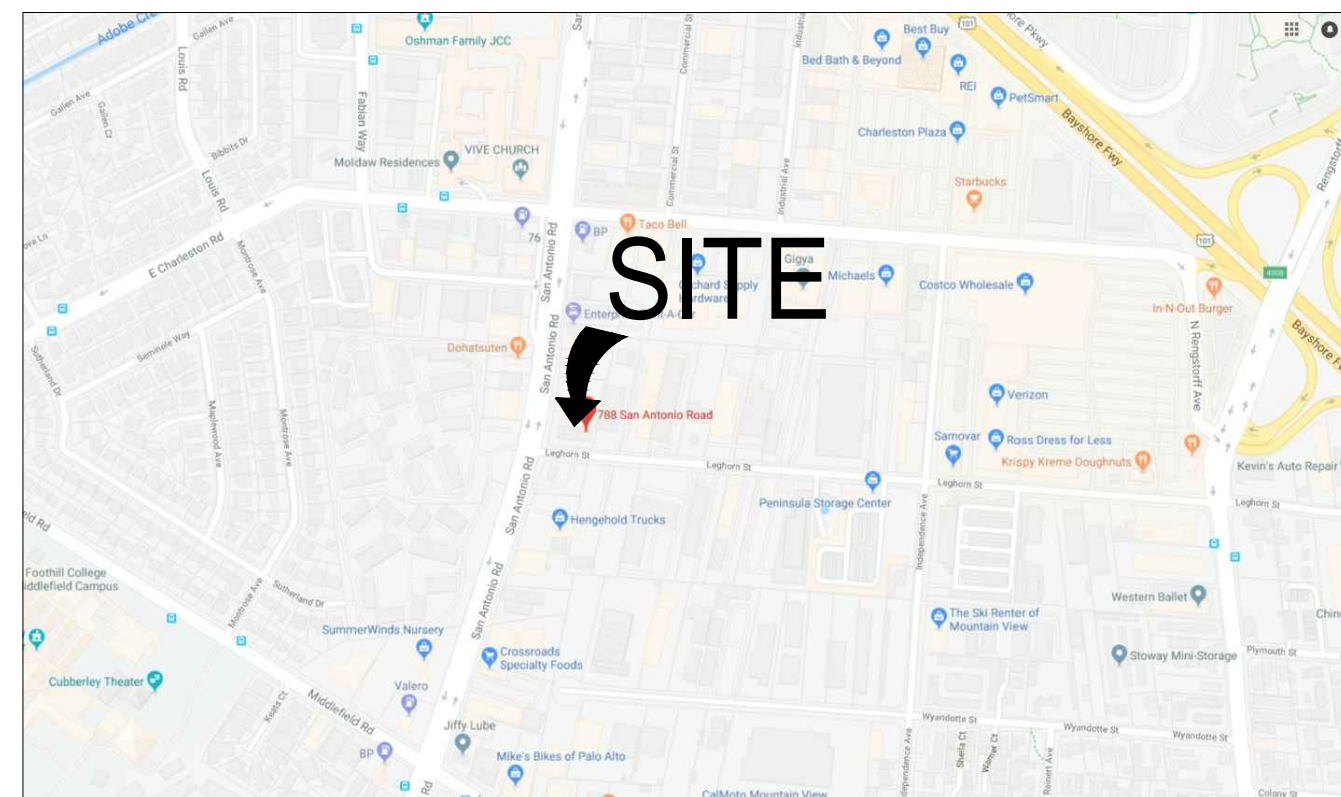


788 SAN ANTONIO HOUSING

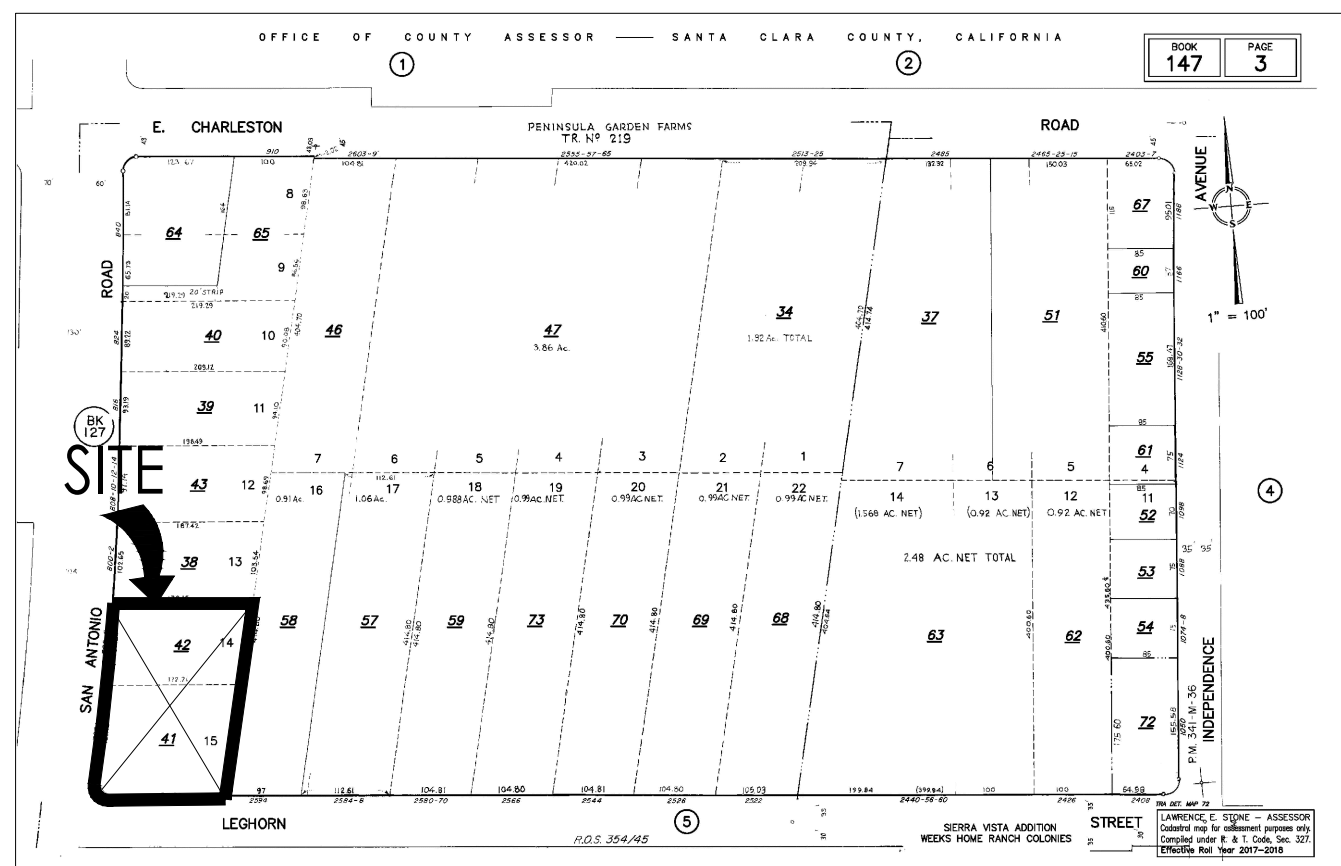
NEW MULTI-FAMILY RESIDENCE

788, 790, 796 San Antonio Road, Palo Alto, CA

LOCATION MAP



ASSESSOR'S PARCEL MAP



SCOPE OF WORK

DEMOLISH EXISTING COMMERCIAL/LIGHT INDUSTRIAL BUILDINGS (2). CONSTRUCT A (102) UNIT FOR SALE MIXED USE BUILDING WITH 4 FLOORS ABOVE GRADE AND 1 FLOOR BELOW GRADE FOR THE GARAGE. UNITS CONSIST OF (7) 2BR UNITS, (63) 1BR UNITS, (32) STUDIOS WITH A PARKING COUNT OF 99 (48 STACKER STALLS, 33 CONVENTIONAL STALLS, 14 TANDEM (7 PAIRS), 4 ADA. THERE WILL BE 115 BIKE PARKING SPACES, 16 RESIDENTIAL UNITS WILL BE DESIGNATED FOR BMR PROGRAMS FOR QUALIFIED MODERATE INCOME USERS. THE BUILDING ROOF AREA WILL PROVIDE SOLAR ENERGY PANELS TO POWER ALL RESIDENTIAL USAGE PLUS AN OPEN SPACE AREA FOR RESIDENTS. TOTAL FLOOR AREA OF 86,555.5 SF AND A BASEMENT OF 29,467.47 SF.

PROJECT SUMMARY

Assessor's Parcel No.	147-3-41&42
Jurisdiction:	City of Palo Alto
Type of Construction:	TYPE V-A, SM SPRINKLERED
Zoning:	Commercial Service (CS)
Occupancy	R-2, M, S-2
Jurisdiction:	City of Palo Alto
Proposed Property Setbacks:	
Front San Antonio Road	25'-2"
Right Street side on Leghorn Street	25'-3"
Rear	10'-3"
Left Side	10'-3"
Proposed Building Height	49'-10"
Max Height Allowed Per Palo Alto Zoning	50'
Max Height per CBC T504.3	50' + 20'
Site Area	43,414.0
Existing Lot Coverage	17,833.0
Proposed Lot Coverage	24,266.1
Existing Floor Area	17,833.0
Max. FAR Allowed (2.0 Lot Area)	86,828.0
Residential Proposed FAR	84,776.0
Retail Proposed FAR	1,779.5
Garage Areas Counting as FAR	1,478.4
Total FAR Proposed	86,555.5
Required Parking	car: 109; bike: 102long +11 short term
w/ TDM reduction (20%)	car: 89
Proposed Parking	car: 99; bike: 104 @ lobby +11 @ grade
Used TDM reduction	9%
Residential Density	102.34units/acre

PUBLIC FUNDS USED: NO
PUBLIC ART USED: YES

DEFERRED SUBMITTALS

REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT

REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE

APPLICABLE CODES

APPLICABLE CODES (with City of Palo Alto Amendments)

- 2016 CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2016 CALIFORNIA BUILDING CODE, CBC
- 2016 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2016 CALIFORNIA ELECTRICAL CODE, CEC
- 2016 CALIFORNIA MECHANICAL CODE, CMC
- 2016 CALIFORNIA PLUMBING CODE, CPC
- 2016 CALIFORNIA ENERGY CODE, CEnc
- 2016 CALIFORNIA HISTORICAL CODE, CHC
- 2016 CALIFORNIA FIRE CODE, CFC
- 2016 CALIFORNIA EXISTING BUILDING CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS
- 2016 CALIFORNIA REFERENCED STANDARDS

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A0.2b	PROPOSED SITE ELEVATIONS
A0.2c	BUILDING CONTEXT
A0.3a	NEIGHBORHOOD CONTEXT
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A0.4	FLOOR AREA CALCULATIONS
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JT3	JOINT TRENCH DETAILS
JT4	JOINT TRENCH SECTIONS AND DETAILS
JT5	JOINT TRENCH COMPOSITE PLAN

PROJECT TEAM

OWNER
788SAPA Land LLC
Yurong Han, Manager
2225 East Bayshore Rd, Suite 200
Palo Alto, CA 94303
email: yuronghan@gmail.com

PROJECT MANAGER
Ted O'Hanlon
Explore Real Estate
2625 Middlefield Road, #101
Palo Alto, CA 94306
ph: 650-813-1077
email: tedohanlon@gmail.com

ARCHITECT
Studio S Squared Architecture, Inc.
1000 S Winchester Blvd
San Jose, CA 95128
attn: Isabeau Guglielmo
ph: 408 998 0983 x7
email: isabeau@StudioS2arch.com

CIVIL ENGINEER
BKF Engineers
1650 Technology Dr, Ste #650
San Jose, CA 95110
attn: Ahn Tuan Nguyen
email: ANguyen@bkf.com
ph: 408-467-9143

LANDSCAPE ARCHITECT
Taniguchi Landscape Architecture
attn: Dennis Taniguchi
ph: 650 638 9985
email: dennis@atlantarch.com

ARBORIST
Kevin Kielty Certified Arborist
attn: Kevin Kielty
ph: 650 515 9783
email: kkarbor0476@yahoo.com

GREEN POINT RATER
Emerson Environmental, LLC
Attn: Suzanne Emerson
ph: 650 281 9805
email: suzanne@emersonenvironmental.com

UTILITY CONSULTANT
Tarrar Utility Consultants
attn: Nick Delgado
ph: 925 240 2595
email: ndelgado@tarrar.com



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ARCHITECTURE

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San Jose, CA 95128
P : (408) 998 - 0983

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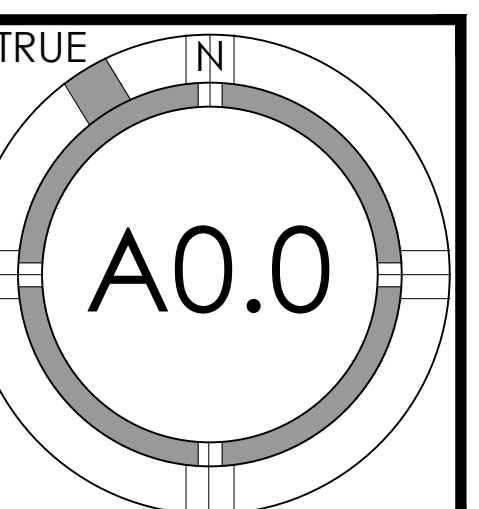
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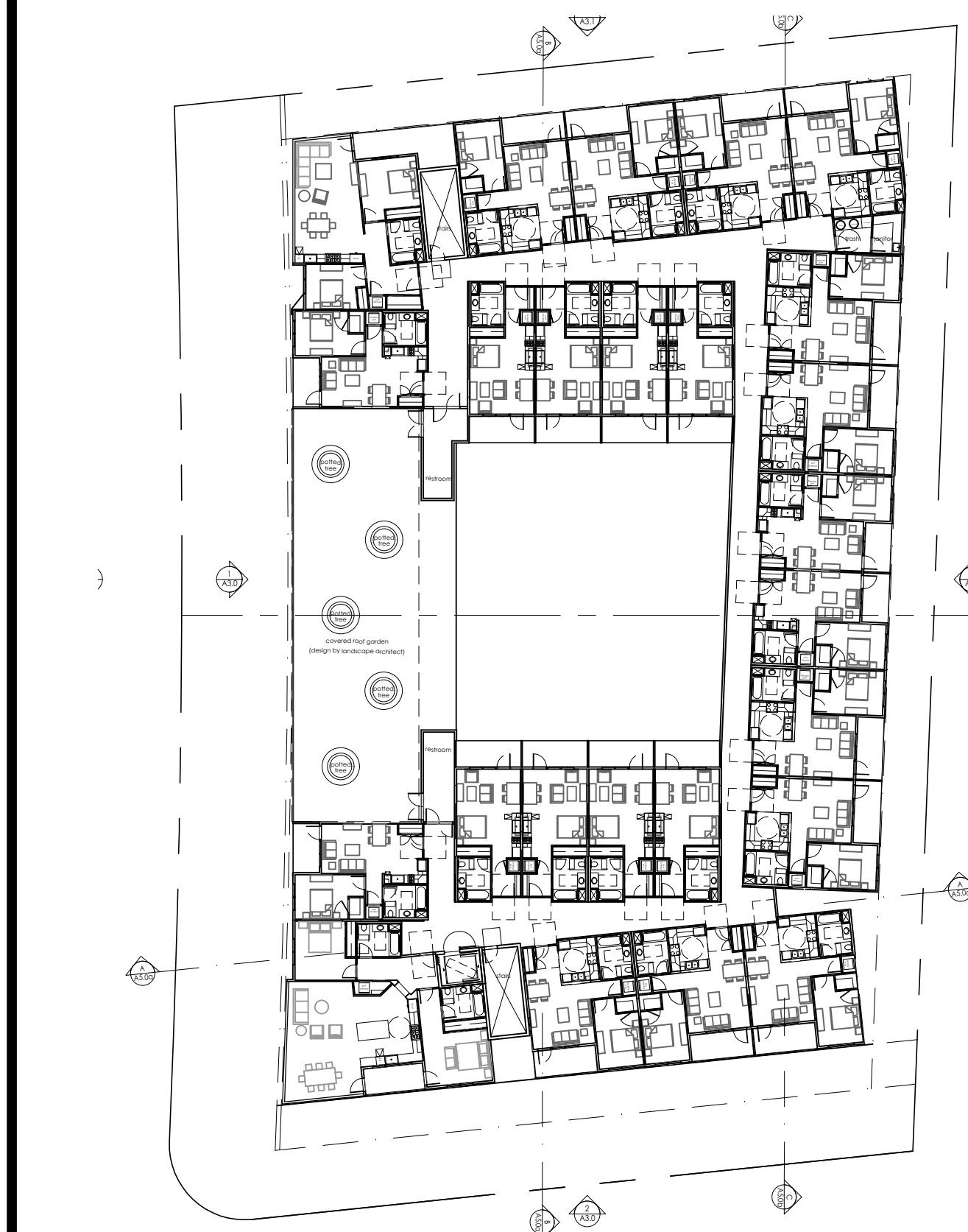


