

PALO ALTO COMMONS
Wellquest Living

PROJECT DATA

PROJECT ADDRESS
4075 El Camino Way,
Palo Alto, CA 94306

LEGAL DESCRIPTION
BOOK 132, PAGE 43, PARCEL 117, LOT A,
3.1, MORRIS R.L.E. CO. SUB. OF THE COGAN TRACT,
MAP BK. M PG. 3

ASSESSORS PARCEL NUMBER
132-43-177

ZONING
PC - Planned Community

SCOPE OF WORK
NEW ADDITIONS TO AN EXISTING ASSISTED LIVING AND MEMORY CARE FACILITY THAT HAD CONSISTED OF 121 UNITS.
THE ADDITION WOULD INCLUDE 14 ADDITIONAL ASSISTED LIVING DWELLING UNITS. (5 STUDIOS & 9 1-BED RMS),
ASSISTED LIVING CONSISTS OF RESIDENTIAL CARE FOR THE ELDERLY THAT NEED DAY TO DAY ASSISTANCE. MEMORY
CARE CONSISTS OF RESIDENTIAL CARE FOR THE ELDERLY WITH MEMORY ISSUES. THE PROPOSED TOTAL OF UNITS
WOULD BE 135 UNITS

SITE DATA
SITE AREA 110,642 SF
BUILDING FOOTPRINT 34,698 SF (PAC) + 17,102 SF (AVANT)
51,800 SF (TOTAL)
LOT COVERAGE (EXISTING) 53,849 SF (48.67%) with overhangs
LOT COVERAGE (PROPOSED) 54,179 SF (48.97%) with overhangs

YEAR FIRST OCCUPIED: 1988

PARKING
SPACES EXISTING TO REMAIN 57*
0.47 SPACES PER UNIT - EXISTING

SPACES REQUIRES:
NO RESIDENTIAL CARE FACILITY REQUIREMENT LISTED PER PAMC 18.52.040(C) TABLE 1
CONVALESCENT IS SIMILAR (OUR RESIDENTS ARE LONG TERM VS TEMPORARY BUT THE
ALSO CAN'T DRIVE.)
1 SPACE PER 2.5 BEDS REQUIRED
135 BEDS / 2.5 =
54 SPACES REQUIRED

SPACES PROVIDED: 57* TOTAL - NO CHANGE
2 ADA, 5 COMPACT, 45 STANDARD
0.42 SPACES PER UNIT - PROPOSED

EXISTING PARKING CONDITIONS:
STAFF NEED TO REQUEST A PARKING PASS TO BE ABLE TO PARK PASS THE PARKING
GATE. RESIDENTS DO NOT OWN NOR CAN DRIVE CARS. THEIR FAMILIES PARK IN THE
GUEST PARKING. WHEN SURVEYED DURING A WORK DAY, 32 SPACES WERE BEING USED
OUT OF THE 55 TOTAL. 21 OUT OF 41 SPACES WERE FOR STAFF AND 11 OUT OF 14
SPACES FOR GUESTS.

PARKING SUMMARY (PAC)

	Qty.
ADA	1
ADA VAN	1
C	8
P	45
	55

C - COMPACT PARKING
P - STANDARD PARKING

*AS PER PAMC 18.52.040(D)(8), ADA & ADA VAN SPACES SHALL COUNT AS AT LEAST 2
STANDARD PARKING SPACES FOR THE PURPOSES OF PARKING REQUIREMENTS.



PROJECT TEAM

OWNER
Wellquest Living
30299 Buck Tail Drive,
Canyon Lake, CA 92587
T: 951-757-2571
Charlene Kussner

ARCHITECT
Irwin Partners Architects
245 Fischer Avenue, Suite B2
Costa Mesa, CA 92626
T: 714-556-5774
W: www.ipaac.com
Greg Irwin

INTERIOR DESIGNER
Conley Design
7100 Northland Circle N, Unit 214
Minneapolis, MN 55428
T: 612-470-8602
Amy Juslich

PROJECT INFORMATION

UNIT MIX - PROPOSED			
Unit Name	Unit Type	Qty	Area (SF)
Unit 2B-1	ASSISTED LIVING - 2 BED	2	733
(E) Unit B-1	ASSISTED LIVING - 1 BED	62	474
(E) Unit B-2	ASSISTED LIVING - 1 BED	12	469
(E) Unit B-3	ASSISTED LIVING - 1 BED	2	464
(E) Unit B-4	ASSISTED LIVING - 1 BED	1	441
(E) Unit B-5	ASSISTED LIVING - 1 BED	1	542
(E) Unit B-6	ASSISTED LIVING - 1 BED	1	637
(E) Unit B-H	ASSISTED LIVING - 1 BED	4	474
(E) Unit S-1	ASSISTED LIVING - STUDIO	22	377
(E) Unit S-3	ASSISTED LIVING - STUDIO	7	367
(E) Unit S-H	ASSISTED LIVING - STUDIO	7	378
(N) Unit B-1	ASSISTED LIVING - 1 BED	1	474
(N) Unit B-1 alt	ASSISTED LIVING - 1 BED	1	461
(N) Unit B-2	ASSISTED LIVING - 1 BED	2	464
(N) Unit B-3 alt	ASSISTED LIVING - 1 BED	1	459
(N) Unit B-4	ASSISTED LIVING - 1 BED	2	441
(N) Unit B-5	ASSISTED LIVING - 1 BED	2	542
(N) Unit S-1	ASSISTED LIVING - STUDIO	3	372
(N) Unit S-2	ASSISTED LIVING - STUDIO	2	400
		135	

EXISTING UNIT COUNT: 121
PROPOSED UNIT COUNT: 135 (14 NEW UNITS)

CODE REQUIREMENTS

CODE INFORMATION UTILIZED FOR PROJECT
THIS PROJECT IS PRIVATELY OWNED AND PRIVATELY FUNDED
NO CHANGE IN USE
EXISTING MEANS OF EGRESS TO REMAIN

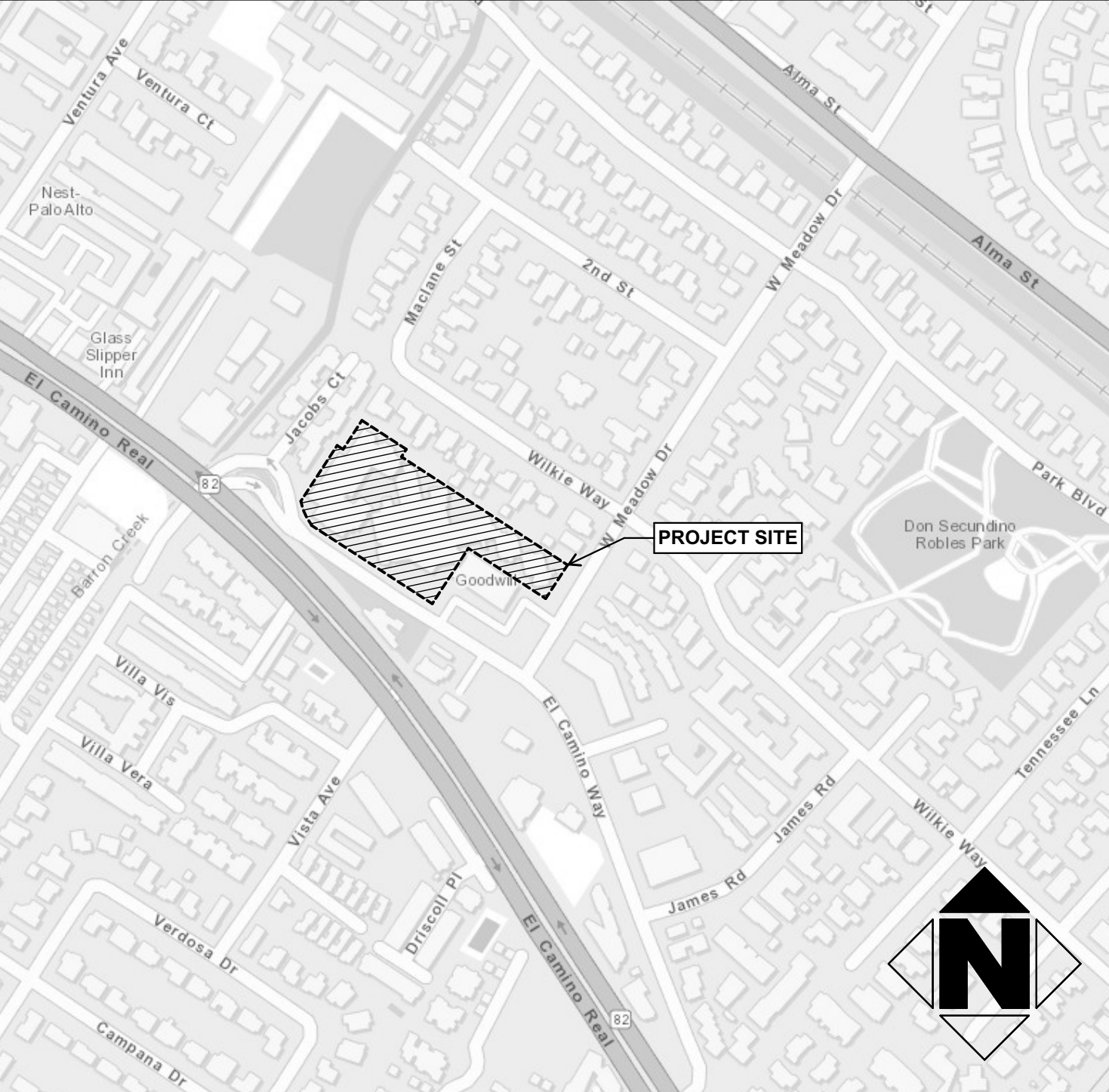
APPLICABLE CODES
ALL WORK SHALL BE IN CONFORMANCE WITH
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
CALIFORNIA GREEN BUILDING CODE (CALGreen) WITH LOCAL AMENDMENTS
PALO ALTO CODES AND ORDINANCES

BUILDING CONSTRUCTION
OCCUPANCY TYPES: R2-1, A2, A3, B; **NO CHANGE**
CONSTRUCTION TYPE: TYPE V-A above TYPE I-A (UNDERGROUND PARKING); **NO CHANGE**
SPRINKLERS: YES
ALLOWABLE BUILDING HEIGHT: 50'
ACTUAL BUILDING HEIGHT: 32'-6"; **NO CHANGE**
ALLOWABLE BUILDING AREA (SINGLE OCCUPANCY, MULTI-STORY, NON-SEPARATED USE):
BASIC - 10,500 SF
INCREASES
MULTISTORY - YES
SPRINKLERS - YES
SEPARATION - NONE
31,500 SF per Floor
TOTAL = 63,000 SF

PALO ALTO COMMONS (EXISTING):		PALO ALTO COMMONS (PROPOSED):	
BUILDING AREA (EXISTING)		BUILDING AREA (PROPOSED)	
...	Area (SF)	...	Area (SF)
Building A		Building A	
First Floor	20,852	First Floor	21,142
Second Floor	17,468	Second Floor	18,679
Third Floor	11,482	Third Floor	12,415
	49,802 sq ft		52,236 sq ft
Building B		Building B	
First Floor	12,471	First Floor	12,471
Second Floor	11,643	Second Floor	12,471
Third Floor	9,845	Third Floor	12,471
	33,959 sq ft		37,413 sq ft
	83,761 sq ft		89,649 sq ft

THE AVANT (EXISTING):		THE AVANT (NO CHANGE; NOT IN SCOPE):	
BUILDING AREA: 47,500 SF		BUILDING AREA: 47,500 SF	
FAR CALCULATION (EXISTING)		FAR CALCULATION (PROPOSED)	
TOTAL BUILDING AREA: 131,261 SF		TOTAL BUILDING AREA: 137,149 SF	
SITE AREA: 110,642 SF		SITE AREA: 110,642 SF	
FAR: 1.19		FAR: 1.24	

VICINITY MAP



DEFERRED SUBMITTALS

SUBJECT TO REVIEW AND APPROVAL OF FIRE AUTHORITY:
FIRE SPRINKLERS NFPA 13 REQUIREMENTS
FIRE ALARM SYSTEMS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE GENERAL CONTRACTOR WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL BY THE GENERAL CONTRACTOR OR HIS SUB CONTRACTOR IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE BUILDING OFFICIAL PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS.

APPROVAL STAMPS

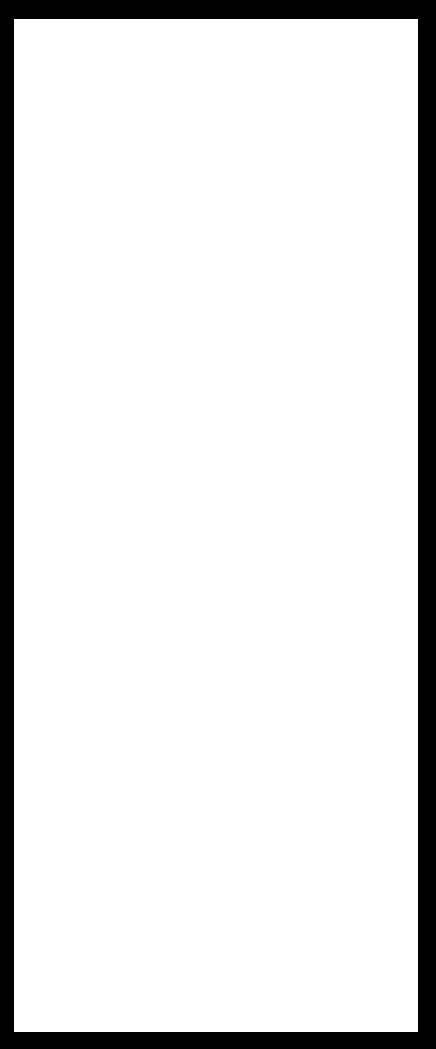
RECEIVED, REVIEWED & REVISION STAMPS



IRWIN PARTNERS
ARCHITECTS

ARCHITECTURE
PLANNING
CONSULTING

245 Fischer Avenue
Suite B-2
Costa Mesa
California 92626
T: 714 557 2448
www.ipaac.com



PALO ALTO COMMONS
Wellquest Living
4075 El Camino Way, Palo Alto, CA 94306



PROJECT: 21003
DRAWN BY: YI, RA, & DB
CHECKED BY: TB & MP

DATE OF ISSUE: 10/27/2022

DRAWING DESCRIPTION

Title Sheet

DRAWING NUMBER

A1.0

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT		CITY OF PALO ALTO Planning Division, 250 Hamilton Avenue Palo Alto, CA 94301 (650) 329-2441 http://www.cityofpaloalto.org
Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on submitted and approved site plans. A completed tree disclosure statement must accompany all permit applications that include exterior work, all demolition or grading permit applications, or other development activity.		
PROPERTY ADDRESS: 4075 El Camino Way, Palo Alto, CA 94306		
Are there Regulated trees on or adjacent to the property? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (If no, proceed to Section 4)		
[Sections 1 - 4 MUST be completed by the applicant. Please circle and/or check where applicable.]		
1. Where are the trees? Check those that apply. (Plans must be submitted showing all trees over 4" diameter) <input checked="" type="checkbox"/> On the property <input type="checkbox"/> On adjacent property overhanging the project site <input type="checkbox"/> In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*		
*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form. Contact Public Works Operations at (650) 496-5953 for inspection of type I, II or III fencing (see attached Detail 605) required for all street trees.		
2. Are there any Protected or Designated Trees? <input checked="" type="checkbox"/> YES (Check where applicable) <input type="checkbox"/> NO <input checked="" type="checkbox"/> Protected Tree (s) <input type="checkbox"/> Designated Tree (s) <input type="checkbox"/> On or overhanging the property		
3. Is there activity or grading within the drip-line? (radius 10 times the trunk diameter) of these trees? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, Tree Protection, as part of the Plan** per Site Plan Requirements.		
4. Are the Site Plan Requirements** completed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO **Plans, Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy drip-line; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the drip-line, per Sheet T-1 and Detail 605 - http://www.cityofpaloalto.org/trees/forms.htm (See also TTM - Section 2.15 for area to be fenced)		
I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.		
Signature: <u>Charlene Kussner</u> Title: <u>Charlene Kussner</u> Date: <u>6-9-22</u> (Prop. Owner or Agent)		
FOR STAFF USE: Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit). 5. Protected Trees: The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES NO (N/A if there are no protected trees, check here C) 6. Street Trees: A signed Public Works Street Tree Protection Verification form is attached. YES NO (N/A if there are no street trees, check here C)		
<small>*Regulated Trees - a) Street trees - trees on public property b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.3" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-commercial property trees, which are part of an approved landscape plan. Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at www.cityofpaloalto.org/trees-technical-manual.html S:\PLAN\ADV\Advance Planning\AboutTree Program\Information\Tree Disclosure Statement\T02\Tree Disclosure Statement\Final_307.doc Revised 03/04/07</small>		

For written specifications associated with illustrations below, see Public Works Specifications Section 31 Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/)													
Tree Protection Zone (TPZ) shown in gray (radius of TPZ equals 10 times the diameter of the tree or 10-foot, whichever is greater) • Restricted activity area - see Tree Technical Manual Sec 2.15(E) • Restricted trenching area - see Tree Technical Manual Sec 2.20(C-D), any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call (650) 496-5953.													
<p>Type I Tree Protection For all Ordinance Protected and Designated trees, as detailed in the site specific tree protection report (TPR) prepared by the applicant's project arborist as directed in the plans. Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report</p>	<p>Type II Tree Protection Any non-urban sidewalk or curb replacement or trenching requires approval Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.</p>												
<p>Type III Tree Protection To be used only with approval of Public Works Operations Tree fencing is required and shall be erected before demolition, grading or construction begins.</p>	<p>Type III Tree Protection To be used only with approval of Public Works Operations Tree fencing is required and shall be erected before demolition, grading or construction begins.</p>												
<table border="1"><thead><tr><th>Rev</th><th>By</th><th>Date</th></tr></thead><tbody><tr><td>0</td><td>DWR</td><td>12/14/92</td></tr><tr><td>01</td><td>D.D.</td><td>06/04/04</td></tr><tr><td>02</td><td>D.D.</td><td>08/10/06</td></tr></tbody></table> <p>Scale: NTS</p> <p>Tree Protection During Construction City of Palo Alto Standard</p> <p>Approved by: <u>Dave Dockter</u> PE No. _____ Date: <u>2006</u> DWG No. <u>605</u></p>		Rev	By	Date	0	DWR	12/14/92	01	D.D.	06/04/04	02	D.D.	08/10/06
Rev	By	Date											
0	DWR	12/14/92											
01	D.D.	06/04/04											
02	D.D.	08/10/06											

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-	
31-1 General	<p>a. Tree protection has three primary functions. 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.</p> <p>b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.</p>
31-2 Reference Documents	<p>a. Detail 605 - Illustration of situations described below.</p> <p>b. Tree Technical Manual (TTM) Form (http://www.cityofpaloalto.org/trees/)</p> <p>1. Trenching Restraint Zones (TTM, Section 2.20(C-D))</p> <p>2. Arborist Reporting Protocol (TTM, Section 6.10)</p> <p>3. Site Plan Requirements (TTM, Section 6.25)</p> <p>4. Tree Disclosure Statement (TTM, Appendix J)</p> <p>c. Street Tree Verification (STV) Form (http://www.cityofpaloalto.org/trees/forms/)</p>
31-3 Execution	<p>a. Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade-level concrete base, if approved by Public Works Operations.</p> <p>b. Type II Tree Protection: For trees situated within a planting strip, only the planting strip and sand side of the TPZ shall be enclosed with the required chain-link protective fencing in order to keep the sidewalk and street open for public use.</p> <p>c. Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.</p> <p>d. Size, type and area to be fenced. All trees to be preserved shall be protected with six (6) foot high chain-link fences. Fences are to be erected on ten-foot diameter galvanized steel posts, driven into the ground to a depth of at least 2-foot at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.</p> <p>e. Warning Signs: A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."</p> <p>f. Duration: Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.</p> <p>g. During construction</p> <p>1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.</p> <p>2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.08.070 of the Palo Alto Municipal Code.</p> <p>3. The following tree preservation measures apply to all trees to be retained: a. No storage of material, disposal, vehicles or equipment shall be permitted within the TPZ. b. The ground under and around trees shall not be altered. c. Trees to be retained shall be irrigated, attended and maintained as necessary to ensure survival.</p>
END OF SECTION City of Palo Alto 2004 Standard Drawings and Specifications Street Tree Verification of Protection, PWS, Section 31 Revised 06/06	

Palo Alto Tree Technical Manual CONTRACTOR & ARBORIST INSPECTION SCHEDULE	
Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/	
ALL CHECKED ITEMS APPLY TO THIS PROJECT:	
1. <input checked="" type="checkbox"/> Inspection of Protective Tree Fencing: For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.19)	
2. <input checked="" type="checkbox"/> Pre-Construction Meeting: Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).	
3. <input checked="" type="checkbox"/> Inspection of Rough Grading or Trenching: Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect irrigation systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.	
4. <input checked="" type="checkbox"/> Monthly Tree Activity Report Inspections: The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154 (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).	
5. <input checked="" type="checkbox"/> Special activity within the Tree Protection Zone: Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).	
6. <input type="checkbox"/> Landscape Architect Inspection: For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the inspection is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.	
7. <input type="checkbox"/> List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)	

City of Palo Alto Public Works Operations P.O. Box 1020 Palo Alto, CA 94303 (650) 496-5953 FAX: (650) 492-9489 treeprotection@cityofpaloalto.org		Verification of Street Tree Protection	
Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.			
APPLICATION DATE:			
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:		4075 El Camino Way, Palo Alto, CA	
APPLICANT'S NAME:		Charlene Kussner	
APPLICANT'S ADDRESS:		185 S. State Street, Suite 1500, Salt Lake City UT 84111	
APPLICANT'S TELEPHONE & FAX NUMBERS:		Cell: 951-757-2571	
This section to be filled out by City Tree Staff			
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:		YES <input type="checkbox"/> NO* <input type="checkbox"/> * If NO, go to #2 below	
Inspected by:			
Date of inspection:			
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:			
Indicate how the required modifications were communicated to the applicant:			
Subsequent inspection			
Street trees at above address were found to be adequately protected:		YES <input type="checkbox"/> NO* <input type="checkbox"/> * If NO, indicate in "Notes" below the disposition of case.	
Inspected by:			
Date of inspection:			
Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.			
Return approved sheet to Applicant for demolition or building permit issuance. treeprotection@cityofpaloalto.org			

City of Palo Alto Tree Technical Manual ADDENDUM 11 RCA/DA Certified Arborist #18-050 Contract City			
Arborist Firm Data Here			
Monthly Tree Activity Report- Construction Site			
Inspection Date:	Site address:	Contractor: Main Site Contact information	#1: Job site superintendent Company/ Email/ Job site Office/ Cell/ Mail
Inspection #	Palo Alto, CA	Also present:	* *
Distribution:	1. City of Palo Alto 2. Others	Attn: Dave Dockter	Dave.dockter@cityofpaloalto.org 650-329-2440
Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.			
1. Assignment Activity (Demolition/grading/sever/trenching/foundation list relevant visits) a. Pre-construction meeting requirement with sub-contractors b. Inspect to verify that tree protection measures are in place c. Determine if field adjustment, watering or plan revision may be needed			
2. Field Observations (general site-wide and list by individual tree number) a. Tree Protection Fences (TPF) are ... b. Trenching has/will occur ...			
3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due a. Tree Protection Fence (TPF) needs adjusting (tree # x, x, x) b. Root zone buffer material (wood chips) can be installed next c. Schedule sever trench, foundation dig with ...			
4. Photographs (use often)			
5. Tree Location Map (mandatory 8.5 x 11 sheet)			
6. Recommendations, notes or monitor items for project/staff/schedule			
7. Past visits (list carry-over items satisfied/still outstanding)			
Respectfully submitted,			
Project site arborist Consultant contact information (Include email, cell#, and mailing)			
Cc:			
Enter Date CFA Monthly Tree Activity Report: Type site address here Page #1 of 1			

---WARNING---	
Tree Protection Zone	
This fencing shall not be removed without City Arborist approval (650-496-5953)	
Removal without permission is subject to a \$500 fine per day*	
*Palo Alto Municipal Code Section 8.10.110	
City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.html	
SPECIAL INSPECTIONS	PLANNING DEPARTMENT
TREE PROTECTION INSPECTIONS MANDATORY	
PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.	
BUILDING PERMIT DATE: _____	
DATE OF 1 ST TREE ACTIVITY REPORT: _____	
CITY STAFF: _____	
REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.	

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

PALO ALTO COMMONS
Wellquest Living
4075 El Camino Way, Palo Alto, CA 94306

Project
Data

T-1

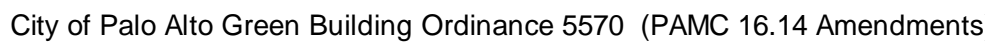


All other tree-related reports shall be added to the space provided on this sheet (adding as needed) Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-1



https://codelibrary.amlegal.com/codes/paloalto/latest/paloalto_ca/0-0-0-72369

Version 01/23

2022 RESIDENTIAL CHECKLIST - CALGREEN MANDATORY + TIER 1

GB-1
Mandatory
+Tier 1

This plan sheet is for residential building additions and/or alterations exceeding 1,000 square feet.

