

A DEVELOPMENT FOR EDEN HOUSING

MITCHELL PARK PLACE

525 E. CHARLESTON ROAD, PALO ALTO, CA 94306



KEY PLAN



SHEET INDEX

NO.	EXHIBIT	SHEET TITLE	NO.	EXHIBIT	SHEET TITLE
PA1.1	A	TITLE SHEET	PT1.1	K	SPECIAL TREE PROTECTION INSTRUCTION SHEET
PA2.1	B	NEIGHBORHOOD CONTEXT	PT2.1	K	ARBORIST ASSESSMENT AND REPORT
PA2.2	B	NEIGHBORHOOD CONTEXT	PT2.2	K	ARBORIST ASSESSMENT AND REPORT
PC1.0	C	PRELIMINARY SITE PLAN	PT2.3	K	ARBORIST ASSESSMENT AND REPORT
PC2.0	C	BOUNDARY AND EXISTING CONDITIONS	PE1.0	L	SITE LIGHTING PLAN
PC3.0	C	PRELIMINARY GRADING & UTILITY PLAN	PE1.1	L	SITE LIGHTING PLAN
PC4.0	C	PRELIMINARY STORMWATER MANAGEMENT	PL3.1	M & N	VEHICULAR, PEDESTRIAN AND BICYCLE CIRCULATION PLAN
PL1.1	C	EXISTING AND PROPOSED TREE PLAN	PA10.1	O	SCHEMATIC DETAILS
PL1.2	C	PARKING LOT SHADING DIAGRAM	PA10.2	O	SCHEMATIC DETAILS
PA4.1	D	STREETSCAPE	PA11.1	P	GREEN BUILDING PROGRAM
PA5.1	E	BUILDING ELEVATIONS	PA12.1	Q	3D IMAGES
PA5.2	E	BUILDING ELEVATIONS	PA12.2	Q	3D IMAGES
PA6.1	F	FIRST FLOOR PLAN			
PA6.2	F	SECOND FLOOR PLAN			
PA6.3	F	THIRD FLOOR PLAN			
PA6.4	F	FOURTH FLOOR PLAN			
PA7.1	G	FAR DIAGRAM			
PA8.1	H	SECTIONS			
PA8.2	H	SECTIONS			
PA9.1	I	RIPOF PLAN			
PL2.1	J	EXISTING TREE PROTECTION AND REMOVAL PLAN			
PL2.2	J	LANDSCAPE PLAN			
PL2.3	J	OPEN SPACE PLAN			
PL2.4	J	LANDSCAPE MATERIALS BOARD			
PL2.5	J	LANDSCAPE MATERIALS BOARD			
PL2.6	J	IRRIGATION PLAN AND SCHEDULE			
PL2.7	J	IRRIGATION NOTES AND CALCULATIONS			
PL2.8A	J	PLANTING LIST AND IMAGES			
PL2.8B	J	PLANTING LIST AND IMAGES			
PL2.9	J	PLANTING DIAGRAM			

SUPPORTIVE SERVICES AREA REQUIREMENTS	
TOTAL NON-RESIDENTIAL FLOOR AREA	AREA (SF)
FIRST FLOOR OTHER (VERTICAL CIRCULATION, BUILDING MANAGMENT)	2,898 SF
FIRST FLOOR AMENITY & SERVICES AREAS (OFFICE, LOBBY, COMMUNITY LOUNGE/KITCHEN	2,583 SF
UPPER LEVELS: RESIDENTIAL CIRCULATION (HALLWAYS)	5,292 SF
UPPER LEVELS: AMENITY & SERVICE AREAS (RESPIRE, LAUNDRY, FITNESS, LIBRARY)	1,903 SF
TOTAL NON-RESIDENTIAL FLOOR AREA	12,676 SF
REQUIRED SUPPORT SERVICES AREA	380 SF (3% OF 12,676 SF)
TOTAL AB 2162 SUPPORTIVE SERVICES AREAS	AREA (SF)
COMMUNITY LOUNGE/KITCHEN	1,056 SF
SUPPORT & MEETING SPACE	704 SF
EDEN OFFICES	821 SF
LIBRARY & TECH LOUNGE	360 SF
RESPIRE ROOMS	182 SF
FITNESS	360 SF
PROVIDED AB 2162 SUPPORTIVE SERVICES AREA	3,483 SF (27% IS GREATER THAN 3%)

AFFORDABLE HOUSING PLAN					
RESTRICTED UNIT TYPE	NUMBER OF RESTRICT ED UNITS	UNIT SQUARE FOOTAGE	MAXIMUM TENANT HOUSEHOLD INCOME	MAXIMUM ANNUAL RENT	PLAN SHEET PAGE
STUDIO	10	400-440 SF	80% OF AMI	30% OF 60% OF AMI	PA6.1 - PA6.4
STUDIO	29	400-440 SF	80% OF AMI	30% OF 80% OF AMI	PA6.1 - PA6.4
1 BEDROOM	6	550 SF	80% OF AMI	30% OF 80% OF AMI	PA6.1 - PA6.4
2 BEDROOM	4	880-920 SF	80% OF AMI	30% OF 80% OF AMI	PA6.1 - PA6.4
TOTAL RESTRICTED UNITS	49				
TOTAL NON-RESTRICTED UNITS (MANAGER UNITS)	1				
TOTAL PROJECT UNITS	50				

PROJECT INFORMATION

PUBLIC/QUASI-PUBLIC FACILITY WITH SPECIAL NEEDS HOUSING AND AFFORDABLE HOUSING DEVELOPMENT FOR EDEN HOUSING.

SITE:
525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

APN: 132-06-039
SITE AREA: .78 ACRES (APPROXIMATELY 34,114 SF)
ZONING: PF - PUBLIC FACILITIES
GENERAL PLAN: MSP - MAJOR INSTITUTION / SPECIAL FACILITY

SITE COVERAGE:
MAXIMUM ALLOWABLE LOT COVERAGE: 30%
EXISTING LOT COVERAGE AREA: 5,236 SF +/-
EXISTING LOT COVERAGE: 15.3%
PROPOSED LOT COVERAGE AREA: 13,075 SF
PROPOSED LOT COVERAGE: 39%

MAXIMUM ALLOWABLE FAR: 1
EXISTING FAR: 0.15
PROPOSED FAR: 1.33

SETBACKS:
FRONT 24'
SIDE - WEST 10'
SIDE - EAST 10'
REAR 10'

BUILDING INFORMATION:
MAXIMUM ALLOWABLE HEIGHT: 50' OR 35' IF WITHIN 150' OF A RESIDENTIAL ZONE
PROPOSED HEIGHT: 55'-5" TO TOP OF ROOF

4 STORIES TOTAL: TYPE VA

LEVEL 1 (TYPE VA): 9,946 SF
LEVEL 2 (TYPE VA): 13,075 SF
LEVEL 3 (TYPE VA): 13,075 SF
LEVEL 4 (TYPE VA): 9,264.3 SF

TOTAL BUILDING AREA: 45,360.3 SF TOTAL

OCCUPANCY TYPES:
A-3 COMMON ROOM
B OFFICES
R-2 RESIDENTIAL DWELLING UNITS

USE TYPES & AREAS:
NON-PROFIT OFFICES: 2,750.0 SF
COMMON/SUPPORT FOR RESIDENTIAL: 14,655.6 SF
RESIDENTIAL: 27,954.7 SF

BUILDING WILL BE ALL ELECTRIC

RESIDENTIAL UNITS:

STUDIO UNITS: 39
1-BEDROOM UNITS: 6
2-BEDROOM UNITS: 4 + 1 MANAGER'S UNIT

TOTAL UNITS: 50 UNITS - 100% BELOW MARKET RATE UNITS

PROPOSED DENSITY: 64 D.U. / ACRE

VEHICLE PARKING

BECAUSE THE PROJECT QUALIFIES UNDER AB 1763 AS A SPECIAL NEEDS HOUSING PROJECT AND IS LESS THAN 1/4-MILE WITH UNOBSTRUCTED ACCESS TO FIXED ROUTE BUS SERVICE OPERATING AT LEAST EIGHT TIMES PER DAY (VTA ROUTE 21), NO PARKING IS REQUIRED FOR RESIDENTIAL USE, HOWEVER, THE NON-PROFIT OFFICE PORTION OF THE PROJECT WILL REQUIRE OFF-STREET PARKING SPACES.

PARKING SPACES REQUIRED FOR RESIDENTIAL USE: 0
PARKING SPACES REQUIRED FOR NON-PROFIT OFFICE USE: 11
(2,750 SF OFFICE / 250 = 11 SPACES)

TOTAL VEHICLE SPACES PROPOSED: 20
16 STANDARD SPACES
1 VAN-ACCESSIBLE SPACE
1 VAN-ACCESSIBLE EVCS SPACE
2 STANDARD EVCS SPACES

BICYCLE PARKING

BICYCLE PARKING REQUIRED FOR RESIDENTIAL USE:
1 LONG-TERM PER UNIT 50 UNITS = 50 LT SPACES
1 SHORT-TERM PER 10 UNITS FOR GUESTS 50 UNITS/10 = 5 ST SPACES

BICYCLE PARKING REQUIRED FOR OFFICE USE:
1 PER 2,500 SF 2,750 SF/2500 = 2 SPACES

TOTAL BICYCLE SPACES PROPOSED: 57
50 LT SPACES
7 ST SPACES

ACCESSIBILITY REQUIREMENTS

THE PROJECT WILL LIKELY RECEIVE FUNDING FROM THE CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC), WHICH WOULD REQUIRE COMPLIANCE WITH CHAPTER 11B EXCEPT AS FOLLOWS: INSTEAD OF THE MINIMUM REQUIREMENTS ESTABLISHED IN 11B 233.3.1.1 AND 11B 233.3.1.3, THE PROJECT WOULD BE REQUIRED TO PROVIDE 15% OF THE LOW-INCOME UNITS (NOT INCLUDING MANAGER'S UNIT) WITH MOBILITY FEATURES AND 10% OF THE LOW-INCOME UNITS (NOT INCLUDING MANAGER'S UNIT) HAVE COMMUNICATION FEATURES.

FIRE PROTECTION

THE PROJECT WILL HAVE A NFPA 13 FIRE SPRINKLER SYSTEM, NFPA 14 STANDPIPE SYSTEM, NFPA 72 FIRE ALARM SYSTEM, AND WILL BE EVALUATED FOR AN EMERGENCY RESPONDER RADIO SYSTEM.

ABB MATERIALS COMMENT RESPONSES:

STONE VENEER IS INCLUDED TO ENHANCE THE ENTRYWAY PER PLANNING DEPARTMENT. MULTIPLE PAINT COLORS OF PLASTER ARE INCLUDED TO BREAK UP THE MASSING OF THE 4-STORY VOLUME (AS COMPARED TO A TRADITIONAL SINGLE-STORY EICHLER HOME.)

CONCESSIONS:

- HEIGHT - EXCEED 35' HEIGHT LIMIT WITHIN 150' OF RESIDENTIAL ZONE, INCREASE TO 49'
- LOT COVERAGE - EXCEED 30% MAXIMUM ALLOWABLE LOT COVERAGE, INCREASE TO 39%
- FLOOR AREA RATIO - EXCEED 1.0 MAXIMUM ALLOWABLE FAR, INCREASE TO 1.33



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PALO ALTO, CA 94306

PLANNING SUBMITTAL

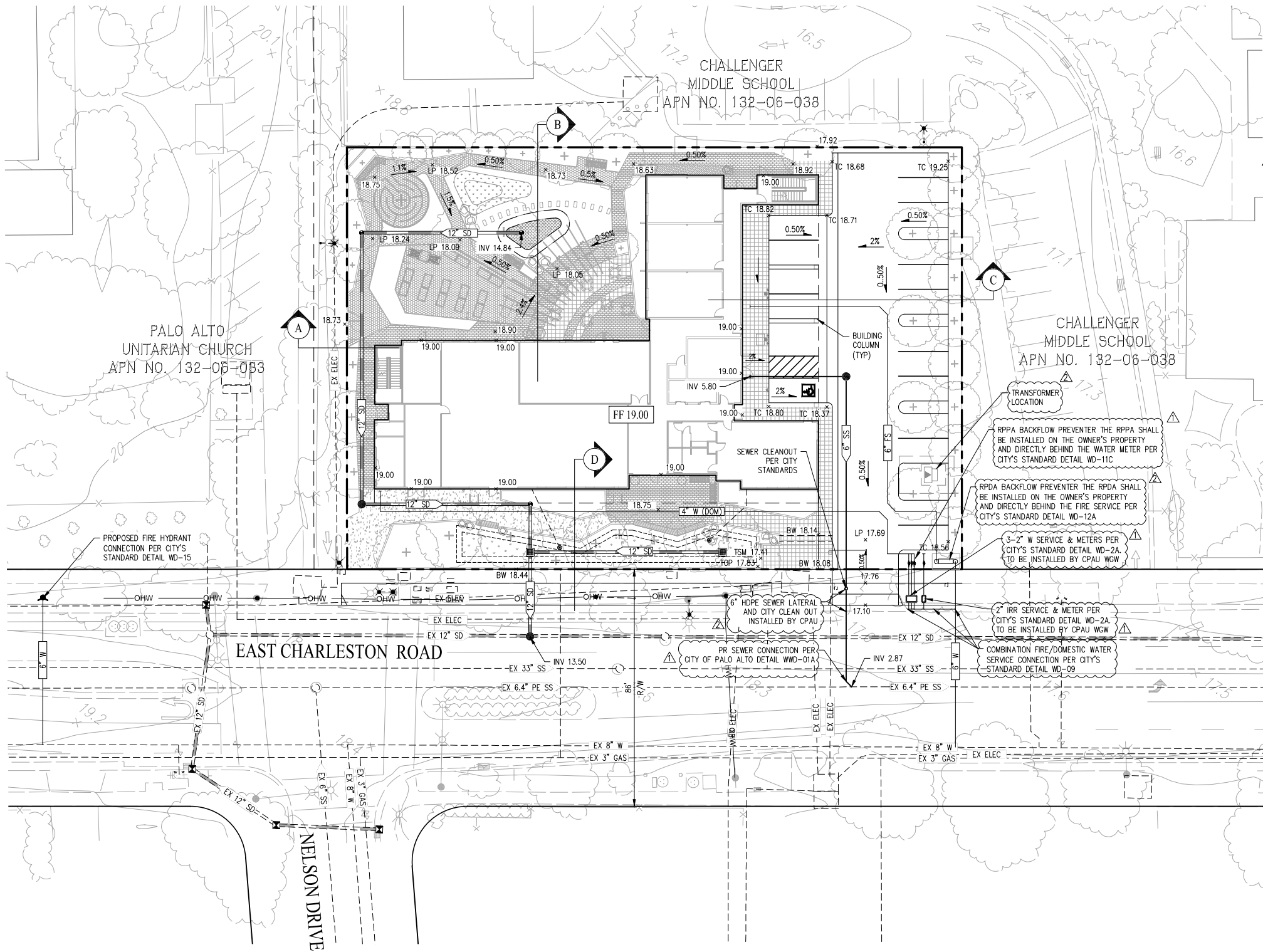
MARCH 1, 2022

EXHIBIT A - TITLE SHEET

No.	ISSUE	DATE
1	PLANNING RESPONSES 1	01/21/22
2	PLANNING RESPONSES 2	03/02/22

ISSUED: MARCH 1, 2022
DRAWN: A.BRAGG
CHECKED: K.CONLEY
JOB: 21010
PA1.1
SCALE: 1/4" = 1'-0"

PLANNING SUBMITTAL

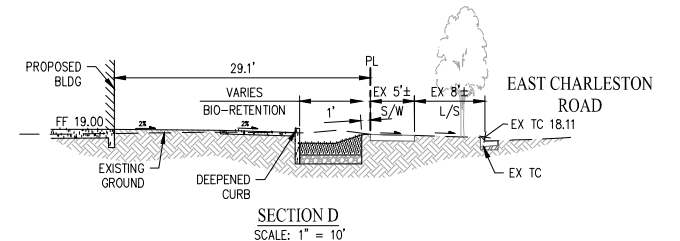
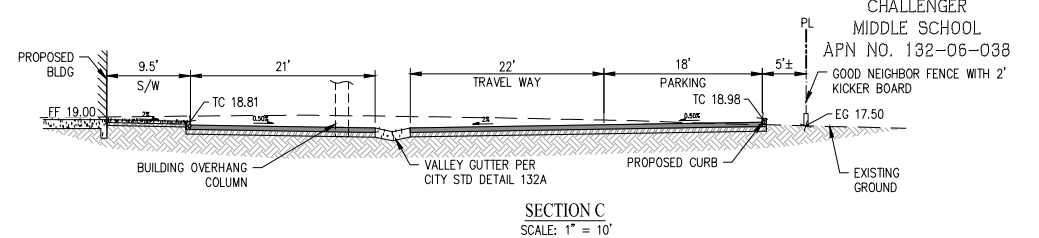
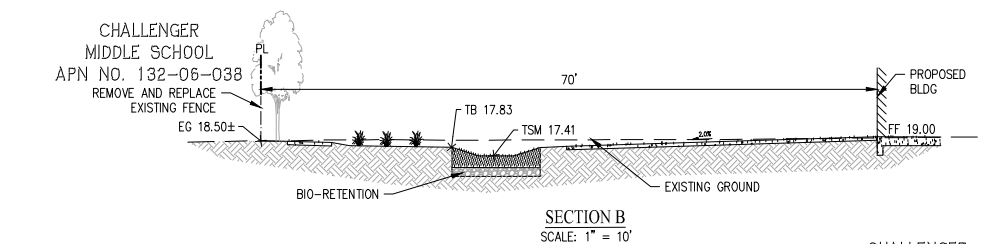
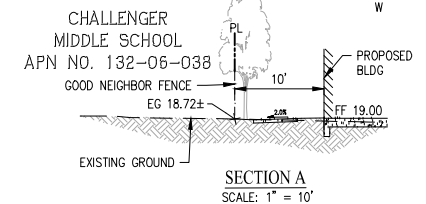


LEGEND

- EXISTING PROPERTY LINE
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER MAIN
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING ELECTRIC UTILITY
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED TRANSFORMER
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING STORM FIELD INLET
- PROPOSED STORM DRAIN FIELD INLET
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED BIO-RETENTION AREA
- PROPOSED MULTIPLE WATER SERVICE METER
- PROPOSED 2" DOMESTIC RPDA
- PROPOSED FIRE RPDA
- PROPOSED 2" IRRIGATION METER
- ACCESSIBLE PARKING STALL
- PROPOSED FIRE HYDRANT
- EXISTING UTILITY BOX/VAULT
- EXISTING ELECTROLIER
- PROPOSED TREES
- PROPOSED SIDEWALK
- SPOT GRADE
- SLOPE ARROW

ABBREVIATIONS

- BLDG BUILDING
- EG EXISTING GROUND ELEVATION
- EX EXISTING
- FF FINISH FLOOR
- FS FIRE SERVICE
- L/S LANDSCAPE
- PL PROPERTY LINE
- PR PROPOSED
- RPDA REDUCE PRESSURE DETECTOR ASSEMBLY
- RPPA REDUCE PRESSURE PRINCIPLE ASSEMBLY
- SD STORM DRAIN
- SS SANITARY SEWER
- S/W SIDE WALK
- TB TOP OF BIO-RETENTION
- TC TOP OF CURB
- TSM TOP OF SOIL MIX
- W WATER



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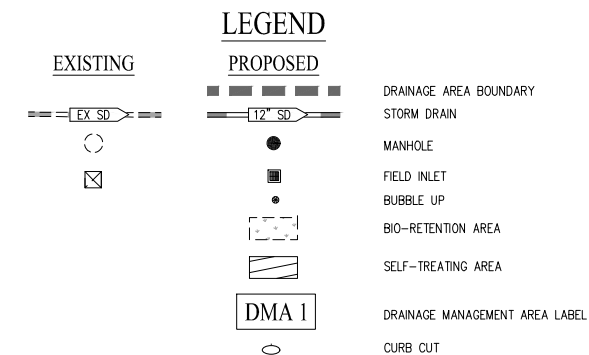
PLANNING SUBMITTAL

MARCH 1, 2022

EXHIBIT C - PRELIMINARY
GRADING & UTILITY PLAN

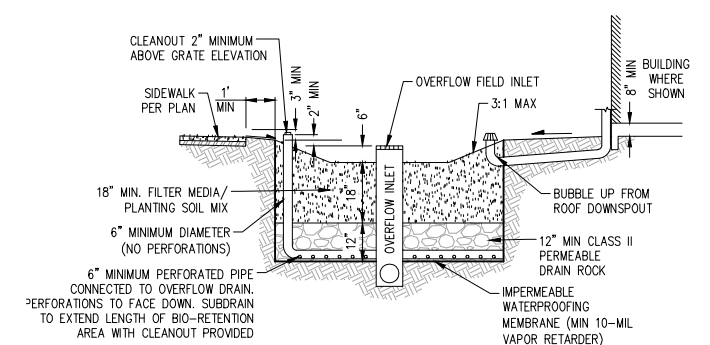
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1	10/1/2022	PLANNING RESPONSE 1
2	3/1/2022	PLANNING RESPONSE 2

Issued: MARCH 1, 2022
Drawn: M.J.L.
Checked: R.T.H.
Job: 3477-000
PC 3.0
Scale 1" = 20'



BR	BIO-RETENTION AREA
DMA	DRAINAGE MANAGEMENT AREA
EX	EXISTING
SD	STORM DRAIN
SR	SELF-RETAINING
ST	SELF-TREATING

STORM WATER TREATMENT SUMMARY					
DMA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)	TREATMENT TYPE
1	0	5649	N/A	N/A	ST
2	4348	1207	134	134	BR-2
3	18871	4039	576	576	BR-3

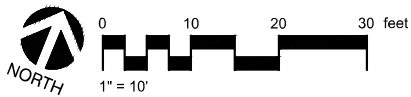
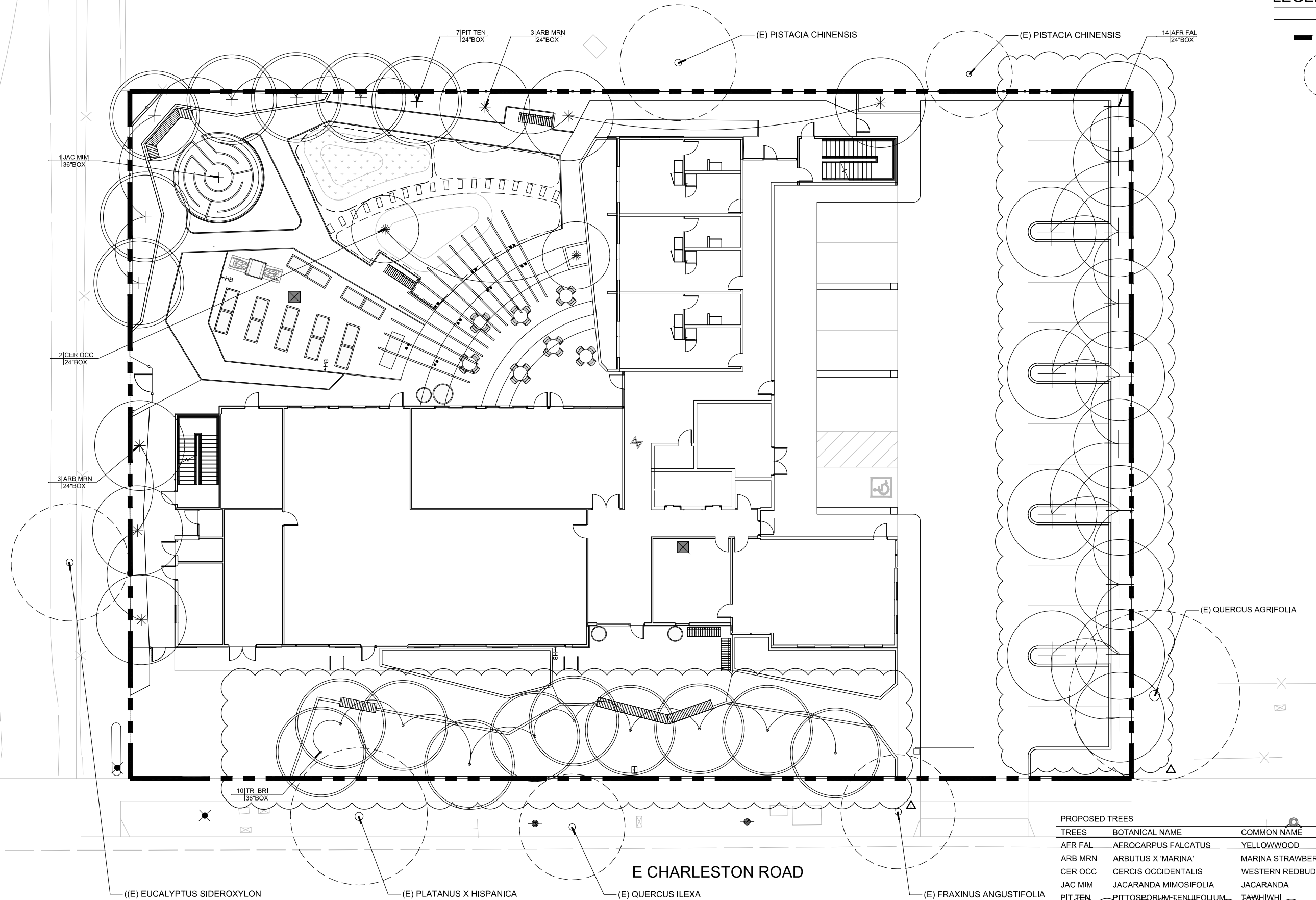


BIO-RETENTION DETAIL
NOT TO SCALE

NOTE:

1. ALL BAY AREA MUNICIPAL REGIONAL STORMWATER PERMIT REQUIREMENTS SHALL BE FOLLOWED. REFER TO THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 HANDBOOK (DOWNLOAD HERE: [HTTP://SCWRPPP-WZ.COM/C3_HANDBOOK.SHTML](http://scwrppp-wz.com/C3_HANDBOOK.SHTML)) FOR DETAILS. FOR ALL C.3 FEATURES, VENDOR SPECIFICATIONS REGARDING REPAIRING AND MAINTENANCE SHOULD BE FOLLOWED AND PROVIDED TO CITY STAFF. COPIES MUST BE SUBMITTED TO PAM BOYLE RODRIGUEZ AT PAMELA.BOYLE@CITYOFPALMDALE.ORG.
2. STAFF FROM STORMWATER PROGRAM (WATERSHED PROTECTION DIVISION) MAY BE PRESENT DURING INSTALLATION OF STORMWATER TREATMENT MEASURES. CONTACT PAM BOYLE RODRIGUEZ, STORMWATER PROGRAM MANAGER, AT (650) 329-2421 BEFORE INSTALLATION.
3. STORMWATER BEST MANAGEMENT PRACTICES (BMPs) ASSOCIATED WITH REFUSE MANAGEMENT (INCLUDING ACTIONS RELATED TO REFUSE PICK-UP AND THE ENCLOSURE ITSELF) SHALL BE FOLLOWED TO ENSURE POLLUTION PREVENTION AND PREVENTING POTENTIAL DISCHARGES TO THE CITY'S STORM DRAIN SYSTEM. STORMWATER BMPs INCLUDE, BUT ARE NOT LIMITED TO, POWER WASHING THE PAVEMENT ON BOTH THE PRIVATE PROPERTY AND IN THE RIGHT-OF-WAY AND SIDEWALK A MINIMUM OF ONCE PER YEAR BEFORE THE WET SEASON BEGINS ON OCTOBER 1ST; UTILIZING A POWER WASHING CONTRACTOR THAT IS A RECOGNIZED SURFACE CLEANER BY THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA); DISPOSING OF WASH WATER ACCORDING TO THE RECOGNIZED SURFACE CLEANER CERTIFICATION REQUIREMENTS; AND REMOVING ANY POTENTIAL TRASH BUILD-UP ON A REGULAR BASIS.

