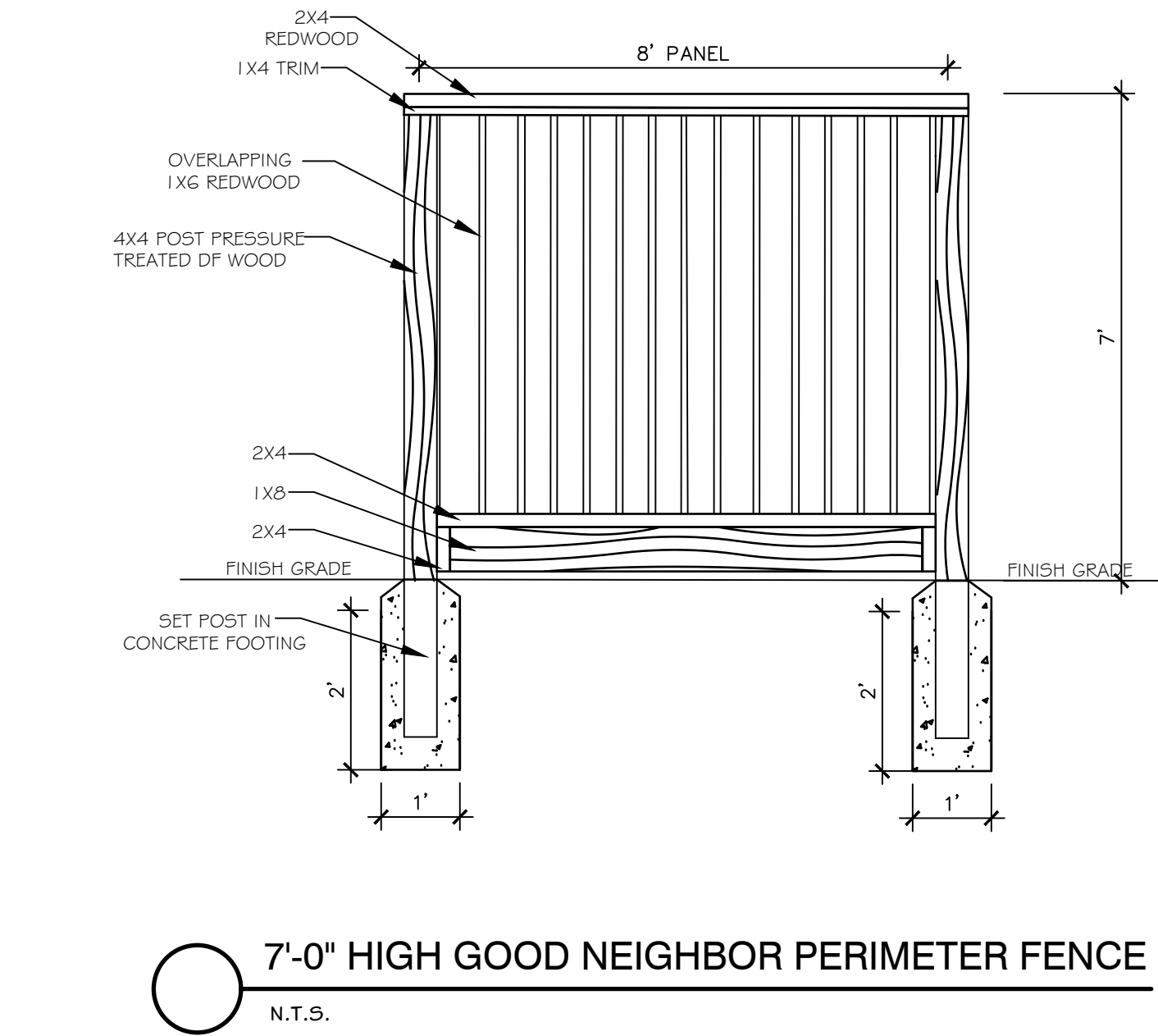
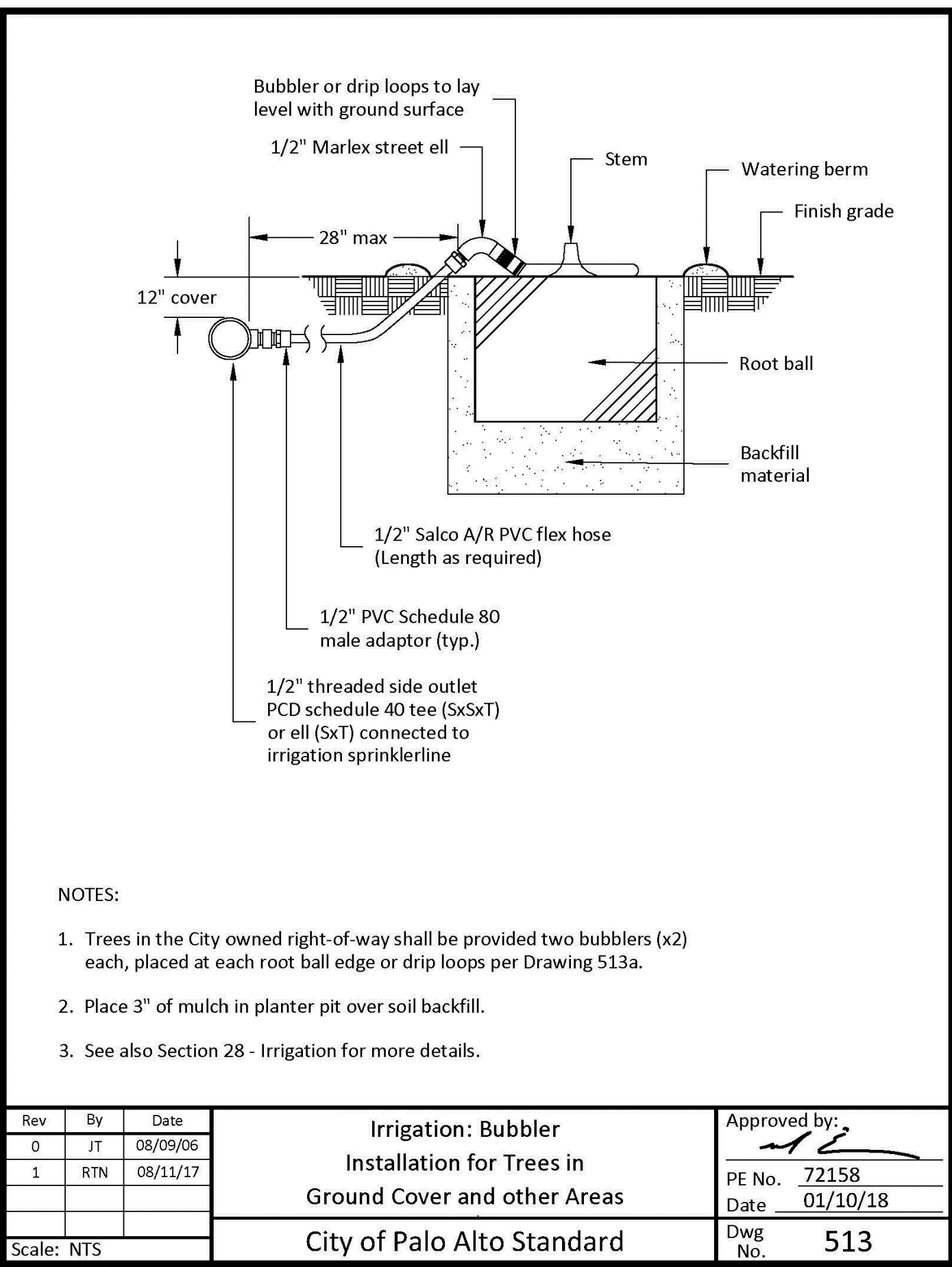
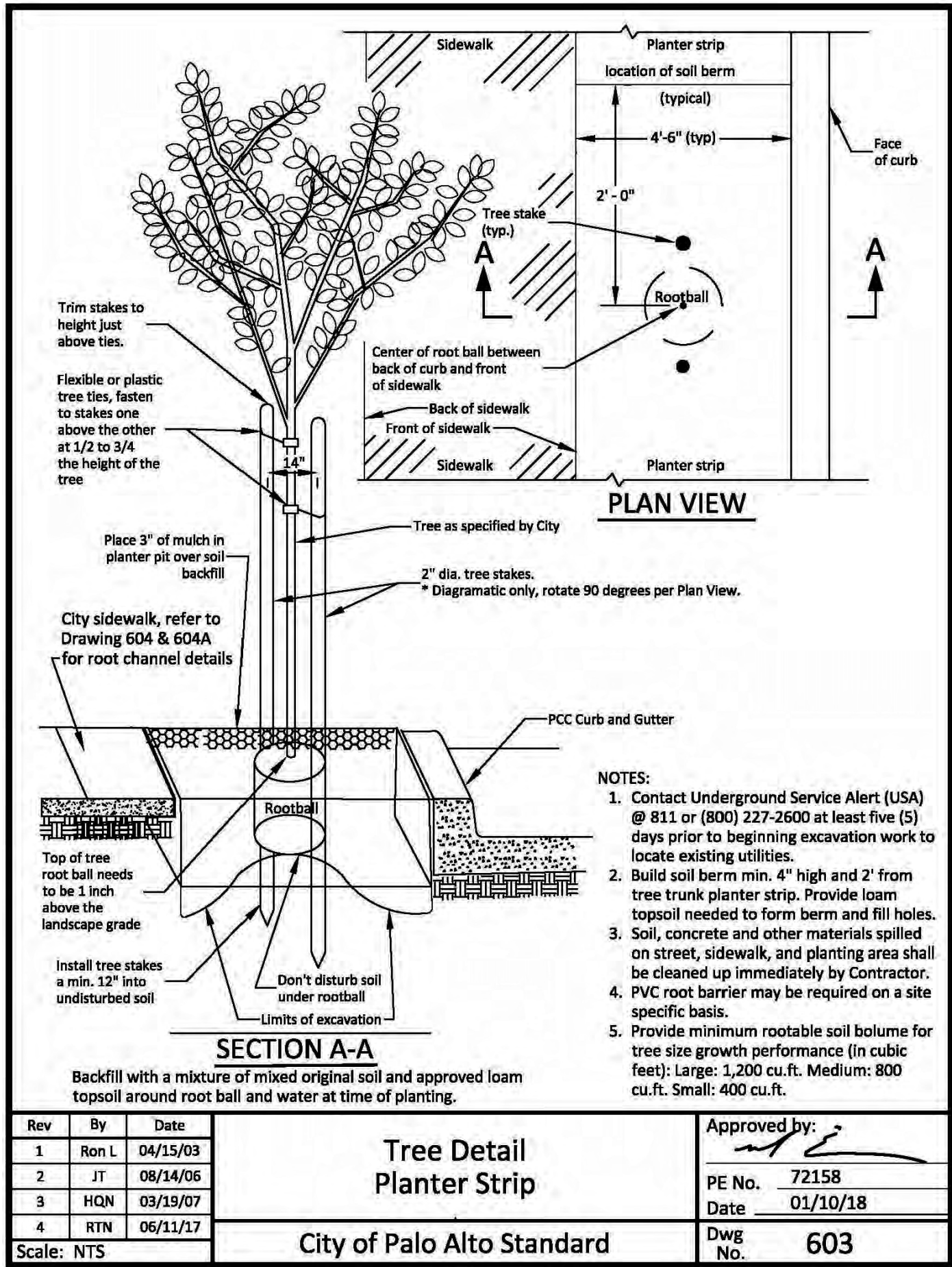
DRAWN

AD

JOB

GEMINI-PALO ALTO

L-2



MAWA EPPT and ETWU Calculations

Project Name: Gemini- Palo Alto
 Project Location: 2609-2617 Alma St. Palo Alto
 Total Landscape Area: 658.0 sq. ft.
 Date: 8/13/2021

MAWA CALCULATION

MAWA = (Eto)(.62)/[(0.55xLA) + (1-ETAF x SLA)]

