

AGENCY STAMPS/NOTES

LANDSCAPE	
L1.1	GENERAL NOTES
L1.2	PLANT PALETTE, IMAGERY
L2.1	LAYOUT PLAN
L3.1	PLANTING PLAN
L4.1	TREE DISPOSITION PLAN
L5.1	DETAILS

BUILDING AREA SUMMARY

1. The work included under this contract consists of all labor, materials, transportation, tools and equipment necessary for the construction of the project leaving all work ready for use.
2. All construction shall conform to the codes listed on this page. In the event of conflict, the most stringent requirements shall apply.
3. All work shall be done in accordance with AIA General Conditions Document A-201, Current Edition
4. All work in contact with concrete shall be pressure-treated.
5. All work described in the drawings shall be verified by the contractor for dimension, grade, extent and compatibility to existing conditions. Any discrepancies or unexpected conditions which affect or change the work described in the contract documents shall be brought to the attention of the architect immediately. Do not proceed with the work in the area of discrepancy until all such discrepancies are resolved. If the contractor chooses to proceed with the work, the contractor shall assume the responsibility for the approved set of plans must be submitted to and approved by the governing agency prior to the revision being completed.
6. The general contractor shall verify and assume responsibility for all dimensions and site conditions. The general contractor shall be responsible for any and all claims for damages or delays resulting from any omission or error. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such an examination.
7. The general contractor shall maintain a current and complete set of the construction documents on the job site during all phases of construction for use of all trades. The general contractor shall provide all the subcontractors with current copies of the construction documents.
8. Written dimensions take precedence. Do not scale drawings. Contact the architect for any missing dimensions.
9. All dimensions to and from new construction, when shown in plan, run to face of finish. Dimensions which indicate otherwise shall be noted.
10. All dimensions on reflected ceiling plans and elevations are from face of finish or centerline of column to centerline of fixture, group of fixtures or opening.
11. All vertical dimensions are to face of subfloor, unless noted otherwise.
12. All dimensions noted "verify" and "V.I.F.": are to be confirmed by the contractor prior to construction.
13. Verify all work with existing conditions, including but not limited to: irrigation pipes, electrical conduit, water lines, gas lines, drainage lines, etc.
14. Protect all existing site conditions to remain including trees, shrubs, painting, etc.
15. Details shown are typical. Similar details apply in similar conditions and will not be called out at each instance.
16. Verify all structural details with structural, civil and design/build drawings before ordering or installation of any material.
17. When materials and doors are not dimensioned, they shall be centered on the wall or placed 6" from finish surface of adjacent wall as shown on the drawings.
18. Omissions from these documents which are manifestly necessary to carry out the intent of the work, or that which is customarily performed, shall not relieve the contractor from performing such work as it is fully and completely set forth in the contract documents.
19. Install fixtures, equipment and materials per manufacturer's recommendations.
20. Verify clearances for fuses, vents, chases, soffits, fixtures, etc. before any construction, ordering, or installation of any material.
21. Sealant, caulking and flashing, etc. locations shown on drawings are not intended to be inclusive. Follow manufacturer installation recommendations and standard industry and building practices.
22. The contractor shall remove all rubbish and waste materials on a weekly basis, and shall exercise a strict control over the contractor's employees and subcontractors to prevent them from leaving any rubbish, finished areas or around the jobsite.
23. Install smoke detectors in accordance with code requirements and in compliance with local fire marshal requirements.

AS	ANCHOR BOLT	GA	GAUGE	R	RADIUS OR RISE	1	DOOR MARK
ACQ	ACQUIS. ACQUITTAL	GAU	GAUZZED	RE	REINFORCE	2	DOOR MARK
ADJ	ADJUST	GFC	GROUND FAULT-CIRCUIT	RE	REINFORCE	3	WINDOW MARK
ADJ	ADJUST	GFI	GROUND FAULT INTERRUPTER	RE	REINFORCE	4	WINDOW MARK
AF	AFRAME FINISHED FLOOR	GL	GLASS	RES	RESILIENT	5	WINDOW MARK
AL	ALUMINUM	GR	GRASS	R	RIDGE	6	WINDOW MARK
BM	BOMBS	G.S.M.	GLASS-SHEET METAL	R.O.W.	R.O.W. OF RIGHT OF WAY	7	WINDOW MARK
BL	BLACK	GYP	GYPSUM BOARD	SCD	SEE CIV. DRAWINGS	8	WINDOW MARK
BLK	BLACK	H	HOLE	SCHED	SCHEDULE	9	WINDOW MARK
BM	BEAM	HO	HOBBS BOM	S.E.	SEE ELEC. DRAWING	10	WINDOW MARK
CB	CABINET	HD	HEAD	S.E.	SEE ELEC. DRAWING	11	WINDOW MARK
CS	CARRIAGE BOLT OR CEILING	HVR	HOWER	SECT	SECTION	12	WINDOW MARK
CEM	CEMENT	INCL	INCLINE	SECT	SECTION	13	WINDOW MARK
C	CLEAR	INCL	INCLINE	SECT	SECTION	14	WINDOW MARK
C	CLEAR	INCL	INCLINE	SECT	SECTION	15	WINDOW MARK
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C	CLEAR	INCL	INCLINE	SECT	SECTION	68	WINDOW MARK
C	CLEAR	INCL					

ENCLOSED AREA	3,932.1 SF
COVERED AREA	467.3 SF
OPEN COURTYARD	497.3 SF

ENCLOSED AREA 467.5 SF

PROJECT DESCRIPTION	Exterior improvements to an existing building. Project will replace the exterior finishes, windows and doors, and landscaping. The existing roof eave will be removed and a new parapet installed to conceal the roof slope.
APN	003-02-048
ZONING	MF
PARKING	(27) EXISTING PARKING SPACES ON-SITE INCLUDING (1) NON-CONFORMING ACCESSIBLE STALL
OCCUPANCY	B - PROFESSIONAL SERVICE, MEDICAL OFFICE
CONSTRUCTION TYPE	EXISTING STRUCTURE IS V-B
BUILDING DESCRIPTION	2 LEVELS ABOVE GRADE WITH A PARTIAL BELOW GRADE MECHANICAL SPACE. THE BUILDING HAS A CENTRAL COURTYARD PARTIALLY OPEN TO THE SKY
FIRE SPRINKLERS	NO
OVERALL SITE	15,750 SF
AREA OF WORK	ONLY EXTERIOR IMPROVEMENTS DURING THIS PHASE OF WORK

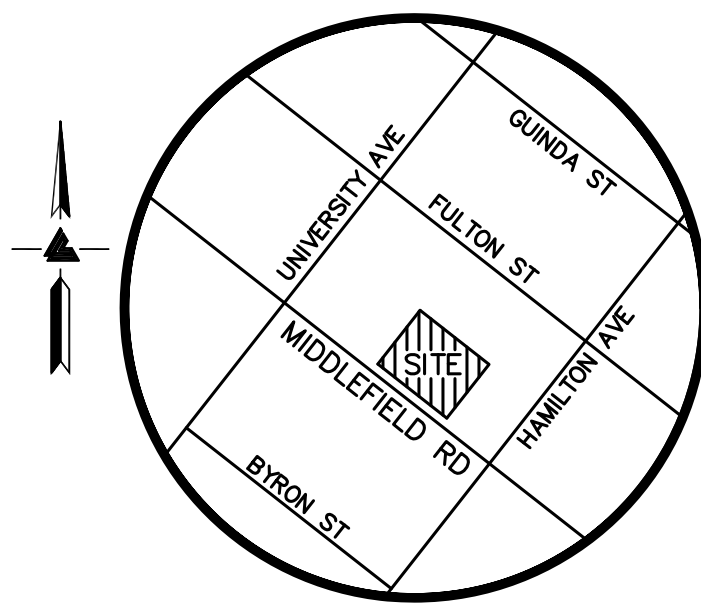
NO CHANGE IN BUILDING AREA OR LOT COVERAGE IS PROPOSED

BUILDING OWNER
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pletteri@gtp-inc.com

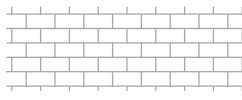
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Pete Carlino
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West Hayward, CA 94545
(510) 887-4086
pcarlino@leabraze.com



VICINITY MAP
NO SCALE

LEGEND AND NOTES

---	BOUNDARY LINE
- - - -	BUILDING OVERHANG LINE
x	FENCE LINE
---	FLOW LINE
SS	SANITARY SEWER LINE
⊙	ACCESSIBILITY PARKING
BFP	BACK FLOW PREVENTER
DW	DRIVEWAY
FF	FINISH FLOOR
FL	FLOW LINE
JMAP	JAPANESE MAPLE
RP	ROOF PEAK
TC	TOP OF CURB
VCP	VITRIFIED CLAY PIPE
• BOL	BOLLARD
□ EM	ELECTRICAL METER
□ E	ELECTRICAL VAULT
□ GM	GAS METER
○ SSCO	SANITARY SEWER CLEAN-OUT
□ WM	WATER METER
□ WV	WATER VALVE
⊕ XXX.XX	BENCHMARK
⊕ XXX.XX	SPOTGRADE



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.

UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

EASEMENT NOTE

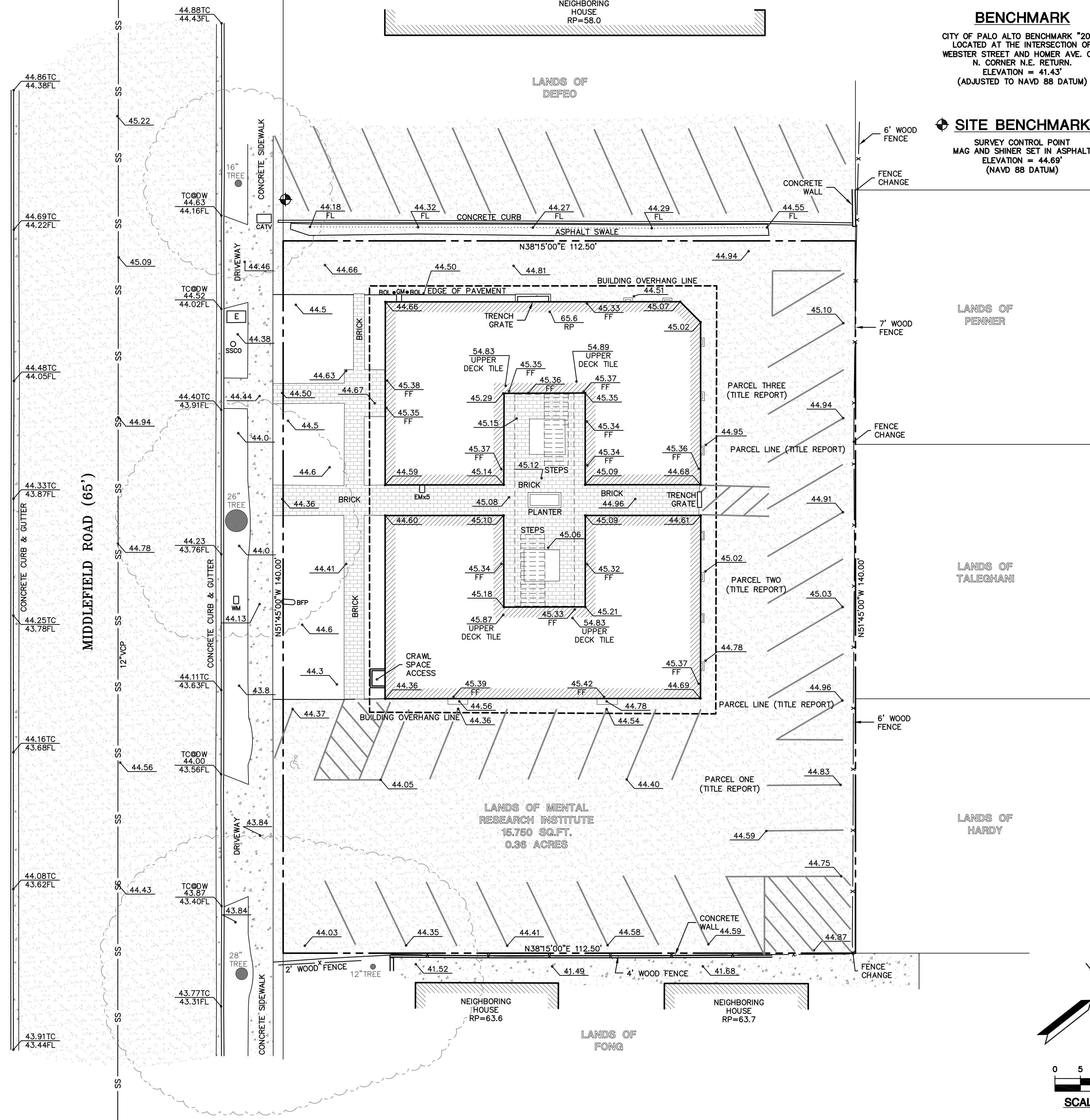
NO EASEMENTS ARE LISTED IN TITLE REPORT PREPARED BY FIRST AMERICAN TITLE CO., ORDER NOS-965450-CC, DATED JUNE 7, 2019.

FEMA NOTE

FLOOD ZONE: AH

100-YEAR BASE FLOOD ELEVATION (BFE): 45.8 (NAVD88 DATUM)
PER CURRENT FLOOD INSURANCE RATE MAP (FIRM)

FEMA FLOOD INSURANCE RATE MAP
NO.: 06085C0010H
EFFECTIVE DATE: MAY 18, 2009

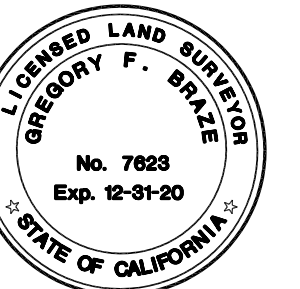


BENCHMARK

CITY OF PALO ALTO BENCHMARK "2061"
LOCATED AT THE INTERSECTION OF
WEBSTER STREET AND HOMER AVE. C/S
N. CORNER N.E. RETURN.
ELEVATION = 41.43'
(ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 44.69'
(NAVD 88 DATUM)



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION • SACRAMENTO REGION
1000 WEST 10TH STREET
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WWW.LEABRAZE.COM

535-555 MIDDLEFIELD ROAD
PALO ALTO, CALIFORNIA

SANTA CLARA COUNTY
APN: 003-02-048

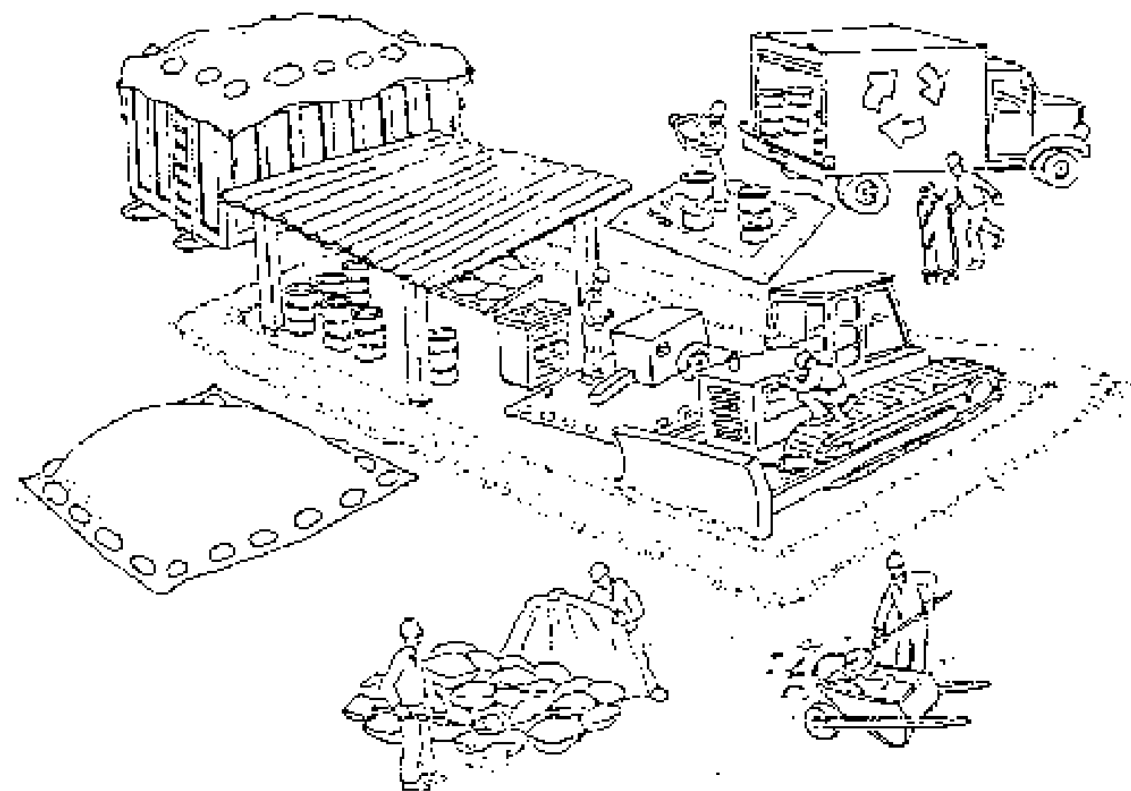
TOPOGRAPHIC SURVEY

DATE	12-10-19	DB
REVISIONS	BY	
JOB NO.	2190997	
DATE:	12-6-19	
SCALE:	1" = 10'	
FIELD BY:	NQ	
DRAWN BY:	JN	
SHEET NO.		



Exterior Improvements at:
555 Middlefield Road
Palo Alto, California

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

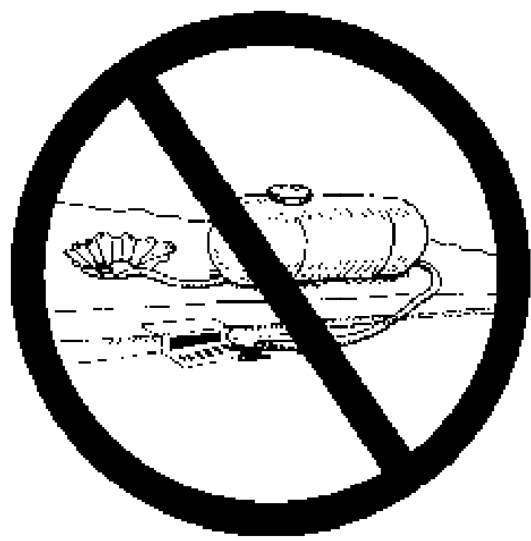
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Concrete, grout, and mortar storage & waste disposal

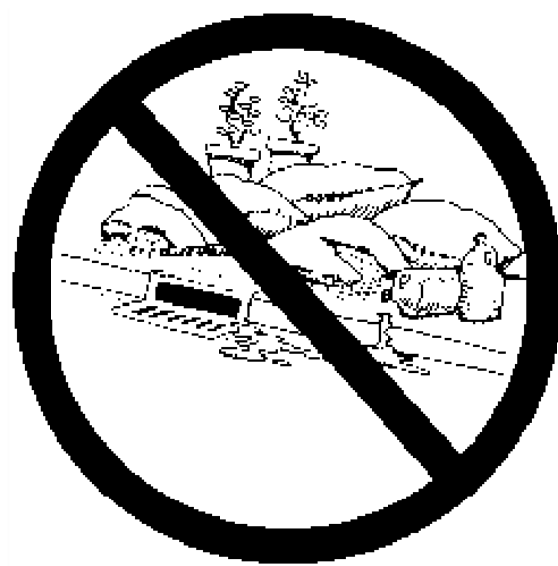
- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

Make sure your crews and subs do the job right!