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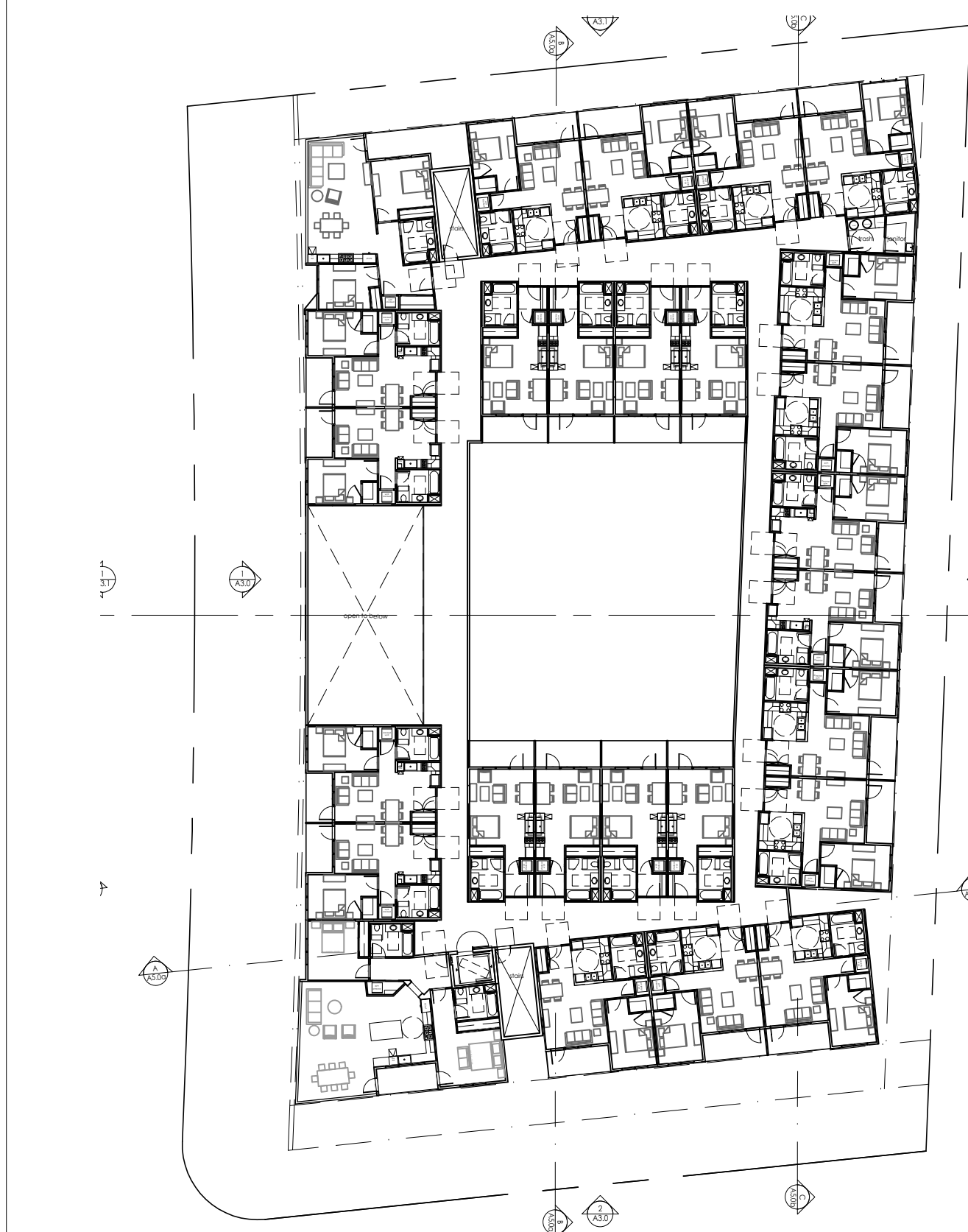
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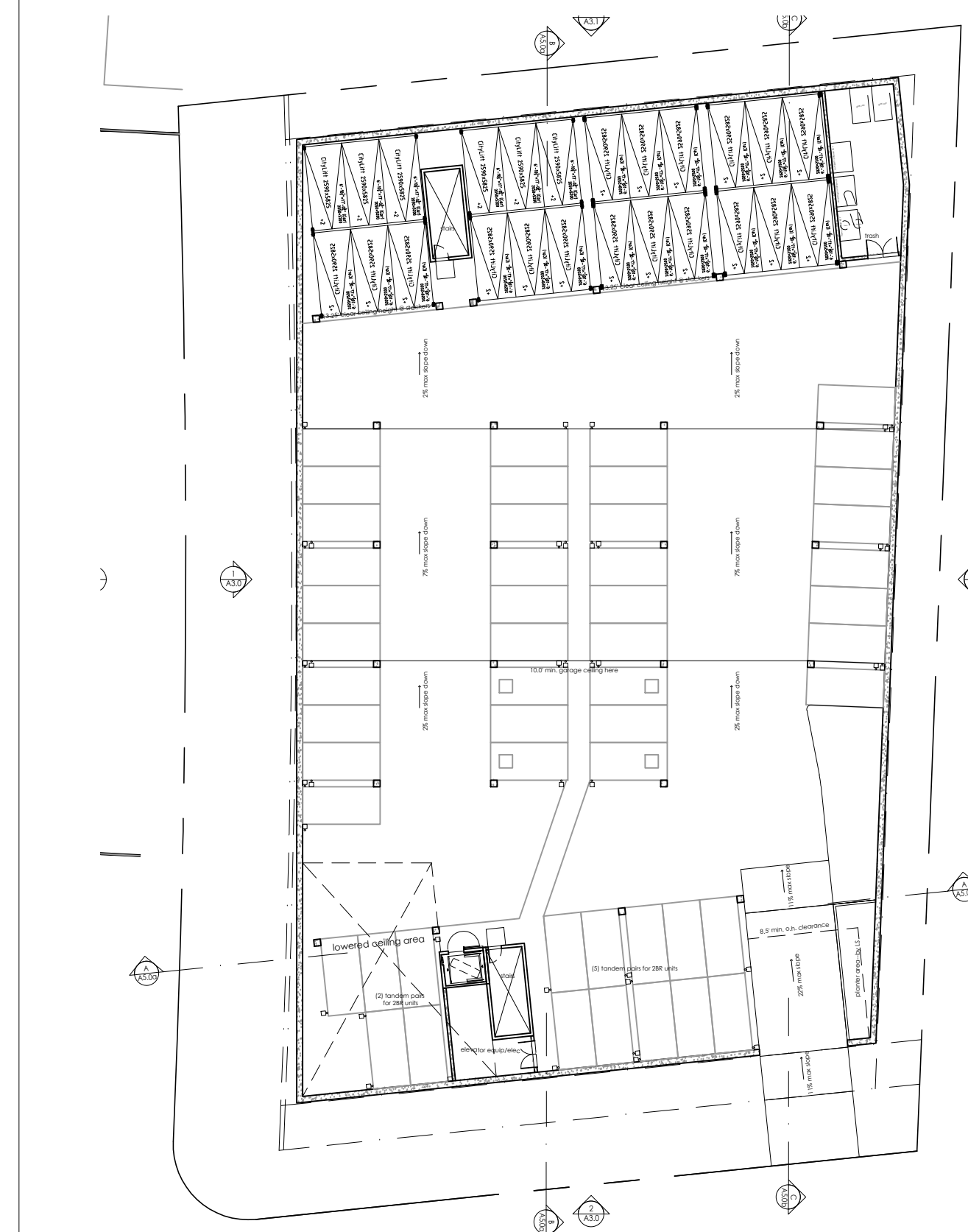
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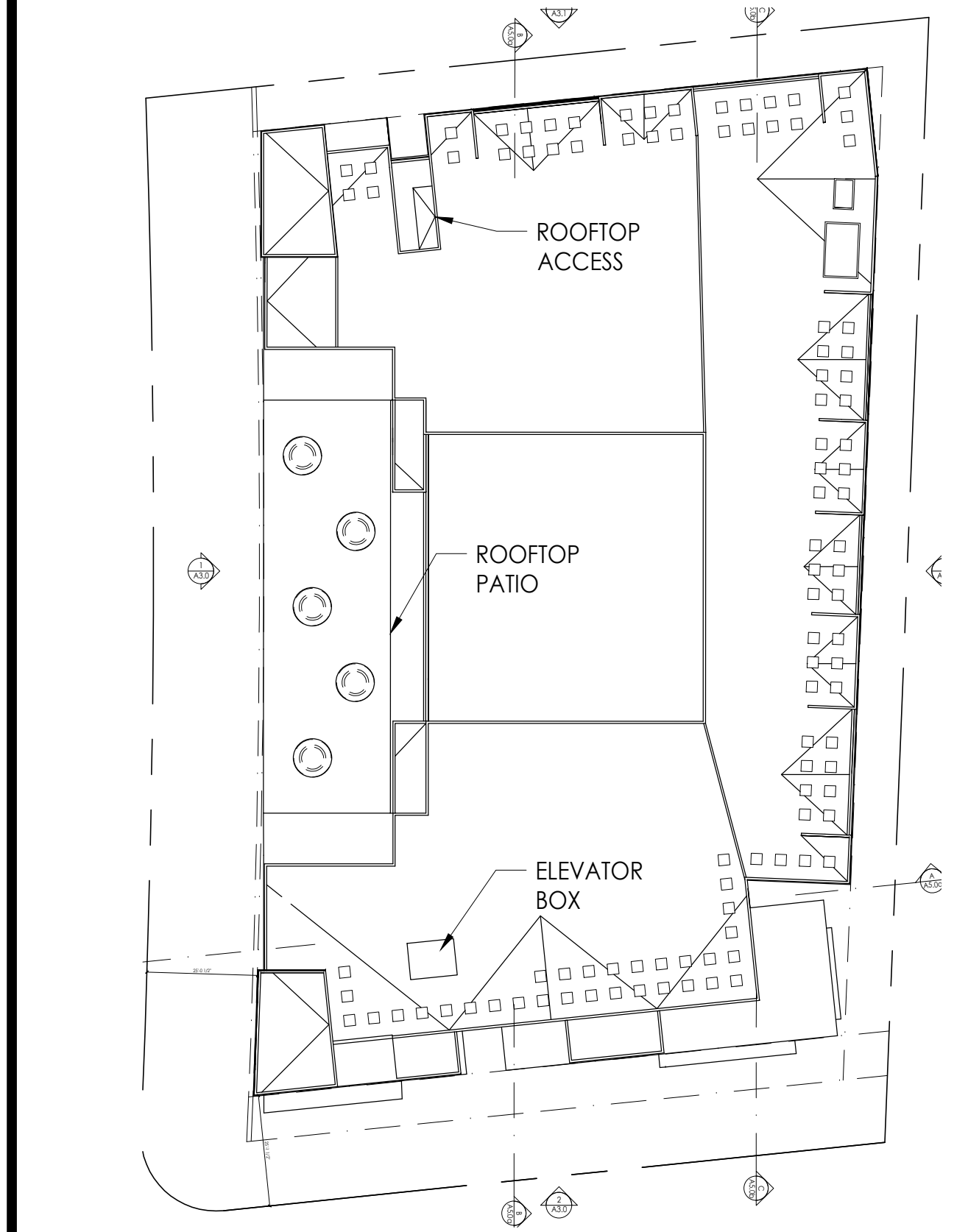
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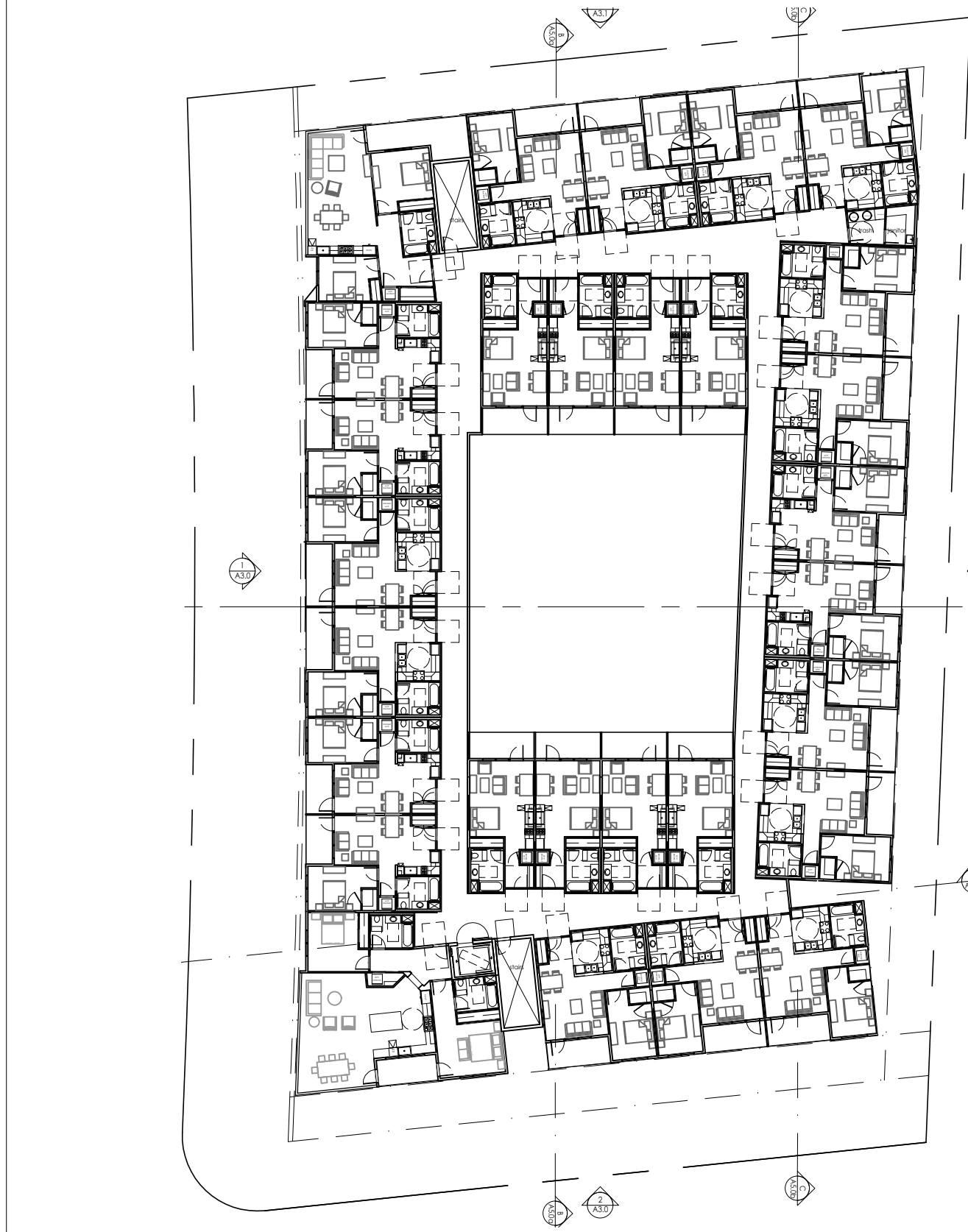
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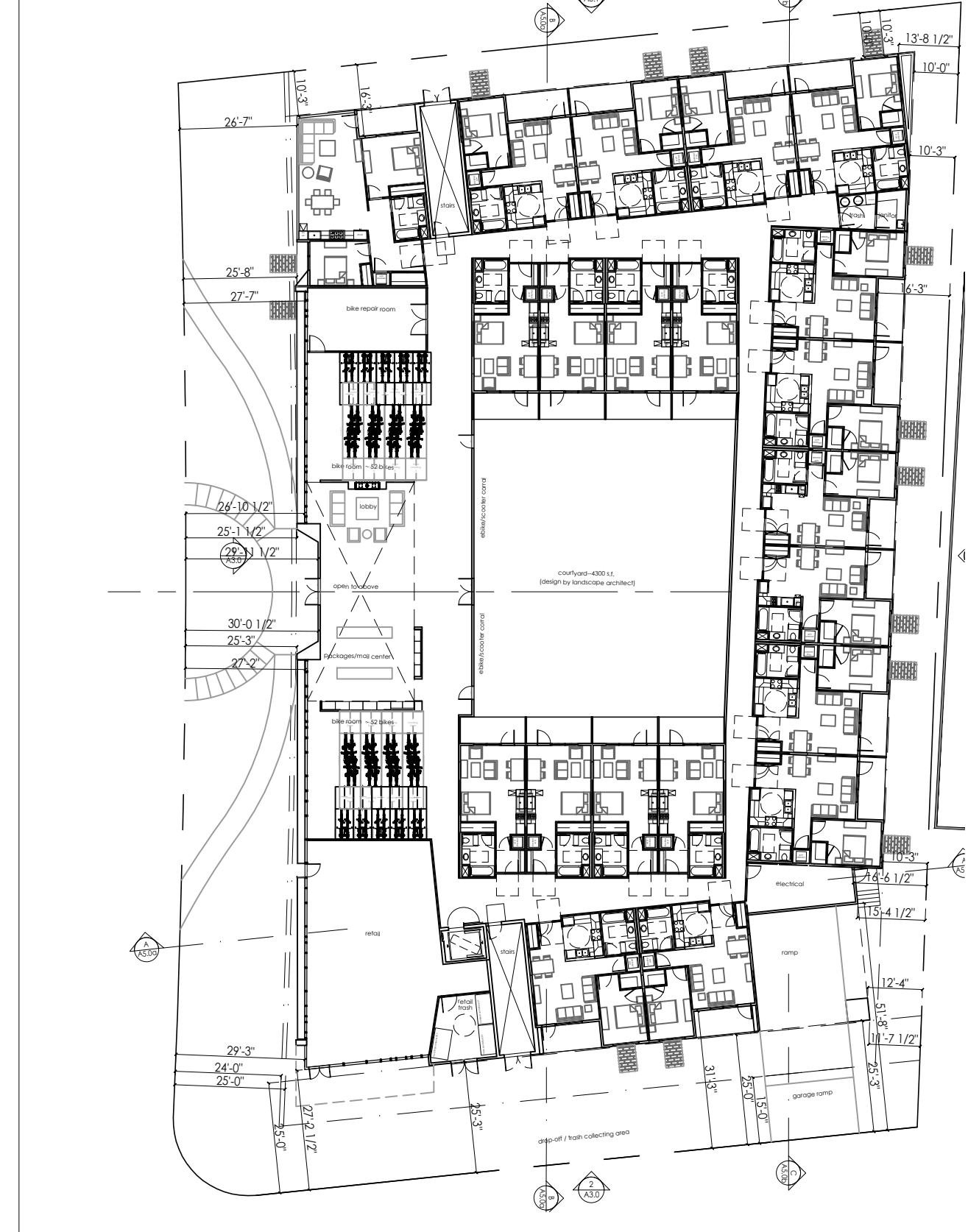
48 16 32 48 feet GARAGE OCCUPANCY S-2 1/32" 1



48 16 32 48 feet ROOF ACCESS 1/32" 6



48 16 32 48 feet 3RD FLOOR OCCUPANCY R-2 1/32" 4



48 16 32 48 feet 1ST FLOOR OCCUPANCY R-2 + M 1/32" 2

Occupancy	Sprinkler type	Construction type
R-2	SM	VA
M	SM	VA
S-2	SM	VA

Aa=[At + (NS x If)]
Aa= Allowable building Area per story in sq.ft.
At= Tabular allowable area factor
NS= Tabular allowable area factor for nonsprinklered building
If= Area factor or increase due to frontage
If= [F/P - .25]W/30
F=Building perimeter that fronts on a public way/open space
P=perimeter of entire building
W=width of public way/open space
W= (L1 x w1 + L2 x w2 ...)/F
Ln= length of a portion of the exterior perimeter wall
wn= width ≥ 20' of public way/open space
F=344.33 sq. ft. L1=128.50 w1=30
L2=215.83 w2=30
W=(128.50 x 30 + 215.83 x 30)/344.33
W=30
F=344.33 sq. ft. P=700.25 W=30
If=[344.33/700.25 -.25]30/30
If=.242

Occupancy	At	NS	If
R-2	36,000	12,000	0.242
M	42,000	14,000	0.242
S-2	63,000	21,000	0.242

R-2 (most restrictive)
Aa=[36,000+(12,000x.242)]
Aa=38,904 sq ft
largest floor area = 25,207.88 < 39,000 (OK)
No. of stories for Type R-2 VA = 3 (+1 with sprinkler story increase)
Max Height Type R-2 VA = 50+20
Max Height of project per Palo Alto Zoning Ordinance = 50'

SA	SITE AREA	43,414.0
TUA=U1+U2+U3+U4	TOTAL UNIT AREA	64,651.3
TCA=C1+C2+C3+C4	TOTAL COMMON AREA (ABOVE GRADE)	20,124.7
TRA=R1	TOTAL RETAIL	1,779.5
TBPA=BNP1+BNP2+BNP3	TOTAL BASEMENT AREA NOT DEDICATED TO PARKING	1,478.4
TFA=TUA+TRA	TOTAL FLOOR AREA	86,555.5
TFA/SITE AREA	FAR	1.99
SC=U1+C1+R1+B1	SITE COVERAGE PROPOSED	24,266.1
SITE*0.5	SITE COVERAGE ALLOWED	21,707.0
SA-SC-W	SITE OPEN SPACE PROPOSED	15,249.5
SITE*0.20	MINIMUM SITE OPEN SPACE REQUIRED	8,682.8

<2.0
55.89%
50%
38.58%
20%

TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES (HOURS)																										
OCCUPANCY	A, E	1-4, R-2, I		1-2, I-2, I		I-3	R-1, R-2, R-3, I, R-4		F-2, S-2, U		B, F, I-1, M, S-1		L	H-1	H-2	H-3, H-4		H-5								
		S	NS	S	NS		S	NS	S	NS	S	NS				S	NS		S	NS	S	NS				
A, E	N	N	2	2	2	NP	2	NP	1	2	N	1	1	2	2	NP	NP	NP	NP	3	4	2	3	2	NP	
1-4, R-2, I	—	—	I	NP	2	NP	2	NP	1	NP	1	2	1	2	2	NP	NP	NP	4	NP	4	NP	4	NP		
1-2, I-2, I	—	—	—	—	N	NP	2	NP	2	NP	2	NP	2	NP	NP	NP	NP	4	NP	4	NP	4	NP	4	NP	
I-3	—	—	—	—	—	—	N	NP	2	NP	2	2	2	2	2	NP	NP	NP	4	NP	4	NP	4	NP	4	NP
R-1, R-2, R-3, R-3, I, R-4	—	—	—	—	—	—	—	N	N	1	2	1	2	4	NP	NP	NP	NP	3	NP	2	NP	2	NP	2	NP
F-2, S-2, U	—	—	—	—	—	—	—	—	N	N	1	2	1	2	1	NP	NP	NP	NP	3	4	2	3	2	NP	
B, F-1, M, S-1	—	—	—	—	—	—	—	—	—	N	N	1	1	NP	NP	NP	NP	NP	2	3	1	2	1	NP	1	NP
L	—	—	—	—	—	—	—	—	—	—	—	—	—	I	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
H-1	—	—	—	—	—	—	—	—	—	—	—	—	—	—	N	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	
H-2	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	N	NP	NP	NP	NP	NP	NP	NP	NP	NP	
H-3, H-4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	NP	1	NP	1	NP	1	NP	
H-5	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	N	NP	NP	NP	NP	NP	

S = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.
NS = Buildings not equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.
N = No separation requirement.
NP = Not permitted.
a. See Section 420.
b. The required separation from areas used only for private or pleasure vehicles shall be reduced by 1 hour but not less than 1 hour.
c. See Section 406.3.4.
d. Separation is not required between occupancies of the same classification.
e. [SFM] Group I and F1 occupancies and Group R-2, I and F-1 occupancies shall have a 3-hour separation.
f. [SFM] Commercial kitchens not associated with cafeterias and similar dining facilities in Group I-2 and Group R-2, I shall have a 2-hour separation and shall be protected by an automatic sprinkler system.

		TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)									
BUILDING ELEMENT		TYPE I		TYPE II		TYPE III		TYPE IV		TYPE V	
		A	B	A	B	A	B	A	B	A	B
Primary structural frame ¹ (see Section 202)		3 ^a	2 ^a	1	0	1	0	HT	HT	1	0
Beating walls											
Exterior ¹		3 ^a	2 ^a	1	0	2	2	2	1/HT	1	0
Interior											
Nonbearing walls and partitions											
Exterior											
Nonbearing walls and partitions											
Interior ¹		0	0	0	0	0	0	See Section 602.4.6	HT	0	0
Floor construction and associated secondary members (see Section 202)		2	2	1	0	1	0	HT	HT	1	0
Roof construction and associated secondary members (see Section 202)		1 1/2 ^a	1 ^{b,c}	1 ^{b,c}	0 ^e	1 ^{b,c}	0	HT	HT	1 ^{b,c}	0

For SI: 1 foot = 304.8 mm.
a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
b. 1. Except in Group A, E, F, I, H, L, M, R-1, R-2, R-2, I and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
2. For Group A, E, L, R-1, R-2, and R-2, I occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
3. One-story portions of Group A and E occupancies occupying the roof framing system of Type II A or Type III A construction may be of unprotected construction when such roof framing system is open to the assembly area and does not contain concealed spaces.
c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.
d. Not less than the fire-resistance rating required by other sections of this code.
e. Not less than the fire-resistance rating based on fire separation distance (see Table 602).
f. Not less than the fire-resistance rating as referenced in Section 704.10.



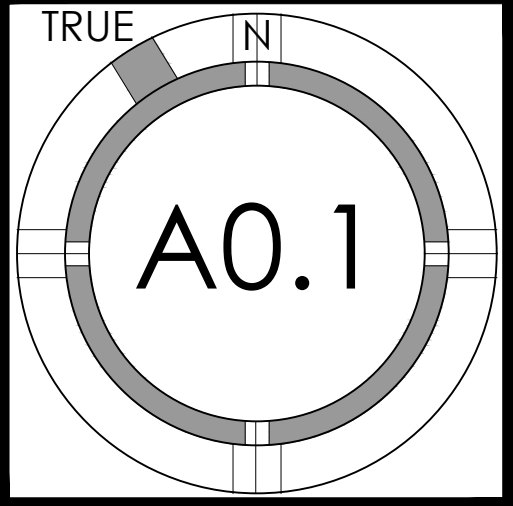
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788, 790, 796 San Antonio Road
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788SAPA Land LLC



PROJECT NO.	DATE	DESCRIPTION	REVISION
18019	06.26.2018	ARB FOR PREL REVIEW	JA
	09.26.2018	ARB FOR PREL REVIEW	JA
	02.15.2019	ARB PACKAGE	IV/G
	04.30.2019	ARB RESUBMITTAL PACKAGE	IG
	06.21.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

CODE ANALYSIS





1. VIEW OF SUBJECT PROPERTY FROM SAN ANTONIO ROAD



5. VIEW OF SUBJECT PROPERTY FROM LEGHORN STREET



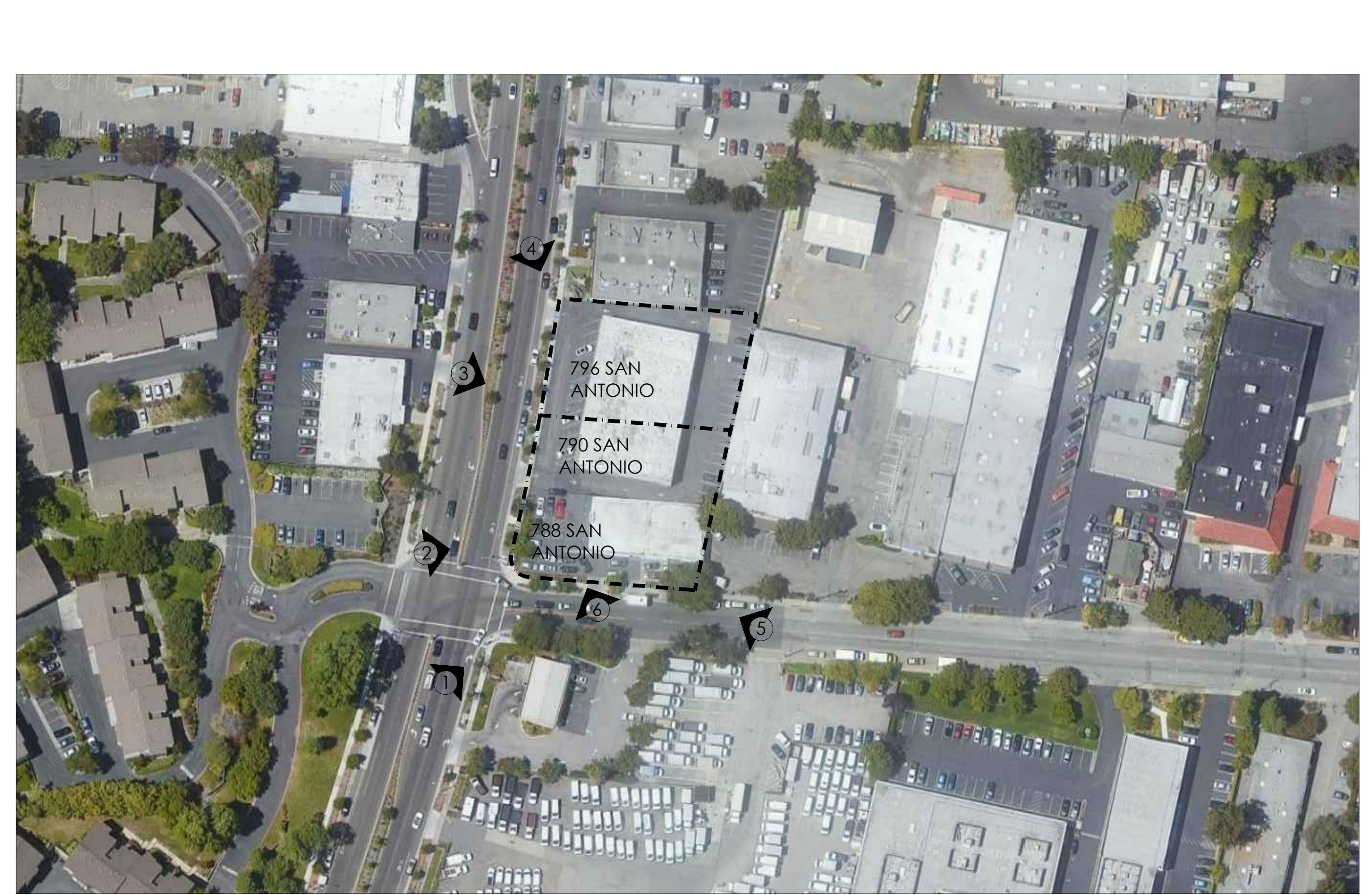
2. VIEW OF SUBJECT PROPERTY FROM SAN ANTONIO ROAD