MAWA = Maximum Applied Water Allowance (gallons per year)
 Eto = Reference Evapotranspiration (inches per year)
 .62 = Conversion Factor (to gallons)
 0.55 = Et Adjustment Factor (ETAF)
 LA = Landscape Area including SLA (square feet)
 .45 = Additional Water Allowance for SLA
 SLA = Special Landscape Area (square feet)

| | |
|------------|---|
| Eto = | 43 |
| Conversion | 0.62 |
| ETAF = | 0.55 |
| LA = | 658 |
| SLA = | 0 |
| MAWA = | 9,648.3 gallons per year 1,289.9 cubic feet per year |

MAWA with EPPT

MAWA = (Eto-Eppt)(.62)/[(0.55xLA) + (1-ETAF x SLA)]

Eppt= 25% of Annual precipitation

| | |
|----------------|--|
| Eto = | 43 |
| Eppt= | 7.7 |
| ETAF= | 0.55 |
| LA = | 658 |
| SLA = | 0 |
| MAWA w/ EPPT = | 7,942.4 gallons per year 1,061.8 cubic feet |

ETWU CALCULATION

ETWU = (Eto)(.62)/(PF/IE)(LA)

ETWU = Estimated Total Water Use Per Year (gallons)
 Eto = Reference Evapotranspiration
 PF = Plant Factor from WUCOLS (Region 2, Water Use: H 0.7 - 0.9, M 0.4 - 0.6, L 0.1 - 0.3, VL < 0.1, All Turf 0.8)
 LA = Landscape Area (High, Medium, and low water use areas)(square feet)
 SLA = Special Landscape Area
 .62 = Conversion Factor
 IE = Irrigation Efficiency (drip spray and bubblers .81, sub surface .81, spray sprinklers .75)
 ET Adjustment Factor (ETAF), .55 for Residential and .45 for Non Residential

| Reference Evapotranspiration (Eto) | 43 | Palo Alto, Ca. | | | | |
|------------------------------------|-------------------|-------------------|----------------------------|--------------|--------------------------|-------------|
| REGULAR LANDSCAPE AREAS | | | | | | |
| Hydrozone #/ Plant Description | Irrigation Method | Plant Factor (PF) | Irrigation Efficiency (IE) | ETAF (PF/IE) | Landscape Area (sq. ft.) | ETAF x Area |
| 1.) Low Water Use Shrubs | Drip | 0.2 | 0.81 | 0.24691358 | 107.0 | 26.4 |
| 2.) Med. Water Use Trees | Bubblers | 0.4 | 0.81 | 0.49382716 | 28.0 | 13.8 |
| 3.) Low Water Use Shrubs | Drip | 0.3 | 0.81 | 0.358024691 | 102.0 | 36.5 |
| 4.) Low Water Use Shrubs | Drip | 0.3 | 0.81 | 0.37037037 | 146.0 | 54.1 |
| 5.) Med. Water Use Trees | Bubblers | 0.4 | 0.81 | 0.49382716 | 140.0 | 69.1 |
| 6.) High Water Use/ Lawn | Spray | 0.8 | 0.75 | 1.066666667 | 135.0 | 144.0 |
| | | | | | Total sf ft. | Totals |
| | | | | | 658.0 | 344.0 |
| | | | | | | ETWU |
| | | | | | | 9,170.4 |

| SPECIAL LANDSCAPE AREAS | | | | | | |
|--------------------------------|-------------------|-------------------|----------------------------|--------------|--------------------------|-------------|
| Hydrozone #/ Plant Description | Irrigation Method | Plant Factor (PF) | Irrigation Efficiency (IE) | ETAF (PF/IE) | Landscape Area (sq. ft.) | ETAF x Area |
| | | | | 1 | 0 | 0 |
| | | | | | Totals | Totals |
| | | | | | 0 | 0.0 |
| | | | | | | ETWU TOTAL |
| | | | | | | 9,170.4 |
| | | | | | | MAWA |
| | | | | | | 9,648.3 |

ETAF CALCULATIONS

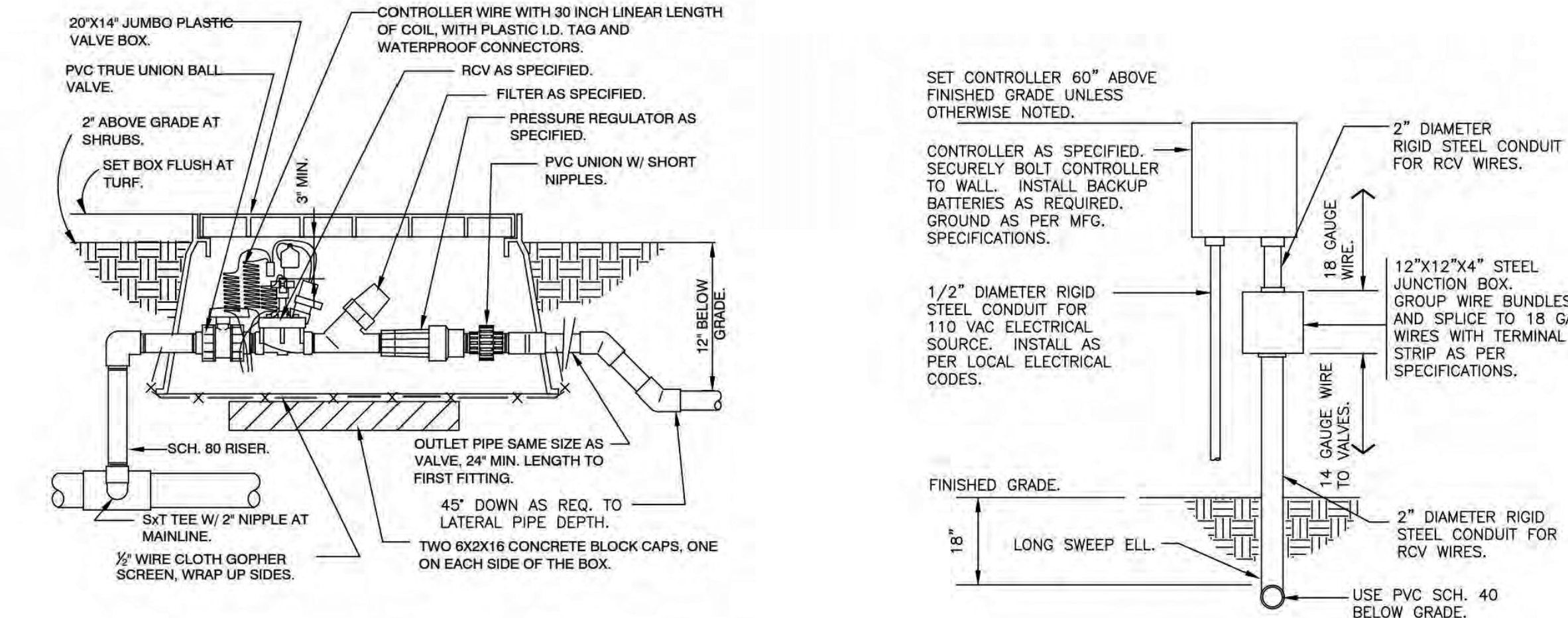
Regular Landscape Areas

| | |
|-------------------|-------|
| Total ETAF x Area | 344.0 |
| Total Area | 658.0 |
| Average ETAF | 0.5 |

Special Landscape Areas

| | |
|-------------------|-------|
| Total ETAF x Area | 344.0 |
| Total Area | 658.0 |
| Sitewide ETAF | 0.5 |

Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non residential areas.



1" DRIP VALVE/FILTER/REGULATOR

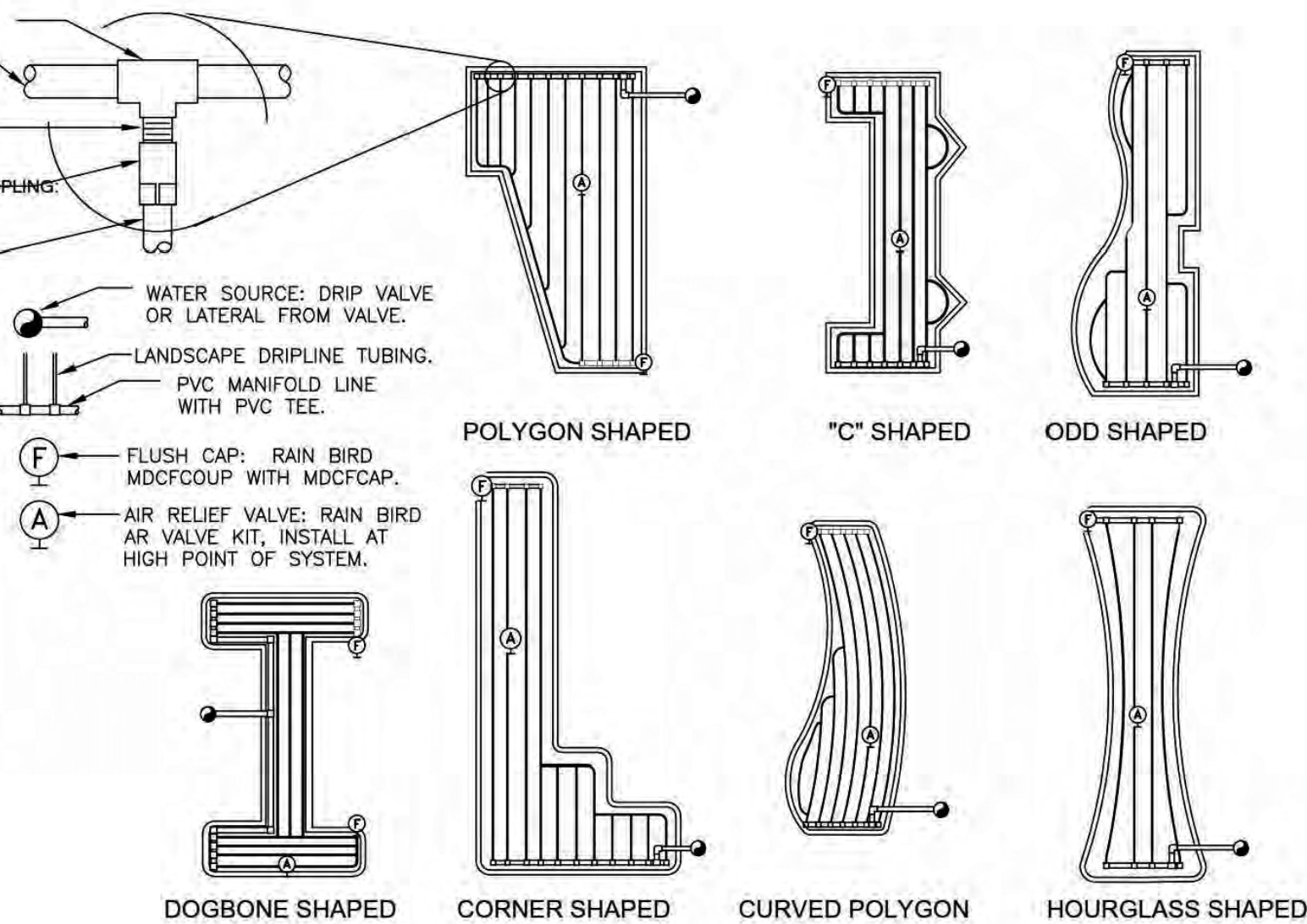
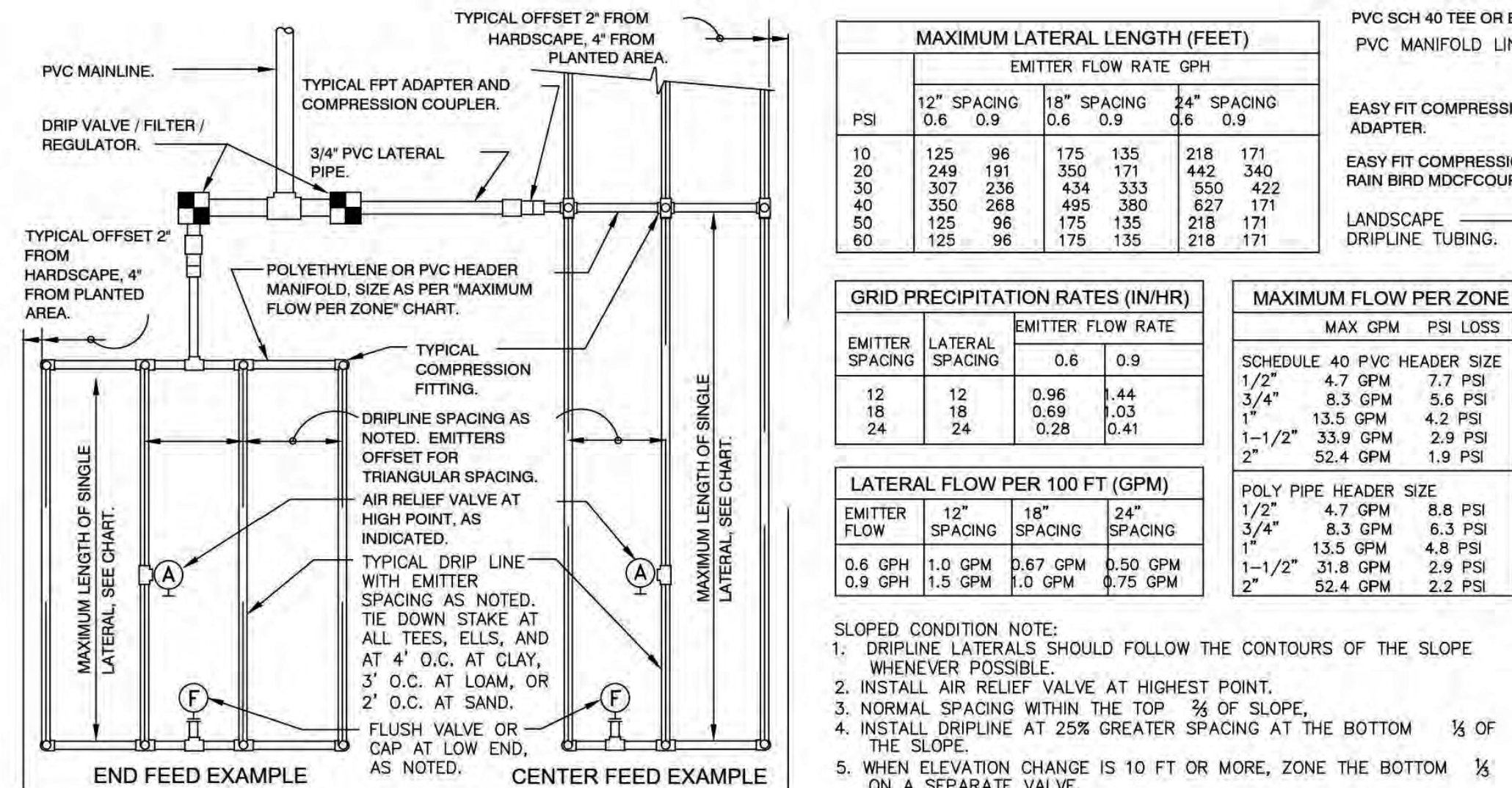
FX-IR-FX-DRIP-12