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

S:\Plan\Platiki\Arborist\Tree Protection Info\Tree Disclosure Statement



										Compliance Path Verification										
										Plan Check		Rough GB Inspection IWR-6.112		Final Inspection IWR-6.112				IWR-6.112		
										Corr	INITIAL	Corr	INITIAL	Corr	INITIAL	Corr	INITIAL	Corr	INITIAL	
5.1 Planning and Design										Code Section	Y	N	Plan Sheet, Spec or Attachment Reference							
1	Mandatory	Storm water pollution prevention								5.106.1	X	A0.1								
2	Mandatory	Local storm water pollution prevention								PAMC 16.14.290/ 5.106.1.1	X	A0.1								
3	Mandatory	Best management practices								5.106.1.2	X	A0.1								
4	Mandatory	Bicycle parking								PAMC 18.54.060/ 5.106.4	X	L1.0								
5	Mandatory	Short term bicycle parking								5.106.4.1.1	X	L1.0								
6	Mandatory	Long term bicycle parking								5.106.4.1.2	X	L1.0								
7	Mandatory	(Bicycle) Parking stall markings								5.106.5.2.1	X	L1.0								
8	Mandatory	Designated parking for clean air vehicles								5.106.6.3.2	X	A1.1								
9	Mandatory	Electric vehicle charging for non-residential structures [N]: New Construction								PAMC 16.14.430/ AS 106.5.3	X	NOT APPLICABLE								
10	Mandatory	Grading and paving (exception for additions and alterations not altering the drainage path)								5.106.10	X	NOT APPLICABLE - NO GRADING								
5.3 Water Efficiency and Conservation																				
11	Mandatory	Meters								5.303.1	X	A1.1								
12	Mandatory	Excess consumption (Submeters for additions that consume over 1,000 gal/ day)								5.303.1.2	X	NOT APPLICABLE								
13	Mandatory	Indoor Water Use: Water closets (shall not exceed 1.28 gallons per flush)								5.303.3.1	X	NOT APPLICABLE								
14	Mandatory	Indoor Water Use: Wall-mounted urinals (0.125gpf)								5.303.3.2.1	X	NOT APPLICABLE								
15	Mandatory	Indoor Water Use: Floor-mounted urinals (0.5 gpf)								5.303.3.2	X	NOT APPLICABLE								
16	Mandatory	Indoor Water Use: Single showerhead (1.8 gpm at 80 psi)								5.303.3.3.1	X	NOT APPLICABLE								
17	Mandatory	Indoor Water Use: Multiple showerheads serving one shower (flow rate of 1.8 gpm at 80 psi)								5.303.3.3.2	X	NOT APPLICABLE								
18	Mandatory	Indoor Water Use: Non-residential lavatory faucets (0.5 gpm at 60 psi)								5.303.3.4.1	X	NOT APPLICABLE								
19	Mandatory	Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi)								5.303.3.4.2	X	NOT APPLICABLE								
20	Mandatory	Indoor Water Use: Wash fountains (1.8 gpm at 60 psi)								5.303.3.4.3	X	NOT APPLICABLE								
21	Mandatory	Indoor Water Use: Metering faucets (0.2 gallons/ cycle)								5.303.3.4.4	X	NOT APPLICABLE								
22	Mandatory	Indoor Water Use: Metering faucets for wash fountains (0.2 gallons/ cycle)								5.303.3.4.5	X	NOT APPLICABLE								
23	Mandatory	Commercial kitchen equipment								5.303.4	X	NOT APPLICABLE								
24	Mandatory	Food Waste Disposers								5.303.4.1	X	NOT APPLICABLE								
25	Mandatory	Indoor Water Use: Areas of additions or alteration								5.303.5	X	NOT APPLICABLE								
26	Mandatory	Indoor Water Use: Standards for plumbing fixtures and fittings (2016 Cal Plumbing Code)								5.303.6	X	NOT APPLICABLE								
27	Mandatory	Outdoor Water Use : Landscape areas ≤ 500 SF							Title 23, Chapter 2.7, 5.304.1	X	NOT APPLICABLE									
28	Mandatory	Outdoor Water Use : Rehabilitated landscape projects ≥ 2,500 SF							Title 23, Chapter 2.7, 5.304.3	X	NOT APPLICABLE									
29	Mandatory	Outdoor Water Use: Landscape areas of ≤ 2,500 SF							5.304.4	X	SEE LANDSCAPE SHEETS									
30	Mandatory	Outdoor Water Use: Graywater or Rainwater Use: Landscape areas ≤ 2,500 SF							5.304.6	X	NOT APPLICABLE									
31	Mandatory	Potable water elimination							PAMC 16.14.360/ 5.304.5	X	NOT APPLICABLE									
32	Mandatory	New construction; recycled water use for Irrigation (See recycled water ordinance # 5002, of PAMC 16.12)							PAMC 16.12.030	X	NOT APPLICABLE									
33	Mandatory	Invasive species prohibited							5.304.6	X	SEE LANDSCAPE SHEETS									
34	Mandatory	Non-residential enhanced water budget							PAMC 16.14.365/ 5.305.1	X	NOT APPLICABLE									
5.4 Material Conservation and Resource Efficiency																				
35	Mandatory	Weather protection							5.407.1	X	ALL EXTERIOR WORK									
36	Mandatory	Moisture control: Sprinklers							5.407.2.1	X	SEE LANDSCAPE SHEETS									
37	Mandatory	Moisture control: Exterior door protection							5.407.2.2.1	X	A&1									
38	Mandatory	Moisture control: Flashing							5.407.2.2.2	X	CONTRACTOR'S RESPONSIBILITY									
39	Mandatory	Construction waste management							5.408.1	X	CONTRACTOR'S RESPONSIBILITY									
40	Mandatory	Construction waste management plan							5.408.1.1	X	CONTRACTOR'S RESPONSIBILITY									
41	Mandatory	Waste management company							5.408.1.2	X	CONTRACTOR'S RESPONSIBILITY									
42	Mandatory	Waste stream reduction alternative							5.408.1.3	X	CONTRACTOR'S RESPONSIBILITY									
43	Mandatory	Documentation: Construction waste management plan, waste management company, waste stream reduction alternative							5.408.1.4	X	CONTRACTOR'S RESPONSIBILITY									
44	Mandatory	Universal waste (additions or alterations only)							5.408.2	X	NOT APPLICABLE									
45	Mandatory	Excavated soil and land clearing debris (100% reuse or recycle)							5.408.3	X	NOT APPLICABLE									
46	Mandatory	Enhanced construction waste reduction (80% diversion rate for projects ≥ \$25,000)							PAMC 16.14.370/ AS 5.408.3.1	X	CONTRACTOR'S RESPONSIBILITY									
47	Mandatory	Recycling by occupants							5.410.1	X	NOT APPLICABLE									
48	Mandatory	Recycling by occupants: Additions							5.410.1.1	X	NOT APPLICABLE									
49	Mandatory	Testing and adjusting for [N] buildings < 10,000 SF or new systems that serve additions or alterations [AA]							5.410.4	X	NOT APPLICABLE									
50	Mandatory	Testing and adjusting for systems: HVAC, lighting, water heating, renewable energy, landscape irrigation, and water reuse							5.410.4.2	X	NOT APPLICABLE									
51	Mandatory	Testing and adjusting: Procedures							5.410.4.3	X	NOT APPLICABLE									
52	Mandatory	Testing and adjusting: HVAC balancing							5.410.4.3.1	X	NOT APPLICABLE									
53	Mandatory	Testing, adjusting and balancing: Reporting for HVAC balancing							5.410.4.4	X	NOT APPLICABLE									
54	Mandatory	Operation and maintenance (O&M) manual							5.410.4.5	X	NOT APPLICABLE									
55	Mandatory	Inspection and reports [AA] • [N] < 10,000 SF							5.410.4.5.1	X	NOT APPLICABLE									
56	Mandatory	Performance reviews- Water (sides > 1 acre)							PAMC 16.14.400/ 5.410.4.8	X	NOT APPLICABLE									

								Compliance Path Verification										
								Plan Check		Rough GB Inspection IWR # 112		Final Inspection IWR # 974						
												Part 1		Part 1		Part 2		
								CORR	INITIAL	CORR	INITIAL	CORR	INITIAL	CORR	INITIAL	CORR	INITIAL	
5.5 Environmental Quality								Section	Y	N	Plan Sheet, Spec or Attachment Reference							
57	Mandatory	Fleecelaps					5.503.1	X	NOT APPLICABLE									
58	Mandatory	Temporary ventilation (MERV 8)					5.504.1.3	X	CONTRACTOR'S RESPONSIBILITY									
59	Mandatory	Covering of duct openings and protection of mechanical equipment during construction					5.504.3	X	CONTRACTOR'S RESPONSIBILITY									
60	Mandatory	Adhesives, sealants and caulks: Comply with VOC limits (Table 5.504.4.1 and 5.504.4.2)					5.504.4.1	X	CONTRACTOR'S RESPONSIBILITY									
61	Mandatory	Paints and Coatings: Comply with VOC Limits (Table 5.504.4.3)					5.504.4.3	X	CONTRACTOR'S RESPONSIBILITY									
62	Mandatory	Carpet systems: Carpet cushion					5.504.4.4.1	X	NOT APPLICABLE									
63	Mandatory	Carpet systems: Carpet adhesive					5.504.4.4.2	X	NOT APPLICABLE									
64	Mandatory	Composite wood products: Formaldehyde limits (Table 5.504.4.5)					5.504.4.5	X	NOT APPLICABLE									
65	Mandatory	Composite wood products: Documentation					5.504.4.5.3	X	NOT APPLICABLE									
66	Mandatory	Filers: Labeling (MERV 8)					5.504.5.3	X	NOT APPLICABLE									
67	Mandatory	Environmental tobacco smoke (ETS) control					5.504.7	X	NOT APPLICABLE									
68	Mandatory	Outside air delivery (For Indoor Air Quality)					5.506.1	X	NOT APPLICABLE									
69	Mandatory	Carbon dioxide (CO2) monitoring (For Indoor Air Quality)					5.506.2	X	NOT APPLICABLE									
70	Mandatory	Acoustical control (STC Values per ASTM E90 and ASTM E413)					5.507.4	X	NOT APPLICABLE									
71	Mandatory	Exterior noise transmission, prescriptive method					5.507.4.1	X	NOT APPLICABLE									
72	Mandatory	Exterior noise transmission, performance method					5.507.4.2	X	NOT APPLICABLE									
73	Mandatory	Interior sound transmission					5.507.4.3	X	NOT APPLICABLE									
74	Mandatory	Ozone depletion and greenhouse gas reductions					5.508.1	X	NOT APPLICABLE									
75	Mandatory	Chlorofluorocarbons					5.508.1.1	X	NOT APPLICABLE									
76	Mandatory	Halons					5.508.1.2	X	NOT APPLICABLE									
77	Mandatory	Supermarket refrigerant leak reduction					5.508.2	X	NOT APPLICABLE									
78	Mandatory	Refrigerant piping					5.508.2.1	X	NOT APPLICABLE									
79	Mandatory	Refrigerant piping valves					5.508.2.2	X	NOT APPLICABLE									
80	Mandatory	Refrigerant piping access valves					5.508.2.2.2	X	NOT APPLICABLE									
81	Mandatory	Refrigerated service case					5.508.2.3	X	NOT APPLICABLE									
82	Mandatory	Refrigerant receivers					5.508.2.4	X	NOT APPLICABLE									
83	Mandatory	Pressure testing					5.508.2.5	X	NOT APPLICABLE									
84	Mandatory	Evacuation (after pressure testing)					5.508.2.6	X	NOT APPLICABLE									

Legend:
Y - Yes; the measure is selected as mandatory
N - No; the measure is not selected as an elective
[N] - New Construction

Instructions:

The [Green Building Survey](#) is a required project submittal. The survey can be found at the following [link](#). The survey shall be completed on Survey Monkey and a screenshot shall be included on a separate page in this plan set. Please indicate the reference page here _____.

The [Energy Star Benchmark Portfolio profile](#) is a required project submittal. The profile can be found at the following [link](#). The portfolio profile shall be opened and a screenshot shall be included on a separate page in this plan set. Please indicate the reference page here _____.

Project Address:

2016 CALIFORNIA GREEN BUILDING CODE- MANDATORY CHECKLIST

GB-1

MANDATORY

A0.3

2016 NONRESIDENTIAL GREEN BUILDING APPLICATION **CALGREEN MANDATORY**

Version 07/18

Application: This sheet shall be used for nonresidential projects that meet one of the following AND does not trigger Tier 1 or Tier 2 requirements: 1) Tenant improvements, renovations or alterations less than 5,000 SF with a permit value of \$200,000 or more.



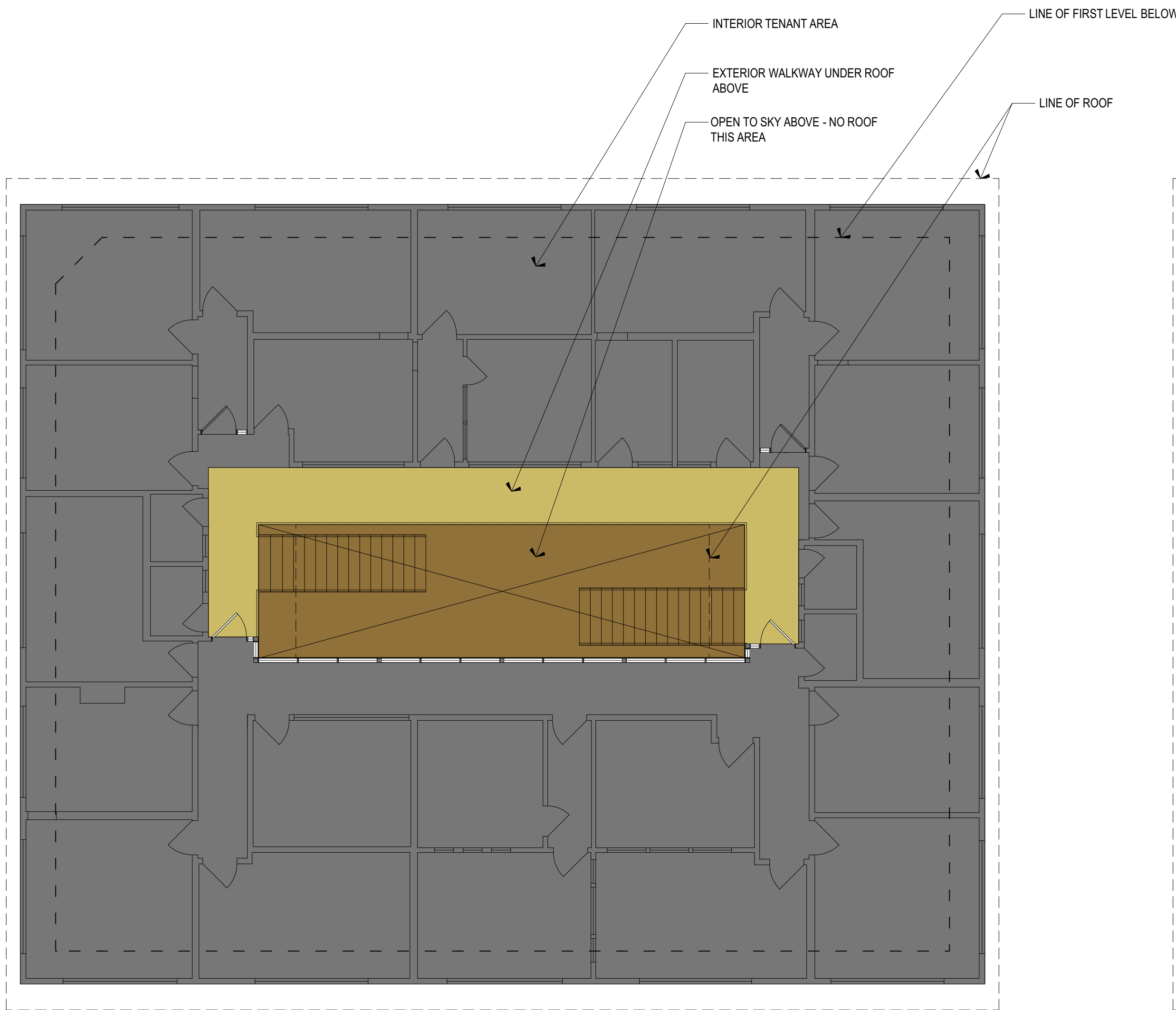
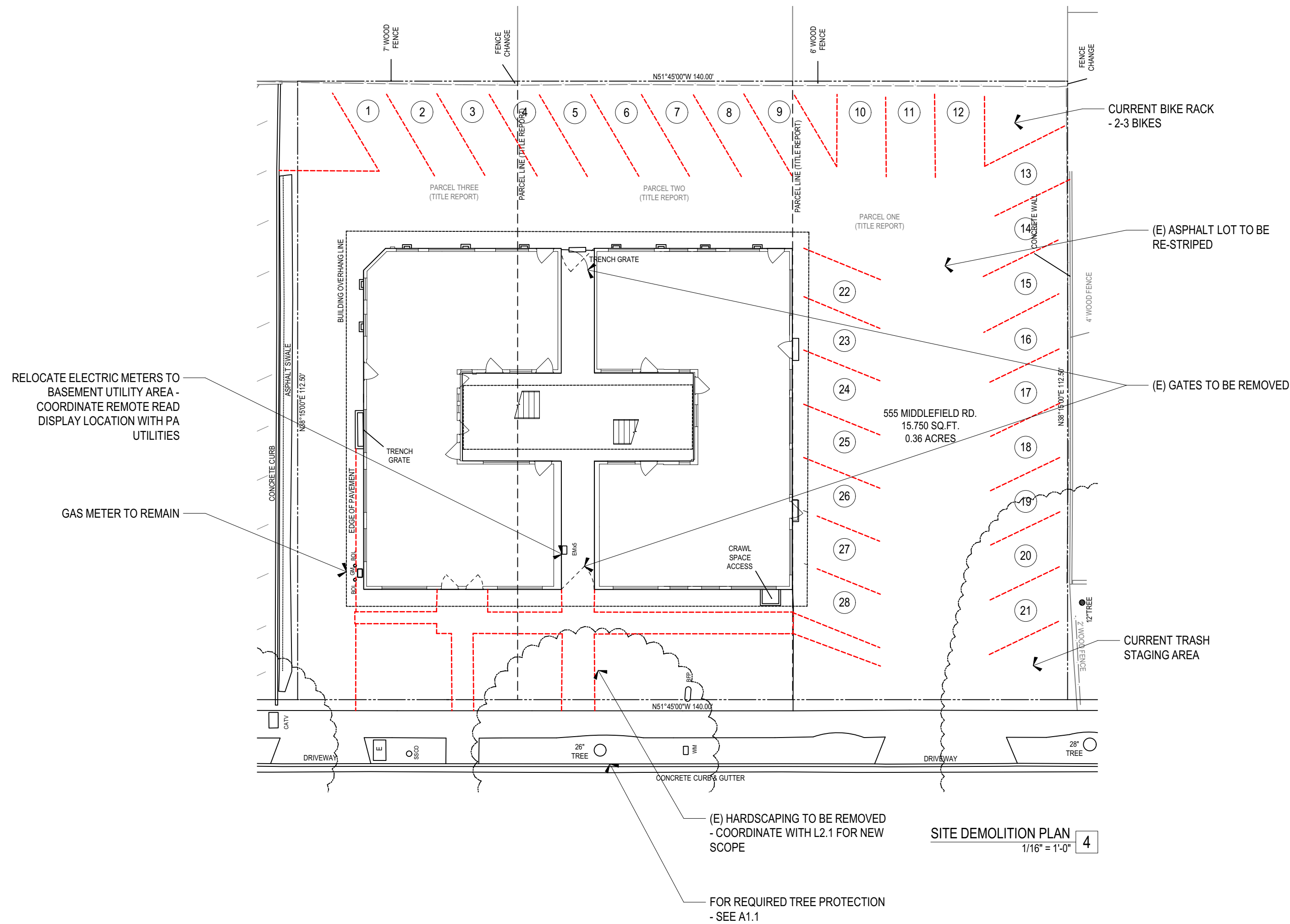
<http://www.bsc.ca.gov/Home/CALGreen.aspx>