LEGEND



PROPOSED TREES					
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	MATURE SIZE
AFR FAL	AFROCARPUS FALCATUS	YELLOWWOOD	24"BOX	LOW	20'-60' H X 10'-20' W
ARB MRN	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE	24"BOX	LOW	25'-40' H X 25'-40' W
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	LOW	12'-18' H X 12'-18' W
JAC MIM	JACARANDA MIMOSIFOLIA	JACARANDA	36"BOX	MEDIUM	25'-40' H X 15'-30' W
PIT TEN	PITTOSPORUM TENUIFOLIUM	TAWHIWIHI	24"BOX	MEDIUM	15'-25' H X 10'-15' W
TRI BRI	TRISTANIA CONFERTA	BRISBANE BOX	36"BOX	LOW	30'-60' H X 15'-30' W

BASE

LANDSCAPE ARCHITECTURE

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Project

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Drawing Set

PLANNING RESPONSES 1

MARCH 1, 2022

Drawing

EXHIBIT C - EXISTING AND PROPOSED TREE PLAN

No.	Date	Issue

Issued: MARCH 1, 2022

Drawn: YD, JR, TY

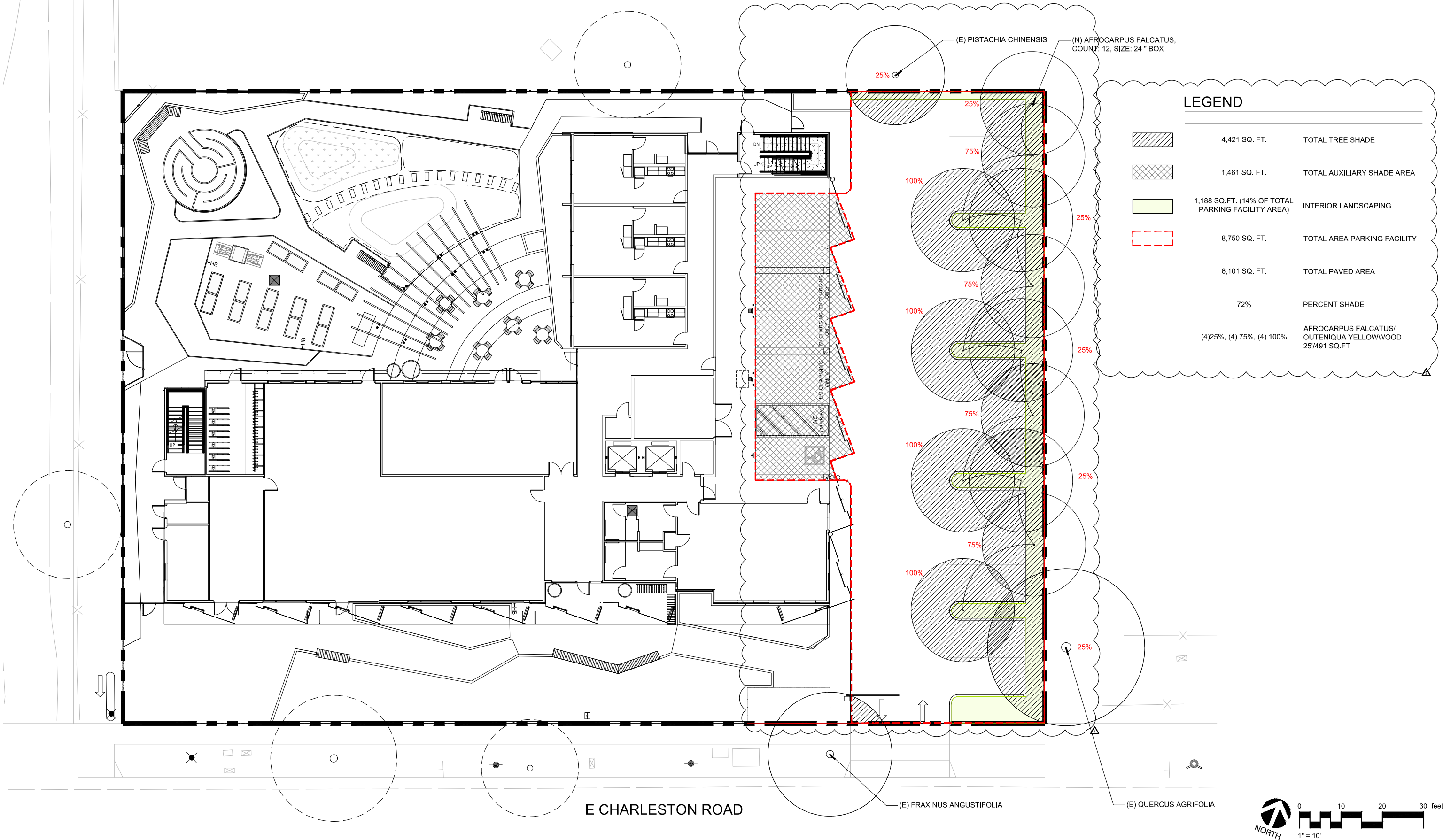
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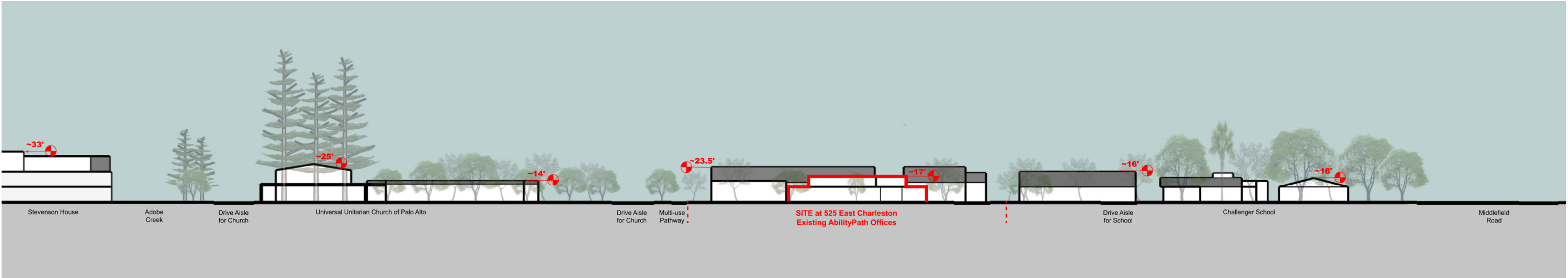
Job: 2109

PL1.1

Scale 1" = 10'-0"

PLANNING SUBMITTAL

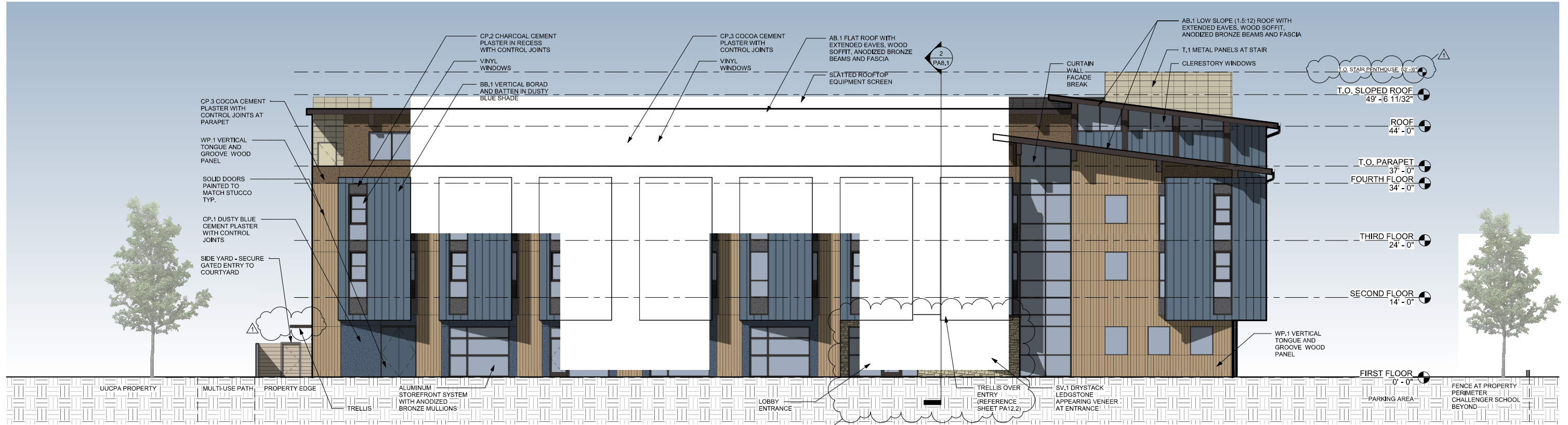




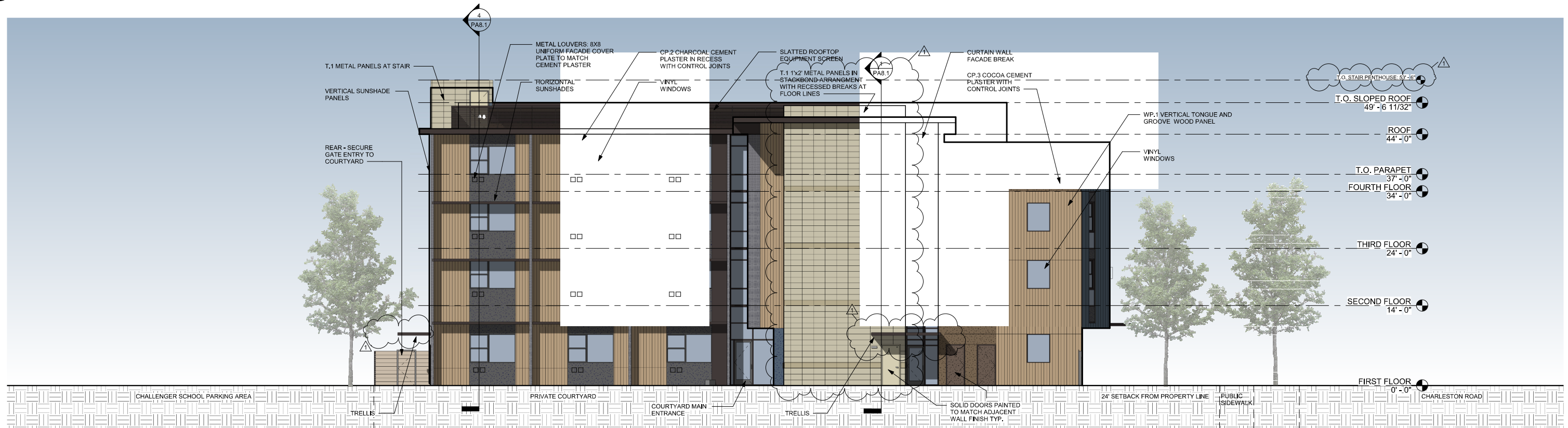
1 STREETScape - EXISTING BUILDING ON SITE
NTS



2 STREETScape - PROPOSED BUILDING ON SITE
NTS



1 SOUTH ELEVATION (Please cross reference the Color and Materials board, as well as the details board (PA10.1))
1/8" = 1'-0"



2 WEST ELEVATION (Please cross reference the Color and Materials board, as well as the details board (PA10.1))
1/8" = 1'-0"



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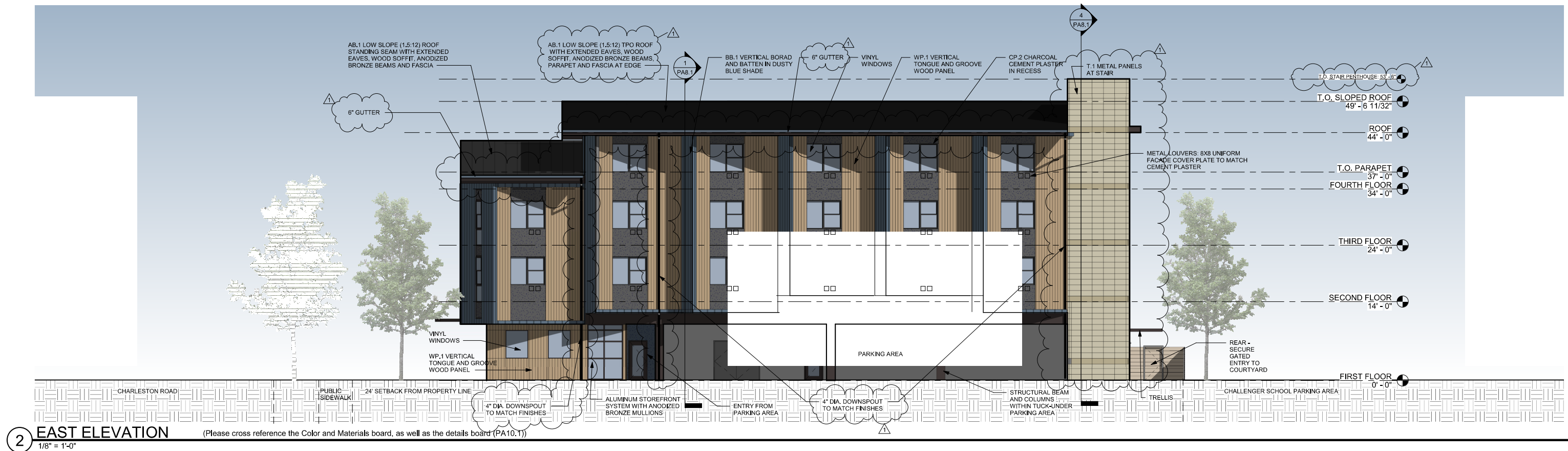
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Drawing Set
PLANNING SUBMITTAL
MARCH 1, 2022

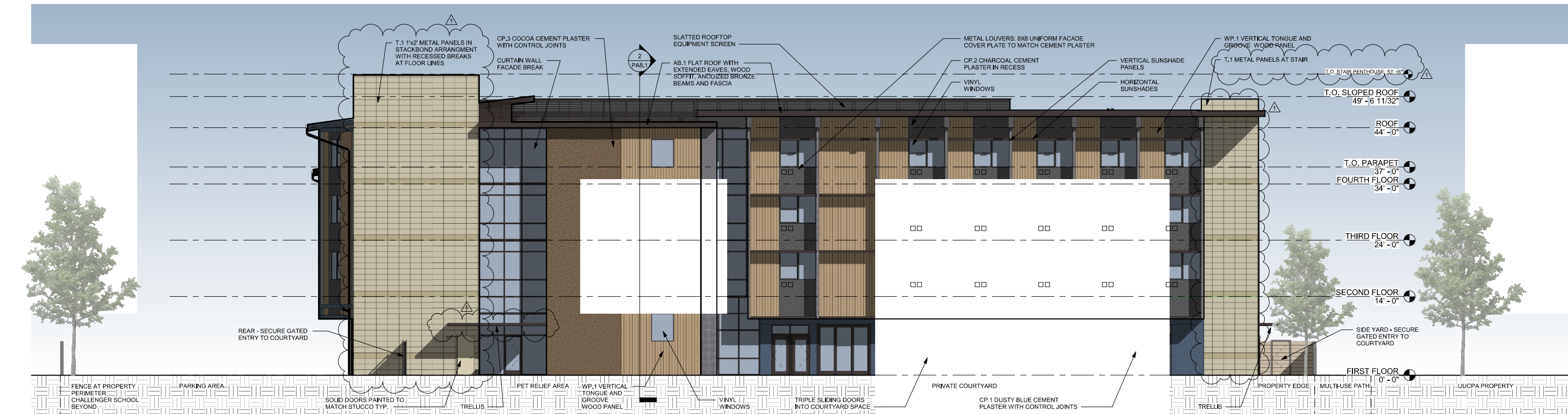
Drawing
EXHIBIT E - BUILDING ELEVATIONS

No.	Date	Issue
1	01/21/22	PLANNING RESPONSES

Issued: MARCH 1, 2022
Drawn: Author
Checked: Checker
Job: 21010
PA5.1
Scale 1/8" = 1'-0"



2 EAST ELEVATION (Please cross reference the Color and Materials board, as well as the details board (PA10.1))
1/8" = 1'-0"



1 NORTH ELEVATION (Please cross reference the Color and Materials board, as well as the details board (PA10.1))
1/8" = 1'-0"



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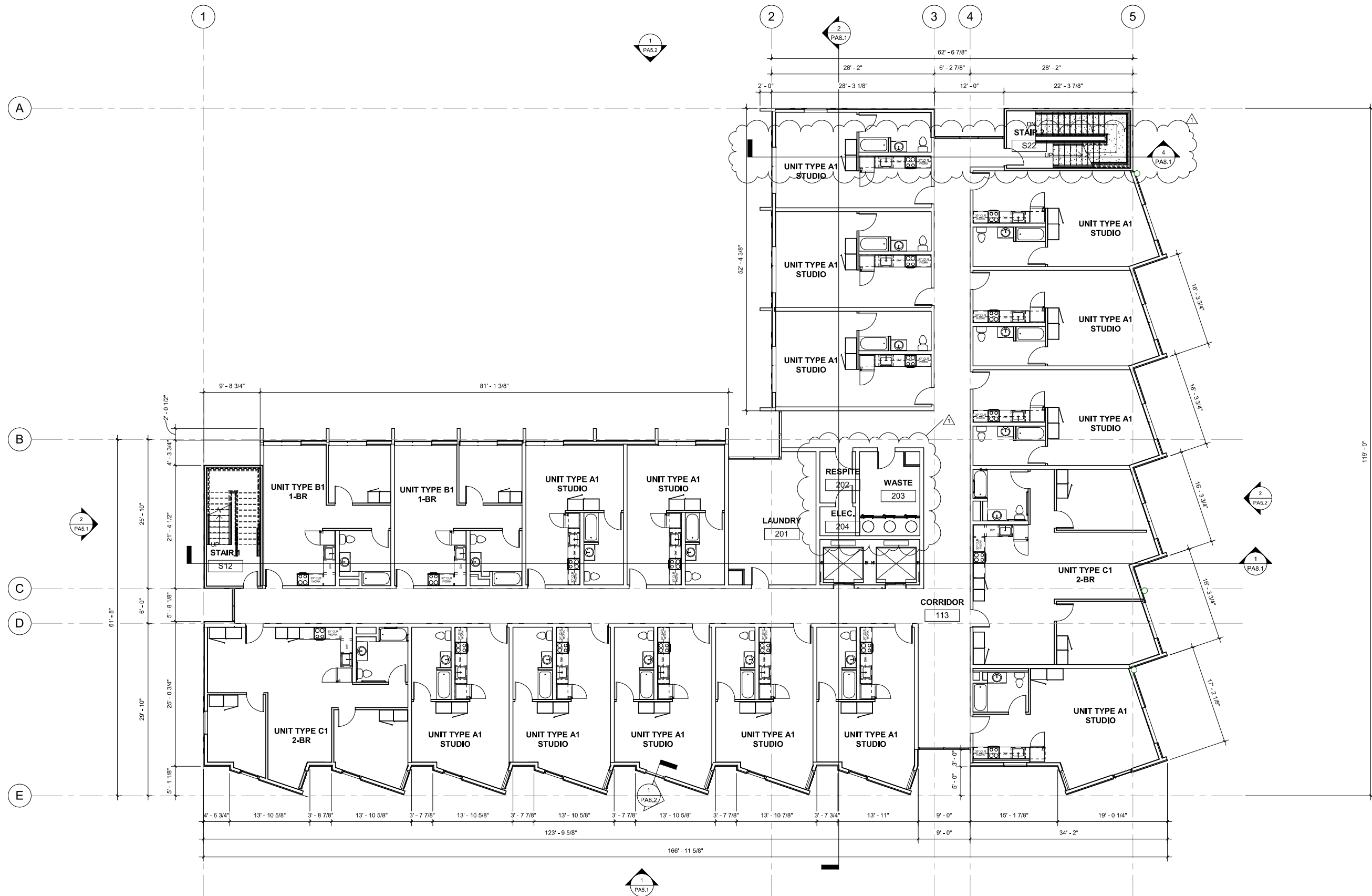
Drawing Set
PLANNING SUBMITTAL
MARCH 1, 2022

Drawing
EXHIBIT E - BUILDING ELEVATIONS

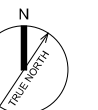
No.	Date	Issue	Issued: MARCH 1, 2022
1	PLANNING RESPONSES 1	01/21/22	Drawn: Author
			Checked: Checker
			Job: 21010
			PA5.2
			Scale 1/8" = 1'-0"

PLANNING SUBMITTAL

PLANNING SUBMITTAL



1 SECOND FLOOR PLAN
1/8" = 1'-0"



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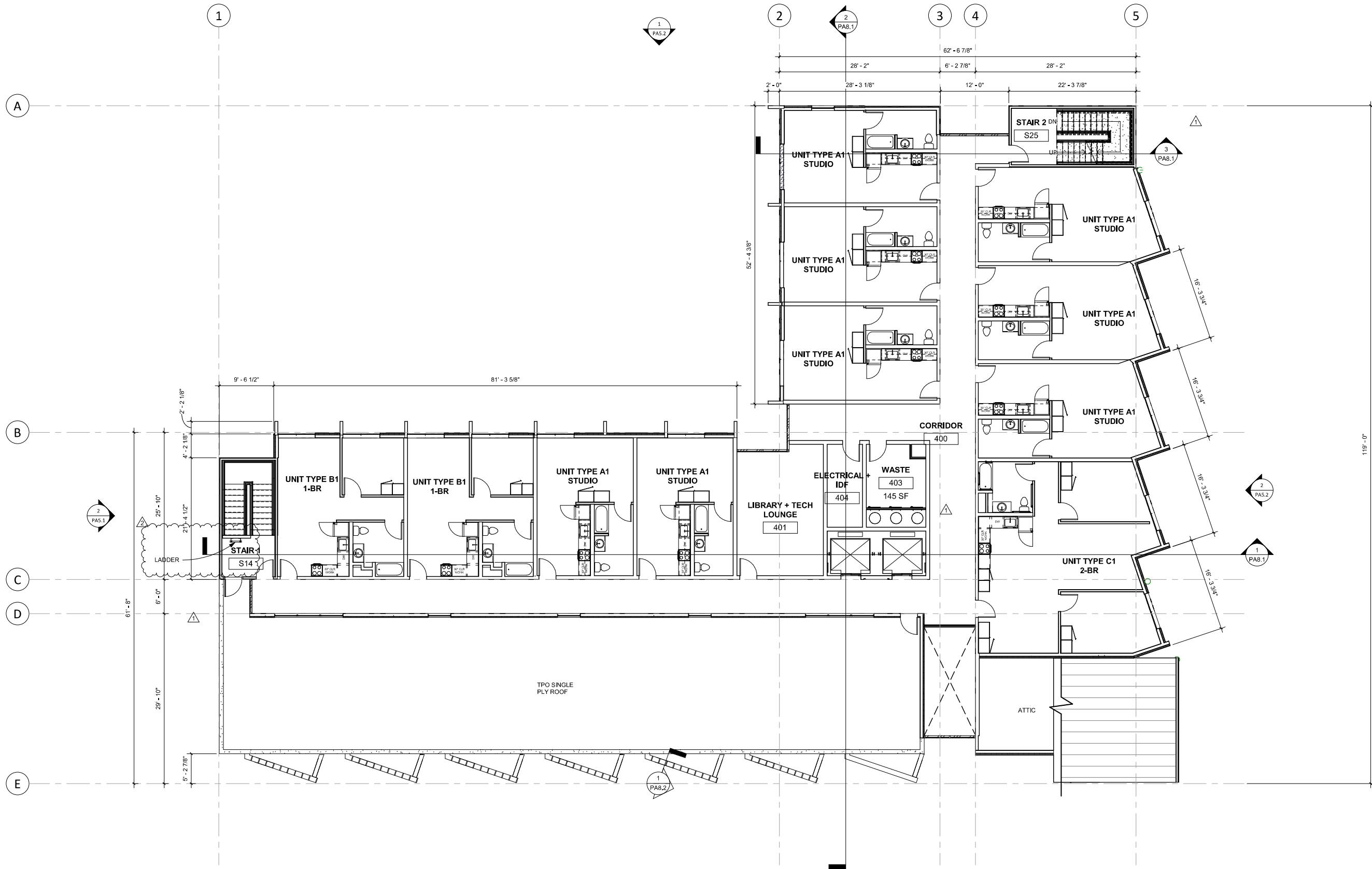
Project
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Drawing Set
PLANNING SUBMITTAL
MARCH 1, 2022