WALL MOUNT CONTROLLER

FX-IR-FX-CONT-08

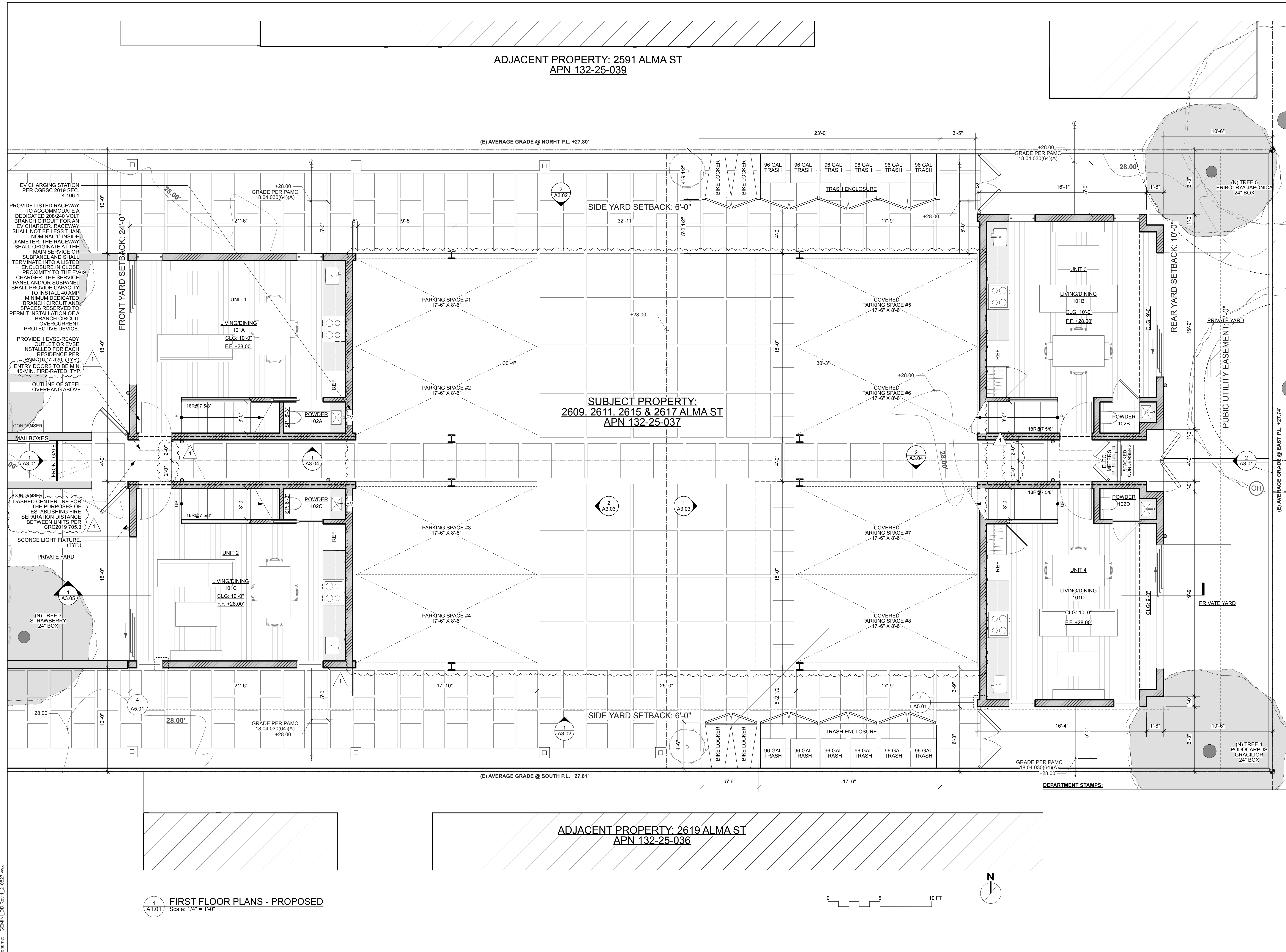
FLOW SENSOR ASSEMBLY

FX-IR-FX-FLOW-01

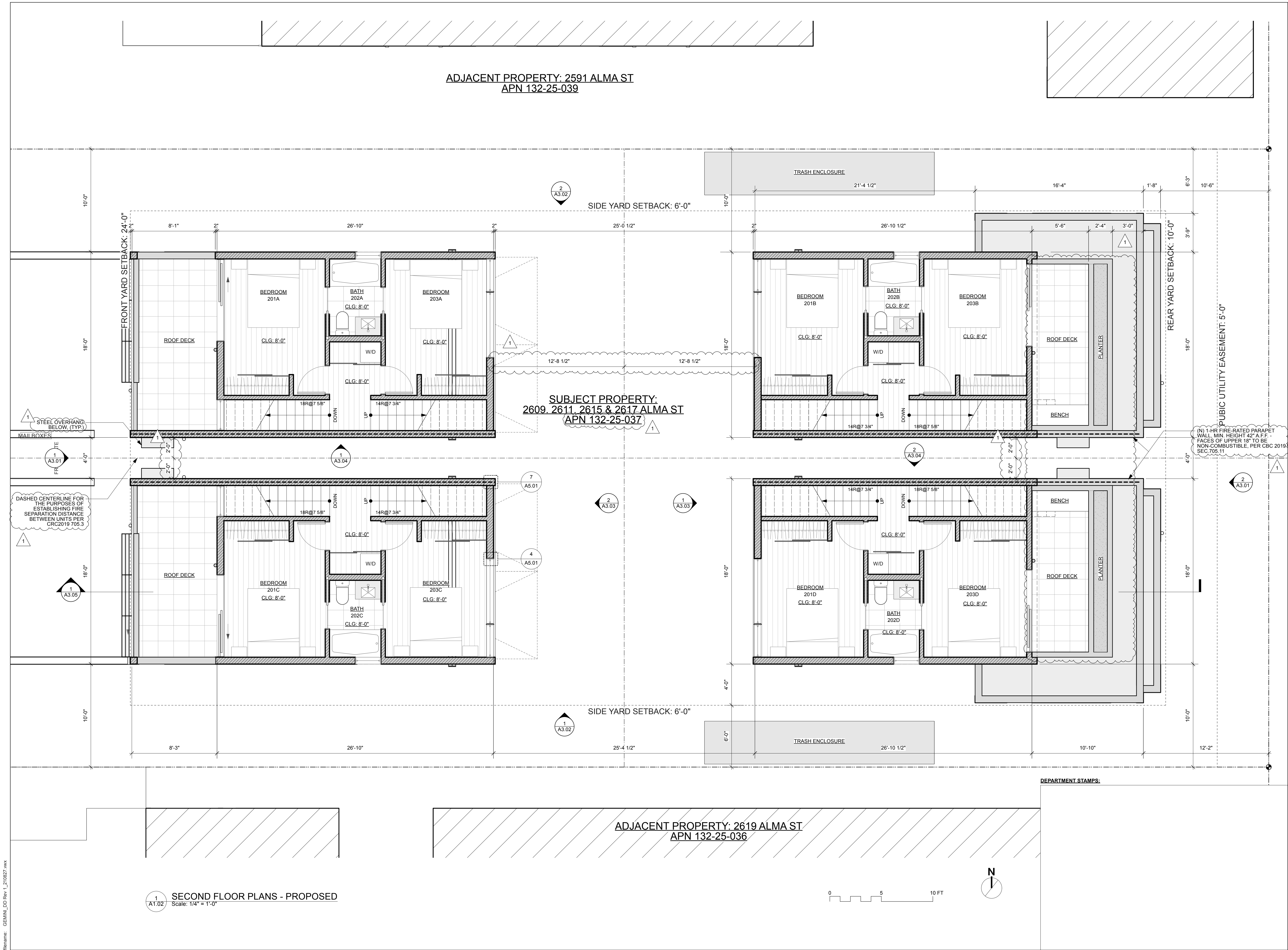


FX-IR-RB-DRIP-25

1ST FLR PLANS - PROPOSED



filename: GEMINI_DD Rev 1_210827.wrk



GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 850
Burlingame, CA 94010

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
| 06.07.21 | Major AR Submittal | rm |
| 08.31.21 | Major AR - Rev.1 | rm |