										Compliance Path Verification						
										Plan Check	Rough GB Inspection IVR # 162	Final Inspection IVR #153				
												Part 1	Part 1	Part 2	Part 2	
										CORR	INITIAL	CORR	INITIAL	CORR	INITIAL	
4.5 Environmental Quality										Code Section	Y	N	Plan Sheet, Spec or Attachment Reference			
Mandatory										Fireplaces, shall be direct-vent sealed combustion type	4.503.1	X				
Mandatory										Covering of duct openings, protection of mechanical equipment during construction	4.504.1	X				
Mandatory										Adhesives, sealants and caulks - Table 4.504.1 or 4.504.2 for VOC limits	4.504.2.1	X				
Mandatory										Paints and coatings - Table 4.504.3 for VOC limits	4.504.2.2	X				
Mandatory										Aerosol paints and coatings	4.504.2.3	X				
Mandatory										Verification - documentation to verify compliant VOC limit on finish materials	4.504.2.4	X				
Mandatory										Carpet systems compliant with VOC limits	4.504.3	X				
Mandatory										Carpet systems: Carpet cushion	4.504.3.1	X				
Mandatory										Carpet systems: Carpet adhesive - Table 4.504.1 for VOC limits	4.504.3.2	X				
Part 1, Mandatory										Resilient flooring systems for 90% - Part 1 requirements	4.504.4	X				
Mandatory										Composite wood products	4.504.5	X				
Mandatory										Documentation	4.504.5.1	X				
Mandatory										Concrete slab foundations - vapor retarder required	4.505.2	X				
Mandatory										Casualty break for slab-on-grade foundations	4.505.2.1	X				
Mandatory										Moisture content of building materials ≤ 19% for wall and floor framing	4.505.3	X				
Mandatory										Bathroom exhaust fans (when required) shall be provided with the following: 1. ENERGY STAR fans ducted to outside of building. 2. Humidity controlled OR functioning as a component of a whole-house ventilation system 3. Humidity controls with manual or automatic means of adjustment for relative humidity range of ≤ 50% to 80% max	4.506.1	X				
Mandatory										Heating and air conditioning system design	4.507.2	X				
Mandatory										Indoor Air Quality Management Plan (IMf)	PAMC 16.14.390	X				
Mandatory										Water Heater Replacement (Residential Remodels or Additions: HPWH required when gas water heater is replaced or new water heater is added)	PAMC 16.14.110/ 4.509 X Section 4.509					
Elective										Compliance with formaldehyde limits	PAMC 16.14.265/ A4.504.1	X				
Elective										Thermal insulation	PAMC 16.14.270/ A4.504.3	X				
Elective										Construction filters [HR]	A4.506.2	X				
Elective										Direct-vent acoustics	A4.506.3	X				
Elective										Innovative concepts and local environmental conditions.	A4.509.1	X				

Legend:

Y - Yes; the measure is in the scope of work

N - No; the measure is not in the scope of work

PAMC - Palo Alto Municipal Code; locally amended

[N] - New Construction

[IMf] - Multi-family dwellings

[AA] - Additions and alterations

[HR] - High-rise building

The **Green Building Survey** is a required project submittal. The survey can be found at the following [link](#). The online survey shall be completed and a Green Building Survey Report will be sent in an email. Include a copy of the survey report on a separate page in this plan set. Please indicate the reference page here _____.

Special Inspector Acknowledgement	
The project will be verified by a RESIDENTIAL GREEN BUILDING SPECIAL INSPECTOR	
<p>I have reviewed the project plans and specifications, and they are in conformance with the CALGreen mandatory and elective measures claimed. I have reviewed and understand the after-construction requirements below.</p>	
Signature (Green Building Special Inspector)	
Print Name	
Phone or Email	
Date	
SECTION TO BE COMPLETED AFTER CONSTRUCTION	
<p>After construction is complete submit the following at the City Development Center to schedule your final inspection:</p>	
<input type="checkbox"/>	Construction debris receipts from an approved facility using Green Halo.
<input type="checkbox"/>	If HERS testing was required per the homes energy report, attach the completed forms.
<input type="checkbox"/>	If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Types) rerun the report and attach it.
<p>I certify that:</p>	
<input type="checkbox"/>	CALGreen inspections were performed throughout construction.
<input type="checkbox"/>	The home has met the CALGreen measures as claimed on this sheet. Those required for landscaping may be excluded from this confirmation if verified within 6 months of final inspection.
<input type="checkbox"/>	Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment.
Signature (Green Building Special Inspector)	
Sign only after project is complete	
Print Name	
Date	

SECTION TO BE COMPLETED AFTER CONSTRUCTION

After construction is complete submit the following at the City Development Center to schedule your final inspection:

- ☐ Construction debris receipts from an approved facility using Green Halo.
- ☐ If HERS testing was required per the homes energy report, attach the completed forms.
- ☐ If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Types) rerun the report and attach it.

I certify that:

- ☐ CALGreen inspections were performed throughout construction.
- ☐ The home has met the CALGreen measures as claimed on this sheet. Those required for landscaping may be excused from this confirmation if verified within 6 months of final inspection.
- ☐ Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment.

Signature (Green Building Special Inspector) _____

Sign only after project is complete

Print Name _____

Date _____

Division 4.1 – PLANNING AND DESIGN

SECTION A4.103 SITE SELECTION

A4.103.1 Selection. A site which complies with at least one of the following characteristics is selected:

1. An infill site is selected.
2. A greyfield site is selected.
3. An EPA-recognized and remediated Brownfield site is selected.

A4.103.2 Community connectivity. Facilitate community connectivity by one of the following methods:

1. Locate project within a 1/4-mile true walking distance of at least four basic services, readily accessible by pedestrians.
2. Locate project within a 1/2-mile true walking distance of at least seven basic services, readily accessible by pedestrians.
3. Other methods increasing access to additional resources.

Note: Examples of services include, but are not limited to, bank, place of worship, convenience grocery, day care, cleaners, fire station, barber shop, beauty shop, hardware store, laundry, library, medical clinic, dental clinic, senior care facility, park, pharmacy, post office, restaurant, school, supermarket, theater, community center, fitness center, museum or farmers market. Other services may be considered on a case-by-case basis.

Site located walking distance from, Day care: 0.06 miles, Restaurant: 0.08 Miles, School: 0.11 Miles, Place of Worship: 0.16 Miles

SECTION 4.106 SITE DEVELOPMENT

4.106.1 General. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

1. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

A4.106.2.3 Topsoil protection. Topsoil shall be protected or saved for reuse as specified in this section.

Tier 1. Displaced topsoil shall be stockpiled for reuse in a designated area and covered or protected from ero-sion.

Note: Protection from erosion includes covering with tarps, straw, mulch, chipped wood, vegetative cover or other means acceptable to the enforcing agency to protect the topsoil for later use.

A4.106.3 Landscape design. Postconstruction landscape designs shall accomplish one or more of the following:

1. Areas disrupted during construction are restored to be consistent with native vegetation species and patterns.
2. Utilize at least 75 percent native California or drought tolerant plant and tree species appropriate for the climate zone region.

A4.106.4 Water permeable surfaces. Permeable paving is utilized for the parking, walking or patio surfaces in compliance with the following.

Tier 1. Not less than 20 percent of the total parking, walking or patio surfaces shall be permeable.

Exceptions:

1. The primary driveway, primary entry walkway and entry porch or landing shall not be included when calculating the area required to be a permeable surface.
2. Required accessible routes for persons with disabilities as required by California Code of Regulations, Title 24, Part 2, Chapter 11A and/or Chapter 11B as applicable.

Division 4.3 - WATER EFFICIENCY AND CONSERVATION

SECTION 4.303 INDOOR WATER USE

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with Sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment details.

4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

A4.303.1 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.5 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.5 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

A4.303.5 Hot water recirculation systems. One- and two-family dwellings shall be equipped with a demand hot water recirculation system, as defined in Chapter 2. The demand hot water recirculation system shall be installed in accordance with the *California Plumbing Code*, *California Energy Code* and the manufacturer's installation instructions.

SECTION 4.305 WATER REUSE SYSTEMS

4.305.1 Recycled water supply systems. Newly constructed residential developments, where disinfected tertiary recycled water is available from a municipal source to a construction site, may be required to have recycled water supply systems installed, allowing the use of recycled water for residential landscape irrigation systems. See Chapter 15 of the *California Plumbing Code*.

Division 4.4 – MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

16.14.240 Section A4.403.2 Reduction in cement use. Section A4.403.2 of Appendix A4 of the *California Green Building Standards Code* is adopted as a Mandatory measure for all Tier 1 and Tier 2 projects and is amended to read:

A4.403.2 Low Carbon Concrete Requirements.

A4.403.2.1 Purpose. The purpose of this chapter is to provide practical standards and requirements for the composition of concrete, as defined herein, that maintains adequate strength and durability for the intended application and at the same time reduces greenhouse gas emissions associated with concrete composition. This code includes pathways for compliance with either reduced cement levels or lower-emission supplementary cementitious materials.

A4.403.2.2 Definitions. For the application of this section the following definitions shall apply:

Concrete. Concrete is any approved combination of mineral aggregates bound together into a hardened conglomerate in accordance with the requirements of this code.

Environmental product declaration (EPD). EPDs present quantified environmental information on the life cycle of a product to enable comparisons between products fulfilling the same function. EPDs must conform to ISO 14025, and EN 15804 or ISO 21930, and have at least a "cradle to gate" scope (which covers product life cycle from resource extraction to the factory). Upfront embodied carbon (embodied carbon). The greenhouse gasses emitted in material extraction, transportation and manufacturing of a material corresponding to life cycle stages A1 (extraction and upstream production), A2 (transportation), and A3 (manufacturing). Definition is as noted in ISO 21930 and as defined in the Product Category Rule for Concrete by NSF dated February 22nd, 2019. https://www.nsf.org/newsroom/pdf/concrete_pc_r_2019.pdf

A4.403.2.3 Compliance. Compliance with the requirements of this chapter shall be demonstrated through any of the following options in Sections 4.403.2.3.2 through 4.403.2.3.5:

Table A4.403.2.3 Cement and Embodied Carbon Limit Pathways

A4.403.2.3.1 Allowable Increases.

- (1) Cement and Embodied Carbon Limit Allowances. Cement or Embodied Carbon limits shown in Table A4.403.2.3 can be increased by 30% for concretes demonstrated to the Building Official as requiring high early strength. Such concretes could include, but are not limited to, precast, prestressed concrete, beams and slabs above grade; and shotcrete.
- (2) Approved Cements. The maximum cement content may be increased proportionately above the tabulated value when using an approved cement, or blended cement, demonstrated by approved EPD to have a plant-specific EPD lower than the average CO₂e/metric ton. The increase in allowable cement content would be (1040/plant-specific EPD) %.

A4.403.2.3.2 Cement Limit Method - Mix. Cement content of a concrete mix using this method shall not exceed the value shown in the Table A4.403.2.3. Use of this method is limited to concrete with specified compressive strength not exceeding 5,000 psi.

A4.403.2.3.3 Cement Limit Method - Project. Total cement content shall be based on total cement usage of all concrete mix designs within the same project. Total cement content for a project shall not exceed the value calculated according to Equation A4.403.2.3.3.

Equation A4.403.2.3.3:

$$CEM_{proj} = CEM_{m1} + n(CEM_{m2} - CEM_{m1})$$

CEM_{proj} = the cement content for mixtures, kg/m³ or lb/yd³

CEM_{m1} = the maximum cement content for mixtures, per Table A4.403.2.3, kg/m³ or lb/yd³

CEM_{m2} = the volume of mixture, concrete to be placed, yd³ or m³

n = the total number of concrete mixtures for the project

Applicant can use yd³ or m³ for calculation, but must keep same units throughout

A4.403.2.3.4 Embodied Carbon Method - Mix. Embodied carbon (EC) of concrete mix designs, based on an approved environmental product declaration (EPD), shall not exceed the value given in Table A4.403.2.3.

A4.403.2.3.5 Embodied Carbon Method - Project. Total embodied carbon (EC) of all concrete mix designs within the same project shall not exceed the project limit (EC allowed) determined using Table A4.403.2.3 and Equation A4.403.2.3.5.

Equation A4.403.2.3.5:

$$EC_{proj} = EC_{allowed} + n(EC_{m1} - EC_{allowed})$$

EC_{proj} = the embodied carbon potential limit for mixture per Table A4.403.2.3, kg/m³

EC_{m1} = the embodied carbon potential limit for mixture per Table A4.403.2.3, kg/m³

n = the total number of concrete mixtures for the project

Applicant can use yd³ or m³ for calculation, but must keep same units throughout

4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

A4.403.2.3.6 Enforcement. As a condition prior to the issuance of every building permit involving placement of concrete, the permit applicant shall be required to submit a completed low-carbon concrete compliance form that shall be provided by and on behalf of the permit applicant to the department prior to issuing the permit. As a condition of such building permits, and prior to approving construction inspections following placement of concrete, the permit applicant shall be required to submit batch certificates and/or EPDs provided by the manufacturer that demonstrate compliance with the low-carbon concrete compliance form on file with the building permit. The batch certificates and/or EPDs shall be reviewed for compliance by the building department prior to approving any further inspections. When deviations from compliance with this section occur, the chief building official or his designee is authorized to require evidence of equivalent carbon reductions from the portion of remaining construction of the project to demonstrate alternative compliance with the intent of this chapter. For projects involving placement of concrete by, or on behalf of, a public works, parks, or similar department, the director of such department, or his/her assignee, shall maintain accurate records of the total volume (in cubic yards) of all concrete placed, as well as the total compliant volume (in cubic yards) of all concrete placed, and shall report this data annually to the governing body in a form expressing an annual compliance percentage derived from the quotient of total compliant concrete volume placed divided by total concrete volume placed.

A4.403.2.3.7 Exemptions.

(a) **Hardship or infeasibility exemption.** If an applicant for a project subject to this chapter believes that circumstances exist that make it a hardship or infeasible to meet the requirements of this chapter, the applicant may request an exemption as set forth below. In applying for an exemption, the burden is on the applicant to show hardship or infeasibility. The applicant shall identify in writing the specific requirements of the standards for compliance that the project is unable to achieve and the circumstances that make it a hardship or infeasible for the project to comply with this chapter. Circumstances that constitute hardship or infeasibility may include, but are not limited to the following:

- (1) There is a lack of commercially available material necessary to comply with this chapter;
- (2) The cost of achieving compliance is disproportionate to the overall cost of the project;
- (3) Compliance with certain requirements would impair the historic integrity of buildings listed on a local, state or federal list or register of historic structures as regulated by the *California Historic Building Code* (Title 24, Part 8).

(b) **Granting of exemption.** If the chief building official determines that it is a hardship or infeasible for the applicant to fully meet the requirements of this chapter and that granting the requested exemption will not cause the building to fail to comply with the *California Building Standards Code*, the chief building official shall determine the maximum feasible threshold of compliance reasonably achievable for the project. In making this determination, the chief building official shall consider whether alternate, practical means of achieving the objectives of this chapter can be satisfied. If an exemption is granted, the applicant shall be required to comply with this chapter in all other respects and shall be required to achieve the threshold of compliance determined to be achievable by the chief building official.

(c) **Denial of exemption.** If the chief building official determines that the applicant is not reasonably diligent to fully meet the requirements of this chapter, the request shall be denied and the applicant shall be notified of the decision in writing. The project and compliance documentation shall be modified to comply with the standards for compliance.

A4.403.2 Reduction in cement use. As allowed by the enforcing agency, cement used in foundation mix design shall be reduced as follows:

Tier 1. Not less than a 20 percent reduction in cement use.

Note: Projects commonly used to replace cement in concrete concrete products include, but are not limited to:

1. Fly ash.
2. Slag.
3. Silica fume.
4. Rice hull ash.

A4.404.3 Building systems. Use premanufactured building systems to eliminate solid sawn lumber whenever possible. One or more of the following premanufactured building systems is used:

1. Composite floor joist or premanufactured floor framing system.
2. Composite roof rafters or premanufactured roof framing system.
3. Panelized (SIPS, ICF or similar) framing systems.
4. Other methods approved by the enforcing agency.

A4.405.3.1 Recycled content. Use materials, equivalent in performance to virgin materials with a total (combined) recycled content value (RCV) of:

Tier 1. The RCV shall not be less than 10 percent of the total material cost of the project.

Required Total RCV (dollars) = Total Material Cost (dollars) × 10 percent (Equation A4.4-1)

For the purposes of this section, materials used as components of the structural frame shall not be used to calculate recycled content. The structural frame includes the load bearing structural elements, such as wall studs, plates, sills, columns, beams, girders, joists, rafters and trusses.

Notes:

1. Sample forms which allow user input and automatic calculation are located at <http://www.hcd.ca.gov/building-standards/calgreen/cal-green-forms.html> and may be used to simplify documenting compliance with this section and for calculating recycled content value of materials or assembly products.
2. Sources and recycled content of some recycled materials can be obtained from CalRecycle if not provided by the manufacturer.

A4.405.3.1.1 Total material cost. Total material cost is the total estimated or actual cost of materials and assembly products used in the project. The required total recycled content value for the project (in dollars) shall be determined by Equation A4.4-1 or Equation A4-2. Total material cost shall be calculated by using one of the methods specified below:

1. Simplified method. To obtain the total cost of the project, multiply the square footage of the residential structure by the square foot valuation established pursuant to the ICC Building Valuation Data (BVD) or other valuation data approved and established by the enforcing agency. The total material cost is 45 percent of the total cost of the project. Use Equations A4-3A or A4-4-3B to determine total material costs using the simplified method.

Exceptions:

1. Residential stand-alone mechanical, electrical or plumbing permits.
2. Commercial stand-alone mechanical, electrical or plumbing permits.

A4.408.1.1 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with all construction and demolition waste reduction requirements.

4.408.2 Construction waste management plan. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.

2. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).

3. Identify diversion facilities where the construction and demolition waste material will be taken.

A4.405.3.1.2 Determination of total recycled content value (RCV). Total RCV may be determined either by dollars or percentage as noted below.

1. Total recycled content value for the project (in dollars). This is the sum of the recycled content value of the materials and/or assemblies combined and shall be determined by Equation A4-4.4. The result of this calculation may be directly compared to Equations A4-4.1 and A4-4.2 to determine compliance with Tier 1 or Tier 2 prerequisites.

Total Recycled Content Value (dollars) = (RCVM + RCVA) (Equation A4-4.4)

2. Total recycled content value for the project (by percentage). This is expressed as a percentage of the total material cost and shall be determined by Equation A4-4.4 and Equation A4-4.5. The result of this calculation may be directly compared for compliance with Tier 1 (10 percent) or Tier 2 (15 percent) prerequisites.

Total Recycled Content Value (percent) = [Total Recycled Content Value (dollars) ÷ Total Material Cost (dollars)] × 100 (Equation A4-4.5)

A4.405.3.1.4 Determination of recycled content value of materials (RCVM). The recycled content value of each material (RCVM) is calculated by multiplying the cost of material, as defined by the recycled content. See Equations A4-4.6 and A4-4.7.

RCVM (dollars) = Material cost (dollars) × RCv (percent) (Equation A4-4.6)

RCM (percent) = Postconsumer content percentage + (1/2) Preconsumer content percentage (Equation A4-4.7)

Notes:

1. If the postconsumer and preconsumer recycled content is provided in pounds, Equation A4-4.7 may be used, but the final result (in pounds) must be multiplied by 100 to show RCM as a percentage.
2. If the manufacturer reports total recycled content of a material as one percentage in lieu of separately reporting preconsumer and post-consumer values, the total shall be considered preconsumer recycled material.

A4.405.3.1.4 Determination of recycled content value of assemblies - (RCVA). Recycled content value of assemblies is calculated by multiplying the total cost of the assembly by the total recycled content of the assembly (RCA), and shall be determined by Equation A4-4.8.

RCVA (dollars) = Assembly cost (dollars) × Total RCA (percent) (Equation A4-4.8)

If not provided by the manufacturer, Total RCA (percent) = (RCM + RCVA) (Equation A4-4.9)

RCA shall be determined by Equation A4-4.9

RCM = Σ RCv (Equation A4-4.9)

PRCM of each material may be calculated by one of two methods using the following formulas:

PRCv (percent) = Weight of material (percent) × RCv (percent) (Equation A4-4.10)

Weight of material (percent) = [Weight of material (lbs) ÷ Weight of assembly (lbs)] × 100 (Equation A4-4.11)

RCv (percent) = Postconsumer content percentage + (1/2) Preconsumer content percentage (See Equation A4-4.7)

Method 2: Recycled content (postconsumer and preconsumer) provided in pounds

PRCv (percent) = RCv (lbs) ÷ Weight of material (lbs) × 100 (Equation A4-4.12)

RCv (lbs) = Postconsumer content (lbs) + (1/2) Preconsumer content (lbs) (Equation A4-4.13)

Note: If the manufacturer reports total recycled content of a material as one percentage in lieu of separately reporting preconsumer and postconsumer values, the total shall be considered preconsumer recycled material.

A4.405.3.1.5 Alternate method for concrete. When Supplementary Cementitious Materials (SCMs), such as fly ash or slag, are used in concrete, the testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.2, January 2017 (Emission testing method for California Specification 01350).

See California Department of Public Health's website for certification programs and testing labs.

Notes: Documentation must be provided that verifies that finish materials are certified to meet the pollutant emission limits in this section.

4.504.2 Finish material pollutant control. Finish materials shall comply with this section.

4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504-1, or 4.504-2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2.2 below.

2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 4507.