<https://www.cityofpsosito.org/civicax/filebank/documents/5497>

http://www.cityofpalmdale.org/cow/depts/ds/green_building/default.asp

<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%202023%20extract%20-%20Official%20CCR%20pages.pdf>

Exterior Improvements at:
555 Middlefield Road
Palo Alto, California

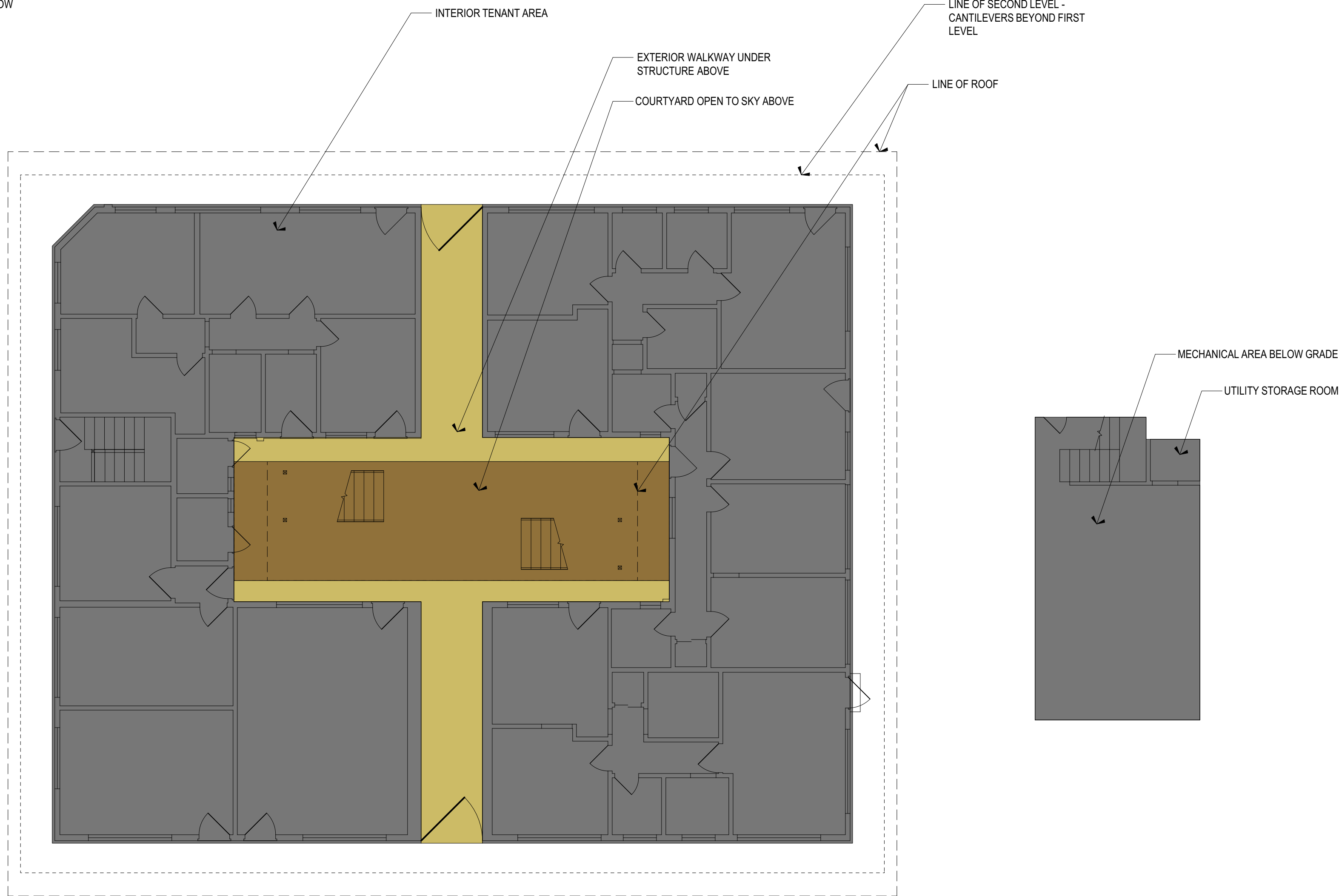


EXISTING SECOND LEVEL PLAN
1/8" = 1'-0"

ENCLOSED AREA
4,934.6 SF

COVERED AREA
351.5 SF

OPEN COURTYARD
497.3 SF



EXISTING FIRST LEVEL PLAN
1/8" = 1'-0"

ENCLOSED AREA
3,932.1 SF

COVERED AREA
467.3 SF

OPEN COURTYARD
497.3 SF

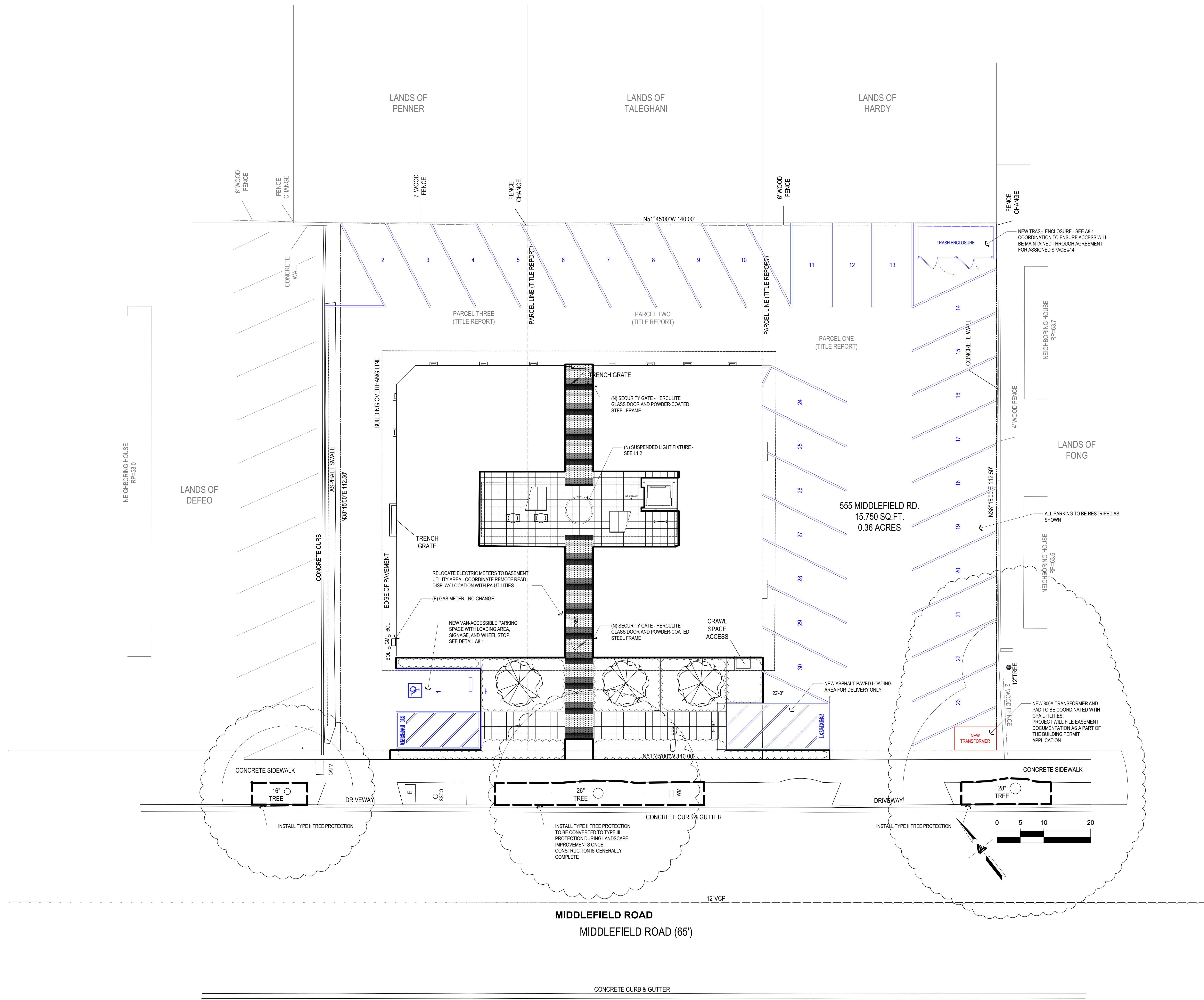
EXISTING BASEMENT PLAN
1/8" = 1'-0"

ENCLOSED AREA
467.5 SF

NO CHANGE IN BUILDING AREA OR LOT COVERAGE IS PROPOSED

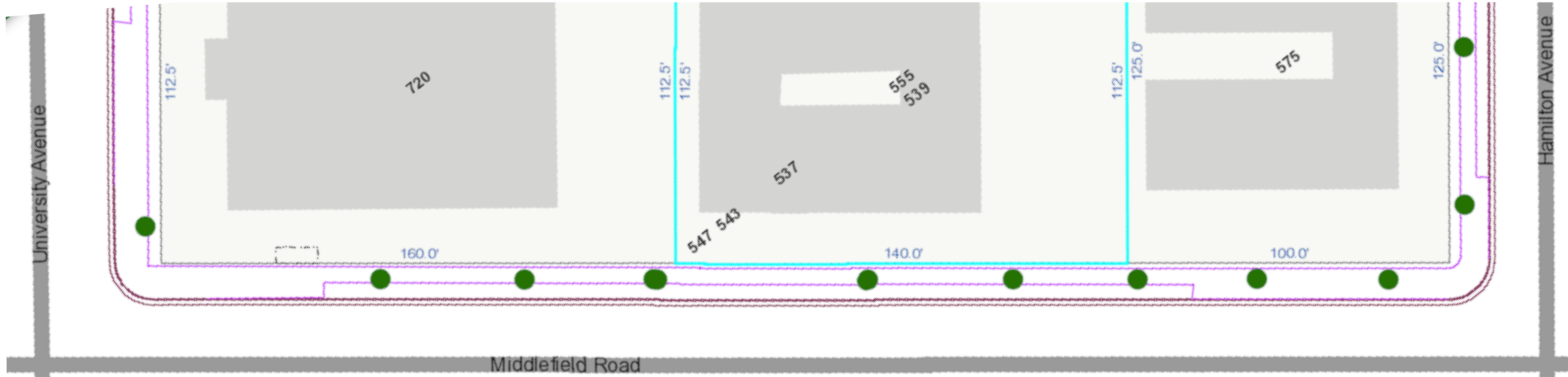


Exterior Improvements at:
555 Middlefield Road
Palo Alto, California



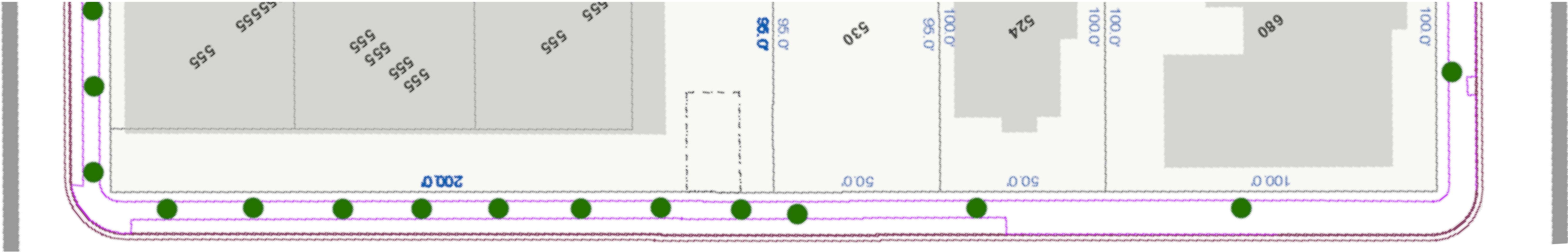


Exterior Improvements at:
555 Middlefield Road
Palo Alto, California



555 MIDDLEFIELD ROAD - PROPERTY TO BE IMPROVED

NORTH SIDE OF MIDDLEFIELD ROAD - 500 BLOCK 1



SOUTH SIDE OF MIDDLEFIELD ROAD - 500 BLOCK 2

ISSUE	DATE
ARB SUBMISSION	16 DEC 2019

A1.2



EAST SIDE



NORTHEAST CORNER



NORTH SIDE



NORTHWEST CORNER



SOUTHWEST CORNER



SOUTH SIDE - FACING MIDDLEFIELD ROAD

PAINTED WOOD TRIM, TYP.

EXPOSED MASONRY UNIT BLOCK

WINDOW MOUNTED AC UNIT, TYP.

PAINTED WOOD FACIA

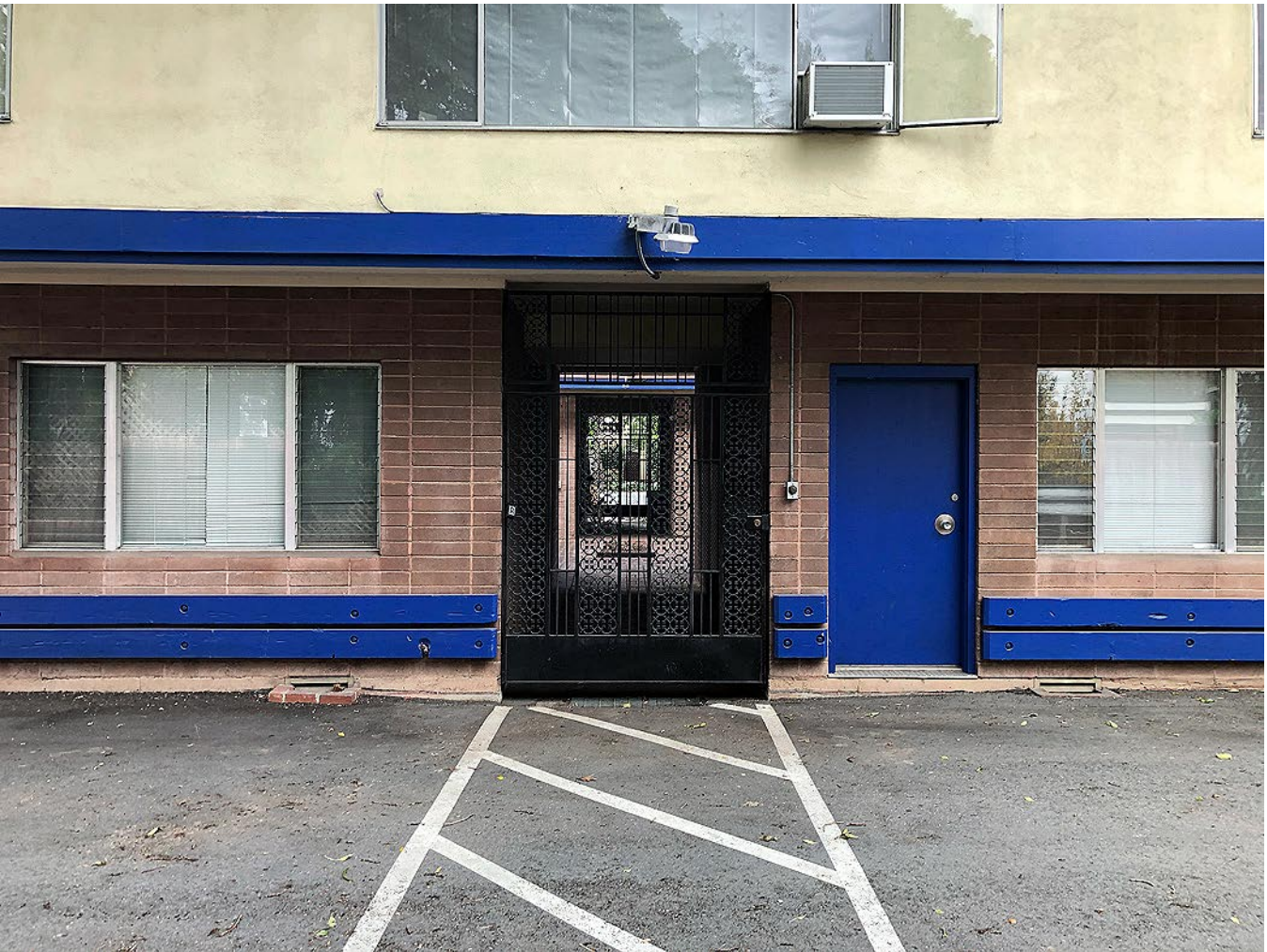
CEMENT PLASTER

SINGLE-PANE ALUMINIUM FRAME WINDOW, TYP.

JALOUSE GLASS PANEL, TYP.