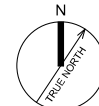
Drawing
EXHIBIT F - SECOND FLOOR PLAN

No.	Date	Issue
1	01/21/22	PLANNING RESPONSES
1		

Issued: MARCH 1, 2022
Drawn: A. BRAGG
Checked: Checker
Job: 21010
PA6.2
Scale 1/8" = 1'-0"



1 FOURTH FLOOR PLAN
1/8" = 1'-0"



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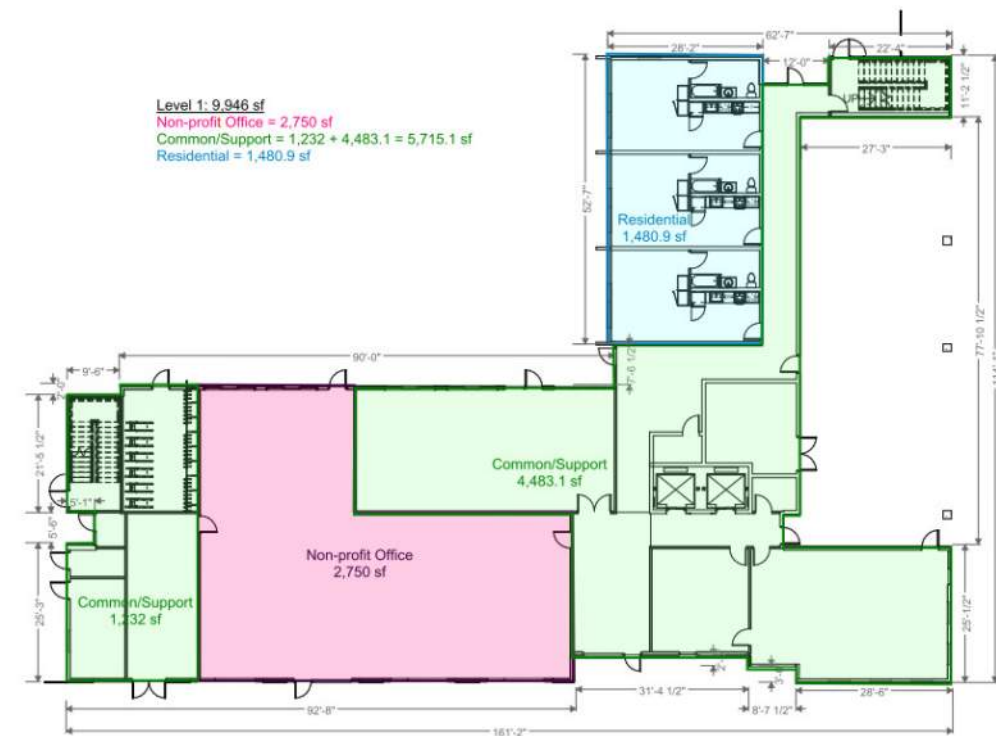
Project
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Drawing Set
PLANNING SUBMITTAL
MARCH 1, 2022

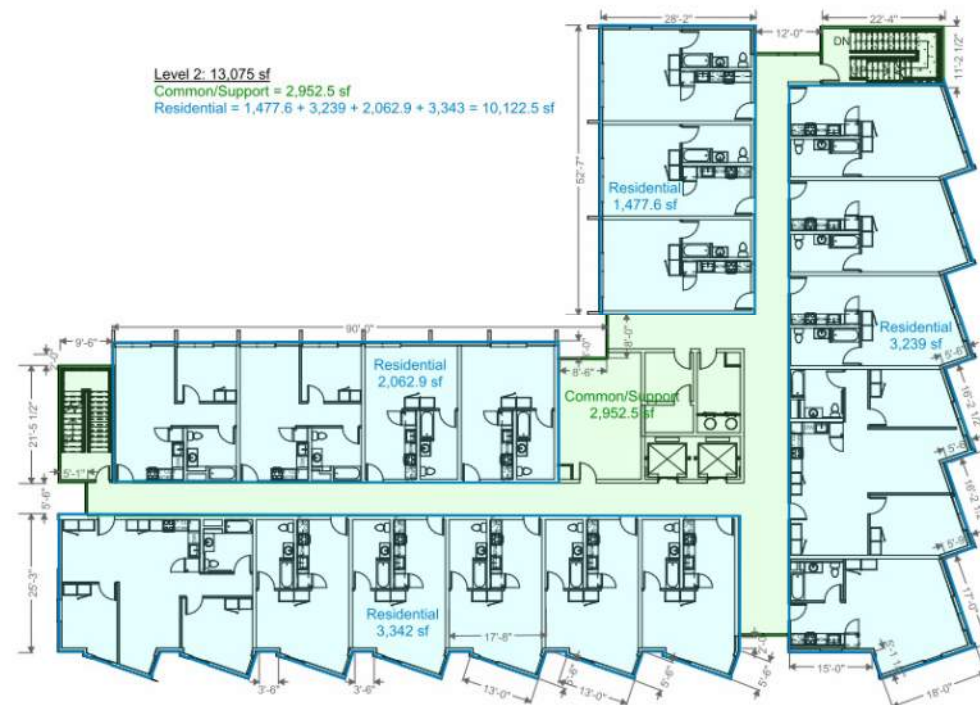
Drawing
EXHIBIT F - FOURTH FLOOR PLAN

No.	Date	Issue
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2	03/01/22	PLANNING RESPONSES 2

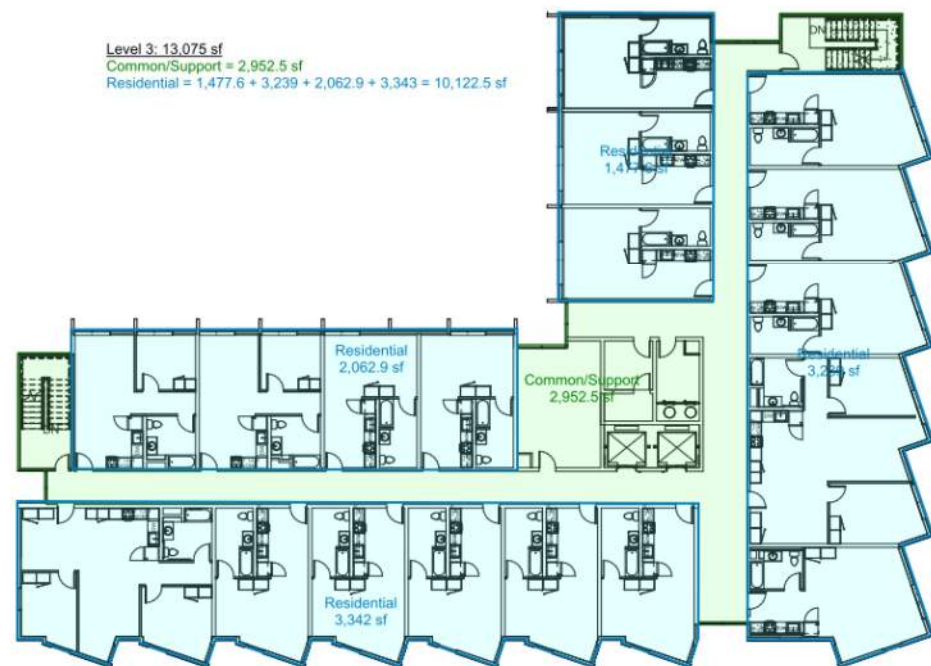
Issued: MARCH 1, 2022
Drawn: A. BRAGG
Checked: K. DONLEY
Job: 21010
PA6.4
Scale 1/8" = 1'-0"



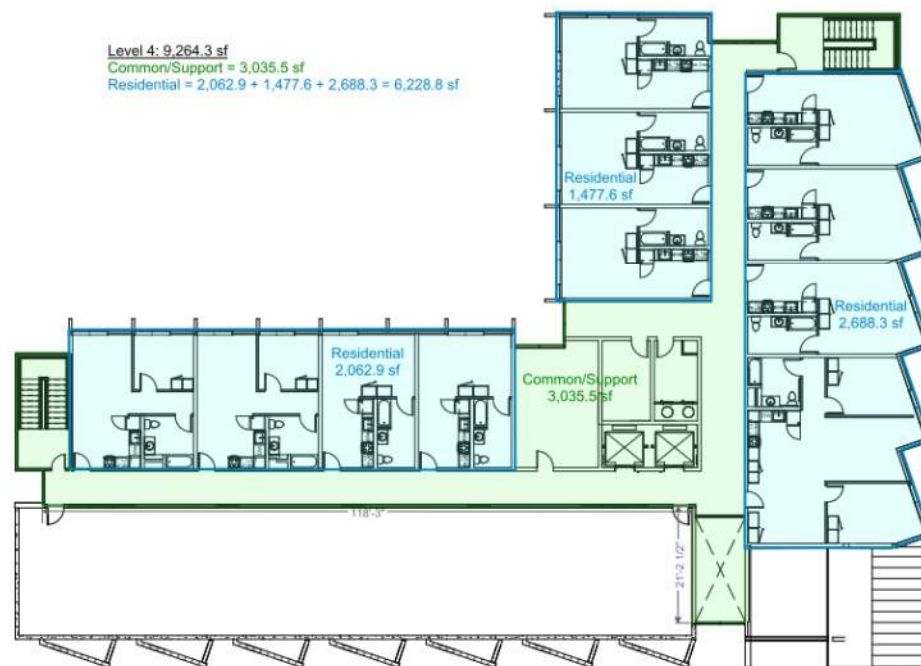
1 FIRST FLOOR PLAN - FAR DIAGRAM
 1/16" = 1'-0"



2 SECOND FLOOR PLAN - FAR DIAGRAM
 1/16" = 1'-0"



3 THIRD FLOOR PLAN - FAR DIAGRAM
 1/16" = 1'-0"



4 FOURTH FLOOR PLAN - FAR DIAGRAM
 1/16" = 1'-0"

Level 1: 9,946 gsf
 Non-profit Office = 2,750 gsf
 Common/Support = 5,715.1 gsf
 Residential = 1,480.9 gsf

Level 2: 13,075 gsf
 Common/Support = 2,952.5 gsf
 Residential = 10,122.5 gsf

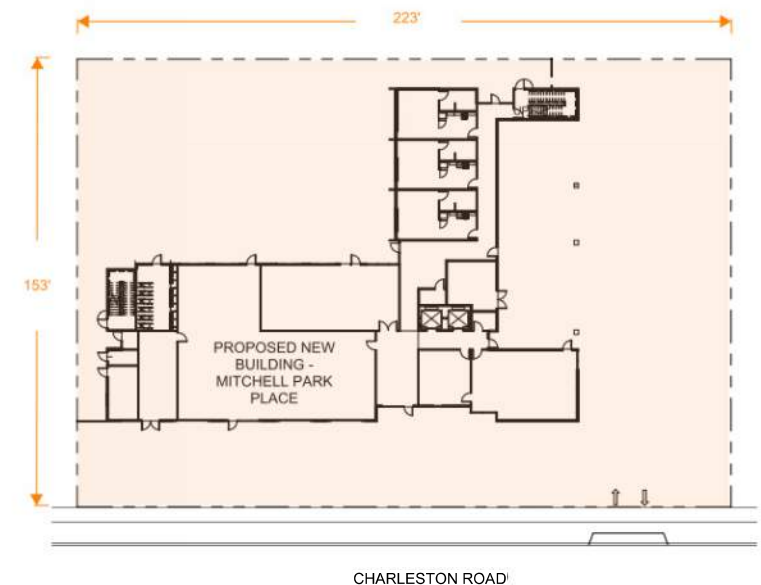
Level 3: 13,075 gsf
 Common/Support = 2,952.5 gsf
 Residential = 10,122.5 gsf

Level 4: 9,264.3 gsf
 Common/Support = 3,035.5 gsf
 Residential = 6,228.8 gsf

Building GSF total: 45,360.3 gsf
 Non-profit Office = 2,750 gsf
 Common/Support = 14,655.6 gsf
 Residential = 27,954.7

Site = 34,119 sf

Proposed FAR = 45,360.3 / 34,119
 = 1.33 FAR



5 ARCHITECTURAL SITE PLAN - FAR DIAGRAM
 1" = 30'-0"



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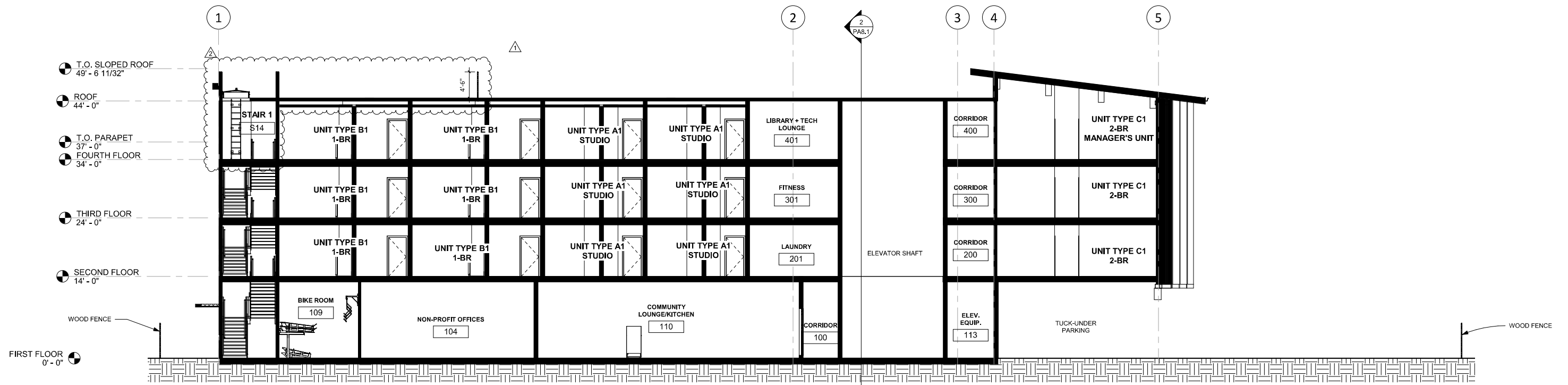
Project
MITCHELL PARK PLACE
 A DEVELOPMENT FOR EDEN HOUSING
 525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

Drawing Set
PLANNING SUBMITTAL
MARCH 1, 2022

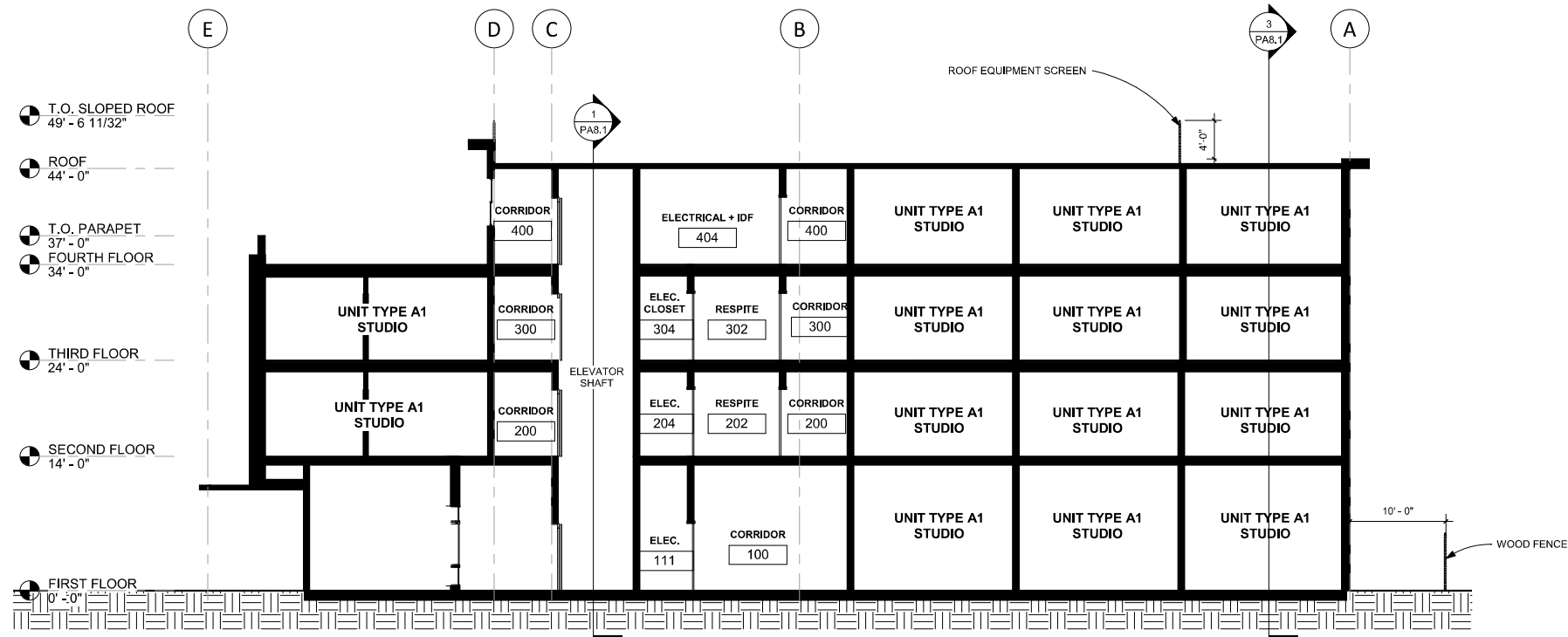
Drawing
EXHIBIT G - FAR DIAGRAM

No.	Date	Issue
1	PLANNING RESPONSES 1	01/21/22

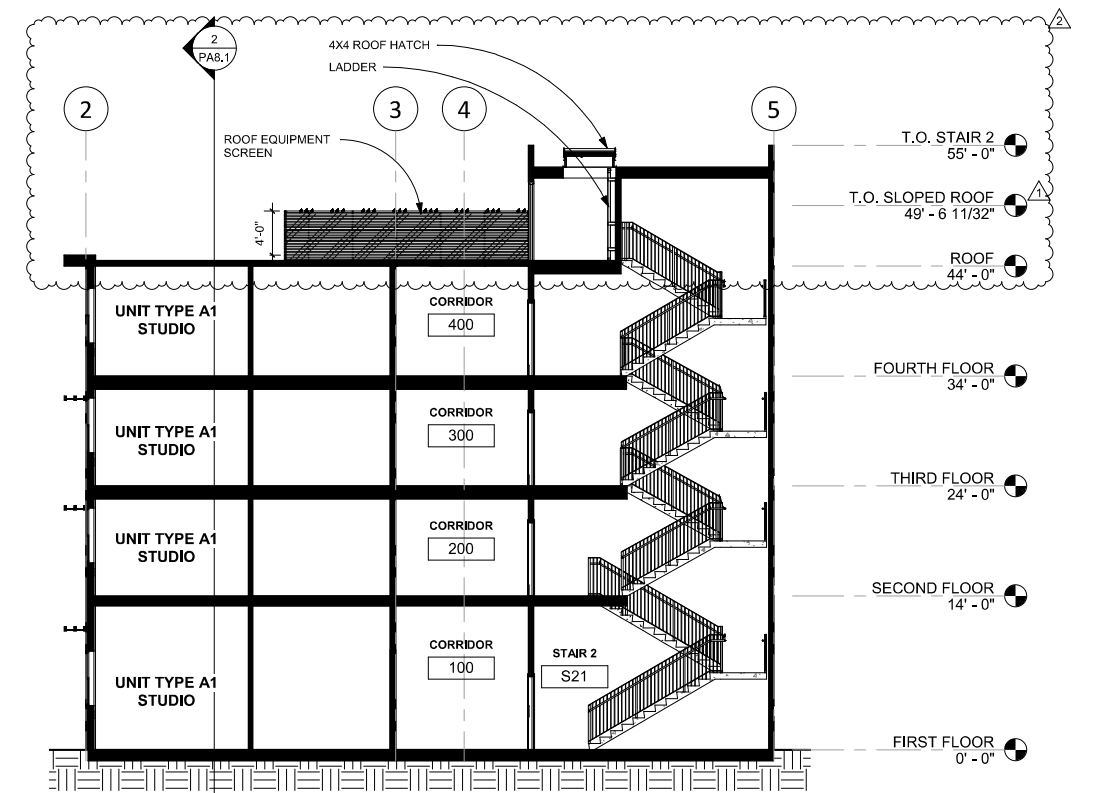
Issued: MARCH 1, 2022
 Drawn: A. BRAGO
 Checked: K. DONLEY
 Job: 21010
PA6.4
 Scale 1/8" = 1'-0"



1 EAST / WEST BUILDING SECTION
1/8" = 1'-0"



2 NORTH / SOUTH BUILDING SECTION
1/8" = 1'-0"



3 EAST / WEST BUILDING SECTION @ STAIR 2
1/8" = 1'-0"



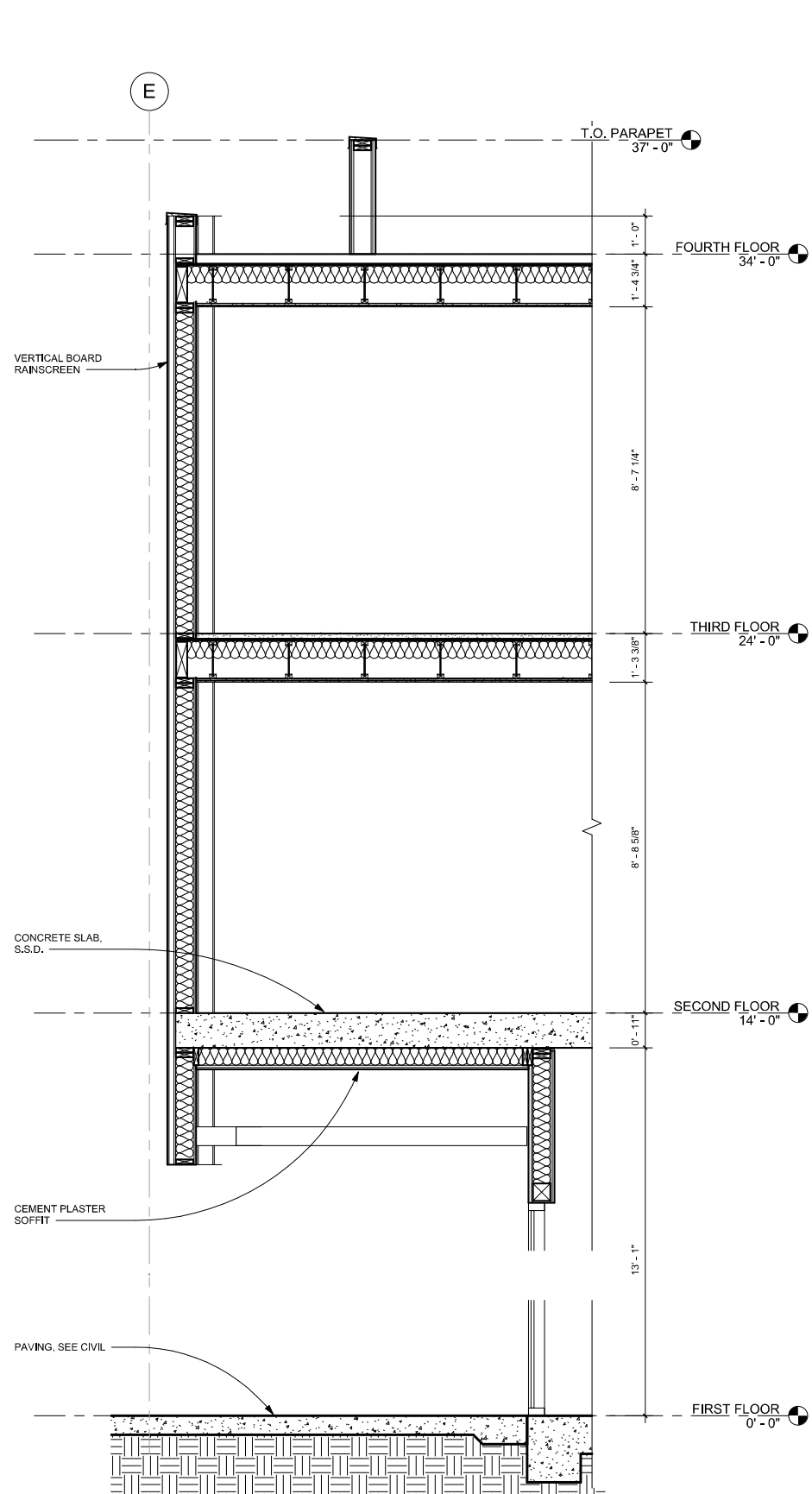
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Project
MITCHELL PARK PLACE
A DEVELOPMENT FOR EDEN HOUSING
525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