4.504.2.2 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.2.1, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Non-flat-high Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation shall include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.3 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.4 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.5 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.6 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.7 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.8 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.9 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.10 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.11 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.12 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.13 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.14 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.15 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

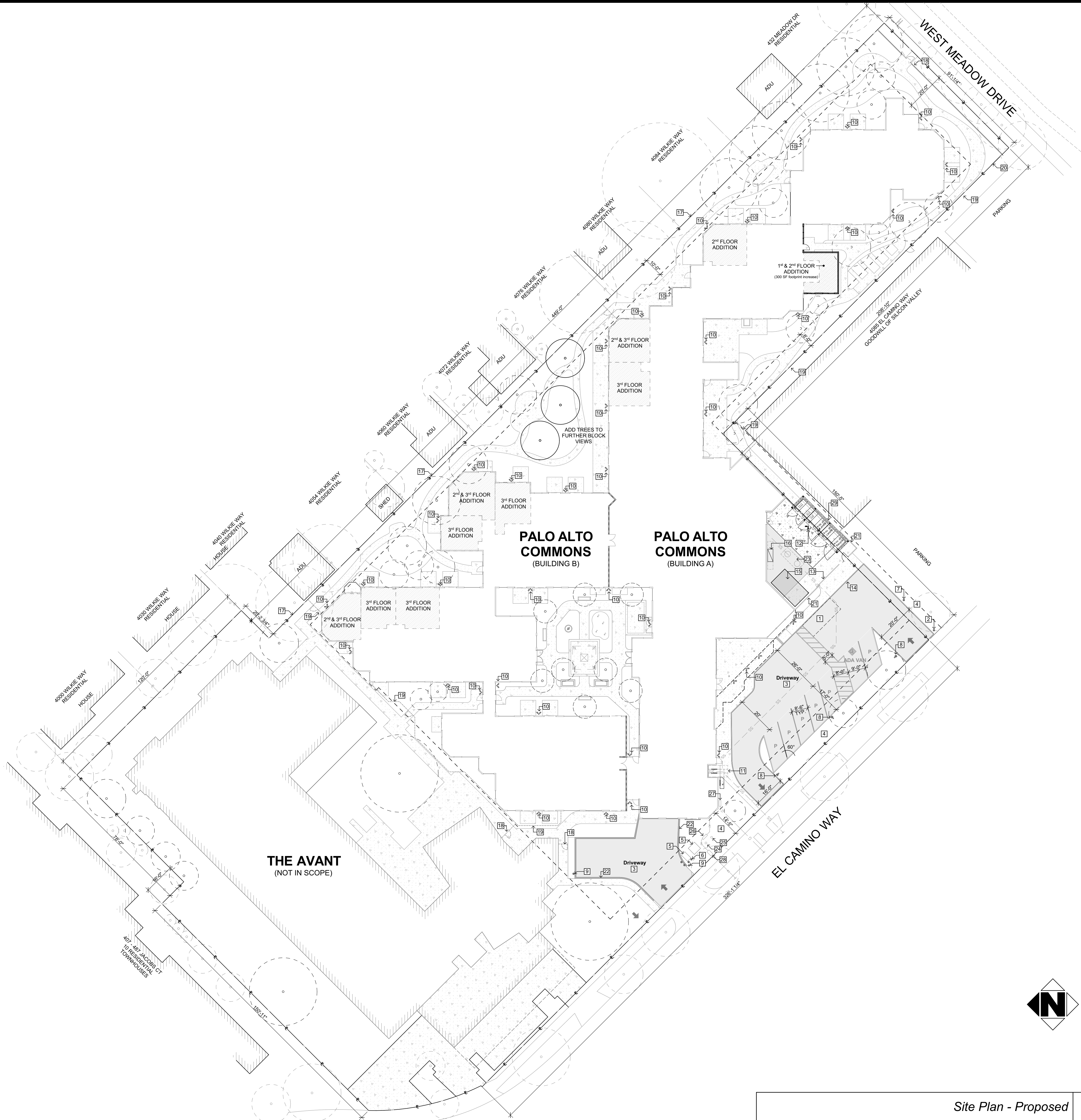
4.504.3.16 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.17 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.18 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.3.19 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.20 Carpet adhesive. All carpet adhesive shall meet the requirements of



LEGEND AND NOTES

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACKS
- CONCRETE PAVING
- SITE CONCRETE
- KEYNOTE NUMBER
- FENCE. SEE KEYNOTES
- (E) SANITARY SEWER V.I.F. EXACT LOCATION
- (E) WATER LINE V.I.F. EXACT LOCATION
- (E) GAS LINE V.I.F. EXACT LOCATION

SITE PLAN KEYNOTES

- (E) PASSENGER LOADING ZONE
- (E) DISABLED TOW-AWAY SIGN
- (E) DRIVEWAY (BACK-UP AREA)
- (E) LANDSCAPE AREA
- (E) ELECTRICAL TRANSFORMER
- (E) STEEL BOLLARDS, TYP.
- (E) FIRE LANE WARNING SIGN
- (E) LIGHT POST
- (E) LIGHT BOLLARD
- (E) WALL LIGHT
- (N) BIKE PARKING - 4 SHORT TERM
2' X 6' WITH A 4' AISLE
- (N) WALL LIGHT
- (E) ROLLING GATE
- (E) ZERO CURB
- (E) STORAGE SHED
- (N) STAFF LONG TERM BIKE LOCKER
FOR 2 BIKES
- (E) WOOD FENCE - 5' SOLID WITH 1" LATTICE ON TOP
- (E) METAL FENCE - 6' WROUGHT IRON WITH SOLID PANEL
- (E) WOOD FENCE - 6' SOLID
- (E) METAL FENCE - 5' WROUGHT IRON WITH SOLID PANEL
- (E) WOOD FENCE - 4' SIDING WITH 2" WROUGHT IRON ON TOP
- (E) MASONRY WALL - 3' SOLID
- (E) GREASE TRAP
- (E) PIV
- (E) FDC
- (E) BACKFLOW PREVENTER
- (E) GAS METER
- (E) WATER METER
- (N) TRASH, RECYCLING, & COMPOST WASTE ENCLOSURE
SEE 1/A1.3

IPA

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Wellquest Living
4075 El Camino Way, Palo Alto, CA 94306

LICENSED ARCHITECT
MELISA PERCE
No. C 24539
Exp. 05/31/2025
STATE OF CALIFORNIA

PROJECT: 21003
DRAWN BY: YI, RA, & DB
CHECKED BY: TB & MP
DATE OF ISSUE: 10/27/2022

DRAWING DESCRIPTION

Architectural Site Plan

DRAWING NUMBER
A1.1

Site Plan - Proposed

1" = 20'

1
A1.1



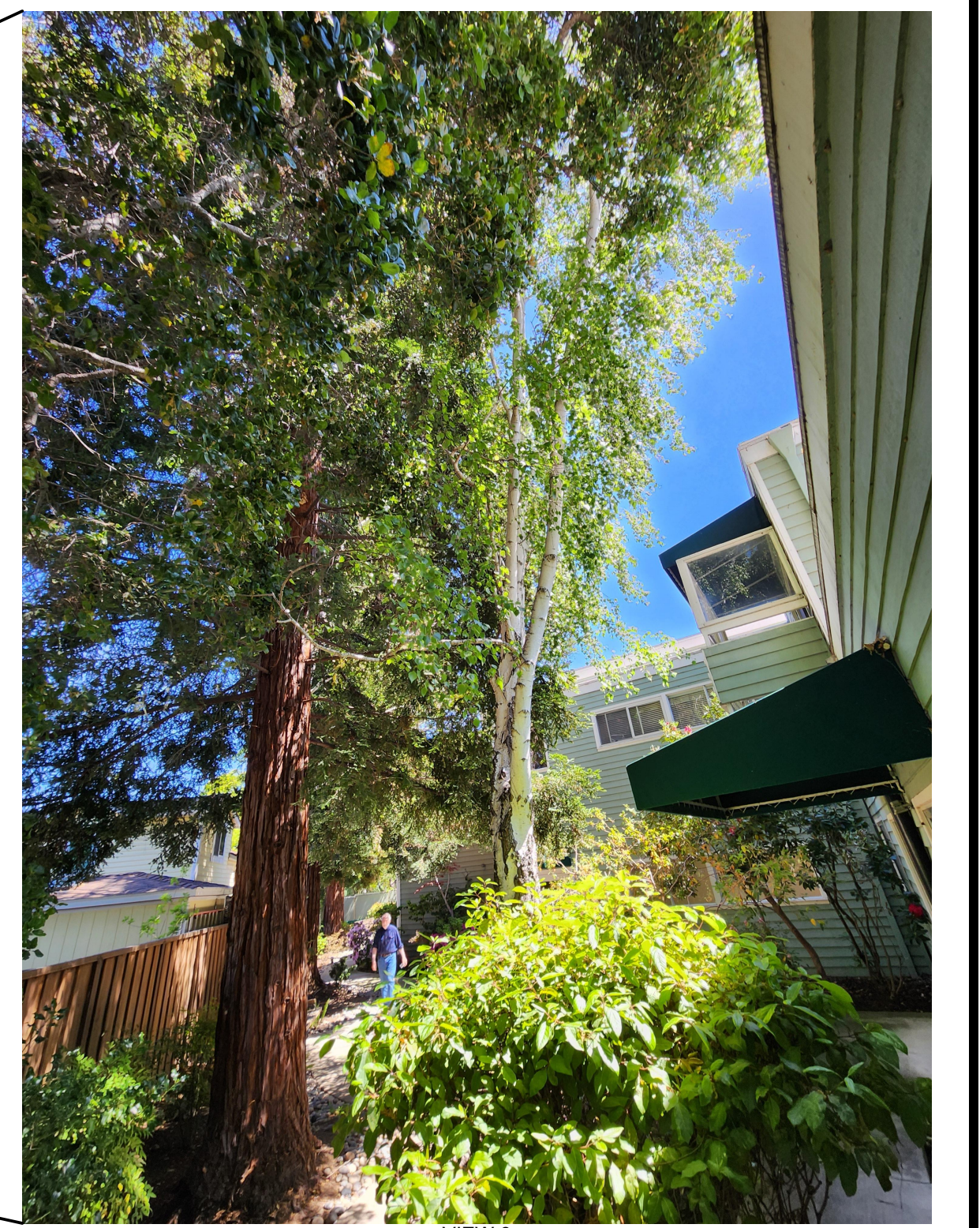
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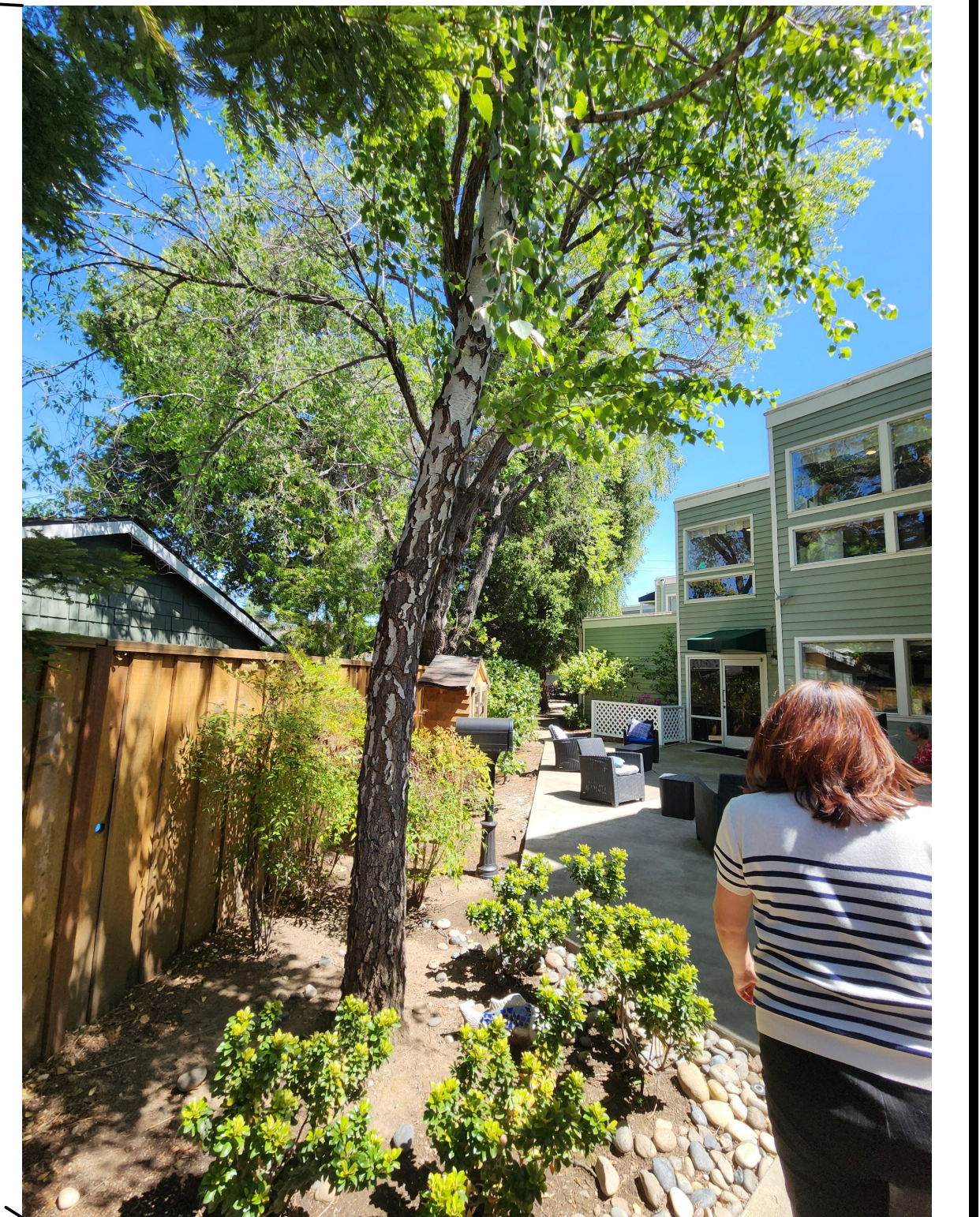
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VIEW 1



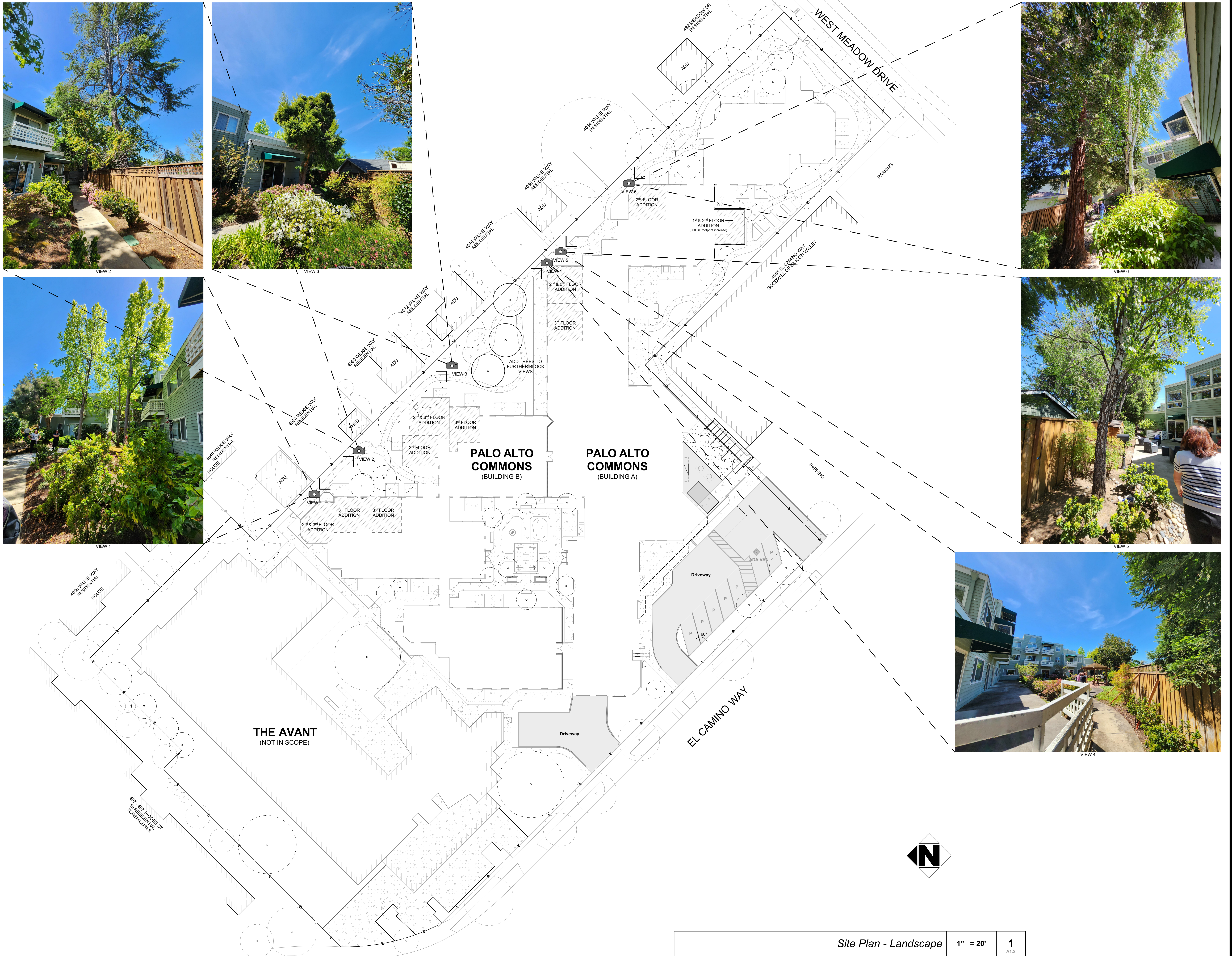
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VIEW 5



VIEW 4

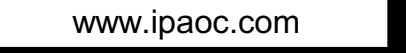


Site Plan - Landscape

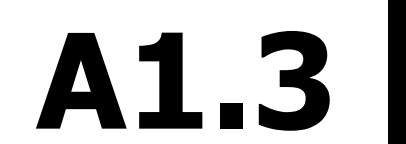
1" = 20'

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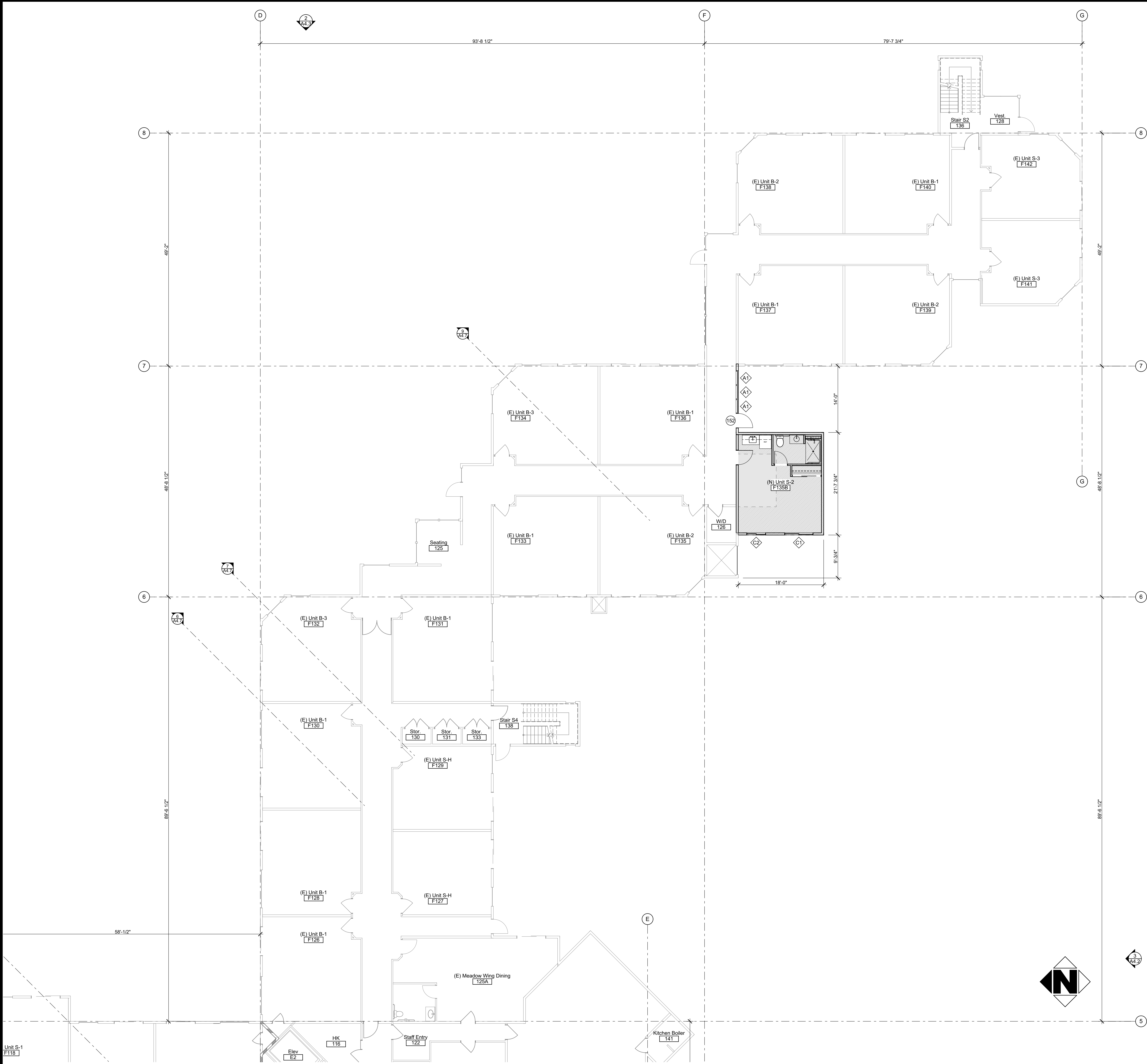
A1.2



PALO ALTO COMMONS
Wellquest Living
4075 El Camino Way, Palo Alto, CA 94306



1



LEGEND AND NOTES

ROOM SYMBOL LEGEND

A	ELEVATION LETTER	XXX	ROOM NAME
XXX	ROOM NUMBER	XXX	ROOM NUMBER
XXX	ENLARGED PLAN NO.	X/A-XX	ENLARGED PLAN NO.
X/A-XX	WALL/FLOOR/BASE		OR FINISH CODE
C	ELEVATION NO./SHEET NO.		

FLOOR PLAN LEGEND

000	NEW DOOR AND FRAME - SEE DOOR SCHEDULE
0	NEW WINDOW AND FRAME - SEE WINDOW SCHEDULE
XX	KEYNOTE NUMBER
	AREA OF WORK (SHADED)
	AREA UNDER SEPARATE PERMIT

WALL LEGEND

EXISTING:	EXISTING WALL TO REMAIN
	EXISTING 2 HR WALL TO REMAIN
	EXISTING SMOKE BARRIER WALL TO REMAIN

NEW:

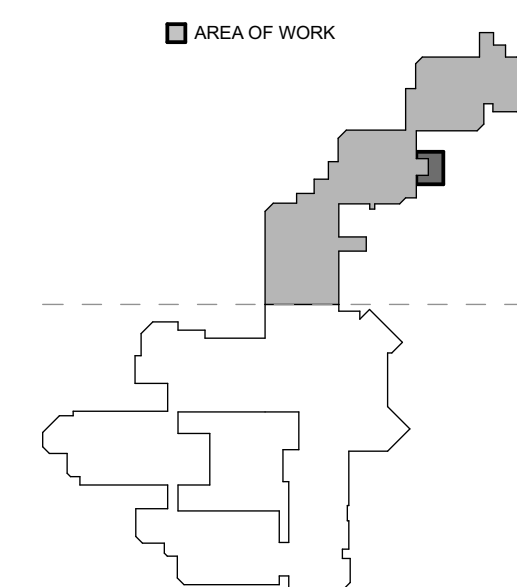
EXTERIOR WALLS	EXTERIOR WALL, 1/A4.1
INTERIOR WALLS	1 HR CORRIDOR WALL, 8/A4.1
	INTERIOR WALL, 7/A4.1, 2/A4.1
	INTERIOR PLUMBING WALL, 7/A4.1, 8/A4.1, 4/A4.1

FLOOR PLAN GENERAL NOTES

- PATCH, REPAIR, AND REPAINT ALL AFFECTED WALLS, FLOORS, AND CEILING TO MATCH SIMILAR EXISTING CONDITIONS.
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FLOOR PLAN KEYNOTES

KEY PLAN



First Floor Plan - Area B

1/8" = 1'-0"

1

A2.1



LEGEND AND NOTES

ROOM SYMBOL LEGEND

A	ELEVATION LETTER	XXX	ROOM NAME
XXX	ROOM NUMBER	XXX	ROOM NUMBER
XXX	WALL/FLOOR/BASE	XXX	ENLARGED PLAN NO.
X/A-XX	ELEVATION NO./SHEET NO.	X/A-XX	SHEET NO.
C			OR FINISH CODE

FLOOR PLAN LEGEND

000	NEW DOOR AND FRAME - SEE DOOR SCHEDULE
0	NEW WINDOW AND FRAME - SEE WINDOW SCHEDULE
XX	KEYNOTE NUMBER
[Shaded Box]	AREA OF WORK (SHADED)
[Hatched Box]	AREA UNDER SEPARATE PERMIT

WALL LEGEND

[Solid Line]	EXISTING WALL TO REMAIN
[Dashed Line]	EXISTING 2 HR WALL TO REMAIN
[Wavy Line]	EXISTING SMOKE BARRIER WALL TO REMAIN

NEW:

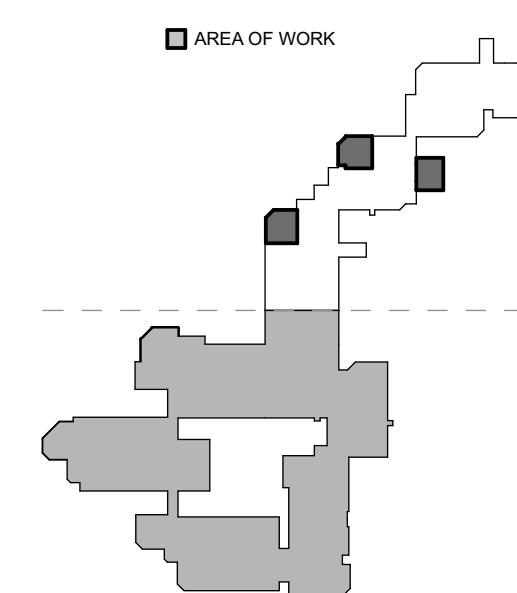
[Solid Line]	EXTERIOR WALLS
[Dashed Line]	EXTERIOR WALL, 1/A4.1
[Dotted Line]	INTERIOR WALLS
[Dashed Line]	1 HR CORRIDOR WALL, 8/A4.1
[Dotted Line]	INTERIOR WALL, 7/A4.1, 2/A4.1
[Hatched Line]	INTERIOR PLUMBING WALL, 7/A4.1, 8/A4.1, 4/A4.1

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FLOOR PLAN KEYNOTES

KEY PLAN

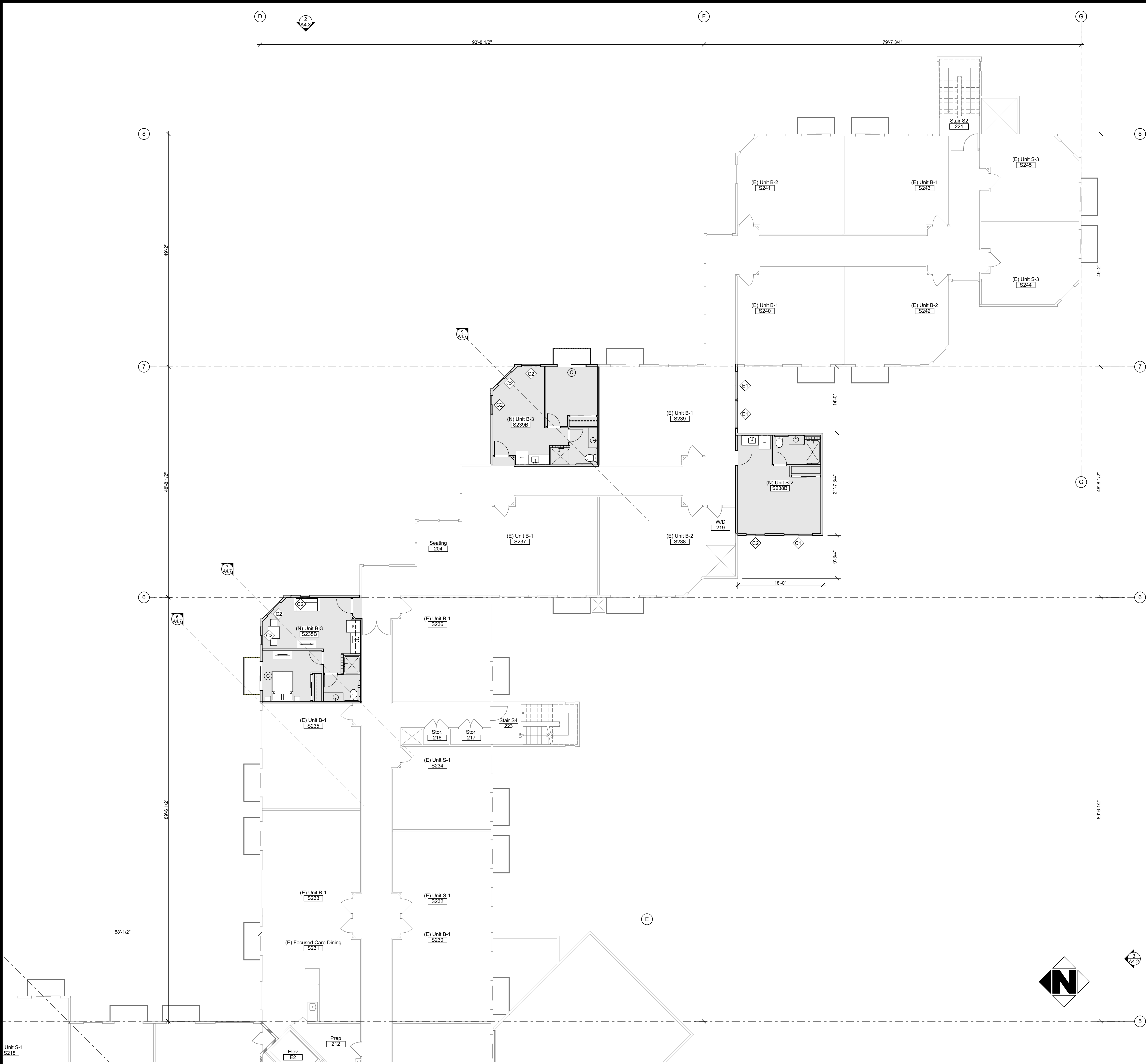


Second Floor Plan - Area A

1/8" = 1'-0"

1

A2.2



LEGEND AND NOTES

ROOM SYMBOL LEGEND

A	ELEVATION LETTER	XXX	ROOM NAME
XXX	ROOM NUMBER	XXX	ROOM NUMBER
XXX	ENLARGED PLAN NO.	X/A-XX	SHEET NO.
X/A-XX	OR FINISH CODE		
C	ELEVATION NO./SHEET NO.		