2ND FLR PLANS - PROPOSED

A1.02



2609, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

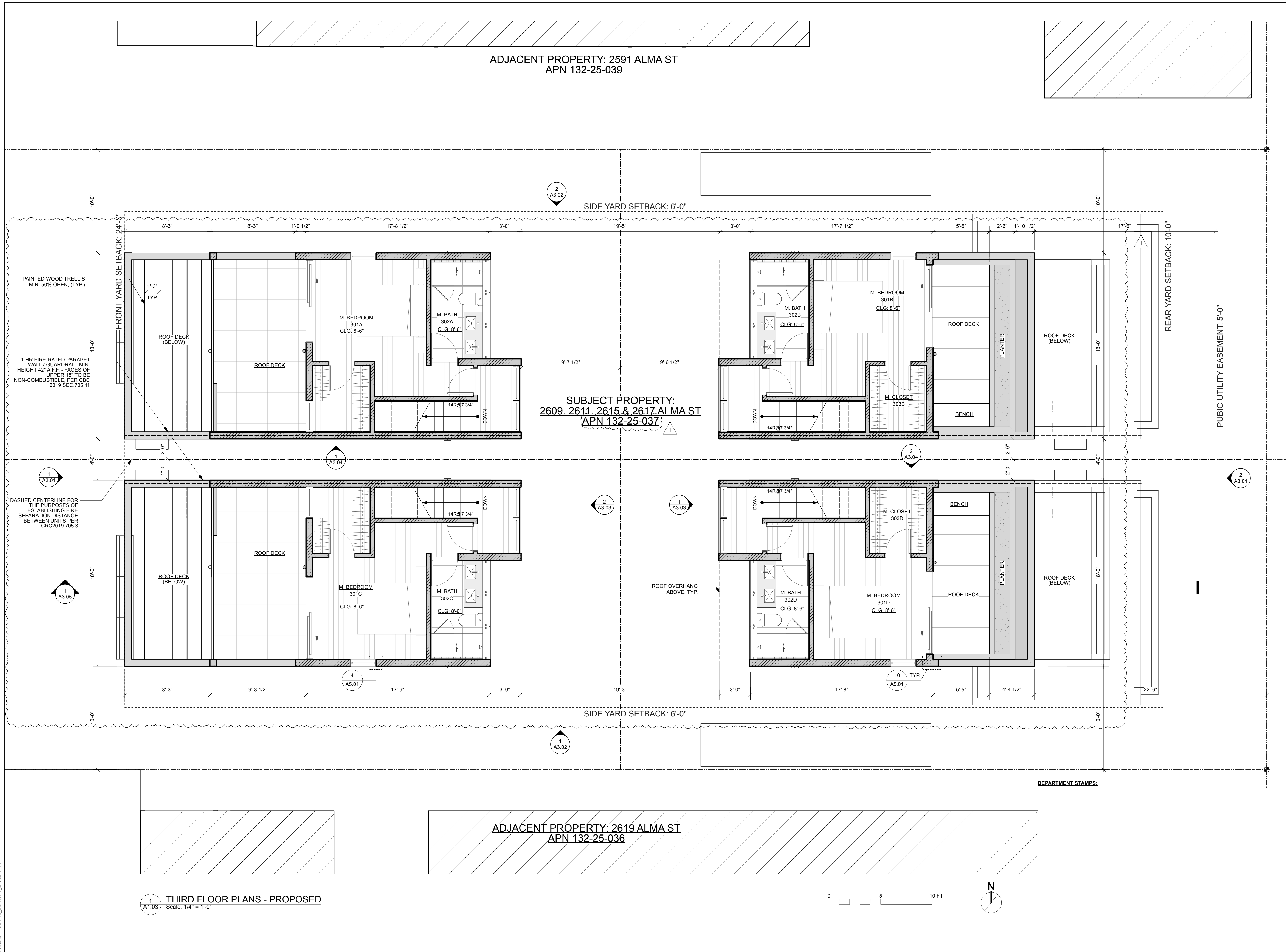
15, & 2617 Alma St.
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 950
Burlingame, CA 94010

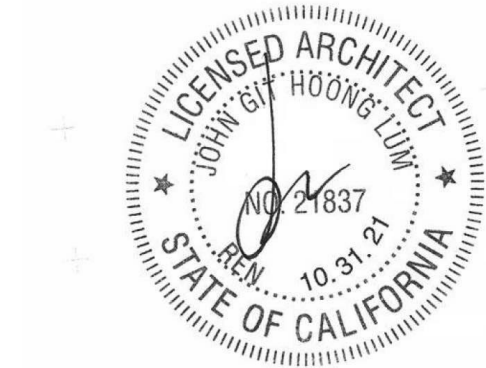
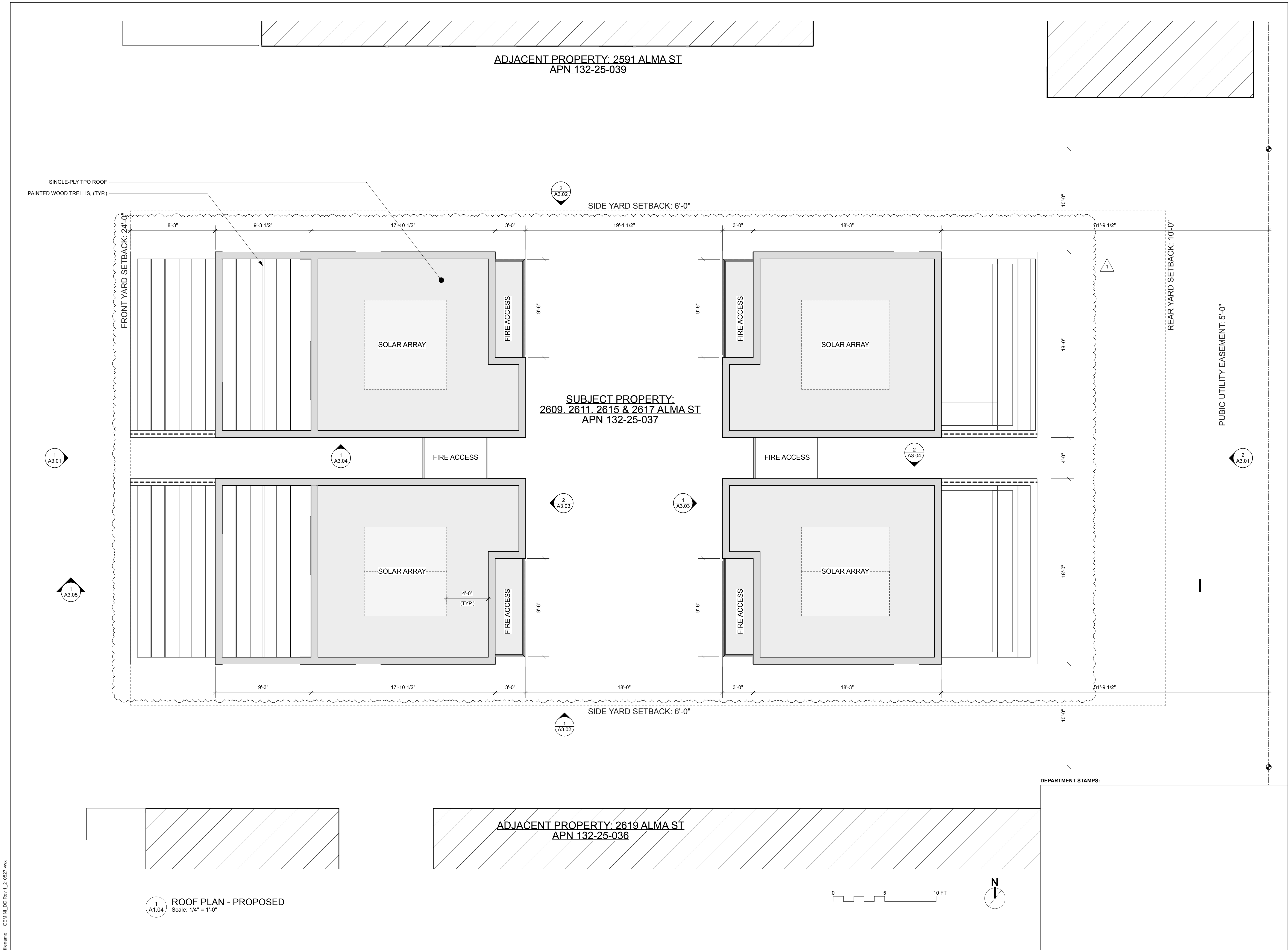
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3RD FLR PLANS - PROPOSED

A1.03



filename: GEMINI_DD Rev 1_210827.wvx



GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 850
Burlingame, CA 94010

| date | issues / revisions | by |
|----------|--------------------------|----|
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| 08.31.21 | Major AR - Rev.1 | rm |

ROOF PLANS

A1.04

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554

filename: GEMINI_DD Rev 1_210827.wvx



1
A3.01
EXTERIOR ELEVATION - WEST - UNITS 1 & 2
Scale: 1/4" = 1'-0"



2
A3.01
EXTERIOR ELEVATION - EAST - UNITS 3 & 4
Scale: 1/4" = 1'-0"

DEPARTMENT STAMPS:

| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
| 06.07.21 | Major AR Submittal | rm |
| 08.31.21 | Major AR - Rev.1 | rm |

EXTERIOR ELEVATIONS

A3.01

GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St
Palo Alto, CA 94306

client:

Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 850
Burlingame, CA 94010



JOHN LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.0554



GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

Client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 950
Burlingame, CA 94010

| date | issues / revisions | by |
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| 08.31.21 | Major AR - Rev.1 | rm |

EXTERIOR ELEVATIONS

A3.02



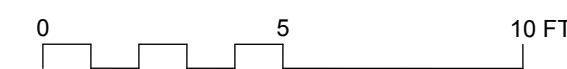
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Scale: 1/4" = 1'-0"



2
A3.03 EXTERIOR ELEVATION - EAST - UNITS 1 & 2
Scale: 1/4" = 1'-0"



LUM



GEMINI - PALO ALTO HOUSING

2608, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

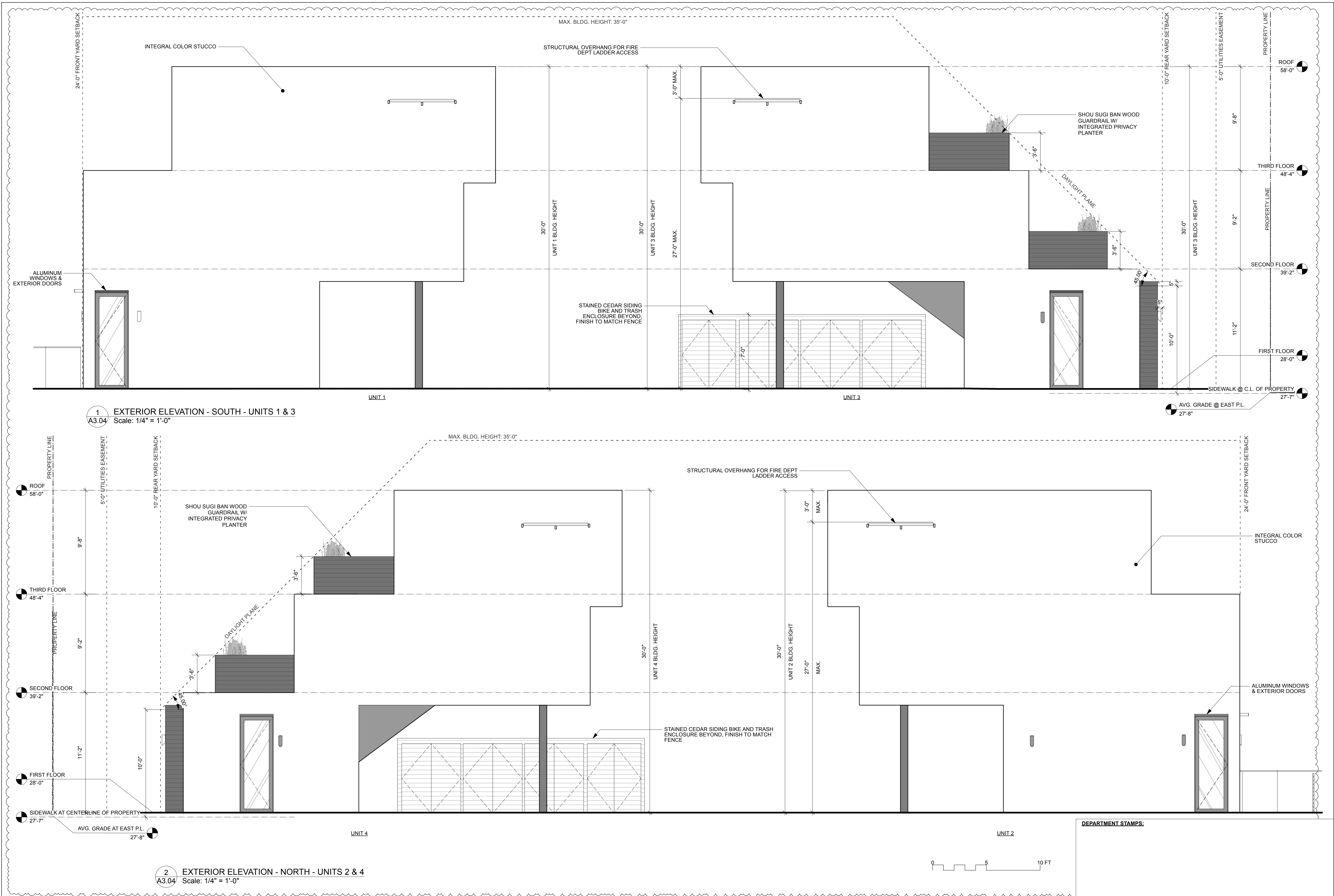
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1350 Bayshore Highway, Suite 850
Burlingame, CA 94010

| date | issues / revisions | by |
|----------|--------------------------|----|
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| 08.31.21 | Major AR - Rev.1 | rm |