6. VIEW OF SUBJECT PROPERTY FROM LEGHORN STREET



3. VIEW OF SUBJECT PROPERTY FROM SAN ANTONIO ROAD



4. VIEW OF SUBJECT PROPERTY FROM SAN ANTONIO ROAD

EXISTING PLAN VIEW



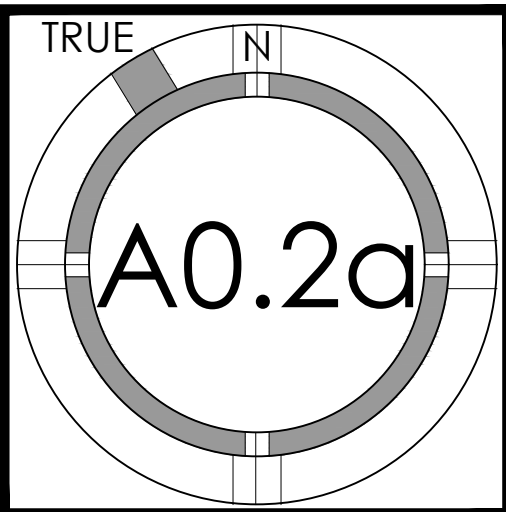
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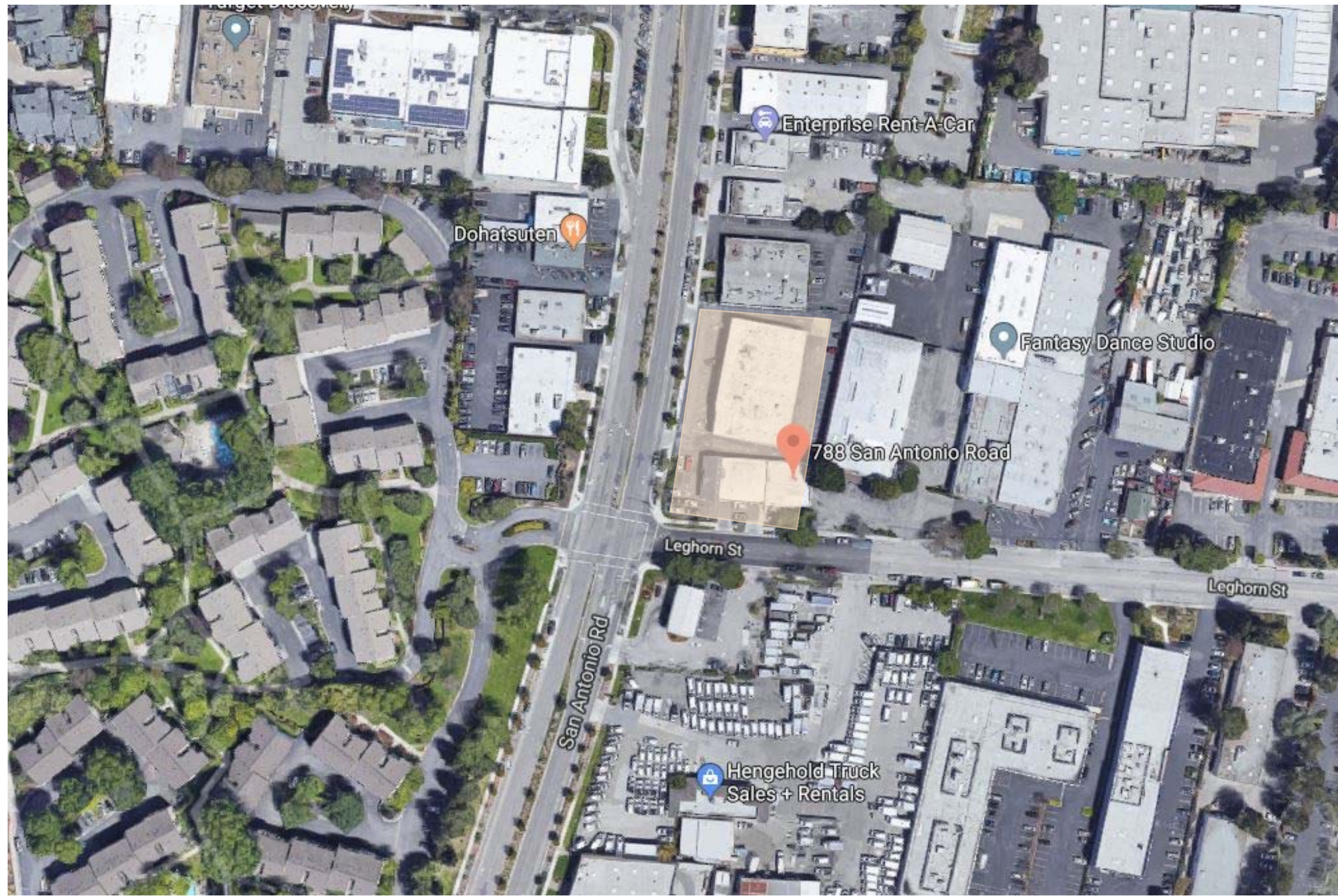


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EXISTING
CONDITIONS



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



AERIAL SITE VIEWS - 3



PROPOSED SITE ELEVATION -- SAN ANTONIO ROAD 1"=20' 2



PROPOSED SITE ELEVATION -- LEGHORN STREET 1"=20' 1



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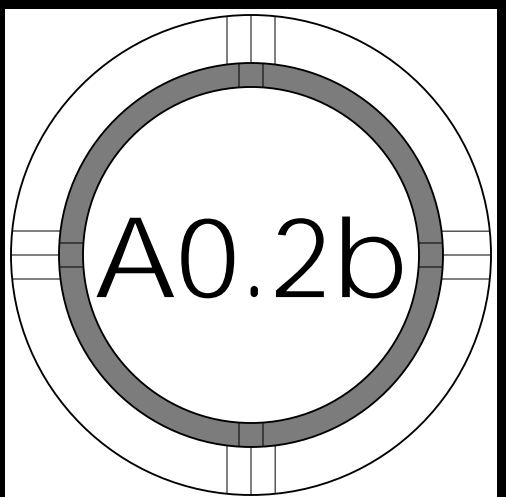
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PROPOSED
SITE
ELEVATIONS





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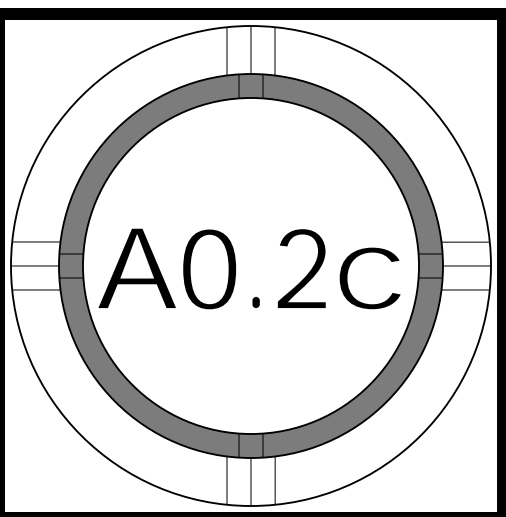
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		10.15.2019	ARB	IV, IG
		11.30.2019	ARB RESUBMITTAL PACKAGE	IG
		12.1.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

BUILDING
CONTEXT





1. 780 SAN ANTONIO ROAD, PALO ALTO



2. 795 SAN ANTONIO ROAD, PALO ALTO



3. 797 SAN ANTONIO ROAD, PALO ALTO



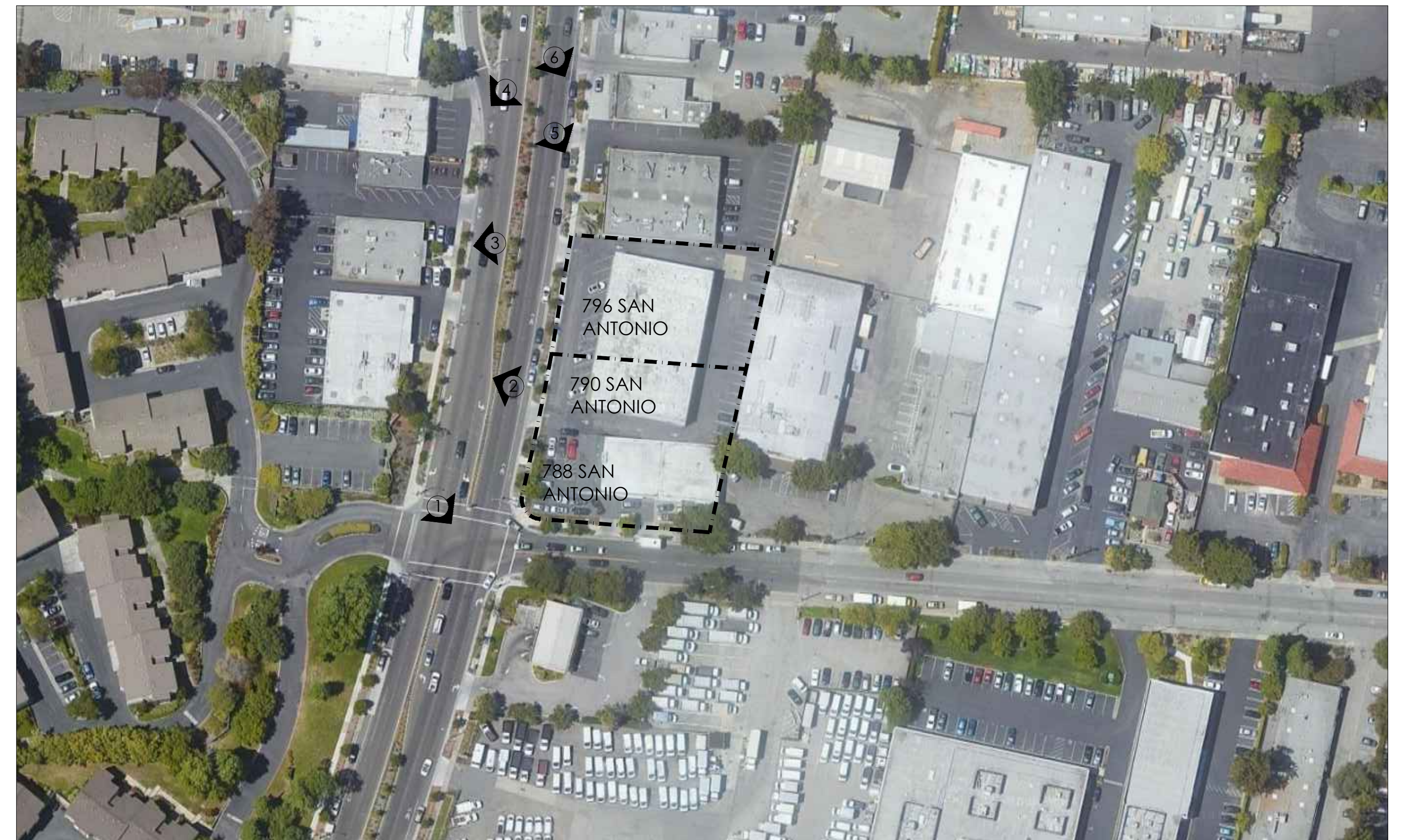
4. 801 SAN ANTONIO ROAD, PALO ALTO



5. 800-802 SAN ANTONIO ROAD, PALO ALTO



6. 808-810 SAN ANTONIO ROAD, PALO ALTO



EXISTING PLAN VIEW

-

1



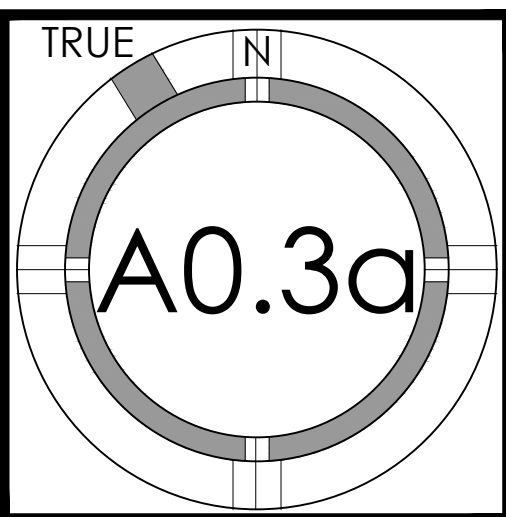
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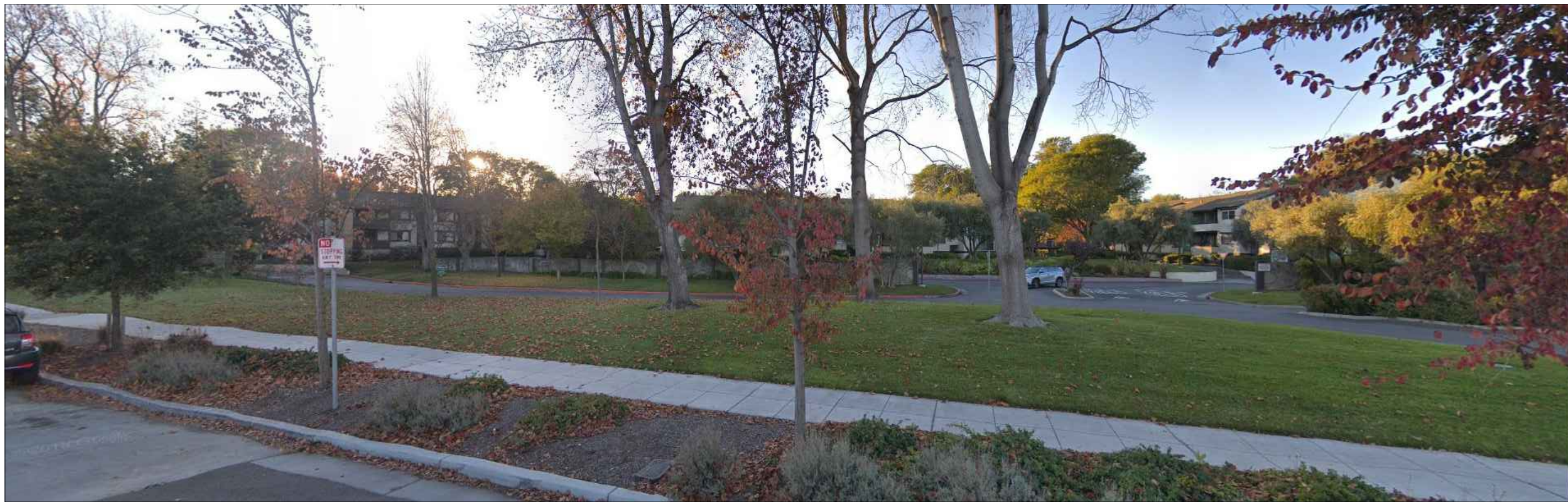
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	06.21.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

NEIGHBORHOOD
CONTEXT



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1. CONDOMINIUMS SAN ANTONIO ROAD, PALO ALTO



5. 780 SAN ANTONIO ROAD, PALO ALTO



2. 762 SAN ANTONIO ROAD, PALO ALTO



6. 2582 LEGHORN STREET, MOUNTAIN VIEW



3. 2584-2570 LEGHORN STREET, MOUNTAIN VIEW



4. 2577-2585 LEGHORN STREET, MOUNTAIN VIEW



EXISTING PLAN VIEW



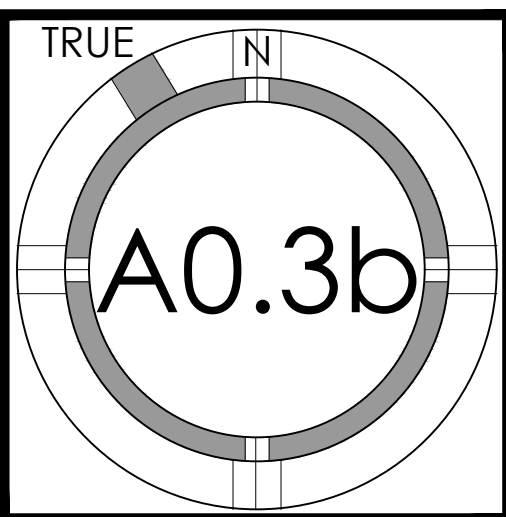
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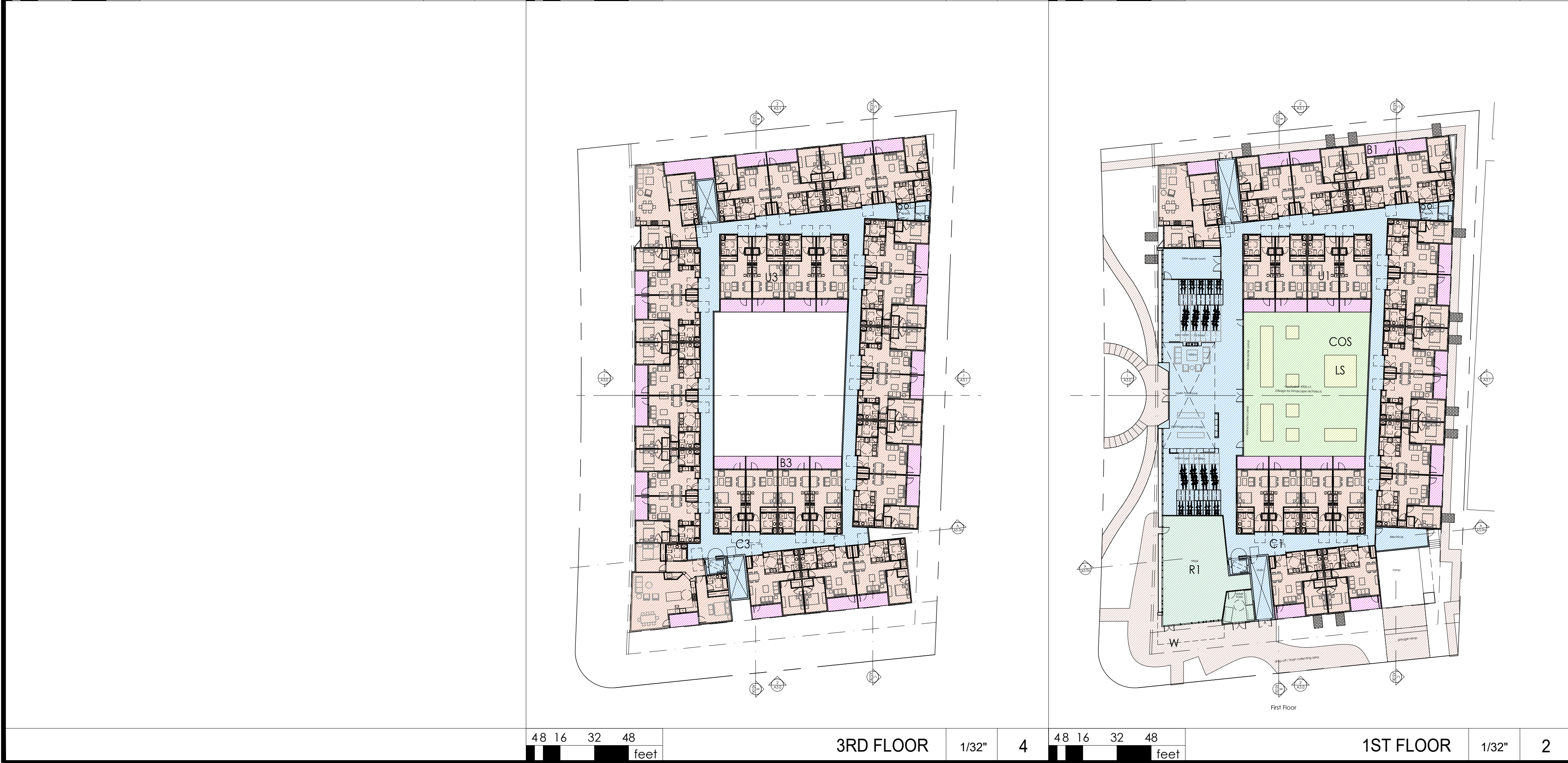


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	06.21.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

NEIGHBORHOOD
CONTEXT



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



Section	Area (sf)
Underground (garage) areas	
C0	27,989.11
BNP1	198.14
BNP2	687.16
BNP3	593.06
First floor areas	
U1	12,642.37
R1	1,779.52
C1	8,062.63
B1	1,781.61
Second floor areas	
U2	17,339.34
C2	4,245.97
B2	2,092.88
Third floor areas	
U3	18,666.76
C3	4,058.19
B3	2,482.93
Fourth floor areas	
U4	16,002.83
C4	3,757.87
B4	1,464.58
RT1	3,141.78
Usable open space areas	
POS private open space (13 patios @ 1st floor)	1,781.61
TPOS total private open space	9,499.20
COS common open space (podium hardscape + RT1)	6,324.66
LS landscape space (on podium)	731.74
W walkways, driveway, ladder pads	2,398.36

SA	SITE AREA	43,414.0	
TUA=U1+U2+U3+U4	TOTAL UNIT AREA	64,651.3	
TCA=C1+C2+C3+C4	TOTAL COMMON AREA (ABOVE GRADE)	20,124.7	
TRA=R1	TOTAL RETAIL	1,779.5	
TBNPA=BNP1+BNP2+BNP3	TOTAL BASEMENT AREA NOT DEDICATED TO PARKING	1,478.4	
TFA=TUA+TCA+TRA	TOTAL FLOOR AREA	86,555.5	
TFA/SITE AREA	FAR	1.99	<2.0
SC=U1+C1+R1+B1	SITE COVERAGE PROPOSED	24,266.1	55.89%
SITE*0.5	SITE COVERAGE ALLOWED	21,707.0	50%
SA-SC-W	SITE OPEN SPACE PROPOSED	16,749.5	38.58%
SITE*0.20	MINIMUM SITE OPEN SPACE REQUIRED	8,682.8	20%



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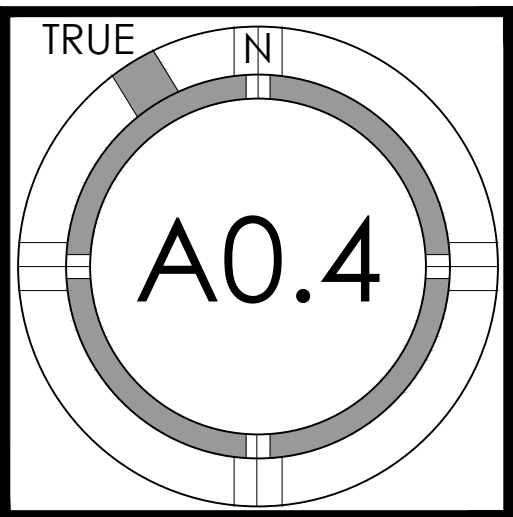
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FLOOR
AREA
CALCULATIONS





- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY--SEE CIVIL PLANS FOR MORE INFORMATION
 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE--SEE CIVIL PLANS FOR MORE INFORMATION
 - (N) ENTRY RAMP--SEE LANDSCAPE & CIVIL PLANS FOR MORE INFORMATION
 - (N) ENTRY STAIRS--SEE LANDSCAPE & CIVIL PLANS FOR MORE INFORMATION
 - ENTRANCE TO PARKING GARAGE
 - (N) 60" MIN. DEEP LEVEL LANDING (MAX. 7" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
 - (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL--SEE CIVIL PLANS
 - BALCONY OR DECK, TYP. @ BUILDING EXTERIOR
 - CUTOUT FOR TEMPORARY REFUSE STORAGE AND COLLECTION

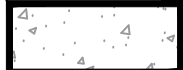
SITE PLAN KEYNOTES

PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
REQUIRED YARD SETBACK/EASEMENT

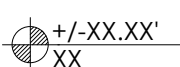
ACCESSIBLE PATH OF TRAVEL



NEW BUILDING AREA



NEW HARDSCAPE--SEE LANDSCAPE PLAN FOR MORE INFO



SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO



TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO

NOTES:

- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
- (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.



