

MEMORANDUM

DATE January 3, 2022 PROJECT 16252A.77
NUMBER
TO Danielle Condit, Associate Planner PROJECT 526 Waverley Street, Palo Alto
Danielle.Condit@CityofPaloAlto.org
OF City of Palo Alto Planning & FROM Hannah Simonson,
Community Environment Dept. Cultural Resources Planner
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CC Amy French, VIA Email
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REGARDING 526 Waverley Street, Palo Alto – *Secretary of the Interior's Standards for Rehabilitation*
Compliance Analysis

The City of Palo Alto has requested this *Secretary of the Interior's Standards for Rehabilitation* Compliance Analysis memorandum for a proposed project located at 526 Waverley Street (APN 120-15-083) in the University South neighborhood of Palo Alto.¹ The subject building is a two-story Spanish Colonial Revival commercial building designed by renowned local architect Birge Clark and completed in 1927. The property was initially constructed for Bernard J. Hoffacker and was home to the Palo Alto Sport Shop and Toy World for 87 years. The building experienced substantial alterations throughout the years, and in 2018, the subject property underwent a façade rehabilitation to return it to its original design. On February 13, 2020, the Palo Alto Historic Resources Board (HRB) approved reclassification of the building from a City of Palo Alto Category 3 building to a Category 2 building.² The property owners, Thoits Brothers, are proposing a project that would involve exterior alterations to the building, including the replacement of the central front door, demolition of a rear addition, and construction of a new patio and shade structure. The purpose of this memorandum is to review the proposed exterior alterations in accordance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, specifically the *Standards for Rehabilitation*.

¹ The building has multiple addresses, including 526-534 Waverley Street, but will be referred to as 526 Waverley Street for the purposes of this memorandum.

² City of Palo Alto Historic Resources Board, Staff Report (ID# 11197), HRB Draft Minute February 13, 2020.

Methodology

In December 2019, Page & Turnbull prepared a Historic Resource Memorandum which provided an evaluation of the property's eligibility for reclassification as a City of Palo Alto Category 2 property and eligibility for the California Register of Historical Resources (California Register), a list of character-defining features, as well as an analysis of the 2018 façade rehabilitation (which had already been completed) in accordance with the Secretary of the Interiors Standards for Rehabilitation. Page & Turnbull conducted a site visit to the subject property on November 12, 2019 and revisited the property on December 7, 2021. All photographs in this memorandum are from the December 2021 site visit unless otherwise stated.

Page & Turnbull reviewed proposed project plans entitled "Blu Dot Palo Alto, 526 Waverley Street, Palo Alto, CA 94301" prepared by Standard Architecture & Design (dated November 2, 2021) that were provided to Page & Turnbull via email from the City of Palo Alto. Page & Turnbull also reviewed original architectural drawings, previous alteration drawings, and previous historic resource documentation, including:

- Original architectural drawings – "Store Building for Mr. B. J. Hoffacker" by Birge M. Clark (no date, c. 1927)
- State of California Department of Parks and Recreation Historic Resources Inventory form for 526-534 Waverley Street (1986)
- City of Palo Alto Historic Resources Board/Architectural Review Board Staff Report – 526 Waverley/97-Arb-215 (February 5, 1998)
- Façade renovation plans by Randolph B. Popp (March 28, 2017)
- Architectural Resources Group (ARG), "526-534 Waverley Street – Preliminary Assessment" memorandum (July 5, 2017)
- City of Palo Alto Development Review – Department Comments – 526 Waverley St/17PLN-00454 (January 4, 2018)
- City of Palo Alto Historic Resources Board, Staff Report (ID# 11197) – HRB Draft Minute February 13, 2020.

Existing Historic Status

On February 13, 2020, the Palo Alto Historic Resources Board (HRB) approved reclassification of the building from a City of Palo Alto Category 3 building to a Category 2 building.³ A City of Palo Alto Category 2 resource is defined as a "major building," meaning "any building or group of buildings of major regional importance, meritorious works of the best architects or an outstanding example of an architectural style or the stylistic development of architecture in the state or region. A major

³ City of Palo Alto Historic Resources Board, Staff Report (ID# 11197), HRB Draft Minute February 13, 2020.

building may have some exterior modifications, but the original character is retained.”⁴ In a 2019 Historic Resource Memorandum, following the 2018 façade rehabilitation, Page & Turnbull also found the building eligible for listing in the California Register of Historical Resources (California Register) under Criterion 1 (Events) and Criterion 3 (Architecture). The property was found individually significant under Criterion 1 within a local context for its association with a multi-generation family legacy business, Palo Alto Sport Shop, which was operated by the Hoffacker family, who was influential within the local community. The period of significance under Criterion 1 is 1927-2017, the years of operation. The property was also found individually significant within a local context under Criterion 3 for its Spanish Colonial Revival commercial design and its association with a master architect, Birge M. Clark. The period of significance under this criterion is 1927, the year of construction.

Brief Architectural Description

526 Waverley Street is a two-story Spanish Colonial Revival style commercial building located in the central business core of Downtown Palo Alto between University and Hamilton Avenues (**Figure 1**). The building is generally rectangular in plan, set on a concrete foundation, and the roof has three shallow gables surrounded by a concrete parapet. The primary (northeast) façade on Waverley Street is separated into three bays, with the central projecting bay approximately two to three feet taller than the other two bays (**Figure 2**). The primary façade is flush with the sidewalk, and the southeast and northwest façades abut the neighboring buildings. The rear (southwest) façade borders a parking lot and alleyway and is adjacent to an irregularly shaped one-story hollow clay tile addition, previously used as a bike repair shop.



Figure 1. Primary façade of 526-534 Waverley Street, looking southwest, December 7, 2021.



Figure 2. Central doorway at primary façade, December 7, 2021.

⁴ Palo Alto Municipal Code (PAMC) Chapter 16.49 Historic Preservation, Section 16.49.020.

The primary façade is clad in stucco and topped with a clay S-tile shed roof. Additionally, the primary façade is divided into three bays. The central projecting bay – the largest of the three – is flanked by two smaller bays. Each bay features a ground-floor tile-clad storefront and a glazed wood entrance door and transom. Each bay is set within various Spanish Colonial Revival style decorative arches. The second story is symmetrical and has recessed 12-light wood-sash casement windows. Wrought iron Juliet balconies with decorative scrollwork accompany the central and eastern bay windows, and the western bay features wrought iron window screens with decorative scrollwork. Details along the primary façade include a plaster lintel and brackets over the northwest storefront, an expansive wood lintel over the center storefront, and a stucco corbel table at the roofline of the center bay. The rear (southwest) two-story façade has a shaped parapet reflecting the multiple-gable roof behind it, two 12-light industrial windows, and one 18-light industrial window with translucent glass. It is clad in board formed concrete. The rear one-story addition extends from the original southwest façade and is accessed via multiple metal and plywood doors (**Figure 3 and Figure 4**). It is clad in hollow clay tile and features three flush metal doors.



Figure 3. Rear addition and parking lot, looking northeast, November 12, 2019.



Figure 4. Rear addition, looking north from parking lot, November 12, 2019.

The interior is primarily a double-height commercial space with a mezzanine level. The mezzanine level is generally U-shaped and includes two enclosed office spaces along the main façade. Original adzed wood beams and posts with decorative brackets and mezzanine railing remain at the two eastern bays at the front mezzanine, as does a stuccoed fireplace with its original adzed wood mantel (**Figure 5 - Figure 8**). The non-original mezzanine level continues along the west side of the building to the rear (southwest) (**Figure 9**). The mezzanine is accessible by a non-original interior staircase at the southeast corner and a central non-original elevator. The rear entrance is accessible via an interior concrete ramp through the one-story addition. Interior walls are clad in a variety of materials, including stucco, drywall, and hollow clay tiles.



Figure 5. Interior mezzanine with adzed wood beams, posts, and joints, and decorative railing, December 7, 2021.



Figure 6. Original front mezzanine (right) and non-original mezzanine (left) along the northwest wall, December 7, 2021.



Figure 7. Ghost mark from original stair to mezzanine along the southeast wall, December 7, 2021.



Figure 8. Front mezzanine, December 7, 2021. The location of the original stair to the central mezzanine area is visible by missing adzed brackets and extra newel post, indicated by yellow arrow.



Figure 9. Non-original rear mezzanine, looking south, December 7, 2021.

Construction Chronology

The following is a brief overview of major alterations that have taken place at the subject property since its construction in 1927:

- **1927** – Birge Clark-designed building was constructed. The building originally contained three separate commercial spaces, occupied in the first two decades by the sport shop, a bakery, and the Palo Alto Realty Company.
- **Between ca. 1927-1930** – Bike repair facility was constructed at the rear of the building (**Figure 10**)
- **1948** – The building was remodeled, including storefront modifications, and the sport shop expanded into the rest of the building. The mezzanine area was expanded along the northwest and southwest interior. This also appears to be when the three front stairs to the mezzanine were removed and the railings extended (see original stair and railing configuration in **Figure 11**).
- **1949** – A drive-in service area was added to rear of store (painted red and green).
- **1971** – Reroofing
- **1992** – Storefronts were altered with new windows, doors, plaster, awnings, and painting
- **1996** – Reroofing
- **1998** – The existing mezzanine, restrooms, dressing rooms, and rear exit were remodeled for accessibility; an elevator was installed; and the rear second-story windows were replaced with the current 12- and 16-light windows.
- **2017** – After 87 years, the Palo Alto Sport Shop and Toy World closed.
- **2018** – The primary façade was rehabilitated.
- **2020** – 526 Waverly Street was recategorized as a City of Palo Alto Category 2 historic resource.



Figure 10. Aerial view of 526 Waverly Street, indicated by yellow dashed outline. Rear addition, constructed between c. 1927-1930, is indicated by blue shading. Source: Google Maps, 2021. Edited by Page & Turnbull.

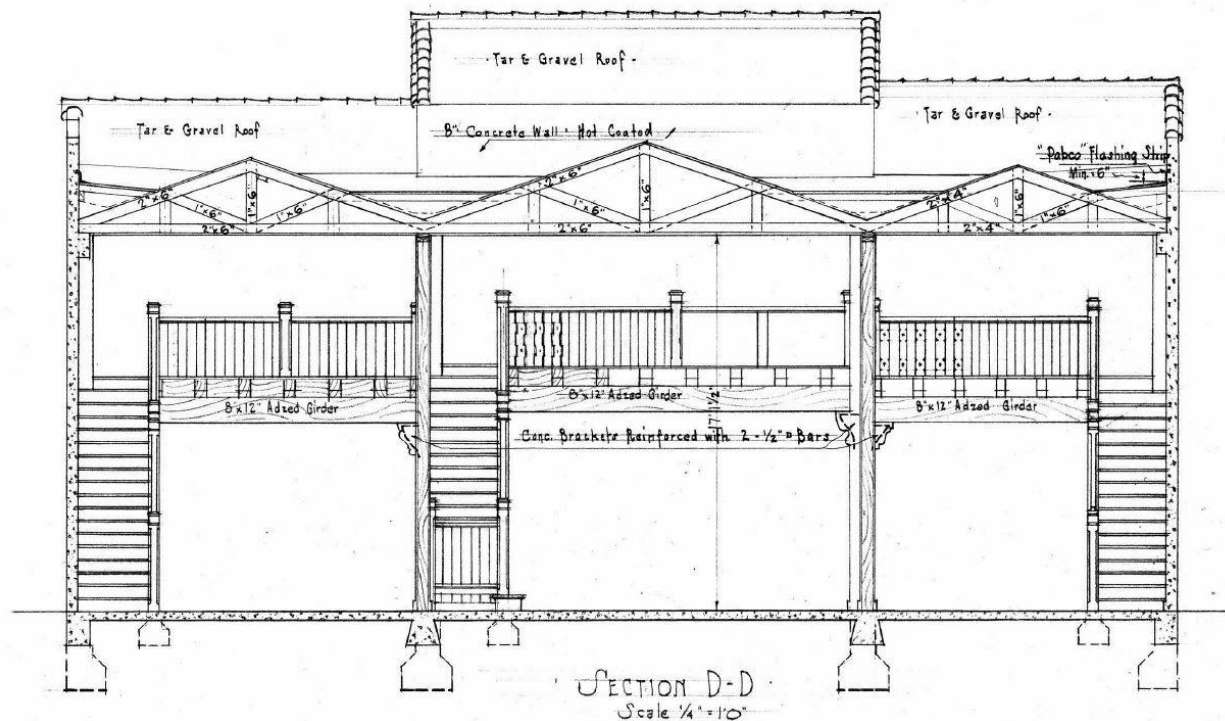


Figure 11. Interior section looking toward front of building from original drawing by Birge Clark showing original mezzanine and stair configuration. Source: Birge M. Clark, "Store Building for Mr. B. J. Hoffacker," Sheet 7 (no date, c. 1927).

Character-Defining Features

For a property to be eligible for listing in a local historic register, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. To be eligible, a property must contain enough of those characteristics, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials. All of the character-defining features at 526 Waverley Street represent the period of significance of 1927- 2017. As 526 Waverley Street underwent various alterations throughout its long period of significance, its character-defining features are identified in two groups, primary and secondary character-defining features. Primary character-defining features represent those that are integral to the original Birge Clark design and operation of the Palo Alto Sport Shop. Secondary character-defining features represent those that existed during the period of significance but are not essential to the building's ability to convey its historic significance, particularly the primary architectural significance as a Palo Alto Category 2 building.

The following character-defining features were established in Page & Turnbull's 2019 Historic Resource Memorandum:

Primary Character-Defining Features

- Location within the southwest block face of the 500 block of Waverley Street in Downtown Palo Alto
- Original 1927 building footprint (not including rear addition)
- Two-story, three-bay primary façade massing
- Interior double height commercial space
- Features that communicate the commercial property type, including:
 - Fixed plate glass storefront windows
 - Glazed single entry wood doors with transoms
 - Bulkheads beneath storefront windows (with decorative tiling)
 - Three distinct entrances that communicate its previous three-store plan
- Features that communicate the Spanish Colonial Revival style, including:
 - Primary façade:
 - Stucco cladding
 - Three distinct Spanish Colonial Revival-style storefront arches
 - Multi-light, wood-sash, recessed casement windows at the second story
 - Decorative molding and corbel table
 - Clay tile shed roof along the primary façade
 - Decorative ironwork
 - Wood lintel
 - Plaster trim and brackets
 - Interior mezzanine with adzed wood posts, joists, beams, and railing, only at northeast side of interior.⁵

Secondary Character-Defining Features

- One-story rear hollow clay tile addition (built between 1927-1930)
- Stuccoed fireplace at interior
- Non-original interior mezzanine along the northwest and southwest interior (built in 1948)
- Partition walls enclosing original interior mezzanine on the northeast
- Windows at the rear façade of the original building (replaced in 1998).

Proposed Project Description

The proposed description is based on the scope of work described and illustrated in the drawing set for 526 Waverley Street by Standard Architecture & Design, dated November 2, 2021 (included in the

⁵ An original mezzanine staircase in the northwest corner is no longer extant.

Appendix of this memorandum). The proposed project includes the following alterations (**Figure 12 - Figure 16**):

Exterior

- Existing materials and features at the primary façade will be retained, except that the existing replacement central door at the primary façade will be replaced with a new fully glazed wood door with narrower rails and styles
- Removal of existing one-story rear addition
- Installation of a new fenced rear patio and shade structure
 - The patio will be enclosed by a 6-foot-tall metal fence with 1.25" by 1.25" diamond posts and stucco-clad wall with a metal gate
 - A one-story metal frame shade structure with a wood slate roof will cover most of the patio
 - A 12:1 ramp will provide access from the fence gate to the shaded patio area
 - A second paired gate will lead to a landing with several steps down to the shaded patio area
 - Rectangular concrete planters, planted with *pittosporum tenuifolium*, will be located at the north and west perimeters of the patio
 - A new trash enclosure with a metal gate and opaque metal panel will be north of the enclosed patio
- Three new fully glazed bi-fold doors and one fully glazed hinged door will be installed at the rear façade, opening onto the new rear patio
- New 1'-8" diameter round aluminum sign will be wall-mounted at the rear patio fence.

Interior

- Replacement of an existing central interior elevator with a new elevator and stair at the southwest interior corner
- Removal of stair at the southeast interior corner
- Installation of a new interior stair, which will be a central spiral stair
- Modifications to the interior mezzanine and partitions
 - Mezzanine will be expanded with an addition along the southeast wall, which will require the removal of a portion of the modified historic mezzanine railing. A new railing or low wall will be installed at the step between the mezzanine level change.⁶
 - Removal of section of front partition walls to provide doorway access between the three spaces along the front mezzanine
 - Ramps will provide access between the mezzanine level changes

⁶ Currently the mezzanine forms a U-shape. The proposed project will result in a mezzanine that extends along the full perimeter (all four sides) of the building.

- New partition walls to create an office, break room, and restroom at the rear end of the mezzanine
- Various interior mechanical, plumbing, and electric upgrades
- New ADA-compliant restroom.



Figure 12. Rendering of proposed rear alterations. Source: Standard Architecture & Design, "Blu Dot Palo Alto, 526 Waverley Street, Palo Alto, CA 94301" (November 2, 2021), Sheet A000.

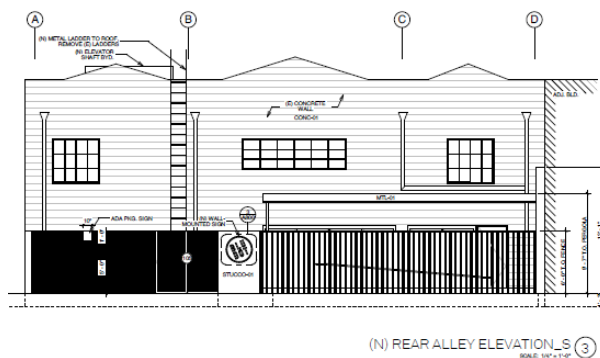


Figure 13. Proposed rear alley (viewed from alley). Source: Standard, "Blu Dot Palo Alto" (November 2, 2021), Sheet A200.



Figure 14. Proposed rear alley (viewed from patio). Source: Standard, "Blu Dot Palo Alto" (November 2, 2021), Sheet A201.

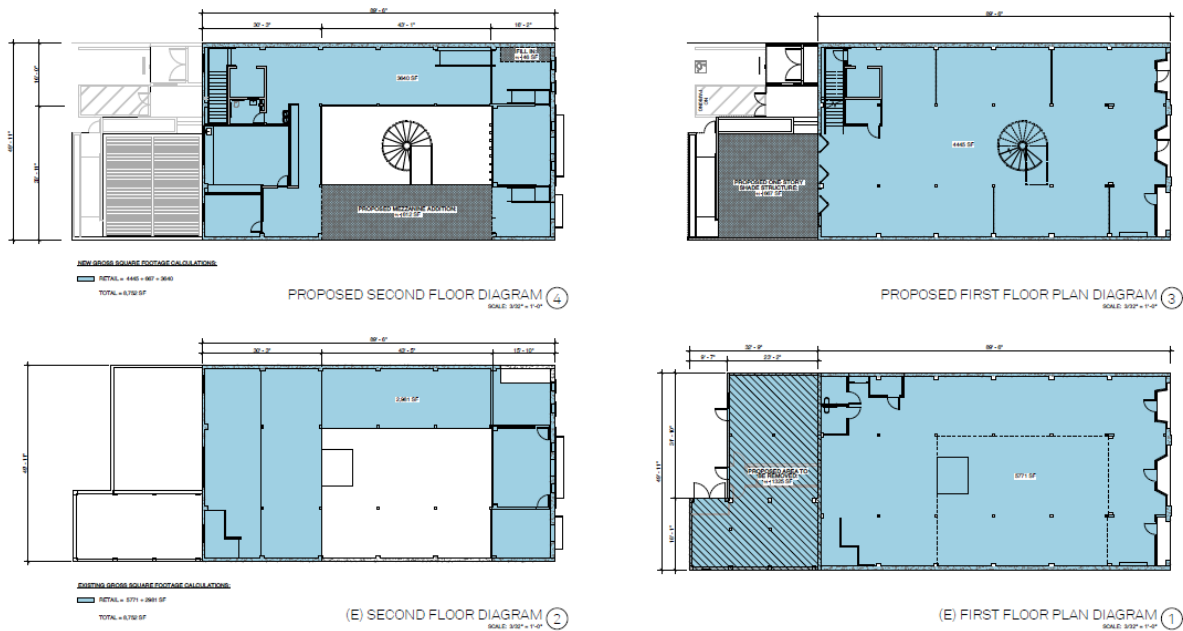


Figure 15. Existing (bottom) and proposed (top) floor plan diagrams.
Source: Standard, "Blu Dot Palo Alto" (November 2, 2021), Sheet A005.

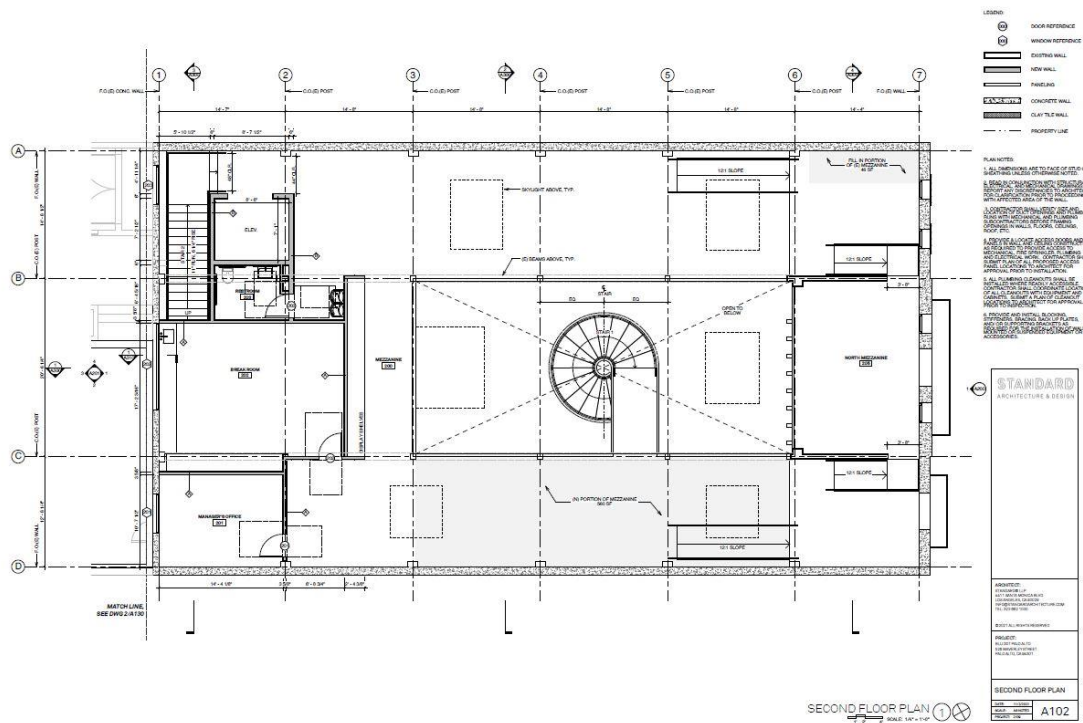


Figure 16. Proposed second (mezzanine) floor plan.
Source: Standard, "Blu Dot Palo Alto" (November 2, 2021), Sheet A102.

Seismic Upgrade

The proposed project also includes a seismic upgrade, which was described conceptually to Page & Turnbull in a marked-up diagram titled "Tenant Remodel & Interior Improvement: 526 Waverly St" (sheet dated May 3, 2018, updated December 9, 2021) by Sierra Engineering Group (emailed to Page & Turnbull and Palo Alto planning staff on December 9, 2021), and in an email from the property owner, John R. Shenk, Thoit Bros., Inc. on December 15, 2021. The seismic work will include:

- Plywood shear wall at the elevator shaft walls
- New shotcrete (approximately 4" thick) for the full height of the interior of the walls at three locations: rear southwest wall and the two walls between the front doors at the northeast wall
- Plywood sheathing at the roof framing above the main double-height space.

The structural engineer, via email from the property owner, confirmed that the seismic work "will not effect the existing window openings and they will remain as they exist currently" and that "There is no seismic work for the mezzanine framing so the beams in question will not be touched. Only those mezzanine areas being lowered as well as the new additional mezzanine floor area will require new sheathing."⁷

Note: Should the seismic upgrade approach change in the future, additional review may be needed.

SOI Standards for Rehabilitation Compliance

Under Palo Alto's historic preservation ordinance, planning staff may review and approve minor exterior alterations pursuant to guidelines adopted by the Historic Resources Board. Minor exterior alterations are "those alterations which the director of planning and community environment or his/her designee determines will not adversely affect the exterior architectural characteristics nor the historical or aesthetic value of the historic structure, its site or surroundings."⁸ Projects that are not considered minor exterior alterations are subject to California Environmental Quality Act (CEQA) and Historic Resources Board review.⁹

The following discussion considers the proposed project's potential effects on the historic status of, and compatibility with, the commercial building at 526 Waverley Street, and provides comments on whether the project appears to adhere to the ten *Secretary of the Interior's Standards for Rehabilitation*.