TYPICAL CANTILEVER SOFFIT



NORTH (REAR) ENTRY CORRIDOR GATE



NORTH (REAR) ENTRY CORRIDOR GATE/TRENCH GRATE



NORTH (REAR) ENTRY CORRIDOR



SOUTH (FRONT) ENTRY CORRIDOR



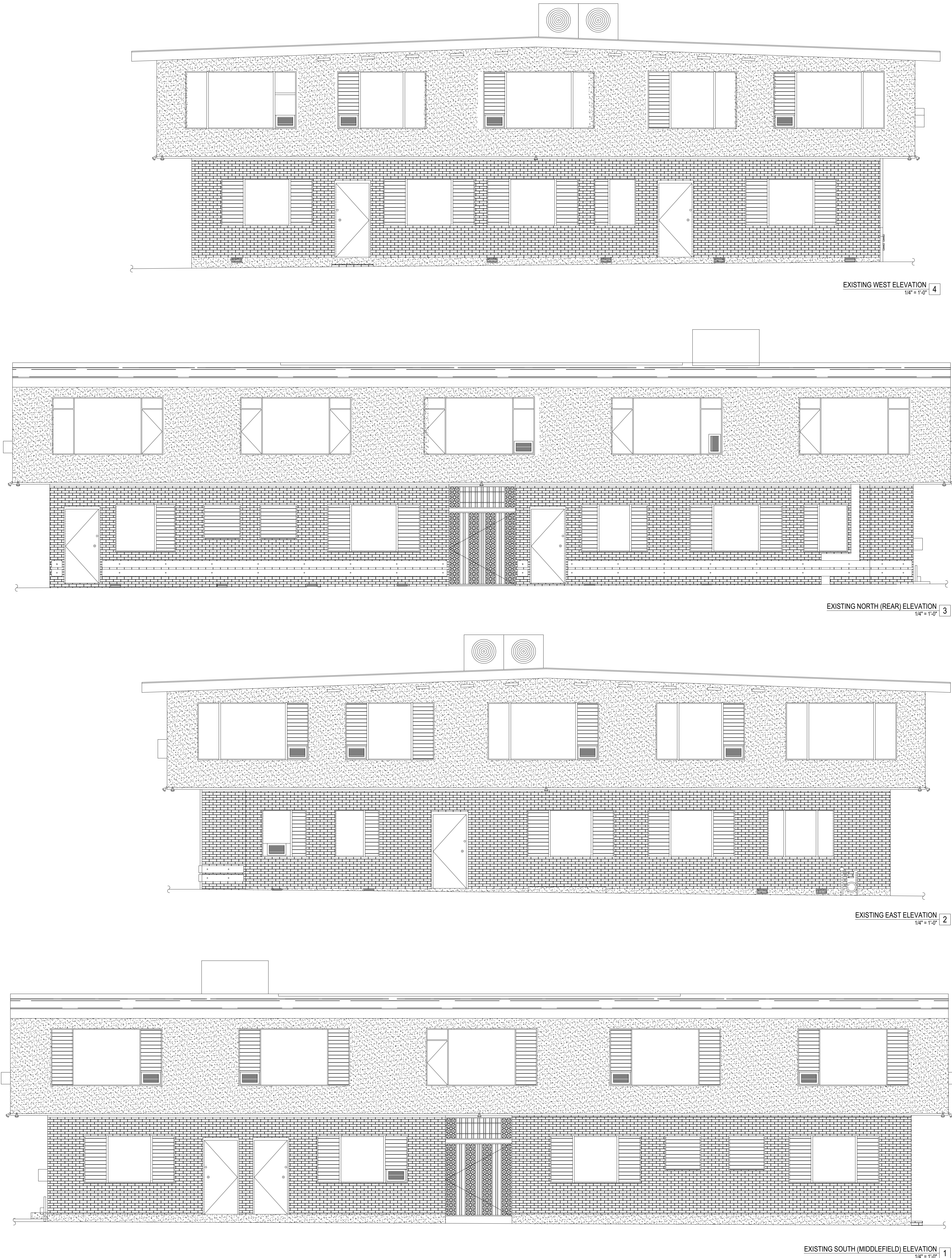
Exterior Improvements at:
555 Middlefield Road
Palo Alto, California



Exterior Improvements at:
555 Middlefield Road
Palo Alto, California

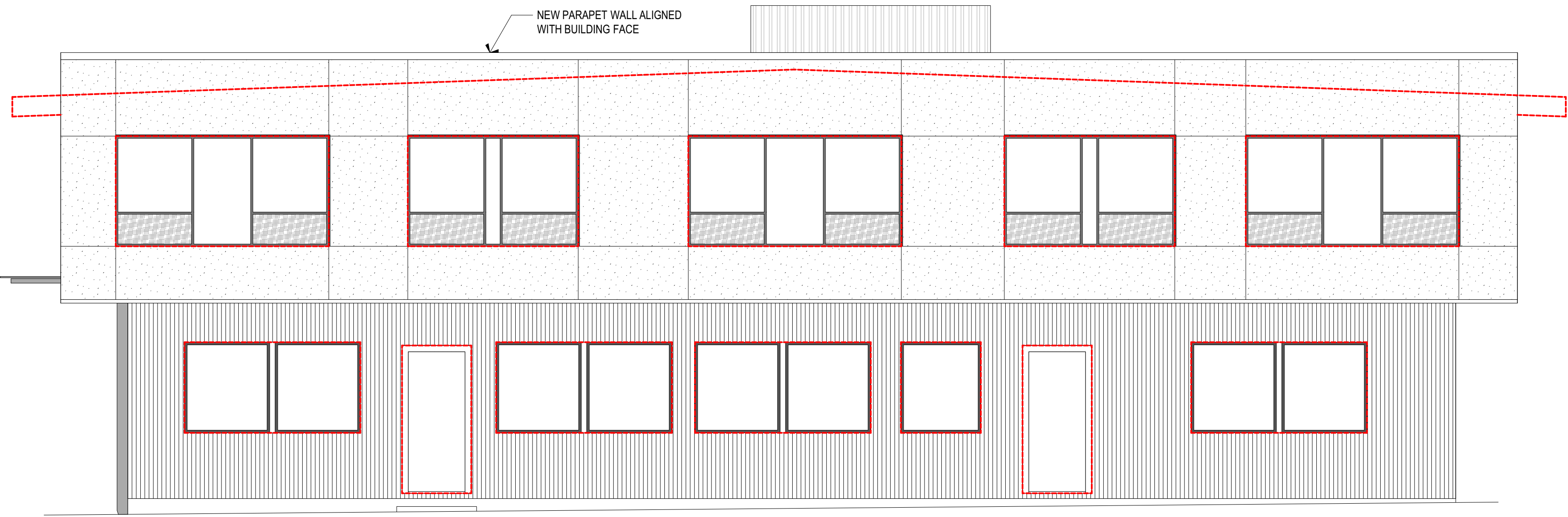
ISSUE	DATE
ARB SUBMISSION	16 DEC 2019

A3.1

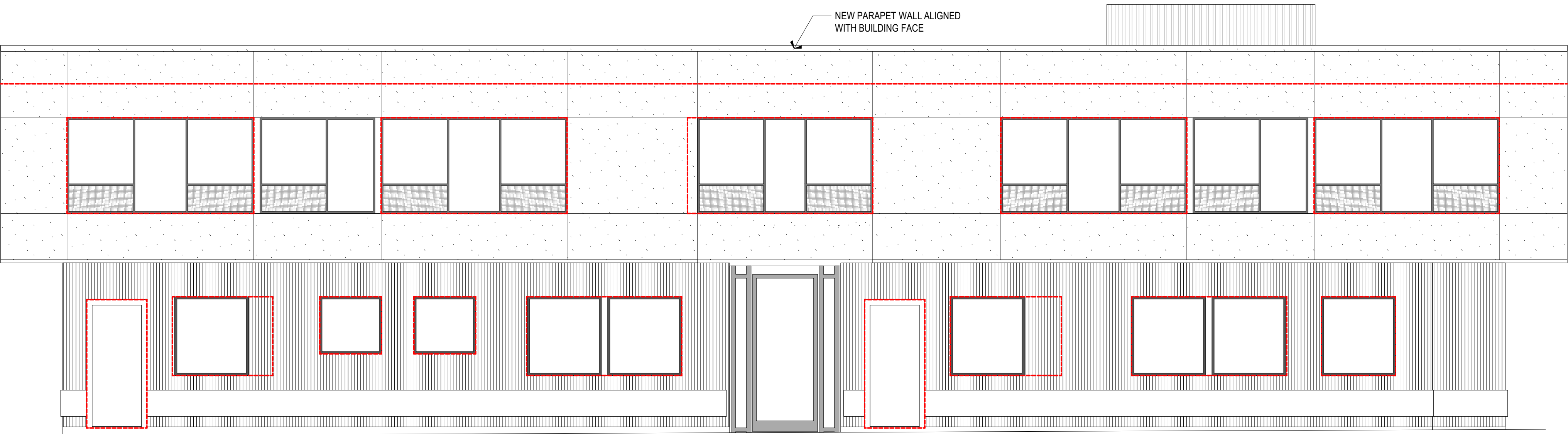




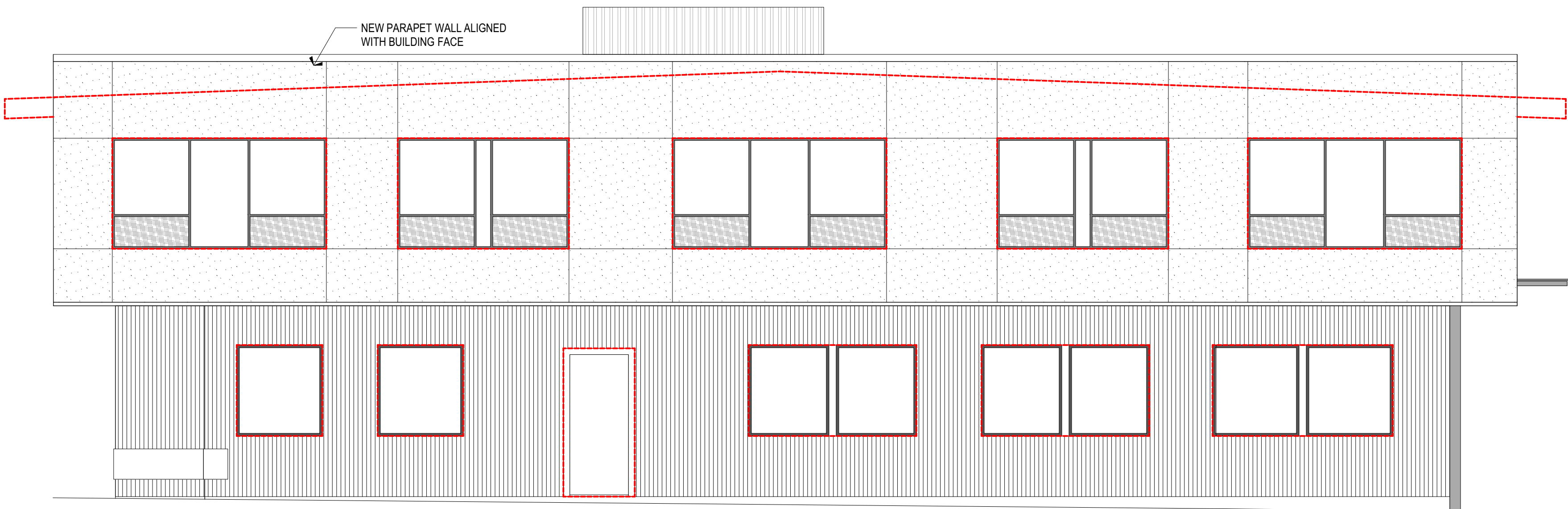
Exterior Improvements at:
555 Middlefield Road
Palo Alto, California