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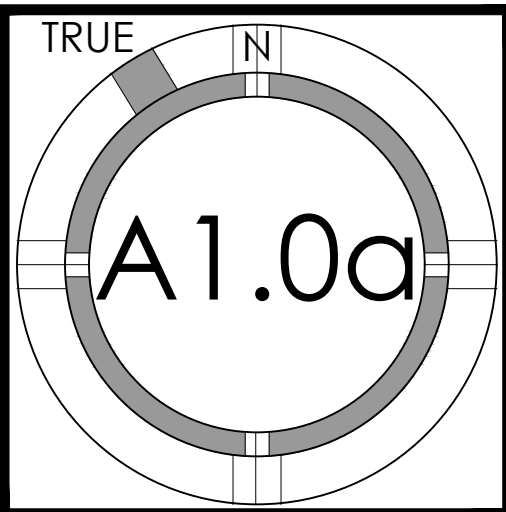
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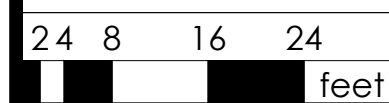


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SITE PLAN



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1/16"

1

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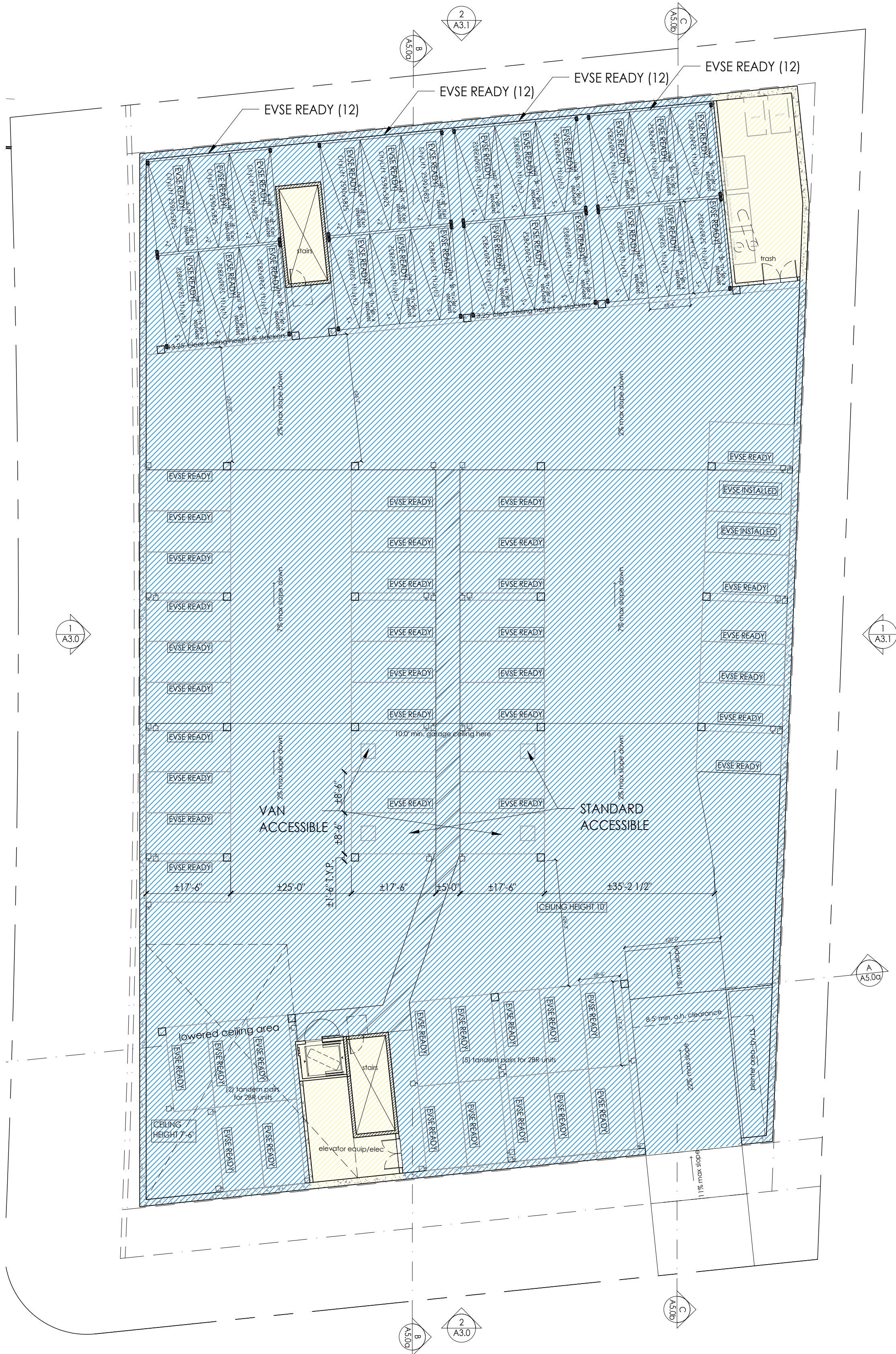
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A circular diagram representing the A1.0b genome. The outer ring is divided into segments, with one segment labeled 'TRUE' and another labeled 'N'. The text 'A1.0b' is centered within the circle.

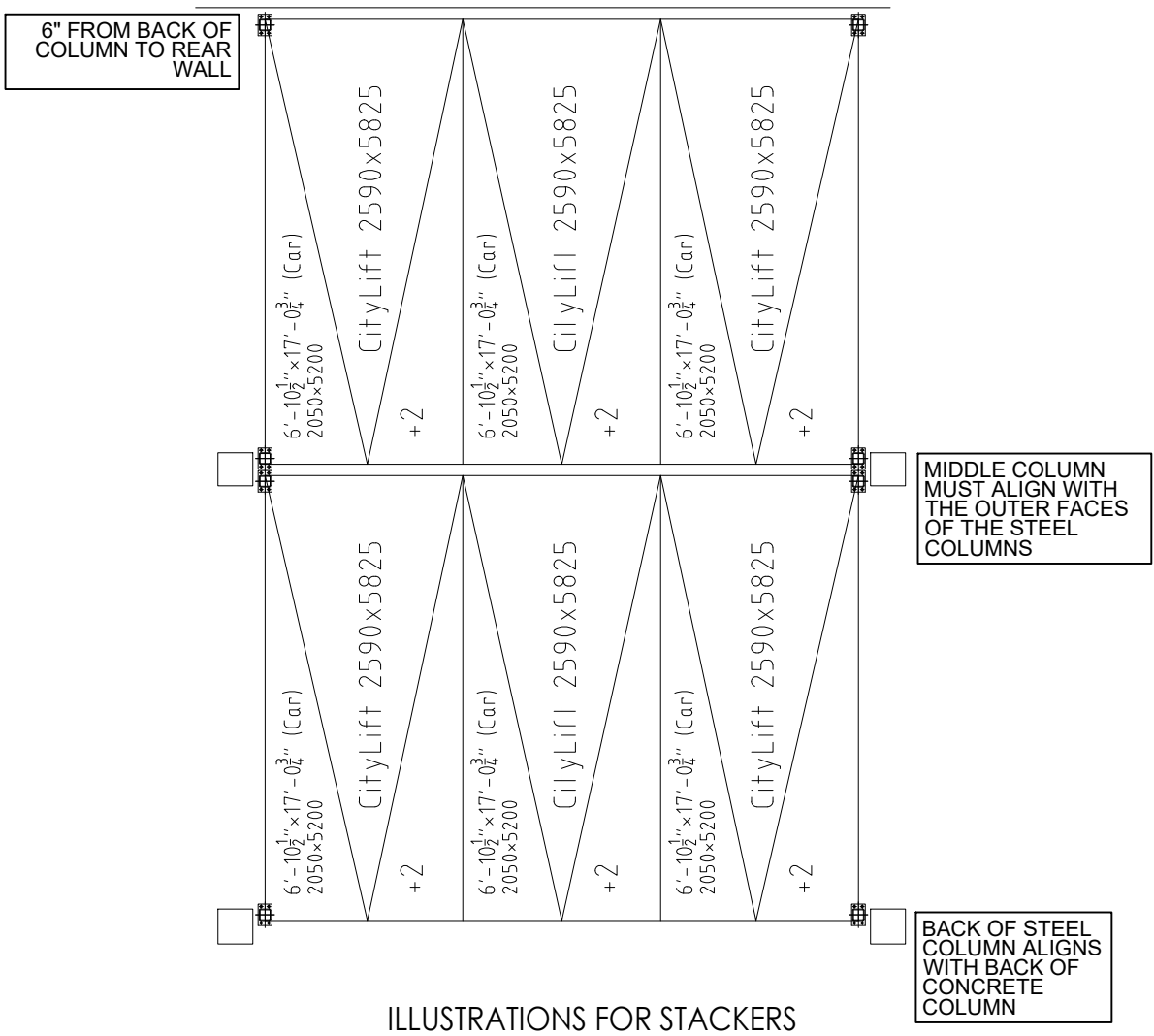
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UNIT TYPE	# OF UNITS	PARKING REQUIRED PER UNIT	TOTAL PARKING REQUIRED PER UNIT TYPE
unit A--studio	32	1	32.0
unit B--1BR	18	1	18.0
unit C--1BR	45	1	45.0
unit D--2BR	3	2	6.0
unit E--2BR	4	2	8.0
Totals	102		109.0
with guest parking	no guest parking required		109.0
Retail parking	1782	(1782-1500)/350	0.81 = 1
TDM - 20% reduction for parking spaces		109*80%	87.2=88
total parking required			89.0
total standard accessible parking required			4.0
Residential bike parking (long-term)	102	1	102.0
Guest bike parking (short-term)	102	0.1	10.2 = 10
Retail bike parking (short-term)	1782	1782/2000	0.89 = 1
total bike parking required			102 long-term, 11 short-term
PARKING PROVIDED (AUTO)	51 surface:	including	4 accessible
	48 stackers		
	99 (98 residential, 1 retail)	total parking (including 97 EVSE Ready and 2 EVSE Installed	
	98 residential including:	1 EVSE installed, 1 van accessible, 1 standard accessible	
	1 retail including:	1 EVSE installed	
	TDM reduction used	9%	
BIKE	104 (long-term) in lobby, 11 (short-term)@ grade		
15% of the total units, or 16 units to be designated for BMR uses			

2-row layout



- NOTE:
- SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
 - SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
 - SEE 4/A0.1a FOR ELECTRICAL GENERAL NOTES
 - SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES

GARAGE FLOOR PLAN KEYNOTES

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- (N) WALL: EXTERIOR: 2x6 STUDS @ 16" O.C.; INTERIOR 2x4 STUDS @ 16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
- (N) WALL W/ 2 HOUR SEPARATION--5/8" TYPE 'X' GYP
- CONCRETE RETAINING WALL--SEE STRUCTURAL DRAWINGS

- C# = COMMON BNP# = BASEMENT AREA NOT DEDICATED TO PARKING



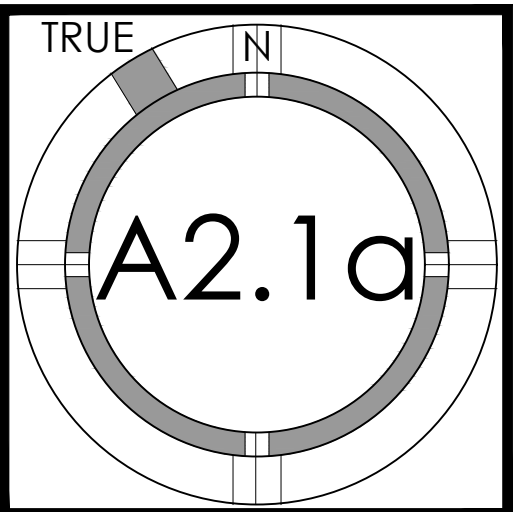
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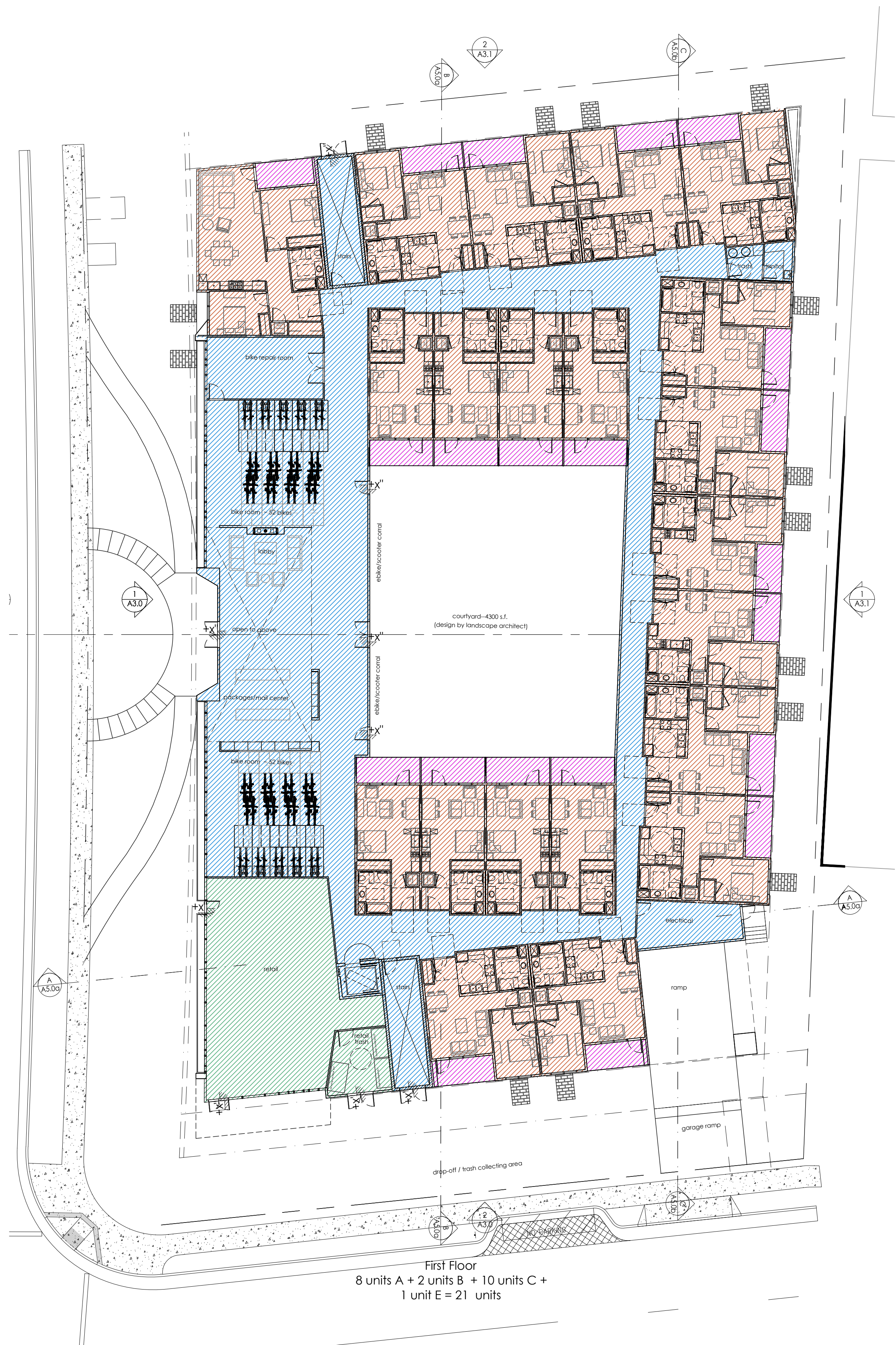
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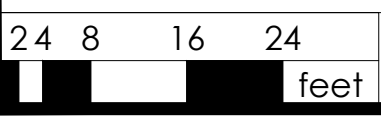
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GARAGE FLOOR PLAN





First Floor
8 units A + 2 units B + 10 units C +
1 unit E = 21 units



1ST FLOOR PLAN

1/16"

1

FLOOR PLAN LEGEND

FLOOR PLAN KEYNOTES

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(N) WALL W/ 2 HOUR SEPARATION--5/8" TYPE 'X' GYP

(N) GAS COCK--REFER TO MANUF. SPECS FOR ELECTRICAL AND GAS REQUIREMENTS. PLUMBER TO VERIFY GAS PIPE DIAMETER NEEDED FOR APPLIANCE FROM GAS METER LOCATION

FLOOR ELEVATION CHANGE--SEE CIVIL PLANS FOR MORE INFO

RT# = ROOFTOP

R# - RETAIL U# = UNITS C# = COMMON B# = BALCONY



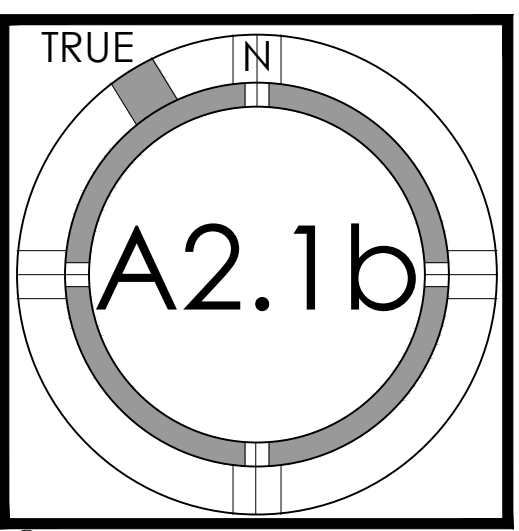
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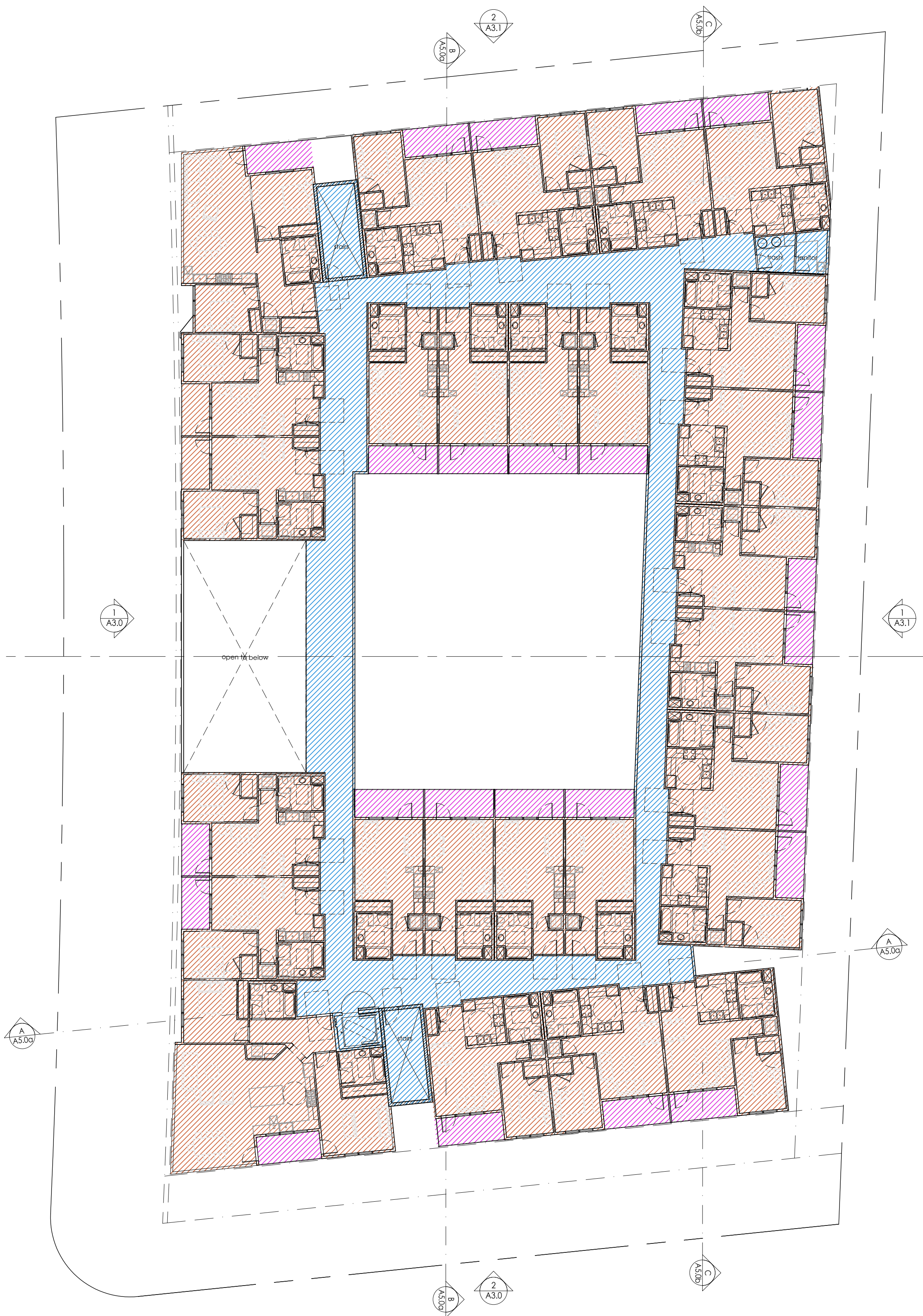


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1ST
FLOOR PLAN



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Second Floor
8 units A + 6 units B + 11 units C +
1 unit D + 1 unit E = 27 units

FLOOR PLAN KEYNOTES

- (N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
- (N) WALL W/ 2 HOUR SEPARATION--5/8" TYPE 'X' GYP
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- FLOOR ELEVATION CHANGE--SEE CIVIL PLANS FOR MORE INFO
- RT# = ROOFTOP
- R# - RETAIL U# = UNITS C# = COMMON B# = BALCONY