⁷ Email from John Shenk to Danielle Condit, City of Palo Alto, and Christina Dikas, Page & Turnbull on December 15, 2021.

⁸ PAMC § 16.49.050(C).

⁹ City of Palo Alto, "Historic Resource Project Review FAQ," accessed online December 3, 2021, <https://www.cityofpaloalto.org/civicax/filebank/documents/64188>.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project will continue the commercial use of the property. Thus, the proposed project will comply with Rehabilitation Standard 1.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

All of the historic materials and features that characterize the original building at the primary façade will be retained, including the original and restored Spanish Colonial Revival style elements. Additionally, the interior fireplace and mezzanine at the north end of the building will be retained. The seismic upgrade, as currently proposed, will not affect the historic character, materials, or features. While the mezzanine will be extended at the southeast wall, the central opening will allow the overall character of the double-height space to remain legible. The central front door, which is a non-original replacement door, will be replaced with a compatible new door. The project proposes removing the rear hollow clay tile addition, which is a secondary character-defining feature that was constructed during the period of significance associated with the Hoffacker family and Palo Alto Sport Shop, but after original construction to expand the retail space. The rear addition is not visible from the public right-of-way on Waverley Street, was not designed by Birge Clark, and does not contribute to the Spanish Colonial Revival style architectural character of the building as it is at the rear façade and lacks any architectural ornamentation or detailing. Furthermore, the addition was a back-of-house utilitarian space used by the Sport Shop, and the removal of the addition will not diminish the association of the building with the Hoffacker family and their Palo Alto Sport Shop business. The building will still be used as a commercial retail space and will retain its historic character as a Clark-designed Spanish Colonial Revival style building. Thus, the removal of the rear addition will not substantially affect the historic character of the property, and the proposed project will comply with Rehabilitation Standard 2.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

No conjectural features or architectural elements from other buildings will be added to the original building. Thus, the proposed project will comply with Rehabilitation Standard 3.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The property has a period of significance of 1927, the year of construction, associated with its Spanish Colonial Revival style architecture designed by Birge Clark, and a longer period of significance, 1927-2017, associated with the Hoffacker family and Palo Alto Sport Shop. Thus, the property has several additions and alterations that occurred during the Hoffackers' ownership that have been identified as "secondary character-defining features." These secondary features are part of the evolution of the use of the building over nine decades, but do not necessarily have "historic significance in their own right." This includes the rear addition, which was a functional addition to provide extra retail square footage, but does not possess the architectural character or detailing that is exhibited by the street-facing primary façade. Thus, the removal of the rear addition will not impact the eligibility of the historic resource, or the overall character and significance of the property. The proposed project will comply with Rehabilitation Standard 4.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

The project proposes the replacement of a non-original front door and the demolition of a rear addition. While the rear addition was constructed during the 1927-2017 period of significance that has been identified in association with Palo Alto Sport Shop, the rear addition is a secondary character-defining feature and does not include distinctive features, features, or examples of craftsmanship. The distinctive features, finishes, and examples of craftsmanship are generally at the primary façade, which exhibits the characteristics of the Spanish Colonial Revival style designed by Birge Clark and will all be preserved. At the interior, a portion of the wood railing and brackets at the eastern end of the north mezzanine will be removed. However, this portion of the railing has been altered in the past, and the majority of the interior mezzanine features will be retained. The central portion of the interior mezzanine with adzed wood posts, joists, beams, and railing will be preserved, along with the interior fireplace and adzed wood beams below the northeastern portion of the mezzanine. The seismic upgrade, as currently proposed, will not remove or alter any distinctive features, finishes, or construction techniques. Thus, the proposed project will comply with Rehabilitation Standard 5.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project does not involve the repair or replacement of historic features. The central front door that will be replaced is a non-original replacement door, and the proposed new door has

a similar design—a fully glazed wood door with narrower rails and styles—and will be compatible with the character of the building. No missing features are proposed to be replaced. Thus, the proposed project will comply with Rehabilitation Standard 6.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The project does not include any physical or chemical treatments to clean or remove historic materials or finishes. Thus, the project will comply with Rehabilitation Standard 7.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

No excavation appears to be required for completion of the proposed project; however, in the case of discovery of archaeological materials, provided that standard discovery procedures for the City of Palo Alto are followed, the proposed project will comply with Rehabilitation Standard 8.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

As described under Standard 2, all of the remaining and restored historic materials, features, and spaces that characterize the original building at the primary facade will be retained. As discussed under Standard 4, the rear addition will be removed. While the rear addition was constructed for Palo Alto Sport Shop during the period of significance associated with the Hoffacker's business, the rear addition is a secondary feature that is not visible from Waverley Street, was not designed by Birge Clark, and does not have any materials or architectural detailing or ornamentation associated with the Spanish Colonial Revival style, which is the primary area of significance under Palo Alto Historic Resource Category 2. The removal of the rear addition will not impact any primary character-defining features and will not destroy the historic character or integrity of the property. Consistent with National Park Service guidance, the proposed new fenced patio and one-story shade structure will be located at the rear of the building, where it will not be visible from Waverley Street (primary façade), and is subservient in scale compared to the two-story building. Due to the location of the proposed new fenced patio and shade structure at the rear of the building, they will not visually compete with or distract from the historic Spanish Colonial Revival style of the building. The patio and shade structure will cover a similar footprint as the rear addition that will be demolished,

and are compatible in size, scale, and proportion with the historic building. The design of the proposed fenced patio and shade structure, including the metal and wood materials, are clearly contemporary in style and are compatible in their restrained and minimal design with the unornamented concrete rear façade of the building. As previously noted, the seismic upgrade will not destroy any historic materials, features, or spatial relationships. Thus, the proposed project will comply with Rehabilitation Standard 9.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed new rear fenced patio and shade structure, if removed in the future, will not impair the essential form or historic integrity of the building or its environment. The metal frame of the shade structure will be bolted to the rear wall of the building and, if removed in the future, the bolt holes could be filled and repaired with minimal impact to the rear façade, which is not a character-defining feature of the building. The proposed bi-fold doors opening onto the new patio are located at a portion of the wall that is currently an interior wall and could be replaced or infilled with concrete in the future if, hypothetically, the rear patio was removed in the future, without negatively impacting the essential form or integrity of the property. Additionally, if the proposed new interior mezzanine extension was removed in the future, the essential double-height space will be retained and majority of the interior character-defining features and materials will remain. Thus, the project will comply with Rehabilitation Standard 10.

Recommendation

The above analysis demonstrates that the proposed project, as currently designed, is overall compliance with all ten Standards for Rehabilitation. However, Page & Turnbull has one recommendation that would retain some additional historic material at the interior of the building:

- **Recommendation #1:** Retain portion of wood railing at the east end of the mezzanine, adjacent to where a new ramp is being installed along the interior of the southeast wall. As the floor levels change between the existing front mezzanine and the proposed new mezzanine section, a railing or low wall of some kind will be required. Page & Turnbull recommends retaining as much of the existing wood railing to preform this function.

Conclusion

As the above analysis demonstrates, the project as currently designed appears to comply with all ten the *Secretary of the Interior's Standards for Rehabilitation*. Thus, regardless of whether Recommendation #1 is adopted, the subject property at 526 Waverley Street will retain historic significance and integrity and will remain eligible as a Category 2 building, as well as eligible for listing in the California Register. According to CEQA Guidelines Section 15126.4(b)(1), if a project complies with the *Standards for Rehabilitation*, the project's impact "will generally be considered mitigated below a level of significance and thus is not significant." Thus, the proposed project, as currently designed, will have no significant adverse effect on the historic resource under CEQA.

Should the seismic upgrade approach change in the future, additional review may be needed.

Qualifications

Page & Turnbull was established in 1973 as Charles Hall Page & Associates to provide architectural and conservation services for historic buildings, resources, and civic areas. The company was one of the first architecture firms in California to dedicate its practice to historic preservation and is among the longest practicing such firms in the country. Offices are located in Los Angeles, Sacramento, and San Francisco, and staff includes licensed architects, designers, architectural historians, conservators, and planners. All of Page & Turnbull's professional staff members meet or exceed the Secretary of the Interior's Historic Preservation Professional Qualification Standards.

As Cultural Resources Planner within Page & Turnbull's Cultural Resources Planning Studio, Hannah Simonson meets the Secretary of the Interior's Professional Qualification Standards for Architectural History. She is experienced in surveying, researching, and evaluating historic properties, as well as analyzing proposed projects for potential impacts on historic resources.

Appendix – Proposed Project Drawing Set

This Appendix includes the proposed project plans entitled “Blu Dot Palo Alto, 526 Waverley Street, Palo Alto, CA 94301” prepared by Standard Architecture & Design (dated November 2, 2021) that were provided to Page & Turnbull via email from the City of Palo Alto.

This Appendix also includes a marked-up diagram titled “Tenant Remodel & Interior Improvement: 526 Waverly St” (sheet dated May 3, 2018, updated December 9, 2021) by Sierra Engineering Group (emailed to Page & Turnbull and Palo Alto planning staff on December 9, 2021).

ABBREVIATIONS

&	And	H.M.	Hollow Metal
L	Angle	HORIZ.	Horizontal
@	At	HR.	Hour
CL	Centerline	HGT.	Height
O	Diameter or Round	HDR.	Header
#	Pound or Number	LD	Inside Diameter
(E)	Existing	INSUL.	Insulation
(N)	New	INT.	Interior
ACOUS.	Acoustical	JT.	Joint
A.D.	Area Drain	MFR.	Mirror
ADJ.	Adjustable	KITCH.	Kitchen
A.F.F.	Above Finish Floor	LAM.	Laminated
AGGR.	Aggregate	LAV.	Lavatory
ALU.	Aluminum	LT	Light
APPROX.	Approximate	MAX.	Maximum
ARCH.	Architectural	MECH.	Mechanical
ABV.	Above	MEMB.	Membrane
AVG.	Average	MFR.	Manufacturer
BO.	Board	MIN.	Minimum
BITUM.	Bituminous	MISC.	Miscellaneous
BLDG.	Building	MTD.	Mounted
BLKG.	Blocking	MTL.	Metal
BM.	Beam	MUL.	Mullion
BOT.	Bottom of	N.	North
CAB.	Cabinet	N.I.C.	Not in Contract
C.B.	Catch Basin	NO.	Number
CEM.	Cement	NOM.	Nominal
CER.	Ceramic	N.T.S.	Not to Scale
CL.	Cast Iron	O.A.	Overall
CLG.	Ceiling	O.C.	On Center
CLKG.	Caulking	O.D.	Outside Diameter
CLO.	Closet	OFF.	Office
CLR.	Clear	OPNG.	Opening
COL.	Column	OPP.	Opposite
CONC.	Concrete	PERP.	Perpendicular
CONCL.	Connection	PKG.	Parking
CONSTR.	Construction	PRECST.	Precast
CONT.	Continuous	PL.	Plate
CORR.	Corridor	P.LAM.	Plastic Laminated
CTR.	Center	PLAST.	Plaster
DBL.	Double	PLYWD.	Plywood
DEPT.	Department	PR.	Pair
DETL.	Detail	PT.	Paint
DIA.	Diameter	PTN.	Partition
DM.	Dimension	R.	Riser
DN.	Down	RAD.	Radius
D.O.	Door Opening	R.D.	Roof Drain
DR.	Door	REF.	Reference
DWR.	Drawer	REFR.	Refrigerator
DS.	Down Spout	RGTR.	Register
D.S.P.	Dry Standpipe	REINF.	Reinforced
DSPL.	Display	REQD.	Required
DWG.	Drawing	RESIL.	Resilient
E	East	RM.	Room
EA.	Each	R.O.	Rough Opening
E.J.	Expansion Joint	S.	South
EL.	Elevation	S.C.	Solid Core
ELEC.	Electrical	SCHD.	Schedule
ELEV.	Elevator	SECT.	Section
EMER.	Emergency	SHR.	Shower
ENCL.	Enclosure	SHT.	Sheet
E.P.	Electrical Panel Board	SIM.	Similar
EQ.	Equal	SPEC.	Specifications
EQPT.	Equipment	SQ.	Square
EXIST.	Existing	ST.	Stainless Steel
EXP.	Expansion	STD.	Standard
EXT.	Exterior	STL.	Steel
F.A.	Fire Alarm	STOR.	Storage
FBN.	Foundation	STRUCT.	Structural
F.E.C.	Fire Extinguisher Cabinet	SUSP.	Suspended
F.H.C.	Fire Hose Cabinet	SYM.	Symmetrical
FIN.	Finish	T.B.	Towel Bar
FL.	Floor	T.C.	Top of Curb
FLASH.	Flashing	TEL.	Telephone
FLUOR.	Fluorescent	T&G.	Tongue and Groove
F.O.C.	Face of Concrete	THK.	Thick
F.O.F.	Face of Finish	T.O.	Top of
F.O.F.F.	Face of Existing Finish	T.O.P.	Top of Pavement
F.O.S.	Face of Studs	TRD.	Tread
FPRF.	Fireproof	T.V.	Television
FT.	Foot or Feet	T.W.	Top of Wall
FTG.	Footing	TYP.	Typical
FURR.	Furring	UNF.	Unfinished
GA.	Gauge	U.O.N.	Unless Otherwise Noted
GALV.	Galvanized	VERT.	Vertical
GLZ.	Glass/Glazing	S.O.G.	Slab on Grade
GWB.	Gypsum Wall Board	W.	West
GR.	Grade	WI.	With
GYP.	Gypsum	W.C.	Water Closet
H.B.	Hose Bib	WD.	Wood
H.C.	Hollow Core	W/O	Without
HDWD.	Hardwood	WP.	Waterproof
HDWE.	Hardware	WSCT.	Wainscot
		WT.	Weight

PLUMBING CALCULATIONS

PER CPC TABLE 422.1:

DESCRIPTION:	AREA:	OCC. TYPE:	LOAD FACTOR (PER CPC TABLE A):	OCCUPANCY LOAD:	W.C. REQUIRED:	URINALS REQUIRED:	LAVATORIES REQUIRED:	DRINKING FOUNTAINS REQUIRED:	SERVICE SINK REQUIRED:
RETAIL	8,752 SF	M	200	44 (22 M, 22 F)	1"	0"	1"	1	1"

*NOTE: PER CPC 422.2, EXCEPTION 3A: IN MERCANTILE OCCUPANCIES WITH A TOTAL LOAD OF 50 OR LESS, ONE TOILET FACILITY SHALL BE PERMITTED FOR USE BY BOTH SEXES.

PARKING

	EXISTING:	PROPOSED:
FLOOR AREA	8,752 2F	NO CHANGE
REQ'D PARKING SPACES:*	35	NO CHANGE
ON-SITE PARKING SPACES	1	NO CHANGE
OFF-SITE PARKING SPACES	34	NO CHANGE

*NOTE: PER PAMC, 1 SPOT PER EACH 250 GROSS SF IS REQUIRED AT CD-C

OCCUPANT LOAD

LEVEL:	AREA:	OCC. TYPE:	LOAD FACTOR:	OCCUPANT LOAD:
GROUND	5,100 SF	M	60	85
MEZZANINE	3,600 SF	M	60	60
		TOTAL:		145

MEANS OF EGRESS

LEVEL:	OCCUPANCY:	COMMON PATH OF TRAVEL (PER CBC TABLE 1006.2.1):
GROUND	M	75"
MEZZANINE	M	75"

*PER CBC 1007.1.1, WHERE TWO EXITS ARE REQUIRED, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN THEM.

SYMBOLS

SECTIONS		DWG NUMBER SHEET NUMBER
ELEVATIONS		SHEET NUMBER DWG NUMBER
DOOR REFERENCE		
WINDOW REFERENCE		
PARTITION TYPE		
HEIGHT REFERENCE		LEVEL 0' - 0"

DESCRIPTION OF WORK

REMOVAL OF EXISTING ONE-STORY ADDITION AT REAR OF BUILDING.
INSTALLATION OF FENCE AND SHADE STRUCTURE.
REPLACEMENT OF EXISTING ELEVATOR WITH NEW
INSTALLATION OF NEW INTERIOR STAIR, MODIFICATIONS TO INTERIOR MEZZANINE
AND PARTITIONS.
NEW FRONT DOOR.
RELOCATION OF ELECTRIC AND GAS SERVICE. UPGRADING OF EXISTING HVAC
EQUIPMENT. INSTALLATION OF FIRE SPRINKLERS, NEW LIGHTING.
NEW ADA RESTROOM.
NEW SIGN.

PROJECT INFORMATION

PROJECT DATA	EXISTING	PROPOSED
ADDRESS:	526-534 WAVERLEY ST., PALO ALTO CA 94301	NO CHANGE
LEGAL DESCRIPTION:	APN: 120-15-083 ZONE: CD-C (GF)(P)	NO CHANGE NO CHANGE
CONSTRUCTION TYPE:	V-B, NON-SPRINKLERED	NO CHANGE
SETBACKS		
FRONT YARD	NONE	NO CHANGE
REAR YARD	NONE	NO CHANGE
SIDE YARDS	NONE	NO CHANGE
STORIES:	2	NO CHANGE
HISTORIC STATUS:	CATEGORY 2	NO CHANGE
OCCUPANCY:	M	NO CHANGE
LOT AREA	6,150 SF	NO CHANGE
MAX. SITE COVERAGE	NONE REQUIRED	NO CHANGE
ALLOWABLE FAR	1.0:1"	NO CHANGE
MAX. HEIGHT ALLOWED	50'	NO CHANGE
BUILDING HEIGHT	26' 3" MAX.	NO CHANGE
FLOOR AREA		
GROUND FLOOR:	5,771 SF	5,112 SF
2ND FLOOR:	2,981 SF	3,640 SF
TOTAL:	8,752 SF	8,752 SF =NO CHANGE

*NOTE: PER PAMC 18.18.120, LEGAL NONCOMPLYING (GRANDFATHERED) USE MAY REMAIN

APPLICABLE CODES

- 2021 PALO ALTO MUNICIPAL CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 GREEN BUILDING CODE

SHEET INDEX

A000	PROJECT INFORMATION
A004	ACCESSIBILITY DIAGRAMS
A005	AREA TAKE OFF AND EGRESS DIAGRAMS
A010	NEIGHBORHOOD CONTEXT
A040	EXISTING EXTERIOR ELEVATIONS
A090	SITE PLAN
A100	REFERENCE FLOOR PLANS
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A104	ROOF PLAN
A130	PATIO PLANS
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS @ PATIO
A300	BUILDING SECTIONS
A310	WALL SECTIONS
A600	DOOR SCHEDULES
A601	SCHEDULES
A800	EXTERIOR SIGNAGE
T-1	TREE PROTECTION
T-2	TREE PROTECTION

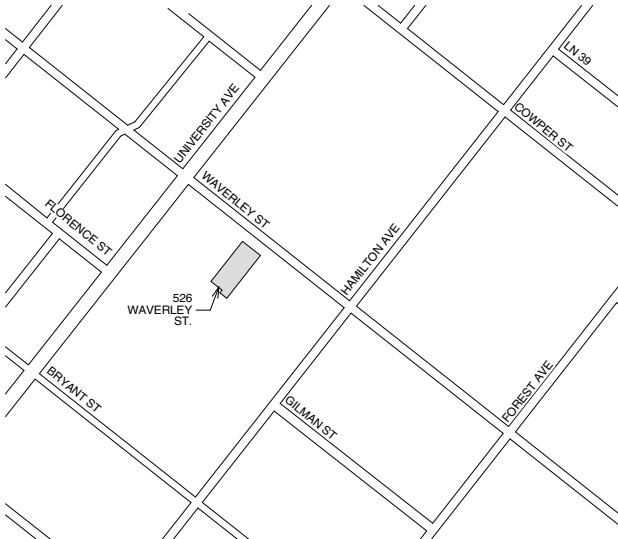
CITY STAMPS

DIRECTORY

Building Owner:
Thoits Brothers
629 Emerson St.
Palo Alto, CA 94301
Contact: John Shenk
e-mail: John@thoitsbros.com
tel: 650.323.4868

Tenant:
Blu Dot, Design & Manufacturing
1321 Tyler St. NE
Minneapolis, MN 55413
Contact: Maurice Blanks
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Architect:
Standard LLP
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Los Angeles, CA 90029
tel: 323.662.1000
e-mail: info@standardarchitecture.com



VICINITY MAP 1

SCALE: 1" = 200'-0"

STANDARD
ARCHITECTURE & DESIGN

ARCHITECT:
STANDARD® LLP
4411 SANTA MONICA BLVD
LOS ANGELES, CA 90029
INFO@STANDARDARCHITECTURE.COM
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PROJECT:
BLU DOT PALO ALTO
526 WAVERLEY STREET
PALO ALTO, CA 94301