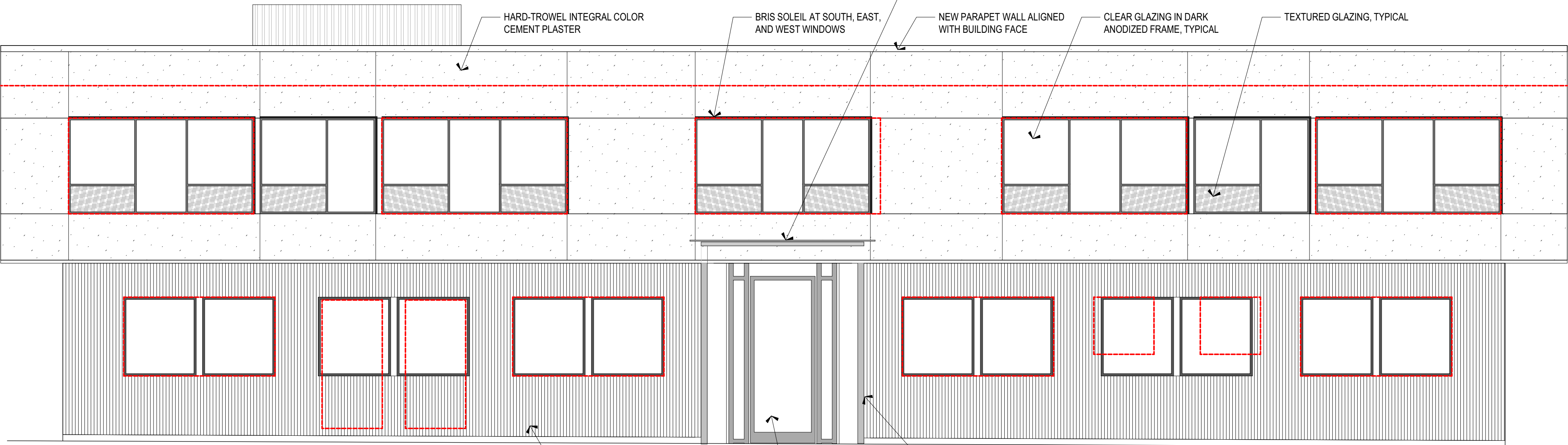
PROPOSED WEST ELEVATION
1/4" = 1'-0" 4



PROPOSED NORTH (REAR) ELEVATION
1/4" = 1'-0" 3



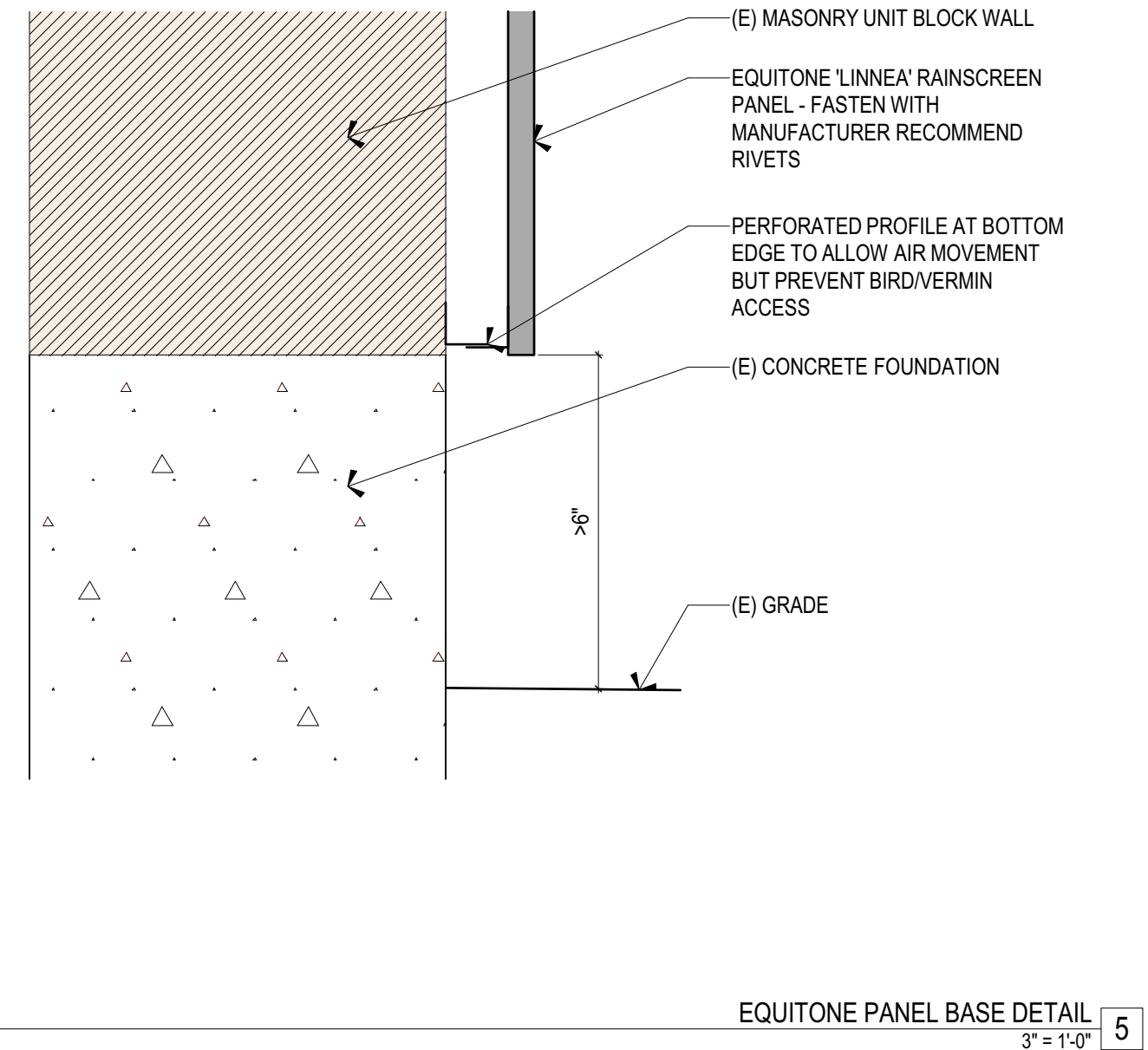
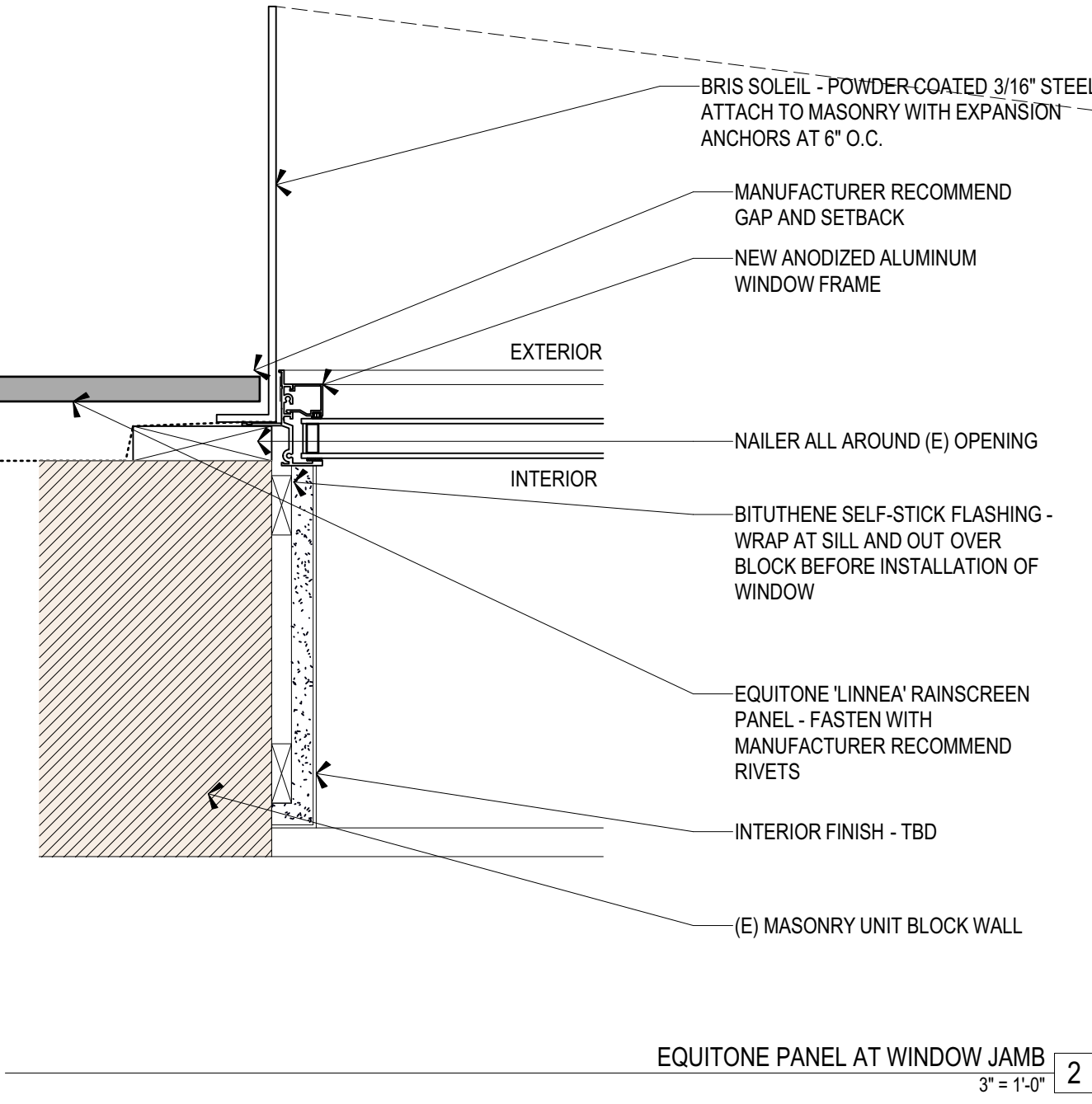
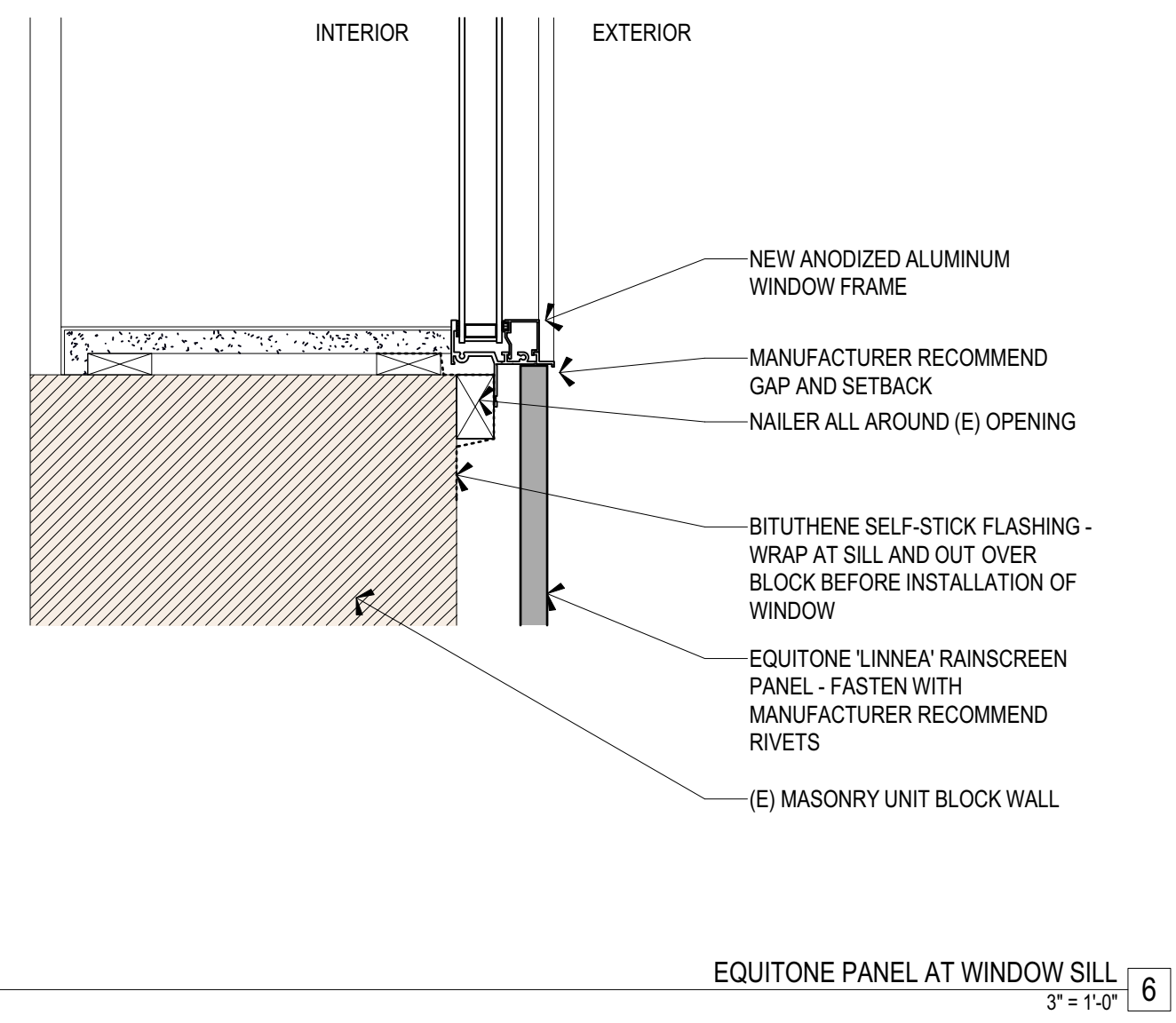
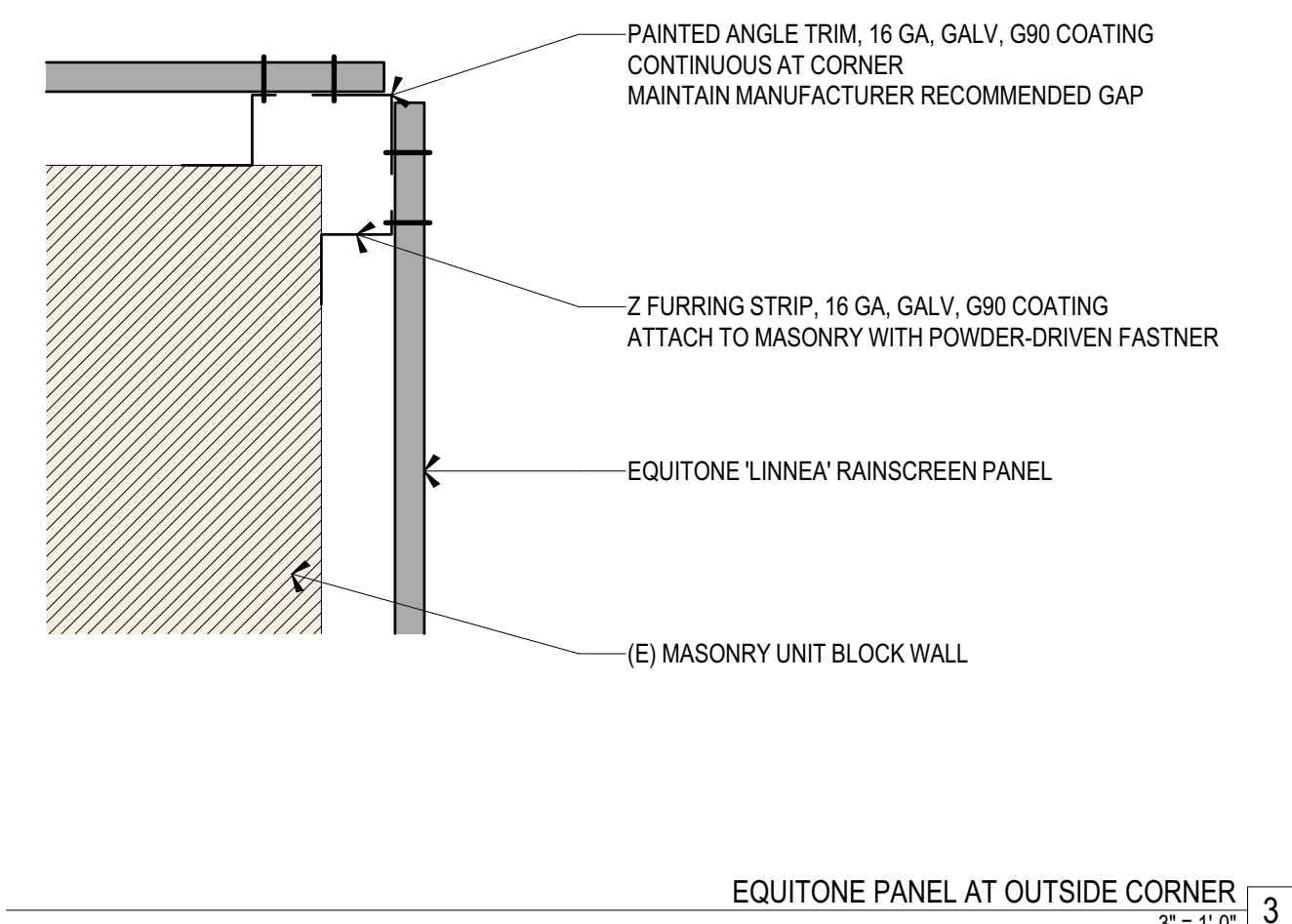
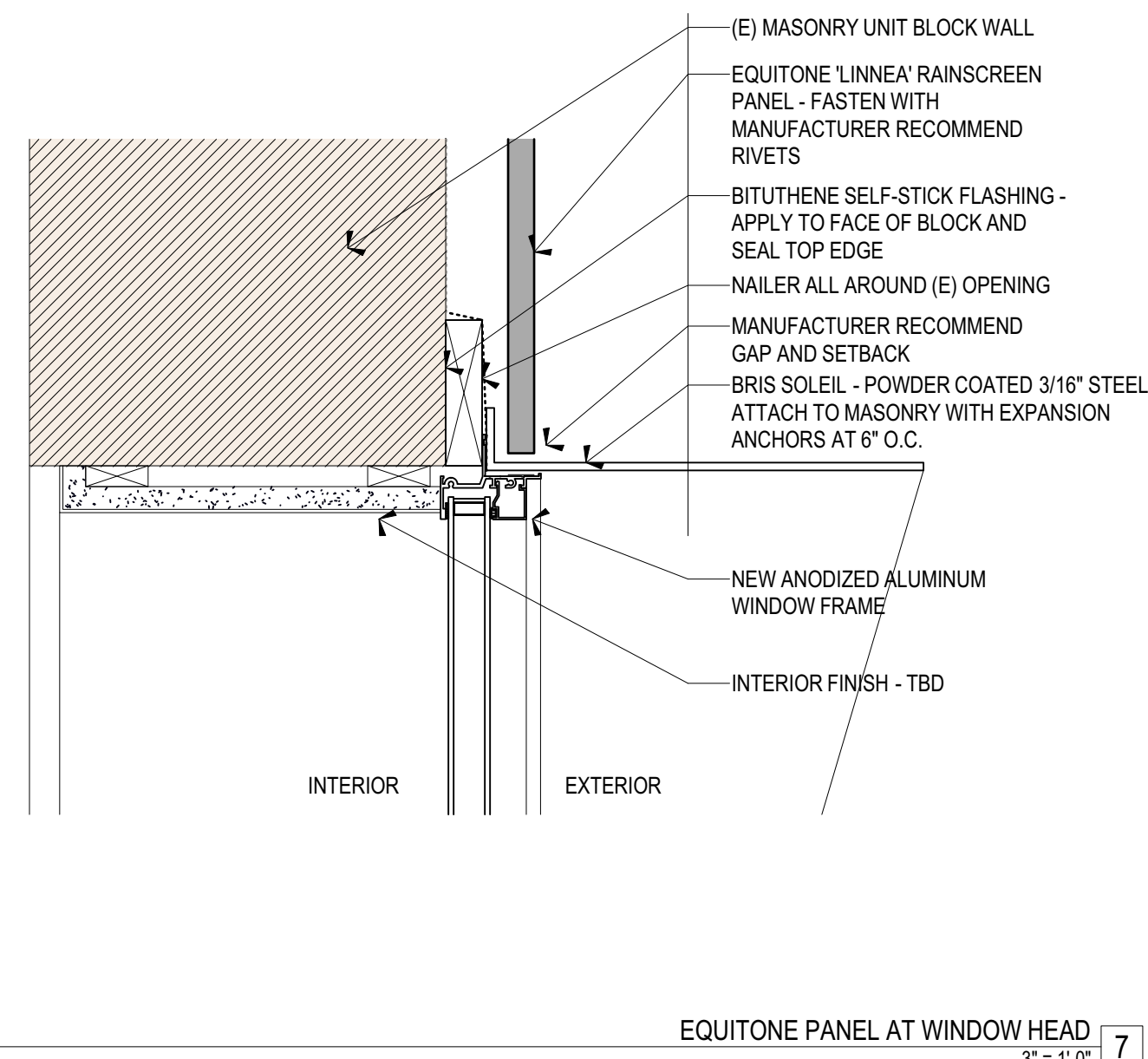
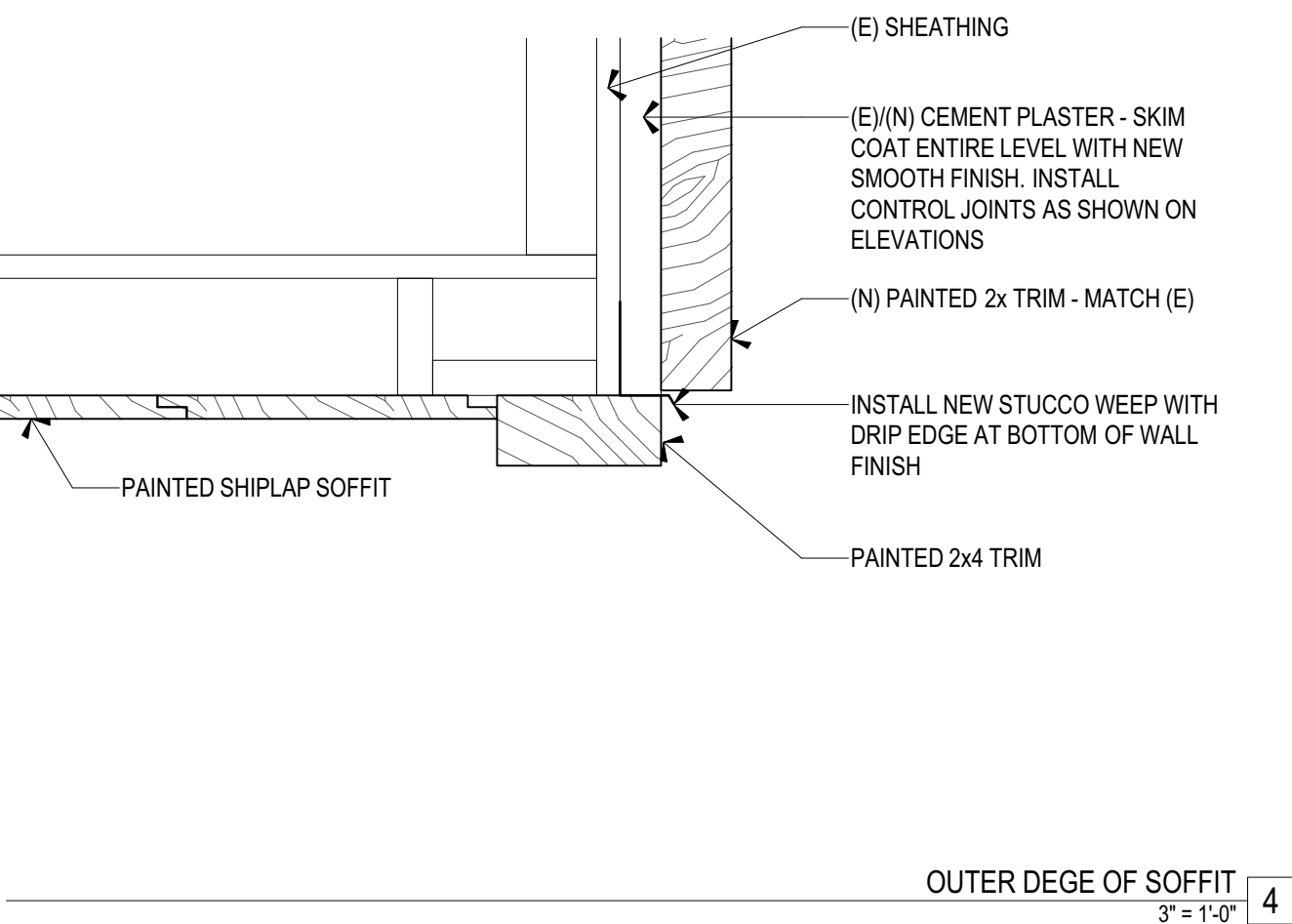
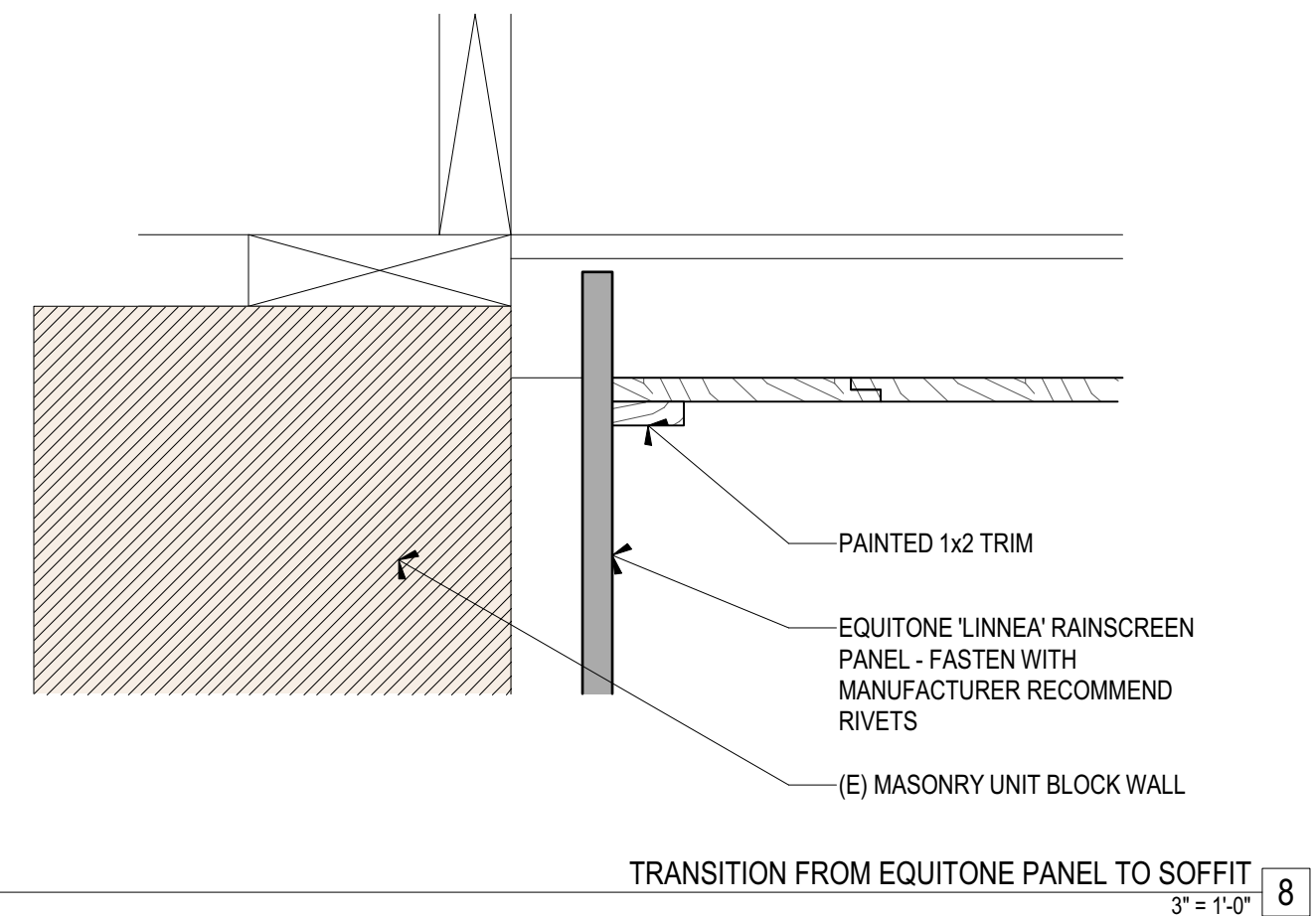
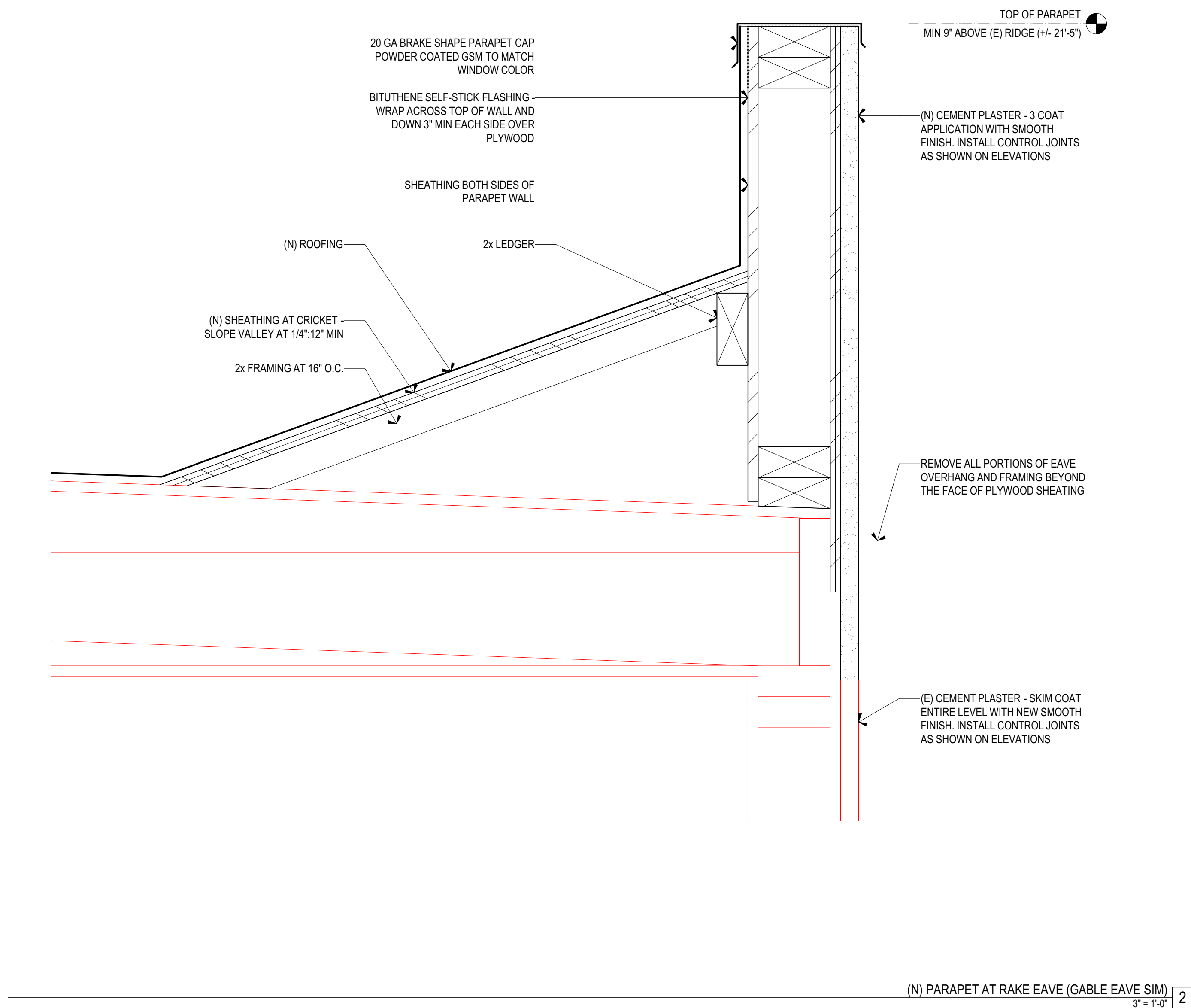
PROPOSED EAST ELEVATION
1/4" = 1'-0" 2