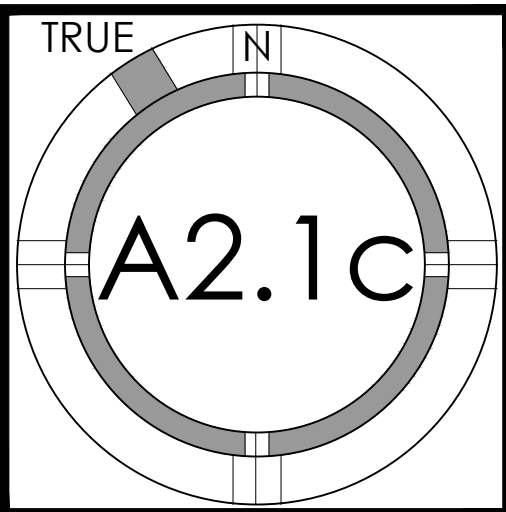
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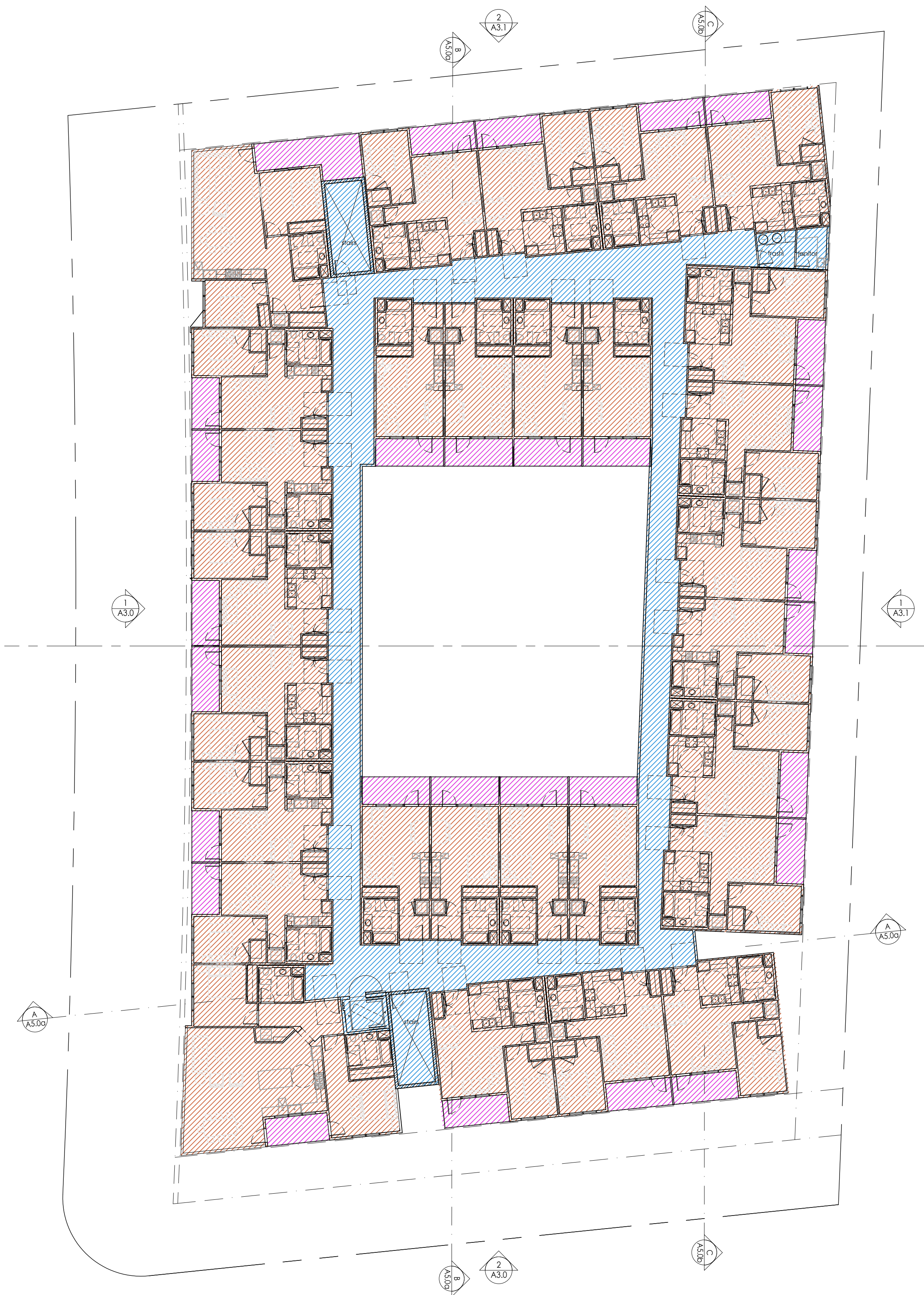


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2ND
FLOOR PLAN



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Third Floor
8 units A + 6 units B + 13 units C +
1 unit D + 1 unit E = 29 units

FLOOR PLAN KEYNOTES

- (N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
- (N) WALL W/ 2 HOUR SEPARATION--5/8" TYPE 'X' GYP
- (N) GAS COCK--REFER TO MANUF. SPECS FOR ELECTRICAL AND GAS REQUIREMENTS. PLUMBER TO VERIFY GAS PIPE DIAMETER NEEDED FOR APPLIANCE FROM GAS METER LOCATION
- FLOOR ELEVATION CHANGE--SEE CIVIL PLANS FOR MORE INFO
- R# - RETAIL U# = UNITS C# = COMMON B# = BALCONY
- RT# = ROOFTOP



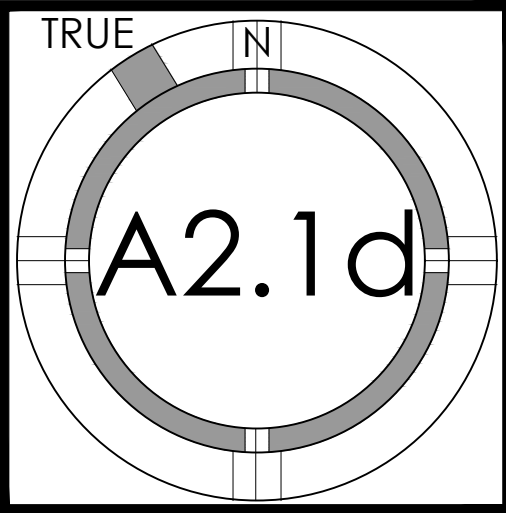
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3RD FLOOR PLAN



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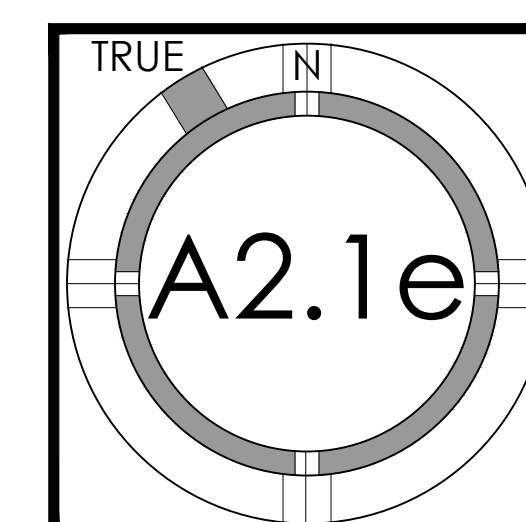


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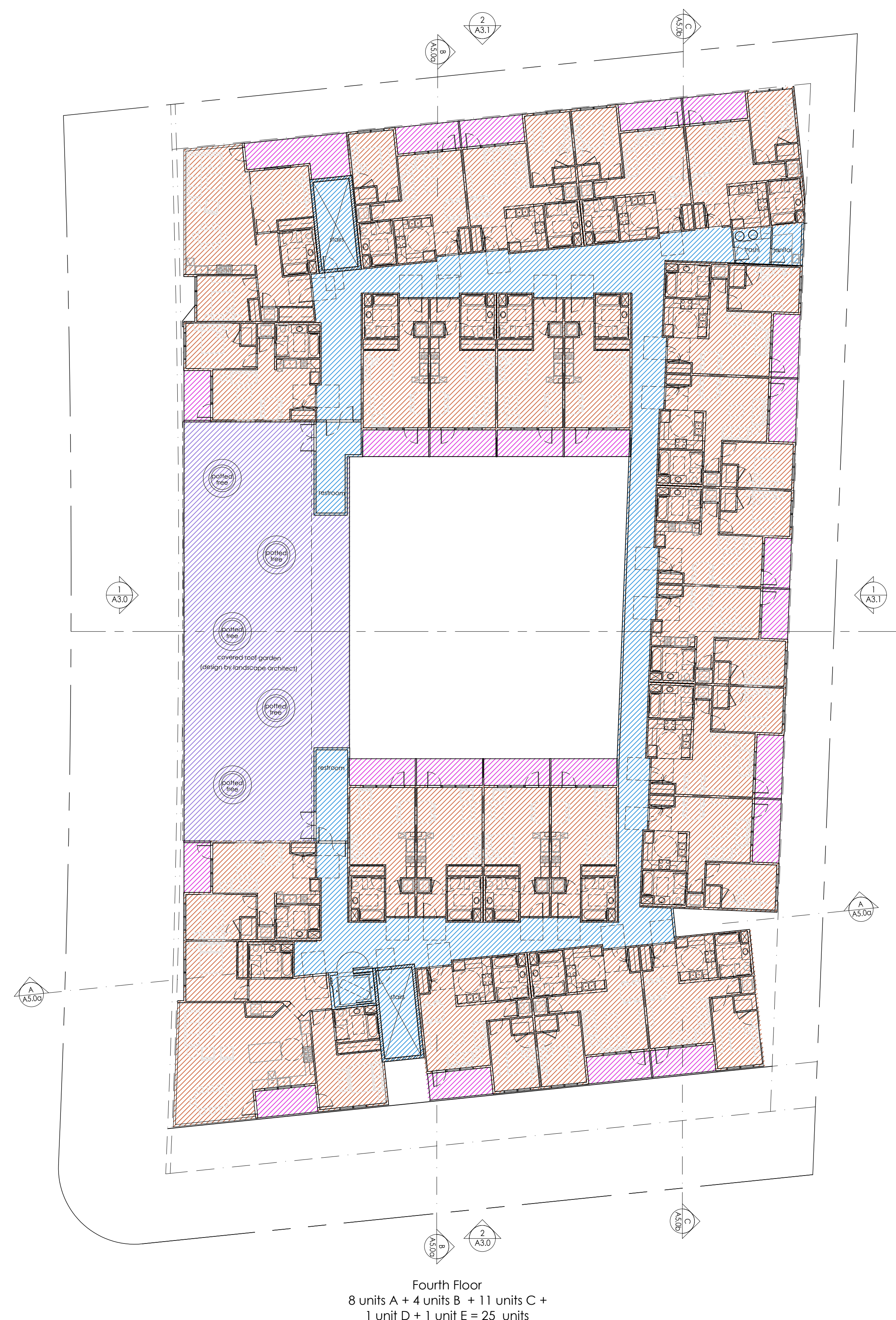
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	06.21.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

4TH
FLOOR PLAN












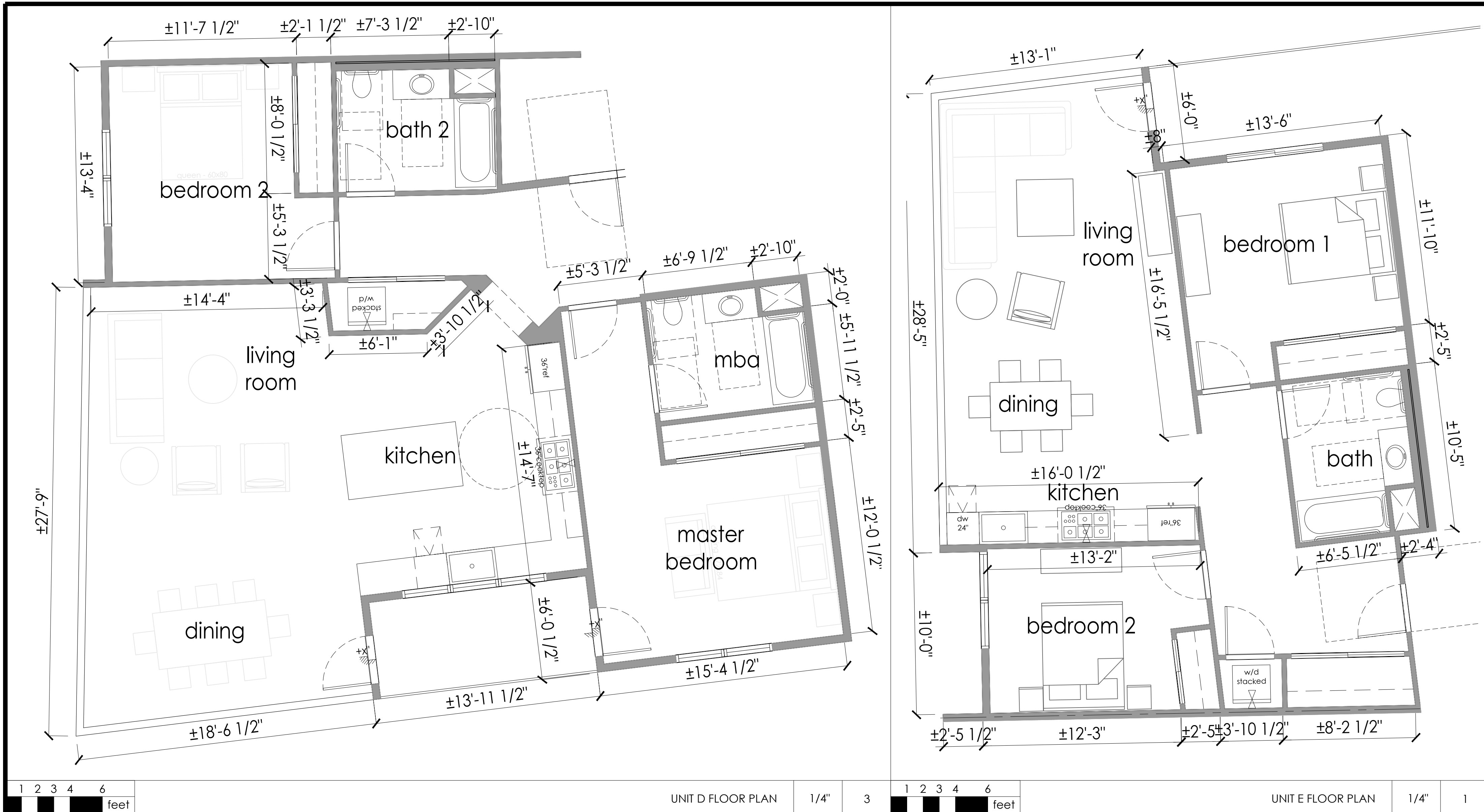
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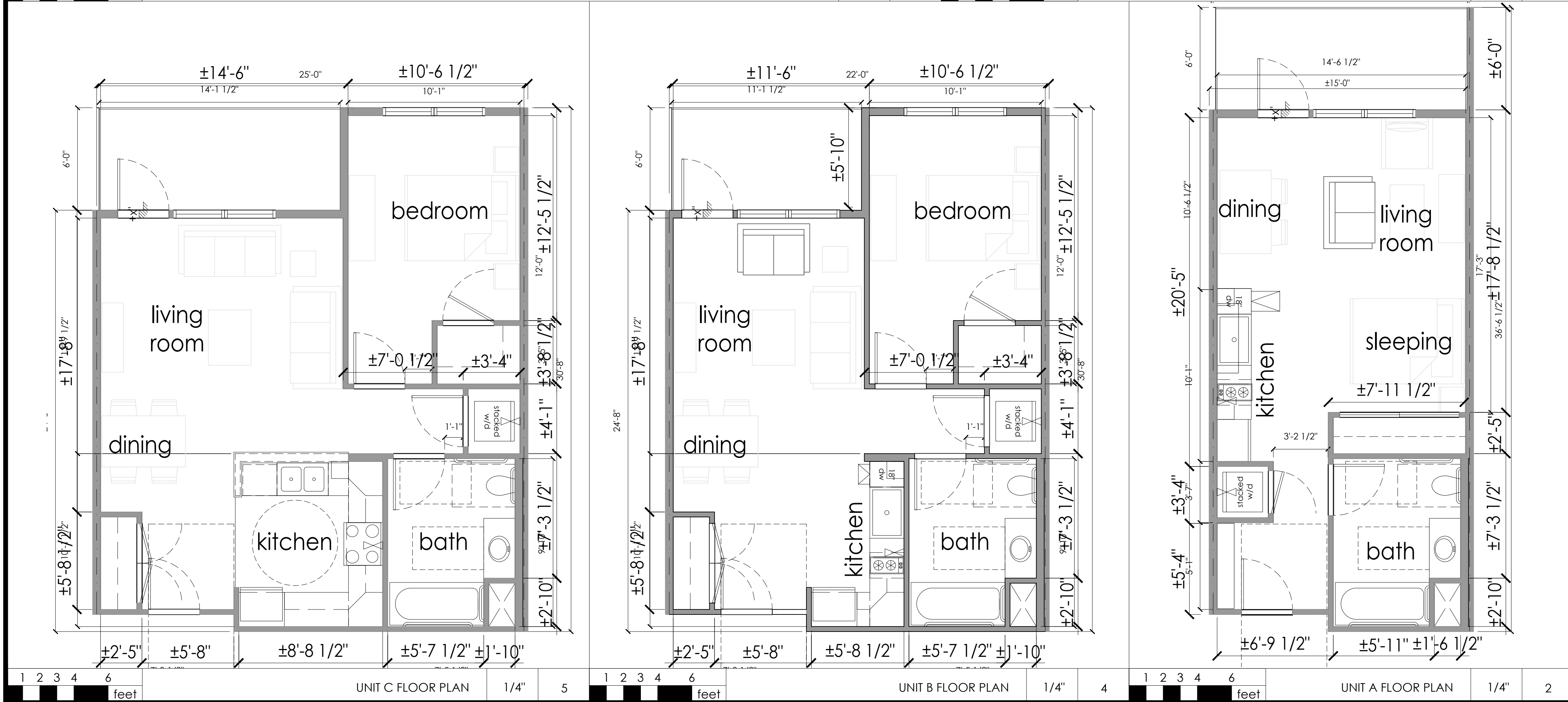


Fourth Floor
8 units A + 4 units B + 11 units C +
1 unit D + 1 unit E = 25 units

FLOOR PLAN KEYNOTES		-						
	(N) WALL: EXTERIOR: 2x6 STUDS @ 16" O.C.; INTERIOR 2x4 STUDS @ 16" O.C.-SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2-INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD							
	(N) WALL W/ 2 HOUR SEPARATION-5/8" TYPE 'X' GYP							
	(N) GAS COCK-REFER TO MANUF. SPECS FOR ELECTRICAL AND GAS REQUIREMENTS. PLUMBER TO VERIFY GAS PIPE DIAMETER NEEDED FOR APPLIANCE FROM GAS METER LOCATION							
	FLOOR ELEVATION CHANGE-SEE CIVIL PLANS FOR MORE INFO							
	R# - RETAIL		U# = UNITS		C# = COMMON		RT# = ROOFTOP	
							B# = BALCONY	
FLOOR PLAN LEGEND							-	



NOTE: BALCONIES VARY IN SIZE AND STYLE THROUGHOUT THE BUILDING, BUT EACH BALCONY IS OVER 80 S.F.; MINIMUM BALCONY DEPTH PROVIDED IS 6'-0"; PLEASE SEE FLOOR PLANS, BUILDING PERSPECTIVES AND ELEVATIONS FOR MORE INFORMATION ABOUT BALCONIES



FLOOR PLAN KEYNOTES

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FLOOR ELEVATION CHANGE—SEE CIVIL PLANS FOR MORE INFO

FLOOR PLAN LEGEND

R# = RETAIL

U# = UNITS

C# = COMMON

B# = BALCONY



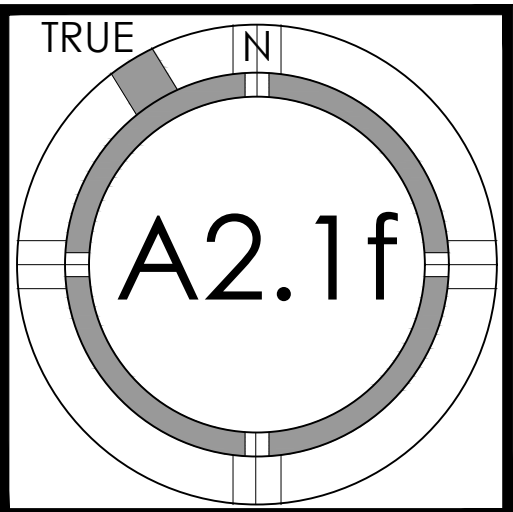
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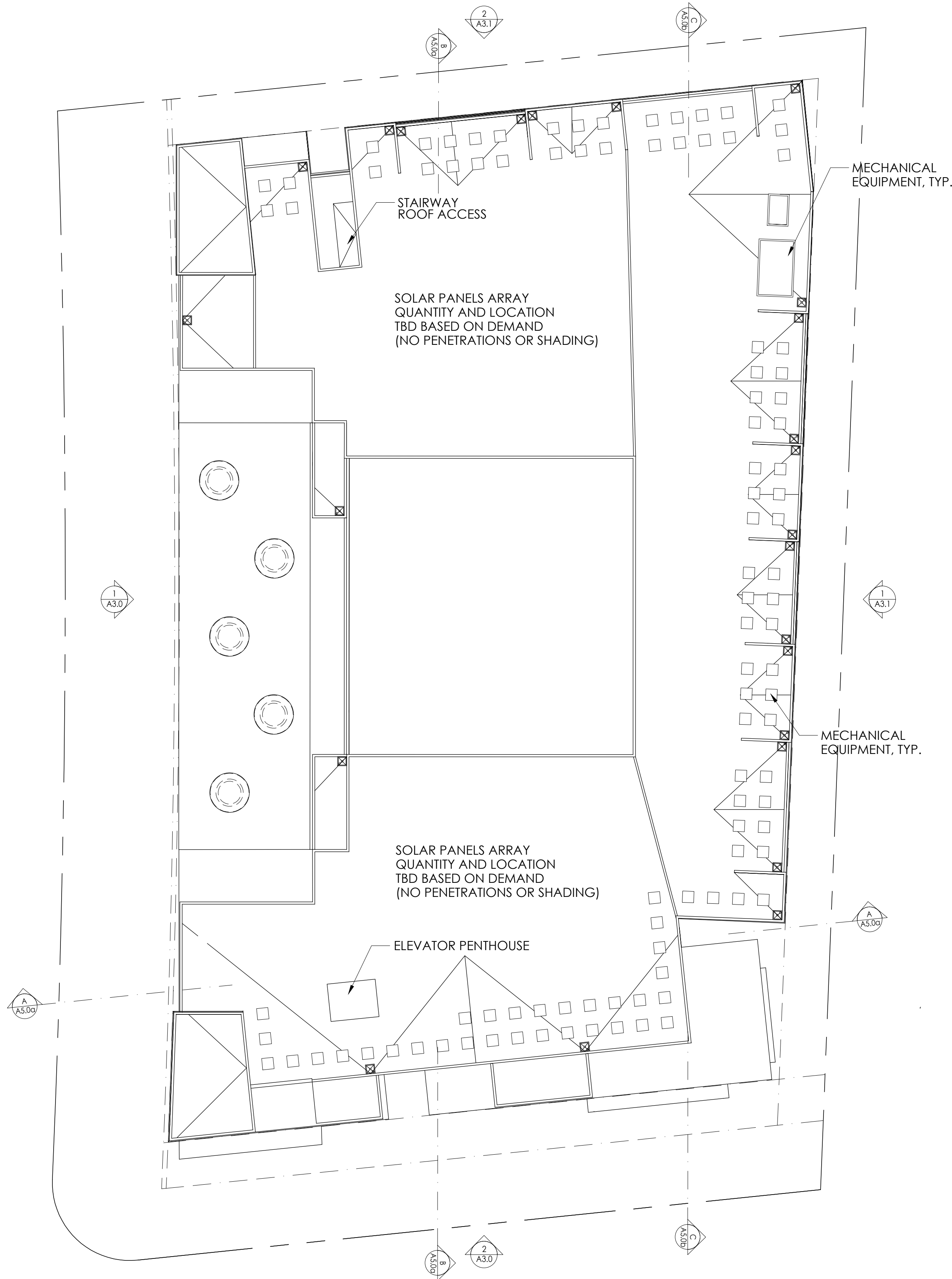
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788, 790, 796 San Antonio Road
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788SAPA Land LLC



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	04.30.2019	ARB RESUBMITTAL PACKAGE	IG
	06.21.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

UNIT FLOOR PLANS





ATTIC VENTILATION CALCULATIONS AND NOTES

- SINGLE PLY ROOFING, MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST o/ 6-OZ MIN. POLYMAT FILTER FABRIC o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.
- DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS
- ← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
- LINE OF BLDG. BELOW