FLOOR PLAN LEGEND

000	NEW DOOR AND FRAME - SEE DOOR SCHEDULE
0	NEW WINDOW AND FRAME - SEE WINDOW SCHEDULE
XX	KEYNOTE NUMBER
	AREA OF WORK (SHADED)
	AREA UNDER SEPARATE PERMIT

WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING 2 HR WALL TO REMAIN
	EXISTING SMOKE BARRIER WALL TO REMAIN

NEW:

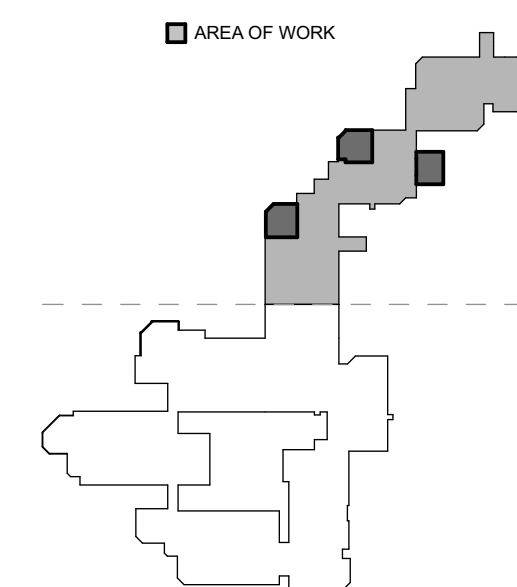
	EXTERIOR WALLS
	EXTERIOR WALL, 1/A4.1
	INTERIOR WALLS
	1 HR CORRIDOR WALL, 8/A4.1
	INTERIOR WALL, 7/A4.1, 2/A4.1
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FLOOR PLAN GENERAL NOTES

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FLOOR PLAN KEYNOTES

KEY PLAN



Second Floor Plan - Area B

1/8" = 1'-0"

1

A2.3



LEGEND AND NOTES

ROOM SYMBOL LEGEND

A	ELEVATION LETTER	XXX	ROOM NAME
XXX	ROOM NUMBER	XXX	ROOM NUMBER
XXX	WALL/FLOOR/BASE	XXX	ENLARGED PLAN NO.
X/A-XX	ELEVATION NO./SHEET NO.	X/A-XX	SHEET NO.
C			OR FINISH CODE

FLOOR PLAN LEGEND

000	NEW DOOR AND FRAME - SEE DOOR SCHEDULE
0	NEW WINDOW AND FRAME - SEE WINDOW SCHEDULE
XX	KEYNOTE NUMBER
	AREA OF WORK (SHADED)
	AREA UNDER SEPARATE PERMIT

WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING 2 HR WALL TO REMAIN
	EXISTING SMOKE BARRIER WALL TO REMAIN

NEW:	
EXTERIOR WALLS	EXTERIOR WALL, 1/A4.1
INTERIOR WALLS	
	1 HR CORRIDOR WALL, 8/A4.1
	INTERIOR WALL, 7/A4.1, 2/A4.1
	INTERIOR PLUMBING WALL, 7/A4.1, 8/A4.1, 4/A4.1

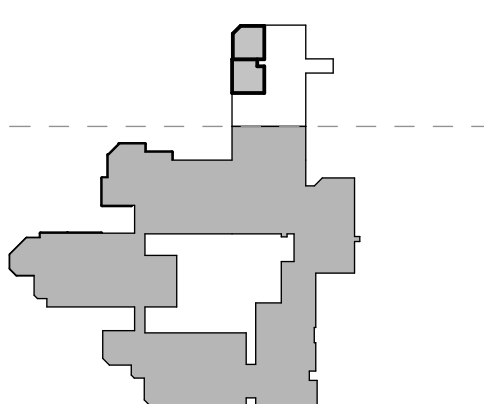
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FLOOR PLAN KEYNOTES

KEY PLAN

AREA OF WORK

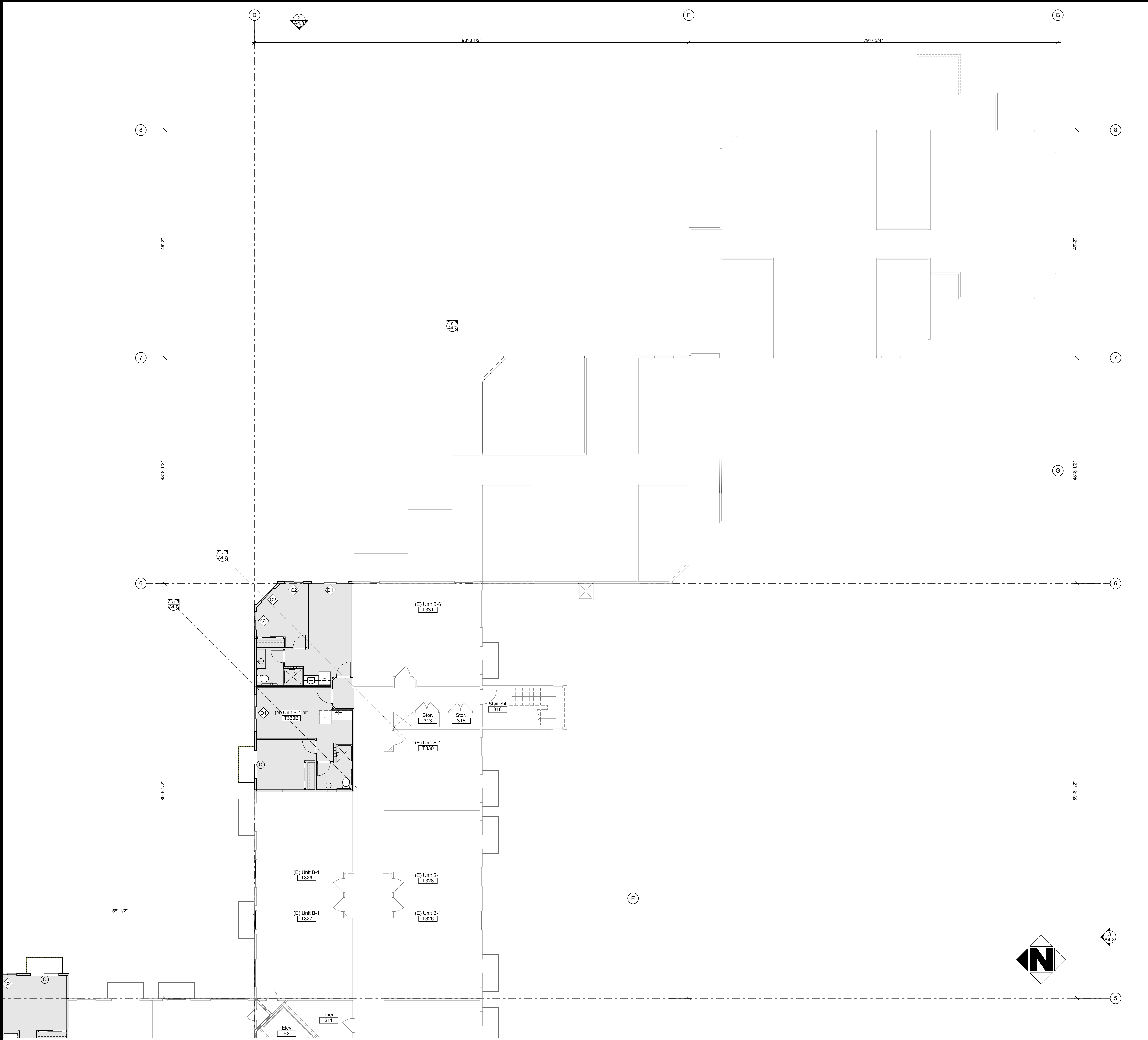


Third Floor Plan - Area A

1/8" = 1'-0"

1

A2.4



LEGEND AND NOTES

ROOM SYMBOL LEGEND

A	ELEVATION LETTER	XXX	ROOM NAME
XXX	ROOM NUMBER	XXX	ROOM NUMBER
XXX	ENLARGED PLAN NO.	X/A-XX	ENLARGED PLAN NO. / SHEET NO. OR FINISH CODE
X/A-XX	WALL/FLOOR/BASE		
C	ELEVATION NO./SHEET NO.		

FLOOR PLAN LEGEND

000	NEW DOOR AND FRAME - SEE DOOR SCHEDULE
0	NEW WINDOW AND FRAME - SEE WINDOW SCHEDULE
XX	KEYNOTE NUMBER
	AREA OF WORK (SHADED)
	AREA UNDER SEPARATE PERMIT

WALL LEGEND

EXISTING:

- EXISTING WALL TO REMAIN
- EXISTING 2 HR WALL TO REMAIN
- EXISTING SMOKE BARRIER WALL TO REMAIN

NEW:

EXTERIOR WALLS

- EXTERIOR WALL, 1/A4.1

INTERIOR WALLS

- 1 HR CORRIDOR WALL, 8/A4.1
- INTERIOR WALL, 7/A4.1, 2/A4.1
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- CONTRACTOR SHALL PROVIDE PROTECTION FOR PEDESTRIAN TRAFFIC AROUND AREA OF DEMOLITION.
- CONTRACTOR MAY NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER OCCUPIED PARTS OF THE EXISTING FACILITY, WITHOUT AUTHORIZATION FROM THE OWNER.

FLOOR PLAN KEYNOTES

KEY PLAN

AREA OF WORK

Third Floor Plan - Area B

1/8" = 1'-0"

1
A2.5

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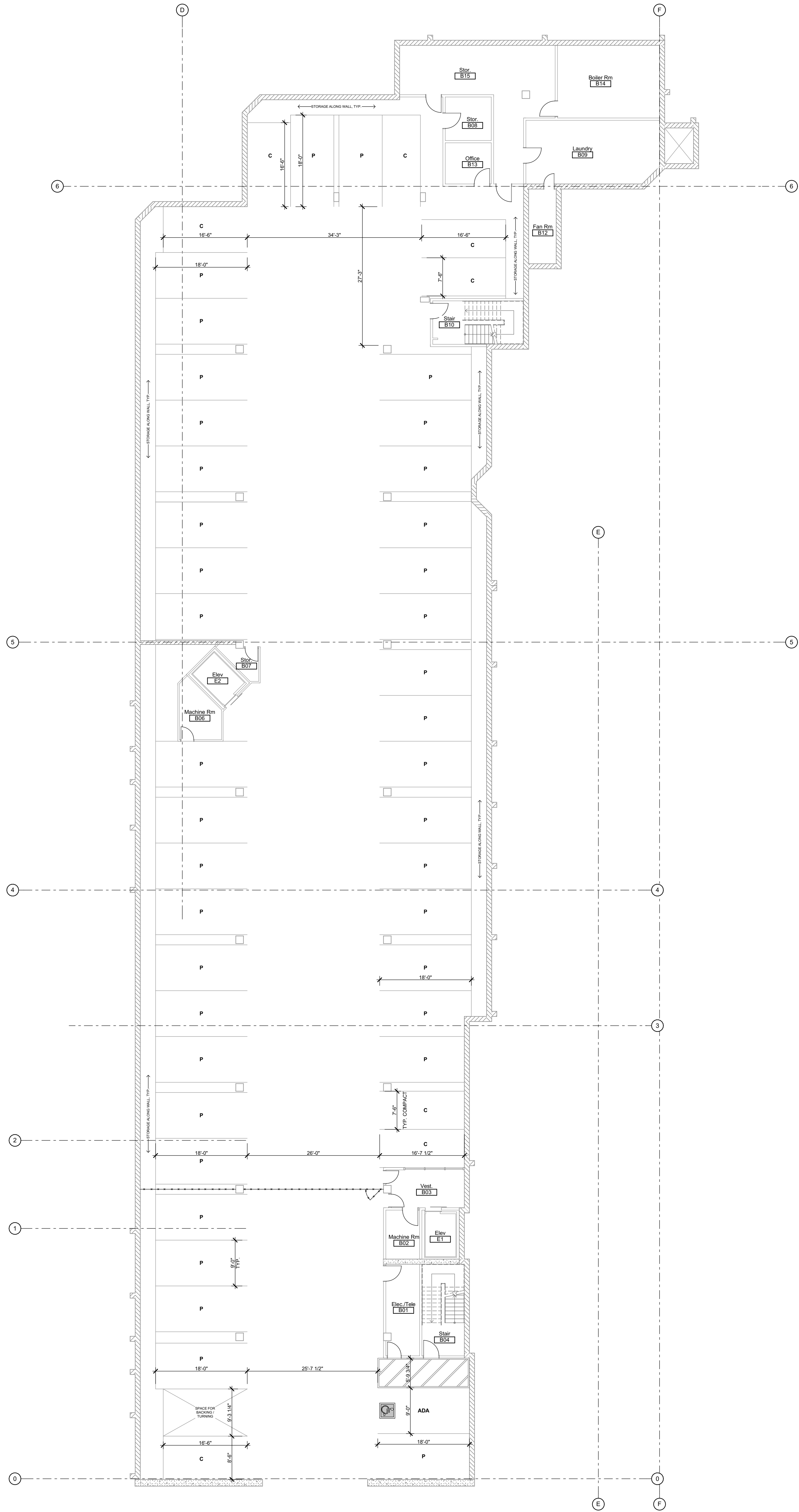
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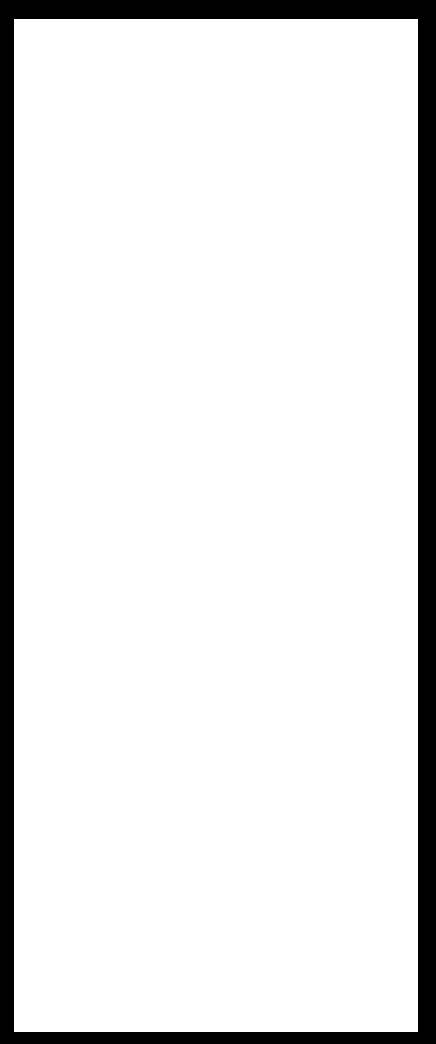
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DATE OF ISSUE: 10/27/2022

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DRAWING DESCRIPTION	
Third Floor Plan Area B	
DRAWING NUMBER	

A2.5





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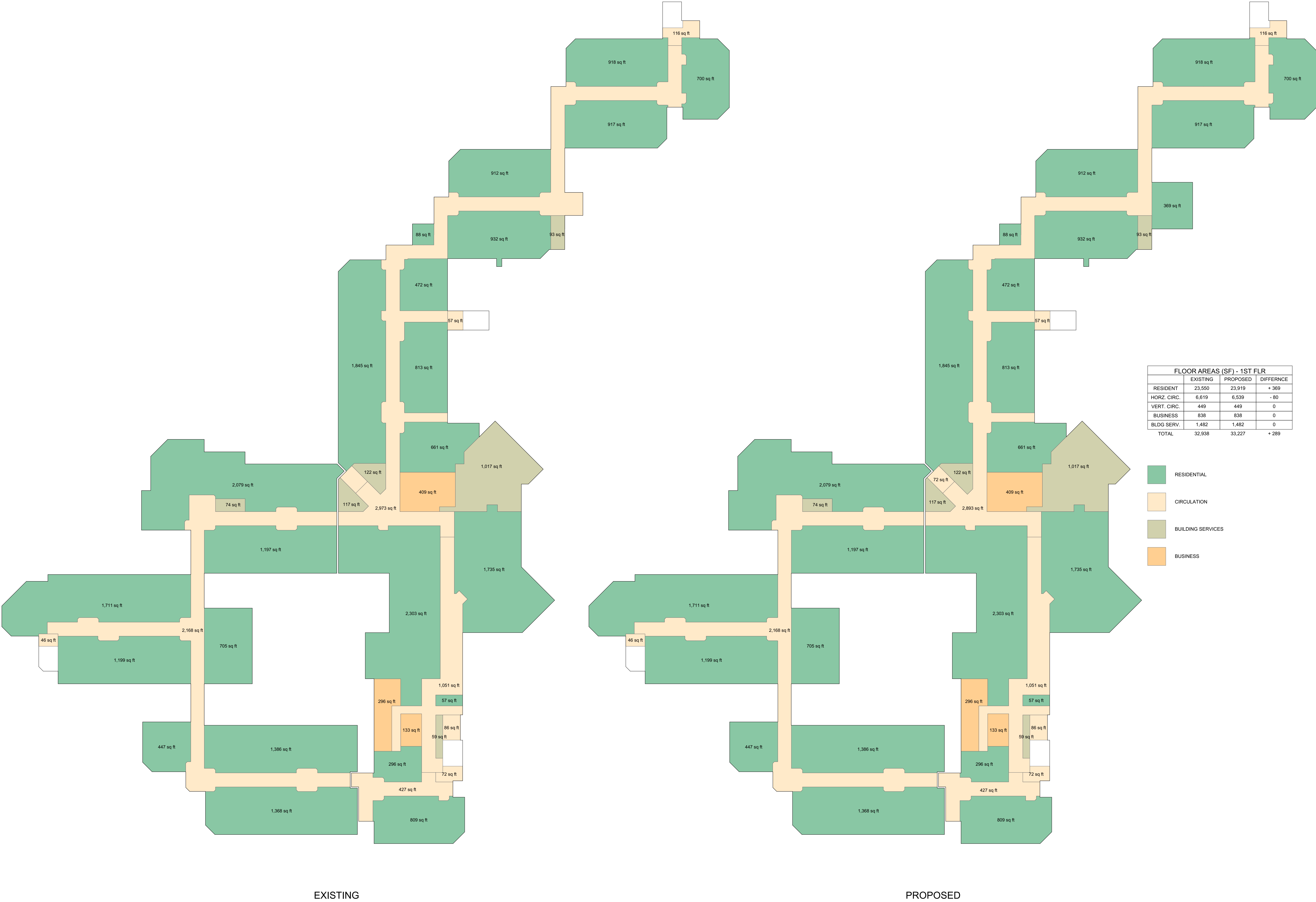
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Floor Area Block
Diagrams - 1st FLR

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A2.7





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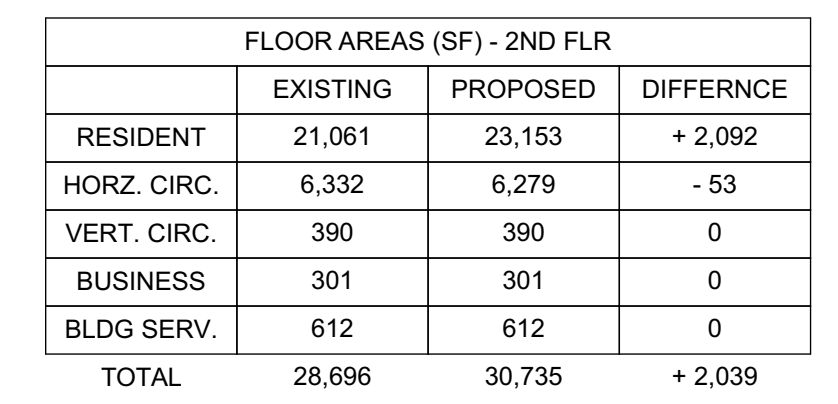
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Floor Area Block Diagrams - 2nd FLR

	DRAWING NUMBER
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A2.8



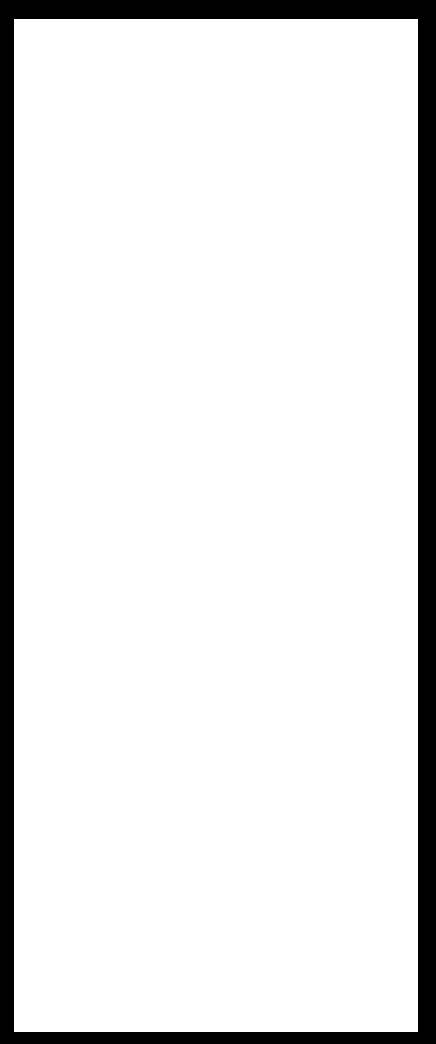
PROPOSED

Floor Area Block Diagram - 2nd FLR 1.