PROJECT INFORMATION

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A000

GENERAL NOTES

DIVISION 1: GENERAL REQUIREMENTS

- These specifications are for the building located at 526 Waverley St., Palo Alto CA 94301
- The term "Contractor" as used herein and on the drawings shall also be applicable to each subcontractor as requirements pertain to his/her trade. "Architect" refers to the Architect of record or his/her agent.
- All applicable provisions of the current edition of the California Building Code, Palo Alto Municipal Code, Fire Department Rules and Regulations, and utility company requirements shall be adhered to in the construction of this project. It is the Contractor's responsibility to construct the project as per these codes.
- Contractor shall comply with current editions of all applicable codes and ordinances. Contractor shall pay all fees, miscellaneous costs, and obtain and pay for all permits necessary to complete all work, with the exception of the Building Permit which the Owner shall pay for prior to the start of work. Before final acceptance of any part of the work, the Contractor shall furnish the Architect with appropriate "Certificates of Inspection" stating that work has been inspected and approved by the Building Department.
- Contractor shall be responsible for conformance with inspection requirements for the City of Palo Alto. Where the plans call for on site inspections by professional engineers, the Contractor shall be responsible for retaining the engineers and securing their respective written approvals for work in progress.
- The Contractor shall carry in force all needed insurance, licenses, fees, permits, taxes as required by law for the duration of the project.
- The Contractor shall maintain liability insurance to protect his/herself and hold the Owner and the Architect harmless from any and all claims for damages, for personal bodily injury or death, or property damage, during the course of the contract. (Fire insurance shall be maintained by Owner.)
- Contractor shall provide sufficient means for protecting existing exposed interior finishes, new construction and materials from damage by other trades, weather, or vandals for the course of the project. Contractor shall provide all barricades, fences, and other items required by local ordinances and codes.
- All plumbing fixtures, finishes, hardware and miscellaneous items shall be selected and/or approved by the Owner and Architect unless noted on plans or specifications. "Or approved equal" means equal approved by Architect.
- Field samples and mock-ups shall be prepared at the site by the Contractor as specified in the various sections of the specification. Affected finish work shall not be started until the Architect has accepted as satisfactory the field samples and/or mock-up in writing. Construct and prepare field samples and mock-ups at locations as directed by the Architect. Field samples and mock-ups shall be removed from the site after completion and acceptance of the affected work or otherwise, as directed by the Architect.
- If the Contractor desires to use any other brand or manufacturer of equal quality, appearance and utility to the product specified, he/she shall request substitution to the Architect with specifications and/or samples. The Architect will accept as satisfactory or reject the request for substitution, and his/her decision shall be final. Unless substitutions are requested as provided herein, deviations from the drawings and specifications will not be permitted.
- The Owner and immediate neighbors, or neighbors to be affected, should be made aware 24 hours in advance of construction activities that are potentially disruptive. Use of neighbor's property is expressly forbidden. Contractor will be responsible for any and all damage to such property in the event that damage is done.
- The Owner may order extra work or make changes by altering, adding to, or deducting from the work. The contract sum shall be adjusted accordingly. Changes or alterations, etc. shall be approved by the Architect prior to the start of the affected work.
- The intent of these documents (specifications, drawings and schedules) is to describe the Work. The Work includes all labor, materials, services, equipment, and transportation necessary for complete and proper execution of the work indicated on the drawings or reasonably inferred therefrom. Where drawings are in conflict, Contractor is to advise architect immediately.
- Incidental items, not indicated on the drawings or mentioned in the specifications that can be legitimately and reasonably inferred, belong to the work described, or are necessary in good practice to provide a complete installation or system shall be provided and be installed as though called out herein in every detail.
- The Architect will in no way be responsible for means and methods, safety in, on or about the job site, nor means, methods, or timeliness in the performance of the work.
- Shop and field work shall be performed by mechanics, craftsmen, and workers skilled and experienced in the fabrication and installation of the work involved. All work on this project shall be performed in accordance with the best accepted practices of the various trades involved and in accordance with the drawings, reviewed shop drawings, and these specifications.
- The Architect reserves the right to reject any materials and work quality which are not considered to be up to the highest standards of the various trades involved. Such inferior material or work quality shall be repaired or replaced, as directed, at no additional cost to the Owner.
- These construction documents are based on observation and documentation of existing conditions by the Architect and from documents provided by the Owner. The Architect makes no claim to the accuracy of such observation. Should the Contractor encounter field conditions which vary from these construction documents which affect the intent of these drawings or the contract/subcontract sum, the Architect shall be notified immediately. **The Contractor shall verify dimensions against field conditions.** All trades shall verify at the project site, conditions and measurements related to their work.
- Contractor shall not scale the drawings. Dimensions on floor plan are shown to face of framing unless noted otherwise. Finish alignments are critical. Written notes take precedence over line drawings.
- Contractor shall notify the Architect immediately for directions in the event that any unusual conditions not covered by these notes and documents are encountered during construction.
- The Contractor shall be responsible for the accuracy of the building lines and levels. The Contractor shall compare carefully the lines and levels shown on the drawings with existing levels for the location and construction of the work and shall call the Architect's attention to any discrepancies before proceeding with the work.
- Contractor shall ensure that cutting, filing, patching, etc. by all trades causes all parts to come together properly. The connection of adjoining materials shall be executed according to instruction by Architect only.
- Trades shall furnish all labor, equipment, materials and services required to perform all work necessary, indicated, reasonably inferred, or required by any code with jurisdiction to complete their scope of work for a complete and properly finished job using only new materials unless noted otherwise in accordance with the best accepted standards of workmanship. All items that are to be furnished by Owner are to be installed by Contractor.
- The Contractor shall have a superintendent at the construction site whenever any work under this Contract is being performed in order to provide constant supervision.**
- Contractor shall maintain the job site in a neat and safe condition in accordance with Title 8 of Construction Safety Orders as enforced by the Division of Industrial Safety at all times throughout the construction period. The Contractor shall, on a weekly basis, clean up, remove and dispose in a legal manner all debris and waste attributed to the job.
- Consultant work that is not a part of the contract documents executed by this agreement has not been coordinated by the Architect. Contractor shall notify the Architect of any discrepancies that prevent execution of the work covered by these documents.
- Contractor shall coordinate with other contractors directly and separately employed by Owner for timely storage and installation of their product. Only new materials shall be used unless noted otherwise on drawings. Materials and products shall be delivered to the building site in original packages. Materials and products shall be stored above ground on wood blocking in an upright position protected from the elements in a manner to prevent damage or marning of finish.
- Contractor shall check and verify size and location of openings for vents, ducts, plumbing runs, electrical fixtures, etc. with mechanical, electrical and mechanical contractors and shall make all changes and adjustments to the drawings and specifications therewith as approved by the Architect before framing walls and ceilings. Duct openings in fire rated walls shall have fire dampers. Seal between ducts and partitions where required.
- Contractor shall provide and locate access panels as required after installation of mechanical ducts, plumbing and electrical work. The Architect shall approve location.
- All shoring and bracing necessary for construction purposes shall be the sole responsibility of the Contractor.
- Contractor shall provide all necessary blocking, stiffeners, bracing, framing, hangers, or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same.
- At the time of bid submittal, the Contractor shall advise the Architect (in writing) of any specified materials or equipment which are either unavailable or will cause a delay in the construction completion schedule.
- Immediately upon being awarded the contract, the Contractor shall prepare and submit to the Architect an Owner a construction progress schedule. The construction schedule shall be continuously updated and posted on the job site at all times.
- The Contractor shall identify critical due dates for:
 - Owner selections to be purchased and installed by the Contractor.
 - Contractor receipt of Owner purchased items to be installed by the Contractor.
- Contractor shall submit required shop drawings, calculations of fabricated products, all finish materials and copies of manufacturer's catalog sheets, brochures, color samples, installation instructions, etc. on manufactured products used/or installed in the project to the Architect before purchase or delivery to the site. All shop drawings shall be approved by the Architect. The Architect's approval of such drawings shall not relieve the Contractor of responsibility for errors of any sort pertaining to the shop drawings.
- Approval of the work in part or as a whole by the Architect shall not relieve the Contractor of responsibility for faulty materials or workmanship. Such approvals may be withdrawn at any time that subsequent examination reveals apparently satisfactory work that is, in fact, defective or otherwise fails to conform to all requirements of the contract documents. Such work from which approval has been withdrawn shall be replaced or re-executed in accordance with the contract at no expense to the Owner.
- The Contractor shall be responsible for replacement or repair of any damage caused by him or his subcontractors. The Contractor shall be responsible for any damage to underground utilities encountered in areas where excavations are indicated and shall repair any such damage at his own expense. Where utility lines must be maintained under building, they shall be properly sleeved through foundation walls.
- Contractor shall guarantee all workmanship and materials for one year except where indicated in various specification sections for a longer period. The guarantee period is based on the date of completion of the work, as called out herein. After acceptance of the building, if during the guarantee period any defects or faulty materials are found, Contractor shall replace and repair them, together with any damage to finish, fixtures, equipment or furnishings due to defective work, upon notification by the Architect, and at no additional expense to the Owner. The roofing subcontractor shall submit a maintenance agreement, cosigned by the Contractor, to maintain the roofing in a watertight condition for a period of one year.

- Contractor shall provide Owner with the original Owner's Manuals and Instructions for all appliances, special equipment, lighting fixtures, electrical fixtures, mechanical equipment, etc. installed in the building compiled in a binder for the Owner's future reference.
- Contractor shall provide Owner with a recommended maintenance schedule for finishes and components of the building that should be attended to regularly, such as painting of wood and metal, cleaning and sealing stone finishes, etc.
- Any existing equipment or building components to be abandoned must be completely removed and disposed of properly. All utilities must be removed to their point of origin.
- Any repairs to roofing systems or other parts of the center must be completed to Owner's specification.
- Reuse of any existing construction, finishes, equipment, or electrical, plumbing, and HVAC systems is conditional upon the new use being appropriate for existing items and tenant completing any necessary repair or refurbishing required to bring items to a "like new" condition.
- All changes to the work shall first require the written approval of the architect prior to commencing work.
- Installation shall follow manufacturers' recommendations and published specifications and/or trad standards in addition to meeting the standards set forth in the Construction Documents.

MISCELLANEOUS

- Power / Water: The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, meterbases, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Gas Shutoff Valve: An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping." (Per Ordinance 170,158) (Includes Commercial additions and 1" work over \$10,000.) Separate plumbing permit is required.
- Water Heater: All water heaters shall be anchored or strapped to prevent horizontal and vertical displacement due to earthquake. Water heater must be strapped to wall. (UPC 507.3)
- Guardrails:
 - Guardrails are required at floor and roof openings, landings, balconies, and at open sides of stairs over 30" in height. Guardrails to be 42" minimum in height. Open guardrails shall have intermediate rails or an ornamental pattern such that a 4" sphere cannot pass through.
 - Handrails and guards shall be designed to resist a concentrated load of 200 pounds in accordance with Section 4.5.1.1 of ASCE 7 (CBC 1607.8.1.1)
- Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.
- Electrical system shall be properly grounded. All new work shall be properly grounded.
- Exit doors serving an occupant load of 50 or more shall swing in the direction of travel.
- Existing access to public way maintains minimum required building exit widths.
- All exit doors shall be operable from the inside without the use of a key or special knowledge or effort.
- Hand-activated door opening hardware shall be centered between 30 and 44 inches above the floor.
- All interior finishes shall comply with Chapter 8 of the CBC and have a minimum Class C Flame Spread Rating per Table 8-B.
- No impact tools shall be used for any purpose on an unreinforced masonry building.

INTERIOR ENVIRONMENT REQUIREMENTS

- All stairways shall have an illumination level on tread runs of not less than 1 foot-candle. (CBC 1205.4)
- Provide natural ventilation in habitable rooms and bathrooms by means of operable exterior openings with an area not less than 4% of floor area.
- Bathroom ventilation and humidity control:
 - Each bathroom containing a bathtub, shower or tub/shower combination shall be mechanically ventilated for purposes of humidity control in accordance with the California Mechanical Code, Chapter 4; and the California Green Building Standards Code, Chapter 4.5. Window operation is not a permissible method of providing bathroom exhaust for humidity control.
 - All exhaust fans shall comply with CMC 403.7 and CBC 1202. Newly installed bathroom exhaust fans shall be energy star compliant and be ducted to terminate to the outside of the building (CGC 4.506.1)
 - Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control capable of adjustment. The humidity control is not required to be integral to the exhaust fan. (CGC 4.506.1)
- Where openings below grade provide required natural ventilation, the outside horizontal clear space measured perpendicular to the opening shall be one and one-half times the depth of the opening. The depth of the opening shall be measured from the average adjoining ground level to the bottom of the opening. (CBC 1202.5.1.2)
- The size and layout of the heating and air conditioning systems shall be designed in accordance with ACCA Manual J, ACCA 29-D and ACCA 36-S, ASHRAE Handbooks.

SANITATION NOTES

- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).
 - Toilet Facilities:
 - The effective flush volume of all water closets shall not exceed 1.28 gallons (4.8 L) per flush when tested in accordance with ASME A112.19.2/CSA B45.1. (CPC 411.2)
 - No water closet or bidet shall be set closer than 15 inches from its center to a side wall or obstruction or closer than 30 inches center to center to a similar fixture. The clear space in front of a water closet, lavatory, or bidet shall be not less than 24 inches. (CPC 402.5)
 - Existing shower heads and toilets must be adapted for low water consumption.
 - Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).
- ## FIRE PROTECTION
- Smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314).
 - Building shall be equipped with an automatic residential fire sprinkler system in accordance with NFPA13D. The Sprinkler System shall be approved by Plumbing Div. prior to installation. The Sprinkler System will be provided under a separate permit.
 - Fire blocking shall be installed in the following locations:
 - At concealed wall spaces vertically at the ceiling and floor levels and horizontally at intervals not exceeding 10 ft.
 - In concealed spaces between stair stringers at the top and bottom of the run.
 - At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. (CRC R302.11)

BUILDING ENVELOPE

- Roof coverings:
 - In Very-High Fire Hazard Severity Zones, the entire roof covering of every existing structure where more than 50 percent of the total roof area is replaced within any one-year period, the entire roof covering of every new structure, and any roof covering applied in the alteration, repair or replacement of the roof of every existing structure, shall be a fire-retardant roof covering that is at least Class A.
 - In State Responsibility Areas, the entire roof covering of every existing structure where more than 50 percent of the total roof area is replaced within any one-year period, the entire roof covering of every new structure, and any roof covering applied in the alteration, repair or replacement of the roof of every existing structure, shall be a fire-retardant roof covering that is at least Class B.
 - In all other areas, the entire roof covering of every existing structure where more than 50 percent of the total roof area is replaced within any one-year period, the entire roof covering of every new structure, and any roof covering applied in the alteration, repair or replacement of the roof of every existing structure, shall be a fire-retardant roof covering that is at least Class C. (R302.1)
- Skylights: Unit Skylights shall be tested and labeled as complying with AAMA/WDMA CSA1011/S.2/A440. Such label shall state the approved labeling agency name, product designation, and performance grade rating. (CBC 2405.5).

SECURITY NOTES

- All exterior openings are security openings. Exterior doors, windows and their hardware shall conform to the Security Provisions of Chapter 67 of the California Building Code.
- Wood flush-type doors shall be 1-3/4" thick minimum with a solid core of wood.
- A single-swinging door, the active leaf of a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a deadbolt and deadlocking latch. The deadbolt and latch may be activated by one lock or by individual locks. Deadbolts shall contain hardened inserts to resist cutting tools. The lock or locks shall be key-operated from the exterior side of the door and operable from the interior side by a device which does not require a key, special knowledge, or special effort to operate. (CBC 6709.2)
- A straight deadbolt shall have a minimum throw of 1" and an embedment of not less than 5/8" into the holding device receiving the projected hook-shaped or an expanding-lyp deadbolt shall have a minimum throw of 3/4". All deadbolts of locks which automatically activate two or more deadbolts shall be embedment at least 1/2" into the holding devices receiving the projected bolts. (CBC 6709.2)
- The inactive leaf of a pair of doors and the upper leaf of Dutch doors shall be equipped with a deadbolt or deadbolts. The deadbolt or bolts need not be key operated, but shall not be otherwise activated from the exterior side of the door. The deadbolt or bolts may be engaged or disengaged automatically with the deadbolt or by another device on either the active leaf or the lower leaf. Manually-operated hardened bolts at the top and bottom of the leaf which are embedment a minimum of 1/2" into the receiving device may be used when not prohibited by Division 10, Article 1, Chapter IX. (CBC 6709.3)
- Door stops of in-swinging doors shall be of one-piece construction with the jamb, or joined by rabbet to the jamb. (CBC 6709.4)
- All pin-type hinges which are accessible from inside the secured area when the door is closed shall have non-removable hinge pins. In addition they shall have 1/4" minimum diameter steel jamb studs with 1/4" minimum projection unless the hinges are shaped to prevent removal of the door if the hinge pins are removed. (CBC 6709.5)
- Cylinder guards shall be installed on all mortise or rim-type cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (CBC 6709.6)
- The strike plate for latches shall be secured to the jamb with screws. The holding device for projecting deadbolts shall be secured to the jamb and wall framing with at least two screws not less than 2-1/2" in length which penetrate the wall framing. (CBC 6709.7)
- Metal or wooden overhead and sliding doors shall be secured with a cylinder lock, padlock with a 9/32" minimum diameter hardened steel shackle and bolted, hardened steel hasps, metal side board, bolt or equivalent device unless secured by an electrical power operation. (CBC 6711)
- Operable windows shall be provided with substantial locking devices which render the building as secure.
- All glazed openings which extended lower than 18" above the adjacent floor or are within 40" of the required locking device of the door, when said door is in the closed and locked position and when said door is operable from the inside without the use of a key, it shall be fully tempered glass, or approved burglary-resistant material. (CBC 6713)

GREEN BUILDING NOTES:

- Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the CPC and in Chapter 6 of the CGBC.
- Landscape areas shall comply with the Model Water Efficient Landscape Ordinance.
- All irrigation shall be drip irrigation
- All exterior entries shall be designed to prevent water intrusion into the building; all flashings shall be integrated with the drainage plane
- Construction waste management
 - Minimum 80% of nonhazardous construction and demolition waste shall be recycled or salvaged for reuse
 - Construction waste management plan is to be submitted prior to permit issuance
 - Contractor shall utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section
 - The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 80 percent minimum requirement as approved by the enforcing agency
 - Contractor shall submit documentation to the enforcing agency which demonstrates compliance with the aforementioned construction waste management requirements. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.
- Contractor shall provide verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills.
- Testing and adjusting of systems
 - Testing and adjusting of systems shall be required for newly constructed components and systems, including landscape irrigation systems.
 - Testing and adjusting procedures shall be performed in accordance with manufacturer's specifications and applicable standards on each system.
 - In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency.
 - After completion of testing, adjusting and balancing, a final report of testing signed by the individual responsible for performing these services shall be provided to the enforcing agency.
 - The building owner or representative shall be provided with detailed a manual containing operating and maintenance instructions and copies of guarantees/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations. The manual shall include a copy of all inspection verifications and reports required by the enforcing agency.
- Pollutant Control
 - The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30 percent based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy, or if the building is occupied during alteration, at the conclusion of construction.
 - At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilating equipment, all dust and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system.
 - Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:
 - Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
 - Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

- Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.
 - Aerosol paints and coatings shall meet the PWMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.
 - All carpet and carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350). All carpet adhesive shall meet the requirements of Table 5.504.4.1 for VOC limits.
 - Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:
 - Product certifications and specifications
 - Chain of custody certifications
 - Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.)
 - Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S standards.
 - Other methods acceptable to the enforcing agency.
 - Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350). Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.
 - In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.
 - Smoking shall be prohibited within 25 feet of building entries, outdoor air intakes and operable windows and within the building.
- Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of the CGBC.
 - Indoor Air Quality
 - For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.
 - For buildings or additions equipped with demand control ventilation, CO2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120.1(c)(4).
 - All commercial and multi-family projects must submit an Indoor Air Quality Management Plan (IAQ) with building permit application in accordance with the Sheet Metal and Air Conditioning Contractors National Association (SMACNA IAQ) Guidelines for Occupied Buildings Under Construction, 2nd edition ANS/SMACNA 008-2008.
 - Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E90 and ASTM E413 or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.
 - HVAC, refrigeration, and fire suppression equipment shall not contain CFCs or Halons.

STANDARD ARCHITECTURE & DESIGN	
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PROJECT: BLU DOT PALO ALTO 526 WAVERLEY STREET PALO ALTO, CA 94301	
GENERAL NOTES	
DATE: 11/2/2021	A001
SCALE: AS NOTED	
PROJECT: 2109	

				Compliance Path Verification							
				Plan Check	Rough GB Inspection (VTR # 132)	Final Inspection (VTR # 133, Part 1 Part 1 Part 2 Part 2)					
				CORR	INITIAL	CORR	INITIAL	CORR	INITIAL		
5.1 Planning and Design				Code Section	Y	N	Reference				
Mandatory	Storm water pollution prevention for projects that disturb < 1 acre of land	PAMC 16.14.290	5.106.1	X							
Mandatory	Local storm water pollution prevention	PAMC 16.14.290	5.106.1.1	X							
Mandatory	Best management practices		5.106.1.2	X							
Mandatory	Bicycle parking for additions or change of use that results in increased parking	PAMC 18.54.060	5.106.4	X	NA						
Mandatory	Short term bicycle parking		5.106.4.1.1	X	NA						
Mandatory	Long term bicycle parking		5.106.4.1.2	X	NA						
Mandatory	Parking stall markings		5.106.5.2.1	X	NA						
Mandatory	Designated parking for clean air vehicles		5.106.5.2	X	NA						
Mandatory	Grading and paving (exception for additions and alterations not altering the drainage path)		5.106.10	X	A130						
5.3 Water Efficiency and Conservation											
Mandatory	Meters, separate submeters or metering devices shall be installed as follows:		5.303.1	X	NA						
Mandatory	Excess consumption (Submeters for additions that consume over 1,000 gal/ day)		5.303.1.2	X	NA						
Mandatory	Indoor Water Use: Water closets (shall not exceed 1.28 gallons per flush)		5.303.3.1	X	A501 Plumbing Schedule						
Mandatory	Indoor Water Use: Wall-mounted urinals (0.125gpf)		5.303.3.2.1	X	NA						
Mandatory	Indoor Water Use: Floor-mounted urinals (0.5 gpf)		5.303.3.2.2	X	NA						
Mandatory	Indoor Water Use: Single showerhead (1.8 gpm at 60 psi)		5.303.3.3.1	X	NA						
Mandatory	Indoor Water Use: Multiple showerheads serving one shower (flow rate of 1.8 gpm at 80 psi)		5.303.3.3.2	X	NA						
Mandatory	Indoor Water Use: Nonresidential lavatory faucets (0.5 gpm at 60 psi)		5.303.3.4.1	X	A501 Plumbing Schedule						
Mandatory	Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi)		5.303.3.4.2	X	A501 Plumbing Schedule						
Mandatory	Indoor Water Use: Wash fountains (1.8 gpm at 60 psi)		5.303.3.4.3	X	NA						
Mandatory	Indoor Water Use: Metering faucets (0.2 gallons/ cycle)		5.303.3.4.4	X	NA						
Mandatory	Indoor Water Use: Metering faucets for wash fountains (0.2 gallons/ cycle)		5.303.3.4.5	X	NA						
Mandatory	Commercial kitchen equipment		5.303.4	X	NA						
Mandatory	Food Waste Disposers		5.303.4.1	X	NA						
Mandatory	Indoor Water Use: Areas of additions or alteration		5.303.5	X	A501 Plumbing Schedule						
Mandatory	Indoor Water Use: Standards for plumbing fixtures and fittings (2019 Cal Plumbing Code)		5.303.6	X	A501 Green Building Notes #1						
Mandatory	Outdoor potable water use in landscape areas (MWELO)	Title 23, Chapter 2.7/ 5.304.1	X	A501 Green Building Notes #2							
Mandatory	Invasive species prohibited	PAMC 16.14.360 Section 5.304.2	X	A130							
Mandatory	Non-residential enhanced water budget	PAMC 16.14.365 Section 5.306	X	NA							
5.4 Material Conservation and Resource Efficiency											
Mandatory	Weather protection		5.407.1	X	A501 Fresh Schedule						
Mandatory	Moisture control: Sprinklers		5.407.2.1	X	A501 Green Building Notes #3						
Mandatory	Moisture control: Entries and openings		5.407.2.2	X	A501 Green Building Notes #4						
Mandatory	Moisture control: Exterior door protection		5.407.2.2.1	X	A501 Green Building Notes #4						
Mandatory	Moisture control: Flashing		5.407.2.2.2	X	A501 Green Building Notes #4						
Mandatory	Construction waste management		5.408.1	X	A501 Green Building Notes #5						
Mandatory	Construction waste management plan		5.408.1.1	X	A501 Green Building Notes #5						
Mandatory	Waste management company		5.408.1.2	X	A501 Green Building Notes #5						
Mandatory	Waste stream reduction alternative		5.408.1.3	X	A501 Green Building Notes #5						
Mandatory	Documentation: Construction waste management plan, waste management company, waste stream reduction alternative		5.408.1.4	X	A501 Green Building Notes #5						
Mandatory	Universal waste [AA]		5.408.2	X	A501 Green Building Notes #6						
Mandatory	Excavated soil and land clearing debris (100% reuse or recycle)		5.408.3	X	NA						
Mandatory	Enhanced construction waste reduction (80% diversion rate for projects ≥ \$25,000)	PAMC 16.14.370 Section A5.408	X	A501 Green Building Notes #5							
Mandatory	Recycling by occupants (with exceptions)		5.410.1	X	NA						
Mandatory	Recycling by occupants: Additions (with exceptions)		5.410.1.1	X	NA						
Mandatory	Testing and adjusting for [N] buildings < 10,000 SF or new systems that serve additions or alterations [AA]		5.410.4	X	A501 Green Building Notes #7						
Mandatory	Testing and adjusting for systems: Renewable energy, landscape irrigation, and water reuse		5.410.4.2	X	A501 Green Building Notes #7						
Mandatory	Testing and adjusting: Procedures		5.410.4.3	X	A501 Green Building Notes #7						
Mandatory	Testing and adjusting: HVAC balancing		5.410.4.3.1	X	A501 Green Building Notes #7						
Mandatory	Testing, adjusting and balancing: Reporting for HVAC balancing		5.410.4.4	X	A501 Green Building Notes #7						
Mandatory	Operation and maintenance (O&M) manual		5.410.4.5	X	A501 Green Building Notes #7						
Mandatory	Inspection and reports		5.410.4.5.1	X	A501 Green Building Notes #7						
Mandatory	Performance reviews- Water (sites > 1 acre)	PAMC 16.14.400 Section 5.410.4.8	X	NA							

					Compliance Path Verification									
					Plan Check		Rough GB Inspection VLR #10		Final Inspection					
									VLR #10		VLR #13			
					Part 1	Part 2	Part 1	Part 2	Part 1	Part 2	Part 1	Part 2		
5.5 Environmental Quality					Code Section	Y	N	Reference	CORR	INITIAL	CORR	INITIAL	CORR	INITIAL
Mandatory	Fireplaces	5.503.1	X	NA										
Mandatory	Temporary ventilation (MERV 8)	5.504.1	X	A501 Green Building Notes #8										
Mandatory	Covering of duct openings and protection of mechanical equipment during construction	5.504.3	X	A501 Green Building Notes #8										
Mandatory	Adhesives, sealants and caulks: Comply with VOC limits (Table 5.504.4.1 and 5.504.4.2 for VOC limits)	5.504.4.1	X	A501 Green Building Notes #8										
Mandatory	Paints and Coatings: Comply with VOC Limits (Table 5.504.4.3)	5.504.4.3	X	A501 Green Building Notes #8										
Mandatory	Aerosol paints and coatings	5.504.4.3.1	X	A501 Green Building Notes #8										
Mandatory	Carpet systems	5.504.4.4	X	A501 Green Building Notes #8										
Mandatory	Carpet systems: Carpet cushion	5.504.4.4.1	X	A501 Green Building Notes #8										
Mandatory	Carpet systems: Carpet adhesive (Table 5.504.4.1 for VOC limits)	5.504.4.4.2	X	A501 Green Building Notes #8										
Mandatory	Composite wood products: Formaldehyde limits (Table 5.504.4.5)	5.504.4.5	X	A501 Green Building Notes #8										
Mandatory	Composite wood products: Documentation	5.504.4.5.3	X	A501 Green Building Notes #8										
Mandatory	Resilient flooring systems	5.504.4.6	X	A501 Green Building Notes #8										
Mandatory	Resilient flooring verification of compliance	5.504.4.6.1	X	A501 Green Building Notes #8										
Mandatory	Filters: Labeling (MERV 13, with exceptions)	5.504.5.3	X	A501 Green Building Notes #8										
Mandatory	Environmental tobacco smoke (ETS) control	5.504.7	X	A501 Green Building Notes #8										
Mandatory	Indoor moisture control	5.505.1	X	A501 Green Building Notes #9										
Mandatory	Outside air delivery (For Indoor Air Quality)	5.506.1	X	A501 Green Building Notes #10										
Mandatory	Carbon dioxide (CO2) monitoring (For Indoor Air Quality)	5.506.2	X	A501 Green Building Notes #10										
Mandatory	Indoor Air Quality Management Plan	PAMC 16.14.410	X	A501 Green Building Notes #10										
Mandatory	Acoustical control (STC Values per ASTM E90 and ASTM E413)	5.507.4	X	A501 Green Building Notes #11										
Mandatory	Exterior noise transmission, prescriptive method (with exceptions)	5.507.4.1	X	A501 Green Building Notes #11										
Mandatory	Noise exposure where noise contours are not readily available	5.507.4.1.1	X	A501 Green Building Notes #11										
Mandatory	Exterior noise transmission, performance method	5.507.4.2	X	A501 Green Building Notes #11										
Mandatory	Site features	5.507.4.2.1	X	A501 Green Building Notes #11										
Mandatory	Documentation of compliance	5.507.4.2.2	X	A501 Green Building Notes #11										
Mandatory	Interior sound transmission (with note)	5.507.4.3	X	N/A										
Mandatory	Ozone depletion and greenhouse gas reductions	5.508.1	X	A501 Green Building Notes #12										
Mandatory	Chlorofluorocarbons (CFC's)	5.508.1.1	X	A501 Green Building Notes #12										
Mandatory	Halons	5.508.1.2	X	A501 Green Building Notes #12										
Mandatory	Supermarket refrigerant leak reduction	5.508.2	X	N/A										
Mandatory	Refrigerant piping	5.508.2.1	X	N/A										
Mandatory	Refrigerant piping valves	5.508.2.2	X	N/A										
Mandatory	Refrigerant piping access valves	5.508.2.2.2	X	N/A										
Mandatory	Refrigerated service case	5.508.2.3	X	N/A										
Mandatory	Refrigerant receivers	5.508.2.4	X	N/A										
Mandatory	Pressure testing	5.508.2.5	X	N/A										
Mandatory	Evacuation (after pressure testing)	5.508.2.6	X	N/A										

Legend:

Y - Yes; the measure is in the scope of work
N - No; the measure is not in the scope of work
PAMC - Palo Alto Municipal Code; locally amended
[N] - New Construction
[MF] - Multi-family dwellings
[AA] - Additions and alterations

The [Green Building Survey](#) is a required project submittal. The survey can be found at the following [link](#). The online survey shall be completed and a Green Building Survey Report will be sent in an email. Include a copy of the survey report on a separate page in this plan set. Please indicate the reference page here _____.