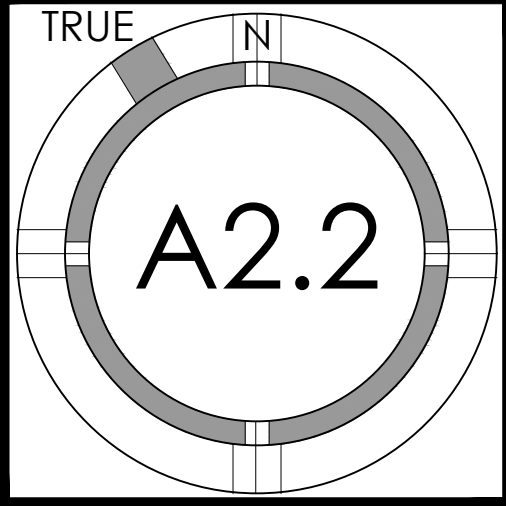
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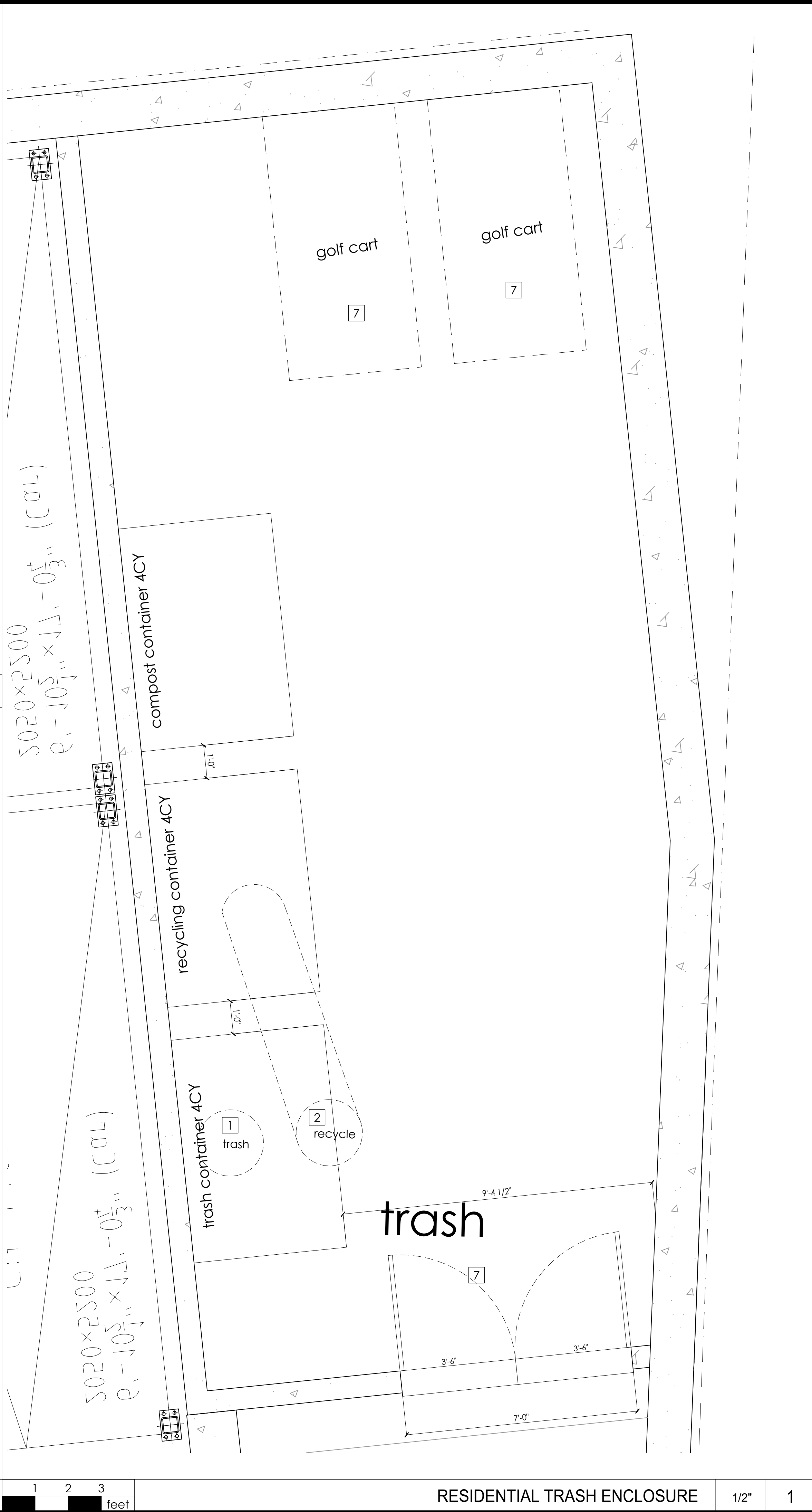
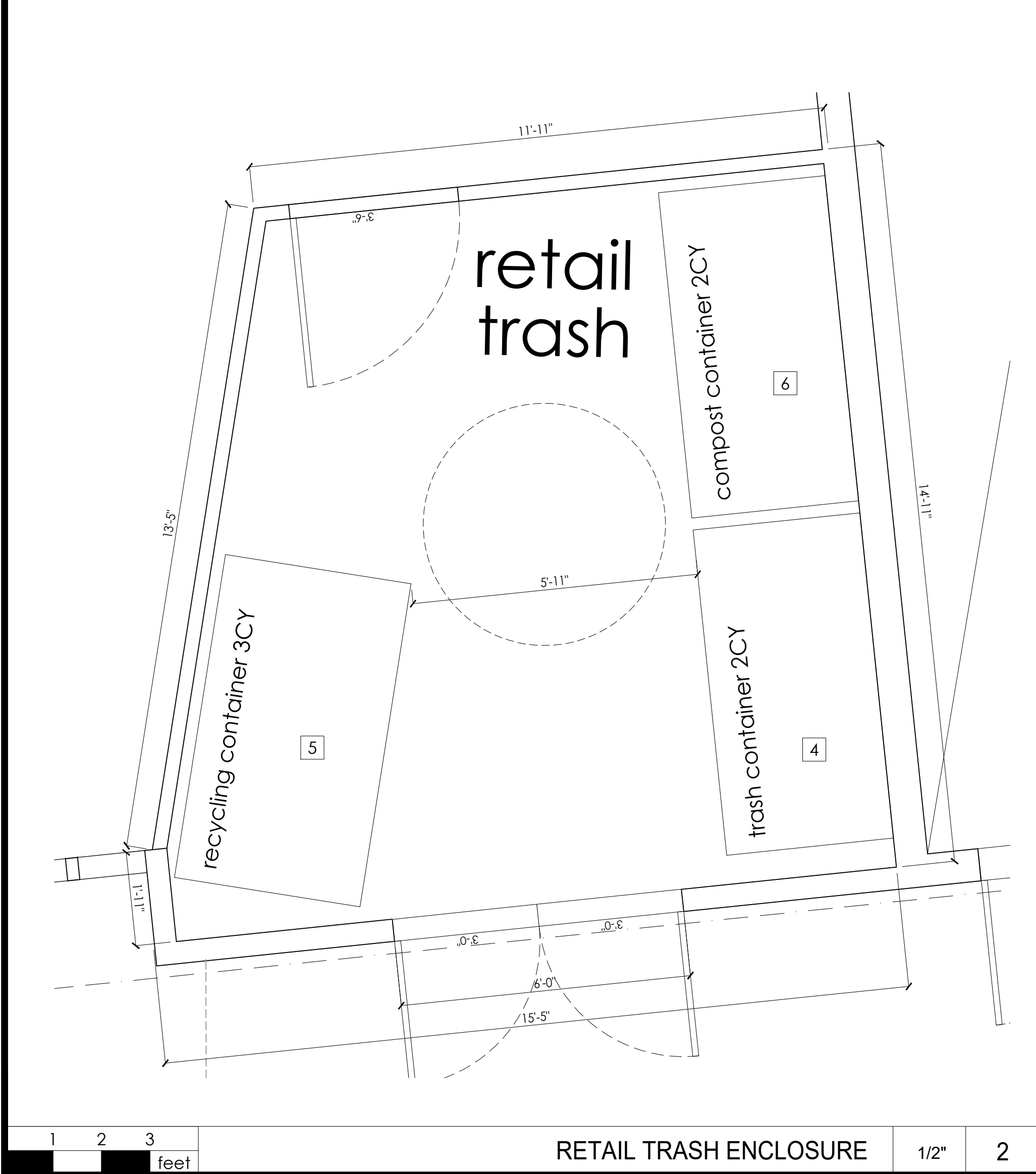
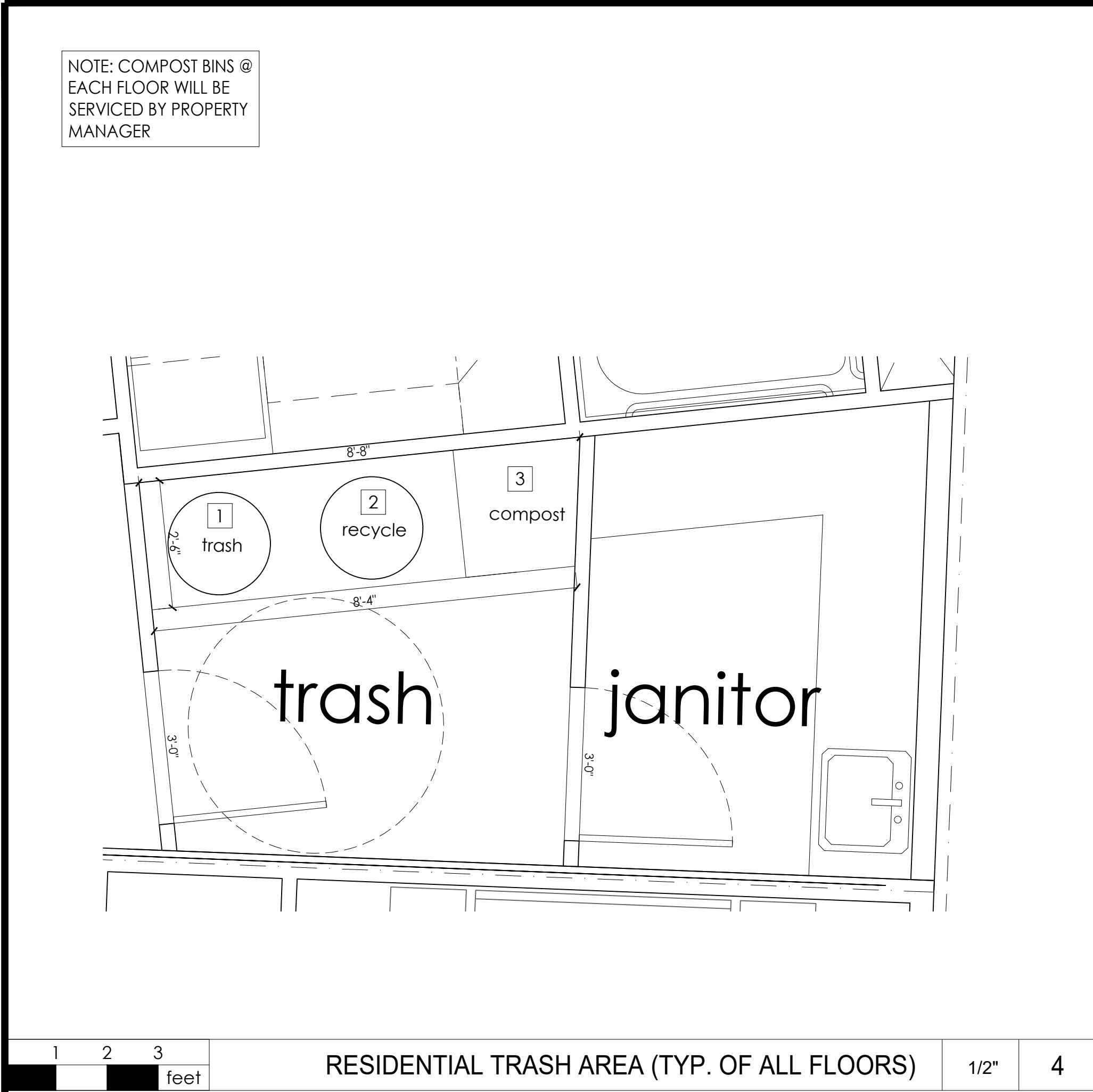


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ROOF PLAN



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= NUMBER TO KEY NOTE BELOW

1. RESIDENTIAL TRASH CHUTE AT ALL LEVELS TO RESIDENTIAL TRASH CONTAINER IN GARAGE REFUSE ENCLOSURE

2. RESIDENTIAL RECYCLING CHUTE AT ALL LEVELS TO RESIDENTIAL RECYCLING CONTAINER IN GARAGE REFUSE ENCLOSURE

3. RESIDENTIAL COMPOST STORAGE AT ALL LEVELS; MAINTENANCE TO CARRY COMPOST TO GARAGE REFUSE ENCLOSURE

4. RETAIL TRASH STORAGE

5. RETAIL RECYCLING STORAGE

6. RETAIL COMPOST STORAGE

7. GOLF CARTS; MAINTENANCE TO USE GOLF CARTS TO CARRY BINS TO GROUND LEVEL CUTOUT AREA FOR TEMPORARY REFUSE STORAGE AND COLLECTION

NOTE:

1. TRASH ENCLOSURES SHALL BE ADEQUATELY SIZED FOR ALL WASTE STREAMS.

2. TRASH CUTOUT AREA SHALL BE DESIGNED TO PREVENT WATER RUNON AND RENOFF FROM THE AREA.

3. TRASH AREA SHALL MEET ZERO WASTE SIZING REQUIREMENTS.

ENLARGED PLAN KEYNOTES

-



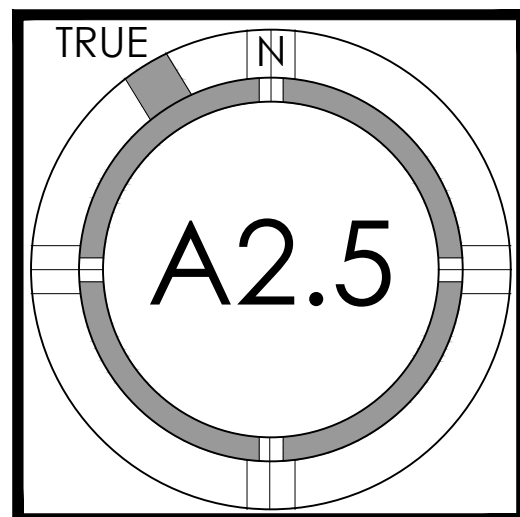
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ENLARGED
FLOOR PLANS



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FRONT ELEVATION -- SAN ANTONIO ROAD -- WEST ELEVATION 1/8" 1



RIGHT SIDE ELEVATION -- LEGHORN STREET -- SOUTH ELEVATION 1/8" 2



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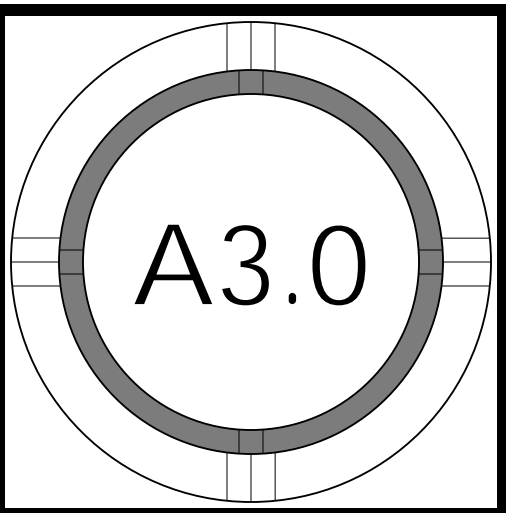
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		11.30.2019	ARB SUBMITTAL PACKAGE	IG
		12.1.2019	ARB SUBMITTAL PACKAGE #2	IG, IV

EXTERIOR
ELEVATIONS





REAR ELEVATION -- EAST ELEVATION 1/8" 1



LEFT SIDE ELEVATION -- NORTH ELEVATION 1/8" 2



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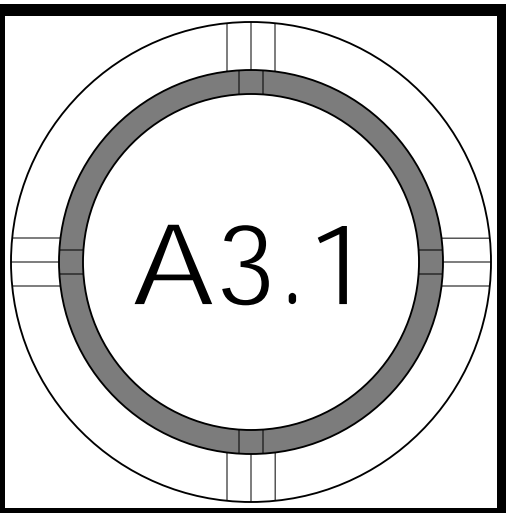
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EXTERIOR
ELEVATIONS





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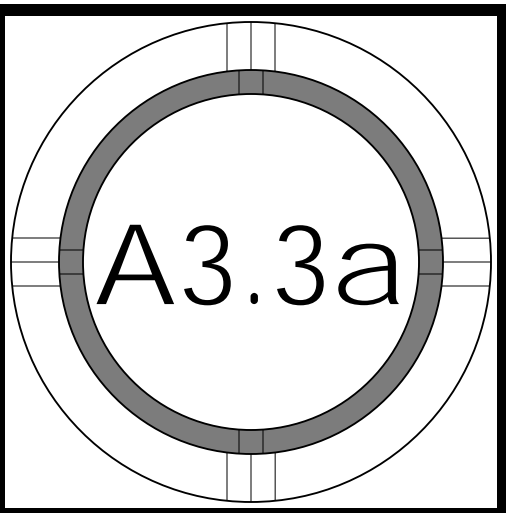
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EXTERIOR
PERSPECTIVES





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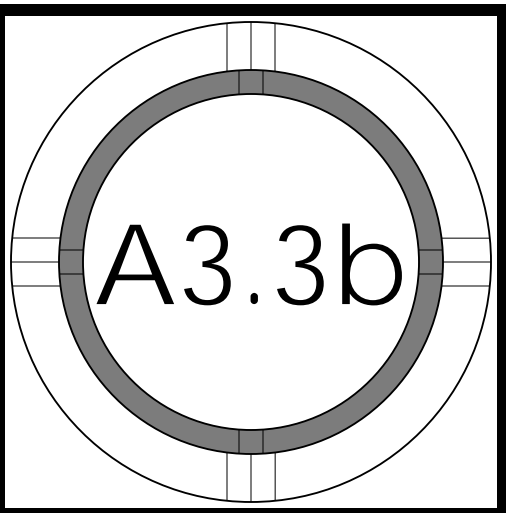
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	3	10.15.2019	ARB	IV, IG
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	5	12.1.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

EXTERIOR
PERSPECTIVES





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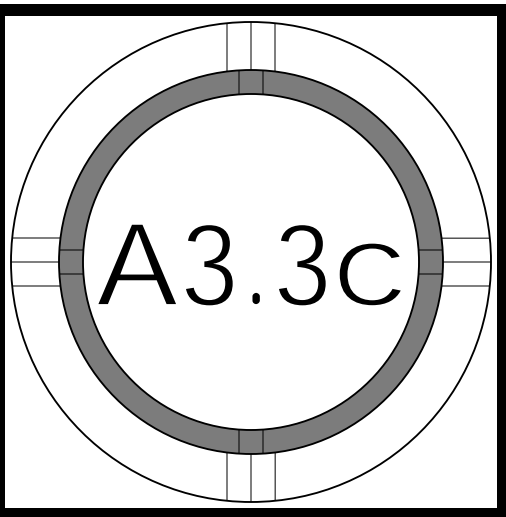
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EXTERIOR
PERSPECTIVES





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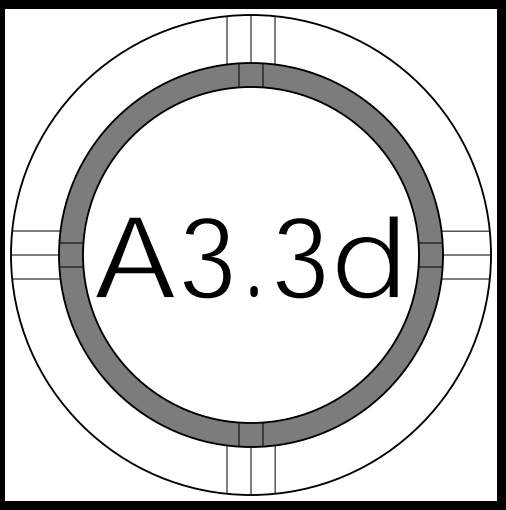
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EXTERIOR
PERSPECTIVES





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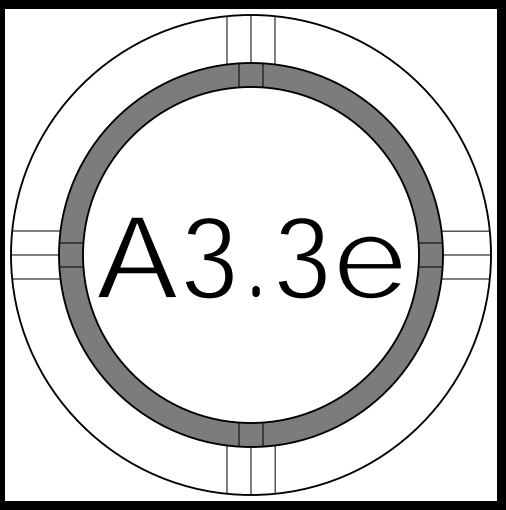
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EXTERIOR
PERSPECTIVES





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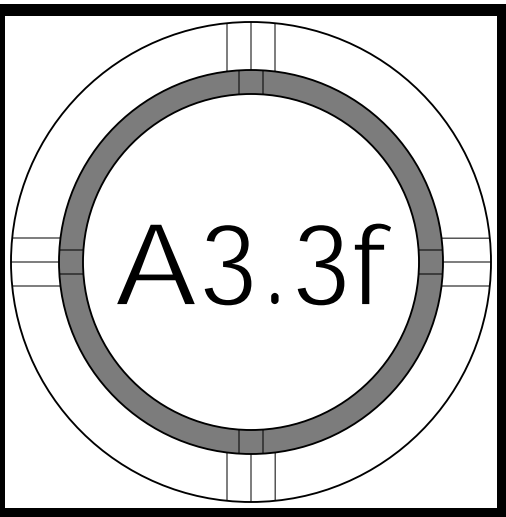
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EXTERIOR
PERSPECTIVES