EXTERIOR ELEVATIONS

A3.03

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GEMINI - PALO ALTO HOUSING

| date | issues / revisions | by |
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| 08.31.21 | Major AR - Rev.1 | rm |



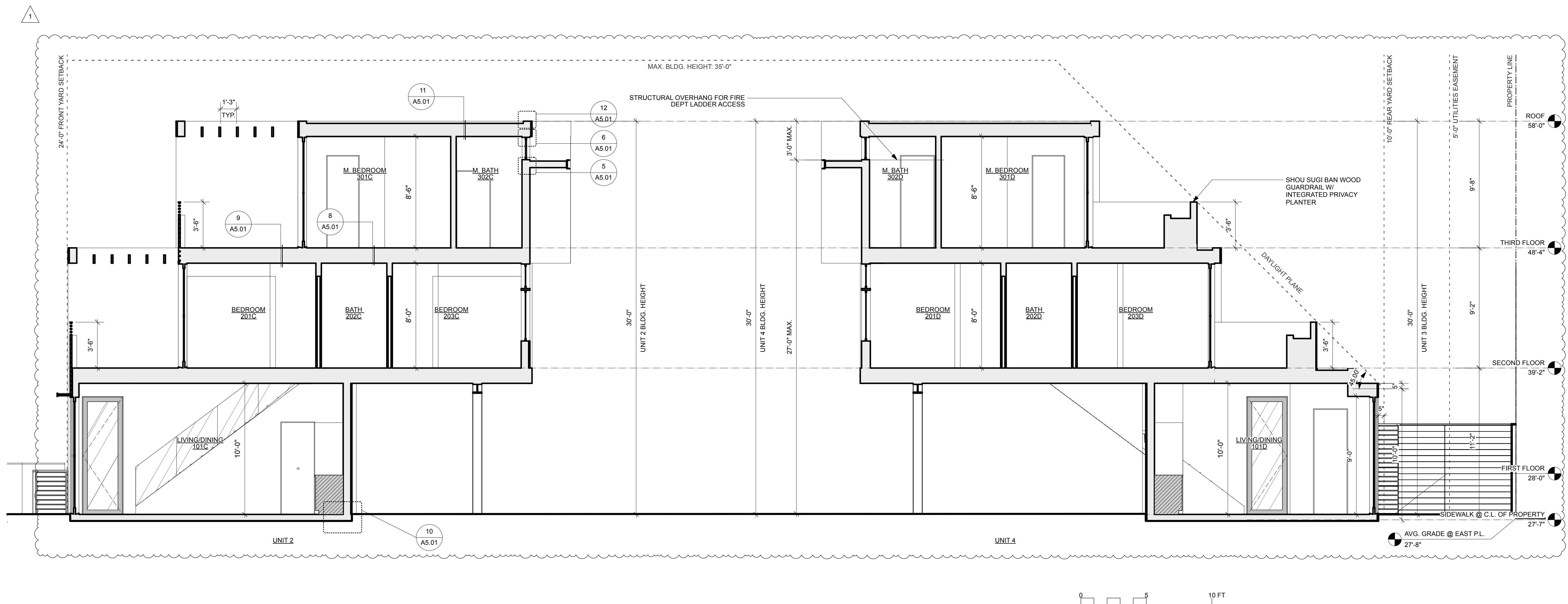
LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET, SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554

client: Gemini Development One Palo Alto LLC
1350 Bayside Highway, Suite 850
Burlingame, CA 94010

EXTERIOR ELEVATIONS

A3.04



1 EXTERIOR ELEVATION - SOUTH - UNITS 2 & 4
A3.05 Scale: 1/4" = 1'-0"

DEPARTMENT STAMPS:

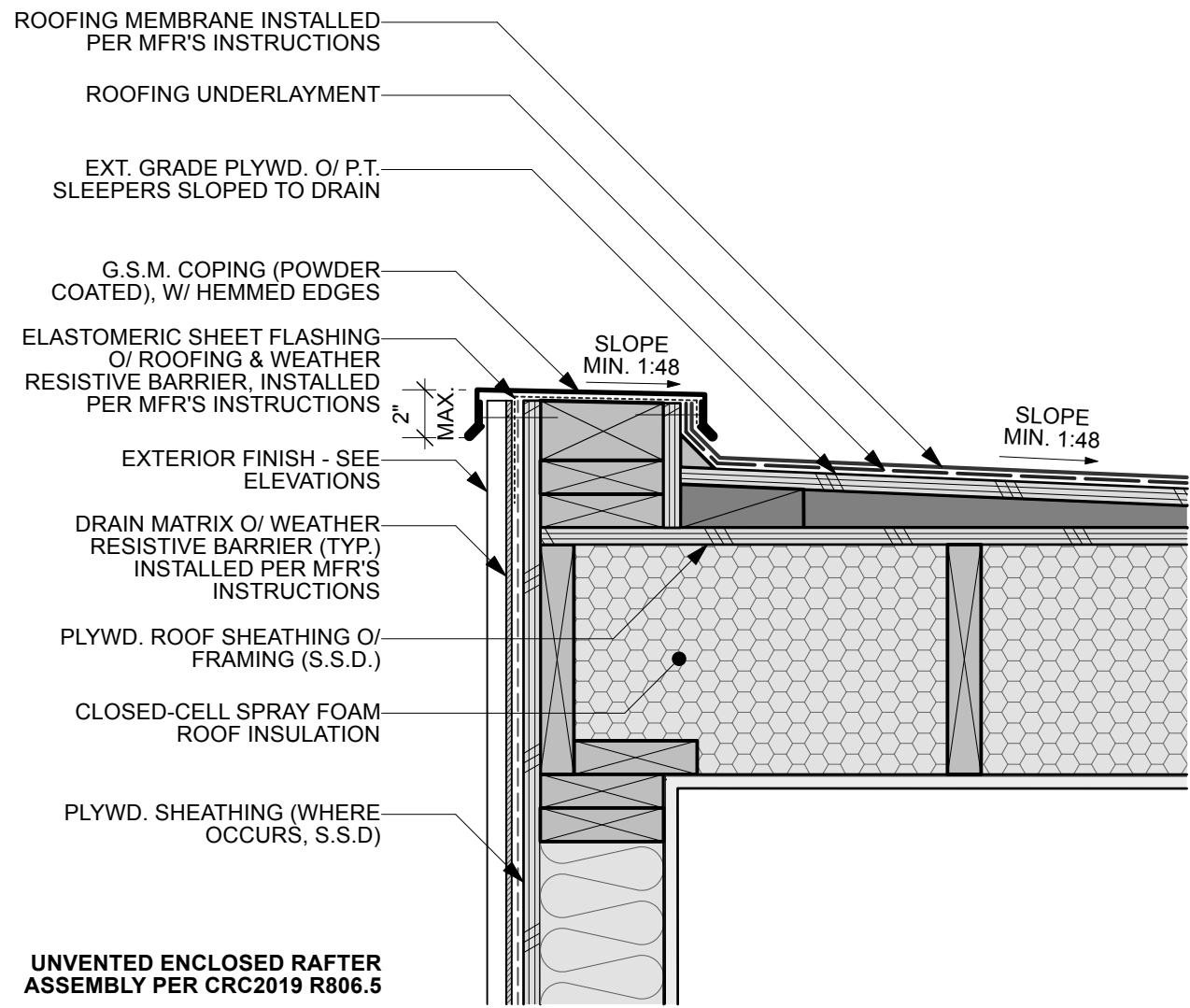
2609, 2611, 2615, & 2617 Alma St.
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 950
Burlingame, CA 94010