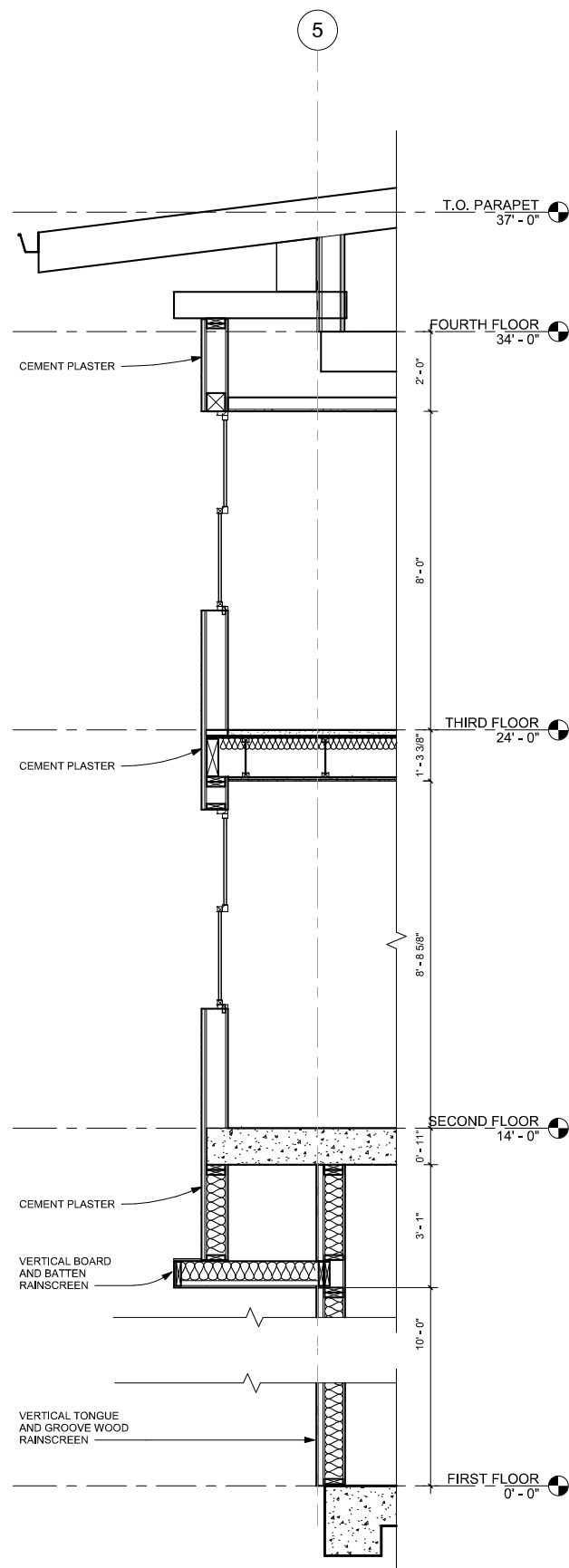
Drawing Set
PLANNING SUBMITTAL
MARCH 1, 2022

Drawing
EXHIBIT H - SECTIONS

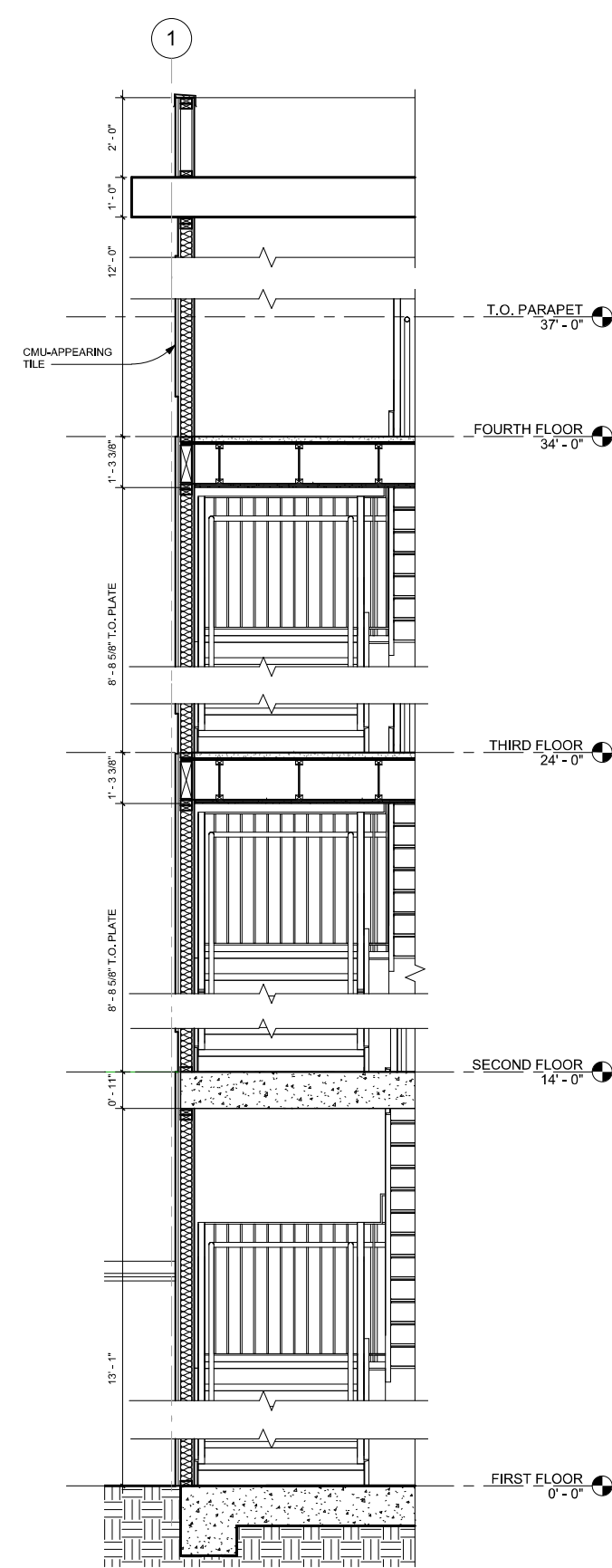
No.	Date	Issue	Issued: MARCH 1, 2022
1	PLANNING RESPONSES 1	01/21/22	Drawn: Author
2	PLANNING RESPONSES 2	03/01/22	Checked: Checker
			Job: 21010
			PA8.1
			Scale 1/8" = 1'-0"



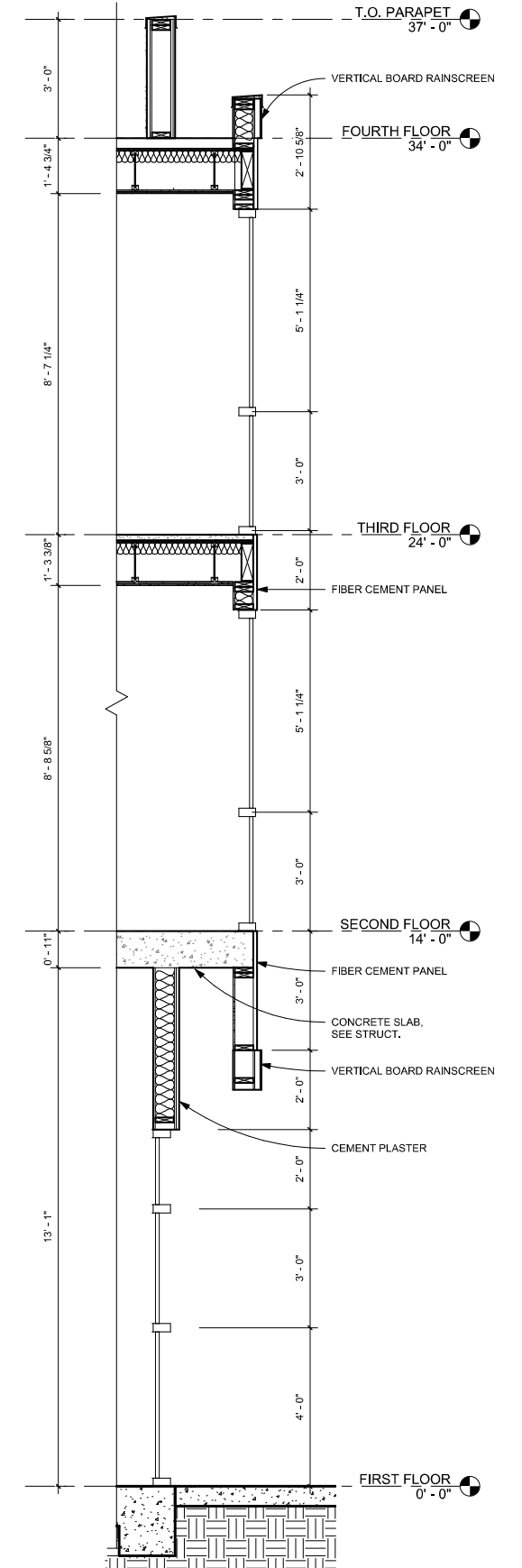
5 WALL SECTION AT MAIN ENTRANCE
1/2" = 1'-0"



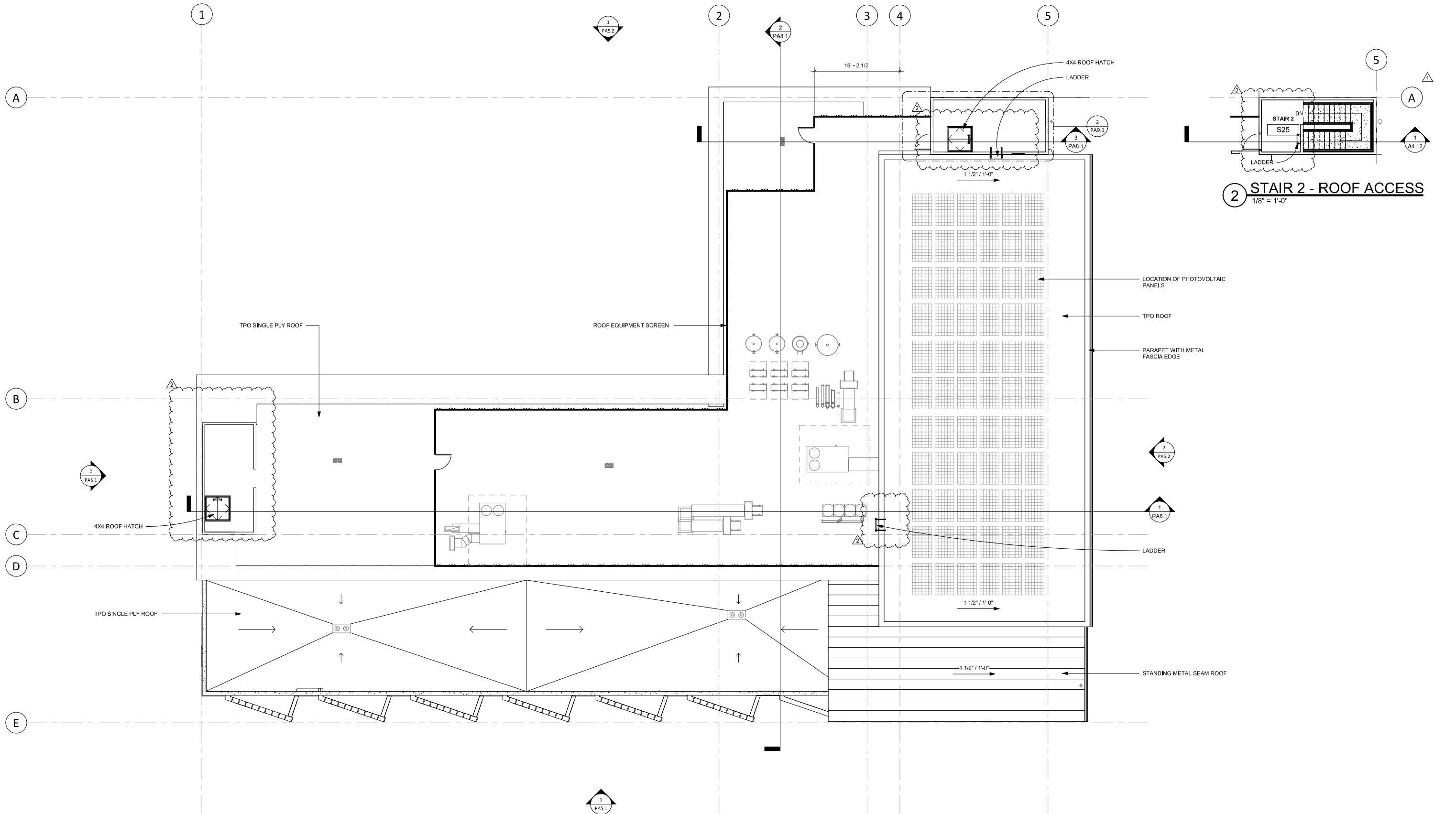
4 WALL SECTION AT EAST FIN WALLS
1/2" = 1'-0"



2 WALL SECTION AT TILE
1/2" = 1'-0"



1 WALL SECTION AT FIN WALLS
1/2" = 1'-0"



1 ROOF PLAN
1/8" = 1'-0"



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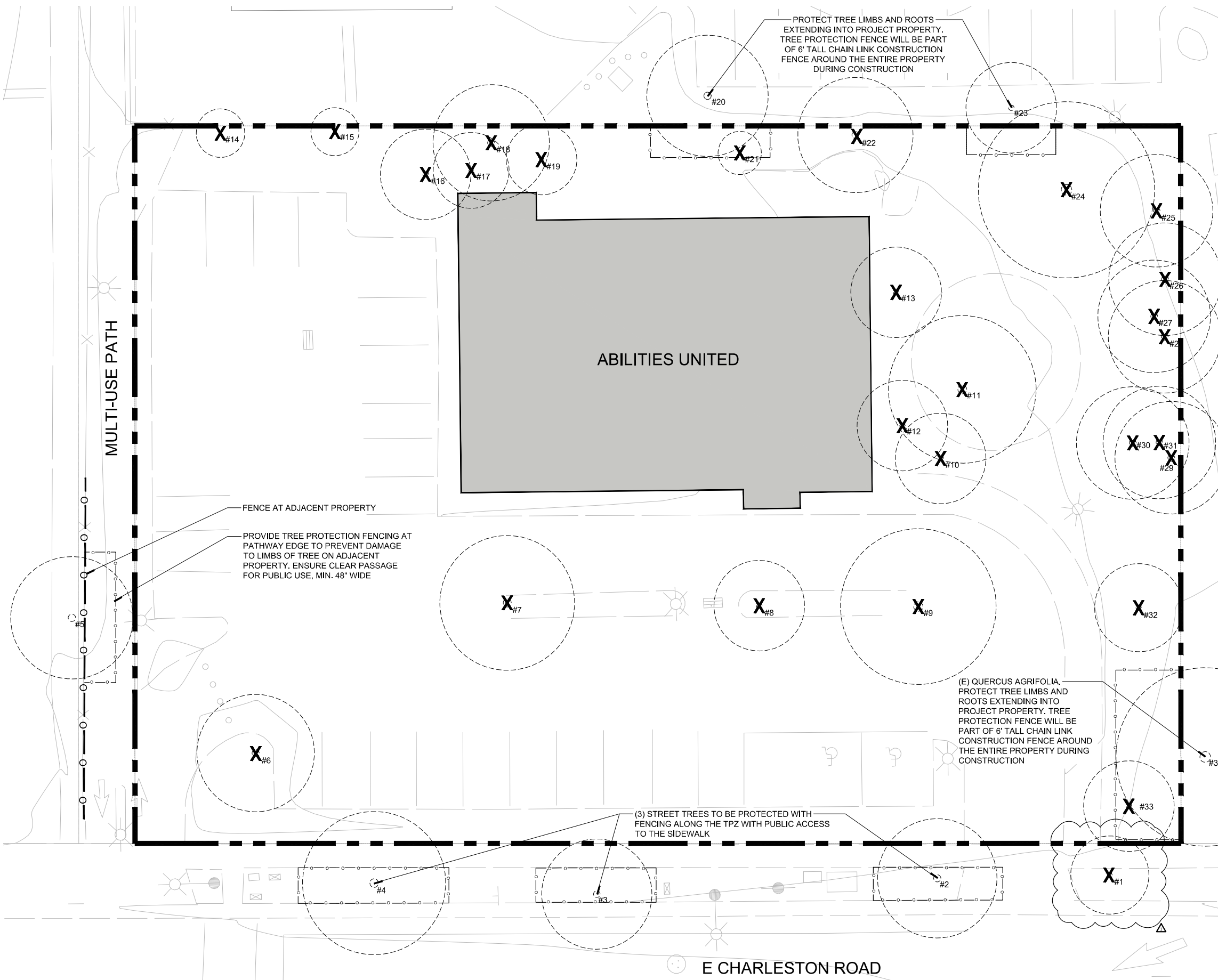
Project
MITCHELL PARK PLACE
A DEVELOPMENT FOR EDEN HOUSING
525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

Drawing Set
PLANNING SUBMITTAL
MARCH 1, 2022

Drawing
EXHIBIT I - ROOF PLAN

No.	Date	Issue
1	01/21/22	PLANNING RESPONSES 1
2	03/01/22	PLANNING RESPONSES 2

Issued: MARCH 1, 2022
Drawn: Author
Checked: Checker
Job: 21010
PA9.1
Scale 1/8" = 1'-0"

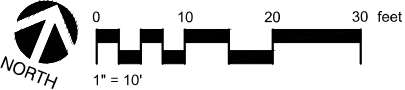


LEGEND

- PROPERTY LINE
- (E) TREE
- TREE TO BE PROTECTED WITH FENCE
REFER TO DWG 605/PT1.1
- TREE TO BE REMOVED
- TREE NUMBER PER ARBORIST REPORT

TREE #	BOTANICAL NAME	COMMON NAME	DBH, INCHES	CANOPY SPREAD, FT	REMOVE/RETAIN
1	FRAXINUS ANGUSTIFOLIA	RAYWOOD ASH	17	13	REMOVE
2	FRAXINUS ANGUSTIFOLIA	RAYWOOD ASH	19	15	RETAIN
3	QUERCUS ILEX	HOLLY OAK	12	10	RETAIN
4	PLATANUS X HISPANICA	LONDON PLANETREE	14	15	RETAIN
5	EUCALYPTUS SIDEROXYLON	RED IRONBARK	18	13	RETAIN
6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	9	11	REMOVE
7	PYRUS KAWAKAMII	EVERGREEN PEAR	15	15	REMOVE
8	PYRUS KAWAKAMII	EVERGREEN PEAR	11, 10	8	REMOVE
9	PYRUS KAWAKAMII	EVERGREEN PEAR	17	16	REMOVE
10	LAGERSTROEMIA INDICA	CAPE MYRTLE	6	6	REMOVE
11	LAGERSTROEMIA INDICA	CAPE MYRTLE	4, 4, 4, 4, 4	14	REMOVE
12	CERCIS CANADENSIS	EASTERN REDBUD	4	7	REMOVE
13	LAGERSTROEMIA INDICA	CAPE MYRTLE	7	8	REMOVE
14	QUERCUS ILEX	HOLLY OAK	4	4	REMOVE
15	RHAMNUS ALATERNUS	ITALIAN BUCKTHORN	5, 3, 3, 5	6	REMOVE
16	PYRUS KAWAKAMII	EVERGREEN PEAR	16	15	REMOVE
17	PRUNUS BLIREIANA	BLIREIANA PLUM	6	4	REMOVE
18	PRUNUS SP.	PLUM	5	5	REMOVE
19	PYRUS CALLERYANA	CALLERY PEAR	10	13	REMOVE
20	PISTACIA CHINENSIS	CHINESE PISTACHE	7	10	RETAIN
21	PRUNUS BLIREIANA	BLIREIANA PLUM	6	5	REMOVE
22	PRUNUS SP.	PLUM	5	8	REMOVE
23	PISTACIA CHINENSIS	CHINESE PISTACHE	6	12	RETAIN
24	PYRUS CALLERYANA	CALLERY PEAR	16	18	REMOVE
25	SYZYGIIUM PANICULATUM	BRUSH CHERRY	6, 6, 6, 6, 4	10	REMOVE
26	SYZYGIIUM PANICULATUM	BRUSH CHERRY	10, 9	10	REMOVE
27	SYZYGIIUM PANICULATUM	BRUSH CHERRY	8, 6, 8, 6, 6, 5	8	REMOVE
28	QUERCUS ILEX	HOLLY OAK	7	7	REMOVE
29	QUERCUS ILEX	HOLLY OAK	7	8	REMOVE
30	LAGERSTROEMIA INDICA	CAPE MYRTLE	8	8	REMOVE
31	CELTIS SINENSIS	CHINESE HACKBERRY	6, 6	7	REMOVE
32	MALUS SP.	APPLE	5	5	REMOVE
33	MALUS SP.	APPLE	5	5	REMOVE
34	QUERCUS AGRIFOLIA	COAST LIVE OAK	22	19	RETAIN

- NOTES:
- ALL EXISTING TREES IMMEDIATELY ADJACENT TO THE PROJECT PROPERTY AND AFFECTED BY CONSTRUCTION SHALL BE KEPT IN GOOD HEALTH, REASONABLY FREE OF CONSTRUCTION DUST, TRASH AND DEBRIS, AND FREE OF DAMAGES, INJURY, AND COMPACTION.
 - GRIND STUMPS OF REMOVED TREES TO A MINIMUM DEPTH OF 12" BELOW EXISTING GRADE.
 - REFER TO ARBORIST REPORT BY DAVEY RESOURCE GROUP FOR EDEN HOUSING.



BASE

LANDSCAPE ARCHITECTURE

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Project

MITCHELL PARK PLACE

A DEVELOPMENT FOR EDEN HOUSING

525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

Drawing Set

PLANNING RESPONSES 1

MARCH 1, 2022

Drawing

EXHIBIT J - EXISTING TREE PROTECTION AND REMOVAL PLAN

No.	Date	Issue

Issued: AUGUST 16, 2021

Drawn: YD, JR, TY

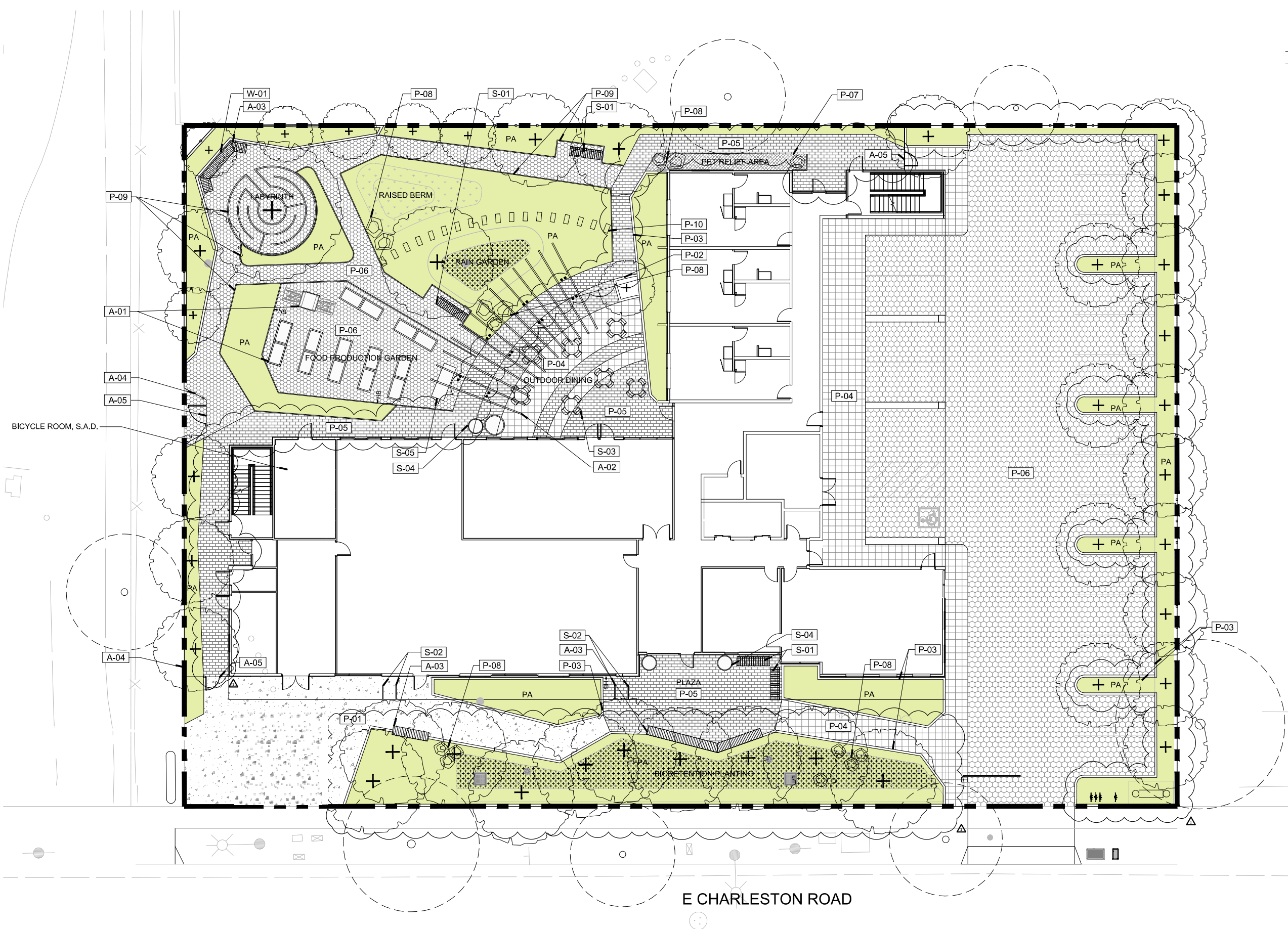
Checked: YD

Job: 2109

PL2.1

Scale 1" = 10'-0"

PLANNING SUBMITTAL



LEGEND

SYMBOL	DESCRIPTION
A-01	STANDARD AND ACCESSIBLE RAISED VEGETABLE BED
A-02	OVERHEAD TRELLIS
A-03	BUILT-IN WOOD BENCH WITH BACK
A-04	WOOD FENCE
A-05	GATE