The ENERGY STAR Portfolio Manager profile is a required project submittal and can be created at the following [link](#). The Portfolio Manager profile shall be opened and a screenshot shall be included on a separate page in this plan set. Please indicate the reference page here _____.

For more information on energy benchmarking, please visit City of Palo Alto Utilities "Benchmarking Your Building" webpage [here](#).

CITY STAMPS ONLY



Title 24, Part 11, California Green Building Code (CALGreen)
City of Palo Alto Green Building Program and Resources
City of Palo Alto Green Building Ordinance 5510 (PAMC 16.14 Amendments)

<https://www.dgs.ca.gov/BSC/CALGreen>
<https://www.cityofpaloalto.org/Departments/Planning-Development-Services/Development-Services/Green-Building/Compliance>
https://codellibrary.amlegal.com/codes/paloalto/latest/paloalto_ca/0-0-0-47750

Application: This sheet shall be used for nonresidential projects that do not trigger Tier 1 or Tier 2 requirements and include: Tenant improvements, renovations or alterations less than 5,000 SF and/or a permit value of \$200,000 or more.

Project Address: 526 WAVERLEY ST., PALO ALTO, CA 94301

2019 CALIFORNIA GREEN BUILDING CODE- MANDATORY CHECKLIST

GB-1

MANDATORY

STANDARD
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PROJECT:
BLU DOT PALO ALTO
526 WAVERLEY STREET
PALO ALTO, CA 94301

CAL GREEN MANDATORY
MEASURES

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A002

Version 06/21



FIGURE 11B-15—MINIMUM CLEAR WIDTH FOR
SINGLE- AND DOUBLE-LANE HIGHWAYS



GENERAL REQUIREMENTS
SANITARY FACILITIES

MEN

WOMEN

UNISEX

RESTROOMS

MEN
WOMEN
COMBINED
RESTROOMS

WALL-SIGNAGE (TYP.)

DOOR MOUNTED SIGNAGE (TYP.)

NOTE: REQUIREMENTS FOR LETTERING ARE NOT
REQUIRED ON DOOR-MOUNTED SIGNAGE.

MIN. HEIGHT
LOCATED ON UPPER SIDE OF
DOOR, 12" MIN. FROM
TOP OF DOOR, CENTERING
OF SIGN FROM FLOOR

LETTERING HIGHS
1 7/8"

5 1/8"

17 1/2"

DOOR
HEIGHT
68"

DOOR
WIDTH
30"

MINIMUM OF
LETTERING
1/2" MIN TO 1" MAX

APPROPRIATE
CHARACTERS

CONSPICUOUS
DURING DARK OF NIGHT

Fig. 85

IDENTIFICATION SYMBOLS FOR SANITARY FACILITIES

NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE REQUIREMENTS FOR FRONT APPROACHES.



(c) CLEAR FLOOR SPACE (d) FORWARD APPROACH (e) PARALLEL APPROACH



* NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES



(c) PASSAGE CLEARANCE



STANDARD
ARCHITECTURE & DESIGN

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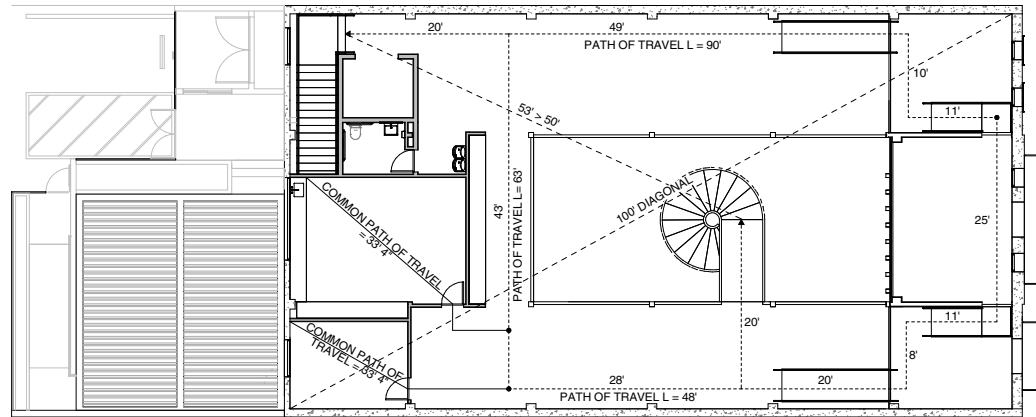
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PROJECT:
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526 WAVERLEY STREET
PALO ALTO, CA 94301

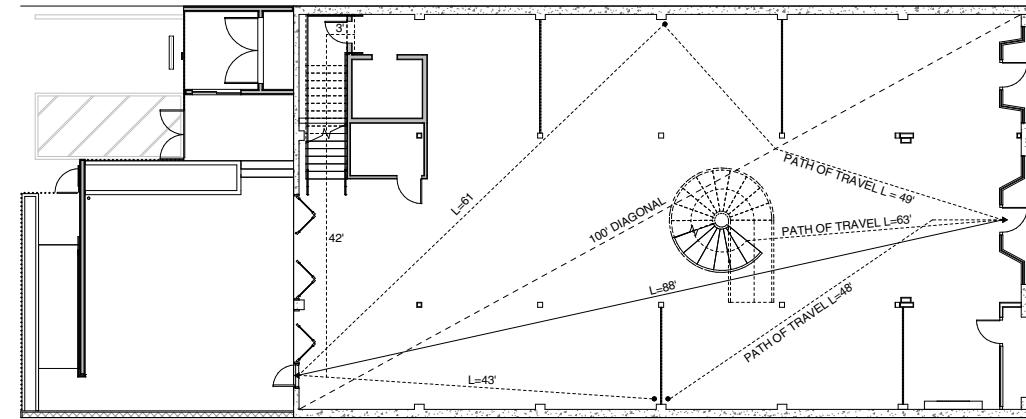
ACCESSIBILITY DIAGRAMS

DATE:	11/2/2021
SCALE:	AS NOTED
PROJECT:	2109

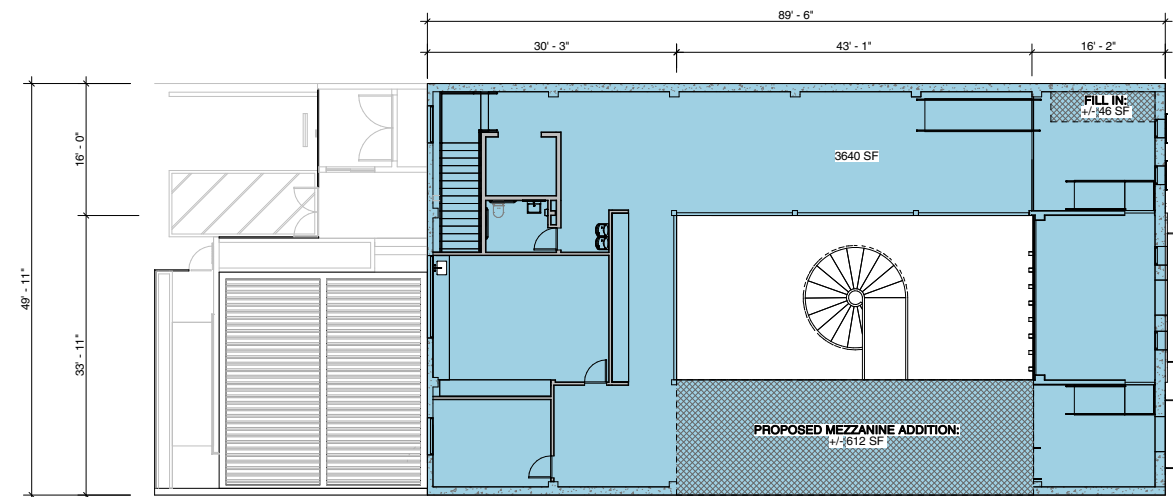
A004



(N) SECOND FLOOR EGRESS DIAGRAM ⑥
SCALE: 3/32" = 1'-0"



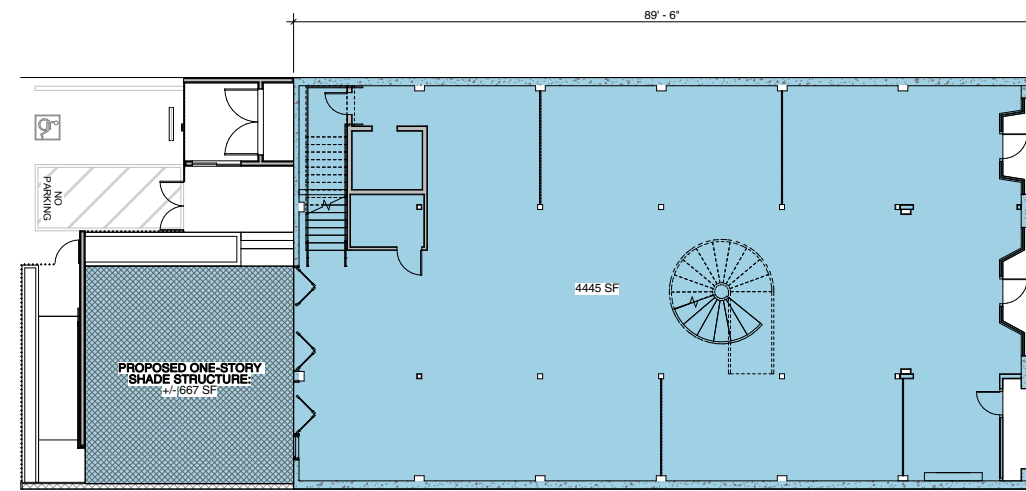
(N) FIRST FLOOR EGRESS DIAGRAM ⑤
SCALE: 3/32" = 1'-0"



NEW GROSS SQUARE FOOTAGE CALCULATIONS:

RETAIL = 4445 + 667 + 3640
TOTAL = 8,752 SF

PROPOSED SECOND FLOOR DIAGRAM ④
SCALE: 3/32" = 1'-0"

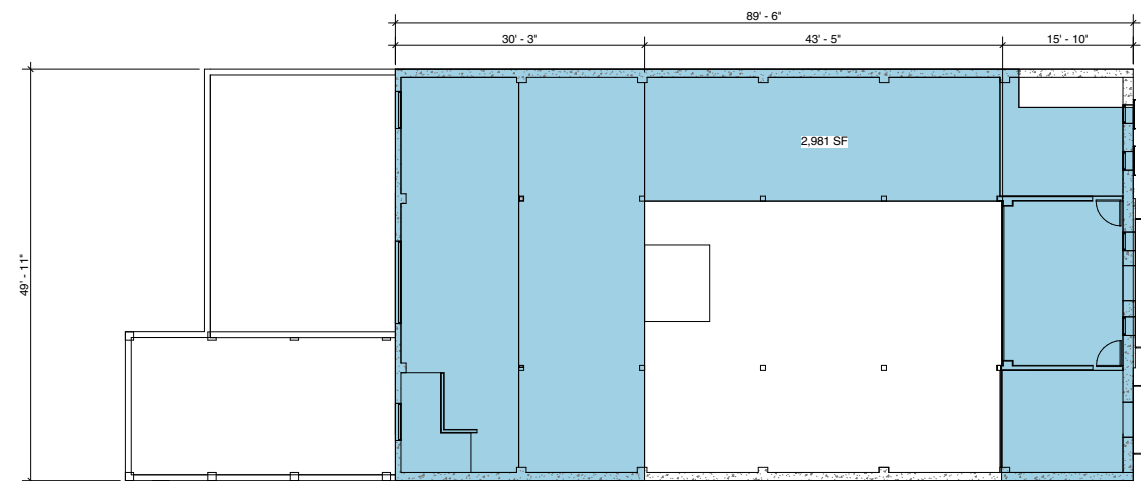


PROPOSED FIRST FLOOR PLAN DIAGRAM ③
SCALE: 3/32" = 1'-0"

LEGEND:

- RETAIL
- DEMOLISHED SCOPE
- NEW CONSTRUCTION

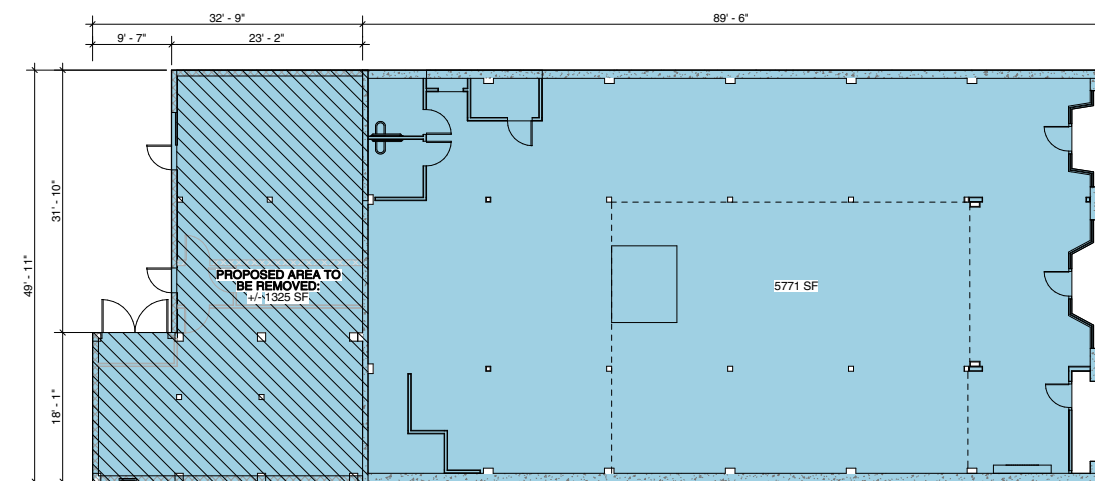
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EXISTING GROSS SQUARE FOOTAGE CALCULATIONS:

RETAIL = 5771 + 2981 SF
TOTAL = 8,752 SF

(E) SECOND FLOOR DIAGRAM ②
SCALE: 3/32" = 1'-0"



(E) FIRST FLOOR PLAN DIAGRAM ①
SCALE: 3/32" = 1'-0"

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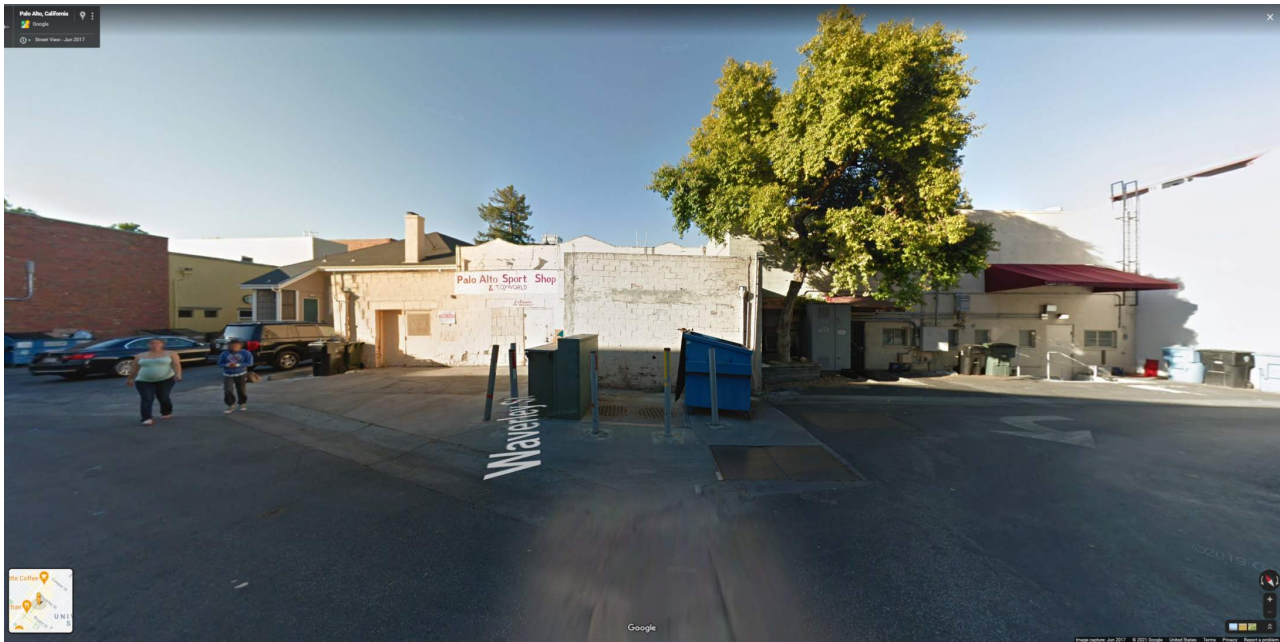
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PALO ALTO, CA 94301