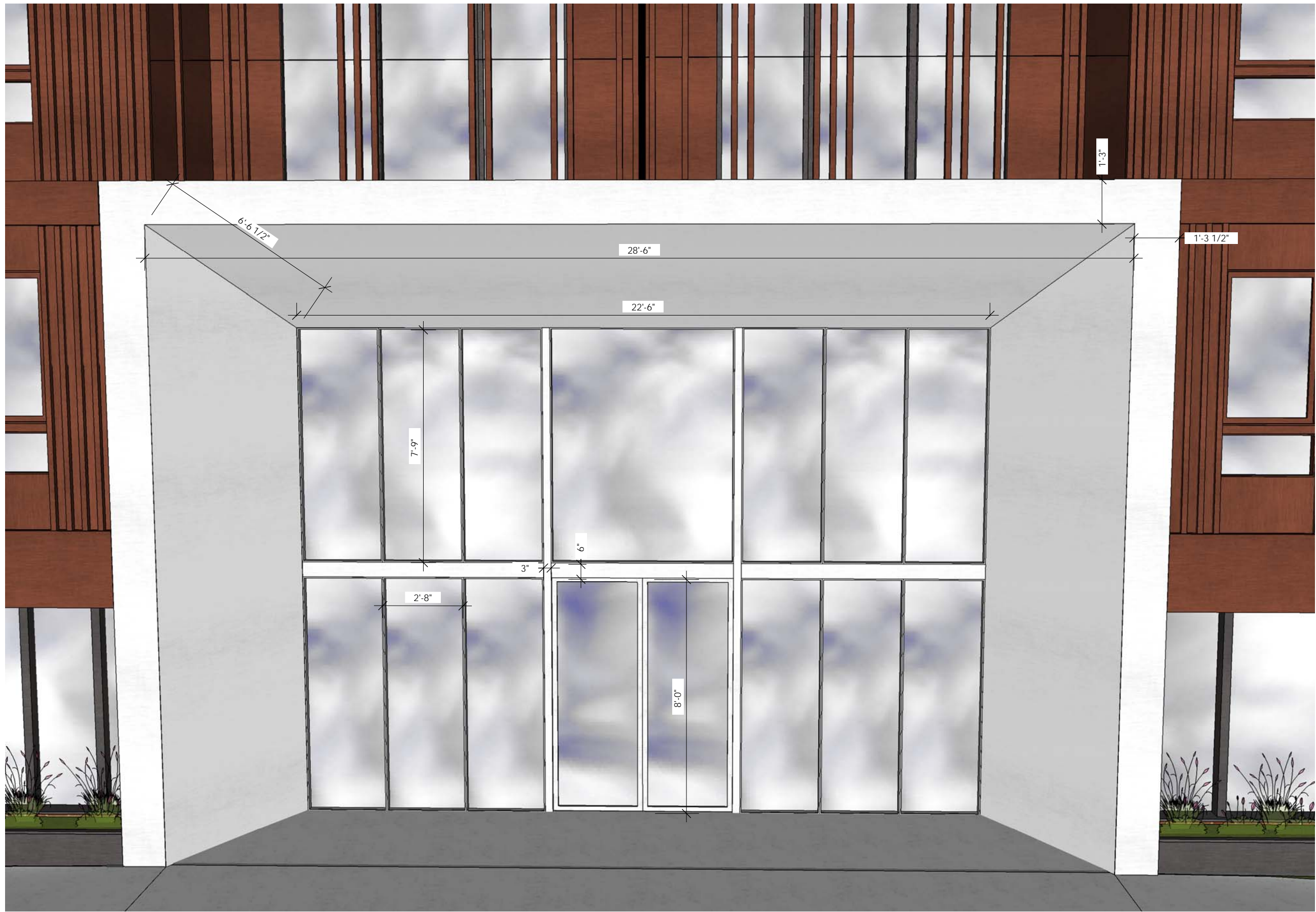




FLARED WALL - 2



METAL BALCONY DETAIL - 1



FRONT ENTRY - 4



PLANTER WALL - 3



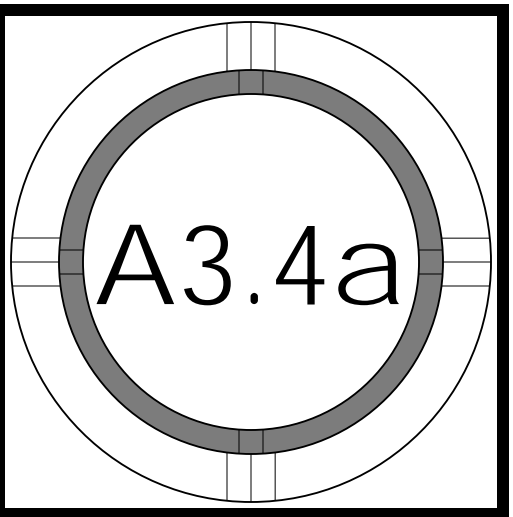
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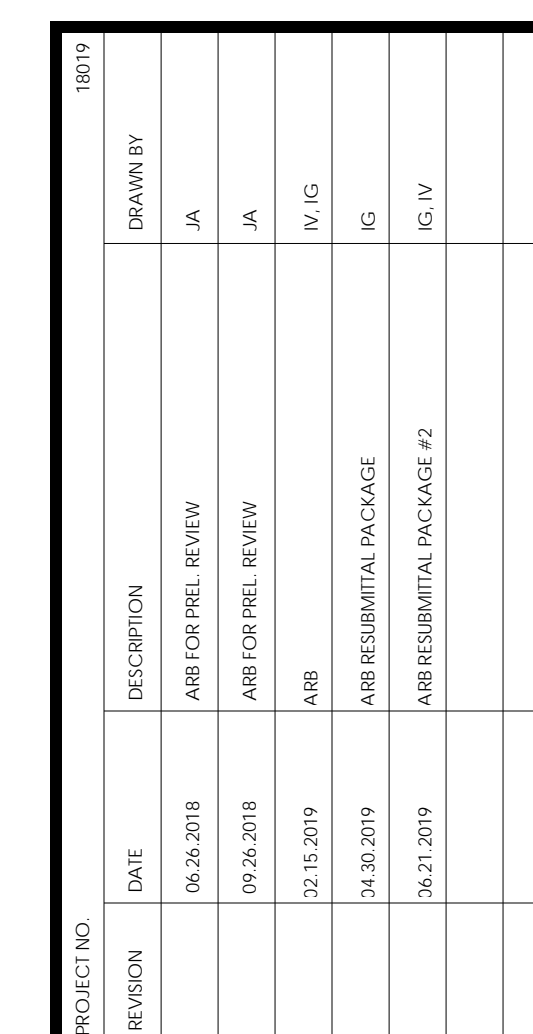
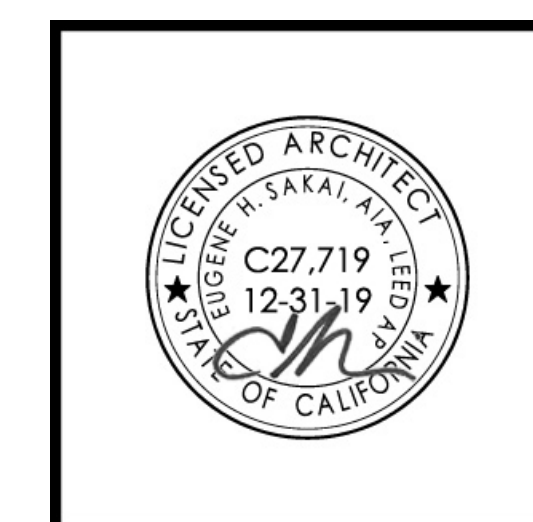
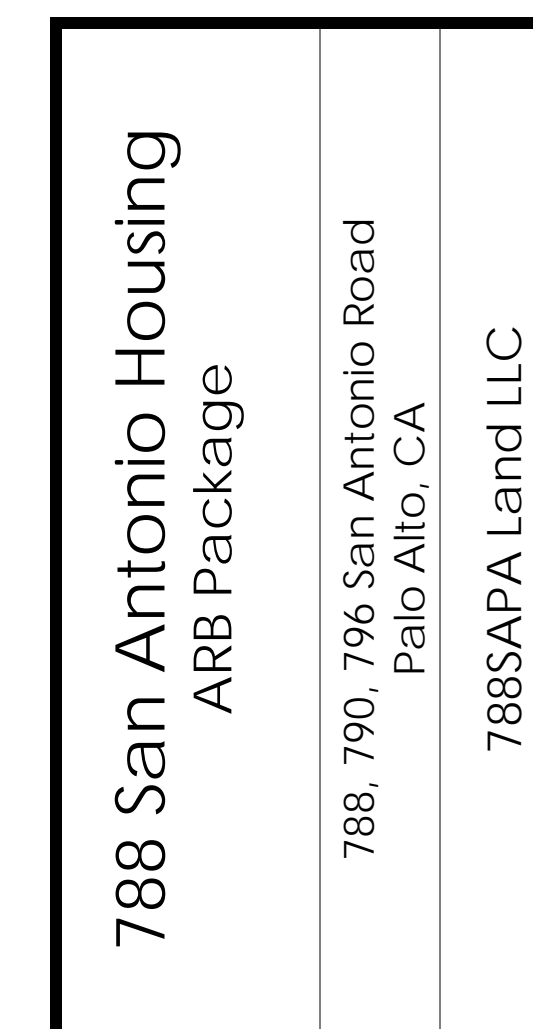
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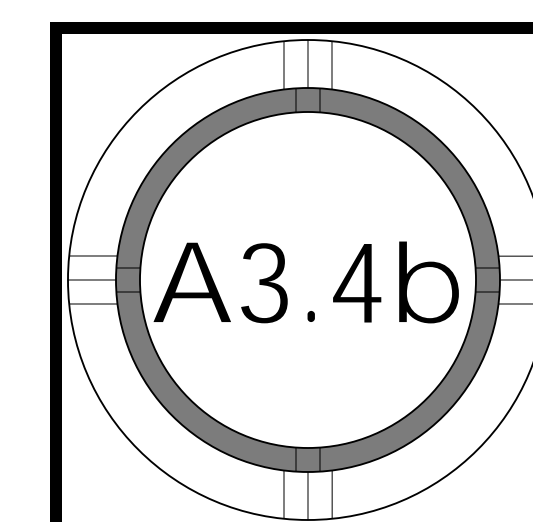
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DETAILS





DETAILS

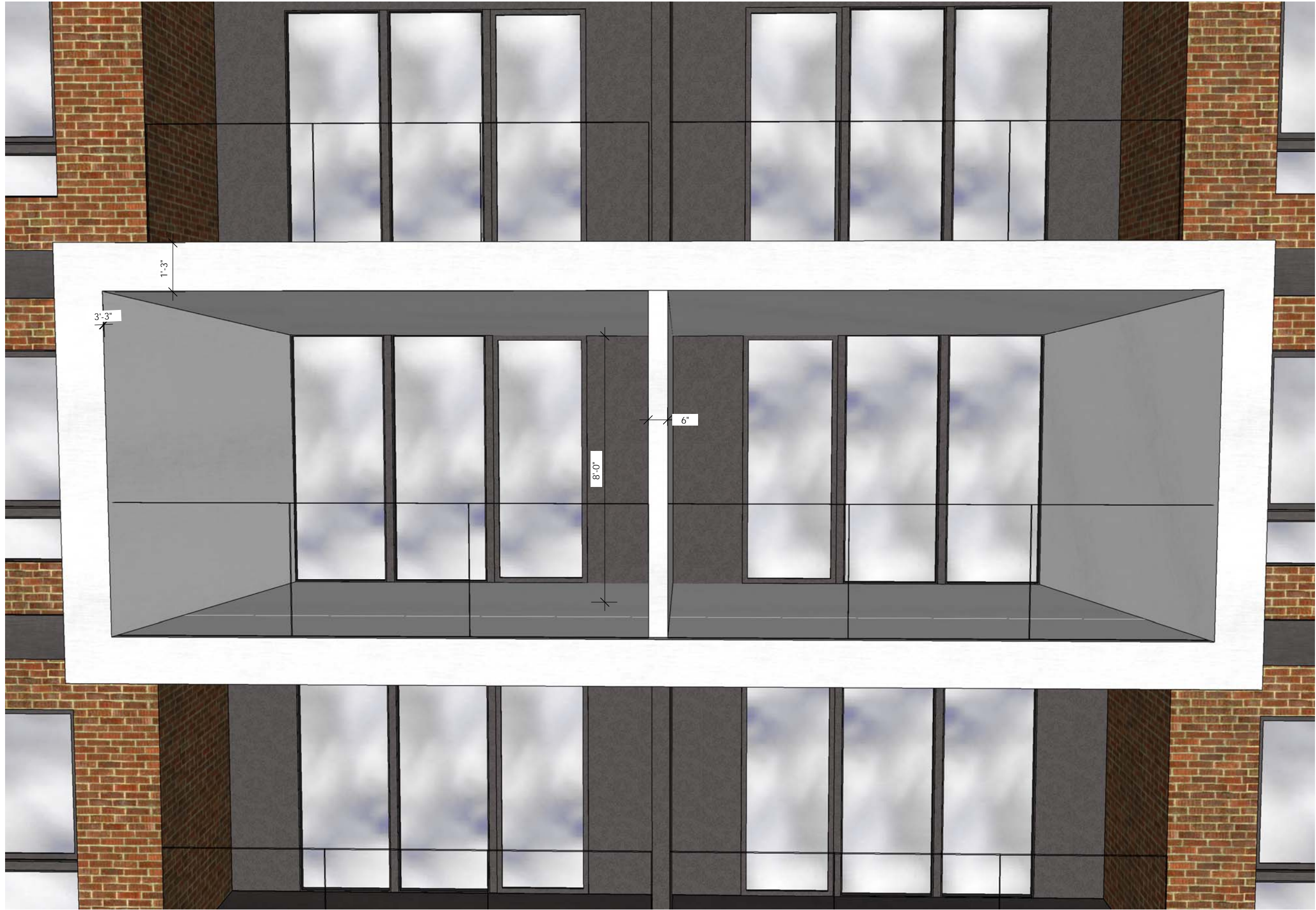




ROOFTOP DECK - 2



SCREEN - 1



RESIDENCE - 4



GUARDRAIL - 3



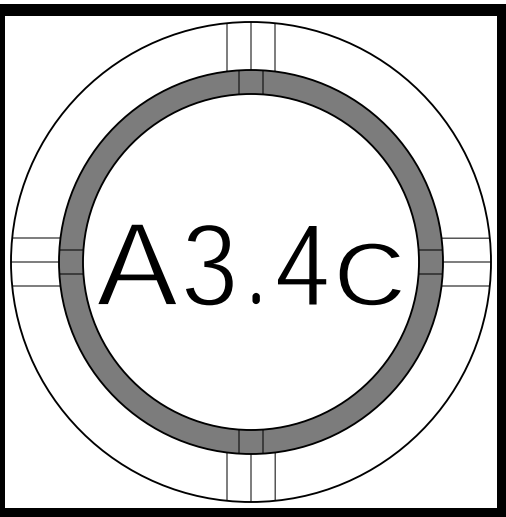
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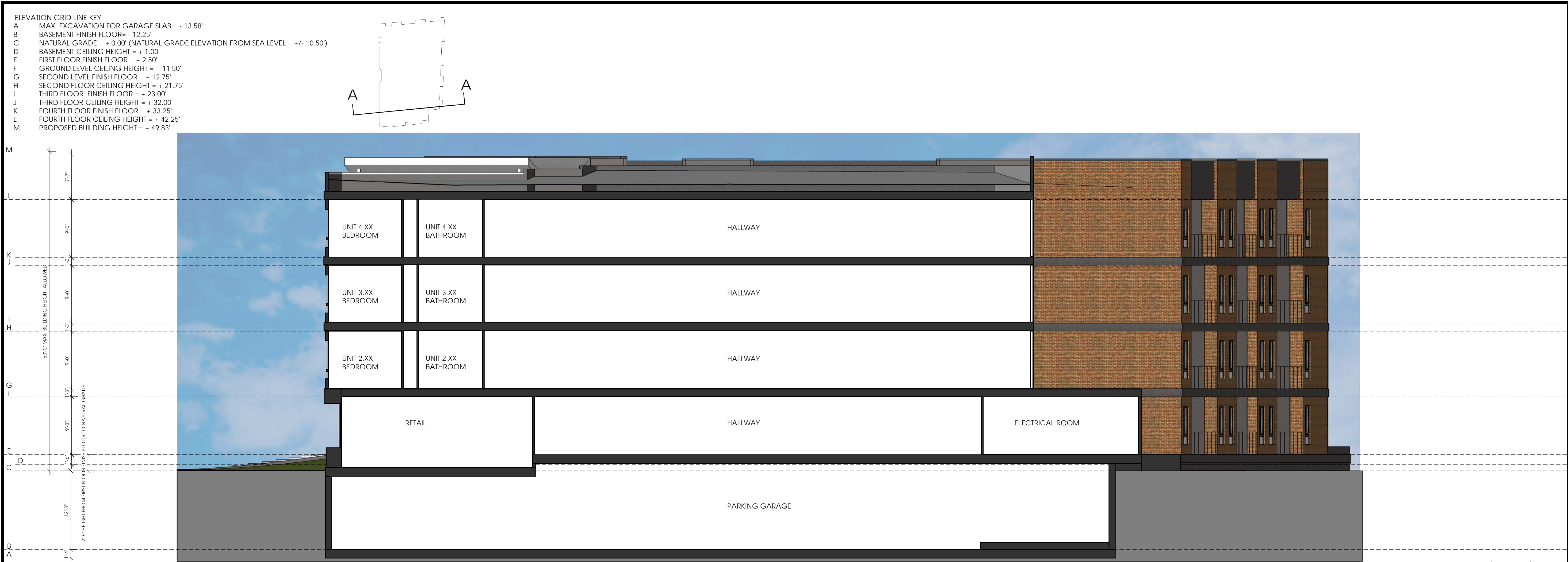
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DETAILS





SECTION A-A 1/8" 1



SECTION B-B 1/8" 2



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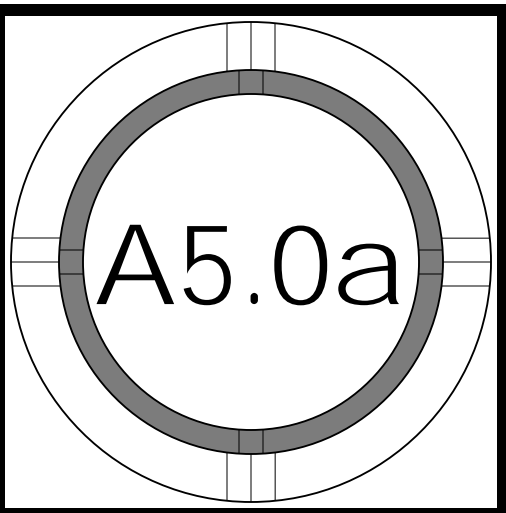
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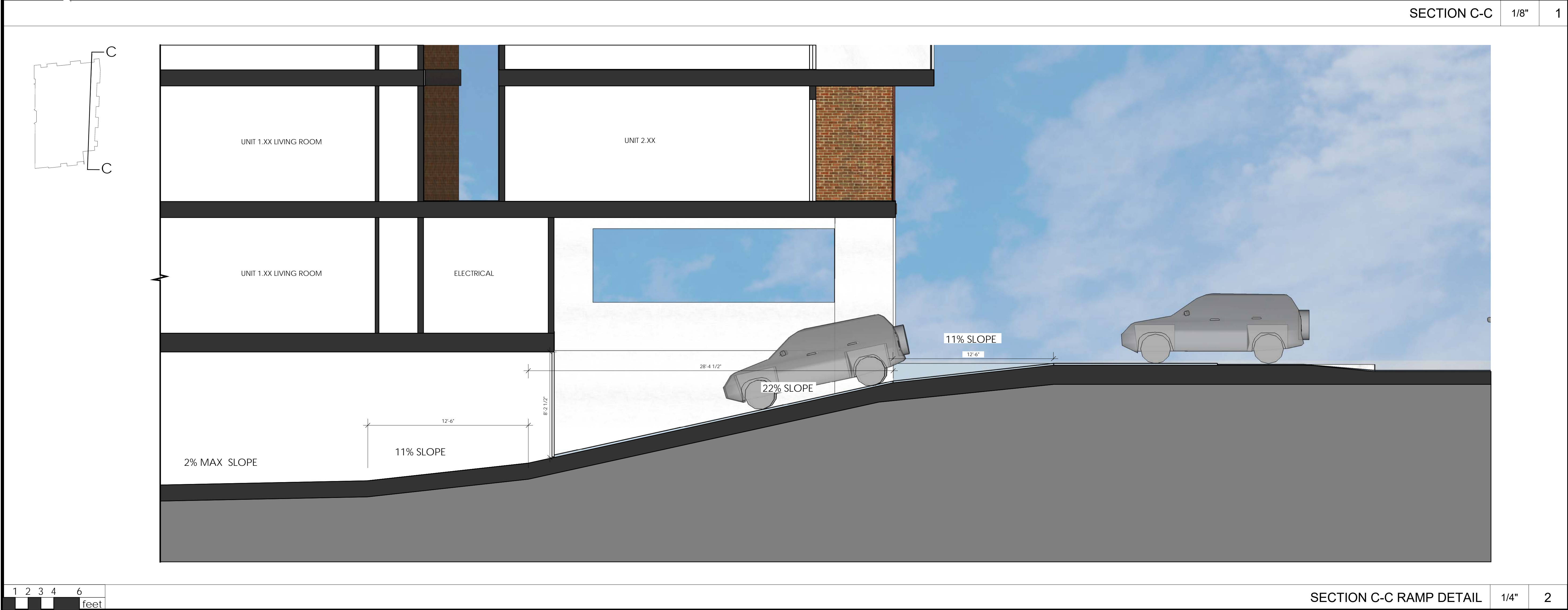
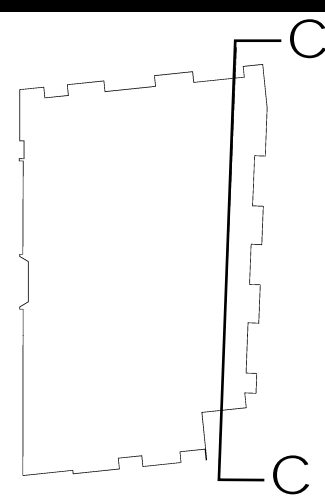


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		12.1.2019	ARB SUBMITTAL PACKAGE #2	IG, IV

SECTIONS



ELEVATION GRID LINE KEY
A MAX. EXCAVATION FOR GARAGE SLAB = - 13.58'
B BASEMENT FINISH FLOOR = - 12.25'
C NATURAL GRADE = + 0.00' (NATURAL GRADE ELEVATION FROM SEA LEVEL = +/- 10.50')
D BASEMENT CEILING HEIGHT = + 1.00'
E FIRST FLOOR FINISH FLOOR = + 2.50'
F GROUND LEVEL CEILING HEIGHT = + 11.50'
G SECOND LEVEL FINISH FLOOR = + 12.75'
H SECOND FLOOR CEILING HEIGHT = + 21.75'
I THIRD FLOOR FINISH FLOOR = + 23.00'
J THIRD FLOOR CEILING HEIGHT = + 32.00'
K FOURTH FLOOR FINISH FLOOR = + 33.25'
L FOURTH FLOOR CEILING HEIGHT = + 42.25'
M PROPOSED BUILDING HEIGHT = + 49.83'



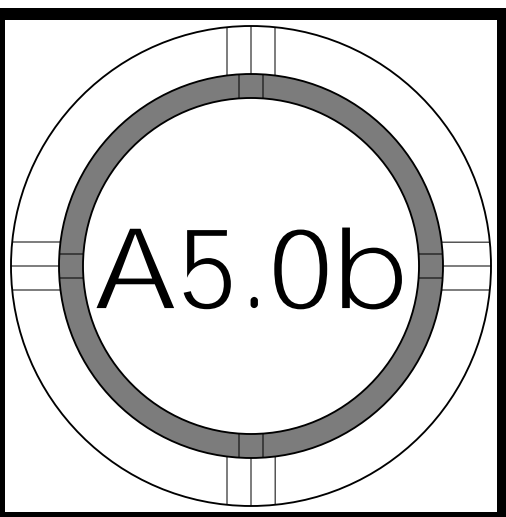
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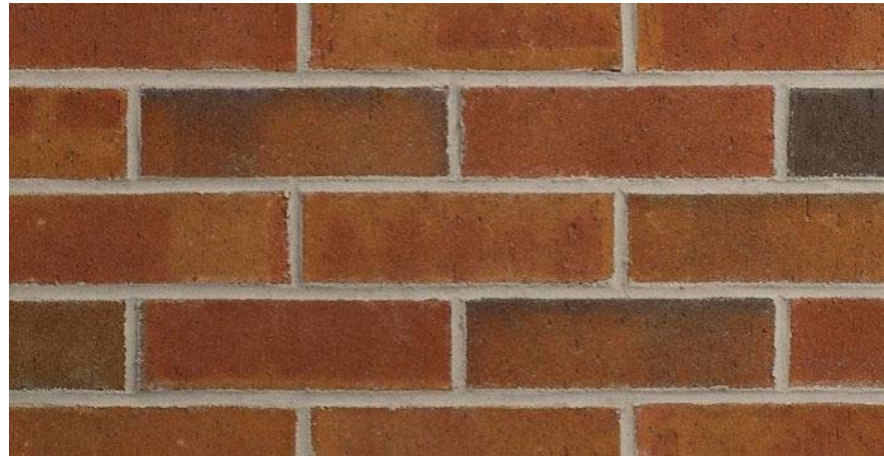