SYMBOL	DESCRIPTION
P-01	CONCRETE PAVING, C.I.P.
P-02	FLUSH CONCRETE CURB, C.I.P.
P-03	RAISED CONCRETE CURB, C.I.P.
P-04	UNIT PAVER, PEDESTRIAN -TYPE 1
P-05	UNIT PAVER, PEDESTRIAN - TYPE 2
P-06	GRANITECRETE PAVING
P-07	CRUSHED ROCK MULCH
P-08	BOULDERS
P-09	WOOD HEADER
P-10	STEPPING STONES

SYMBOL	DESCRIPTION
S-01	WOOD AND METAL BENCH WITH BACK
S-02	BIKE RACK
S-03	GARDEN TABLE AND CHAIRS
S-04	PLANTER POT, VARIOUS SIZES
S-05	WORK TABLE

SYMBOL	DESCRIPTION
W-01	RAISED PLANTER WALL, 18" HIGH

--- PROPERTY LINE



(E) TREE



(N) TREE

PA

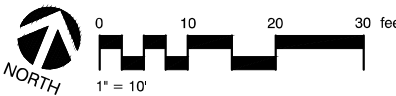
PLANTING AREA



BIORETENTION AREA



NO-MOW GRASS TURF



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Project

MITCHELL PARK PLACE

A DEVELOPMENT FOR EDEN HOUSING

525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

Drawing Set

PLANNING RESPONSES 1

MARCH 1, 2022

Drawing

EXHIBIT J - LANDSCAPE PLAN

No.	Date	Issue

Issued: AUGUST 16, 2021

Drawn: YD, JR, TY

Checked: YD




Job: 2109

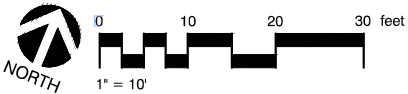
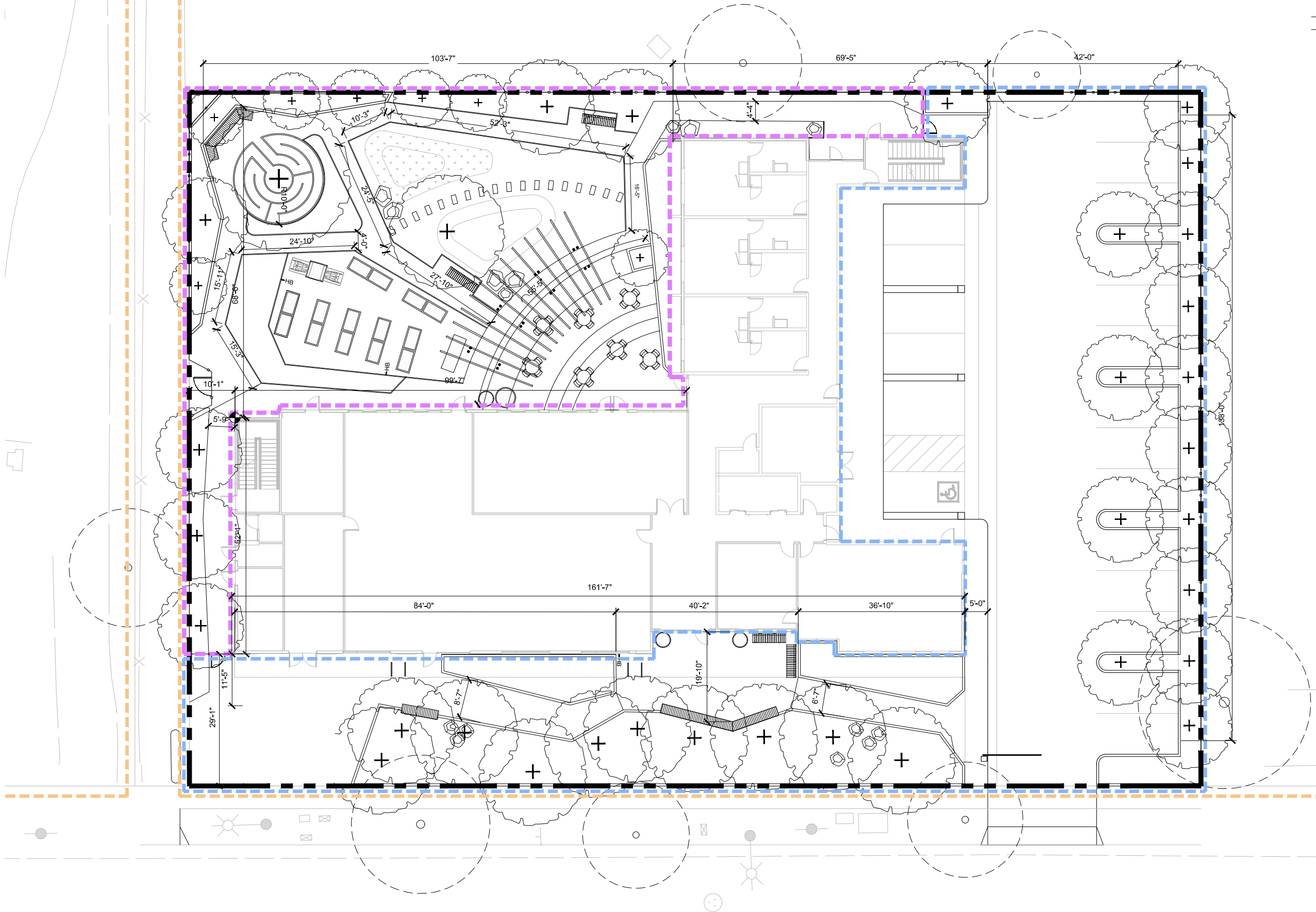
PL2.2

Scale 1" = 10'-0"

PLANNING SUBMITTAL

LEGEND

SYMBOL	DESCRIPTION	AREA
	PRIVATE SPACE, ACCESSIBLE TO RESIDENTS, WORKERS, AND THE GENERAL PUBLIC	15,720 SQ.FT.
	PRIVATE SPACE, FENCED SPACE, ACCESSIBLE TO RESIDENTS AND WORKERS	8,660 SQ.FT.
	PUBLIC SPACE	



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Project
MITCHELL PARK PLACE

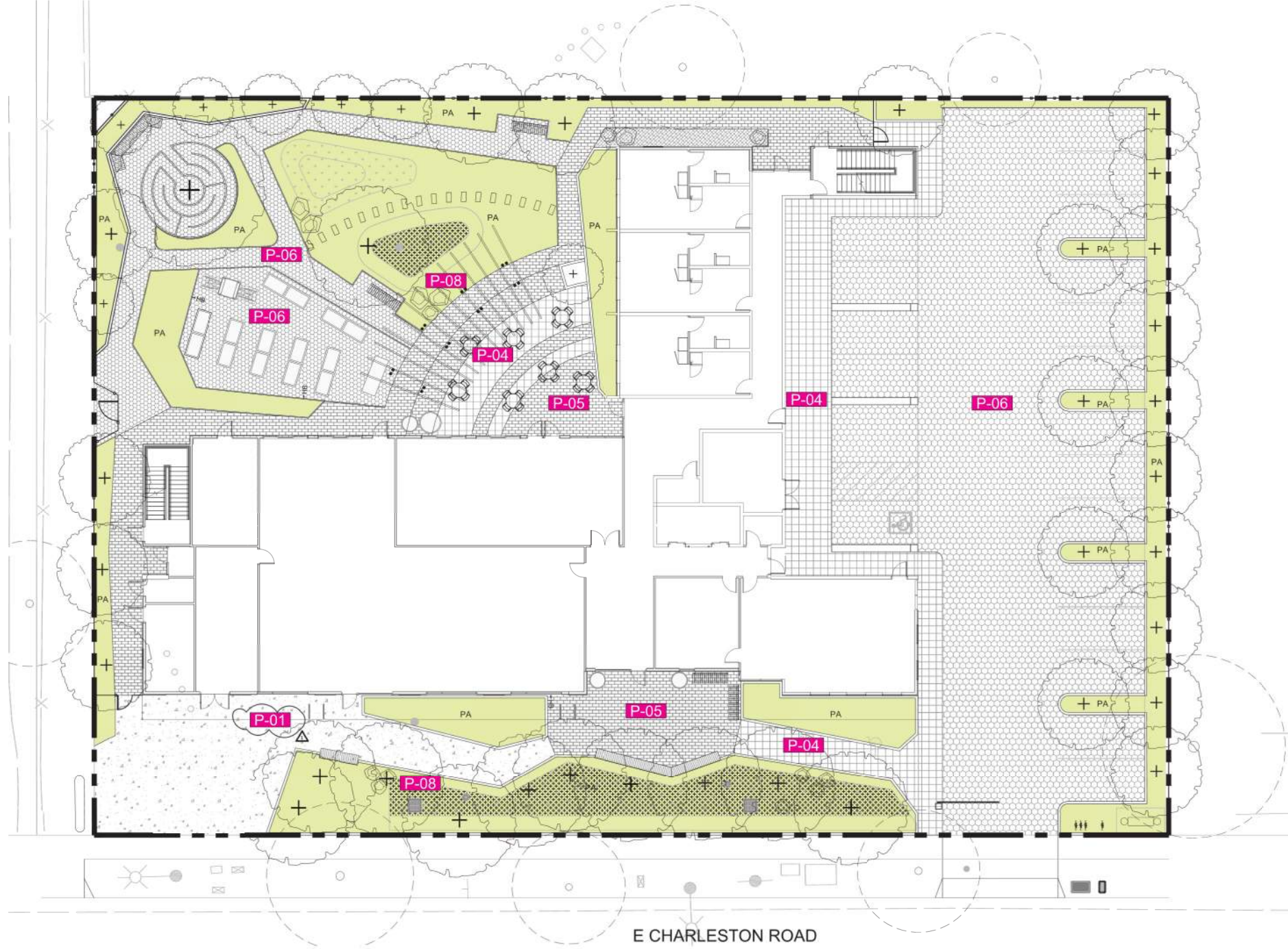
A DEVELOPMENT FOR EDEN HOUSING
525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

Drawing Set
PLANNING RESPONSES 1

MARCH 1, 2022

Drawing
**EXHIBIT J -
OPEN SPACE PLAN**

No.	Date	Issue	Issued: AUGUST 16, 2021
			Drawn: YD, JR, TY
			Checked: YD
			Job: 2109
			PL2.3
			Scale 1" = 10'-0"



PAVING



P-04
UNIT PAVER, PEDESTRIAN - TYPE 1



P-05
UNIT PAVER, PEDESTRIAN - TYPE 2



P-06
GRANITECRETE PAVING



P-06
GRANITECRETE PAVING



P-08
BOULDERS

PAVING				
SYMBOL	DESCRIPTION	MATERIAL	COLOR	FINISH
P-01	CONCRETE PAVING, C.I.P.	CONCRETE	OUTBACK, DAVIS	SANDBLAST
P-02	FLUSH CONCRETE CURB, C.I.P.	CONCRETE	OUTBACK, DAVIS	SANDBLAST
P-03	RAISED CONCRETE CURB, C.I.P.	CONCRETE	OUTBACK, DAVIS	SANDBLAST
P-04	UNIT PAVER, PEDESTRIAN - TYPE 1	CONCRETE	GRANADA WHITE	LIGHT SANDBLAST
P-05	UNIT PAVER, PEDESTRIAN - TYPE 2	CONCRETE	GRANADA WHITE W/PORCELAIN	LIGHT SANDBLAST
P-06	GRANITECRETE PAVING	GRANITECRETE	NATURAL GOLD	
P-07	CRUSHED ROCK MULCH	ROCK	TAN	
P-08	BOULDERS	STONE	NATURAL	
P-09	WOOD HEADER	WOOD		
P-10	STEPPING STONES	STONE	NATURAL	

MATERIALS, COLORS, FINISHES



CONCRETE
OUTBACK, DAVIS



CONCRETE
SANDBLAST



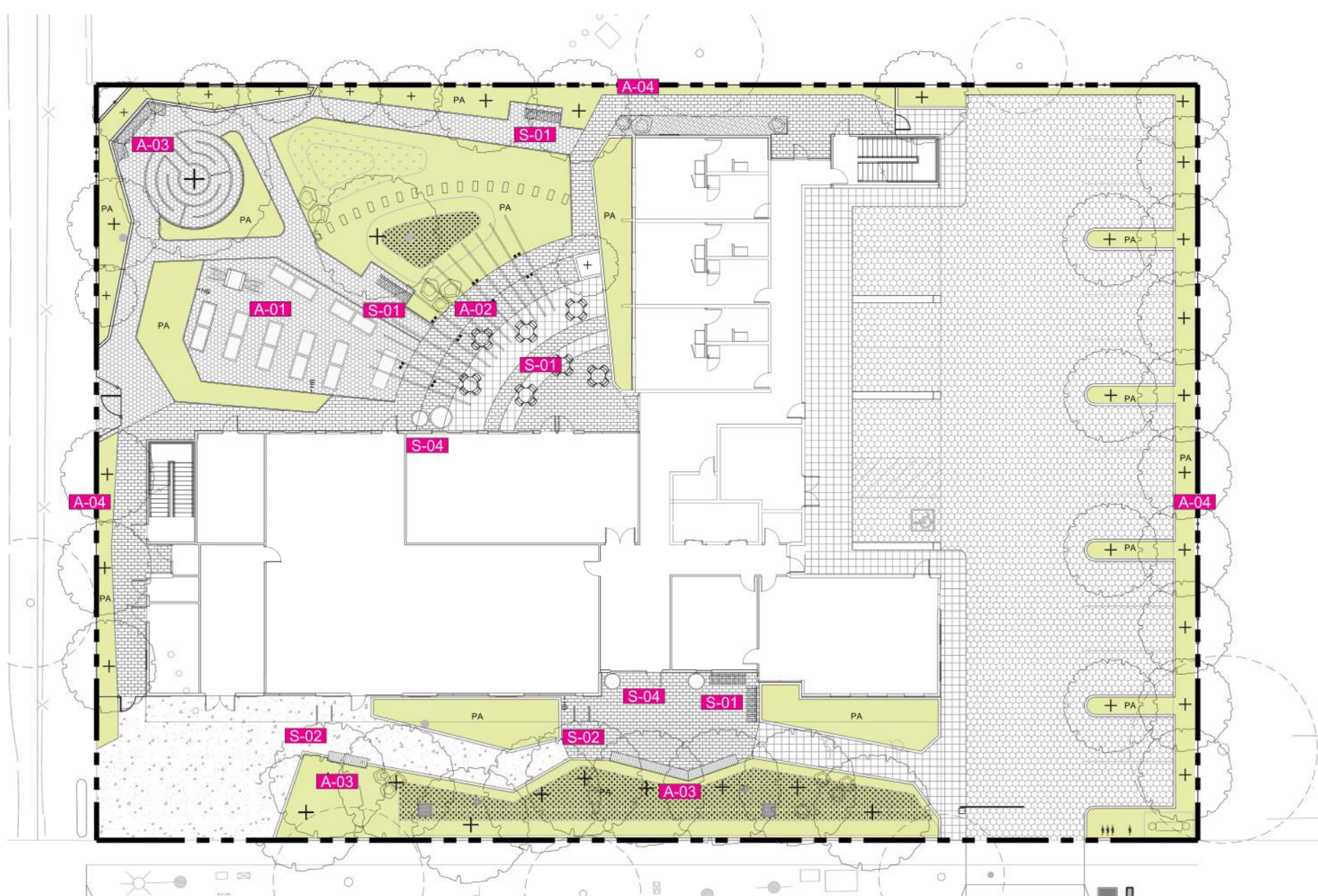
GRANADA WHITE,
LIGHT SANDBLAST



PORCELAIN,
LIGHT SANDBLAST



GRANITECRETE
NATURAL GOLD



SITE FURNISHING



S-01
WOOD AND METAL BENCH WITH BACK



S-01
WOOD AND METAL BENCH WITH BACK



S-02
BIKE RACK



S-04
PLANTER POT, VARIOUS SIZES

AMENITY AND STRUCTURE



A-01
ACCESSIBLE RAISED VEGETABLE BED



A-01
TYPICAL RAISED VEGETABLE BED



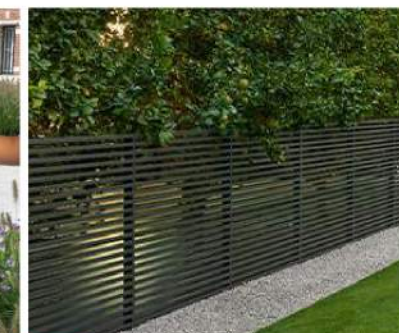
A-02
OVERHEAD TRELLIS



A-03
BUILT-IN WOOD BENCH WITH BACK



A-03
BUILT-IN WOOD BENCH WITH BACK



A-04
WOOD FENCE

MATERIALS, COLORS, FINISHES



THERMALLY TREATED ASH
BENCHES, RAISED BED,
TRELLIS



RED CEDAR
FENCE + GATE

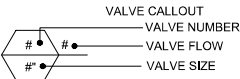
SYMBOL	DESCRIPTION	MATERIAL	COLOR	FINISH
W-01	RAISED PLANTER WALL, 18" HIGH	THERMALLY TREATED ASH	NATURAL	FINISH

SYMBOL	DESCRIPTION	MATERIAL	COLOR	FINISH
S-01	WOOD AND METAL BENCH WITH BACK	WOOD + METAL	WOOD - NATURAL	POWDERCOAT
S-02	BIKE RACK	SQUARE STEEL TUBE		GALVANIZED
S-03	GARDEN TABLE AND CHAIRS	WOOD + METAL	WOOD - NATURAL	
S-04	PLANTER POT, VARIOUS SIZES	CONCRETE	SAHARA	ACID ETCH
S-05	WORK TABLE	WOOD	NATURAL	

SYMBOL	DESCRIPTION	MATERIAL	COLOR	FINISH
A-01	STANDARD AND ACCESSIBLE RAISED VEGETABLE BED	WOOD	NATURAL	
A-02	OVERHEAD TRELLIS	STEEL, THERMALLY TREATED ASH	NATURAL	PAINTED
A-03	BUILT-IN WOOD BENCH WITH BACK	STEEL, THERMALLY TREATED ASH	NATURAL	
A-04	WOOD FENCE	RED CEDAR	STANDARD TIGHT KNOT	
A-05	GATE	RED CEDAR	STANDARD TIGHT KNOT	

LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER PROS-06-PRS40-CV 8' RADIUS SHRUB SPRAY, 40PSI REGULATED 6" POP-UP, DRAIN CHECK VALVE
	HUNTER RZWS-SLEEVE-18-CV 25 18" LONG RZWS WITH FILTER FABRIC SLEEVE, .25 GPM OR .50 GPM BUBBLER OPTIONS, CHECK VALVE, 1/2" SWING JOINT FOR CONNECTION TO 1/2" PIPE
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER ACZ-075-40 DRIP CONTROL KIT FEATURING A 3/4" PGV-ASV VALVE, WITH 3/4" HY075 FILTER SYSTEM, AND 40PSI PRESSURE REGULATED. FLOW RANGE: 0.5 GPM TO 15 GPM. WITH 150 MESH STAINLESS STEEL SCREEN.
	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" (150MM) DRIP BOX.
	AREA TO RECEIVE DRIPLINE HUNTER ECO-MAT 17 MM 0.6 GPH FLEECE WRAPPED INLINE EMITTER TUBING, WITH THE BLANKET ECO-MAT. EVENLY DISPERSES WATER FROM UNDER THE SURFACE. EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART. SPECIFY PLD-LOC FITTINGS.
	AREA TO RECEIVE DRIPLINE HUNTER HDL-06-18-CV HDL-06-18-CV: HUNTER DRIPLINE W/ 0.6 GPH EMITTERS AT 18" O.C. CHECK VALVE, DARK BROWN TUBING WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER PGV-101G 1" PLASTIC ELECTRIC REMOTE CONTROL VALVE, FOR RESIDENTIAL/LIGHT COMMERCIAL USE. FEMALE NPT INLET/OUTLET. GLOBE CONFIGURATION, WITH FLOW CONTROL.
	HOSE BIBB
	SHUT OFF VALVE
	HUNTER ICV-G 1-1/2" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER.
	HUNTER PCC-12001 LIGHT COMMERCIAL & RESIDENTIAL CONTROLLER, 12-STATION FIXED CONTROLLER, 120 VAC, INDOOR MODEL
	HUNTER MWS WEATHER STATION WITH RAIN SENSOR, WIND SENSOR, 120 VAC, 5 AMP, 5 YEAR WARRANTY.
	HUNTER HC-150-FLOW 1-1/2" FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS. ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.
	WATER METER 1-1/4"
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40
	IRRIGATION MAINLINE: PVC SCHEDULE 40



*ADD ALT:
DUAL PIPING. PURPLE PIPE FOR FUTURE CONNECTION TO RECLAIMED WATER SOURCE PROVIDED BY CITY OF PALO ALTO.

NOTES:

- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITH SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATED ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- MAINLINE AND LATERAL PIPE SIZE IS AS NOTED AND CONTIGUOUS DOWNSTREAM UNTIL OTHERWISE NOTED BY NEW PIPE SIZE CALL OUT (TYPICAL).

*SEE SCHEDULE FOR ADD ALT

IRRIGATION CONTROLLER "C". MOUNT AT EYE LEVEL ON INTERIOR WALL AT THIS LOCATION AS DETAILED AND DIRECTED BY OWNER. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE AT THIS LOCATION. IRRIGATION CONTRACTOR SHALL VERIFY LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.

WEATHER SENSOR. MOUNT ON EVE OF BUILDING. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. IRRIGATION CONTRACTOR SHALL COORDINATE CONDUIT CONNECTION TO CONTROLLER PRIOR TO CONSTRUCTION.

E CHARLESTON ROAD

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Project

MITCHELL PARK PLACE

A DEVELOPMENT FOR EDEN HOUSING

525 E. CHARLESTON ROAD, PALO ALTO, CA 94036

Drawing Set

PLANNING RESPONSES 2

MARCH 1, 2022

Drawing

EXHIBIT J - IRRIGATION PLAN AND SCHEDULE

No.	Date	Issue

Issued: FEBRUARY 18, 2022

Drawn: YD, JR, TY

Checked: YD

Job: 2109

PL2.6

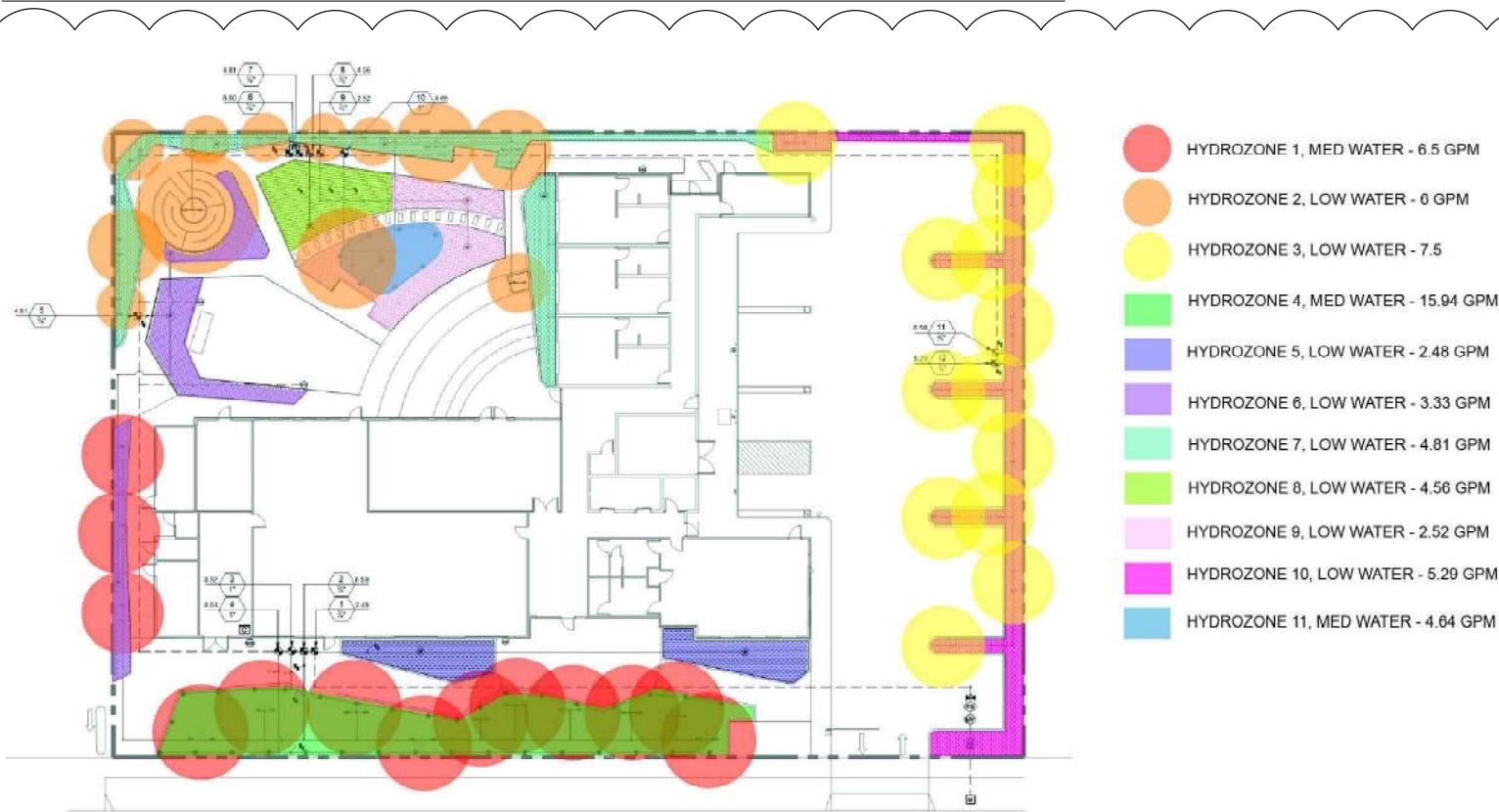
Scale 1" = 10'-0"