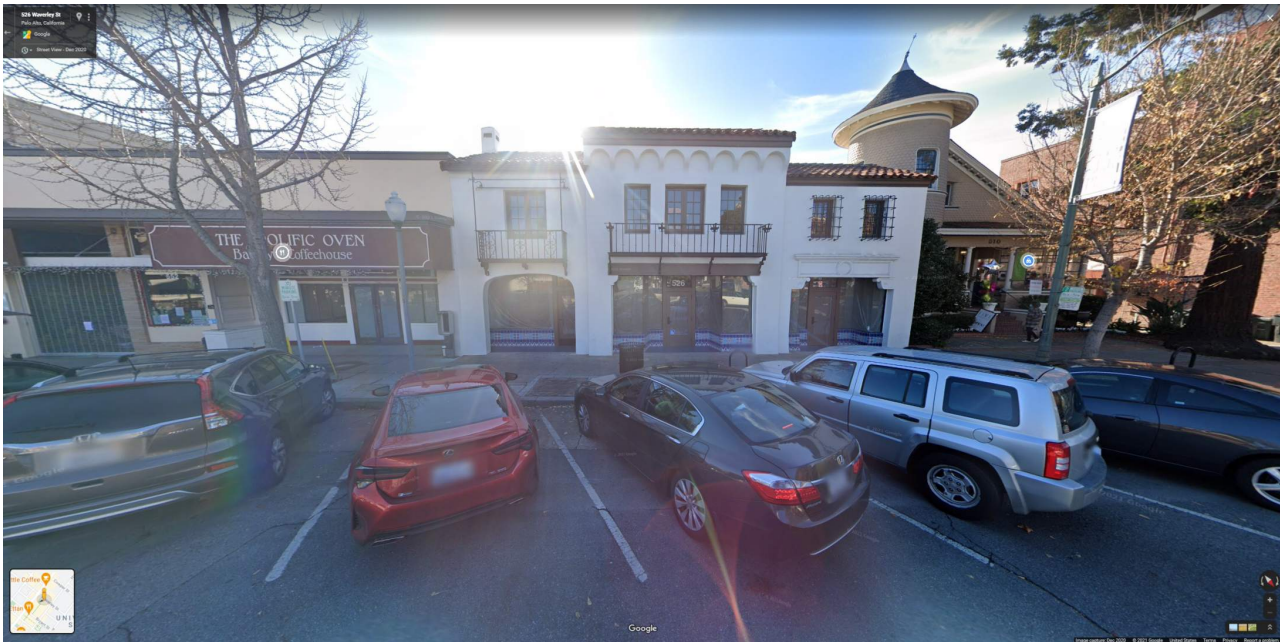
AREA TAKE OFF AND
EGRESS DIAGRAMS

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

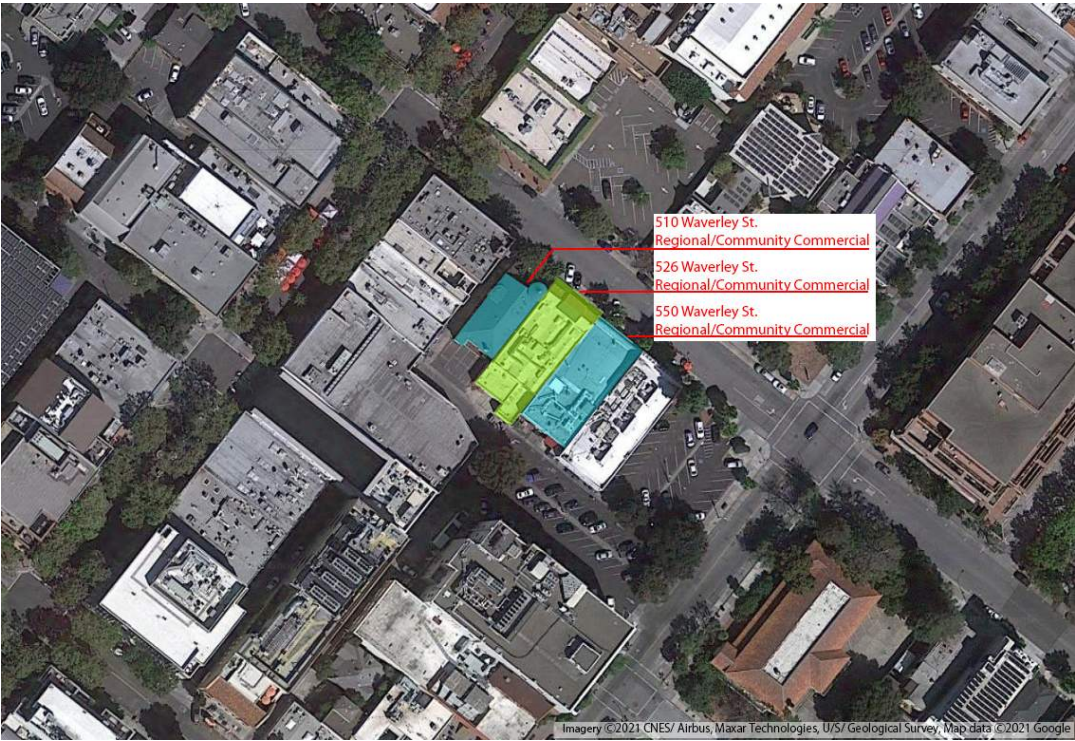
A005



VIEW FROM REAR ALLEY ③

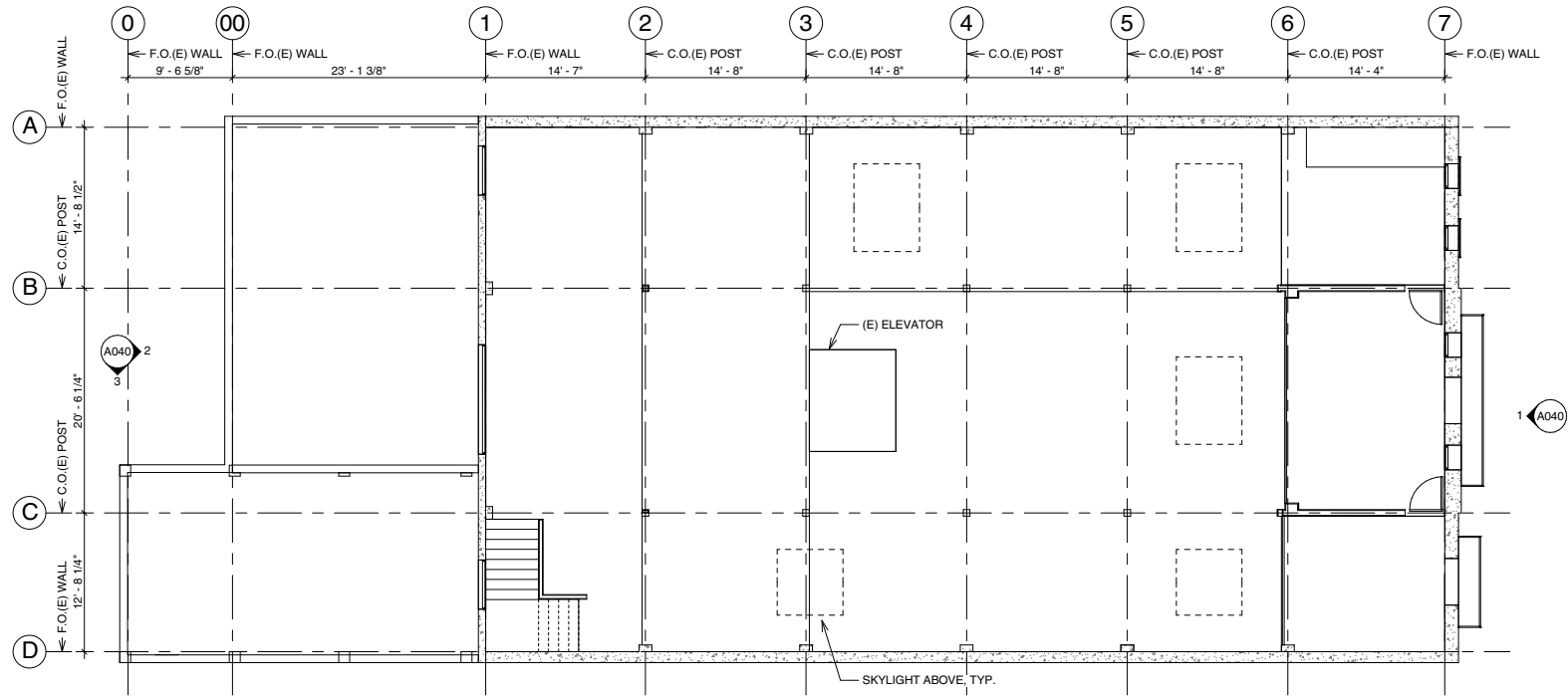


VIEW FROM WAVERLY ST ②



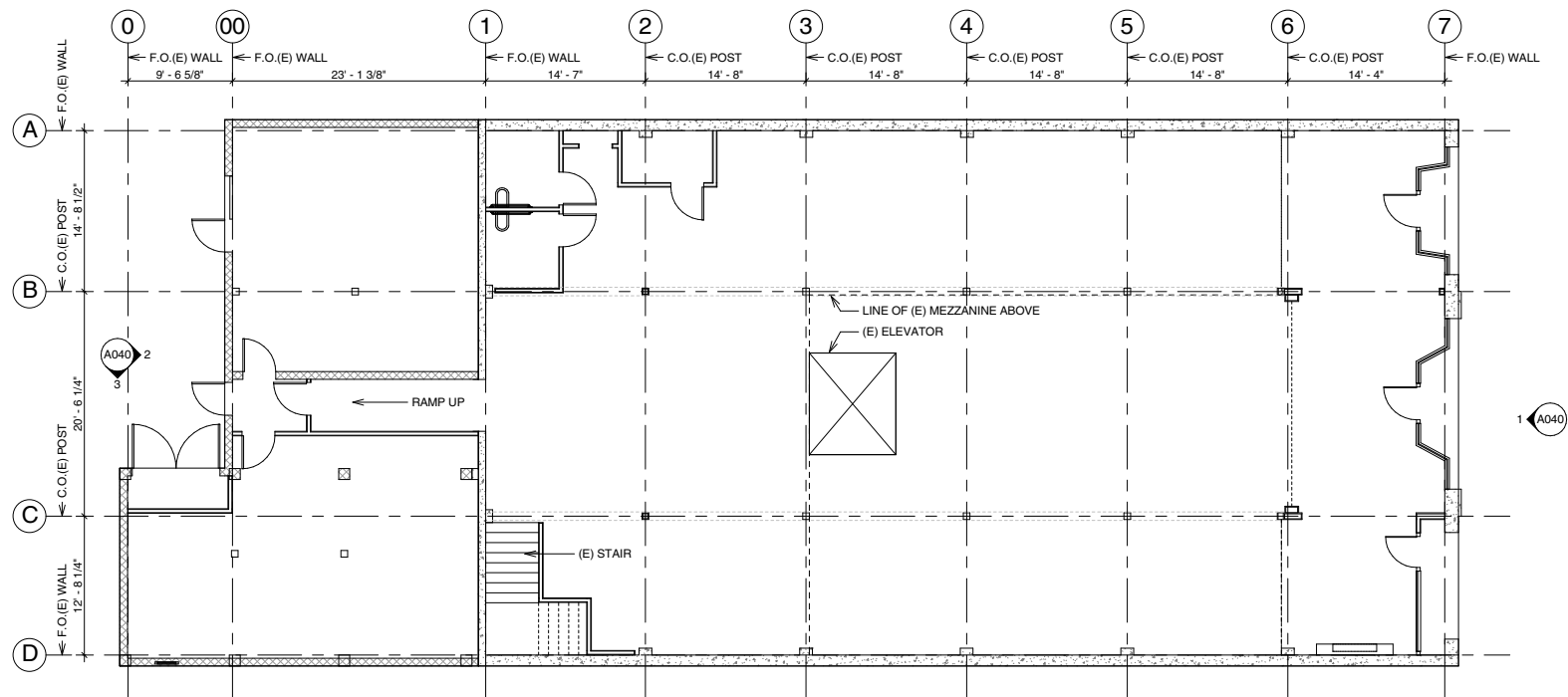
NEIGHBORHOOD AERIAL VIEW ①

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PROJECT: BLU DOT PALO ALTO 526 WAVERLEY STREET PALO ALTO, CA 94301	
NEIGHBORHOOD CONTEXT	
DATE: 11/2/2021 SCALE: AS NOTED PROJECT: 2109	A010



(E) MEZZANINE PLAN 2
SCALE: 1/8" = 1'-0"

- LEGEND:
- DOOR REFERENCE
 - WINDOW REFERENCE
 - EXISTING WALL
 - NEW WALL
 - PANELING
 - CONCRETE WALL
 - CLAY TILE WALL
 - PROPERTY LINE



(E) FLOOR PLAN 1
SCALE: 1/8" = 1'-0"

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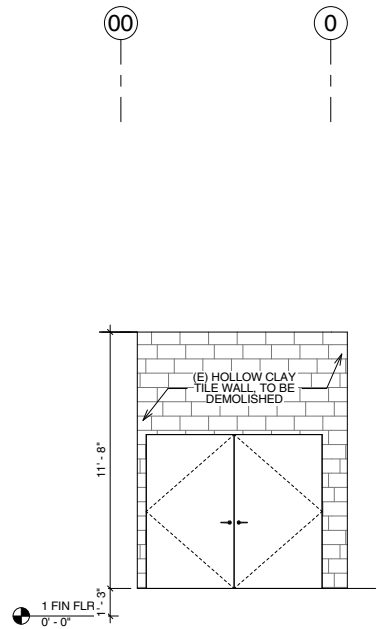
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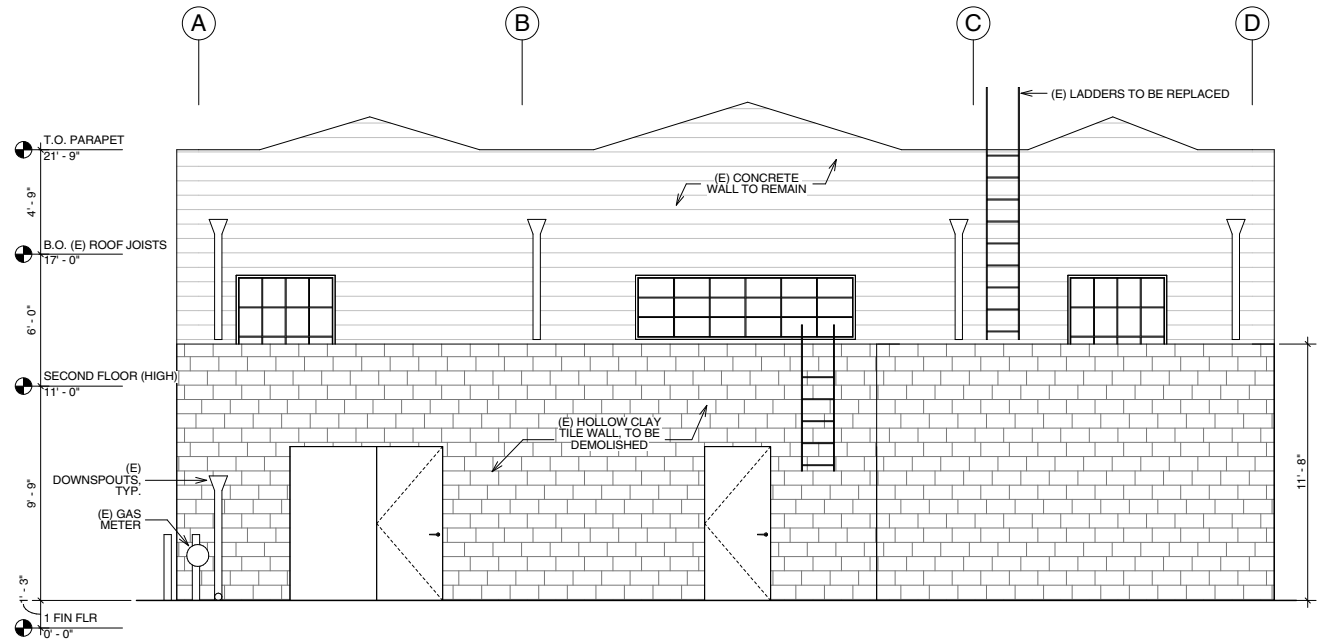
EXISTING PLANS

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A030



(E) EXT REAR ELEVATION_W ③
SCALE: 1/4" = 1'-0"



(E) EXT REAR ELEVATION_S ②
SCALE: 1/4" = 1'-0"



(E) EXT FRONT ELEVATION _ N ①
SCALE: 1/4" = 1'-0"

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EXISTING EXTERIOR
ELEVATIONS

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A040

GENERAL NOTES

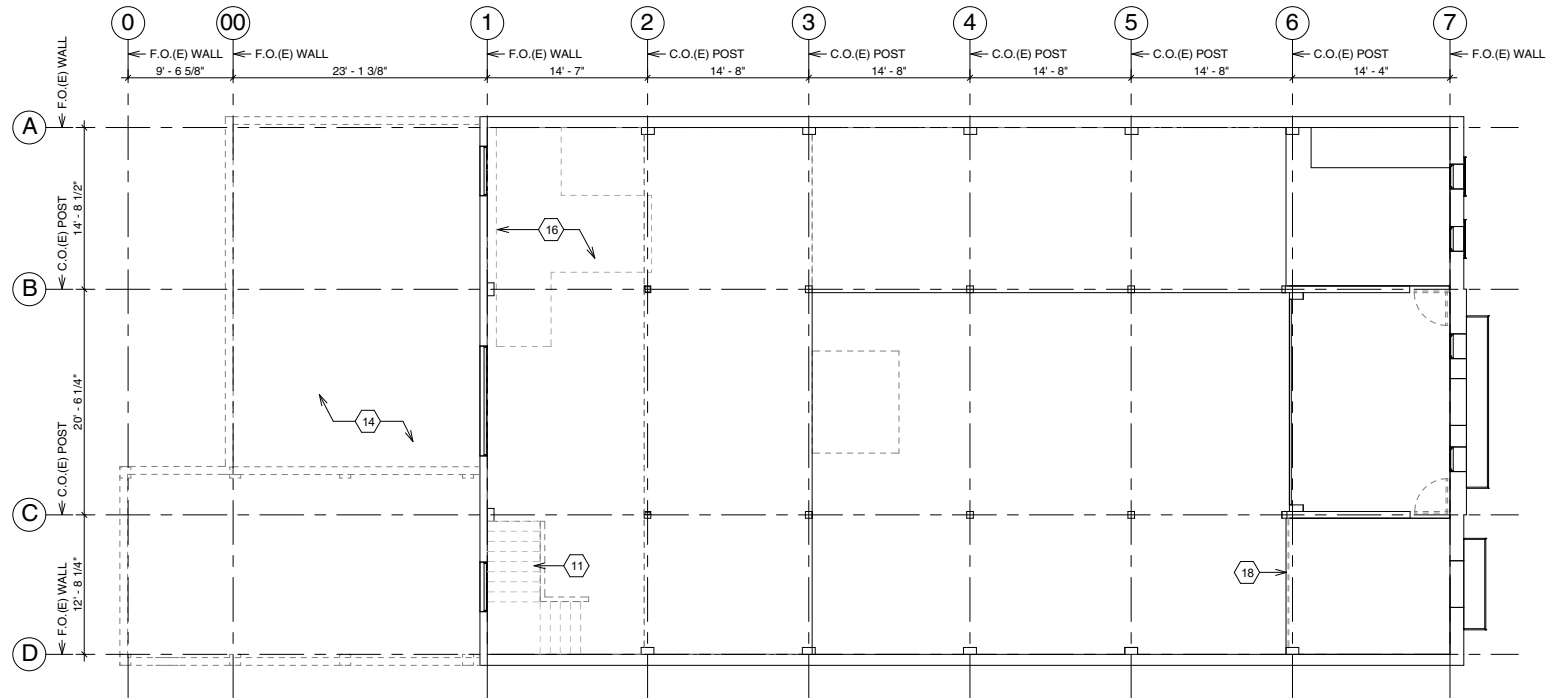
1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED FOR REFERENCE ONLY
2. G.C. RESPONSIBLE FOR VISITING THE SITE, VERIFYING EXISTING CONDITIONS AND COORDINATING EXTENT OF DEMOLITION WITH LANDLORD
3. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL REMOVAL INSTRUCTIONS
4. G.C. TO SEAL OPEN AIR PLENUMS & RETURN AIR OPENINGS PRIOR TO DEMO
5. SPRINKLER WORK BY STATEWIDE FIRE
6. G.C. RESPONSIBLE FOR PROTECTING ALL EXISTING, AND REPLACING ANY DAMAGED OR MISSING, FIREPROOFING
7. G.C. TO ENSURE INTEGRITY OF FLOOR, ANY EXISTING OR NEW HOLES ARE TO BE PATCHED TO MATCH EXISTING AND FIRESTOPPED, ANY EXISTING OR NEW PENETRATIONS ARE TO BE SEALED TO ENSURE FIRE STOP.
8. G.C. TO ENSURE INTEGRITY OF FIRE RATED DEMISING PARTITIONS, ANY EXISTING OR NEW HOLES ARE TO BE PATCHED TO MATCH EXISTING AND FIRESTOPPED, ANY EXISTING OR NEW PENETRATIONS ARE TO BE SEALED TO ENSURE FIRE STOP.
9. G.C. TO ENSURE A CLEAN, SMOOTH, AND LEVEL SUBFLOOR READY TO RECIEVE NEW FINISH FLOORING
10. G.C. TO ALERT OWNER IMMEDIATELY UPON FINDING ANY EXISTING CONDITIONS DURING DEMO THAT ARE NOT NOTED ON THE DRAWINGS THAT MAY AFFECT CONSTRUCTION AND/OR DESIGN
11. G.C. TO REMOVE DEBRIS DAILY, COORDINATE WITH LANDLORD
12. G.C. TO DO ANY JACK HAMMERING OR OTHER SIMILAR LOUD PRACTICES AFTER HOURS. COORDINATE WITH LANDLORD
13. G.C TO COORDINATE AND PAY FOR ALL UTILITY SHUTDOWNS AT PRECON.

KEY NOTES:

- 1 REMOVE INTERIOR PARTITIONS AND ALL RELATED COMPONENTS FROM SLABS TO STRUCTURE ABOVE
- 2 REMOVE ALL FLOOR FINISHES BACK TO SLAB - SURFACES SHOULD BE CLEAN AND FREE OF DEBRIS AND READY TO RECIEVE NEW FINISHES. COORDINATE WITH PLAN.
- 3 REMOVE DOOR, FRAME AND ALL RELATED HARDWARE
- 4 REMOVE/REPLACE ALL ELECTRICAL OUTLETS, SWITCHES, WIRES, CONDUIT, PANELS, TRANSFORMERS, AND ALL RELATED ACCESSORIES AS REQUIRED PER ELECTRICAL DRAWINGS
- 6 REMOVE ALL MILLWORK, CABINETS, TRIM, FIXTURES, SHELVING, AND WALL FINISHES. PATCH/REPAIR ALL EXISTING TO REMAIN PARTITIONS.
- 7 REMOVE ALL CEILING, SOFFITS, TRIM, AND RELATED FRAMING AND ACCESSORIES TO STRUCTURE ABOVE.
- 9 REMOVE ALL EXISTING PLUMBING FIXTURES. G.C. TO REROUTE PLUMBING LINES TO NEW FIXTURES PER REFERENCE PLAN DWGS.
- 10 REMOVE EXISTING ELEVATOR AND ALL RELATED COMPONENTS.
- 11 REMOVE EXISTING STAIRS AND ALL RELATED COMPONENTS
- 12 REMOVE WINDOWS, FRAMES, AND ALL RELATED HARDWARE
- 13 REMOVE SKYLIGHTS, FRAMES, AND ALL RELATED HARDWARE
- 14 REMOVE ROOF AND RELATED STRUCTURE WHERE NOTED
- 16 PROVIDE OPENING FOR (N) STAIR & ELEVATOR AS REQ'D; REF. STRUCT.
- 17 REMOVE SLAB AS REQ'D FOR (N) ELEVATOR; REF. STRUCT.
- 18 REMOVE (E) RAILING WHERE NOTED

ITEMS TO REMAIN:

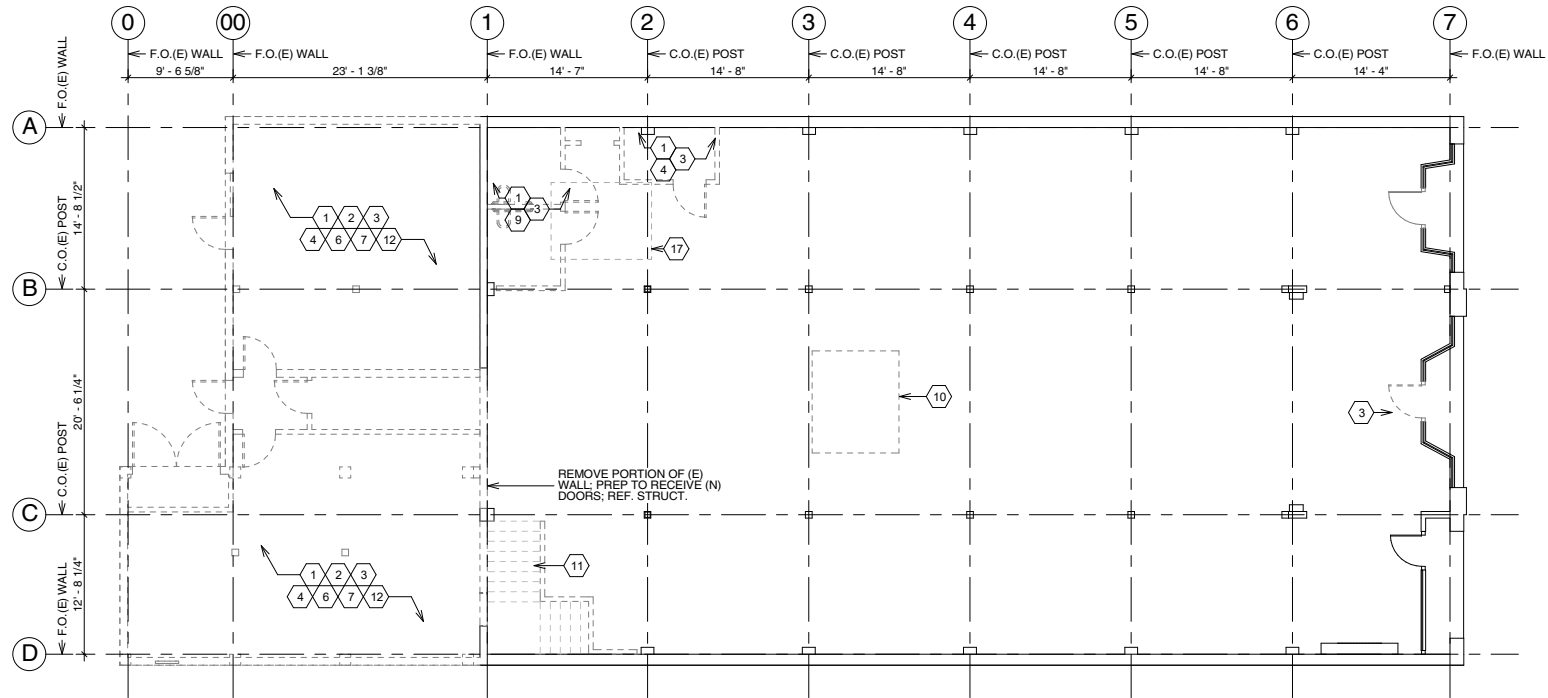
1. EXISTING BEAMS, TRUSSES, AND ROOF FRAMING TO REMAIN, EXISTING COLUMNS TO REMAIN UNLESS OTHERWISE NOTED
2. EXISTING EXTERIOR WALLS TO REMAIN, UNLESS OTHERWISE NOTED
3. MEZZANINE FLOOR TO REMAIN WHERE NOTED
4. EXISTING SKYLIGHT TO REMAIN



MEZZANINE DEMOLITION PLAN ②
SCALE: 1/8" = 1'-0"

LEGEND:

- ① DOOR REFERENCE
- ② WINDOW REFERENCE
- EXISTING WALL
- NEW WALL
- PANELING
- CONCRETE WALL
- CLAY TILE WALL
- PROPERTY LINE
- DEMO WALL/PARTITION



FIRST FLOOR DEMOLITION PLAN ①
SCALE: 1/8" = 1'-0"

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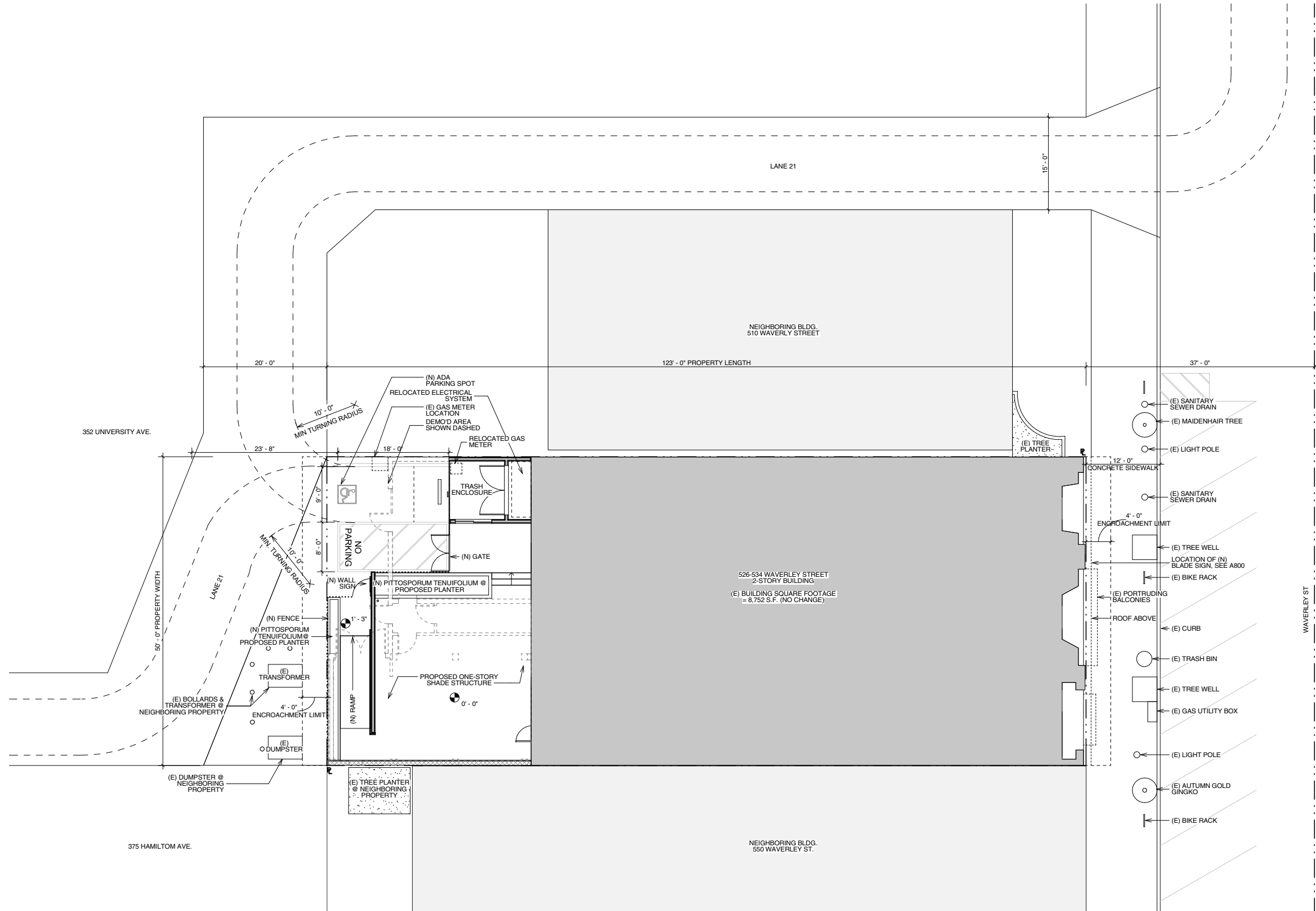
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DEMOLITION PLANS