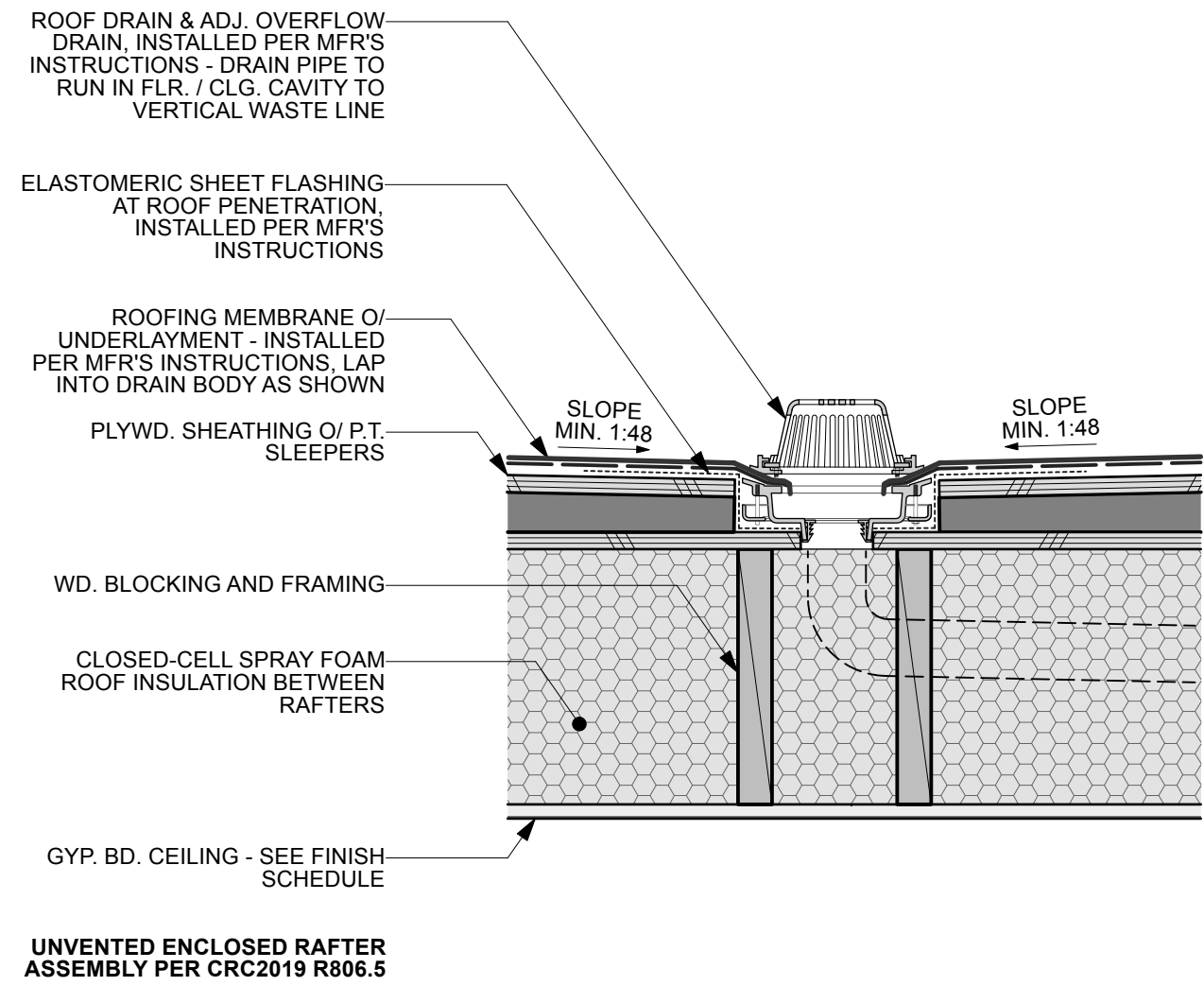
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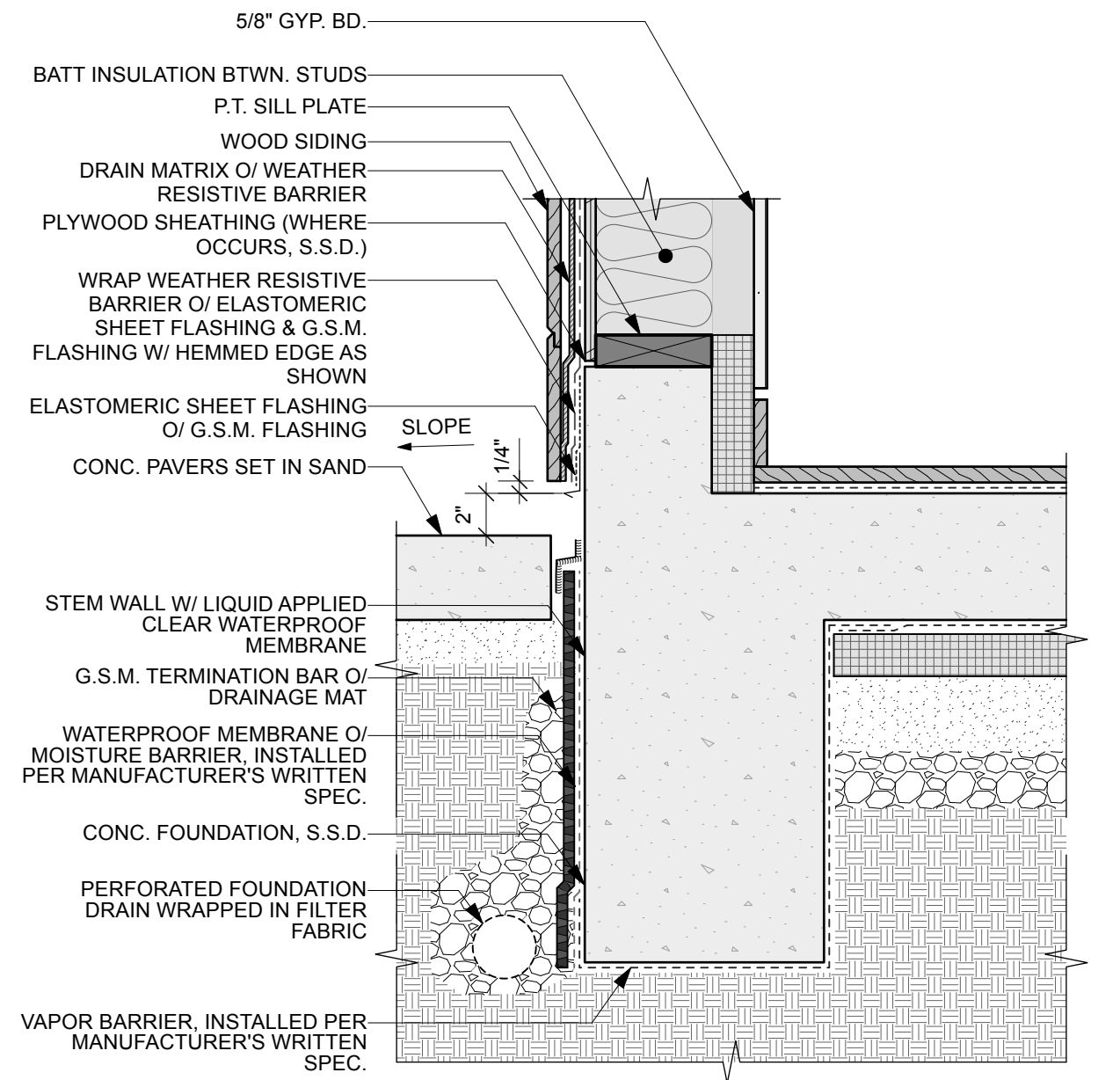
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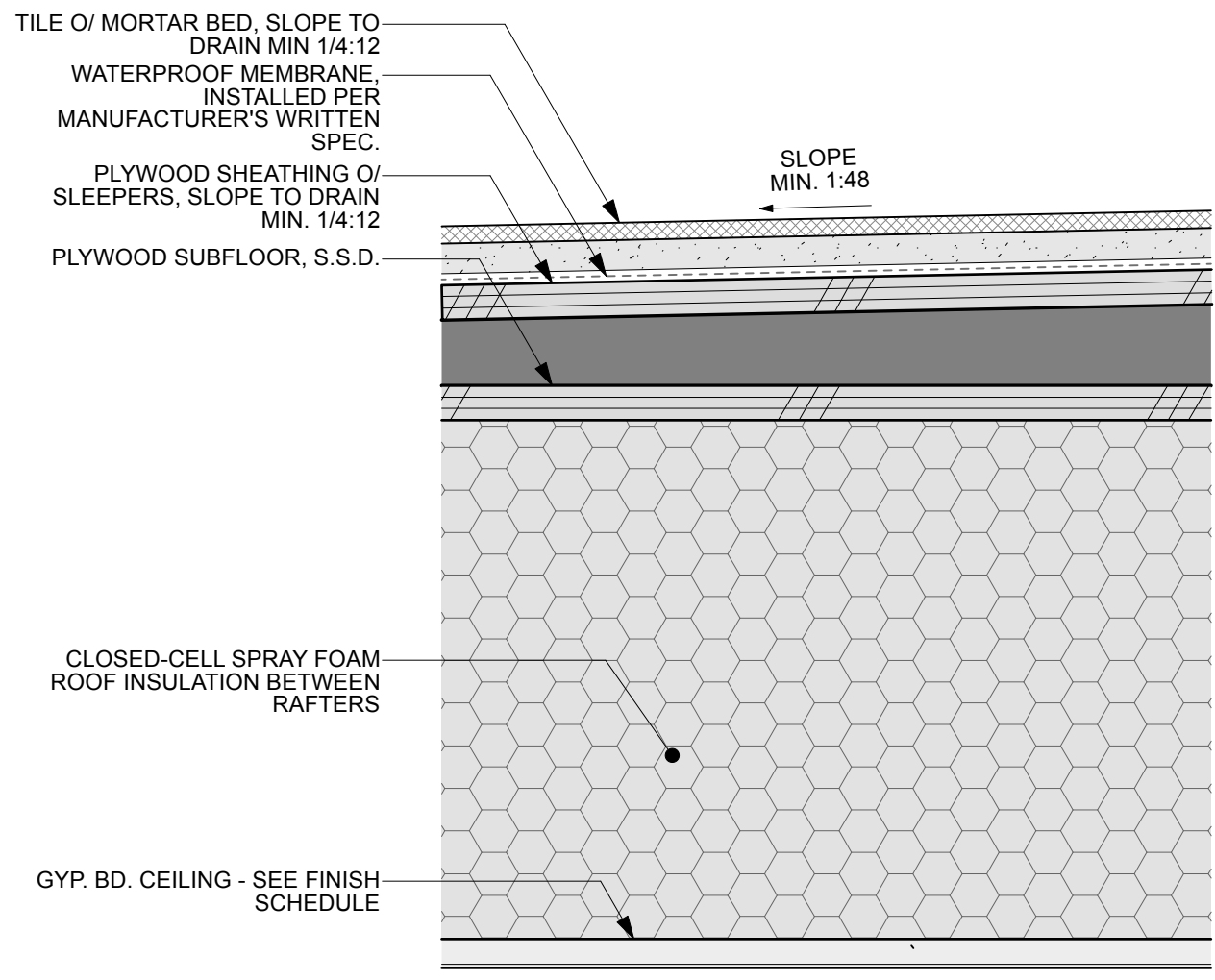
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A5.01 TYP. SECTION DTL. @ FLAT ROOF AT CURB
Scale: 1 1/2" = 1'-0"