PLANNING SUBMITTAL

IRRIGATION NOTES

1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH OWNER FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
3. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL
4. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
5. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, SUN, SHADE AND WIND EXPOSURE.
6. USE EXISTING 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
7. PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINDS OR BENDING.
8. SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
9. INSTALL 3" DETECTABLE TAPE ABOVE ALL PRESSURIZED MAIN LINES AS DETAILED. USE CHRISTY MODEL #TA-DT-3-BIRR FOR POTABLE IRRIGATION SYSTEMS OR #TA-DT-3-PRW FOR RECYCLED IRRIGATION WATER SYSTEMS.
10. PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
11. INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
12. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE. LANDSCAPE ARCHITECT TO APPROVE BOX LOCATIONS PRIOR TO INSTALLATION.
13. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS.
14. THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE.
15. INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.
16. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
17. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF EXISTING BACKFLOW PREVENTION DEVICE.
18. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
19. IRRIGATION DEMAND: REFER TO PLANS.
20. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
21. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
22. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
23. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
24. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE IRRIGATION SYSTEM DESIGN IF THE PLANTING DESIGN CHANGES FROM THE ORIGINAL PLAN AND NEEDS TO ADAPT TO THE NEW PLANTING DESIGN. THE LANDSCAPE CONTRACTOR NEEDS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER OF PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
25. WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
26. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL AND HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
27. VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

HYDROZONE MAP



MWELO WATER USE CALCULATIONS

WATER USE ESTIMATION - MITCHELL PARK PROJECT													
WATER TYPE		POTABLE											
CITY		PALO ALTO, CA											
AVG ANNUAL ETO		44.2											
PEAK MONTHLY ETO		6.65											
DATE		2/22/22											
REGULAR LANDSCAPE AREAS													
HYDROZONE	VALVE #	GPM	AREA (sq.ft) (HA)	WATER USE (LW=LOW, MW=MOD, HW=HIGH)	PLANT TYPE	IRRIGATION TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PRECIP. RATE/ APPLICATION RATE (IN/HR)	ETAF (PF*IE)	ETWU (GAL/YEAR)	PERCENTAGE OF LANDSCAPE	
1	2	6.5	163	MW	TREE MW	BUBBLER	0.5	0.81	0.6	0.62	2,233	2%	
2	6	6	191	LW	TREE LW	BUBBLER	0.2	0.81	0.6	0.25	119	2%	
3	11	7.5	75	LW	TREE LW	BUBBLER	0.2	0.81	0.6	0.25	411	1%	
4	3, 4	17.56	1,744	MW	BIOSWALE MW	SPRAY	0.5	0.75	1.5	0.67	23,695	24%	
5	1	2.48	557	LW	SHRUB GC LW	DRIPLINE 18"	0.2	0.81	0.6	0.25	3,053	8%	
6	9	3.33	902	LW	SHRUB GC LW	DRIPLINE 18"	0.2	0.81	0.6	0.25	4,044	12%	
7	7	4.81	1,084	LW	SHRUB GC LW	DRIPLINE 18"	0.2	0.81	0.6	0.25	5,961	15%	
8	8, 9	4.56	456	LW	LAWN LW	DRIPLINE ECOSMAT 12"	0.2	0.81	0.6	0.25	2,469	8%	
9	9	2.52	565	LW	SHRUB GC LW	DRIPLINE 18"	0.2	0.81	0.6	0.25	426	8%	
10	12	5.29	1367	LW	SHRUB GC LW	DRIPLINE 18"	0.2	0.81	0.6	0.25	7,492	19%	
11	10	4.64	309	MW	BIOSWALE MW	SPRAY	0.6	0.75	1.5	0.67	4,234	4%	
		TOTAL	7,376								TOTAL	55,243	100%
SPECIAL LANDSCAPE AREA													
HYDROZONE #	HYDROZONE NAME	AREA (sq.ft)(HA)	PERCENTAGE OF LANDSCAPE										
			0%										
MAWA		GALLONS/YEAR	90669										
		ACRE FEET/YEAR	0.28										
		HCFT/YEAR	121.60										
ETWU		GALLONS/YEAR	55243										
		ACRE FEET/YEAR	0.17										
		HCFT/YEAR	73.85										
SITE IRRIGATION EFFICIENCY		79.91%	SITE PLANT FACTOR	0.28	MAWA COMPLIANT								
ETAF CALCULATIONS													
REGULAR LANDSCAPE AREAS													
TOTAL ETAF X AREA			2603										
TOTAL AREA			7376										
AVG. ETAF			36%										

MAWA FORMULA

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

GALLONS PER YEAR

MAWA= ((ETO)(0.82)/(LA x 0.45)) + ((0.55 x 8A))

ETwU FORMULA

ESTIMATED TOTAL WATER USE (ETWU)

GALLONS PER YEAR

ETWU= ((ETO)(0.82)/(ETAF x LA))

ETw= REFERENCE EVAPOTRANSPIRATION

0.45= ET ADJUSTMENT FACTOR

LA= LANDSCAPED AREA (SQUARE FEET)

0.82= CONVERSION FACTOR (GALLONS/SQ. FT/YEAR)

ETw= REFERENCE EVAPOTRANSPIRATION

PF= PLANT FACTOR FOR HYDROZONES

HA= HYDROZONE AREA (SQ. FT)

0.62= CONVERSION FACTOR (GALLONS/SQ. FT/YEAR)

IE= IRRIGATION EFFICIENCY (0.81)= DRIP



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Project
MITCHELL PARK PLACE

A DEVELOPMENT FOR EDEN HOUSING
525 E. CHARLESTON ROAD, PALO ALTO, CA 94036

Drawing Set
PLANNING RESPONSES 2

MARCH 1, 2022

Drawing
EXHIBIT J - IRRIGATION NOTES AND CALCULATIONS

No.	Date	Issue	Issued: FEBRUARY 18, 2022
			Drawn: YD, JR, TY
			Checked: YD
			Job: 2109
			PL2.7
			Scale

TREES



AFROCARPUS FALCATUS
YELLOWWOOD



ARBUTUS X MARINA
MARINA STRAWBERRY TREE



CERCIS OCCIDENTALIS
WESTERN REDBUD



JACARANDA MIMOSIFOLIA
JACARANDA



PITTOSPORUM TENUIFOLIUM
TAWHIWHI



TRISTANIA CONFERTA
BRISBANE BOX

SHRUBS



ARCTOSTAPHYLOS DENSIFLORA 'SENTINEL'
SENTINEL VINE HILL MANZANITA



ERIOGONUM FASCICULATUM
CALIFORNIA BUCKWHEAT



KALANCHOE TOMENTOSA
PUSSY'S EARS



MAHONIA REPENS
CREEPING MAHONIA



PROSTANTHERA CUNEATA
ALPINE MINT BUSH



ROSMARINUS OFFICINALIS 'IRENE'
IRENE TRAILING ROSEMARY



SALVIA CLEVELANDII
CLEVELAND SAGE



SALVIA NEMOROSA 'CARADONNA'
CARADONNA MEADOW SAGE



VERBENA LILACINA 'DE LA MINA'
DE LA MINA LILAC VERBENA

PERENNIALS



ACHILLEA MILLEFOLIUM 'ISLAND PINK'
ISLAND PINK COMMON YARROW



ARTEMISIA PYCNOCEPHALA 'DAVID'S CHOICE'
DWARF COASTAL BEACH SAGEWORT



ASCLEPIAS FASCICULARIS
NARROWLEAF MLKWEED



DICENTRA SPECTABILIS
BLEEDING HEART



DIETES VEGETA
AFRICAN IRIS



ESCHSCHOLZIA CALIFORNICA
CALIFORNIA POPPY

PLANTING LIST

TREES				
BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	QTY
AFROCARPUS FALCATUS	YELLOWWOOD	24"BOX	LOW	14
ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE	24"BOX	LOW	6
CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	LOW	2
JACARANDA MIMOSIFOLIA	JACARANDA	36"BOX	MEDIUM	1
PITTOSPORUM TENUIFOLIUM	TAWHIWHI	24"BOX	MEDIUM	7
TRISTANIA CONFERTA	BRISBANE BOX	36"BOX	LOW	10

SHRUBS				
BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	QTY
ARCTOSTAPHYLOS DENSIFLORA 'SENTINEL'	SENTINEL VINE HILL MANZANITA	15 GAL	LOW	4
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	1 GAL	LOW	10
KALANCHOE TOMENTOSA	PUSSY'S EARS	1 GAL	LOW	64
MAHONIA REPENS	CREEPING MAHONIA	5 GAL	LOW	8
PROSTANTHERA CUNEATA	ALPINE MINT BUSH	1 GAL	LOW	11
ROSMARINUS OFFICINALIS 'IRENE'	IRENE TRAILING ROSEMARY	5 GAL	LOW	3
SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	LOW	15
SALVIA NEMOROSA 'CARADONNA'	CARDONNA MEADOW SAGE	1 GAL	MEDIUM	217
VERBENA LILACINA 'DE LA MINA'	DE LA MINA LILAC VERBENA	1 GAL	LOW	4

PERENNIALS				
BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	QTY
ACHILLEA MILLEFOLIUM 'ISLAND PINK'	ISLAND PINK COMMON YARROW	5 GAL	LOW	80
ARTEMISIA PYCNOCEPHALA 'DAVID'S CHOICE'	DWARF COASTAL BEACH SAGEWORT	5 GAL	LOW	19
ASCLEPIAS FASCICULARIS	NARROWLEAF MILKWEED	5 GAL	LOW	6
DICENTRA SPECTABILIS	BLEEDING HEART	5 GAL	MEDIUM	2
DIETES VEGETA	AFRICAN IRIS	5 GAL	LOW	5
ECHINACEA PURPUREA	CONEFLOWER	5 GAL	MEDIUM	15
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	SEED	LOW	40
HEUCHERA X 'LILLIAN'S PINK'	LILLIAN'S PINK CORAL BELLS	1 GAL	MEDIUM	81
IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	LOW	21
JUNCUS PATENS	CALIFORNIA GRAY RUSH	5 GAL	LOW	657
NEPETA X FAASSENII	CATMINT	5 GAL	LOW	25
PHLOMIS RUSSELLIANA	JERUSALEM SAGE	5 GAL	LOW	23
SALVIA SPATHACEA	HUMMINGBIRD SAGE	5 GAL	LOW	5
SALVIA X 'INDIGO SPIRES'	INIDGO SPIRES SAGE	5 GAL	LOW	5
TAGETES LEMMONII	COPPER CANYON DAISY	5 GAL	LOW	3
TEUCRIUM CHAMAEDRYS	GERMANDER	5 GAL	LOW	32

BULBS, CACTUS & SUCCULENTS, GRASSES				
BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	QTY
AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL	LOW	2
BOUTELOUA GRACILIS	BLUE GRAMA GRASS	5 GAL	LOW	51
FESTUCA CALIFORNICA	CALIFORNIA FESCUE	5 GAL	LOW	180
TRITELEIA LAXA	ITHURIEL'S SPEAR	BULB	LOW	39
YUCCA FILAMENTOSA 'COLOR GUARD'	COLOR GUARD ADAM'S NEEDLE	5 GAL	LOW	3

GROUND COVERS				
BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	QTY
CAREX PANSA	SANDDUNE SEDGE	5 GAL	MEDIUM	831
CEANTHUS X 'CENTENNIAL'	CENTENNIAL WILD LILAC	5 GAL	LOW	11
ERODIUM CHRYSANTHUM	YELLOW STORKSBILL	5 GAL	LOW	50
FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL	MEDIUM	459
SARCOCOCCA HOOKERIANA HUMILIS	TRAILING SWEETBOX	5 GAL	LOW	19
THYMUS SERPYLLUM	CREEPING THYME	1 GAL	LOW	101



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A DEVELOPMENT FOR EDEN HOUSING
525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

Drawing Set
PLANNING RESPONSES 1

MARCH 1, 2022

Drawing
EXHIBIT J - PLANTING LIST AND IMAGES

No.	Date	Issue	Issued: AUGUST 16, 2021
			Drawn: YD, JR, TY
			Checked: YD
			Job: 2109
			PL2.8A
			Scale

PERENNIALS



ESCHSCHOLZIA CALIFORNICA
CALIFORNIA POPPY



HEUCHERA X 'LILLIAN'S PINK'
LILLIAN'S PINK CORAL BELLS



IRIS DOUGLASIANA
DOUGLAS IRIS



JUNCUS PATENS
CALIFORNIA GRAY RUSH



NEPETA X FAASSENII
CATMINT



PHLOMIS RUSSELLIANA
JERUSALEM SAGE



SALVIA SPATHACEA
HUMMINGBIRD SAGE



SALVIA X 'INDIGO SPIRES'
INIDGO SPIRES SAGE



TAGETES LEMMONII
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AGAVE ATTENUATA
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FESTUCA CALIFORNICA
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YUCCA FILAMENTOSA 'COLOR GUARD'
COLOR GUARD ADAM'S NEEDLE

GROUND COVERS



CAREX PANSA
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CEANOTHUS X 'CENTENNIAL'
CENTENNIAL WILD LILAC



ERODIUM CHRYSANTHUM
YELLOW STORKSBILL



FRAGARIA CHILOENSIS
BEACH STRAWBERRY



SARCOCOCCA HOOKERIANA HUMILIS
TRAILING SWEETBOX



THYMUS SERPYLLUM
CREEPING THYME

PLANTING LIST

TREES				
BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	QTY
AFROCARPUS FALCATUS	YELLOWWOOD	24"BOX	LOW	14
ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE	24"BOX	LOW	6
CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	LOW	2
JACARANDA MIMOSIFOLIA	JACARANDA	36"BOX	MEDIUM	1
PITTOSPORUM TENUFOLIUM	TAWHIWHI	24"BOX	MEDIUM	7
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ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	1 GAL	LOW	10
KALANCHOE TOMENTOSA	PUSSY'S EARS	1 GAL	LOW	64
MAHONIA REPENS	CREEPING MAHONIA	5 GAL	LOW	8
PROSTANTHERA CUNEATA	ALPINE MINT BUSH	1 GAL	LOW	11
ROSMARINUS OFFICINALIS 'IRENE'	IRENE TRAILING ROSEMARY	5 GAL	LOW	3
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SALVIA X 'INDIGO SPIRES'	INIDGO SPIRES SAGE	5 GAL	LOW	5
TAGETES LEMMONII	COPPER CANYON DAISY	5 GAL	LOW	3
TEUCRIUM CHAMAEDRYS	GERMANDER	5 GAL	LOW	32

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Drawing Set
PLANNING RESPONSES 1


MARCH 1, 2022

Drawing
EXHIBIT J - PLANTING LIST AND IMAGES

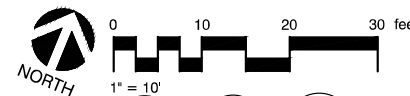
No.	Date	Issue	Issued: AUGUST 16, 2021
			Drawn: YD, JR, TY
			Checked: YD
			Job: 2109
			PL2.8B
			Scale

SYMBOL	DESCRIPTION
PN-01	BIORETENTION: FRAGARIA CHILOENSIS, FESTUCA CALIFORNICA, JUNCUS PATENS 'ELK BLUE', IRIS DOUGLASIANA, ACHILLEA MILLEFOLIUM 'ISLAND PINK YARROW', HEUCHERA X 'LILLIAN'S PINK', TRITELEIA LAXA
PN-02	AGAVE ATTENUATA, YUCCA FILAMENTOSA 'COLOR GUARD', ACHILLEA MILLEFOLIUM 'ISLAND PINK', ASCLEPIAS FASCICULARIS, VERBENA LILACINA 'DE LA MINA', DIETES VEGETA, FESTUCA CALIFORNICA
PN-03	ERIOSTOPHYLLUS DENSIFLORA 'SENTINEL', ERIOGONUM FASCICULATUM, CEANOTHUS X 'CENTENNIAL'
PN-04	SALVIA NEMOROSA 'CARADONNA', MAHONIA REPENS
PN-05	ROSMARINUS OFFICINALIS 'IRENE', KALANCHOE TOMENTOSA, ARTEMISIA PYCNOCEPHALA 'DAVID'S CHOICE', ERODIUM CHRYSANTHUM, THYMUS SERPYLLUM
PN-06	PROSTANTHERA CUNEATA, SALVIA X 'INDIGO SPIRES', SALVIA SPATHACEA, DICENTRA SPECTABILIS, TEUCRIUM CHAMAEDRYD
PN-07	SALVIA CLEVELANDII, BOUTELOUO GRACILIS, PHLOMIS RUSSELLIANA
PN-08	SARCOCOCCA HOOKERIANA HUMILIS
PN-09	CAREX PANSA, ESCHSCHOLZIA CALIFORNICA
PN-10	TAGETES LEMMONII, NEPETA X FAASSENII, ECHINACEA PURPUREA, SALVIA NEMOROSA 'CARADONNA'

(E) TREE



NO-MOW GRASS TURF



PROPOSED TREES						
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE	MATURE SIZE	
AFR FAL	AFROCARPUS FALCATUS	YELLOWWOOD	24"BOX	LOW	20'-60" H X 10'-20" W	
ARB MRN	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE	24"BOX	LOW	25'-40" H X 25'-40" W	
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	LOW	12'-18" H X 12'-18" W	
JAC MIM	JACARANDA MIMOSIFOLIA	JACARANDA	36"BOX	MEDIUM	25'-40" H X 15'-30" W	
PIT TEN	PITTSOPORUM TENUFOLIUM	TAWHIWIHI	24"BOX	MEDIUM	15'-25" H X 10'-15" W	
TRI BRI	TRISTANIA CONFERTA	BRISBANE BOX	36"BOX	LOW	30'-60" H X 15'-30" W	



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Project

MITCHELL PARK PLACE

A DEVELOPMENT FOR EDEN HOUSING

525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

Drawing Set

PLANNING RESPONSES 1

MARCH 1, 2022

Drawing

EXHIBIT J -
PLANTING DIAGRAM

No.	Date	Issue	Issued: AUGUST 16, 2021
			Drawn: YO, JR, TY
			Checked: YO
			Job: 2109
			PL2.9
			Scale 1" = 10'-0"

PLANNING SUBMITTAL


Make sure your crews and subs do the job right!

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

City of Palo Alto
 250 Hamilton Avenue, Palo Alto, CA 94301

Search:
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Home > Planning & Community Environment



Tree Technical Manual

To purchase the Tree Technical Manual

June, 2001 First Edition

View by section:

- * Table of Contents (PDF, 6/1K)
- * Intent and Purpose (pdf, 1.03MB)
- * Introduction - Use of Manual (PDF, 1.05MB)
- * Section 1.0 - Definitions (PDF, .96KB)
- * Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- * Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- * Section 4.0 - Hazardous Trees (PDF, 100KB)
- * Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- * Section 6.0 - Tree Reports (PDF, 64KB)

All sections:

- * Tree Technical Manual - Full (PDF, 1.64MB)

APPENDICES

- A: Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations
- B: Tree City - USA
- C: ISA Hazard Evaluation Form
- D: List of Inherent Failure Patterns for Selected Species (Reference source)
- E: ISA Tree Pruning Guidelines (PDF, 1.82MB)
- F: Tree Canopy Safety Standards, ANSI Z39.1-1994 (Reference source) :
- G: Pruning Performance Standards, ANSI A300-1995 (Reference source) :
- Tree Planting Details, Diagram 504 & 505**
- I: Tree Disclosure Statement
- J: Palo Alto Standard Tree Protection Instructions

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS —SECTION 3I—

APPENDIX J

3-I-1 **General**

- a. **Tree Protection** has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials, and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state; and 3) to identify, via Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- b. **The Tree Protection Zone (TPZ)** is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or not feet, whichever is greater, enclosed by fencing.

3-I-2 **Reference Documents**

- a. Final staff *Illustration of situations described below.*
- b. **Tree Protection Manual (TTPM Form)** (<http://www.cityofpaloalto.org/tppm>)
- 1. **Trimming Restrictions Zone (TTRM, Section 2.200.1)**
- 2. **Arborist Reporting Form (TTRM, Section 3.10)**
- 3. **Site Plan Requirements (TTRM, Section 6.13)**
- 4. **Tree Appendices (TTRM, Section 2)**
- c. **Street Tree Verification (STTV Form)** (<http://www.cityofpaloalto.org/sttvform>)

3-I-3 **Excavation**

- a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works.
- b. **Type II Tree Protection:** For trees situated within a playing strip, only the playing strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing to prevent a keeper and the sidewalk and street open for public use.
- c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a new walk or sidewalk platform pit, shall be wrapped with 3-inches of orange plastic fencing from the ground to the first branch and overlaid with 3-inch thick wooden slats secured together (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caulked slats be used to avoid damaging any branches. Major limbs must also require plastic fencing, controlled by the City Arborist.
- d. **Slats, type and size:** be fence, all slats be made of galvanized steel be protected with an 18" of foot high chain link fencing. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 13-foot spacing. Fencing shall extend to the outer branching, unless specifically approved or the STV calls.
- e. **Warning signs:** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and carry the following text:
WARNING: Tree Protection Zone. This fenced area shall not be removed and is subject to a fine according to PAMC Section 8.10 I (1).
f. **Excavation:** Tree fence shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.
- e. **During construction**
- 1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- 2. The applicant shall be responsible for the repair or replacement plus payment of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.10.4(f) of the Palo Alto Municipal Code.
- 3. The following tree preservation measures apply to all trees to be retained:
 - a. No storage of material, equipment, tools, or equipment shall be permitted within the TPZ.
 - b. The ground under and around the new canopy area shall not be altered.
 - c. Trees to be retained shall be irrigated, mulched and maintained as necessary to ensure survival.

END OF SECTION

City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification Form (TTPM, Section 3)

REVISED 07/00

	City of Palo Alto Tree Department Public Works Operations PO Box 10250 Palo Alto, CA 94303 (650) 861-3823 FAX: (650) 855-0299 tree@netcom.com / www.paloalto.org	<h2 style="margin: 0;">Verification of Street Tree Protection</h2>
<i>Applicant Instructions:</i> Complete upper portion of this form. Mail or FAX this form along with signed Tree Closure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.		
APPLICATION DATE:		
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:		
APPLICANT'S NAME:		
APPLICANT'S ADDRESS:		
APPLICANT'S PHONE & FAX NUMBERS:		
This section to be filled out by City Tree Staff		
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____ Inspected by: _____ Date of Inspection: _____	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, go to #2 below	
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: Indicate how the required modifications were communicated to the applicant. _____ _____ _____ _____ _____ _____		
Subsequent inspection		
Street trees at above address were found to be adequately protected: Inspected by: _____ Date of inspection: _____	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, indicate in "Notes" below the disposition of case.	
Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.		
Return approved sheet to Applicant for demolition or building permit issuance.		