PROPOSED SOUTH (STREET FACING) ELEVATION
1/4" = 1'-0" 1

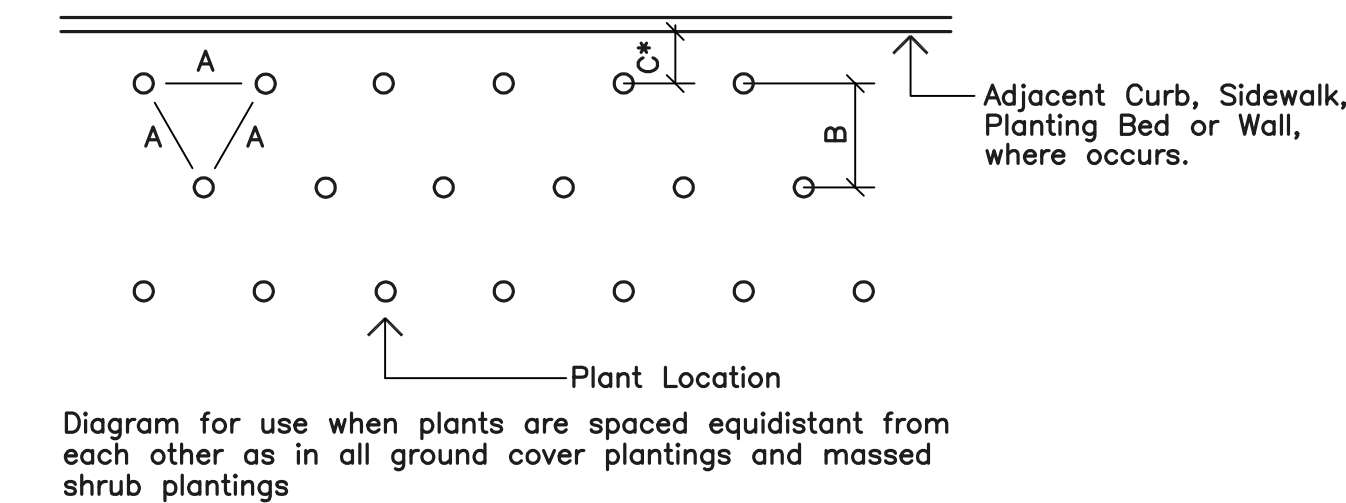
Exterior Improvements at:
555 Middlefield Road
Palo Alto, California

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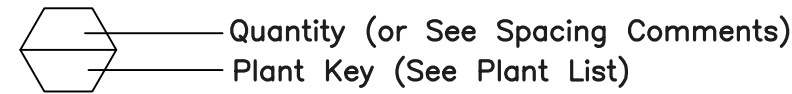


ISSUE	DATE
ARB SUBMISSION	16 DEC 2019

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL

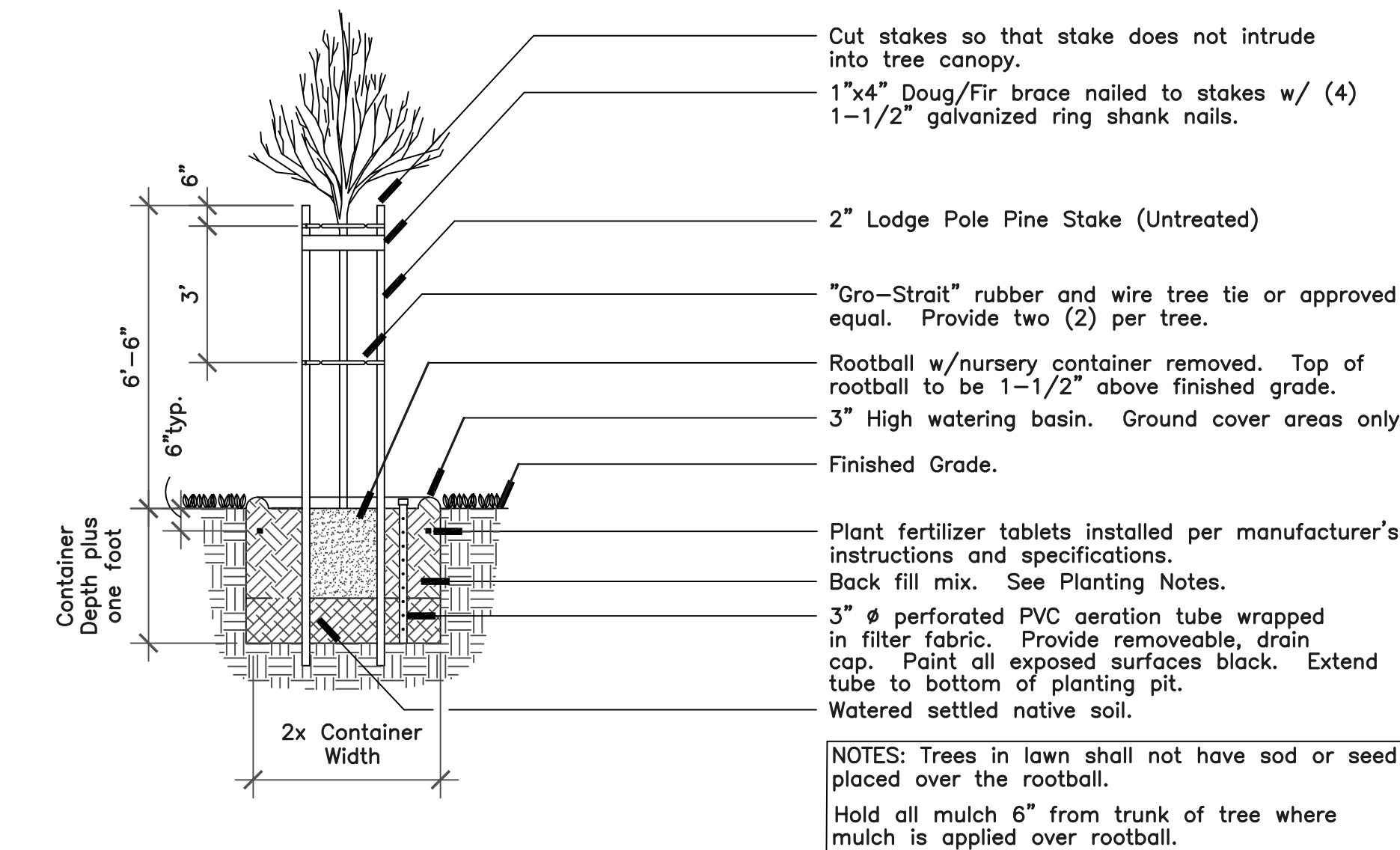


PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

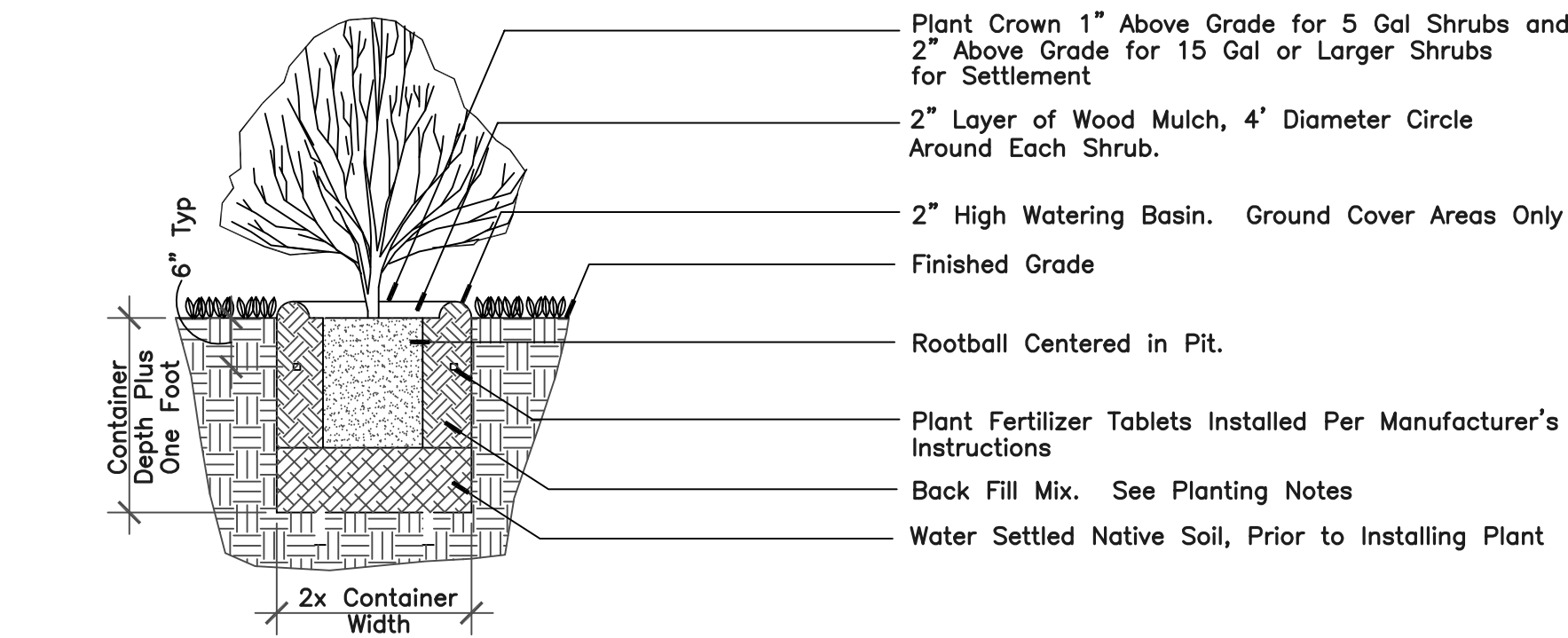
* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.



NOTES: Trees in lawn shall not have sod or seed placed over the rootball.
Hold all mulch 6" from trunk of tree where mulch is applied over rootball.

Tree Staking Diagram w/Aeration Tube

Not to Scale



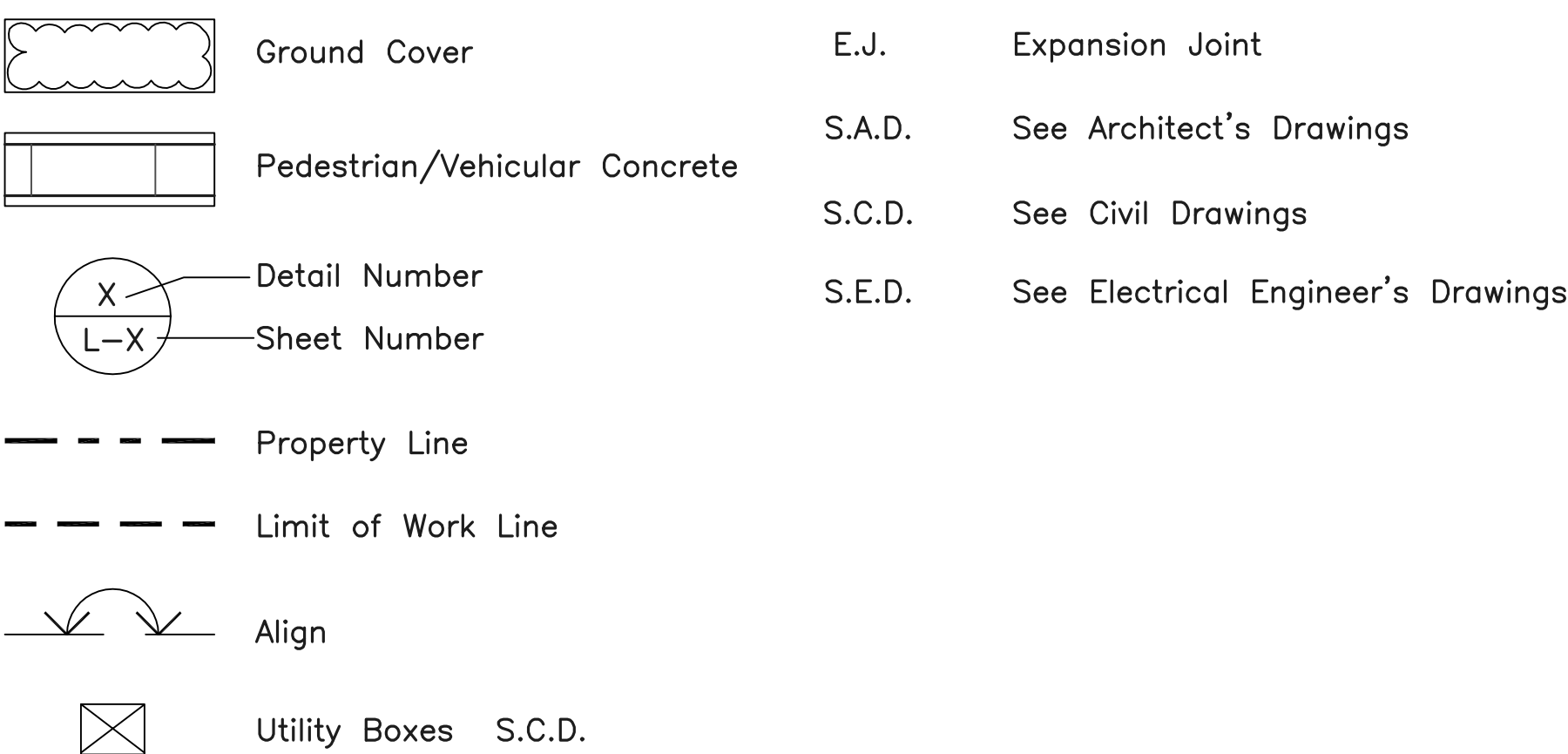
Shrub Planting Detail

Not to Scale

PLANTING NOTES

- THE FOLLOWING SIX (6) NOTES ARE FOR BIDDING PURPOSES ONLY
- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
 - Assume 15 gallon plant for any unlabelled or un-sized tree; 5 gallon plant for any unlabelled or un-sized shrub; and 4" pots @ 12" o.c. (not flats) for any unlabelled ground cover. All planting beds, except for lawns, are to receive ground cover plant installation in addition to the shrubs and trees shown on the plans.
 - The new planting areas shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
 - All new planting areas are to receive Super Humus Compost by BFI (408.945.2844; www.bfi.com) at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
 - Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil.
 - The General Contractor is to provide an agricultural suitability analysis for on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
 - All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
 - Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
 - All trees are to be staked as shown in the staking diagrams.
 - All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
 - Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
 - The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
 - All planting areas, including pots but not lawns areas, shall be top-dressed with a 3" layer of Pro-Chip Decorative Mulch in Black by BFI Organics, 408.945.2844. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from tree trunks where mulch is applied over the rootball of tree.
 - Trees shall be planted to anticipate settlement.
 - Plant material requiring iron supplements shall have chelated iron foliar feeding applications per manufacturer's specifications. See specifications for materials.
 - The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
 - The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$2,000,000 (2 Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.
 - The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
 - The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
 - The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.