2	$1/16'' = 1'-0''$
---	-------------------

1

A2.8



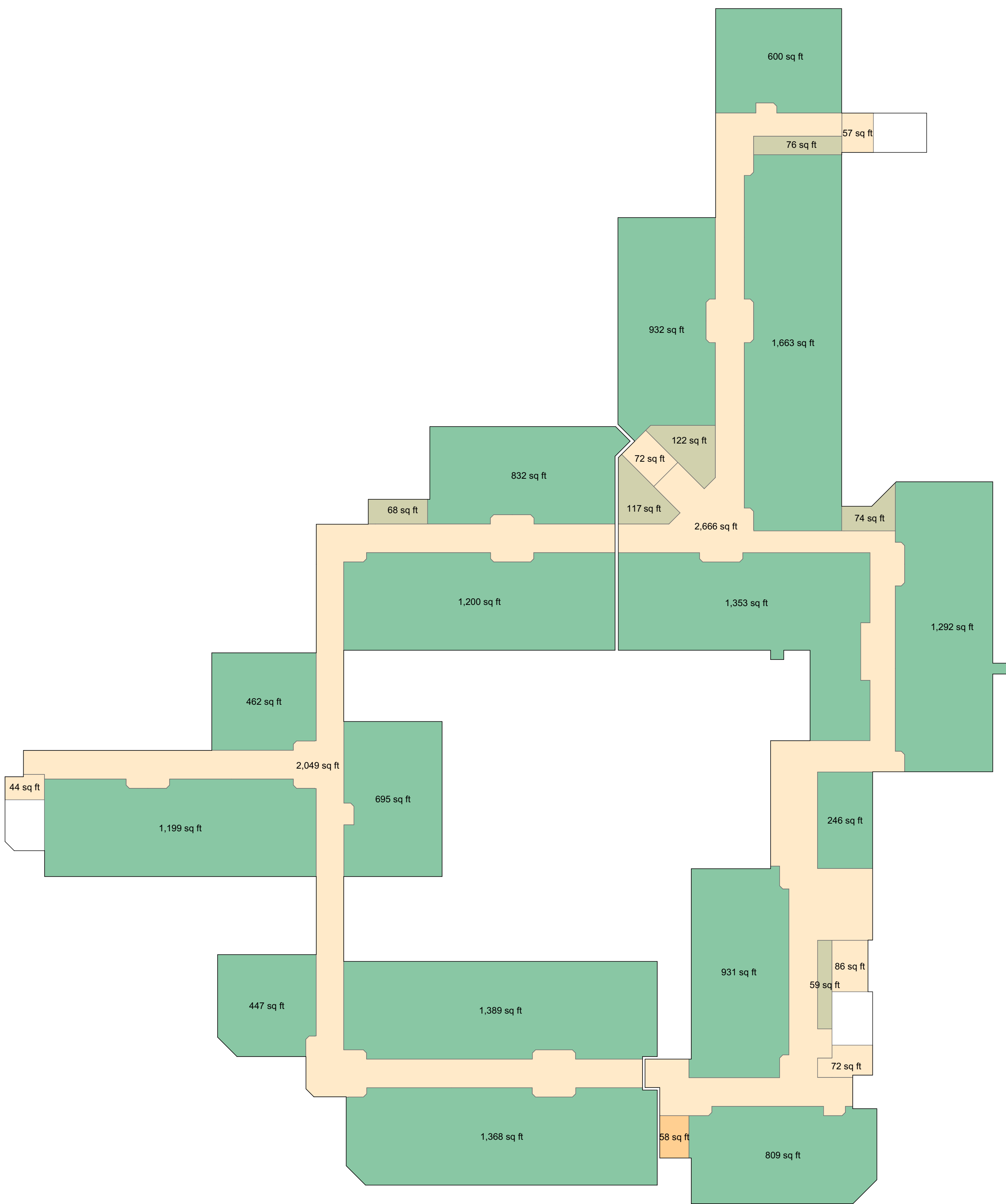
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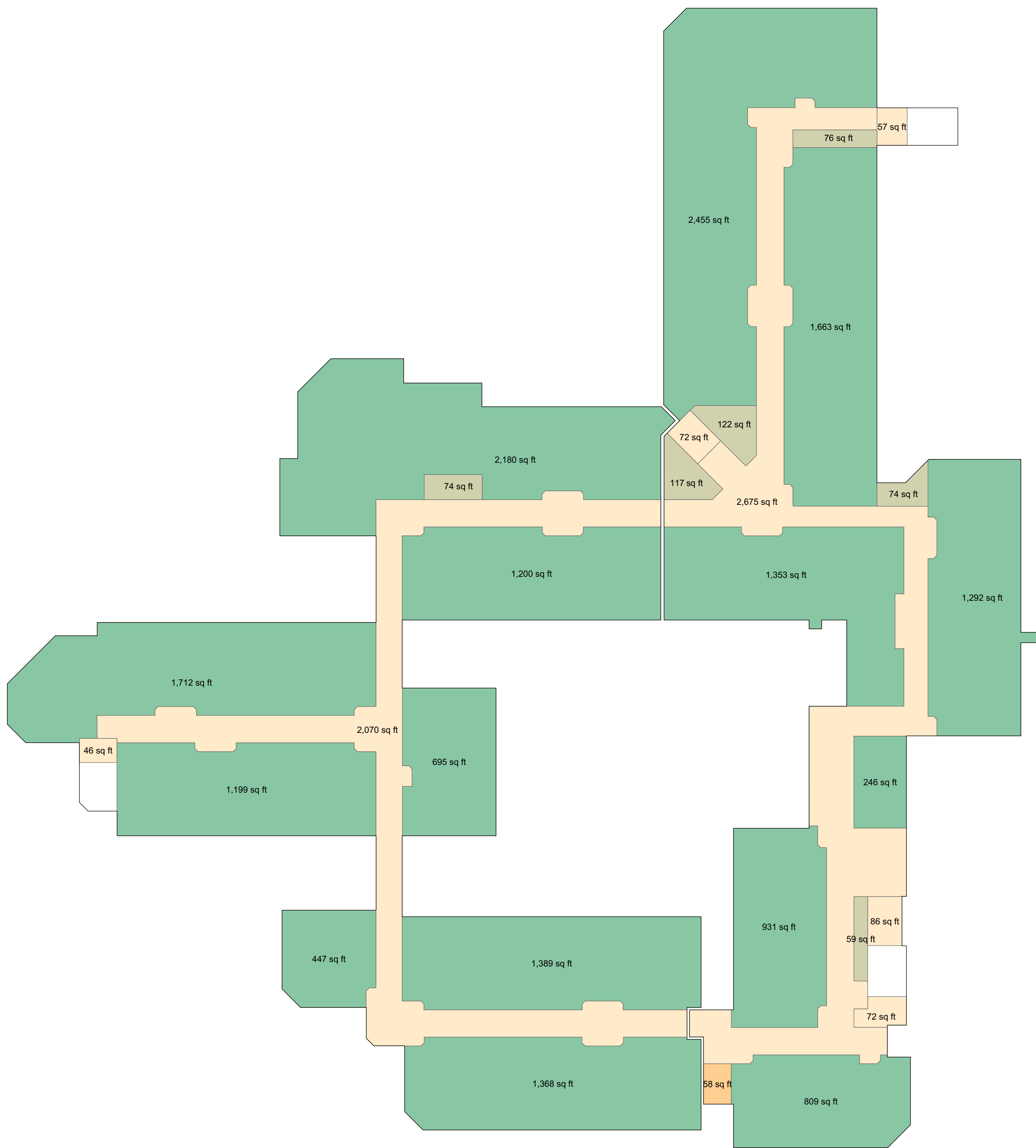
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DRAWING DESCRIPTION	
Floor Area Block Diagrams - 3rd FLR	
DRAWING NUMBER	

A2.9



EXISTING



PROPOSED

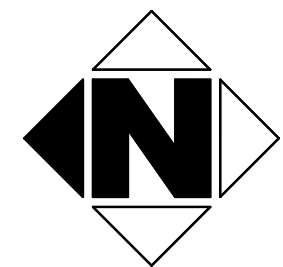
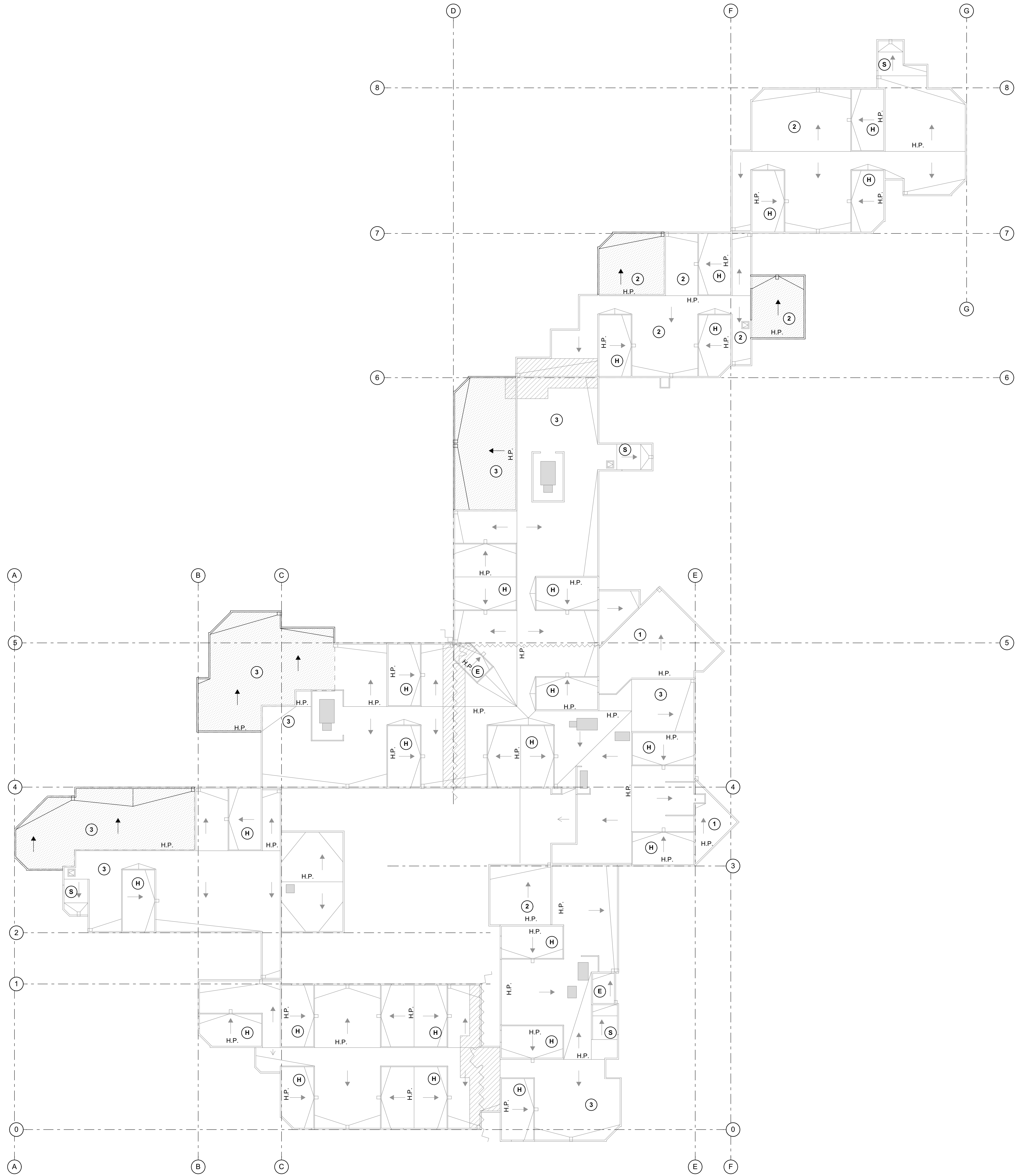
FLOOR AREAS (SF) - 3RD FLR			
	EXISTING	PROPOSED	DIFFERENCE
RESIDENT	15,418	18,939	+ 3,521
HORZ. CIRC.	4,713	4,745	+ 32
VERT. CIRC.	333	333	0
BUSINESS	58	58	0
BLDG SERV.	516	522	+ 6
TOTAL	21,038	24,597	+ 3,559

- RESIDENTIAL

CIRCULATION

BUILDING SERVICES

BUSINESS



LEGEND AND NOTES

- ROOF PLAN LEGEND**
- DOWNSPOUT (E)
 - ROOF SLOPE DOWN, 1/4:12 TYP., U.N.O.
 - KEYNOTE NUMBER
 - SMOKE BARRIER WALL BELOW
 - AREA OF PROPOSED WORK
 - AREA OF 5' (EA SIDE) OF AREA SEPERATION WALL. NO ROOF PENETRATIONS WITHIN THIS AREA ARE ALLOWED
 - MECHANICAL EQUIPMENT @ ROOF
 - ROOF ACCESS HATCH (NON-RATED) ACCESS FOR HVAC EQUIPMENT - 30" x 30" w/ LADDER

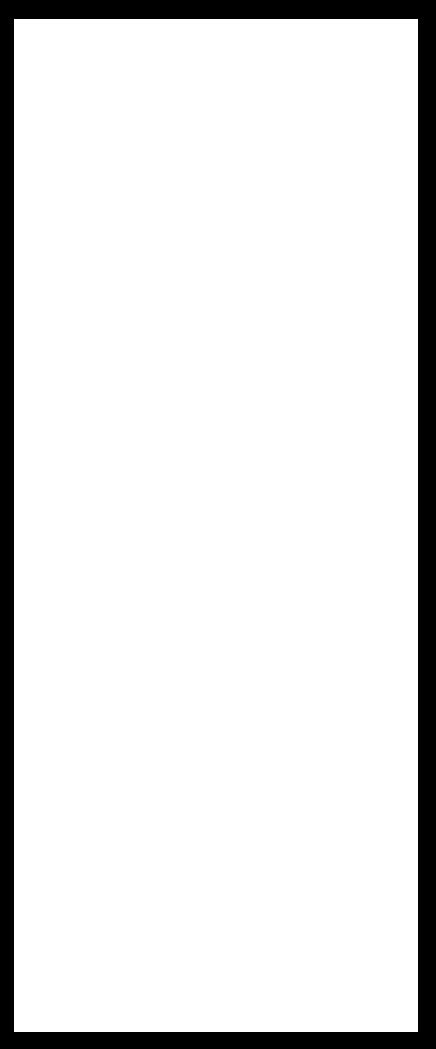
- ROOF PLAN KEYNOTES**
- 1 ROOF @ ONE STORY
 - 2 ROOF @ TWO STORY
 - 3 ROOF @ THREE STORY
 - H RAISED HIGH ROOF
 - S ROOF @ STAIR
 - E ROOF @ ELEVATOR

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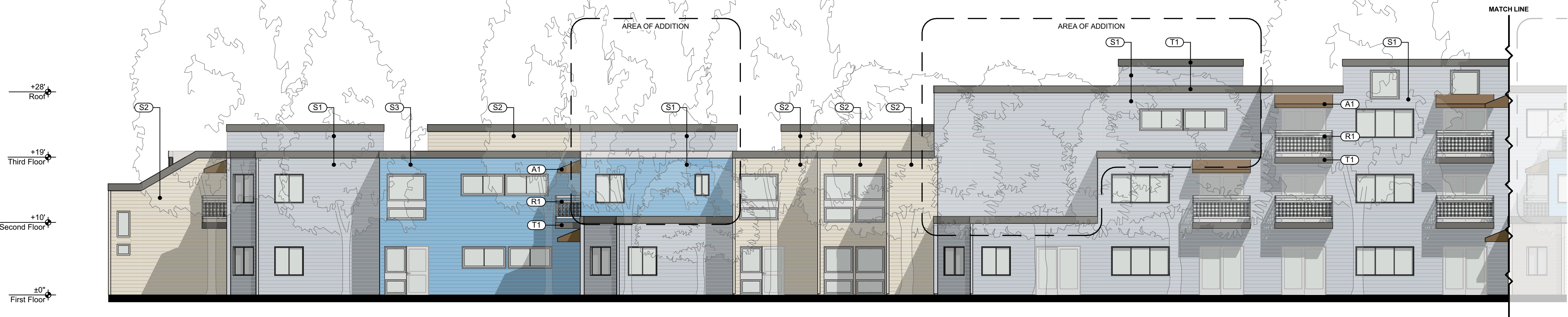
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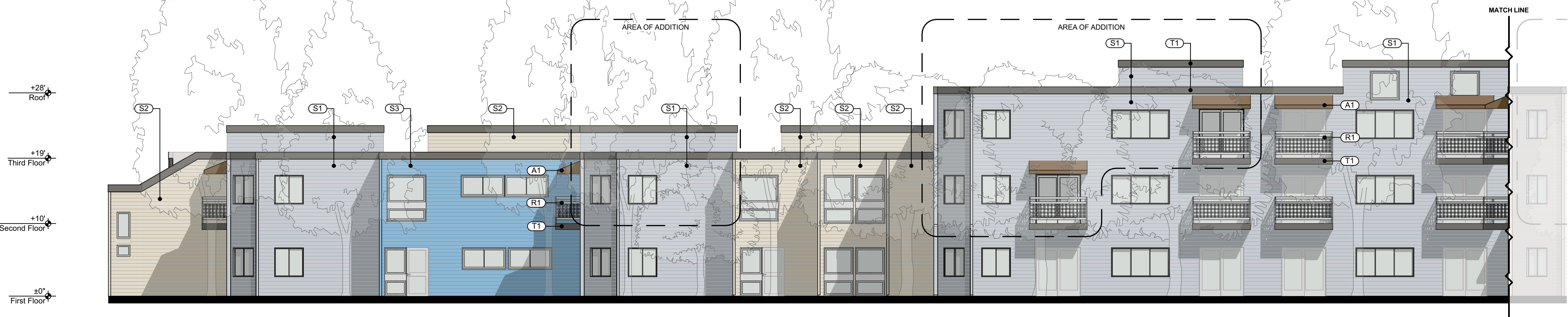
Roof Plan

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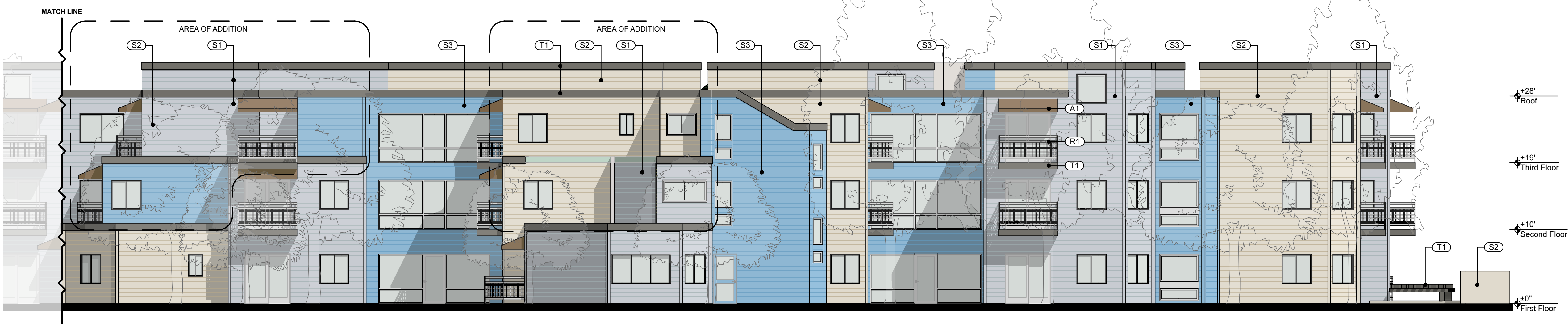
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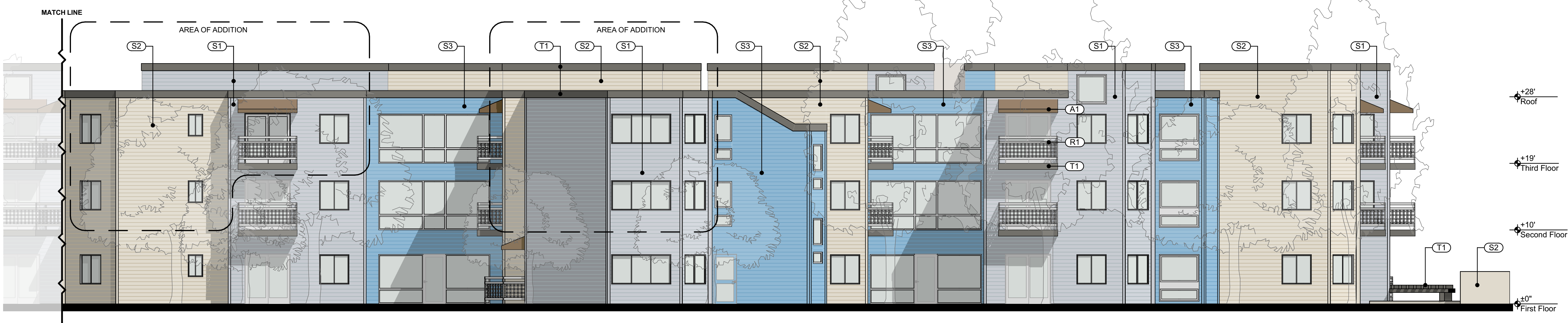
North Elevation - Existing 1/8" = 1'-0" 4
A4.1



North Elevation - Proposed 1/8" = 1'-0" 3
A4.1



North Elevation - Existing 1/8" = 1'-0" 2
A4.1



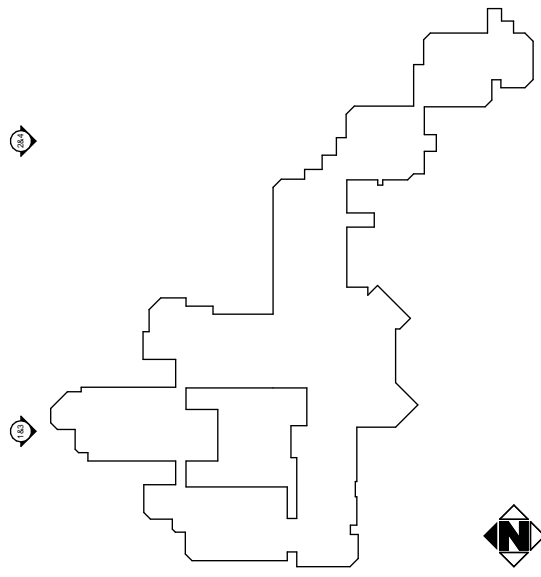
North Elevation - Proposed 1/8" = 1'-0" 1
A4.1

LEGEND AND NOTES

EXTERIOR FINISHES

SIDING 1 - SILVER SPRINGS DUNN-EDWARDS DE6346	(S1)	
SIDING 2 - HEATHER DUNN-EDWARDS DEC773	(S2)	
SIDING 3 - WANDERING RIVER DUNN-EDWARDS DE359	(S3)	
RAILING - PRECIOUS PEARLS DUNN-EDWARDS DEW386	(R1)	
TRIM - RENWICK BROWN DUNN-EDWARDS DET630	(T1)	
AWNING - COCOA SUNBRELLA SHADE 4678-0000	(A1)	

KEY PLAN



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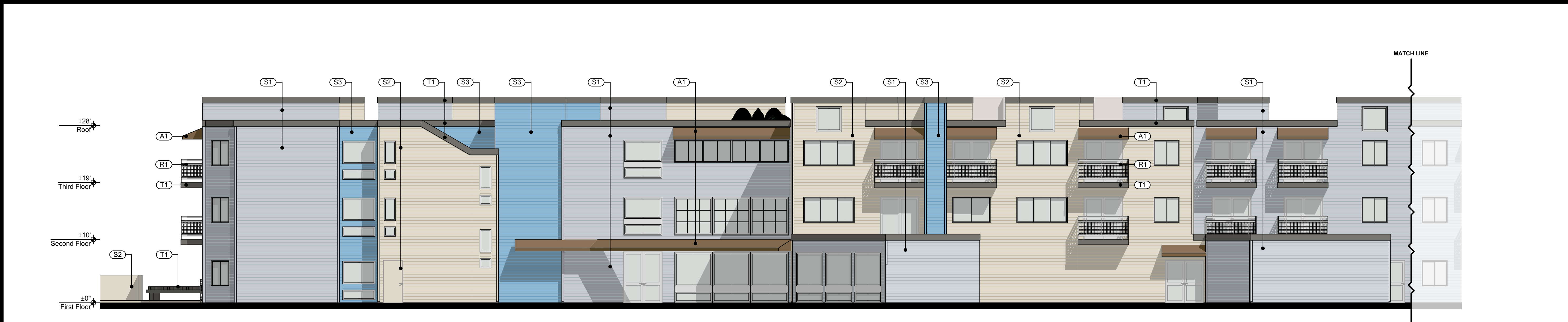
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PROJECT:	21003
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DRAWING DESCRIPTION	Exterior Building Elevations - North
DRAWING NUMBER	A4.1

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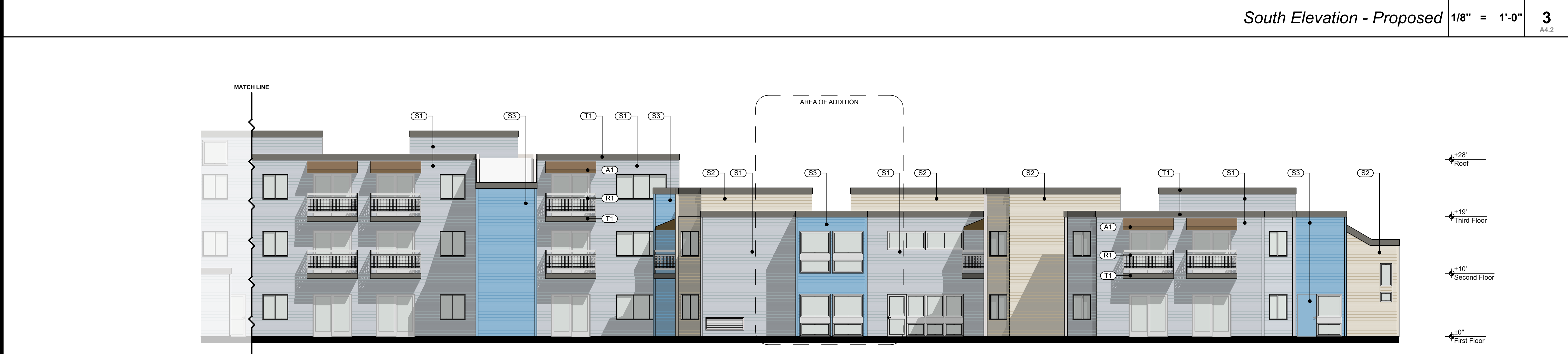
South Elevation - Existing 1/8" = 1'-0"