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A050



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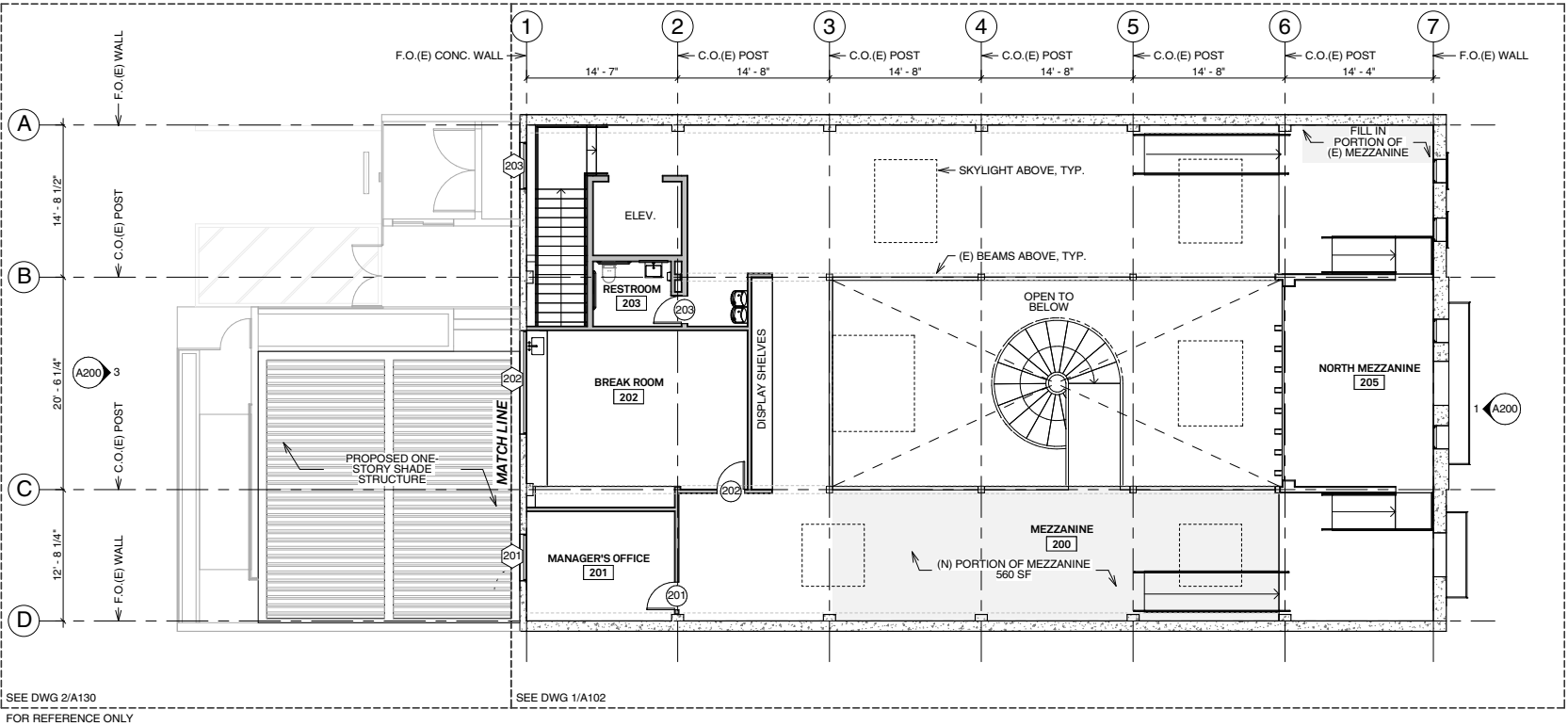
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PALO ALTO, CA 94301

SITE PLAN

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A090

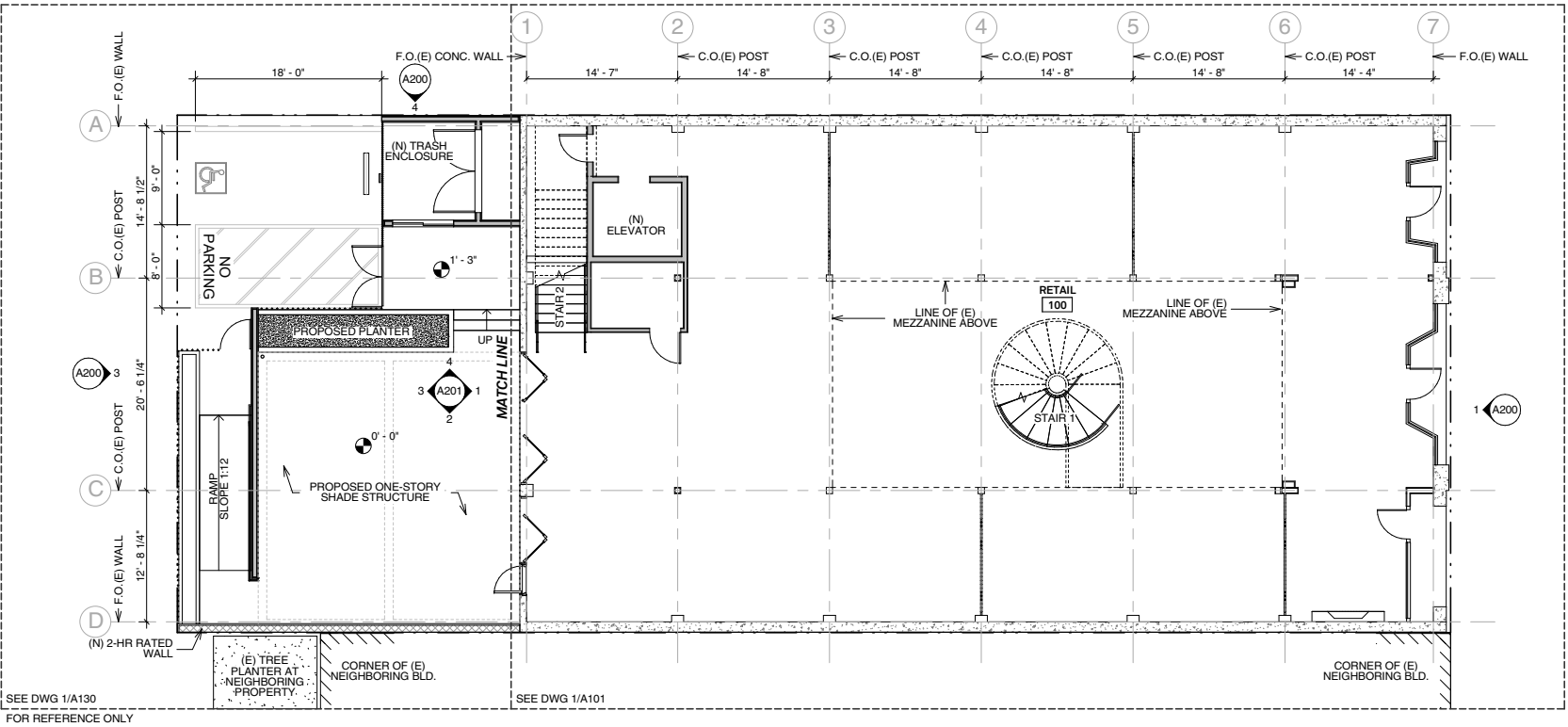
SITE PLAN 1
SCALE: 1/8" = 1'-0"



- LEGEND:
- DOOR REFERENCE
 - WINDOW REFERENCE
 - EXISTING WALL
 - NEW WALL
 - PANELING
 - CONCRETE WALL
 - CLAY TILE WALL
 - PROPERTY LINE

- PLAN NOTES:
- ALL DIMENSIONS ARE TO FACE OF STUD OR SHEATHING UNLESS OTHERWISE NOTED.
 - READ IN CONJUNCTION WITH STRUCTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH AFFECTED AREA OF THE WALL.
 - CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL AND PLUMBING SUBCONTRACTORS BEFORE FRAMING OPENINGS IN WALLS, FLOORS, CEILINGS, ROOF, ETC.
 - PROVIDE & LOCATE ACCESS DOORS AND PANELS IN WALL AND CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. CONTRACTOR SHALL COORDINATE LOCATION OF ALL CLEANOUTS WITH EQUIPMENT AND CABINETS. SUBMIT A PLAN OF CLEANOUT LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSPECTION.
 - PROVIDE AND INSTALL BLOCKING, STIFFENERS, BRACING, BACK UP PLATES, AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED EQUIPMENT OR ACCESSORIES.

PROPOSED SECOND FLOOR PLAN 2



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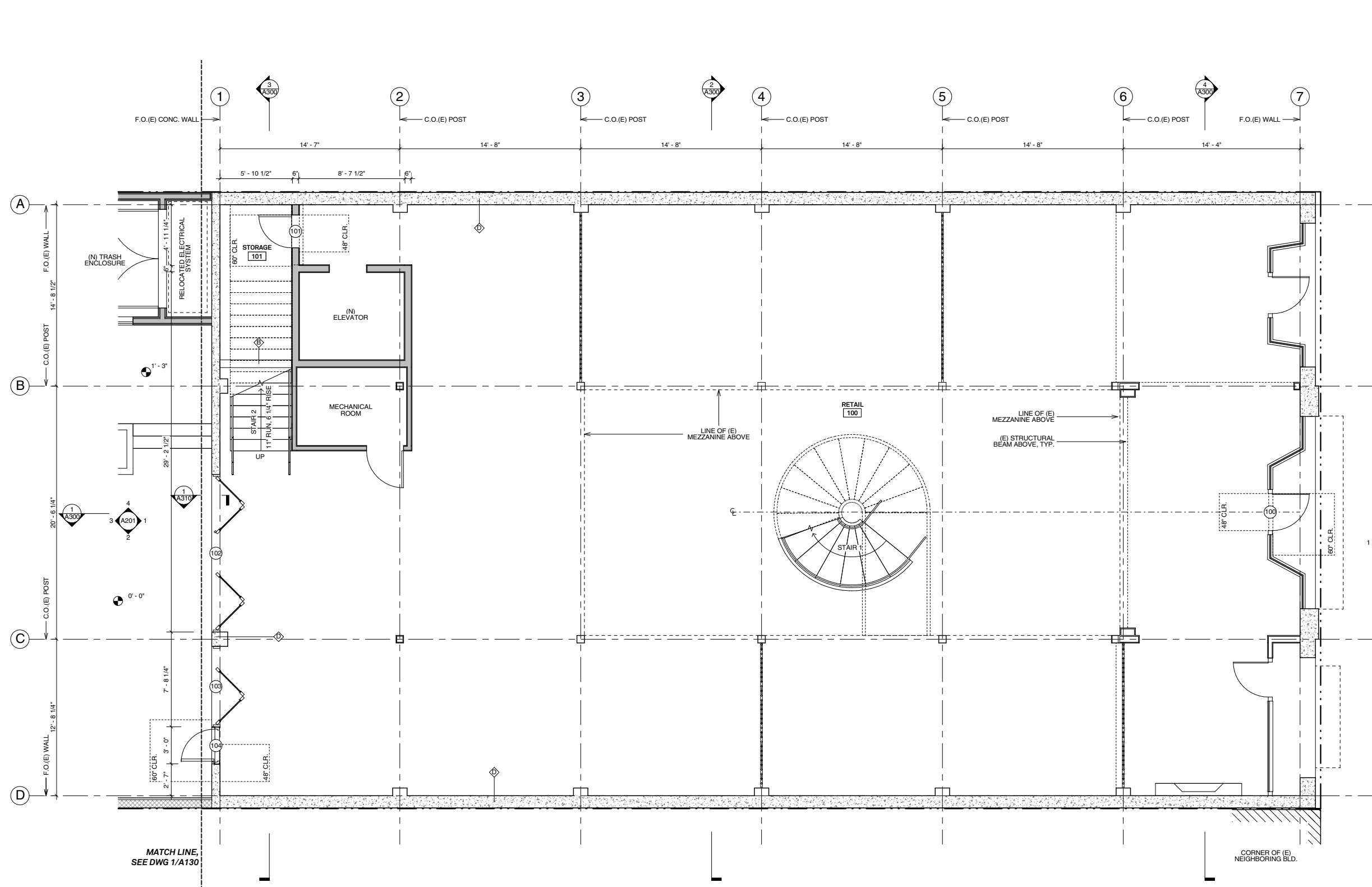
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REFERENCE FLOOR
PLANS

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A100

PROPOSED FIRST FLOOR PLAN 1



- LEGEND:
- DOOR REFERENCE
 - WINDOW REFERENCE
 - EXISTING WALL
 - NEW WALL
 - PANELING
 - CONCRETE WALL
 - CLAY TILE WALL
 - PROPERTY LINE

- PLAN NOTES:
- ALL DIMENSIONS ARE TO FACE OF STUD OR SHEATHING UNLESS OTHERWISE NOTED.
 - READ IN CONJUNCTION WITH STRUCTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH AFFECTED AREA OF THE WALL.
 - CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL AND PLUMBING SUBCONTRACTORS BEFORE FRAMING OPENINGS IN WALLS, FLOORS, CEILINGS, ROOF, ETC.
 - PROVIDE & LOCATE ACCESS DOORS AND PANELS IN WALL AND CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. CONTRACTOR SHALL COORDINATE LOCATION OF ALL CLEANOUTS WITH EQUIPMENT AND CABINETS. SUBMIT A PLAN OF CLEANOUT LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSPECTION.
 - PROVIDE AND INSTALL BLOCKING, STIFFENERS, BRACING, BACK UP PLATES, AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED EQUIPMENT OR ACCESSORIES.

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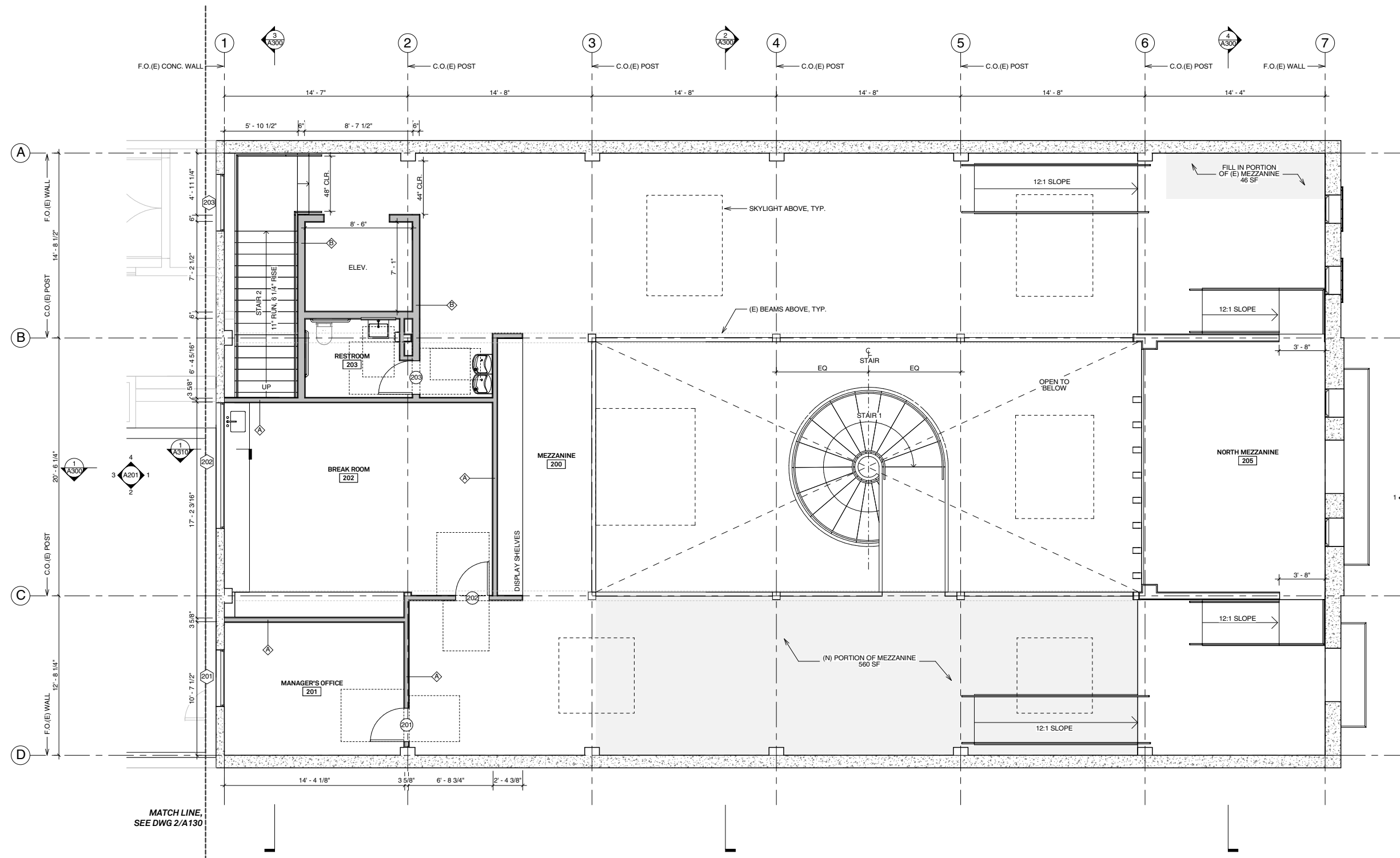
FIRST FLOOR PLAN

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A101

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



- LEGEND:
- DOOR REFERENCE
 - WINDOW REFERENCE
 - EXISTING WALL
 - NEW WALL
 - PANELING
 - CONCRETE WALL
 - CLAY TILE WALL
 - PROPERTY LINE

- PLAN NOTES:
- ALL DIMENSIONS ARE TO FACE OF STUD OR SHEATHING UNLESS OTHERWISE NOTED.
 - READ IN CONJUNCTION WITH STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH AFFECTED AREA OF THE WALL.
 - CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL AND PLUMBING SUBCONTRACTORS BEFORE FRAMING OPENINGS IN WALLS, FLOORS, CEILINGS, ROOF, ETC.
 - PROVIDE & LOCATE ACCESS DOORS AND PANELS IN WALL AND CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. CONTRACTOR SHALL COORDINATE LOCATION OF ALL CLEANOUTS WITH EQUIPMENT AND CABINETS. SUBMIT A PLAN OF CLEANOUT LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSPECTION.
 - PROVIDE AND INSTALL BLOCKING, STIFFENERS, BRACING, BACK UP PLATES, AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED EQUIPMENT OR ACCESSORIES.

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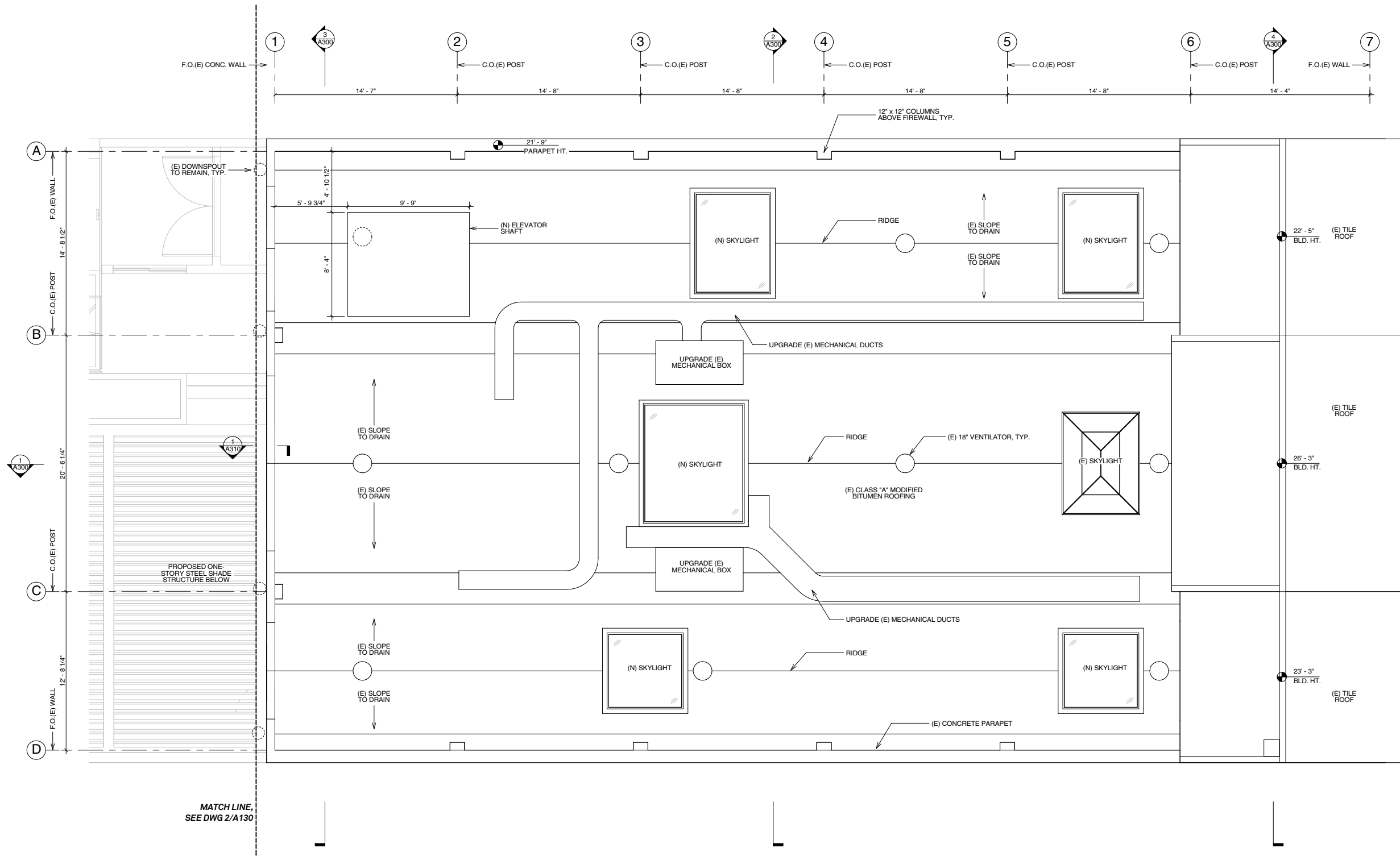
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SECOND FLOOR PLAN

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

SECOND FLOOR PLAN 1
SCALE: 1/4" = 1'-0"



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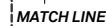
ROOF PLAN

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

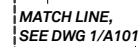
A104



SCALE: 1/4" = 1'-0"