SCHEMATIC PLAN LEGEND



LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect and Owner for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, or as field adjusted under the direction of the Landscape Architects.
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, or as field adjusted under the direction of the Landscape Architect.

COLOR AND FINISH SCHEDULE

PEDESTRIAN CONCRETE PAVING
Type 1 Natural grey concrete with light sandblast finish, per City's Standard.

PEDESTRIAN UNIT PAVING
Acker-Stone, www.ackerstone.com, 951.674.0047
Type 1 12x24, Running Bond Pattern. Color: Stanford Sand with Seashells FM

Type 2 4x24, No Chamfer, 2' Wide Alternate Running Bond Pattern. Color: 30% Light Moonstone, 30% Stanford Sand F.M. Standard Finish, 40% Slate with Blue Agg. FM & Grind.

SITE FURNITURE
Mingle 2 Seats, metallic silver finish, by Landscape Forms, www.landscapeforms.com, Contact: Rebecca Casey, 800.430.6206 x 1313. Chair Qty: 2.

BIKE RACK
FGP Bike Rack, metallic silver finish, by Landscape Forms, www.landscapeforms.com, Contact: Rebecca Casey, 800.430.6206 x 1313. Qty: 1.

HANGING LIGHT SCULPTURE
Aura-Ring, Exterior Illuminated Wood Pedant, by Structura, 913.390.8787, structura.com. Qty: 1.

SHEET INDEX

L-1.1 General Notes, Legend and Planting Notes
L-1.2 Planting Palette and Imagery

L-2.1 Layout Plan
L-3.1 Planting Plan
L-4.1 Tree Disposition Plan

L-5.1 Landscape Details

Randolph Popp
ARCHITECT

650.427.0026
info@rp-arch.com



THE
GUZZARDO
PARTNERSHIP INC.
Landscape Architects • Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5003

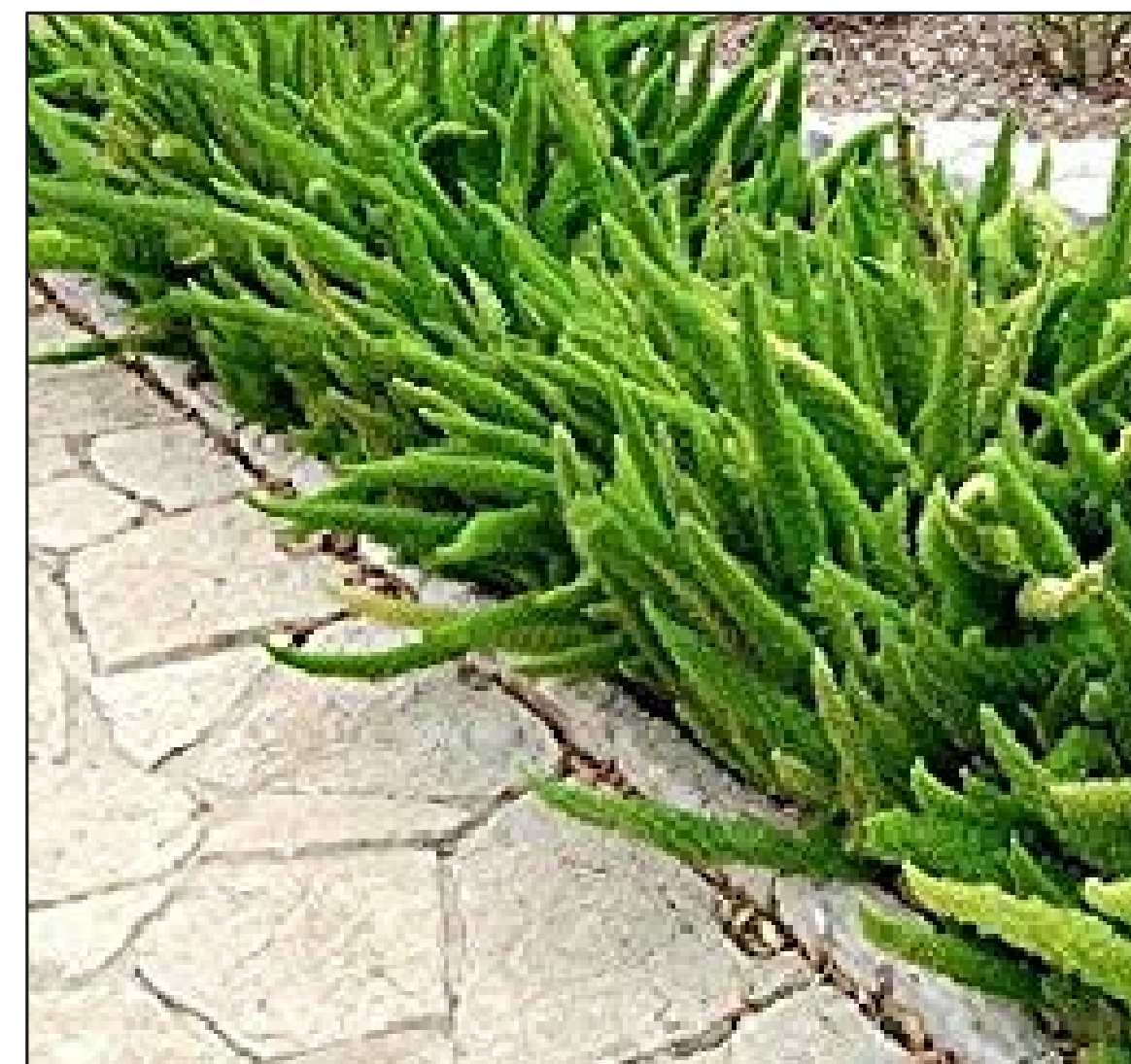
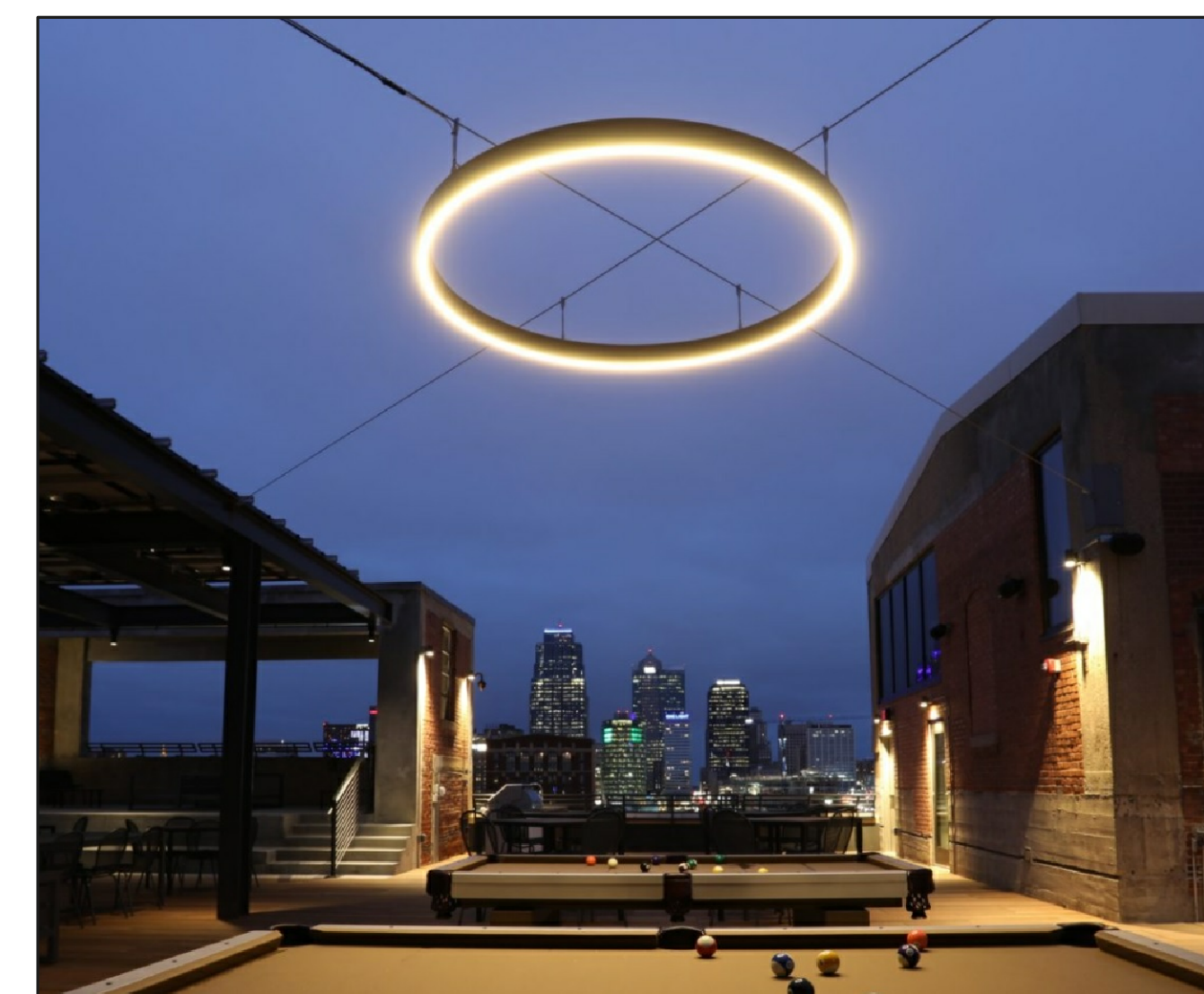
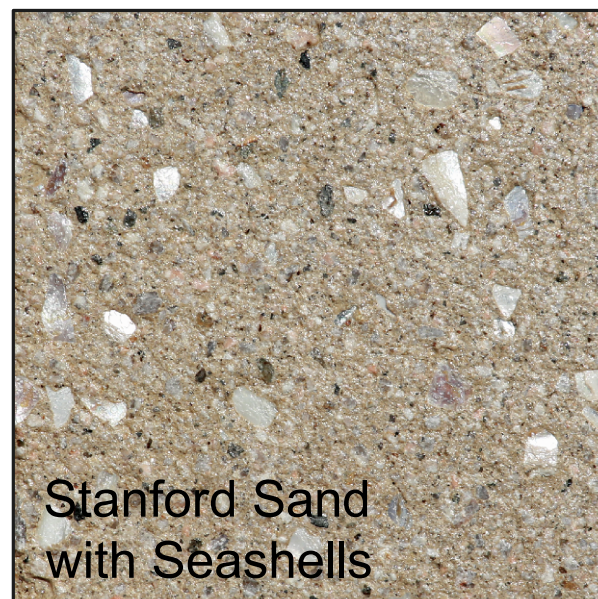


Exterior Improvements at:
555 Middlefield Road
Palo Alto, California

ISSUE DATE
ARB SUBMITTAL 13 DEC 2019

L1.1

GENERAL NOTES, LEGEND
AND PLANTING NOTES



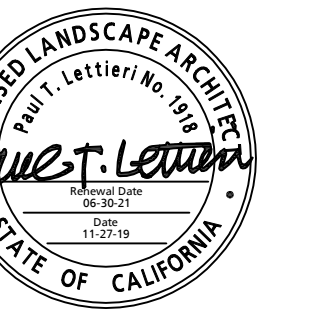
PLANT PALETTE

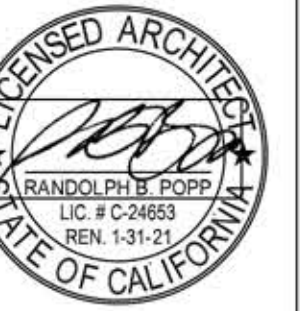
TREES	(24" Box unless noted otherwise)				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	COMMENTS/SPACING	WUCOLS
TIB URV	3-24" BOX	Tibouchina urvilleana	Princess Flower		Medium

Juniperus virginiana 'Skyrocket'

SHRUBS	(5 gallon unless noted otherwise)				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	COMMENTS/SPACING	WUCOLS
ABC	39	Anigazanthos 'Gold Velvet'	Gold Kangaroo Paw	24" o.c.	Low
ABC	34	Asparagus 'Meyer'	Foxtail Fern	24" o.c.	Low
HES	—	Helictotrichon sempervirens	Blue Oat Grass	30" o.c.	Low
CHO	11	Chondropetalum tectorum	Small Cape Rush	36" o.c.	Low
LIB	—	Libertia peregrinans	Orange Libertia	18" o.c.	Low
CAR	50	Carex divulsa	Berkeley Sedae	18" o.c.	Low

- Plants with low WUCOLS ratings are drought tolerant and regionally appropriate species. Plants noted with N are also Native to California. Other plants, not in either of these two categories are well adapted to Palo Alto.
- Do not use chemical fertilizers, pesticides, herbicides or commercial soil amendment. Use Organic Materials Review Institute (OMRI) materials and compost. Refer to the Bay-Friendly Landscape Guidelines: <http://www.stopwaste.org/resource/brochures/bay-friendly-landscape-guidelines-sustainable-practices-landscape-professional-for-guidance>
- Avoid compacting soil in areas that will be unweaved.





THE
**GUZZARDO
PARTNERSHIP INC.**
Landscape Architects • Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5003

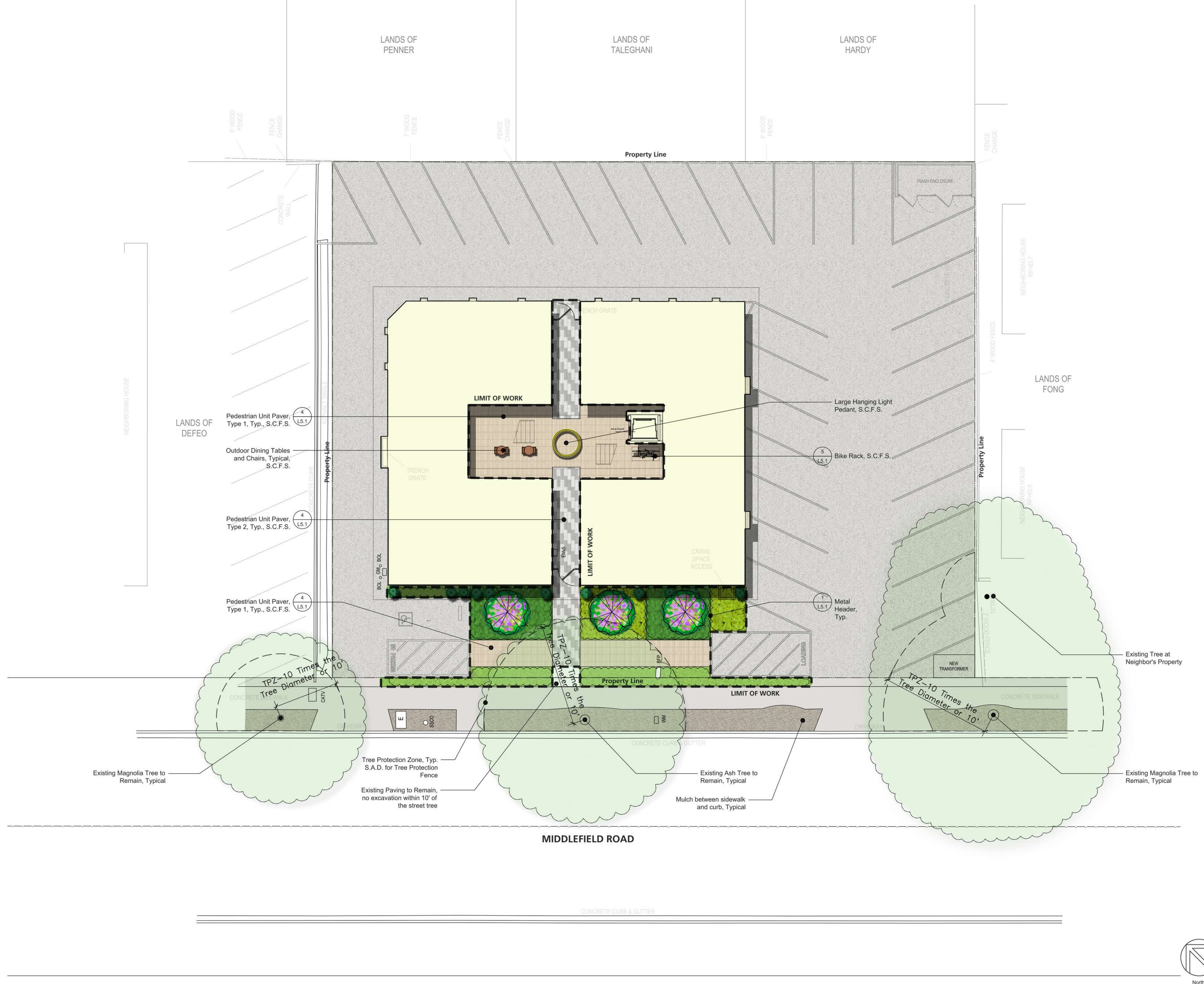


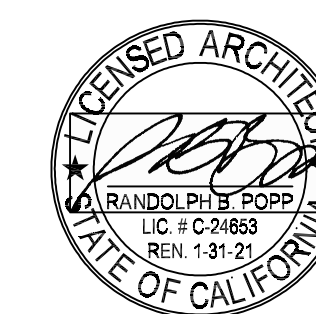
Exterior Improvements at:
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Palo Alto, California