<p align="center">---WARNING---</p> <p align="center">Tree Protection Zone</p> <p>This fencing shall not be removed without City Arborist approval (650-496-5953)</p> <p>Removal without permission is subject to a \$500 fine per day*</p> <p><i>*Palo Alto Municipal Code Section 8.10.110</i></p> <p>City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.html</p>	
<p>SPECIAL INSPECTIONS</p> <p>PLANNING DEPARTMENT</p> <p align="center">TREE PROTECTION INSPECTIONS MANDATORY</p> <p><small>PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.</small></p> <p>BUILDING PERMIT DATE: _____</p> <p>DATE OF 1ST TREE ACTIVITY REPORT: _____</p> <p>CITY STAFF: _____</p> <p><small>REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.090. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.03 AND ADDENDUM 11.</small></p>	<p align="center">Apply Tree Protection Report on sheet(s) T-2</p> <p align="center">Use additional "T" sheets as needed</p>

Appendix B – Tree Inventory and Condition Assessment Tables

Table 1. Tree Inventory and Root Zones (Protected trees in red)

Tree #	Stems	DBH (in)	Canopy Spread (ft)	Remove/Retain	Common Name	Species Name	Condition	SRZ (ft)	CRZ (ft)
1	1	17	26	Remove	Raywood ash	<i>Fraxinus angustifolia</i>	Fair	9	14
2	1	19	30	Retain	Raywood ash	<i>Fraxinus angustifolia</i>	Fair	9	16
3	1	12	20	Retain	Holly oak	<i>Quercus ilex</i>	Fair	5	10
4	1	14	30	Retain	London planetree	<i>Platanus x hispanica</i>	Good	6	12
5	1	18	26	Retain	Red ironbark	<i>Eucalyptus sideroxylon</i>	Fair	8	15
6	1	9	22	Remove	Southern magnolia	<i>Magnolia grandiflora</i>	Good	4	8
7	1	15	15	Remove	Evergreen pear	<i>Pyrus kawakamii</i>	Good	7	13
8	2	11,10	16	Remove	Evergreen pear	<i>Pyrus kawakamii</i>	Poor	7	13
9	1	17	32	Remove	Evergreen pear	<i>Pyrus kawakamii</i>	Good	8	14
10	1	6	12	Remove	Crape myrtle	<i>Lagerstroemia indica</i>	Good	3	10
11	5	4,4,4,4	28	Remove	Crape myrtle	<i>Lagerstroemia indica</i>	Good	4	10
12	1	4	14	Remove	Eastern redbud	<i>Cercis canadensis</i>	Good	2	10
13	1	7	16	Remove	Crape myrtle	<i>Lagerstroemia indica</i>	Good	3	10
14	1	4	8	Remove	Holly oak	<i>Quercus ilex</i>	Good	2	10
15	4	5,3,3,3	12	Remove	Italian buckthorn	<i>Rhamnus alaternus</i>	Good	3	10
16	1	16	30	Remove	Evergreen pear	<i>Pyrus kawakamii</i>	Good	7	13
17	1	6	8	Remove	Bilirelana plum	<i>Prunus bilirelana</i>	Critical	3	10
18	1	5	10	Remove	Plum	<i>Prunus sp.</i>	Fair	2	10
19	1	10	26	Remove	Callery pear	<i>Pyrus calleryana</i>	Good	5	10
20	1	7	20	Retain	Chinese pistache	<i>Pistacia chinensis</i>	Good	3	10
21	1	6	10	Remove	Bilirelana plum	<i>Prunus bilirelana</i>	Fair	3	10
22	1	5	16	Remove	Plum	<i>Prunus sp.</i>	Fair	2	10
23	1	6	24	Retain	Chinese pistache	<i>Pistacia chinensis</i>	Good	3	10
24	1	16	16	Remove	Callery pear	<i>Pyrus calleryana</i>	Fair	7	13
25	5	6,6,5,6,4	20	Remove	Brush cherry	<i>Syzygium paniculatum</i>	Fair	6	10
26	2	10,9	20	Remove	Brush cherry	<i>Syzygium paniculatum</i>	Poor	6	13
27	6	8,6,8,6,6,5	16	Remove	Brush cherry	<i>Syzygium paniculatum</i>	Fair	7	12
28	1	7	14	Remove	Holly oak	<i>Quercus ilex</i>	Fair	3	10
29	1	7	16	Remove	Holly oak	<i>Quercus ilex</i>	Fair	3	10

525 East Charleston Road
Palo, Alto, CA

9

May 2021 - Updated Jan 2022

Tree #	Stems	DBH (in)	Canopy Spread (ft)	Remove/Retain	Common Name	Species Name	Condition	SRZ (ft)	CRZ (ft)
30	1	8	16	Remove	Crape myrtle	<i>Lagerstroemia indica</i>	Good	4	10
31	2	6,5	14	Remove	Chinese hackberry	<i>Celtis sinensis</i>	Poor	4	10
32	1	5	10	Remove	Apple	<i>Malus sp.</i>	Good	2	10
33	1	5	10	Remove	Apple	<i>Malus sp.</i>	Fair	2	10
34	1	22	38	Retain	Coast live oak	<i>Quercus agrifolia</i>	Good	10	18

525 East Charleston Road
Palo, Alto, CA

10

May 2021 - Updated Jan 2022

Table 2. Condition Assessment and Defects

Tree #	Overall Condition Rating (%)	Condition	Health (%)	Structure (%)	Form (%)	Preservation Priority	Condition Notes/Defects
1	60	Fair	60	75	75	3	Co-Dominant Stems, Large Deadwood (3'+), 7' planter strip
2	60	Fair	60	80	75	3	Root Damage/Decay, 7' planter strip
3	50	Fair	55	50	50	3	Trunk Decay, Small Deadwood (1-2'), Stressed, Broken Limbs, 7' planter strip, primary lines, aphids, black sooty mold
4	70	Good	80	75	70	2	Co-Dominant Stems, Small Deadwood (1-2'), 7' planter strip, primary lines, previous failure, utility pruned
5	60	Fair	60	65	70	3	Co-Dominant Stems, Small Deadwood (1-2'), 6' island, growing into fence
6	70	Good	70	75	80	3	Co-Dominant Stems, Mechanical Damage, Small Deadwood (1-2'), Stressed, 5' island, entomosporium
7	75	Good	80	75	85	2	Mechanical Damage, 5' island, entomosporium
8	35	Poor	35	50	45	4	Basal Decay, Included Bark/Weak Union, Co-Dominant Stems, Large Deadwood (3'+), Low Vigor, Stressed, Serious Decline, Branch Decay, 5' island, entomosporium
9	80	Good	80	80	85	2	Mechanical Damage, 5' island, entomosporium
10	80	Good	90	80	90	2	Small Deadwood (1-2')
11	75	Good	80	75	85	2	Included Bark/Weak Union, Co-Dominant Stems, Mechanical Damage
12	80	Good	85	80	90	2	Girdling Roots, Small Deadwood (1-2')
13	75	Good	90	90	75	2	Small Deadwood (1-2')
14	75	Good	75	80	85	3	Hedged, growing into fence
15	70	Good	80	70	80	3	Small Deadwood (1-2'), Hedged, growing into fence
16	80	Good	85	80	90	2	Root Damage/Decay, Open, bare soil
17	20	Critical	35	50	20	4	Included Bark/Weak Union, Large Deadwood (3'+), Low Vigor, Stressed, Serious Decline, Open, bare soil
18	50	Fair	60	70	50	3	Mechanical Damage, Poor location, growing into fence, 5' island
19	65	Good	70	65	75	3	Included Bark/Weak Union, Co-Dominant Stems, Insect/Disease Problem, 5' outcut, fire blight
20	70	Good	85	70	80	2	Estimated from fence

525 East Charleston Road
Palo, Alto, CA

11

May 2021 - Updated Jan 2022

Tree #	Condition Rating (%)	Condition	Health (%)	Structure (%)	Form (%)	Preservation Priority	Condition Notes/Defects
21	45	Fair	45	50	50	4	Small Deadwood (1-2'), Low Vigor, Stressed, 5' outcut
22	50	Fair	75	65	50	3	Mechanical Damage, Growing into fence
23	75	Good	90	75	85	2	Estimated from fence
24	60	Fair	80	60	85	3	Included Bark/Weak Union, Co-Dominant Stems, Fire blight
25	60	Fair	80	60	80	3	Included Bark/Weak Union, Co-Dominant Stems
26	40	Poor	45	50	40	4	Narrow Crown, One Sided, Suppressed, Included Bark/Weak Union, Co-Dominant Stems, Small Deadwood (1-2'), Low Vigor, Stressed, Growing into fence
27	50	Fair	75	50	75	3	Narrow Crown, Included Bark/Weak Union, Co-Dominant Stems, Small Deadwood (1-2'), Growing into fence
28	50	Fair	75	70	50	3	Narrow Crown, One Sided, Suppressed
29	50	Fair	80	75	50	3	Mechanical Damage, Growing into fence
30	80	Good	85	80	80	2	Co-Dominant Stems, Dbh at 3'
31	40	Poor	65	45	40	4	One Sided, Suppressed, Included Bark/Weak Union, Co-Dominant Stems, Large Deadwood (3'+), Stressed, Growing into fence
32	70	Good	75	70	75	3	Basal Decay, Large Deadwood (3'+)
33	60	Fair	75	60	80	3	Included Bark/Weak Union, Co-Dominant Stems
34	75	Good	75	80	85	2	Co-Dominant Stems, Dripline extends 12' over property line, Estimated from fence

525 East Charleston Road
Palo, Alto, CA

12

May 2021 - Updated Jan 2022

Table 3. Tree Removals, Replacement Standards, and Proposed Plantings

Tree # (Removal)	Canopy Spread (ft)	Replacement Standard	Planned Replacement (Y/N)	In-lieu Fee (\$550/tree)
1	26	(2) 36-inch box	Y	-
6	22	(2) 36-inch box	Y	-
7	30	(2) 36-inch box	Y	-
8	16	(2) 36-inch box	Y	-
9	32	(4) 24-inch box	Y	-
10	12	(2) 36-inch box	Y	-
11	28	(4) 24-inch box	Y	-
12	14	(3) 24-inch box	Y	-
13	16	(3) 24-inch box	Y	-
14	8	(1) 36-inch box	Y	-
15	12	(3) 24-inch box	Y	-
16	30	(4) 24-inch box	Y	-
17	8	(2) 24-inch box	Y	-
18	10	(3) 24-inch box	Y	-
19	26	(3) 24-inch box	Y	-
21	10	(3) 24-inch box	N	1,950.00
22	16	(3) 24-inch box	N	1,950.00
24	36	(4) 24-inch box	N	2,600.00
25	20	(3) 24-inch box	N	1,950.00
26	20	(3) 24-inch box	N	1,950.00
27	16	(3) 24-inch box	N	1,950.00
28	14	(3) 24-inch box	N	1,950.00
29	16	(3) 24-inch box	N	1,950.00
30	16	(3) 24-inch box	N	1,950.00
31	14	(3) 24-inch box	N	1,950.00
32	10	(3) 24-inch box	N	1,950.00
33	10	(3) 24-inch box	N	1,950.00
Total				\$24,050.00

525 East Charleston Road
Palo, Alto, CA

13

May 2021 - Updated Jan 2022

Appendix C – Photos



Photo 1. Tree #2 is a city street tree in fair condition requiring Type 2 protection.

525 East Charleston Road
Palo, Alto, CA

14

May 2021 - Updated Jan 2022



Photo 2. Tree #5 on an adjacent property (505 E Charleston) overhangs the pathway and will require fencing at the pathway edge.

525 East Charleston Road
Palo, Alto, CA

15

May 2021 - Updated Jan 2022



Photo 3. Tree #6 growing in an island in the parking lot; removal will be required.

525 East Charleston Road
Palo, Alto, CA

16

May 2021 - Updated Jan 2022



Photo 4. Tree #7 growing in a 5 foot wide island in the parking lot; removal will be required.

525 East Charleston Road
Palo, Alto, CA

17

May 2021 - Updated Jan 2022



Photo 5. Tree #8 is in poor condition with multiple defects; removal will be required.

525 East Charleston Road
Palo, Alto, CA

18

May 2021 - Updated Jan 2022



Photo 6. Tree #10 is in good condition growing in the main lawn; removal will be required.

525 East Charleston Road
Palo, Alto, CA

19

May 2021 - Updated Jan 2022



Photo7. Several trees have been hedged along the rear property line; removal will be required.

525 East Charleston Road
Palo, Alto, CA

20

May 2021 - Updated Jan 2022



Photo 8. Tree #16 is in good condition but will require removal.

525 East Charleston Road
Palo, Alto, CA

21

May 2021 - Updated Jan 2022



Photo 8. Tree #30 (center) is in good condition but will require removal.

525 East Charleston Road
Palo, Alto, CA

22

May 2021 - Updated Jan 2022



Photo 9. Multiple trees (#24-29) are growing along the fence line on the northeast property line; removal will be required.

525 East Charleston Road
Palo, Alto, CA

23

May 2021 - Updated Jan 2022

No.	Date	Issue



Photo 4. Tree #7 growing in a 5 foot wide island in the parking lot; removal will be required.

525 East Charleston Road
Palo, Alto, CA

17

May 2021 - Updated Jan 2022



Photo 5. Tree #8 is in poor condition with multiple defects; removal will be required.

525 East Charleston Road
Palo, Alto, CA

18

May 2021 - Updated Jan 2022



Photo 6. Tree #10 is in good condition growing in the main lawn; removal will be required.

525 East Charleston Road
Palo, Alto, CA

19

May 2021 - Updated Jan 2022



Photo7. Several trees have been hedged along the rear property line; removal will be required.

525 East Charleston Road
Palo, Alto, CA

20

May 2021 - Updated Jan 2022



Photo 8. Tree #16 is in good condition but will require removal.

525 East Charleston Road
Palo, Alto, CA

21

May 2021 - Updated Jan 2022



Photo 8. Tree #30 (center) is in good condition but will require removal.

525 East Charleston Road
Palo, Alto, CA

22

May 2021 - Updated Jan 2022

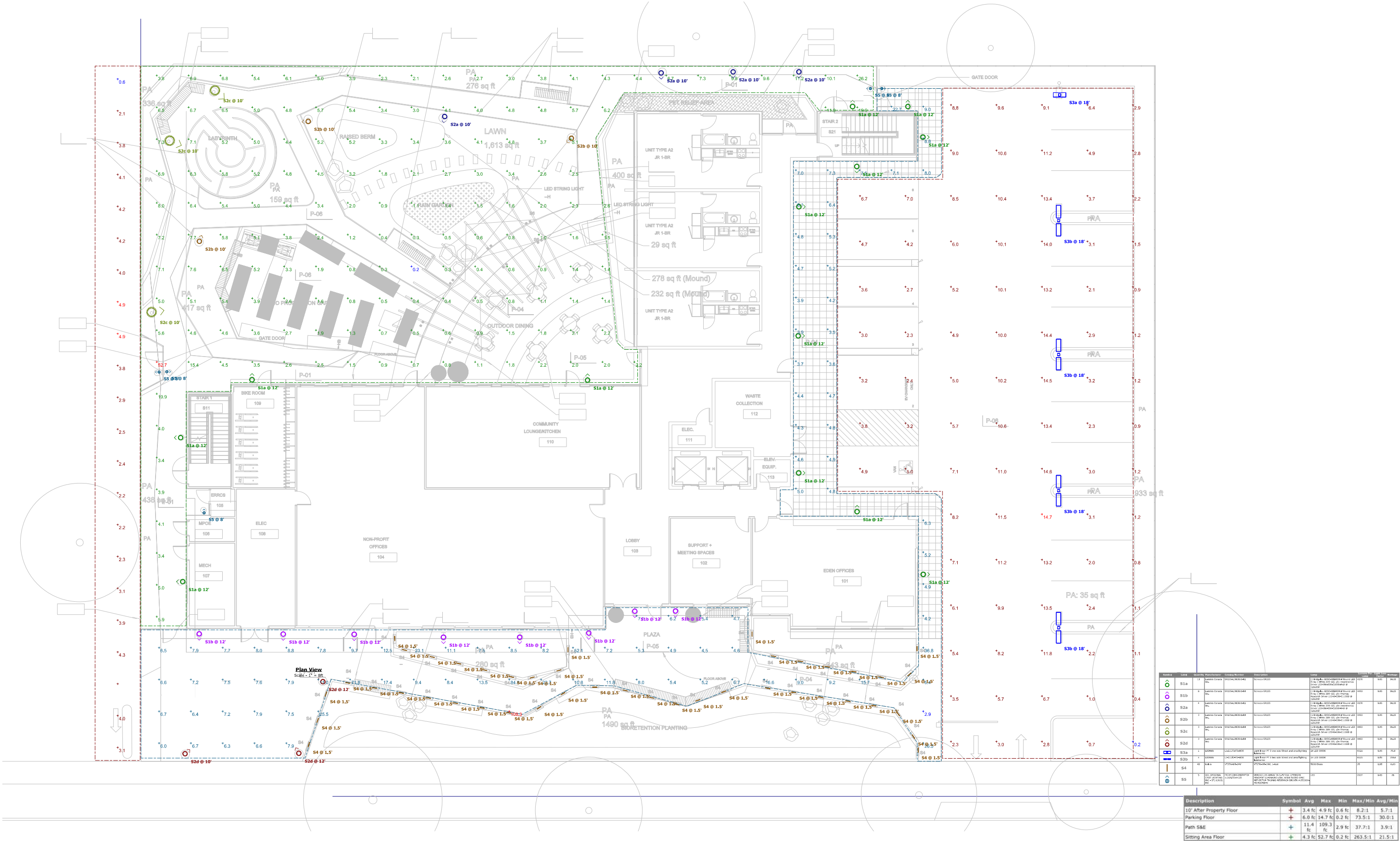


Photo 9. Multiple trees (#24-29) are growing along the fence line on the northeast property line; removal will be required.

525 East Charleston Road
Palo, Alto, CA

23

May 2021 - Updated Jan 2022



LUMINIS

SR135 SERIES SCIROCCO - LED

TYPE	QUANTITY	PROJECT
CATALOG NUMBER		
FUTURE	WATTAGE	VOLTAGE
		FINISH
		OPTION
		OPTION
		OPTION
		OPTION

SR135-APC details

- Cast aluminum drive housing.
- Housing/shade assembly (single mechanism).
- Stainless steel and nickel LED components.
- Cast aluminum shade.
- LED color and beam angle lenses.
- Hinged cast aluminum key frame.

SR135-APC

MATERIALS

Scirocco is made of corrosion-resistant T4 aluminum alloy with a copper (Cu) content of less than 0.1%. CDR LED is assembled in a shock and housing chamber designed with a heat sink system to minimize heat buildup and luminaire failure. The power supply is installed in an isolated chamber allowing quick access for electrical maintenance without disturbing the optical chamber. CDR LED is removable and replaceable for ease of replacement or lighting upgrade.

ELECTRICAL

POWER SUPPLY: Standard drive is CDRV dimming-ready (0-10Vdc) with 120/277 mA/60 Hz compatible, 120/277Vdc operating temperature range of 40 C/102 F to 60 C/140 F, output over-voltage protection, output over-current protection and output short circuit protection with auto-recovery.

LED: Type III, III+ or V light distribution with high performance optical lenses. Standard 4000K/3500K. Optional 5000K and 3500K.

Optional Amber LED for traffic sensitive areas.
Wave lengths: 540nm to 590nm.

LIFE

125,000hrs (L70) based on LM79 report for luminaire maintenance

FINISH

Fluoropolymer pre-paint allows pre-baking of cast aluminum parts for an anodized exterior and an environmentally friendly dry sealant. No primer powder coating is needed through an electrocoat process and over-coated for long-term finish.

MOUNTING

Heat mount weight: 3.1lbs (1.4 kg). Scirocco is a modular luminaire concept offering a selection of mounting arrangements for various electrical requirements. Pole and surface attachments are offered with many quality components to meet multiple installation conditions. Product version only. Fixture must be installed on a finished ceiling for outdoor applications and/or when exposed to outdoor weather. Recess into.

CERTIFICATION

Tested to UL888 and CSA22.2 #535. ETL listed for wet location. Performance test performed by an independent laboratory in accordance with IES LM-79-08 standards at 25 C/77 F. Luminaire operation in accordance with IESNA LM80 standards. Recess into.

LUMINIS | 1-800-865,586/647 Fax 541/863,8872 Email info@luminis.com
200 Labrosse, Portland-Ore (USA) Canada: 800-541-545

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Material may be altered for design improvement or discontinued without prior notice.

27

Please visit our web site www.luminis.com for complete UL, ETL, formatted data sheets.
Refer to page 5 for additional information.

SR135 SERIES SCROCCO - LED

LUMINAIRE SELECTION

MODEL LED LIGHT SELECTION (ADD/REMOVE)

	INPUT WATTS	DELIVERED LUMENS	MODEL
Type I	20W	2600	(3) SR135-1W30W-042
	54W	4000	(3) SR135-1W30W-102
	70W	7050	(3) SR135-2W30W-102
Type II	30W	2800	(3) SR135-1W30W-043
	30W	4300	(3) SR135-1W30W-103
	30W	5900	(3) SR135-2W30W-103
Type III	30W	2800	(3) SR135-1W30W-044
	30W	4400	(3) SR135-1W30W-104
	30W	6000	(3) SR135-2W30W-104
Type V	30W	2600	(3) SR135-1W30W-045
	30W	4300	(3) SR135-1W30W-105
	30W	7900	(3) SR135-2W30W-105

VOLTAGE FINISH

	STANDARD COLORS
(3) 120V	(3) Matt. Snow white
(3) 120V	(3) Matt. Jet black
(3) 120V	(3) Matt. Bronze
(3) 120V	(3) Matt. Matte blue
(3) 120V	(3) Matt. Translucent grey
(3) 120V	(3) Matt. Cream
(3) 120V	(3) Matt. Champagne
(3) 120V	(3) Matt. Silver grey
(3) 120V	(3) Matt. Crystal cream

OPTIONAL COLORS

(3) Custom color
(3) Matt. Gold color

(Refer to color chart)

ARMOR LED LIGHT SELECTION

INPUT WATTS	DELIVERED LUMENS	MODEL
17W	380	(3) SR135-1W30W-04
34W	776	(3) SR135-2W30W-04

NOTE: Above wattage value are based on 277V, tested at 25 °C/77 °F ambient temperature.
Wattage may vary with ambient temperature and/or voltage. If you give us your desired temperatures,
Luminis will supply us with a new estimate.

OPTIONS

ELECTRICAL

- (3) PS Surge protector
- (3) SP Surge protector 200V
- (3) PH Photo eye
- (3) K1 3000K CCT 60 CRI (Midpower 0.94)
- (3) K3 3000K CCT 80 CRI (Midpower 0.98)

ACCESSORIES

- (3) SC Solid light control
- (3) SC Safety cable controls 30' over mounting data (with storm mounting)
- (3) SC Storm mounting

CONTROL

- (3) NLTRND 160V AC Control panel embedded in canopy with black antenna, 11" x 11"

MOUNTING

- (3) A24 Pull-mount attachment with 45° support
- (3) ZAG4 Double pole mount attachment with 45° support at 80
- (3) A2W Wall mount attachment with 45° support
- (3) A2K Pull-mount inspection arm attachment
- (3) ZAR4 Double pole mount shielded arm attachment at 80
- (3) A2K Pull-mount inspection arm attachment
- (3) ZAR4 Double pole mount straight arm attachment at 80
- (3) A2K Pull-mount inspection arm attachment
- (3) CAT3 Category suspension attachment with 1" adjustment mechanism
- (3) W Wall mount shielded arm attachment
- (3) T Wall mount straight arm attachment
- (3) STN 30' telescopic arm with 45° swivel, other lengths available (please specify)
- (3) SP9 Silver braided power cord with adjustable suspension cable, 36" in length (other lengths on request)

NOTES

1. If an option is specified, luminaires are factory prepared to install for 120V or for other voltages, when evenly with existing luminaires or similar fixtures.
2. First and second luminaires are normally 18" apart; other spacings allowed with Luminis luminaires (except for other types of mounting).
3. 45° Mount available on Type I and II only; the full on existing luminaire.
4. 120V/170V
5. 120V/170V or 277V; specify on STN. Refer to the mounting options for more details.
6. Not compatible with 120V/170V luminaire, 277V luminaire, first three, CAT3, order lum.
7. 30' version available upon request.

LUMINIS

LUMINIS | Toll free 866.368.4447 | Fax 1.848.683.9837 | Email info@luminis.com
3800 American Road, Suite 200, Cambridge, MA 02142, USA

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300 x 250 x 100

12

LUMINIS 2021 Bulletin

SR135 SERIES
SCIROCCO - LED

POLE MOUNT

ACA¹
 1.5" (37 mm) extruded aluminum extended arm pole mounting adapter designed to fit with Ø 4 to 5" poles (Ø 102 to 127 mm), standard mount armless, steel rod support (EPFA-037)

APC
 1.5" (37 mm) extruded aluminum side pole mounting straight adapter (EPFA-032)

APA¹
 Ø 1.5" (37 mm) extruded aluminum side pole mount (EPFA-031)

ZACA¹
 Double pole mount attachment with 45° support at 90°

ZAPC
 Double pole mount straight arm attachment at 90°

ZAPA¹
 Double pole mount offset arm attachment at 90°

API
 Ø 1.5" (37 mm) extruded aluminum post top mount, with a cast aluminum tender to fit with a 5/8" (17 mm) rod (EPFA-035)

MATCHING POLE SELECTION

Ø 4"	Ø 5"	Standard pole	Ø 4"	Weight
PAAR10	PAAS10	-----	PSB10	10 FL (3.1 kg)
PAAR12	PAAS12	-----	PSB12	12 FL (3.6 kg)
PAAR16	PAAS16	-----	PSB16	16 FL (4.2 kg)
PAAR16	PAAS16	PTA16	PSB16	16 FL (4.0 kg)
PAAR16	PAAS16	PTA16	PSB18	16 FL (3.6 kg)
PAAR20	PAAS20	PTA20	PSB20	20 FL (5.6 kg)
-----	-----	PTA25	-----	25 FL (7.0 kg)

For arm and pole color choice see or e separate pole specification sheet.
 Ø 4" = 100mm, Ø 5" = 125mm

LUMINIS.

LUMINIS | Toll free: 888.556.6647 | Fax: 334.683.0872 | Email: info@luminis.com
 480 Lafayette, Florissant-Centre (CA) Canada 1006 SLS

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| 3

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CH-031-C

EXTRUDED ALUMINUM MOUNTING CHANNEL

PRODUCT FEATURES

- Available in 2 Meter Sections
- Extruded Aluminum Construction
- Anodized Matte Finish
- Consult Factory for Custom Lengths and Finishes

SPECIFICATIONS

Model:	CH-031-C
Length:	79.7" (2m)
External Width:	1.438" (36mm)
Internal Width:	0.75" (19.0mm)
Height:	1.125" (28mm)

WH—White
FR—Frosted
CL—Clear

2nd Cap With Hole
2nd Cap Without Hole

Spring Clips (SC)

ORDERING INFORMATION

Example: **CH031C-1-FR-SG-EC**

Series	Length	Lens	Mounting	End Cap
CH031C	2		SG	EC
CH-031-C	2 meter	WH—White FR—Frosted CL—Clear	SG—Spring Clip	EC—End Caps (Included)

Questions/Support | 800-789-3810 | quotes@kehlvix.com

00042020M

VERTEX™ 1000 (OUTDOOR)

VT-Series | RUBBER COATED | LINEAR LED LIGHTING

Fixture Type: _____

Project: _____

Location: _____

© 2018 KELVIX, INC.