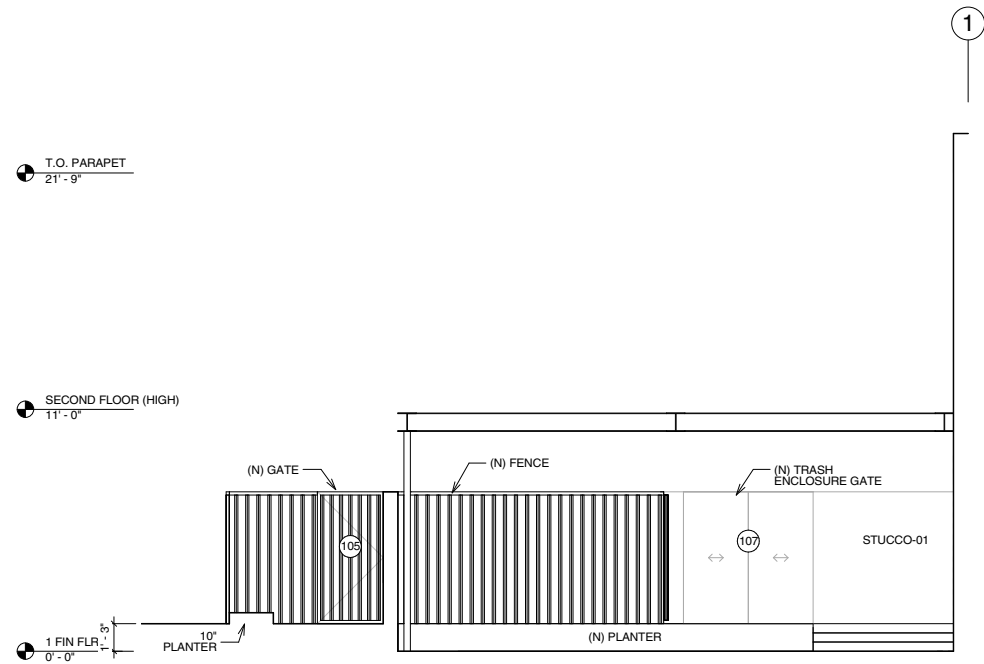
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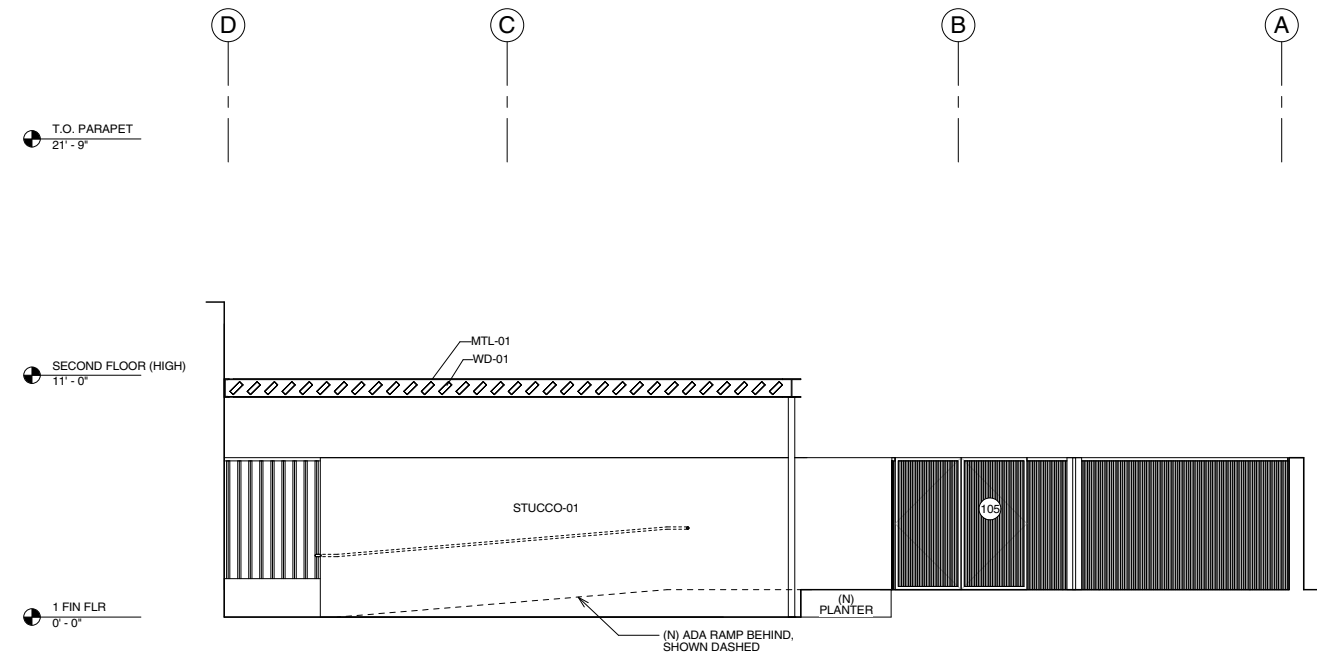
4' 2' 4' SCALE: 1/4" = 1'-0"

A130

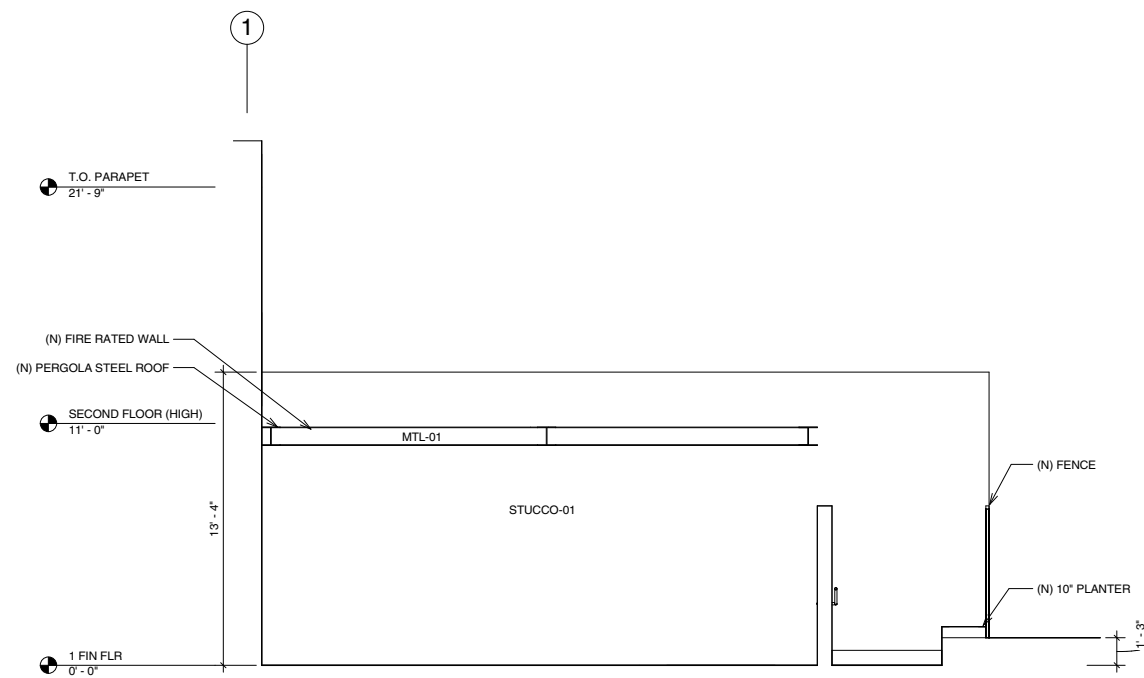




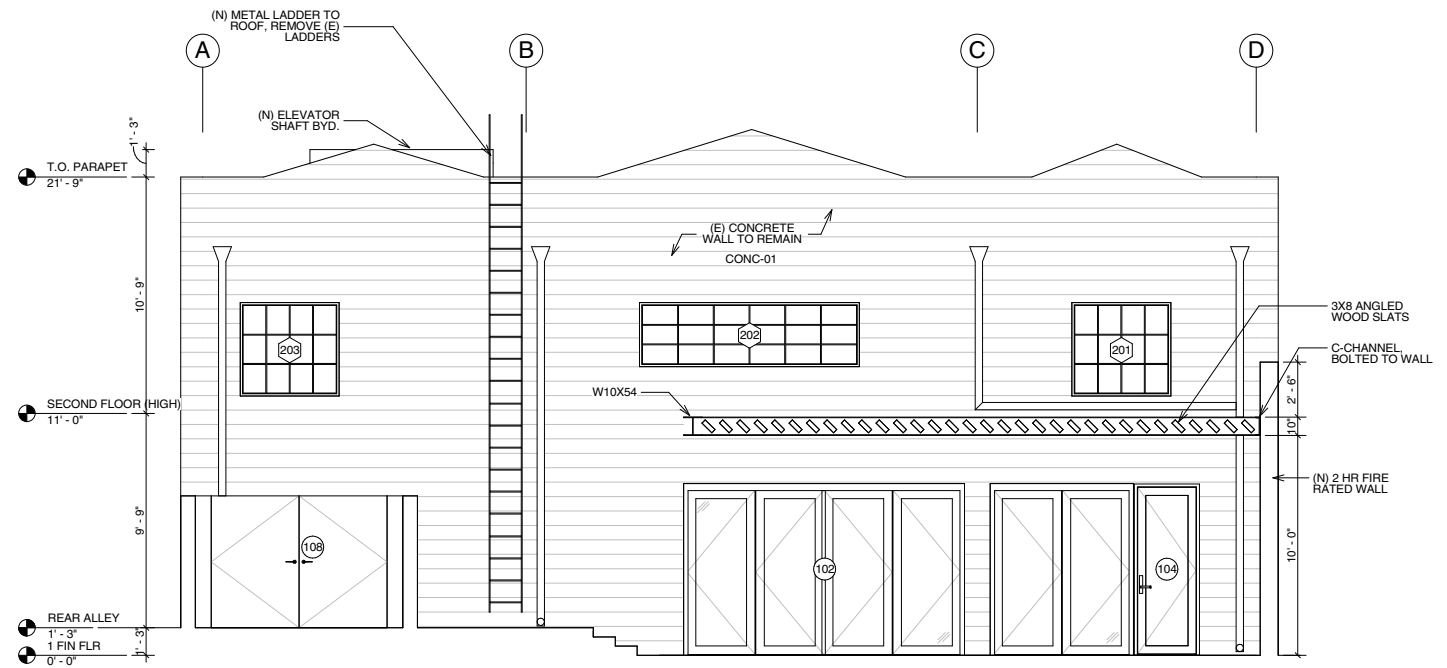
(N) PATIO ELEVATION E ④
SCALE: 1/4" = 1'-0"



(N) PATIO ELEVATION (N) ③
SCALE: 1/4" = 1'-0"



(N) PATIO ELEVATION W ②
SCALE: 1/4" = 1'-0"



(N) REAR PATIO ELEVATION_S ①
SCALE: 1/4" = 1'-0"

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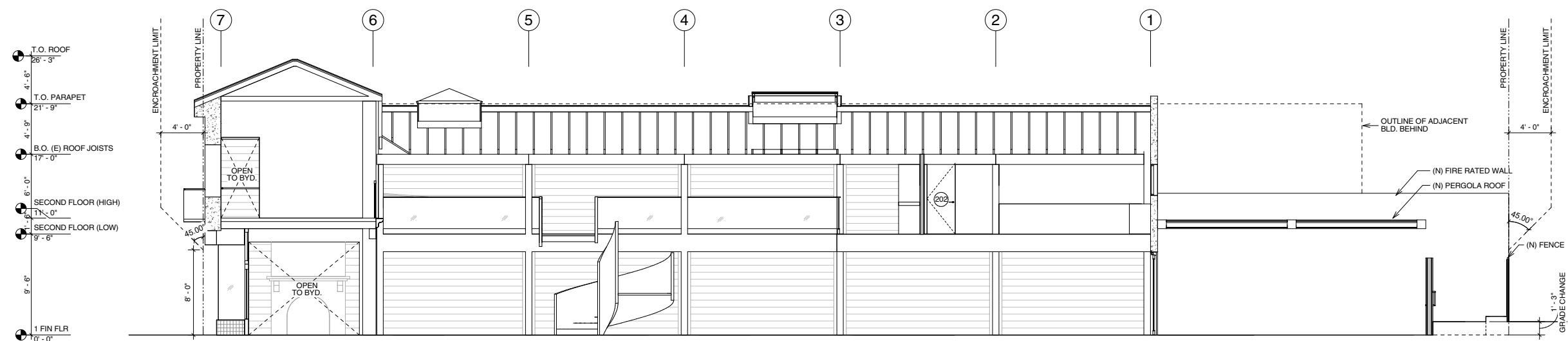
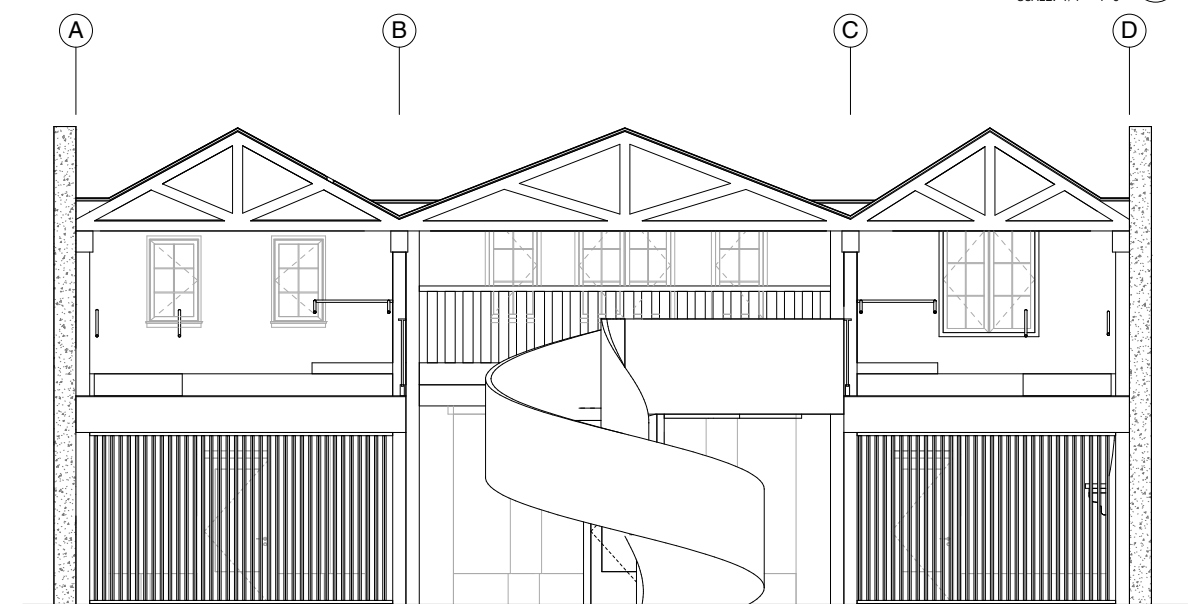
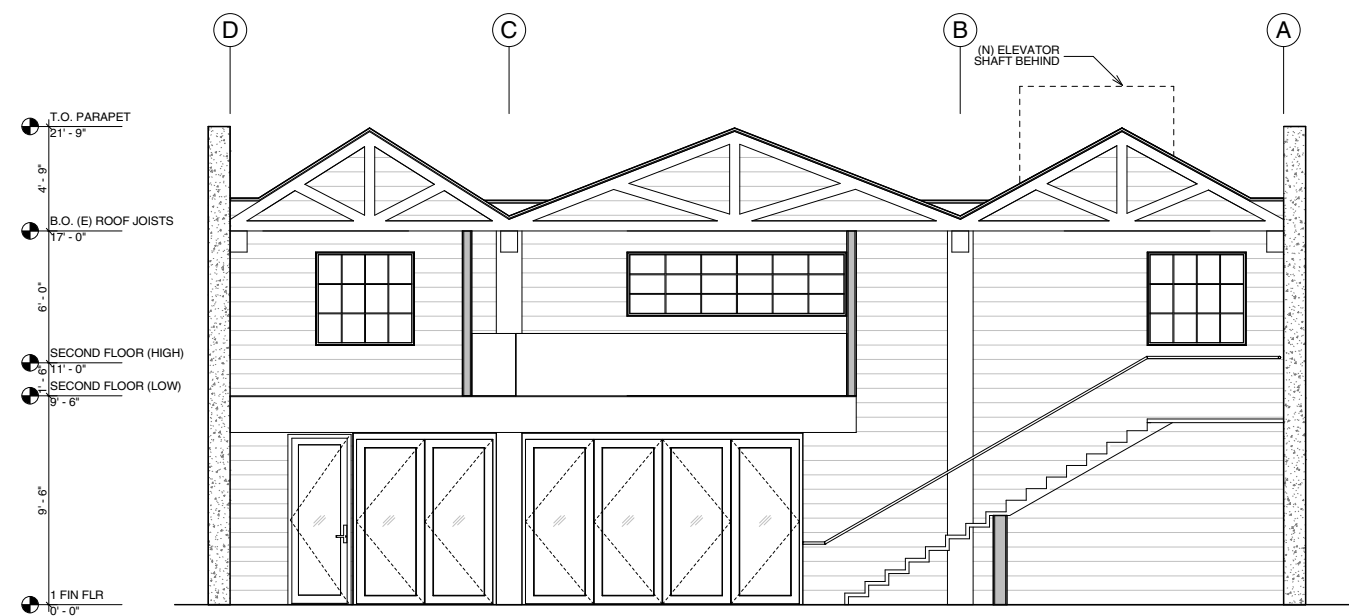
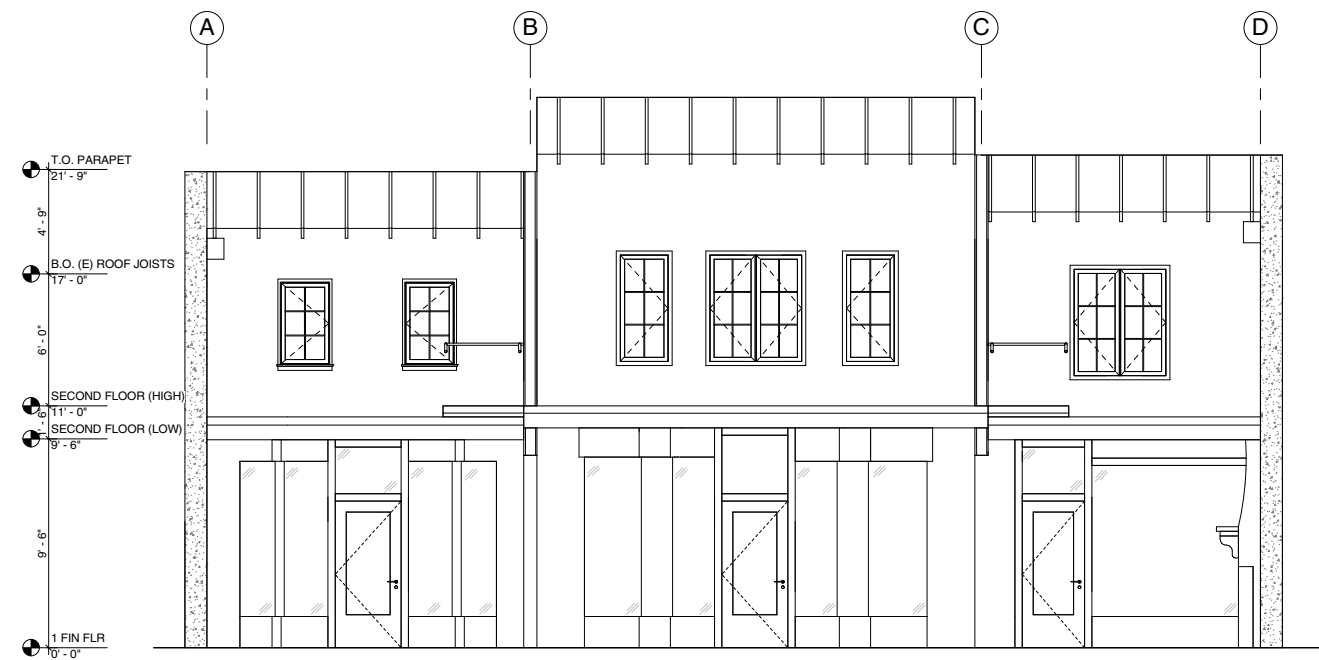
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EXTERIOR ELEVATIONS
@ PATIO

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

A201



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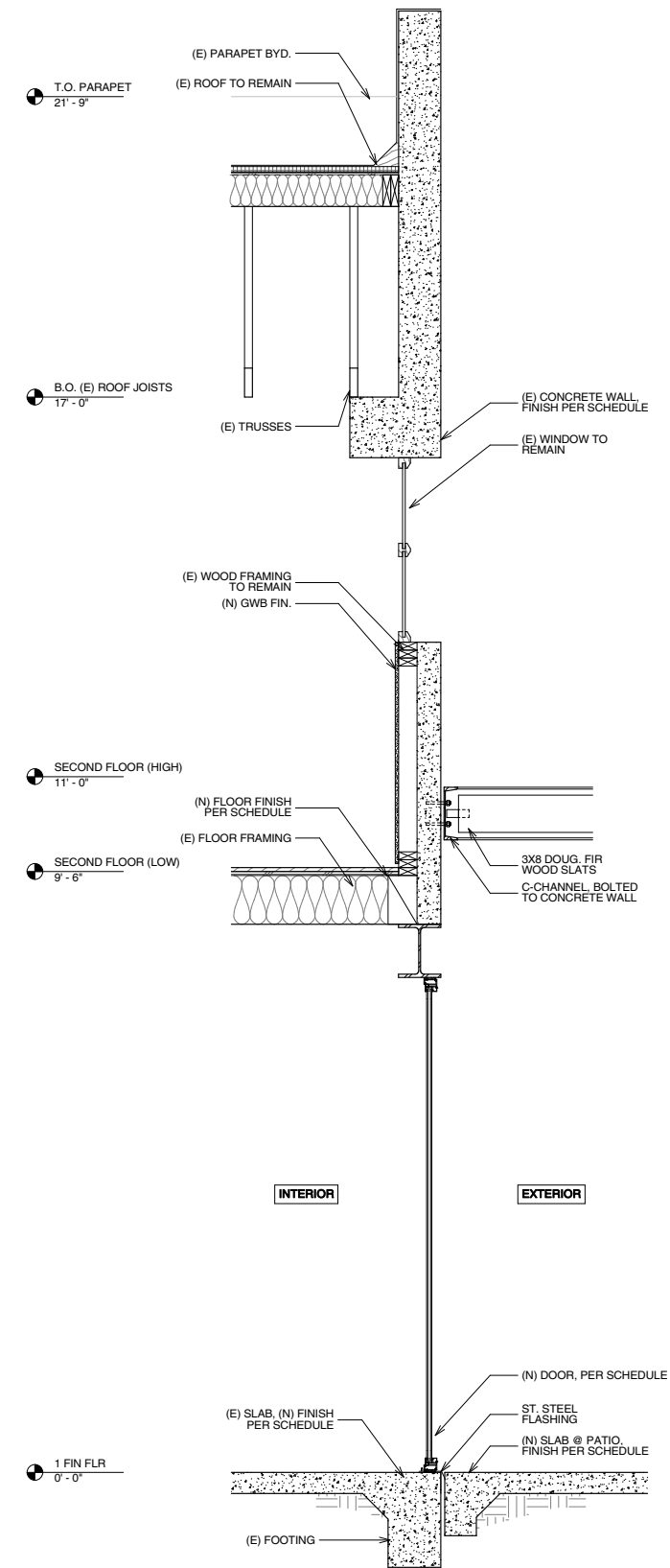
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BUILDING SECTIONS

DATE:	11/2/2021
SCALE:	AS NOTED
PROJECT:	2109

A300



WALL SECTION @ (E) REAR WALL 1
SCALE: 3/4" = 1'-0"

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WALL SECTIONS

DATE:	11/2/2021
SCALE:	AS NOTED
PROJECT:	2109

A310

DOOR SCHEDULE

No.	Location		Type	Hrdwr Grp	Manufacturer	Leaf Dimensions			Leaf		Frame		Details			Comments
	Room No.	Room Name				Height	Width	Thickness	Type	Finish	Type	Finish	Head	Jamb	Threshold	
100	100	RETAIL	Hinged			6' - 8"	3' - 0"									
101	101	STORAGE	Hinged			8' - 0"	2' - 8"	0' - 1 3/4"	Solid Core							
102	100	RETAIL	Bifold		TBD	7' - 9 11/16"	12' - 9 5/16"	0' - 2 1/4"								
103	100	RETAIL	Bifold		TBD	7' - 9 11/16"	6' - 6 1/4"	0' - 2 1/4"								
104	100	RETAIL	Hinged		TBD	7' - 9 3/4"	3' - 0"	0' - 4 1/2"								
105	102	PATIO	Hinged			6' - 0"	3' - 0"									
106	102	PATIO	Hinged			6' - 0"	3' - 0"									
106	102	PATIO	Hinged			6' - 0"	3' - 0"									
107	103	TRASH ENCLOSURE	Hinged			6' - 0"	5' - 10 3/4"	0' - 1 9/16"								
108	103	TRASH ENCLOSURE	Hinged			6' - 0"	4' - 0"	0' - 1 3/4"	Solid Core							
108	103	TRASH ENCLOSURE	Hinged			6' - 0"	4' - 0"	0' - 1 3/4"	Solid Core							
109	100	RETAIL	Hinged			7' - 0"	3' - 0"	0' - 1 3/4"	Solid Core							
201	201	MANAGER'S OFFICE	Hinged			6' - 8"	2' - 8"	0' - 1 3/4"	Solid Core							
202	200	MEZZANINE	Hinged			6' - 8"	2' - 8"	0' - 1 3/4"	Solid Core							
203	200	MEZZANINE	Hinged			7' - 0"	2' - 8"	0' - 1 3/4"	Solid Core							

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DOOR SCHEDULES

DATE: 11/2/2021

SCALE: AS NOTED

PROJECT: 2109

A600

FINISH LEGEND

Abbr.	Description	Manufacturer	Product	Color / Finish	Comments
BASE-01	3/4" REVEAL		Gypsum Wall Board Reveal		
BASE-02	6" Base		Bathroom reveal		
CONC-01	Existing Board Formed Concrete				
CONC-02	Exposed Concrete Floor				Sandblast existing Concrete. Apply clear matte sealer
GLAZ-1					
GWB-01	Gypsum Wall Board, Painted	USG	Firecode Core, 5/8" Type X		
GWB-02	Gypsum Wall Board, Painted, Wet Location	USG	Fiberrock, AquaTough		
MTL-01	Galvanized Steel				
STUCCO-01	Smooth-trowelled stucco				
WD-01	3x8 DF, FRTW				