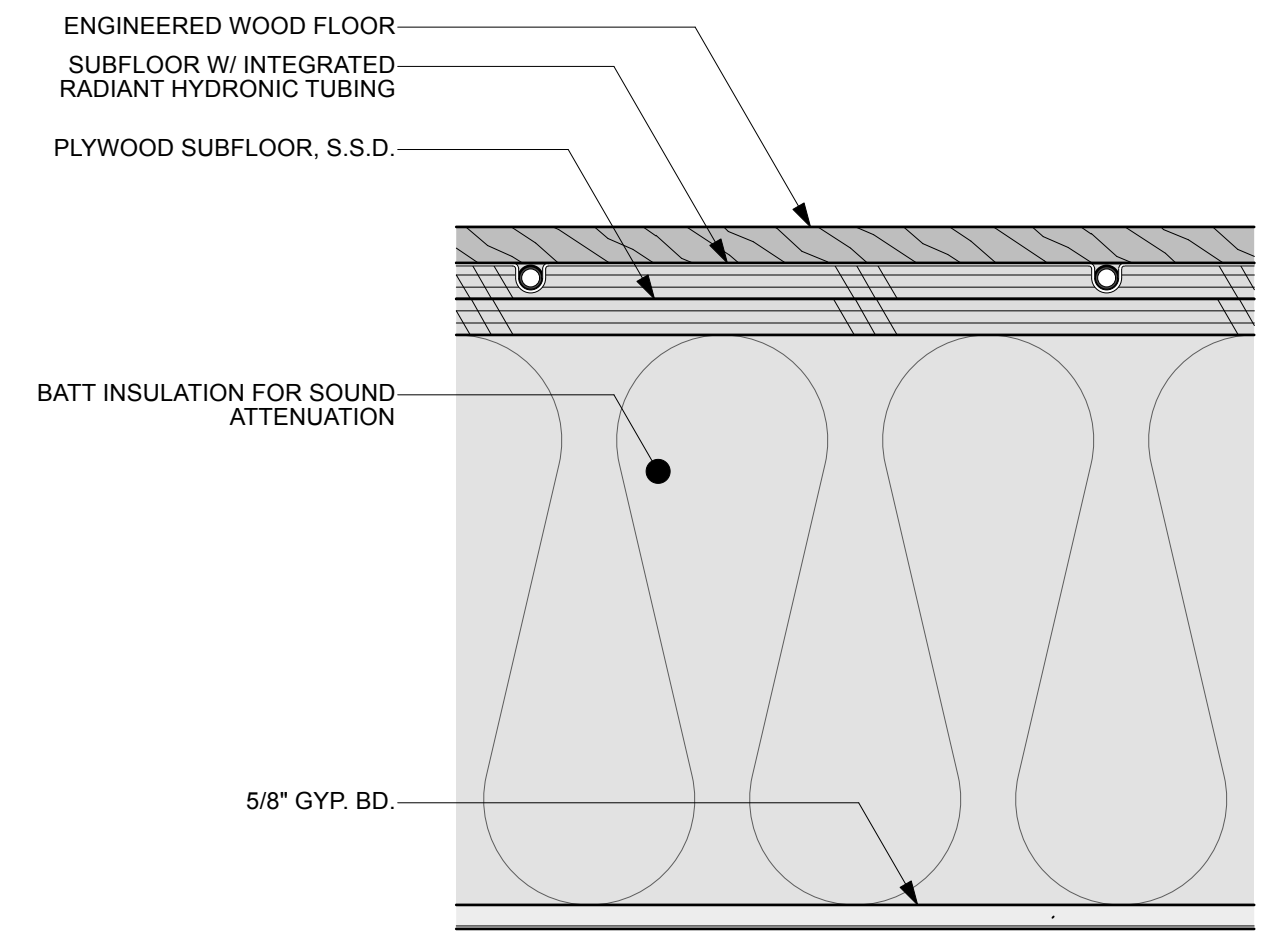
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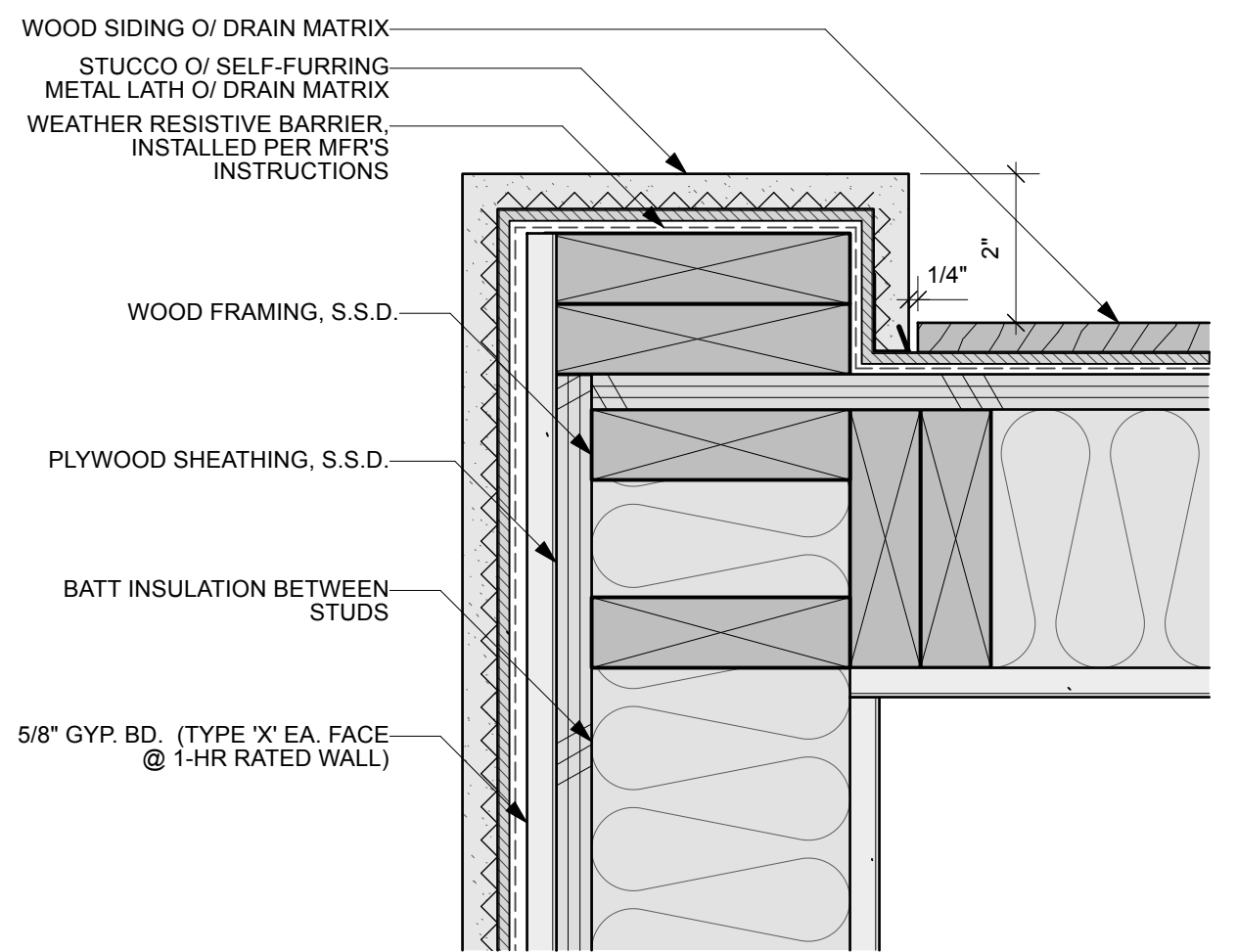
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A5.01 TYP. SECTION DTL. @ FOUNDATION
Scale: 1 1/2" = 1'-0"



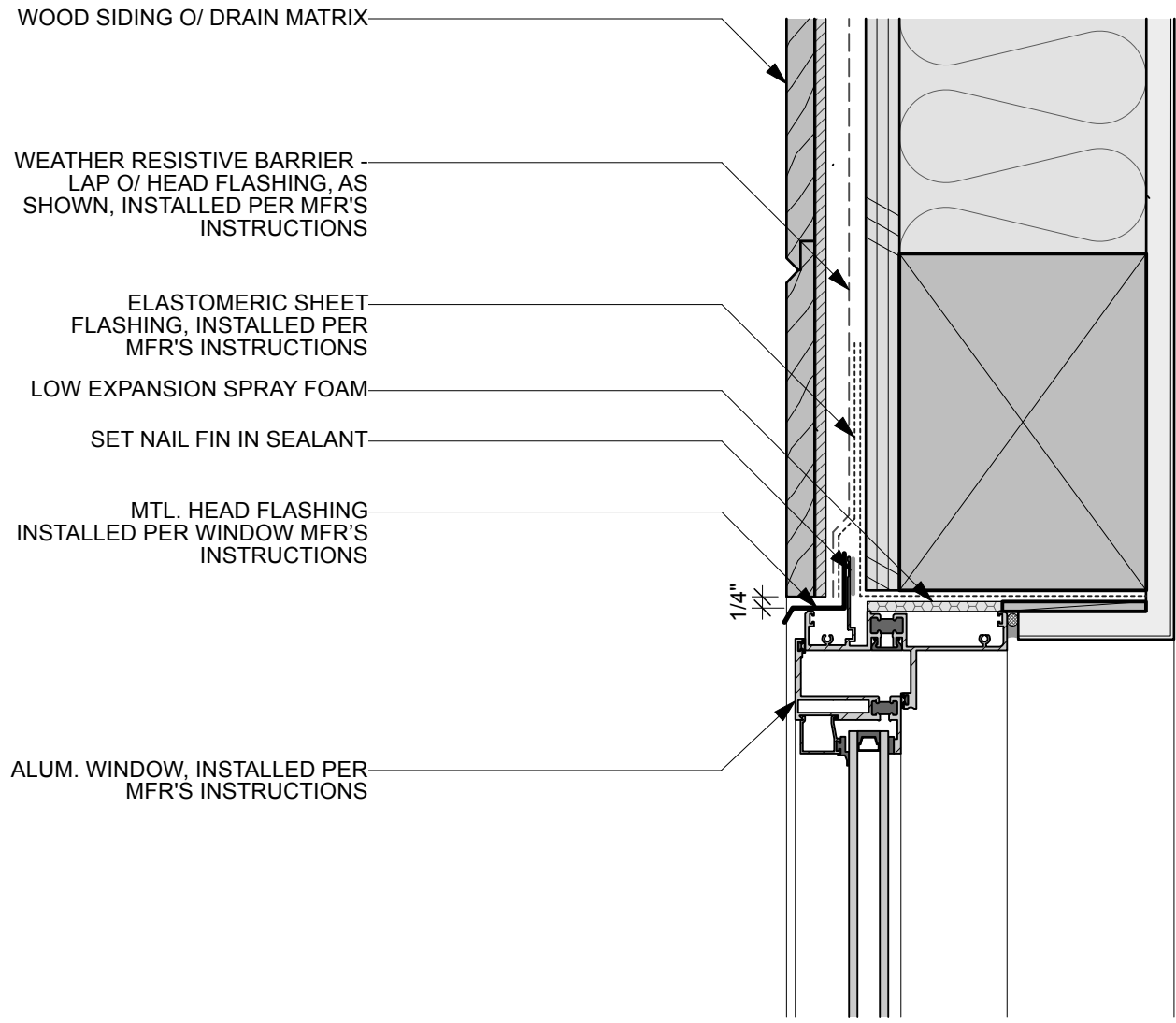
9
A5.01 PLAN DTL. @ ROOF DECK
Scale: 3" = 1'-0"



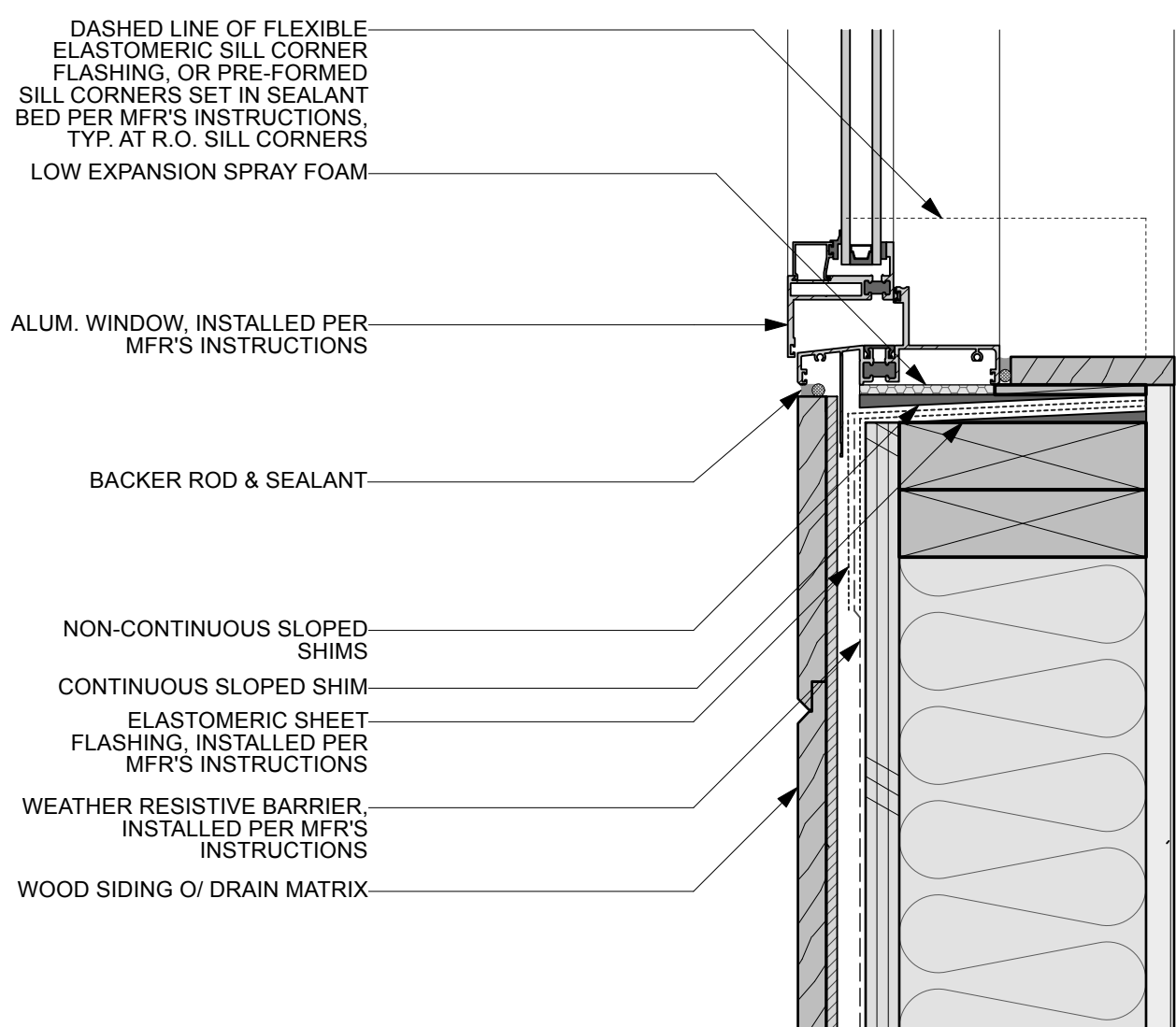
8
A5.01 PLAN DTL. @ INTERIOR FRAMED FLOOR
Scale: 3" = 1'-0"