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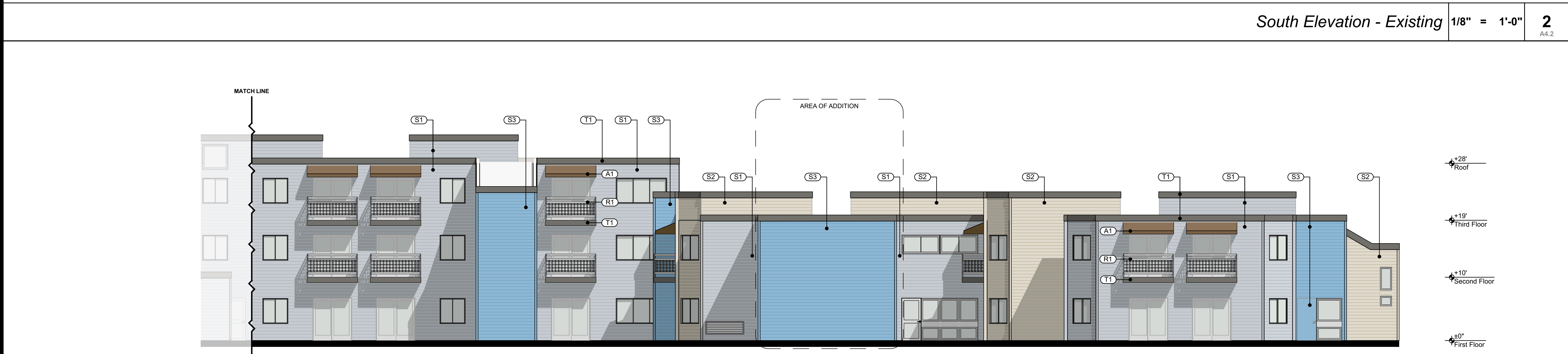
South Elevation - Proposed 1/8" = 1'-0"

3



South Elevation - Existing 1/8" = 1'-0"

2



South Elevation - Proposed 1/8" = 1'-0"

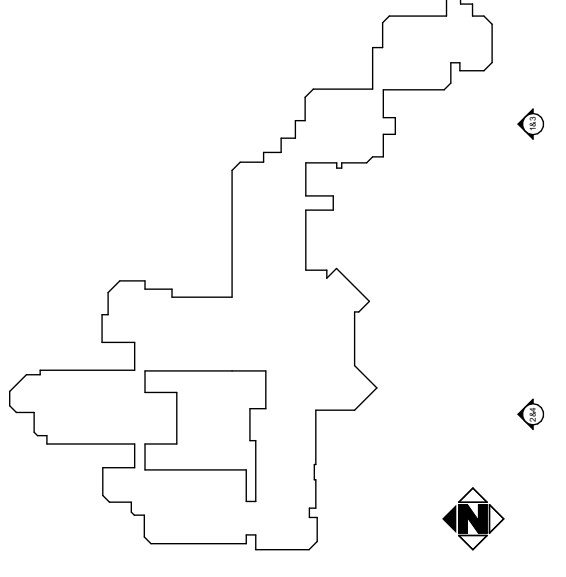
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LEGEND AND NOTES

EXTERIOR FINISHES

SIDING 1 - SILVER SPRINGS DUNN-EDWARDS DE6346	(S1)	
SIDING 2 - HEATHER DUNN-EDWARDS DEC773	(S2)	
SIDING 3 - WANDERING RIVER DUNN-EDWARDS DE359	(S3)	
RAILING - PRECIOUS PEARLS DUNN-EDWARDS DEW386	(R1)	
TRIM - RENWICK BROWN DUNN-EDWARDS DET630	(T1)	
AWNING - COCOA SUNBRELLA SHADE 4678-0000	(A1)	

KEY PLAN

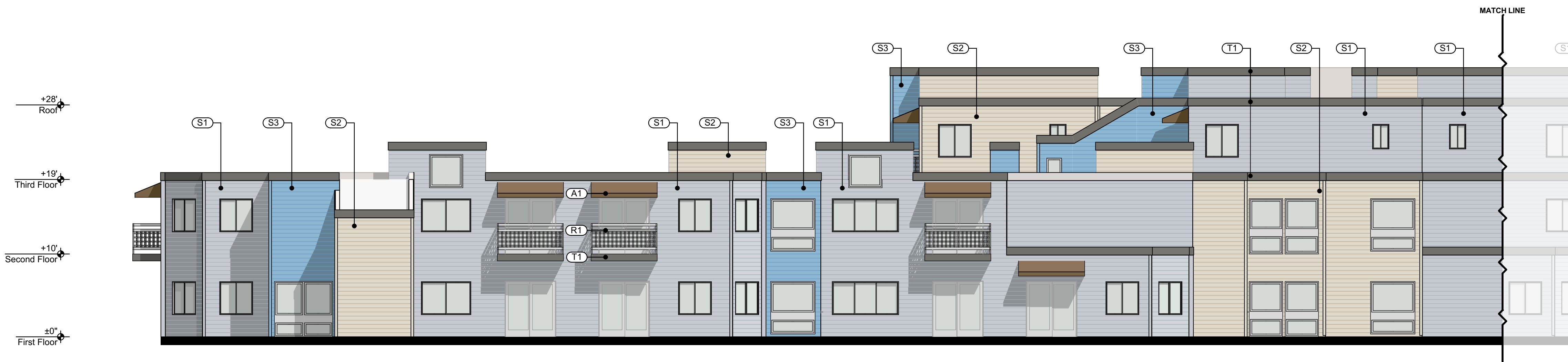


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MELISA PERCE
No. C 25539
EXPIRES 05/31/2025
STATE OF CALIFORNIA

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DATE OF ISSUE: 10/27/2022
DRAWING DESCRIPTION
Exterior Building Elevations - South
DRAWING NUMBER
A4.2



East Elevation - Existing

1/8" = 1'-0"

4



East Elevation - Proposed

1/8" = 1'-0"

3



East Elevation - Existing

1/8" = 1'-0"

2



East Elevation - Proposed

1/8" = 1'-0"

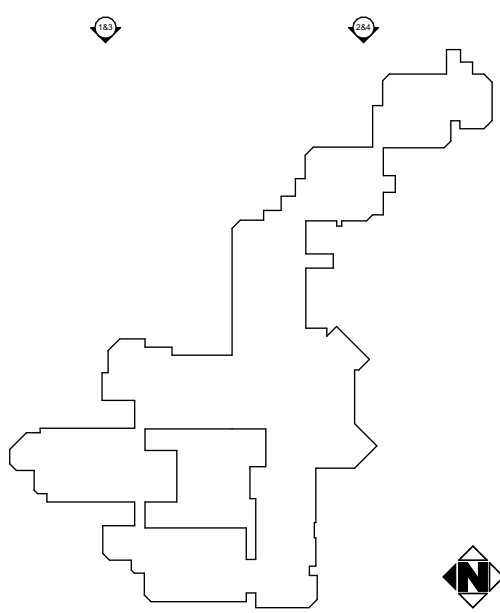
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LEGEND AND NOTES

EXTERIOR FINISHES

SIDING 1 - SILVER SPRINGS DUNN-EDWARDS DE6346	(S1)	
SIDING 2 - HEATHER DUNN-EDWARDS DEC773	(S2)	
SIDING 3 - WANDERING RIVER DUNN-EDWARDS DE3550	(S3)	
RAILING - PRECIOUS PEARLS DUNN-EDWARDS DEW386	(R1)	
TRIM - RENWICK BROWN DUNN-EDWARDS DET630	(T1)	
AWNING - COCOA SUNBRELLA SHADE 4678-0000	(A1)	

KEY PLAN



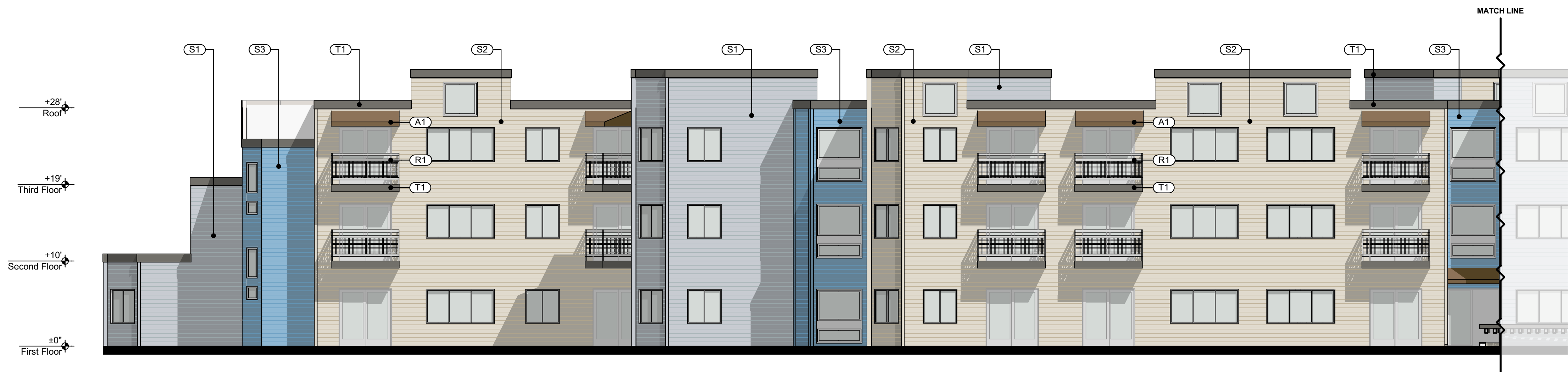
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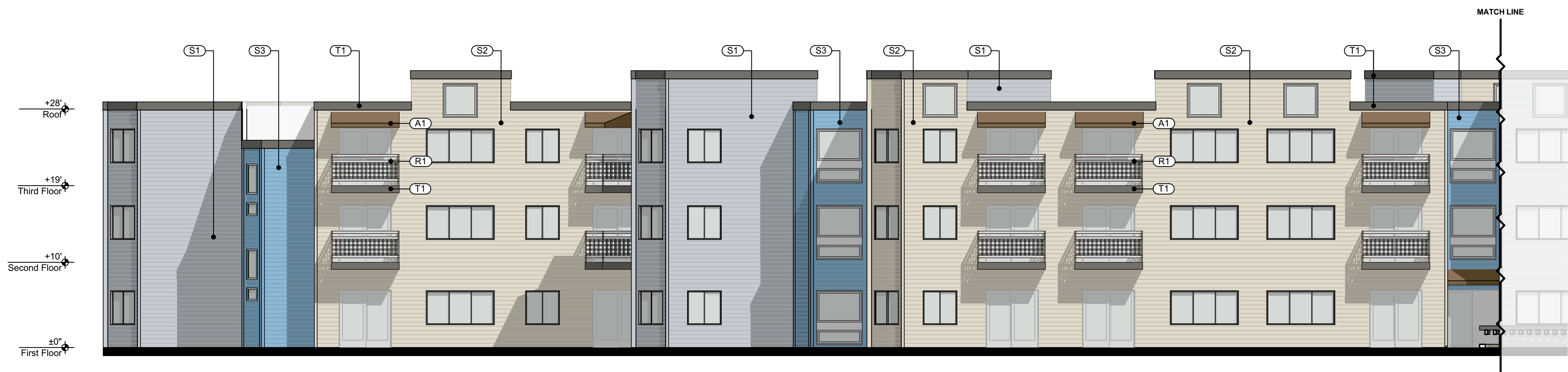


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DRAWING DESCRIPTION	Exterior Building Elevations - East
DRAWING NUMBER	A4.3

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West Elevation - Existing 1/8" = 1'-0" 4



West Elevation - Proposed 1/8" = 1'-0" 3



West Elevation - Existing 1/8" = 1'-0" 2



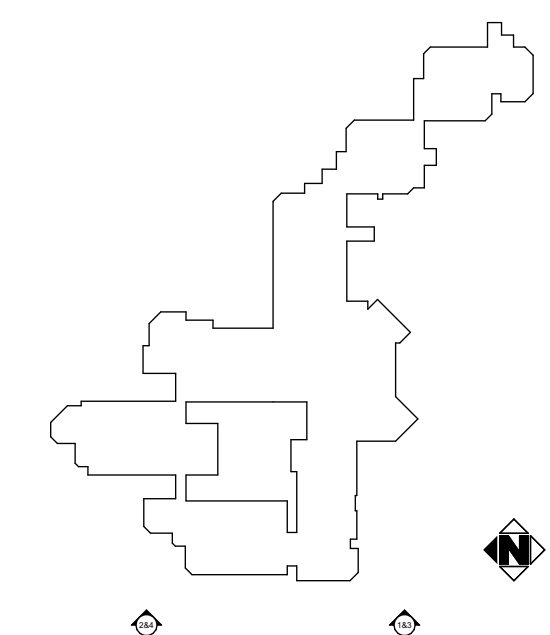
West Elevation - Proposed 1/8" = 1'-0" 1

LEGEND AND NOTES

EXTERIOR FINISHES

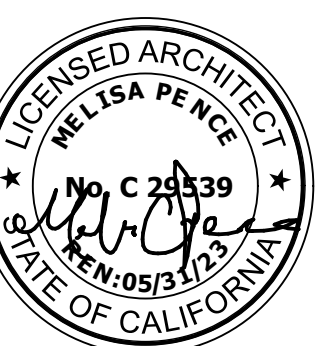
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SIDING 2 - HEATHER DUNN-EDWARDS DEC773	(S2)	
SIDING 3 - WANDERING RIVER DUNN-EDWARDS DE3550	(S3)	
RAILING - PRECIOUS PEARLS DUNN-EDWARDS DEW386	(R1)	
TRIM - RENWICK BROWN DUNN-EDWARDS DET630	(T1)	
AWNING - COCOA SUNBRELLA SHADE 4678-0000	(A1)	

KEY PLAN



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Exterior Building Elevations - West	
DRAWING NUMBER	
A4.4	

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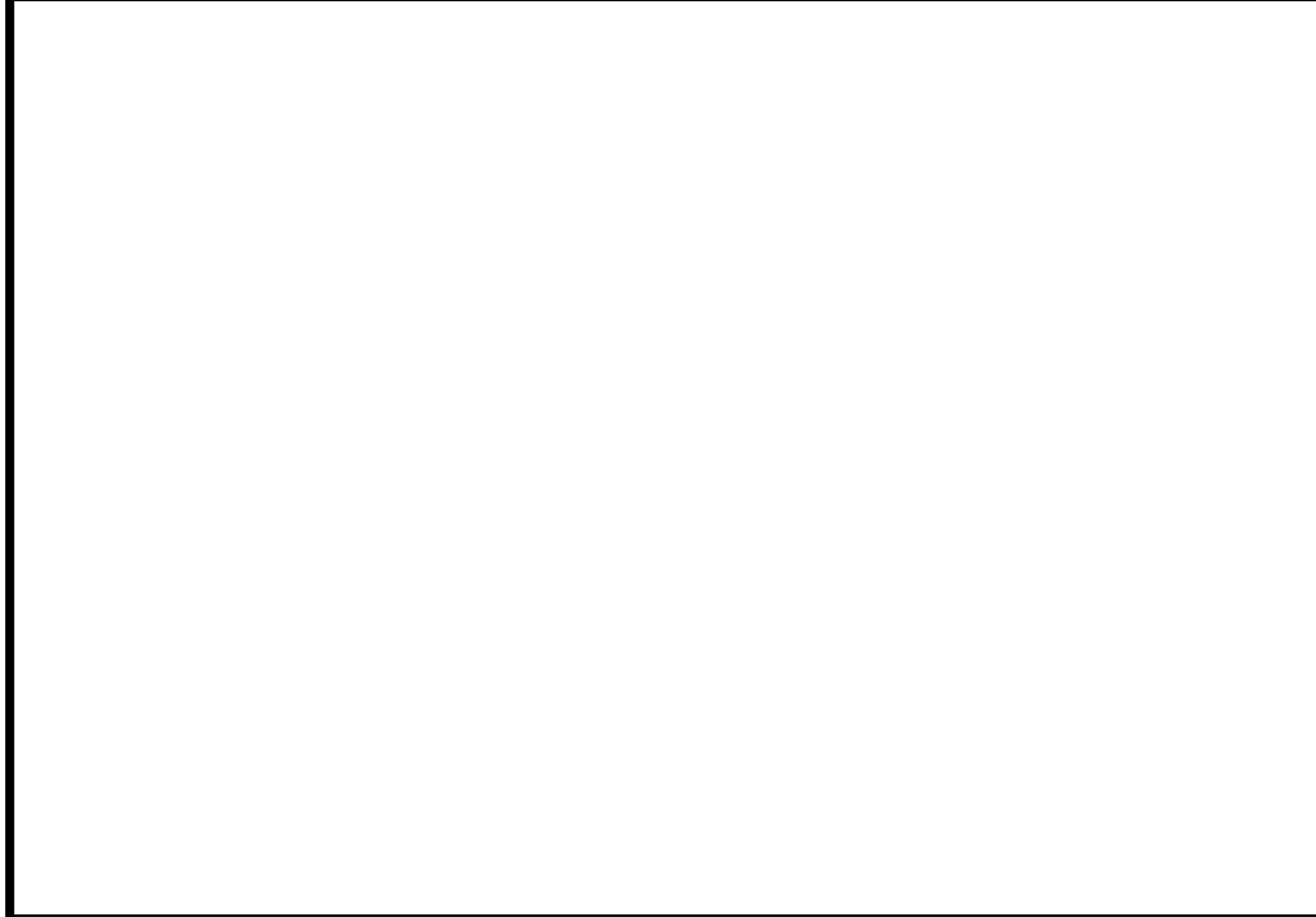
South Courtyard Elevation - Existing 1/8" = 1'-0" 4

LEGEND AND NOTES

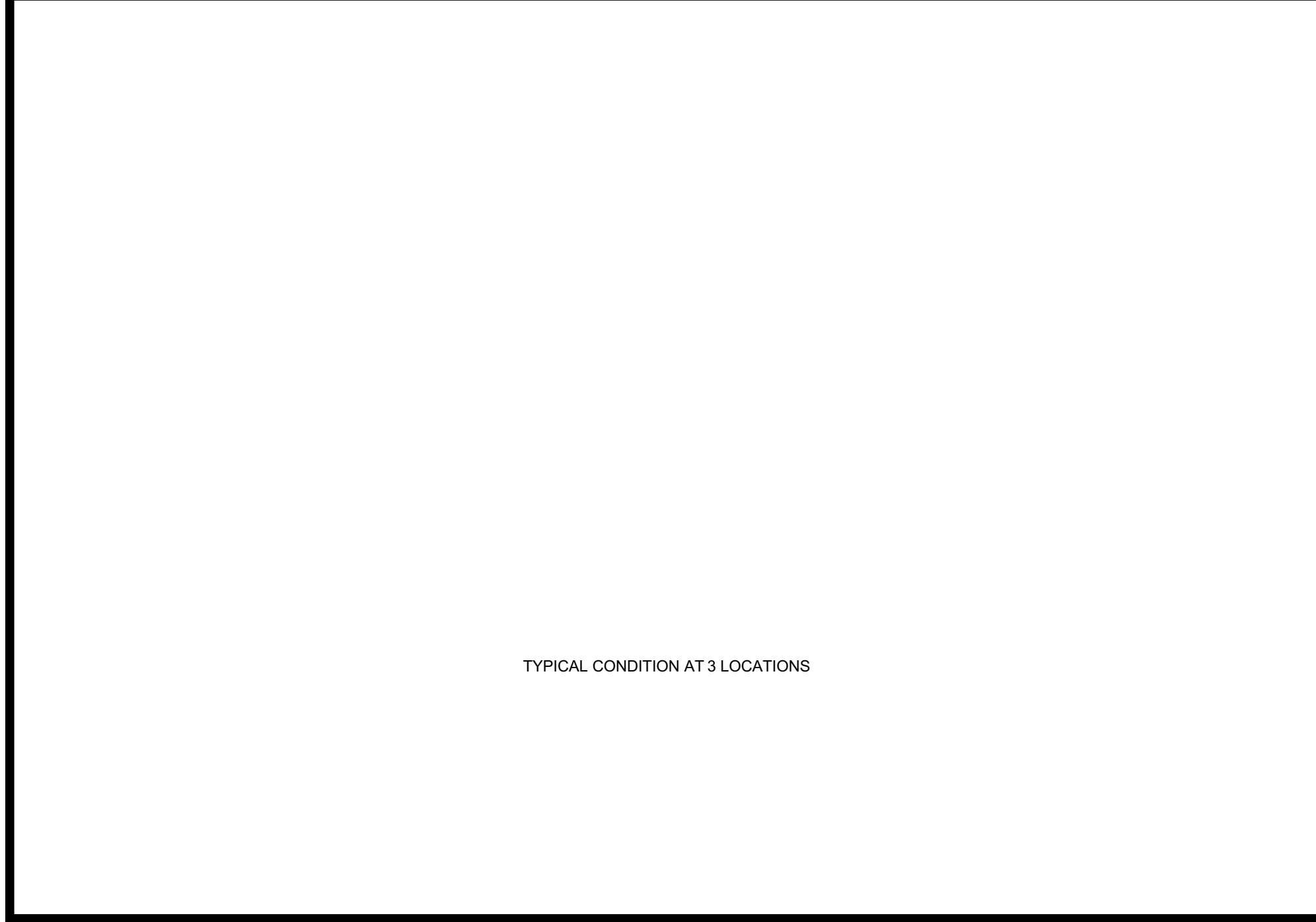
EXTERIOR FINISHES		
SIDING 1 - SILVER SPRINGS DUNN-EDWARDS DE6346	(S1)	
SIDING 2 - HEATHER DUNN-EDWARDS DEC773	(S2)	
SIDING 3 - WANDERING RIVER DUNN-EDWARDS DE3550	(S3)	
RAILING - PRECIOUS PEARLS DUNN-EDWARDS DEW386	(R1)	
TRIM - RENWICK BROWN DUNN-EDWARDS DET630	(T1)	
AWNING - COCOA SUNBRELLA SHADE 4678-0000	(A1)	