FINISH SCHEDULE

Location		Floor Finish	Wall Finish				Ceiling Finish	Base Finish	Comments
Room No.	Room Name		North	East	South	West			
100	RETAIL		EXISTING	CONC-01	CONC-01	CONC-01			
101	STORAGE		GWB-01		CONC-01	CONC-01			
102	PATIO	CONC-02	CONC-01	STUCCO-01	STUCCO-01	STUCCO-01			
103	TRASH ENCLOSURE								
200	MEZZANINE		GWB-01	CONC-01	GWB-01	CONC-01			
201	MANAGER'S OFFICE		GWB-01	CONC-01	CONC-01	GWB-01			
202	BREAK ROOM		GWB-01	GWB-01	CONC-01	GWB-01			
203	RESTROOM		GWB-02	GWB-02	GWB-02	GWB-02		BASE-02	
205	NORTH MEZZANINE		GWB-01	GWB-01		GWB-01			

PLUMBING SCHEDULE

MARK	ITEM	MANUFACTURER	DESCRIPTION	MODEL	FINISH	Comments
P01						
P01	Toilet	Duravit	Starck 3 Wall-Mounted Toilet	222609	00 White 2 - Hygiene Glaze	1.6 / 0.8 GPF Dual Flush = 1.07 effective flush volume
P01	Toilet Set	Duravit	Starck 3 Toilet seat and cover	006339	00 White	
P01	Flush Plate	Geberit	Sigma 01 flush plate	115770	Alpine White	Dual Flush
P01	In-Wall Carrier	Geberit	Duofix System with Sigma Concealed Tank	111.335.00.5		Fits within minimum 5-1/2" framing wall or plumbing chase
P02						
P02	Sink	Duravit	Vero handrise basin		00 white	Complies with ASME A112.19.2/CSA B45.1
P02	Drain	Kohler	Drain	K-7129	Chrome	
P02	Faucet	Sloan	OPTIMA, Sensor Activated Faucet	EAf-275-SOL-SIM-CP-0.35GPM-MLM-IR-IQ-CO-FCT	Chrome	0.35 GMP flow rate
P02	Trap					
P03						
P03	Water Fountain	Elkay	Mechanical pushbar actuated water cooler	LZSTLDDWSLK	Light Gray	

PLUMBING ROOM SCHEDULE

Room		Plumbing Fixture Group			Plumbing Comments
Number	Name	P01	P02	P03	
100	RETAIL				
101	STORAGE				
102	PATIO				
103	TRASH ENCLOSURE				
200	MEZZANINE				
201	MANAGER'S OFFICE				
202	BREAK ROOM				
203	RESTROOM	■	■		
205	NORTH MEZZANINE				

STANDARD

ARCHITECTURE & DESIGN

ARCHITECT:
STANDARD® LLP
4411 SANTA MONICA BLVD
LOS ANGELES, CA 90029
INFO@STANDARDARCHITECTURE.COM
TEL: 323 662 1000

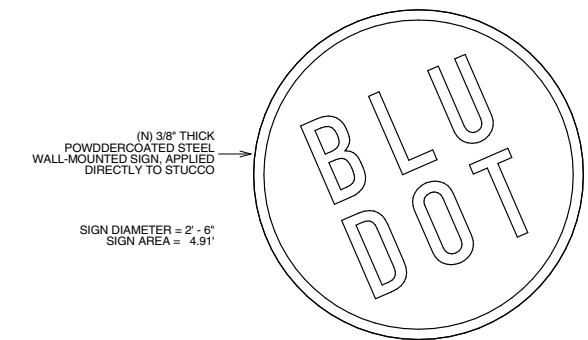
©2021 ALL RIGHTS RESERVED

PROJECT:
BLU DOT PALO ALTO
526 WAVERLEY STREET
PALO ALTO, CA 94301

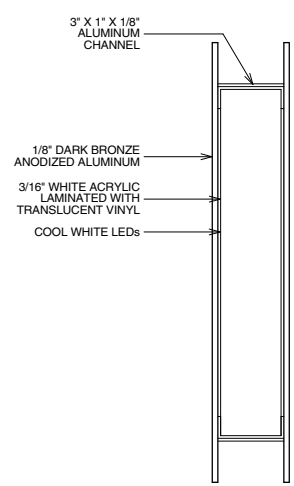
SCHEDULES

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109

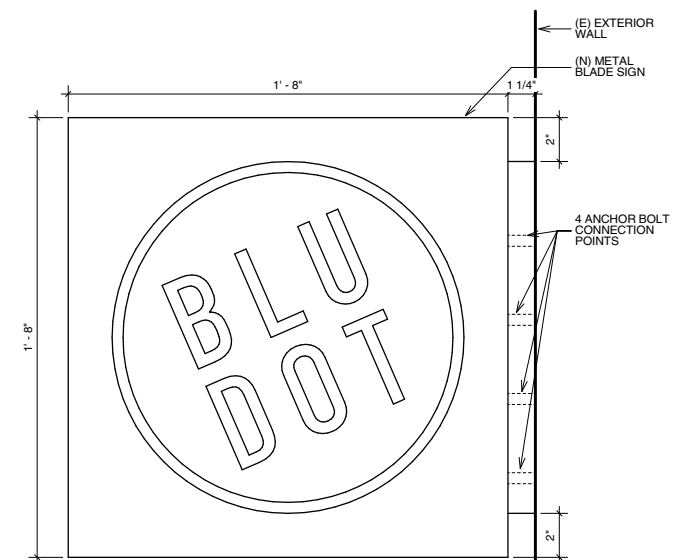
A601



WALL MOUNTED SIGN ③
SCALE: 1 1/2" = 1'-0"



BLADE SIGN SECTION DETAIL ②
SCALE: 3" = 1'-0"



BLADE SIGN ELEVATION ①
SCALE: 3" = 1'-0"

STANDARD
ARCHITECTURE & DESIGN

ARCHITECT:
STANDARD® LLP
4411 SANTA MONICA BLVD
LOS ANGELES, CA 90029
INFO@STANDARDARCHITECTURE.COM
TEL: 323 662 1000

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PROJECT:
BLU DOT PALO ALTO
526 WAVERLEY STREET
PALO ALTO, CA 94301

EXTERIOR SIGNAGE

DATE: 11/2/2021
SCALE: AS NOTED
PROJECT: 2109


A800

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

**TREE DISCLOSURE STATEMENT**

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 526-534 Waverley St., Palo Alto CA, 94301

Are there Regulated trees on or adjacent to the property? ☒ YES ☐ NO (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

☐ On the property
☐ On adjacent property overhanging the project site
☒ In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? ☐ YES (Check where applicable) ☒ NO

☐ Protected Tree (s)
☐ Designated Tree (s)
☐ On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? ☐ YES ☒ NO
If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, "Tree Protection, as Part of the Plan", per Site Plan Requirements.

4. Are the Site Plan Requirements* completed? ☐ YES ☒ NO

*Application of Regulated trees during development requires the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/form.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: _____ Print: _____ Date: _____
(Prop. Owner or Agent)

FOR STAFF USE:

Protective Fencing
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).


5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. ☐ YES ☐ NO
(N/A if there are no protected trees, check here)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. ☐ YES ☐ NO
(N/A if there are no street trees, check here)

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger; Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

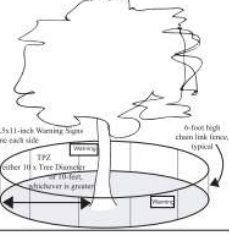
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/tree-technical-manual.html>

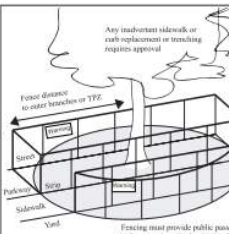
S:\Plan\Arb\Arb\Tree Protection Info\Tree Disclosure Statement Revised 08/06

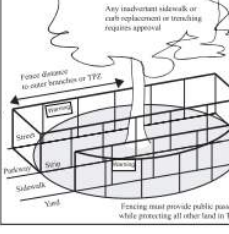
**For written specifications associated with illustrations below, see Public Works Specifications Section 31. Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/).**

Tree Protection Zone (TPZ) shown in gray (radius of TPZ equals 10-times the diameter of the tree or 10-foot, whichever is greater).

- Restricted activity area - see Tree Technical Manual Sec 2.19(1).
- Restricted trenching area - see Tree Technical Manual Sec 2.20C-D), any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.

**Type I Tree Protection**
Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report.
8.5x11-inch Warning Signs one each side.
6-foot high chain link fence, typical.
TPZ either 10 x Tree Diameter or 10 feet, whichever is greater.

**Type II Tree Protection**
Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.
2-inches of Orange Plastic Fencing worked with 2-inch Thick Wooden Slats
Any proposed trench in TPZ requires approval per TTM 2.20C-D for instructions.
Restricted use for trees in sidewalk, cutting tree within cut.

**Type III Tree Protection**
(to be used only with approval of Public Works Operations)
Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.
Fencing must provide public passage while protecting all other land in TPZ.


Tree fencing is required and shall be erected before demolition, grading or construction begins.

Rev	By	Date	Approved by:
0	DPW	12/14/92	Dave Dockter
1	D.D.	06/04/04	PE No.
2	D.D.	06/10/06	Date 2006

Scale: NTS

City of Palo Alto Standard

Dwg No. 605

**PALO ALTO
STREET TREE PROTECTION INSTRUCTIONS
-SECTION 31-**

APPENDIX J

31-1 General

a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail 605 - Illustration of situations described below.

b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)

1. Trenching Restriction Zones (TTM, Section 2.20C-D)

2. Arborist Reporting Protocol (TTM, Section 6.30)

3. Site Plan Requirements (TTM, Section 6.11)

4. Tree Disclosure Statement (TTM, Appendix J)

c. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/form.htm>)

31-3 Execution

a. Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade-level concrete base, if approved by Public Works Operations.

b. Type II Tree Protection: For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. Size, type and area to be fenced. All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 16-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. Warning signs. A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110"

f. Duration. Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

g. During construction

1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.

2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.

3. The following tree preservation measures apply to all trees to be retained:


a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.

b. The ground under and around the tree canopy shall not be altered.

c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION

City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWE, Section 31
Revised 08/06

**Palo Alto Tree Technical Manual**

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/trees/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

1. Inspection of Protective Tree Fencing. For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39)

2. Pre-Construction Meeting. Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).

3. Inspection of Rough Grading or Trenching. Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, damage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.

4. Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report form shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).

5. Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct on-site supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).

6. Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.

7. List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

* _____

* _____

**City of Palo Alto
Tree Department**

**Verification of
Street Tree Protection**

Public Works Operations
PO Box 10250 Palo Alto, CA 94303
650-496-5953 FAX: 650-852-9209
treeprotection@cityofpaloalto.org

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE:	
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:	526-534 Waverley St., Palo Alto CA, 94301
APPLICANT'S NAME:	Standard LLP
APPLICANT'S ADDRESS:	4411 Santa Monica Blvd., Los Angeles CA 90029
APPLICANT'S TELEPHONE & FAX NUMBERS:	323.662.1000

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, go to #2 below
Inspected by:	
Date of inspection:	


2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:	
Indicate how the required modifications were communicated to the applicant.	

Subsequent inspection	YES <input type="checkbox"/> NO <input type="checkbox"/> Street trees at above address were found to be adequately protected: * If NO, indicate in "Notes" below the disposition of case.
Inspected by:	
Date of inspection:	

Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.

S:\PW\DP\Tree\DP\TreeProtect 5/1/06

**City of Palo Alto Tree Technical Manual**

ADDENDUM 11

Arborist Firm Data Here

RECATSIA Certified Arborist #PWE-500
Contract Code #

Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1: Job site superintendent Company: Email: Job site Office: Cell: Mail:
Inspection #	Palo Alto, CA	Also present:	* _____
Distribution:	1. City of Palo Alto 2. Others	Attn: Dave Dockter	Dave.dockter@cityofpaloalto.org 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

1. Assignment Activity (Demolition grading/sewer trenching/foundation list relevant visits)

a. Pre-construction meeting requirement with sub-contractors

b. Inspect to verify that tree protection measures are in place

c. Determine if field adjustments, watering or plan revisions may be needed

2. Field Observations (general site-wide and list by individual tree number)

a. Tree Protection Fences (TPF) are -

b. Trenching has/will occur -

3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due

a. Tree Protection Fence (TPF) needs adjusting (tree # x, x, x)

b. Root zone buffer material (wood chips) can be installed next

c. Schedule sewer trench, foundation dig with -

4. Photographs (use often)

5. Tree Location Map (mandatory 8.5 x 11 sheet)

6. Recommendations, notes or monitor items for project/staff/schedule

7. Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (Include email, cell#, and mailing)
Cc: _____

Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

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Tree Department**

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650-496-5953 FAX: 650-852-9209
treeprotection@cityofpaloalto.org

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

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APPLICANT'S ADDRESS:	4411 Santa Monica Blvd., Los Angeles CA 90029
APPLICANT'S TELEPHONE & FAX NUMBERS:	323.662.1000

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, go to #2 below
Inspected by:	
Date of inspection:	

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:	
Indicate how the required modifications were communicated to the applicant.	

Subsequent inspection	YES <input type="checkbox"/> NO <input type="checkbox"/> Street trees at above address were found to be adequately protected: * If NO, indicate in "Notes" below the disposition of case.
Inspected by:	
Date of inspection:	

Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.

S:\PW\DP\Tree\DP\TreeProtect 5/1/06

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Inspected by:	
Date of inspection:	

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S:\PW\DP\Tree\DP\TreeProtect 5/1/06

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APPLICATION DATE:	
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:	526-534 Waverley St., Palo Alto CA, 94301
APPLICANT'S NAME:	Standard LLP
APPLICANT'S ADDRESS:	4411 Santa Monica Blvd., Los Angeles CA 90029
APPLICANT'S TELEPHONE & FAX NUMBERS:	323.662.1000

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, go to #2 below
Inspected by:	
Date of inspection:	

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:	
Indicate how the required modifications were communicated to the applicant.	

Subsequent inspection	YES <input type="checkbox"/> NO <input type="checkbox"/> Street trees at above address were found to be adequately protected: * If NO, indicate in "Notes" below the disposition of case.
Inspected by:	
Date of inspection:	

Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.

S:\PW\DP\Tree\DP\TreeProtect 5/1/06

**City of Palo Alto
Tree Department**

**Verification of
Street Tree Protection**

Public Works Operations
PO Box 10250 Palo Alto, CA 94303
650-496-5953 FAX: 650-852-9209
treeprotection@cityofpaloalto.org

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

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City of Palo Alto

Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

Apply Tree Protection Report on sheet(s) T-2
Use additional "T" sheets as needed

Project 526-534 Waverley St., Palo Alto CA 94301
Data



Proposed TI calls for demolition of this area for new trellis patio structure.

FOR ROOF FRAMING, SEE S3.1

(E) 8" HOLLOW CLAY TILE WALL, TYP @ EXTERIOR

(E) 14x14 CONC COL, TYP, UNO

(E) 8" CONC SHEARWALL

(E) CONC STAIR COL

(E) CONC SLAB

10'-0"±

(E) 8x8 WOOD POST FULL HEIGHT, TYP

9'-0"±

11'-0"±

(E) 12" CONC SHEARWALL, TYP @ FRONT

DENOTES CONCRETE BRACKET

(E) WOOD STOP WALL, TYP

9'-6"±

9'-0"±

(E) CONC SLAB

22'-0"±

11'-0"±

(E) CONC SLAB

10'-0"±

ELEVATOR CORE w/ WOOD WALL

(E) WOOD POST

11'-0"±

(E) 4" WALL @ FIREPLACE

(E) 8" CONC SHEARWALL

LEGEND:

- DENOTES CONCRETE WALL.
- DENOTES HOLLOW CLAY TILE WALL.
- DENOTES WOOD POST.
- DENOTES WOOD SHEARWALL.
- DENOTES UNDERSIDE SLAB.

Note that new TI will move elevator to a different location but our intent to make use of the shaft walls to resist seismic load will remain.

FIRST FLOOR FRAMING PLAN

3/32"=1'-0"



PROJECT DESCRIPTION

TENANT REMODEL & INTERIOR IMPROVEMENT
526 Waverley St.
Palo Alto, CA 94301

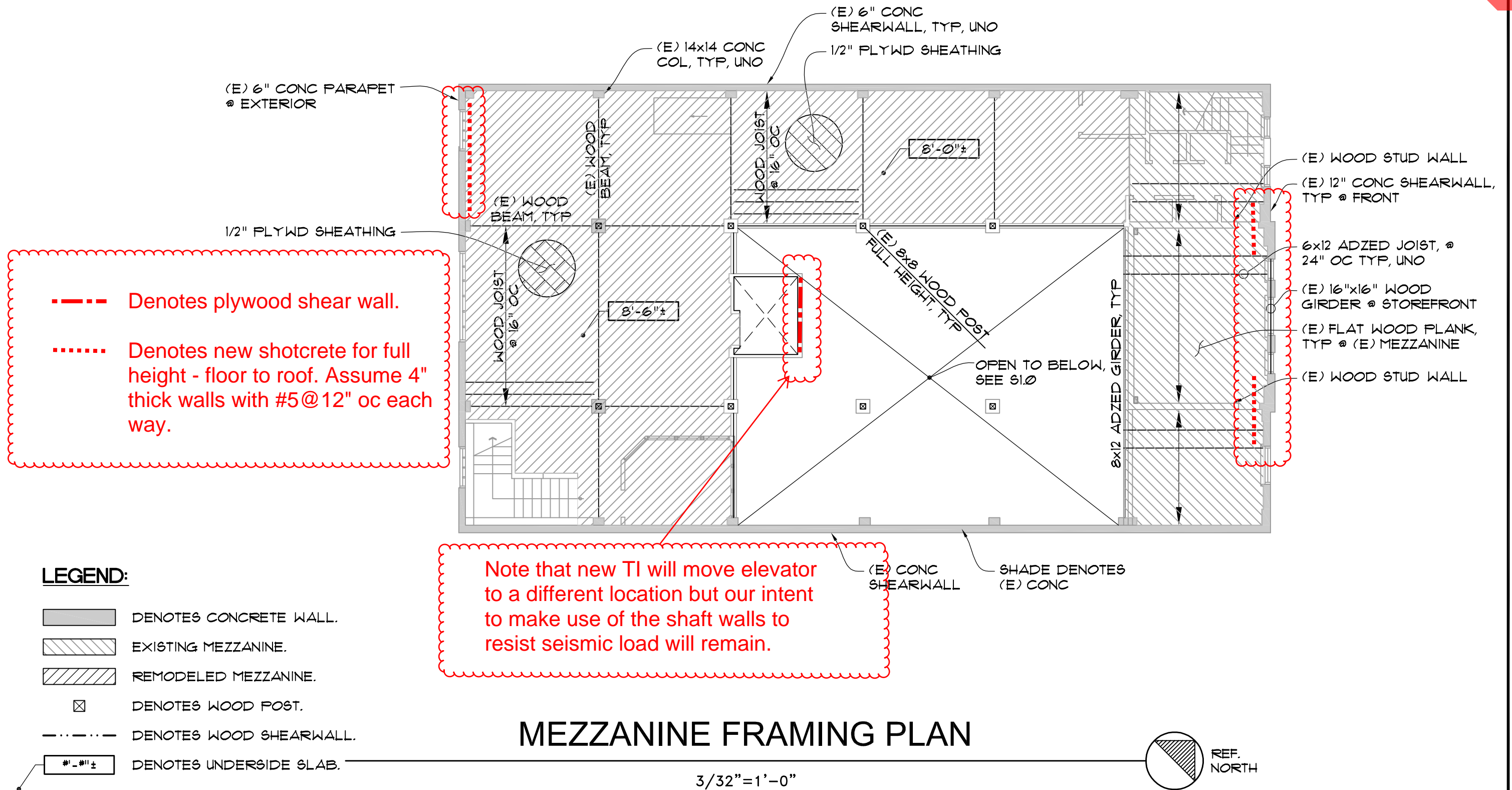


TEL: 510.445.0550
39812 MISSION BLVD., SUITE 100
FREMONT, CA 94539
FAX: 510.445.0440

DRAWN
HN
CHECKED
TS
DATE
05/03/18
SCALE
AS NOTED
JOB NO.
180210

SHEET

S1.0



PROJECT DESCRIPTION

TENANT REMODEL &
INTERIOR IMPROVEMENT
526 Waverley St.
Palo Alto, CA 94301

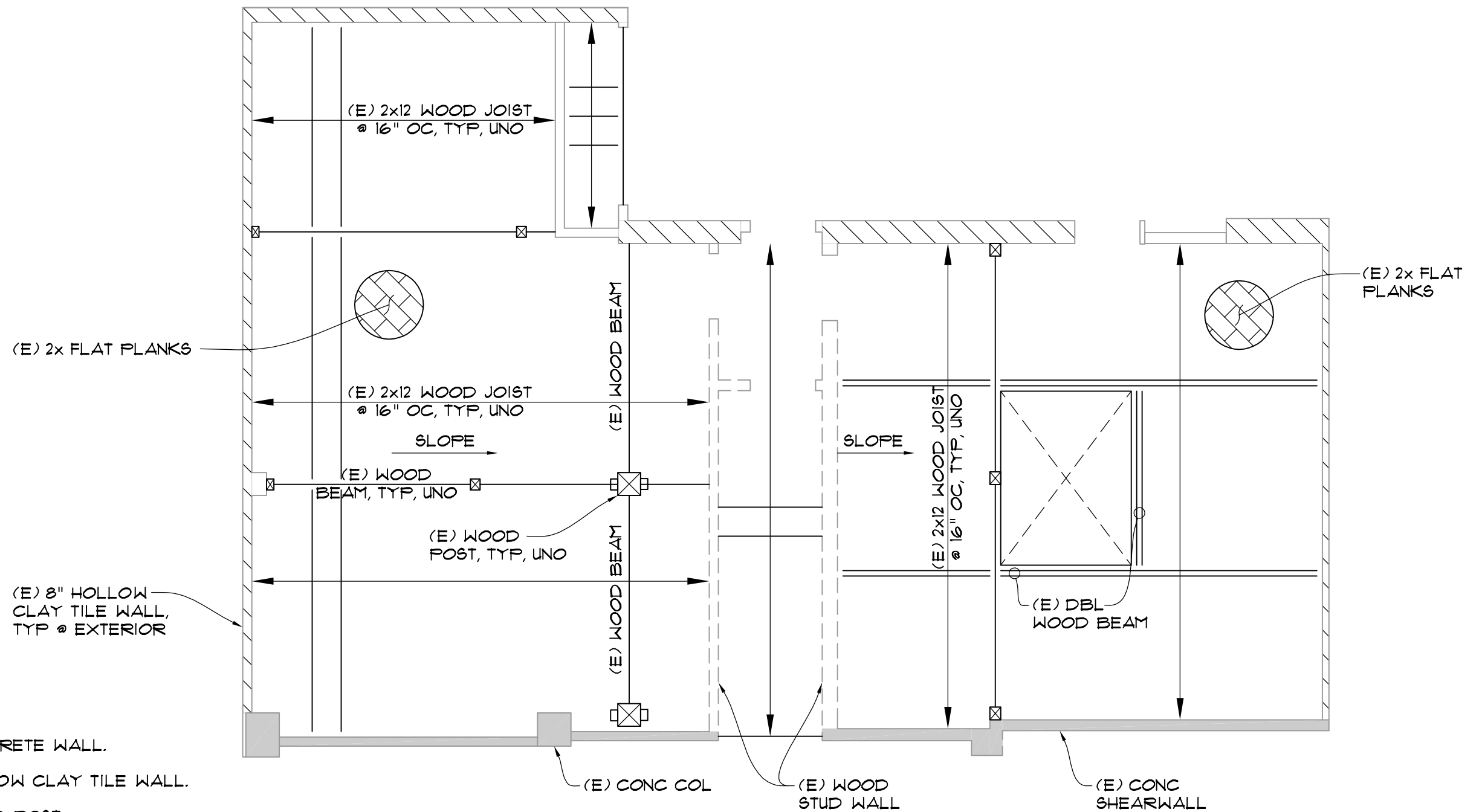


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HN
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TS
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SCALE
AS NOTED
JOB NO.
180210

SHEET

S2.0



LEGEND:

- DENOTES CONCRETE WALL.
- DENOTES HOLLOW CLAY TILE WALL.
- X DENOTES WOOD POST.
- DENOTES WOOD SHEARWALL.
- #1 - #11 ± DENOTES UNDERSIDE SLAB.

LOADING DOCK ROOF FRAMING PLAN

3/16"=1'-0"



PROJECT DESCRIPTION

TENANT REMODEL &
INTERIOR IMPROVEMENT
526 Waverley St.
Palo Alto, CA 94301



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SHEET

S3.1