Scale: 1:100
1" = 10"

Scale: 1:100
1" = 10"

MODEL: VT2K-WR-24V

Series: 2730K 3000K

Lumens: 966 lm/ft 1000 lm/ft

Rating: IP67

VT3K-WR-24V

Series: 3000K

Lumens: 1020 lm/ft

Rating: IP67

VT3K-WR-24V

Series: 3000K

Lumens: 1020 lm/ft

Rating: IP67

VT40K-WR-24V

Series: 4000K

Lumens: 1041 lm/ft

Rating: IP67

VT50K-WR-24V

Series: 5000K

Lumens: 1065 lm/ft

Rating: IP67

PRODUCT FEATURES

- 1000 lumens per foot
- Dimmable
- 50,000 hour life
- 5 year warranty
- UL-listed for indoor and outdoor use
- 3M™ Industrial adhesive backing
- For use with 24V power supplies

SPECIFICATIONS

Series	VT - Vertex™ 1000 (Outdoor)
Input Voltage	24VDC / Constant Current
Watts per Foot	6.7W/ft (at Maximum Run Length)
Beam Spread	120°
Max Run Length	Unlimited, power over 5 lbf
Production Interval	2.438" (62.5mm)
End Cap Dimensions	0.688" (1.7mm) x 0.375" (9.5mm)
Tap Dimensions	0.563" (14.3mm) x 0.29" (7.4mm)
CRI	85+
Diode	5630
Dimming Options	PWM, Triac, 0-10V, DMX, Hi-Lume
Temp Range	-40°F (-40°C) to 149°F (65°C)

KELVIN COLOR TEMPERATURE SCALE

1,000K 2,000K 3,000K 4,000K 5,000K 6,000K

TOTAL WATTAGE USED AT EACH LENGTH

1ft	2ft	3ft	4ft	5ft	6ft	7ft	8ft	9ft	10ft	11ft	12ft	13ft	14ft
6.7	13.4	20.1	26.8	33.4	40.1	46.8	53.5	60.2	66.9	73.5	80.3	86.9	93.6

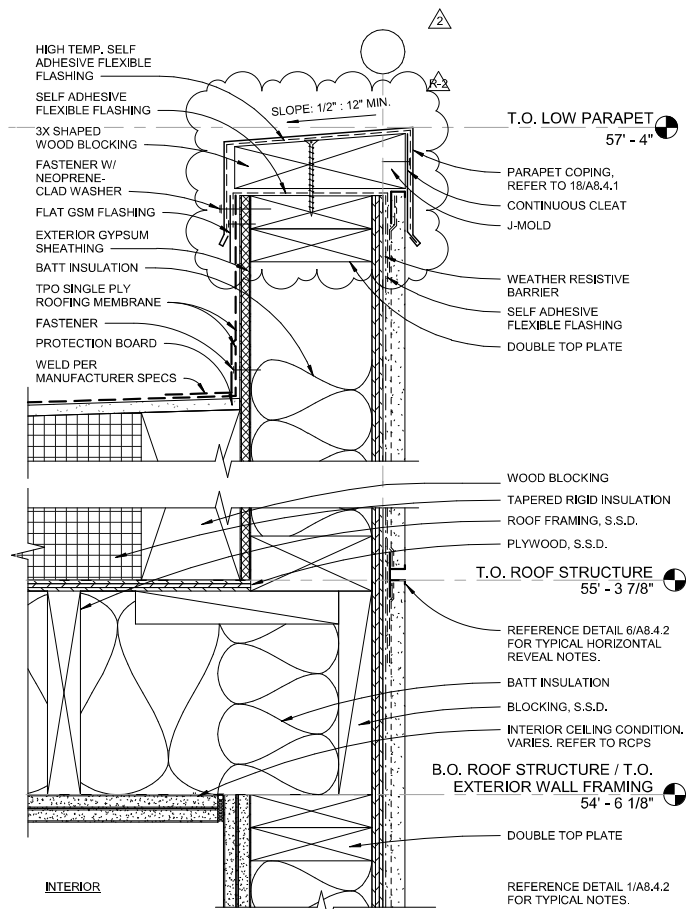
Conforms to ANSI/IES Standard 2108
Compliant to CAN/CSA Standard C22.2 No. 250.6

Questions/Support | 800-789-3810 | questions@kelvix.com

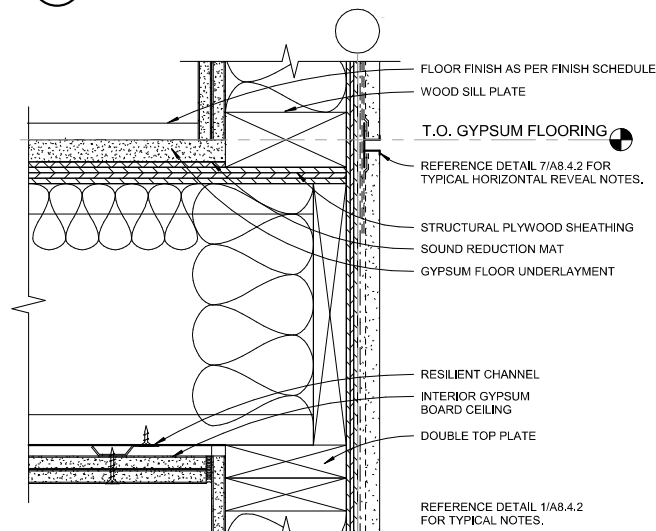
102821RV

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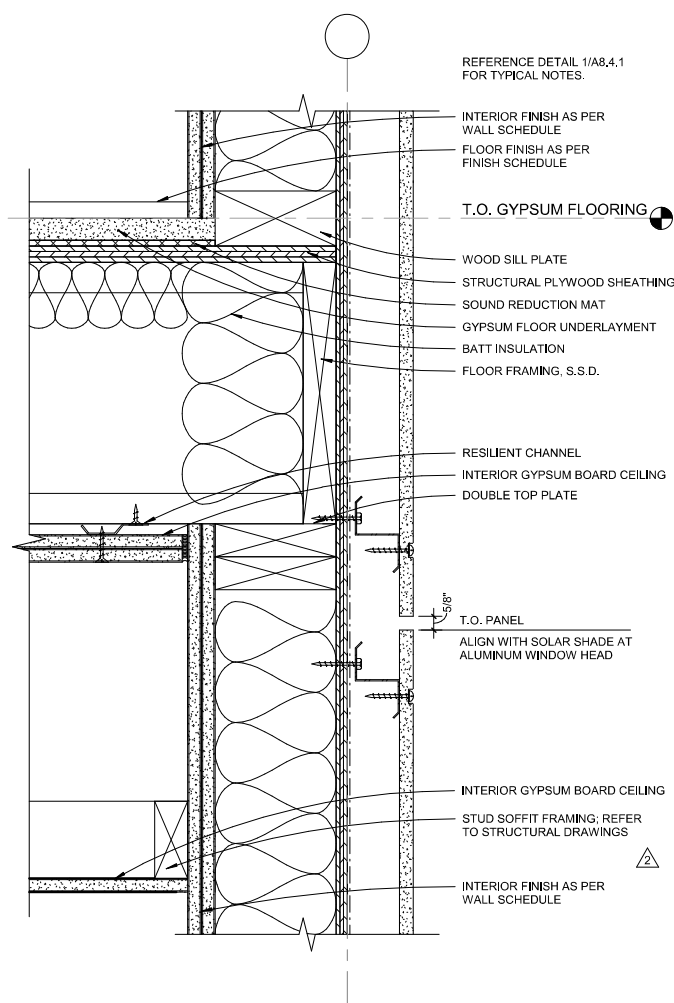
TYPE	DESCRIPTION	MODEL	VOLTAGE	WATTAGE	COLOR TEMP	MOUNTING HEIGHT	NOTES
S1a	WALL PACK, TYPE II DISTRIBUTION	LUMINIS SR135 #SR135	120V	34W	3000K	12'H	WITH INTEGRAL PHOTOCELL
S1b	WALL PACK, TYPE IV DISTRIBUTION	LUMINIS SR135 #SR135	120V	38W	3000K	12'H	WITH INTEGRAL PHOTOCELL
S2a	PEDESTRIAN POLE HEAD, TYPE II DISTRIBUTION, 10'H POLE	LUMINIS SR135 #SR135	120V	34W	3000K	10'H POLE	WITH INTEGRAL PHOTOCELL
S2b	PEDESTRIAN POLE HEAD, TYPE IV DISTRIBUTION, 10'H POLE	LUMINIS SR135 #SR135	120V	38W	3000K	10'H POLE	WITH INTEGRAL PHOTOCELL
S2c	PEDESTRIAN POLE HEAD, TYPE IV DISTRIBUTION, WITH HOUSE SHIELD, 10'H POLE	LUMINIS SR135 #SR135	120V	38W	3000K	10'H POLE	WITH INTEGRAL PHOTOCELL
S2d	PEDESTRIAN POLE HEAD, TYPE IV DISTRIBUTION, 12'H POLE	LUMINIS SR135 #SR135	120V	38W	3000K	12'H POLE	WITH INTEGRAL PHOTOCELL
S3a	PARKING POLE HEAD, SINGLE	LIGMAN LIGHT LINEAR PT3 RUL-21173-82W-T3-W30-18'-120/277V-DIM	120V	82W	3000K	18'H POLE	WITH INTEGRAL PHOTO/MOTION SENSOR
S3b	PARKING POLE HEAD, DUAL	LIGMAN LIGHT LINEAR PT 5 RUL-21183-2X82W-T3-W30-18'-120/277V-DIM	120V	164W	3000K	18'H POLE	WITH INTEGRAL PHOTO/MOTION SENSOR
S4	PLANTER STEP LIGHT	KELVIX CH-03-C #CH031C-CUSTOM 16" CL-SG-EC, VERTX 1000	120V	6.7W/FT	2700K	18"H	CUSTOM LENGTH 16". SPACE 6' OC ALONG PLANTER WALLS
S5	SCONCE	OCL FIORI #FR13-13-WF-BKP-LED2/27K-UNV	120V	26W	2700K	8"H	DOWNLIGHT ONLY
S6	TRELLIS STRING LIGHT	CELESTIAL HYFRA STL #HYA-STL-AC-GC27-12	120V	2W/FT	2700K	10'H	CLEAR LAMP. LAMP SPACING 12" ON CENTER



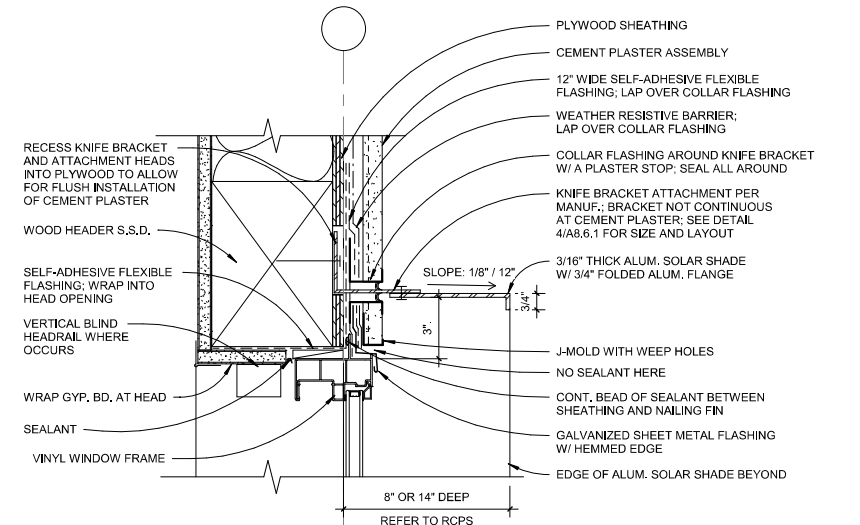
5 CEMENT PLASTER ASSEMBLY AT LOW PARAPET
3" = 1'-0"



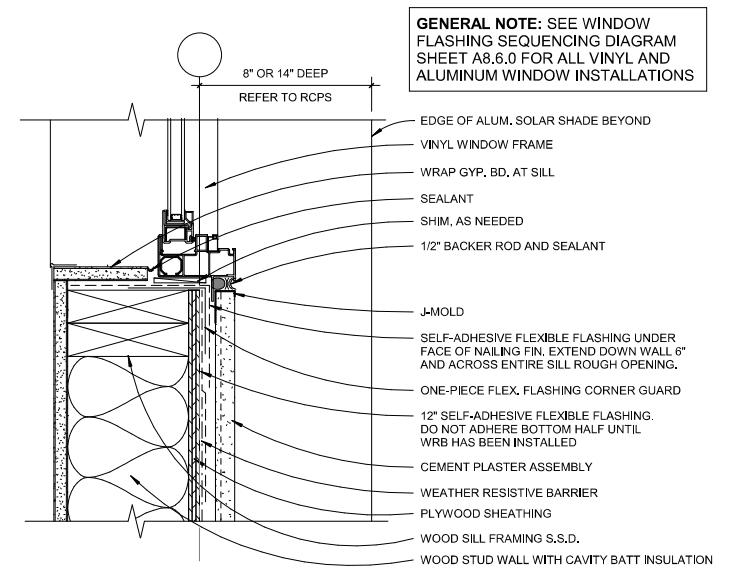
4 CEMENT PLASTER ASSEMBLY AT FLOOR/CEILING + HORIZONTAL REVEAL
3" = 1'-0"



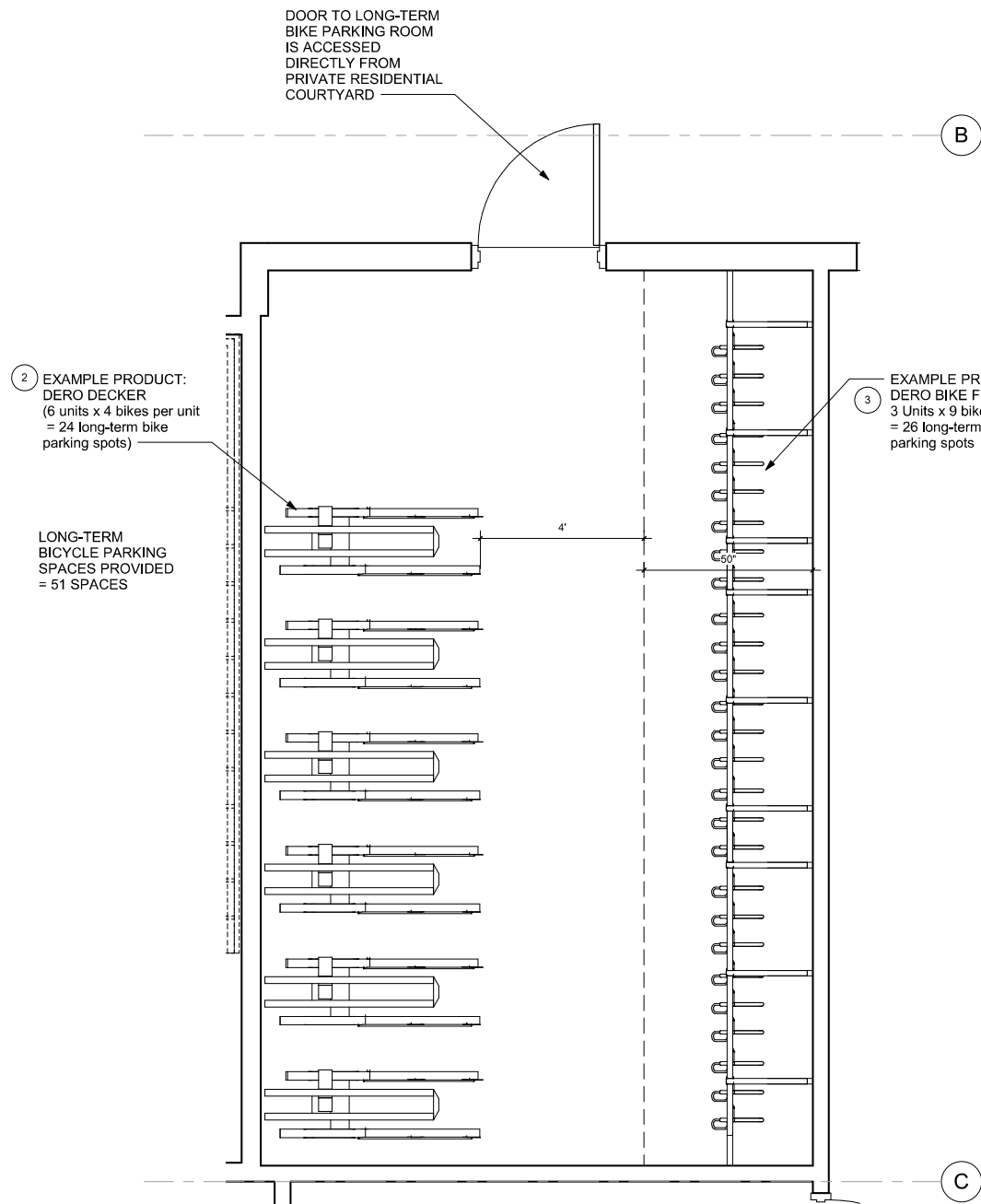
3 GFRC PANEL ASSEMBLY AT FLOOR + CEILING & HORIZONTAL REVEAL
3" = 1'-0"



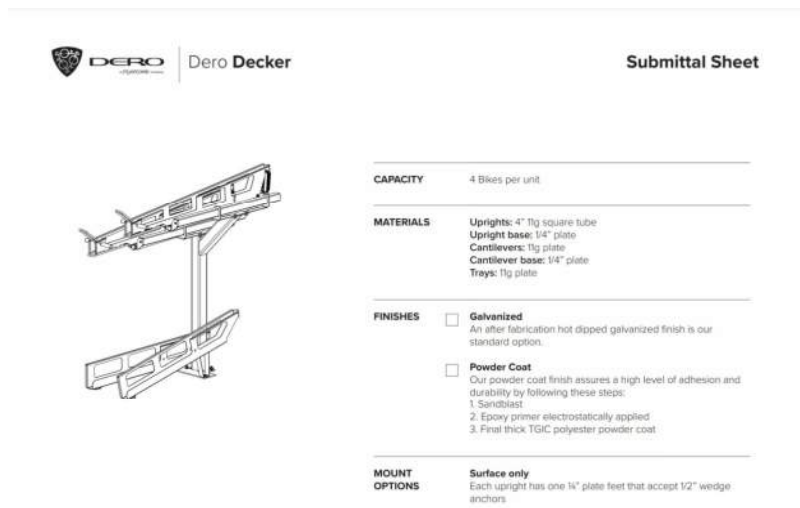
2 VINYL WINDOW HEAD AT CEMENT PLASTER & SOLAR SHADE
3" = 1'-0"



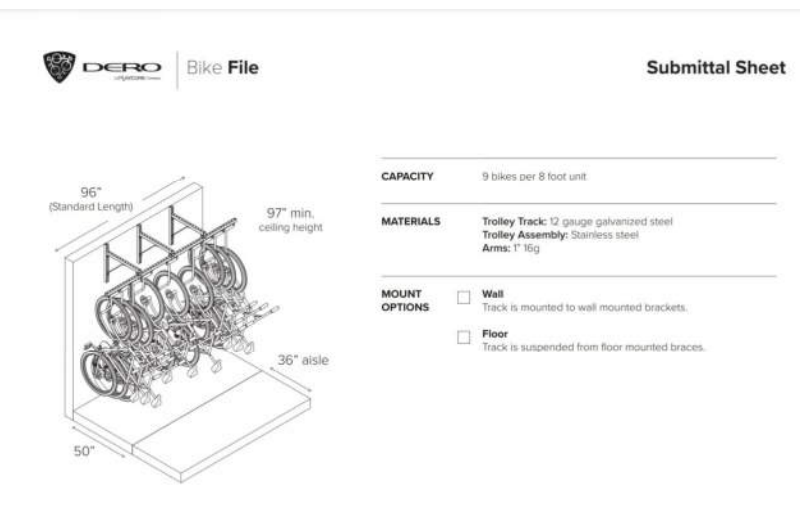
1 VINYL WINDOW SILL AT CEMENT PLASTER
3" = 1'-0"



1 BIKE ROOM LAYOUT
1/2" = 1'-0"



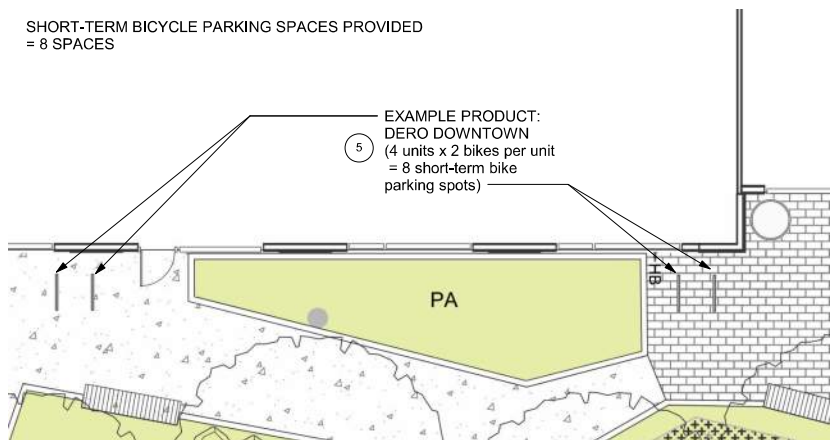
2 DERO DECKER DETAIL
1/4" = 1'-0"



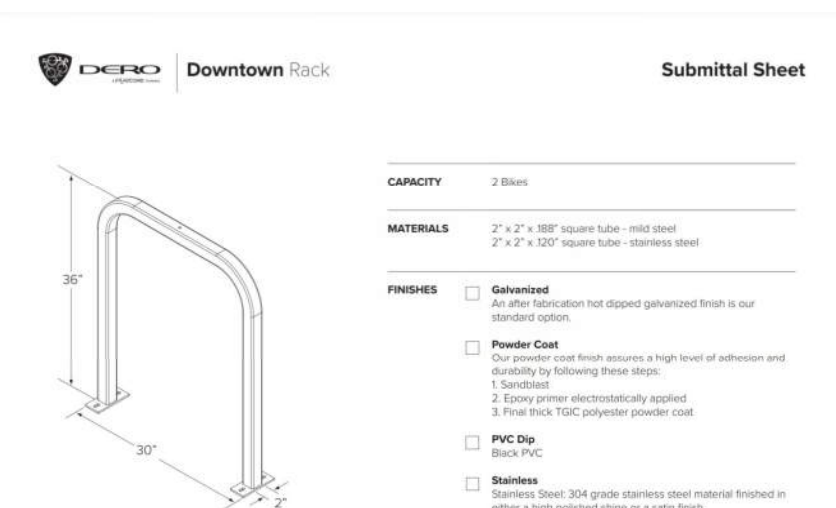
3 DERO FILE DETAIL
1/4" = 1'-0"

SHORT-TERM BICYCLE PARKING SPACES REQUIRED
= 7 SPACES

SHORT-TERM BICYCLE PARKING SPACES PROVIDED
= 8 SPACES



4 SHORT-TERM BIKE PARKING ALONG BUILDING FRONTAGE
1/4" = 1'-0"



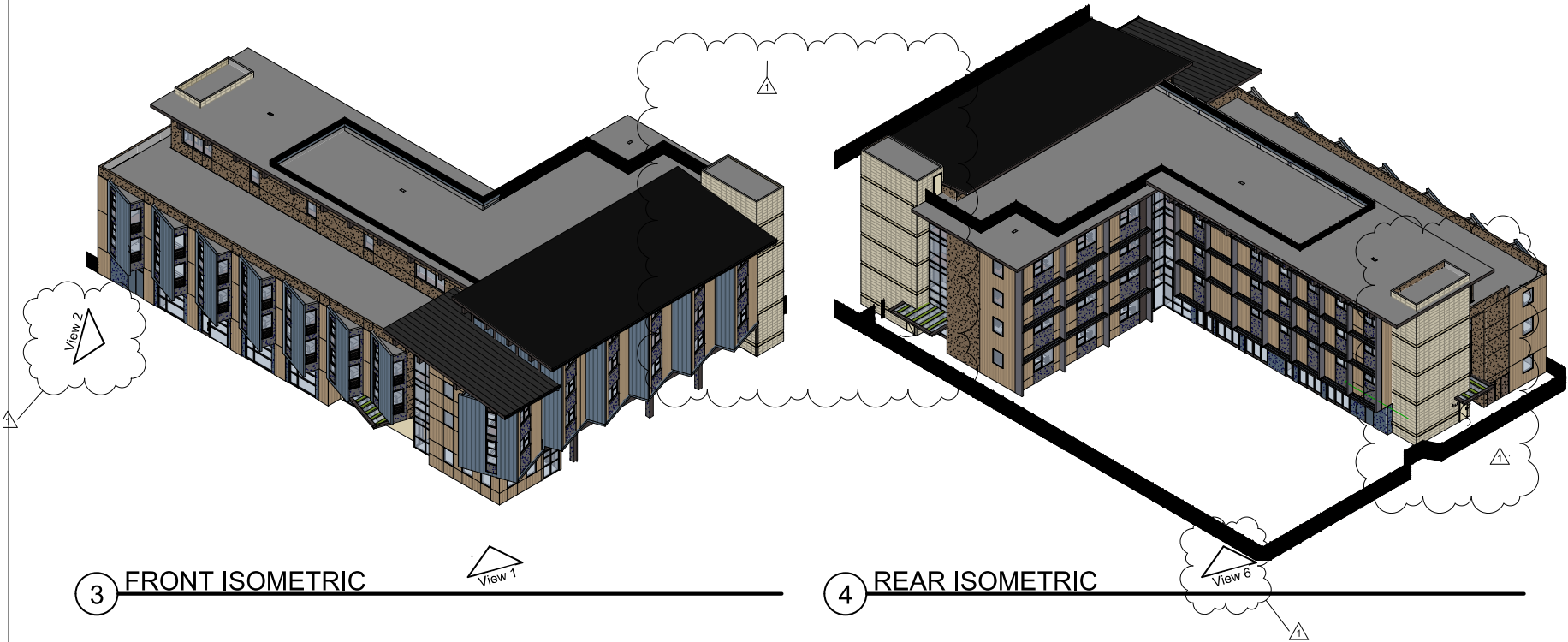
5 DERO DOWNTOWN DETAIL
1/4" = 1'-0"



1 RENDERING TOWARDS MAIN ENTRANCE



2 RENDERING FROM NELSON



3 FRONT ISOMETRIC

4 REAR ISOMETRIC



6 RENDERING FROM COURTYARD



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Project
MITCHELL PARK PLACE
A DEVELOPMENT FOR EDEN HOUSING
525 E. CHARLESTON ROAD, PALO ALTO, CA 94306

Drawing Set
PLANNING SUBMITTAL
MARCH 1, 2022

Drawing
EXHIBIT Q - 3D IMAGES

No.	Date	Issue	Issued: MARCH 1, 2022
1	PLANNING RESPONSES 1	07/21/22	Drawn: Author
			Checked: Checker
			Job: 21010
			PA12.1
			Scale



1 **VIEW**
1/4" = 1'-0"