South Courtyard Elevation - Proposed 1/8" = 1'-0" 3

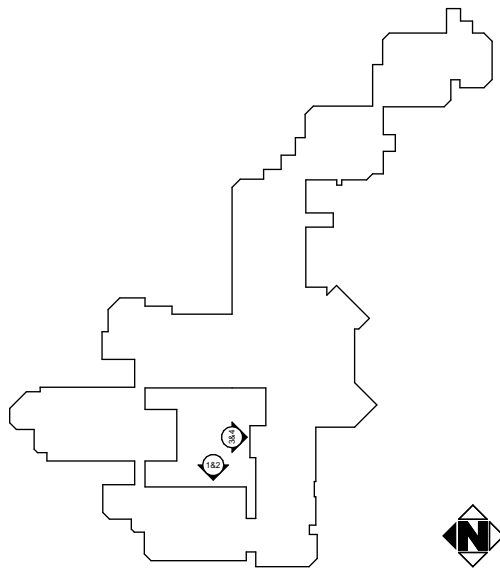


West Courtyard Elevation - Existing 1/8" = 1'-0" 2



West Courtyard Elevation - Proposed 1/8" = 1'-0" 1

KEY PLAN



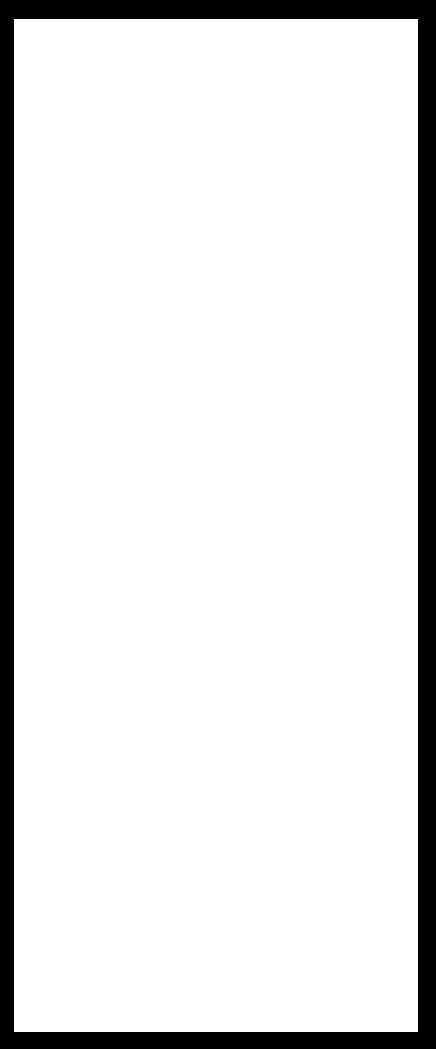
TYPICAL CONDITION AT 3 LOCATIONS



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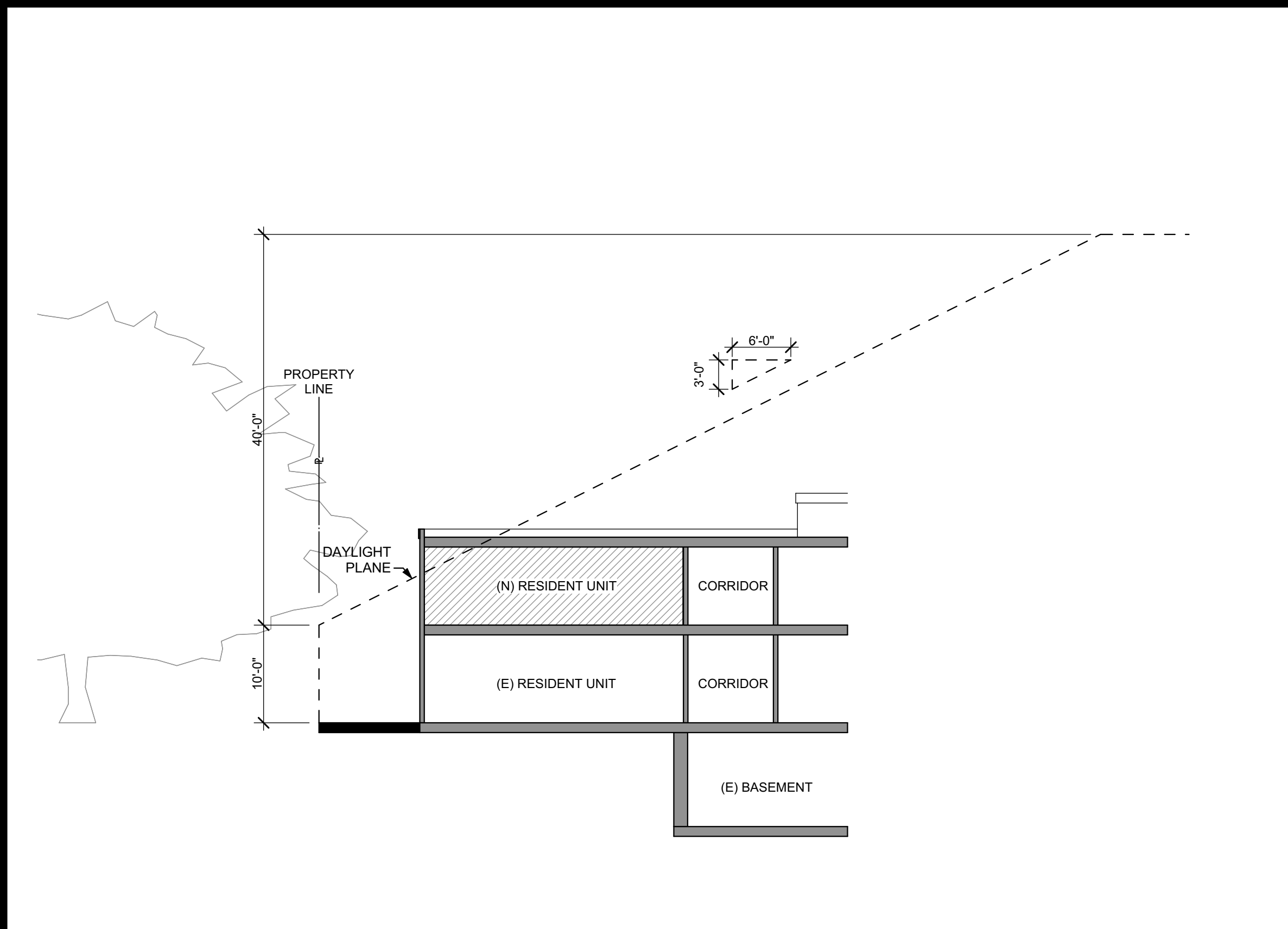
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Exterior Building Elevations - S/W Courtyard

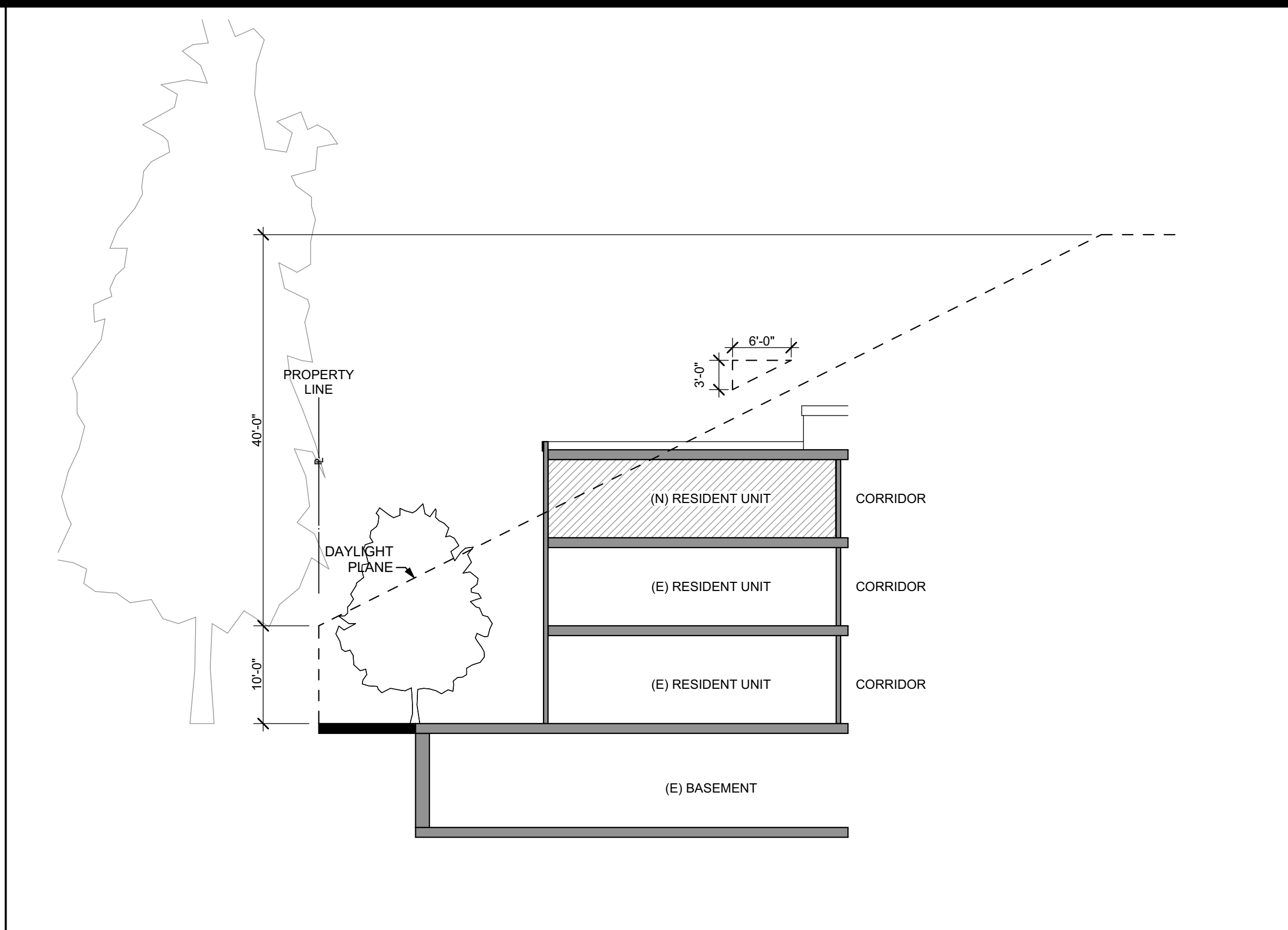
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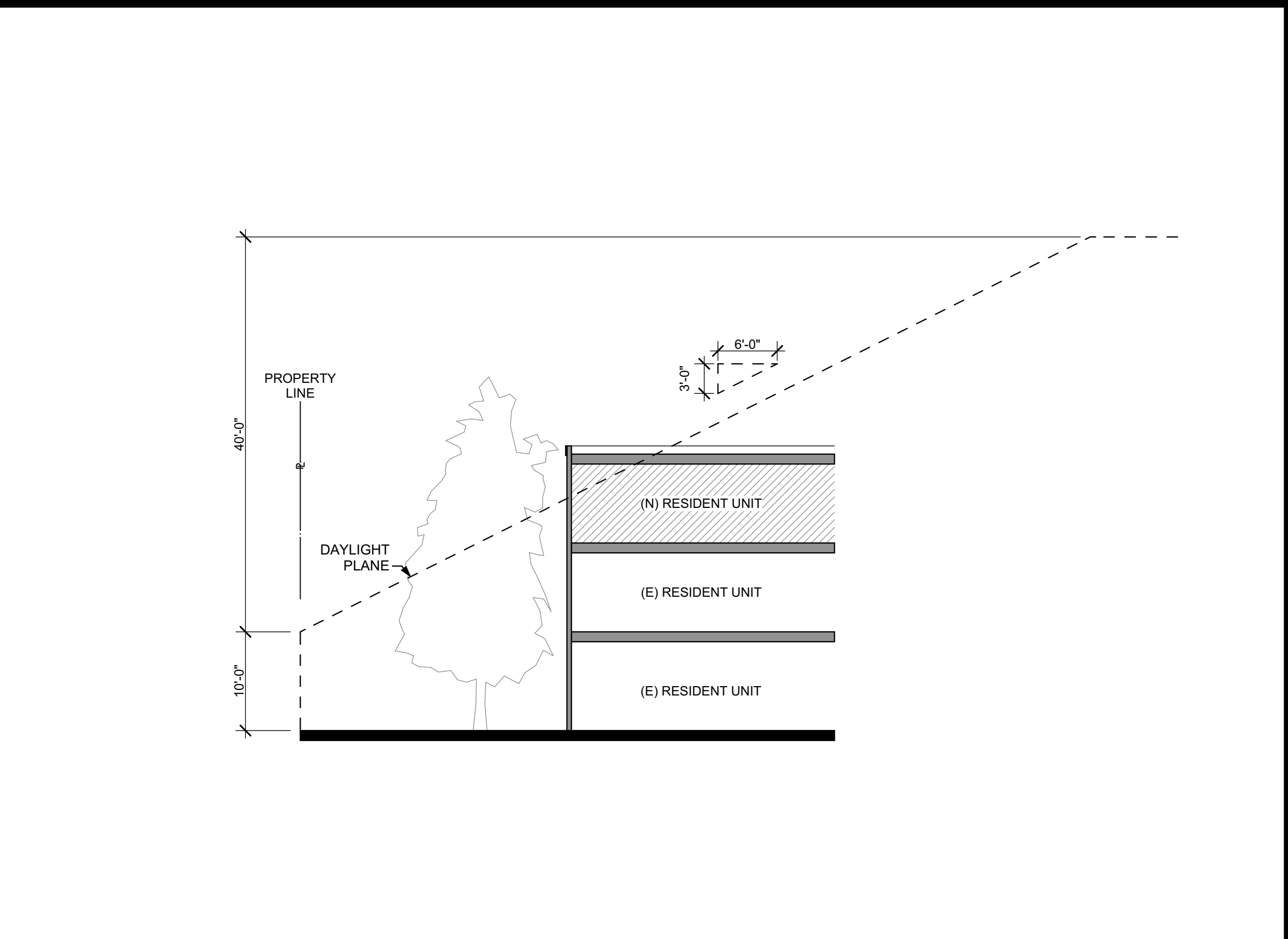
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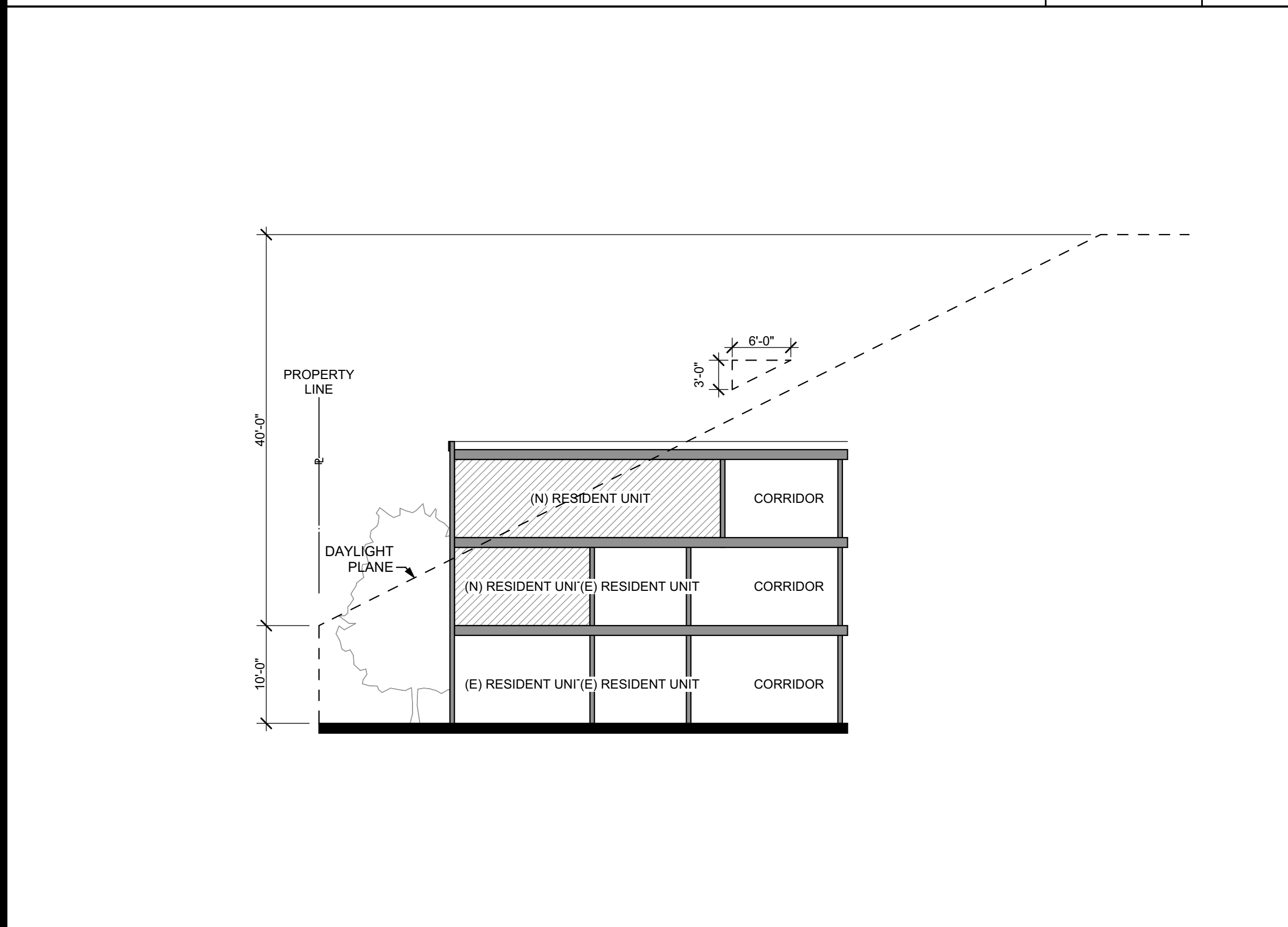
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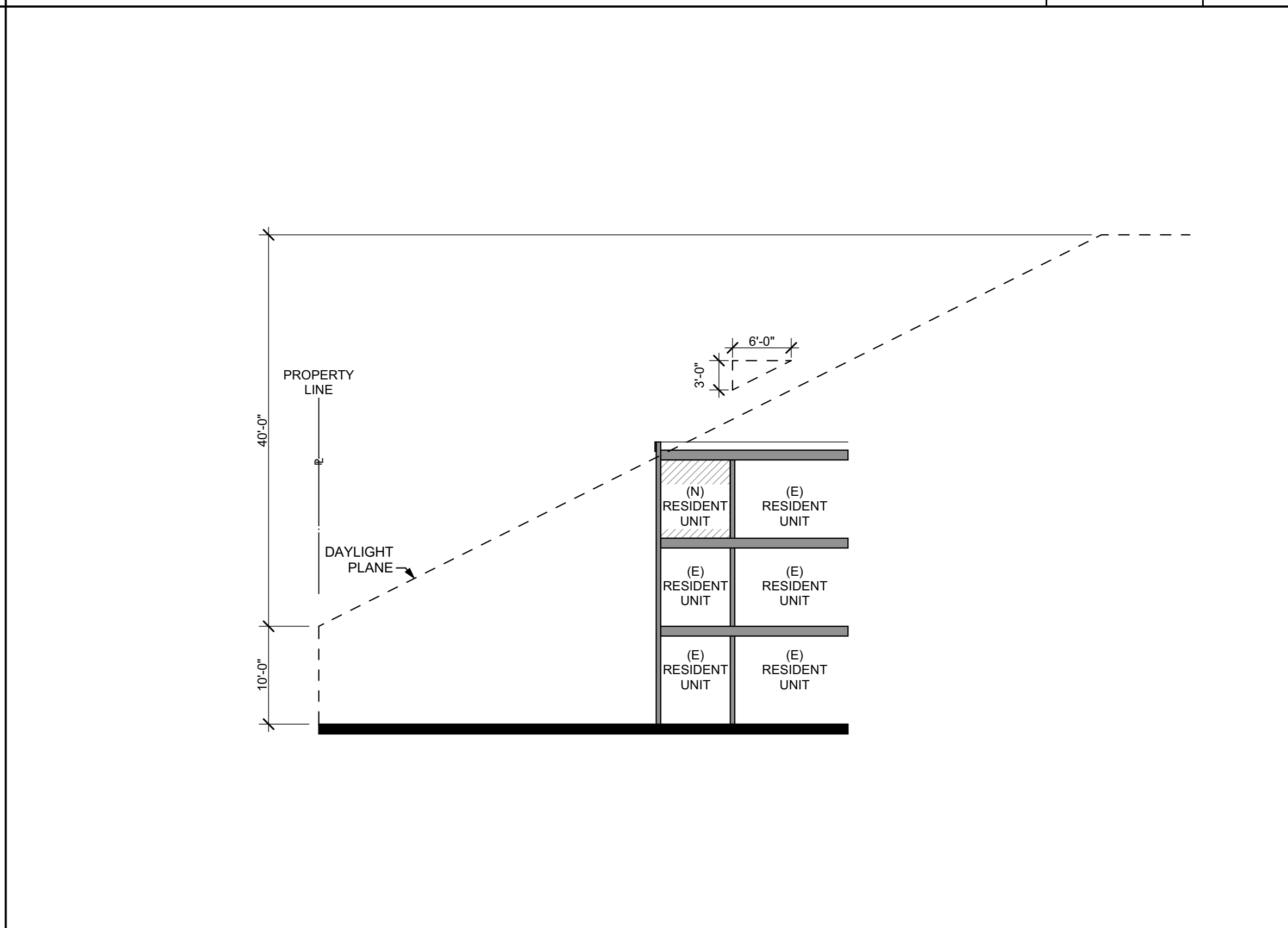
SECTION G 3/32" = 1'-0" 6