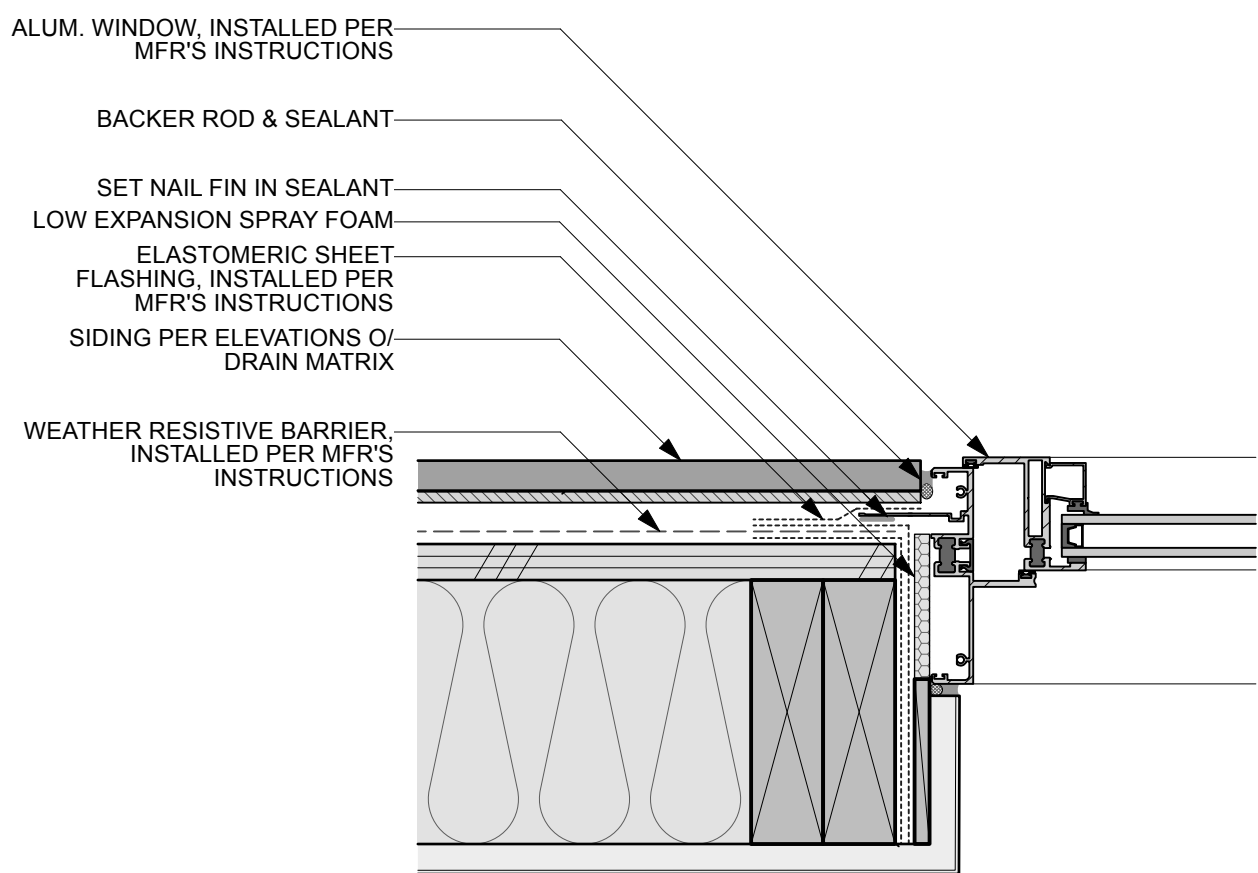
7
A5.01 PLAN DTL. @ STUCCO TO WOOD SIDING TRANSITION
Scale: 3" = 1'-0"



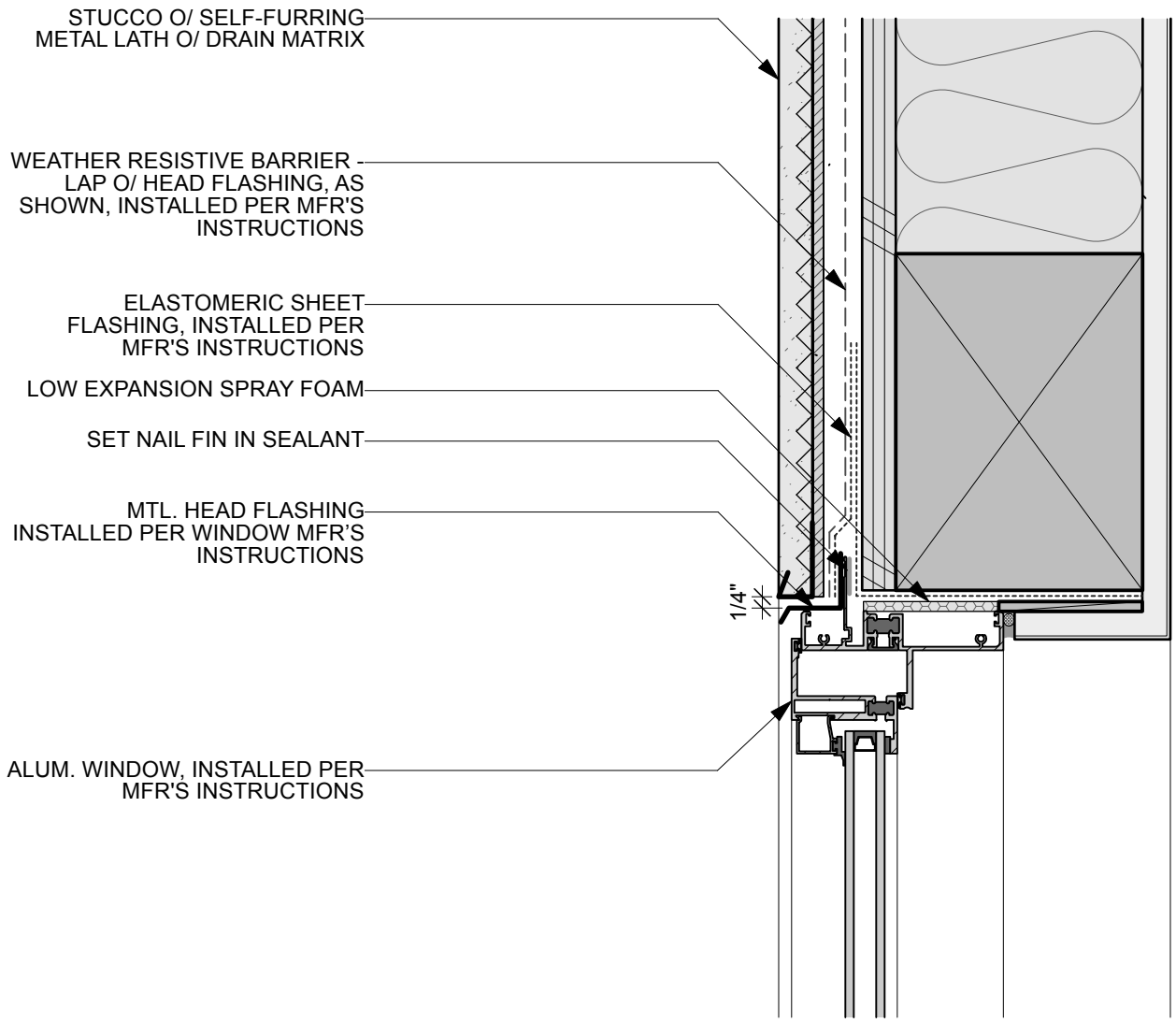
6
A5.01 SECTION DTL. @ TYP. ALUM. WINDOW HEAD - WOOD SIDING
Scale: 3" = 1'-0"



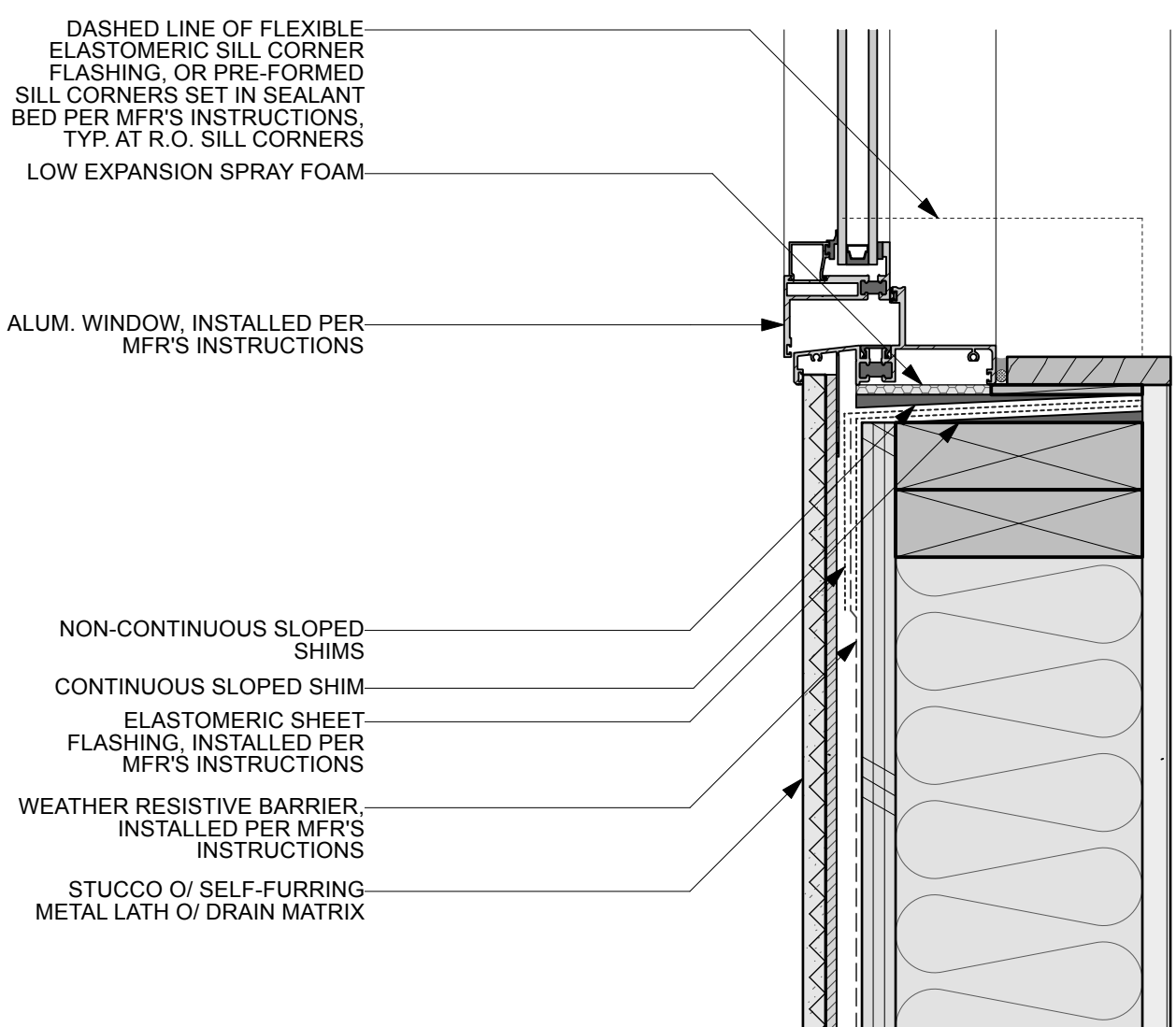
5
A5.01 SECTION DTL. @ TYP. ALUM. WINDOW SILL - WOOD SIDING
Scale: 3" = 1'-0"



4
A5.01 PLAN DTL. @ TYP. ALUM. WINDOW JAMB
Scale: 3" = 1'-0"



3
A5.01 SECTION DTL. @ TYP. ALUM. WINDOW HEAD - STUCCO SIDING
Scale: 3" = 1'-0"



2
A5.01 SECTION DTL. @ TYP. ALUM. WINDOW SILL - STUCCO SIDING
Scale: 3" = 1'-0"

DEPARTMENT STAMPS:

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| date | issues / revisions | by |
|----------|--------------------------|----|
| 05.17.21 | SB-330 Pre App Submittal | rm |
| 06.07.21 | Major AR Submittal | rm |
| 08.31.21 | Major AR - Rev.1 | rm |

DETAILS

A5.01



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