ISSUE DATE
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L2.1

LAYOUT PLAN





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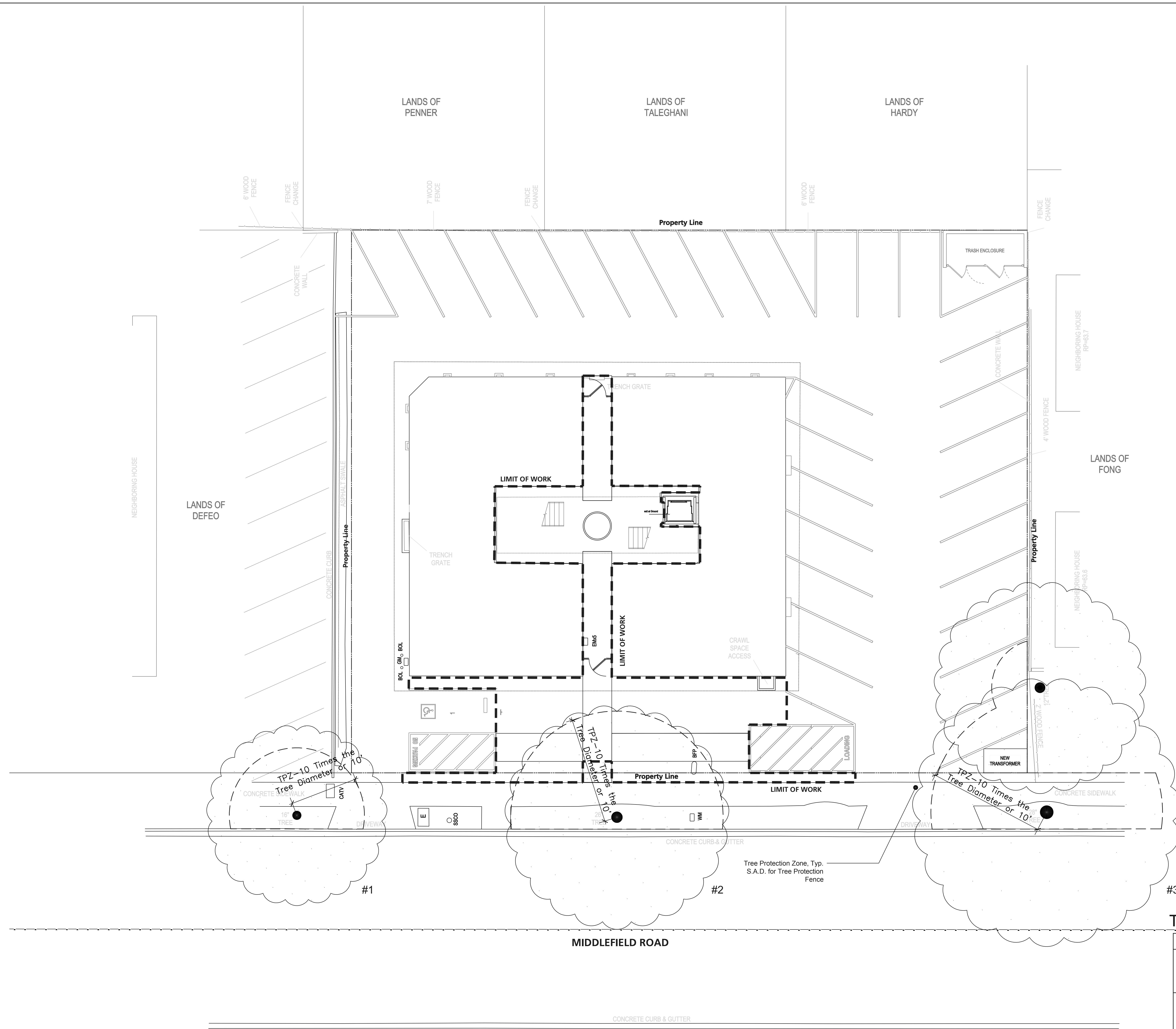
TREE DISPOSITION LEGEND

Notes:

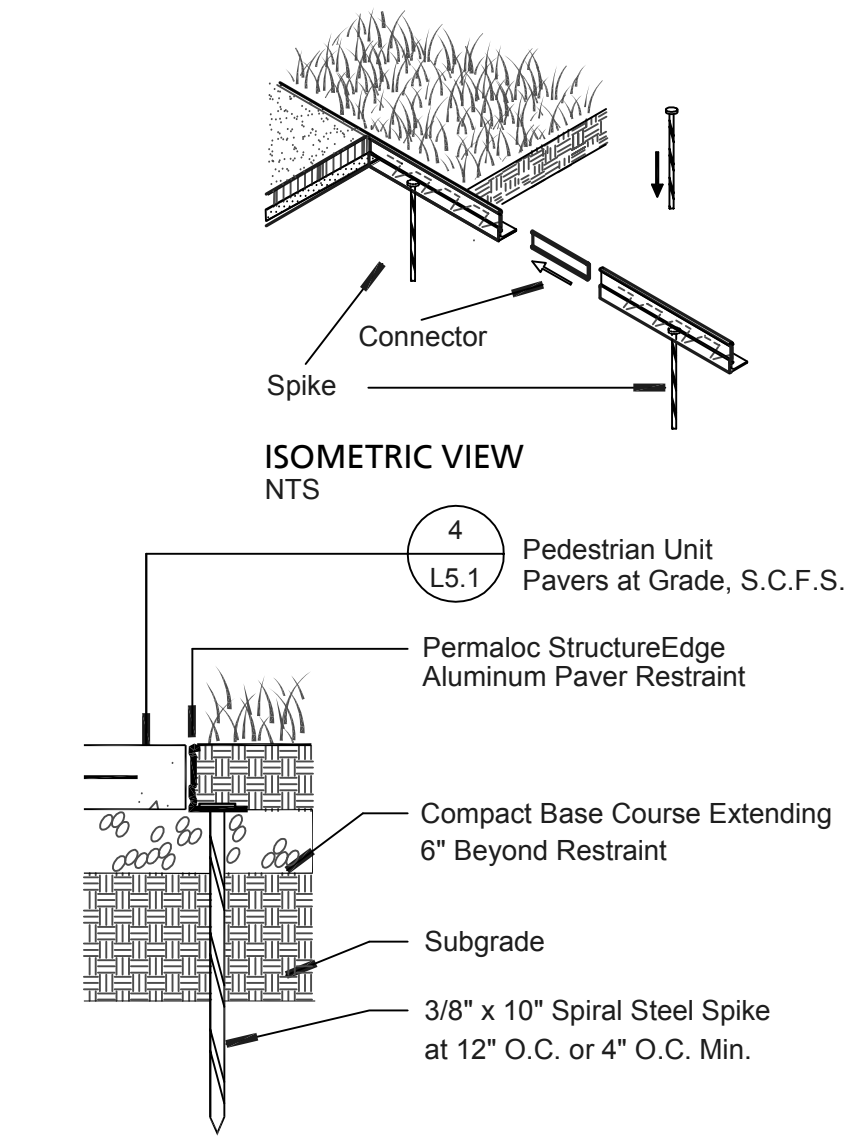
1. No existing trees to be remove on the site.
2. All work performed in the TPZ (10x diameter) of regulated trees #1-3 will be hand-dig, and if roots over 2" require pruning, work will cease until the project arborist can be called to the site to supervise the pruning.

L4.1

TREE DISPOSITION PLAN



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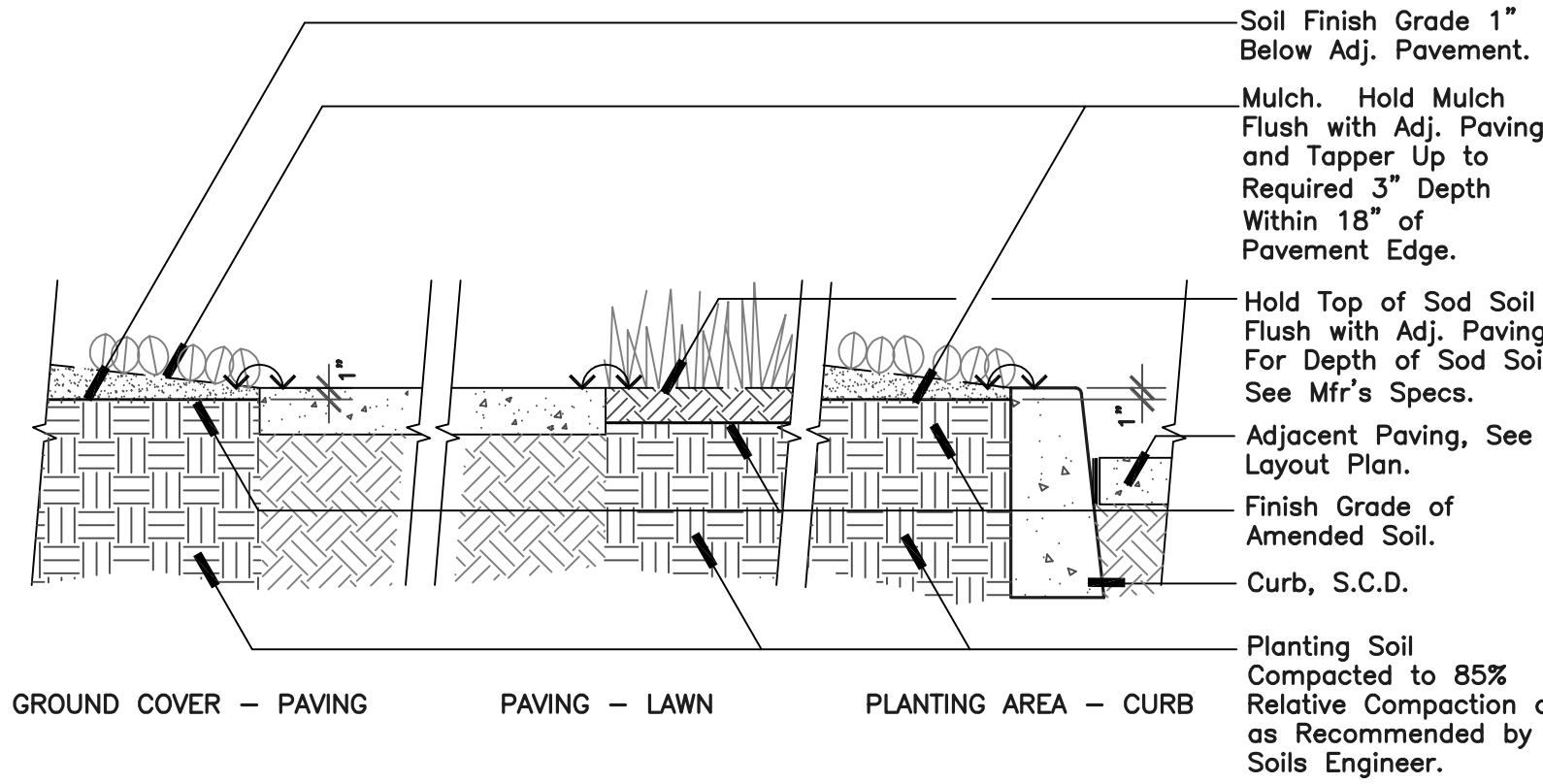
FINISH LEGEND:
(MF) MILL FINISH-NATURAL ALUMINUM MEETS
(BL) BLACK DURAFLEX-ELECTROSTATICALLY APPLIED
BAKED ON PAINT, MEETS AAMA 2603

SIZE:
3/8\"/>

- NOTES:**
1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"
 2. CONNECTION BETWEEN SECTIONS TO UTILIZE MANUFACTURERS' SLIDING CONNECTOR SYSTEM.
 3. CORNERS: NOTCH BASE ONLY AND FORM A CONTINUOUS CORNER.
 4. PERMALOC STRUCTUREEDGE AS MANUFACTURED BY PERMALOC CORPORATION, HOLLAND MI. (800) 356-9660, (616) 399-9600
 5. FOR PRODUCT AND PURCHASING INFORMATION VISIT:WWW.PERMALOC.COM

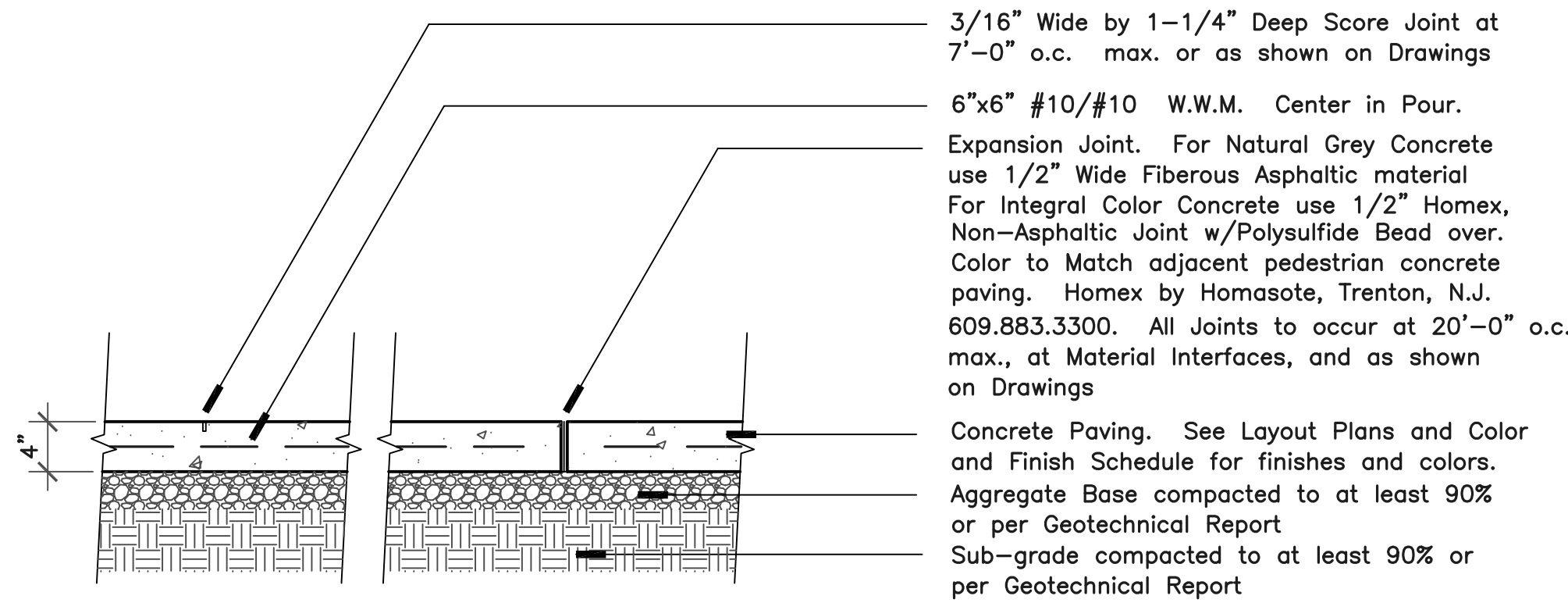
1 Metal Header

Scale: 1"=1'-0"



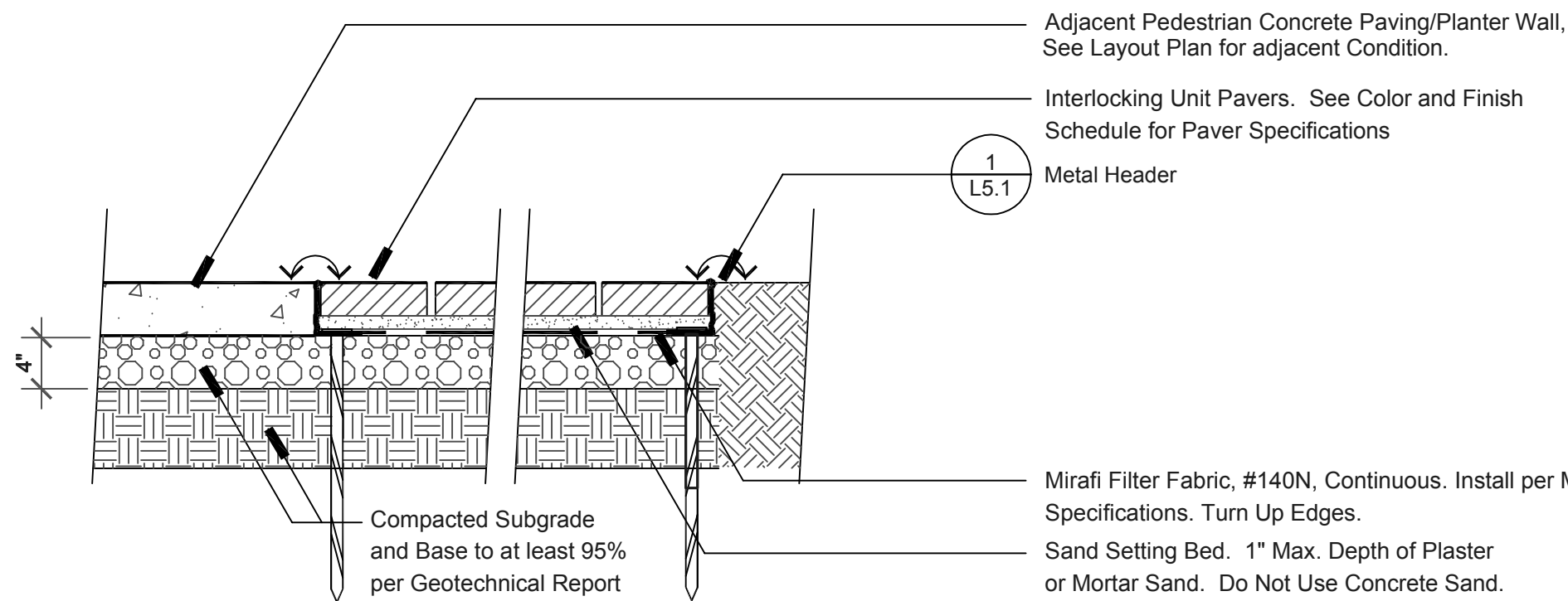
2 Fine Grading at Paving Edges

Scale: 3/4" = 1'-0"



3 Pedestrian Concrete Paving

Scale: 1" = 1'-0"



4 Pedestrian Unit Paver On-Grade

Scale: 1" = 1'-0"

Randolph Popp
ARCHITECT

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L5.1

Landscape Details