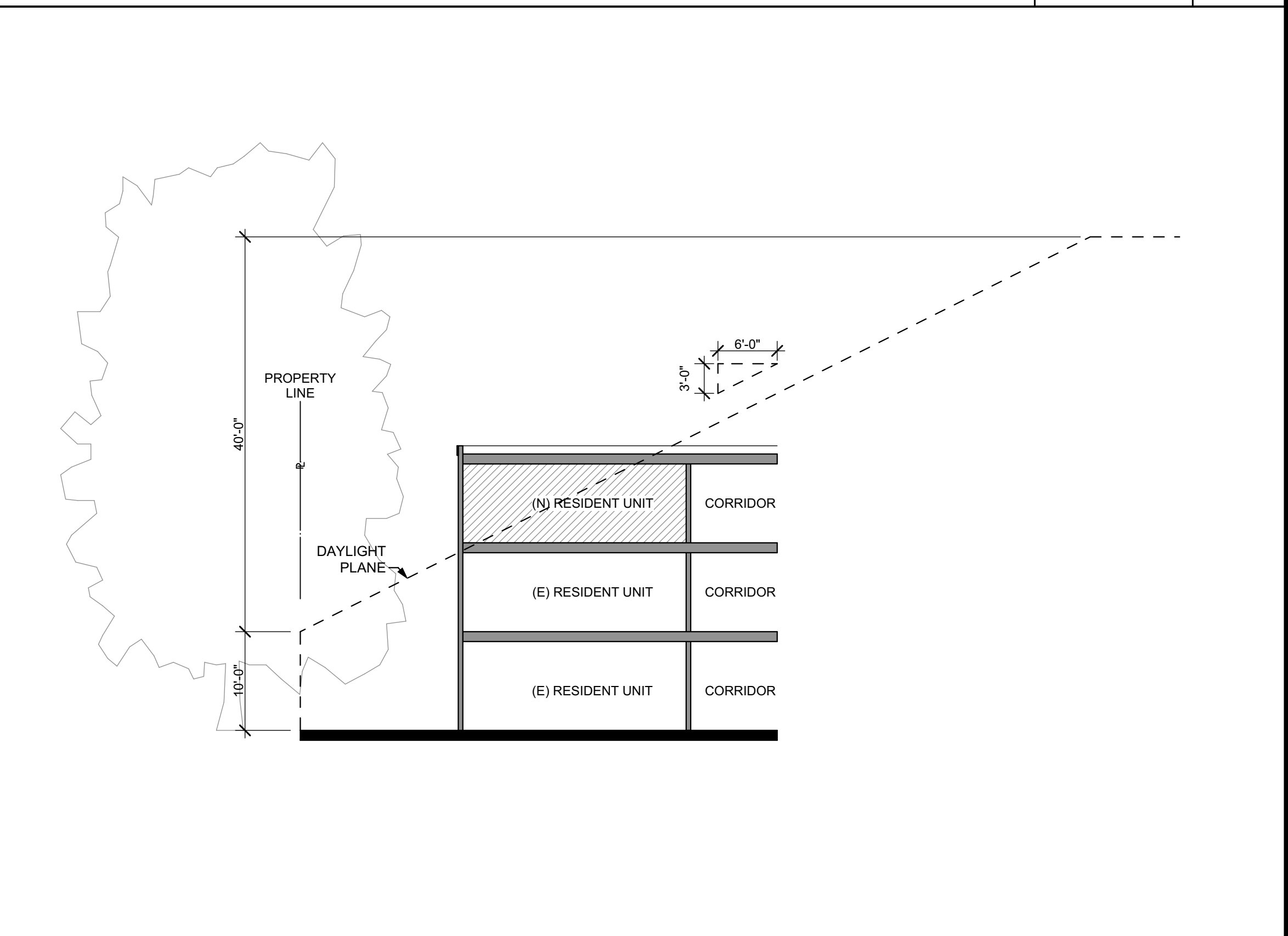
SECTION C 3/32" = 1'-0" 3



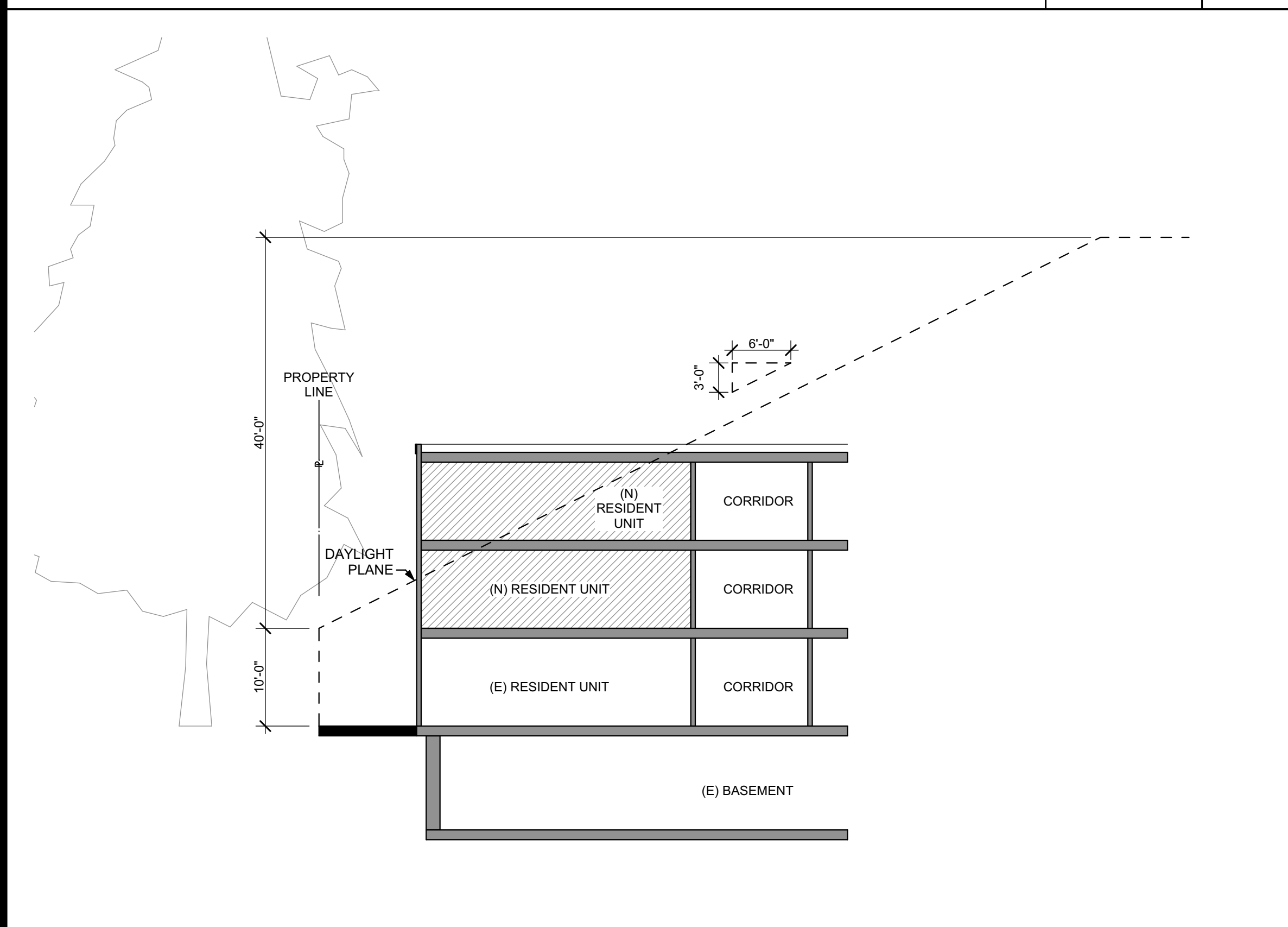
SECTION E 3/32" = 1'-0" 8



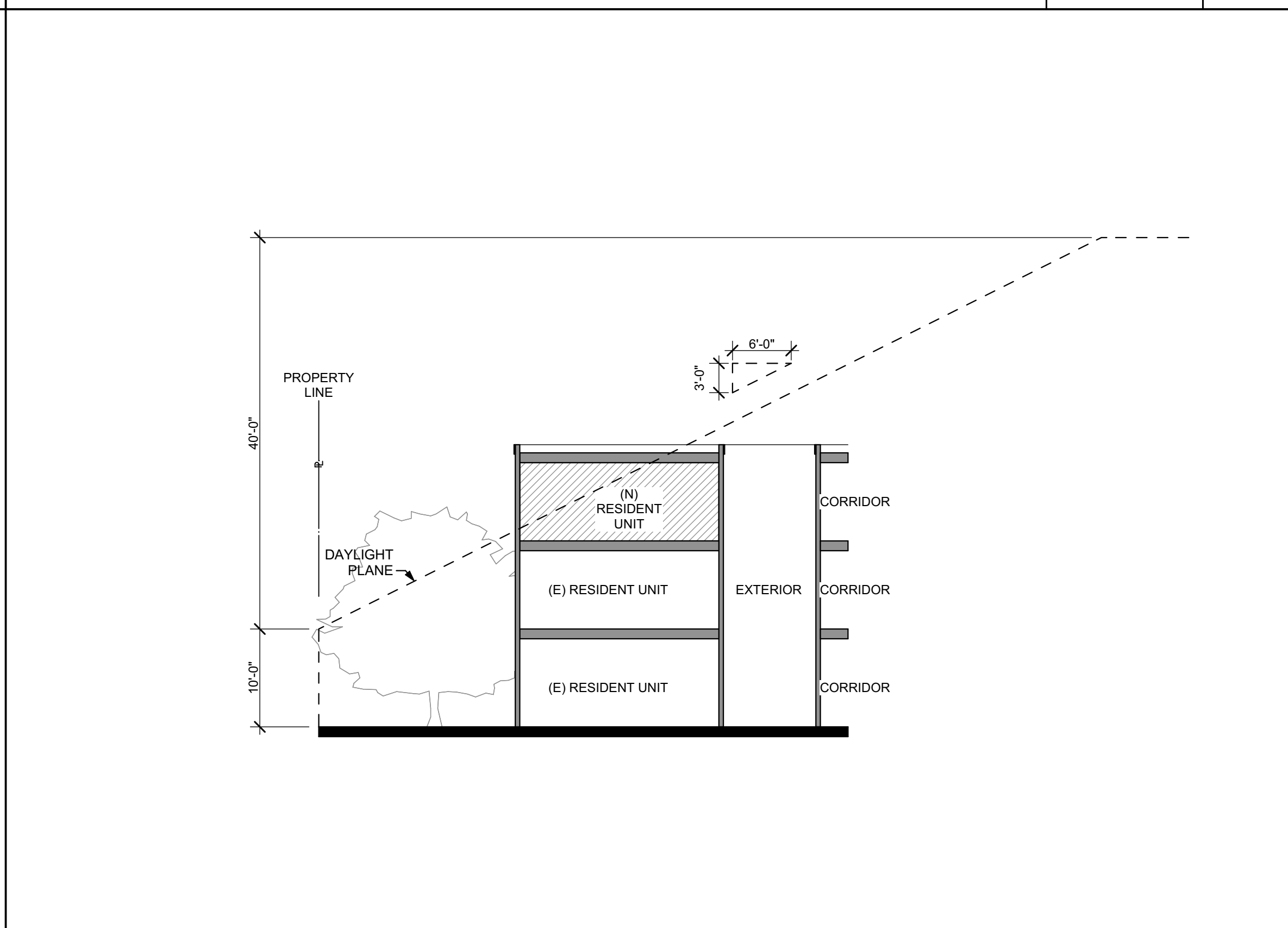
SECTION F 3/32" = 1'-0" 5



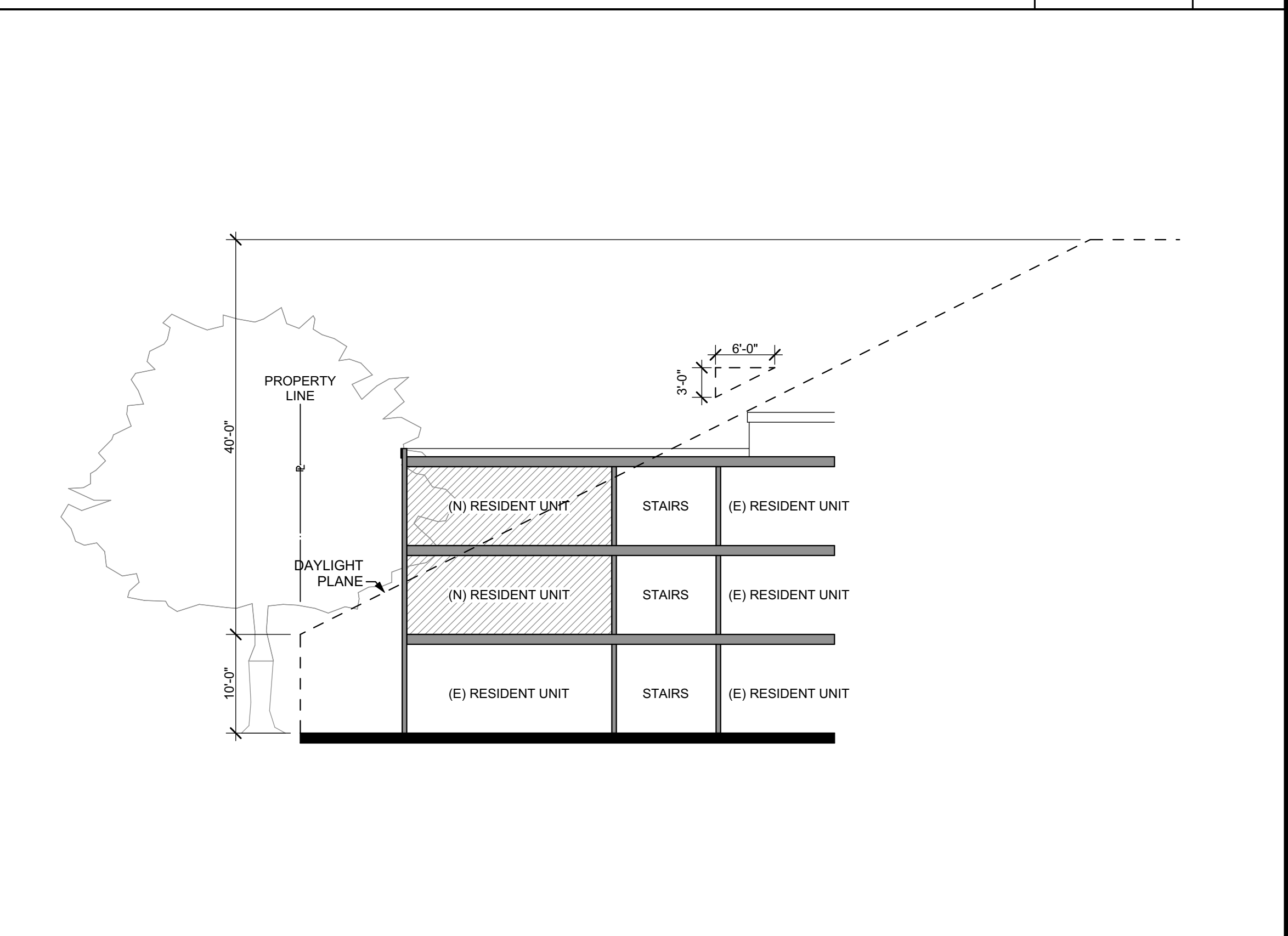
SECTION B 3/32" = 1'-0" 2



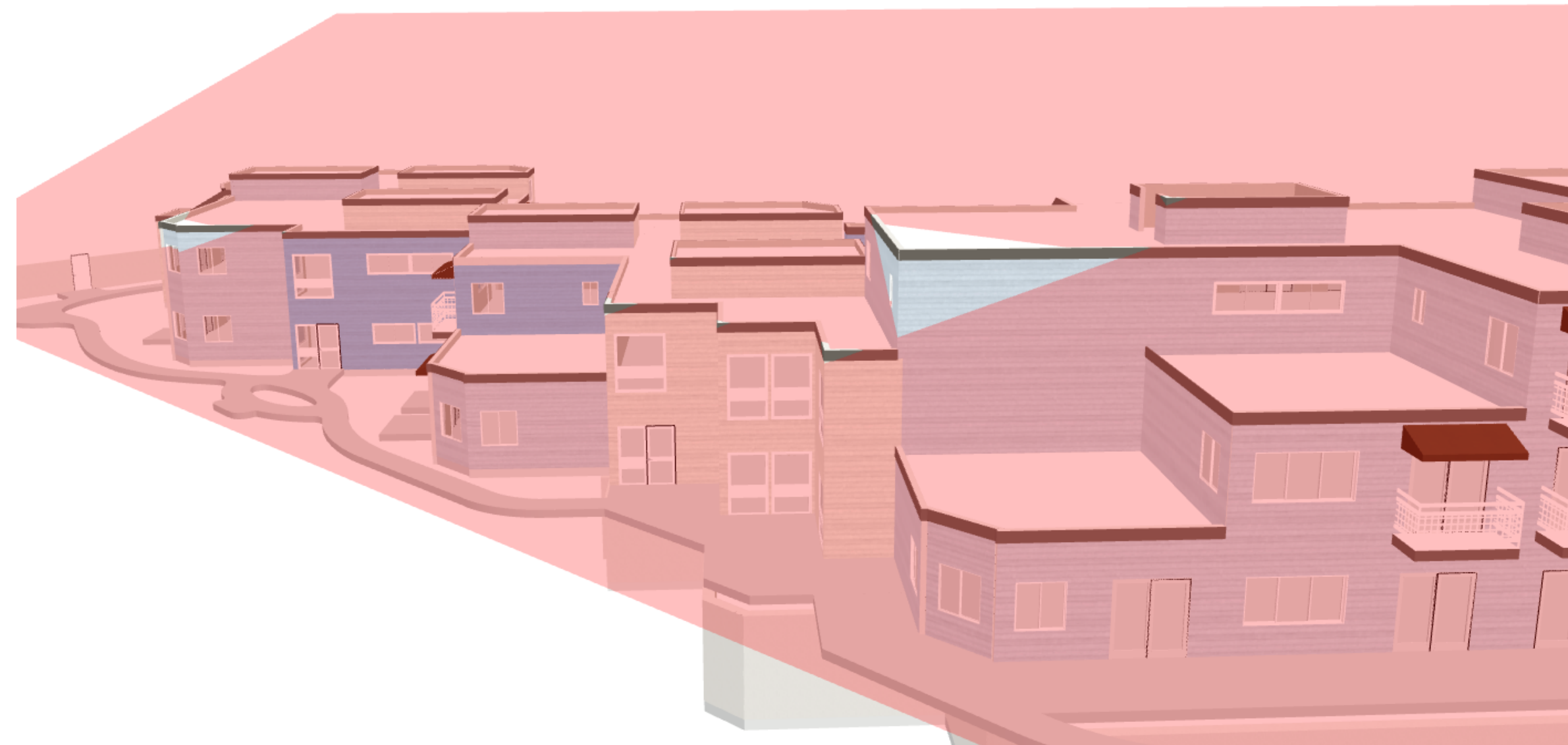
SECTION H 3/32" = 1'-0" 7



SECTION D 3/32" = 1'-0" 4



SECTION A 3/32" = 1'-0" 1

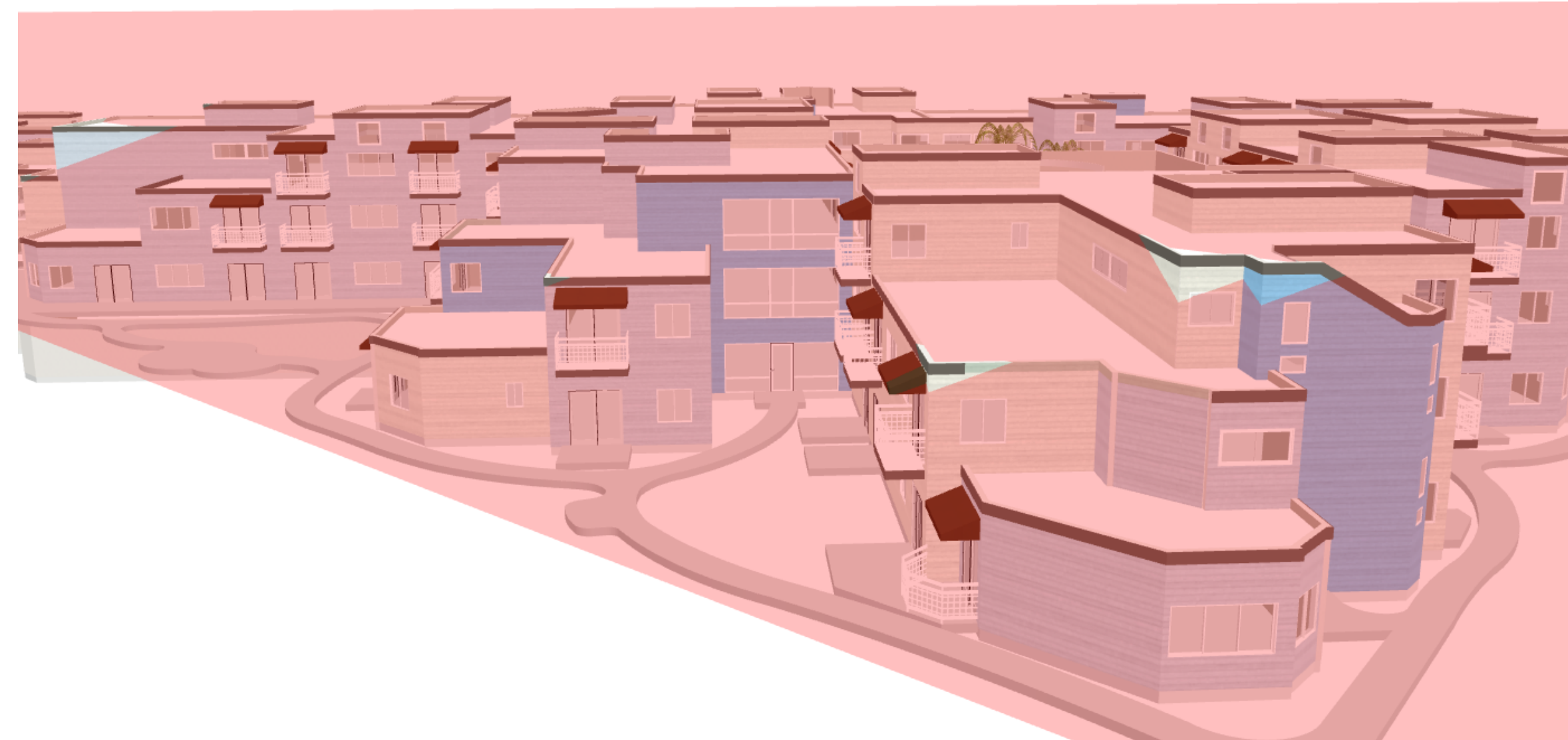


EXISTING VIEW 2

1:1.33

4

A4.8

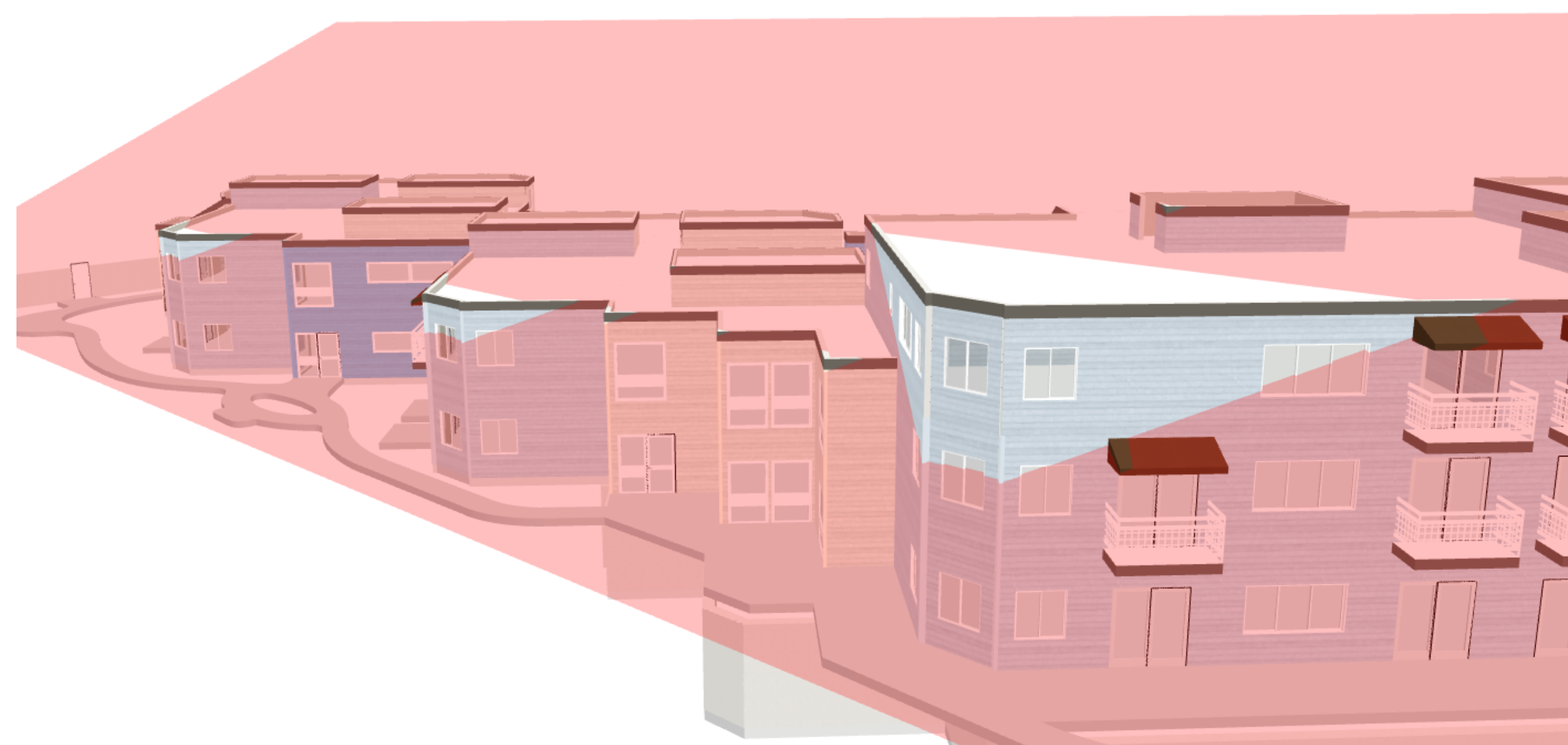


EXISTING VIEW 1

1:1.33

2

A4.8

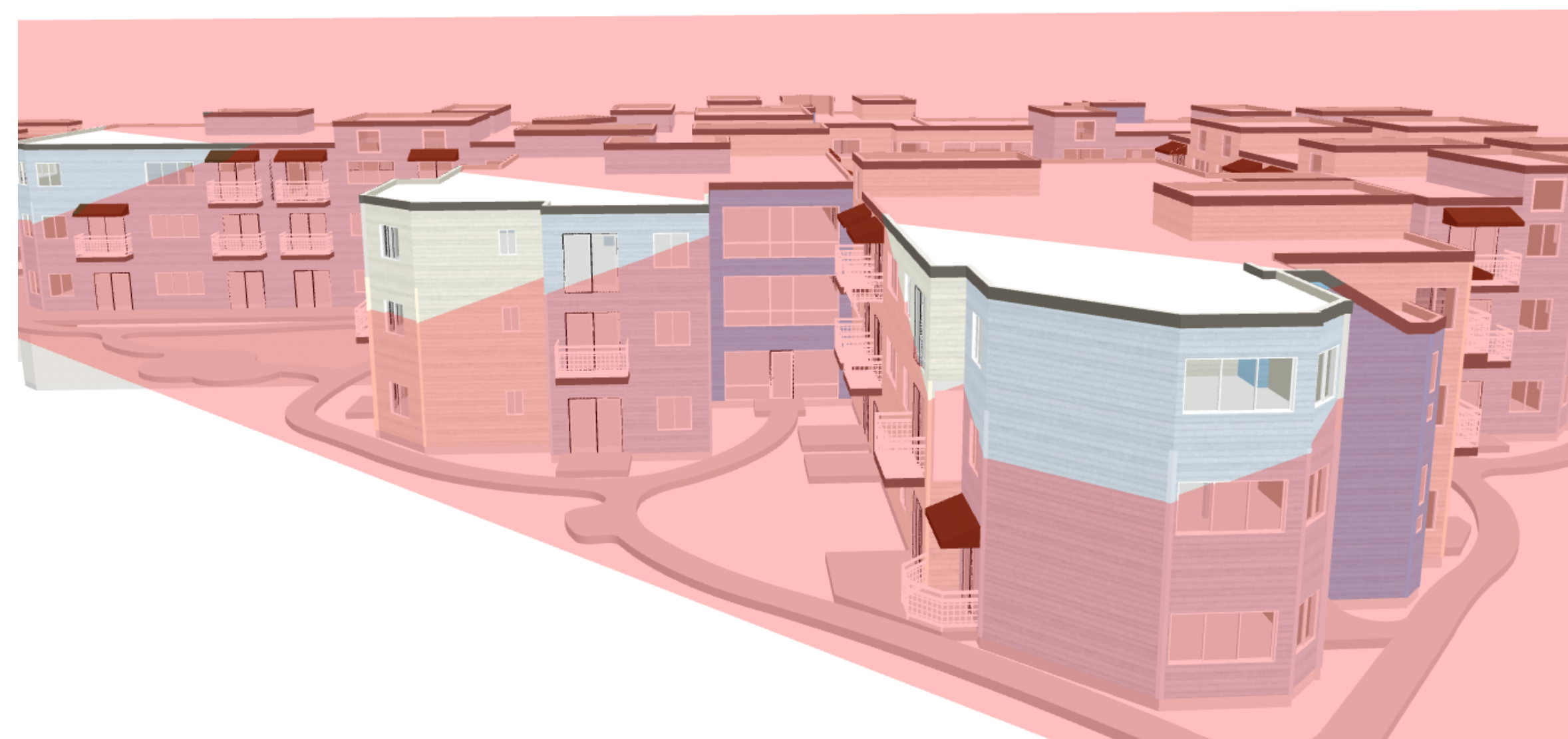


PROPOSED VIEW 2

1:1.33

3

A4.8



PROPOSED VIEW 1

1:1.33

1

A4.8

LEGEND AND NOTES

KEY PLAN



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Exterior Building Tent Diagrams - Daylight Plane

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