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SECTIONS



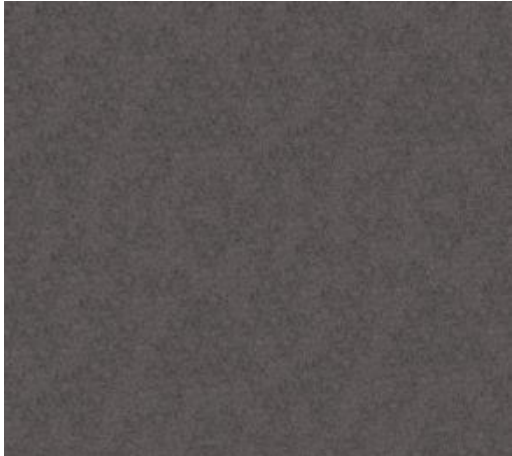
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1 GLEN-GERY CITYLINE SERIES BRICK
APPLE CREEK



2 ALUCOBOND ALUMINUM PANELS
OPEN JOINT INSTALLATION



3 ALUCOBOND ALUMINUM PANELS
OPEN JOINT INSTALLATION -- CUSTOM COLOR



4 SMOOTH TROWELED STUCCO
PAINTED BENJAMIN MOORE CEMENT GRAY



5 SMOOTH TROWELED STUCCO
PAINTED BENJAMIN MOORE DISTANT GRAY



6 SMOOTH TROWELED STUCCO
PAINTED BENJAMIN MOORE CITY SHADOW



7 KAWNEER 1600 SS CURTAIN WALL SYSTEM
WITH CONCEALED MULLIONS



8 ALLWEATHER
ARCHITECTURAL ALUMINUM
6000 SERIES THERMALLY BROKEN
ANODIZED CLASS I



9 TPO ROOFING
SLOPE TO DRAIN TOWARDS STREET



10 ALUCOBOND ALUMINUM PANELS
OPEN JOINT INSTALLATION



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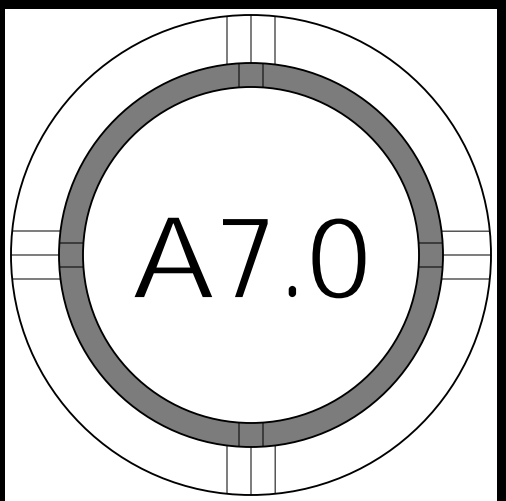
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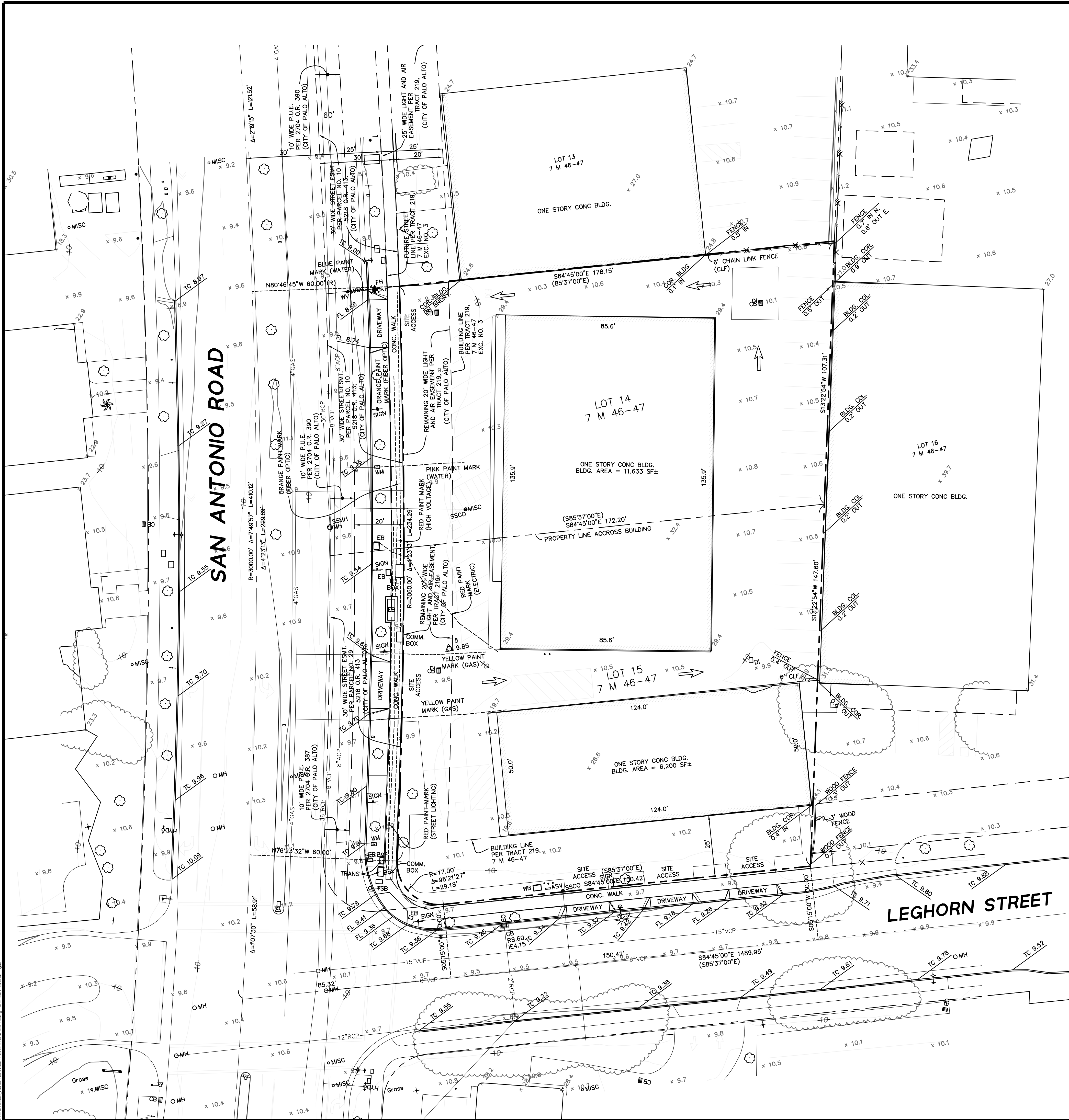


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COLOR +
MATERIALS
BOARD



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LEGEND

- BOUNDARY LINE
- ADJACENT LOT LINE
- EASEMENT LINE
- LOT LINE
- GAS LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- JOINT UTILITY TRENCH
- OVER HEAD UTILITIES
- TELEPHONE LINE
- STREET LIGHT
- FENCE
- FIBER OPTIC/COMMUNICATION LINE
- CONTOUR
- CURB, GUTTER, AND SIDEWALK WITH DRIVEWAY
- CATCH BASIN
- STORM DRAIN INLET
- BUBBLER BOX
- GAS METER
- FIRE HYDRANT
- ELECTRICAL BOX
- UTILITY BOX (GENERAL)
- TELEPHONE BOX
- STREET LIGHT BOX
- CABLE BOX
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- ELECTROLIER/STREET LIGHT
- JOINT UTILITY POLE
- SURVEY CONTROL PT
- STREET MONUMENT (SURVEY)
- WATER METER
- WATER VALVE
- STREET SIGN



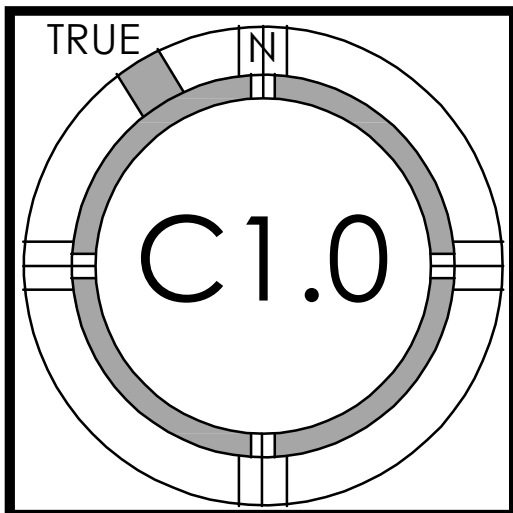
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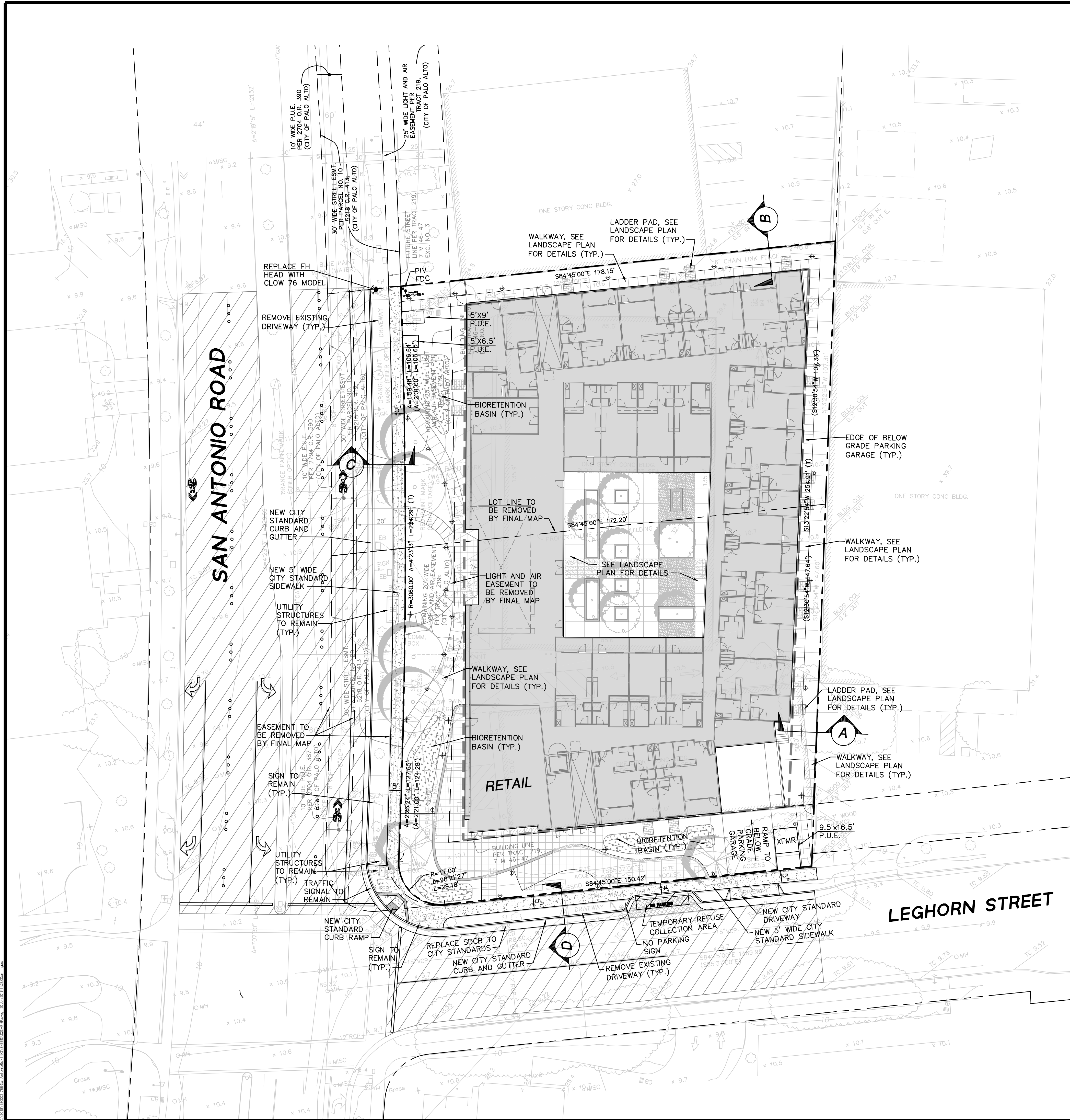


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EXISTING CONDITIONS



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LEGEND

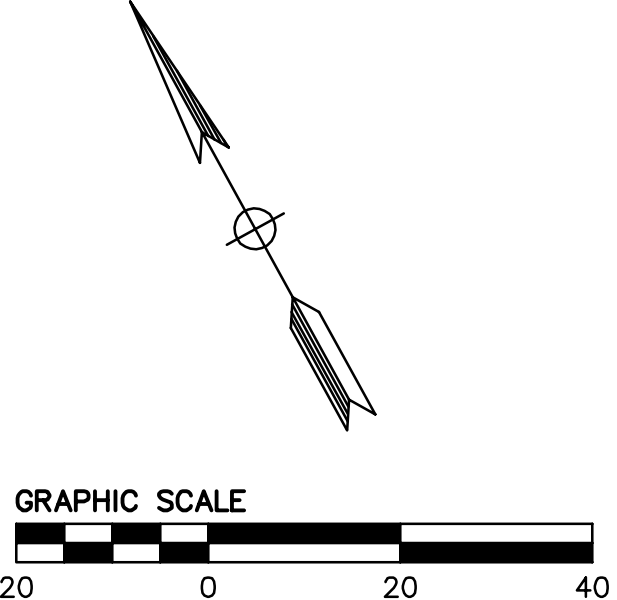
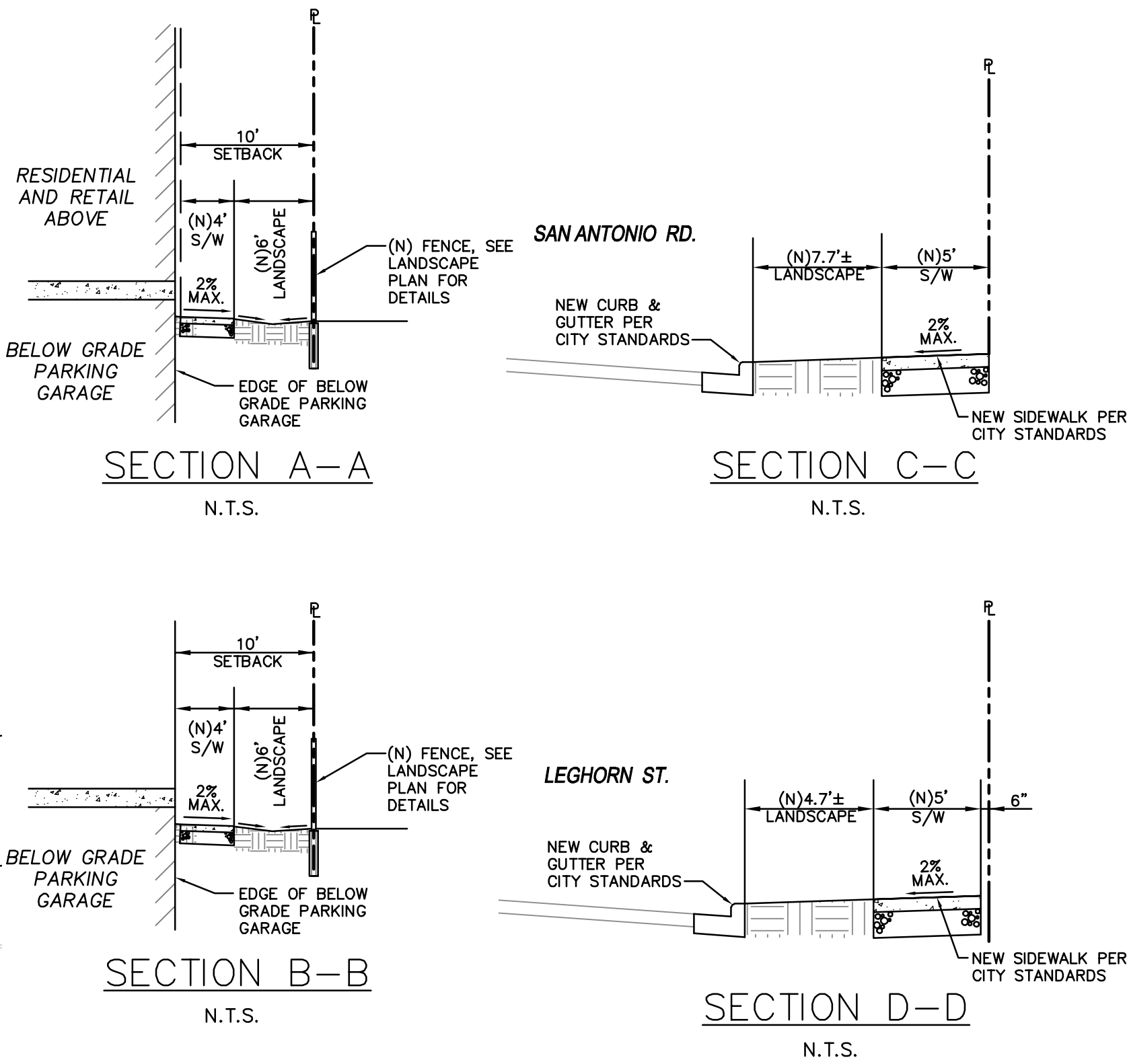
- PROJECT BOUNDARY
- LOT LINE
- AC PAVEMENT (3" AC / 12" CL. II AB)
- GRIND AND REMOVE MINIMUM 2" OF AC PAVEMENT AND PROVIDE AC OVERLAY TO FINISHED GRADE
- BIORETENTION BASIN
- AC PAVEMENT PER CITY OF PALO ALTO STANDARDS
- VERTICAL CURB & GUTTER
- PRIVATE SITE LIGHTING
- EDGE OF BELOW GRADE PARKING GARAGE

NOTE:

REMOVE TWO (2) ONE-STORY BUILDINGS AND AC PARKING LOT FOR PROPOSED DEVELOPMENT.

ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALTIC CONCRETE
- BLDG BUILDING
- CL CENTER LINE
- CPA CITY OF PALO ALTO
- BC BACK OF CURB
- BW BACK OF WALK
- DWY DRIVEWAY
- (E) EXISTING
- FC FACE OF CURB
- L/S LANDSCAPE
- MAX MAXIMUM
- (N) NEW
- PL PROPERTY LINE
- R RADIUS
- STD STANDARD
- S/W SIDEWALK
- TYP TYPICAL
- PS PARKING STALL
- PSE PRIVATE STREET EASEMENT



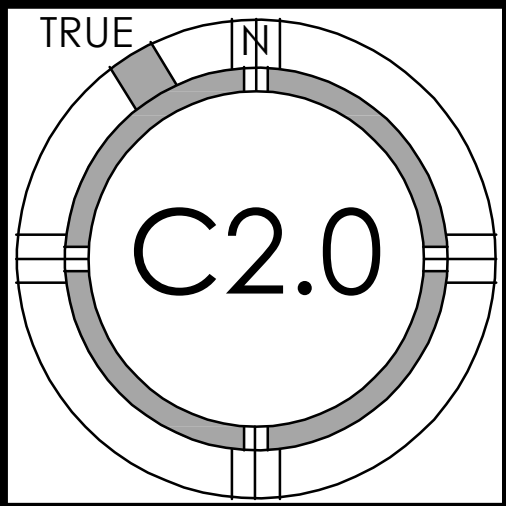
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788 San Antonio Housing
ARB Package
788, 790, 796 San Antonio Road
Palo Alto, CA
788SAPA Land LLC

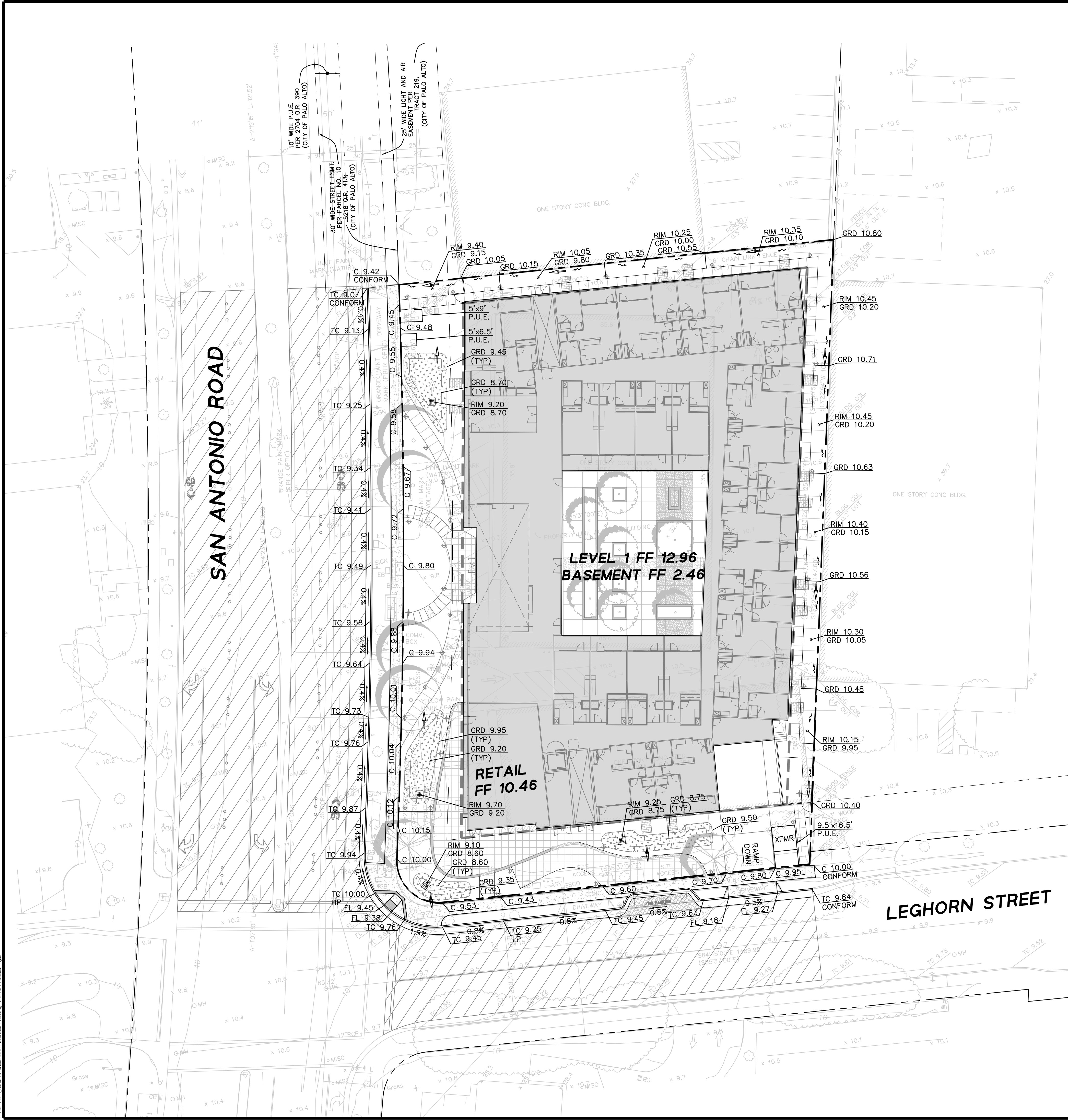


PROJECT NO.	DATE	DESCRIPTION	REVISION
18019	02.15.2019	ARB PACKAGE	ATN
	04.30.2019	ARB RESUBMITTAL PACKAGE	ATN
	06.21.2019	ARB RESUBMITTAL PACKAGE #2	ATN

PRELIMINARY SITE PLAN



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



LEGEND

- PROPERTY LINE
LOT LINE
VERTICAL CURB AND GUTTER
BIORETENTION BASIN
OVERLAND RELEASE PATH
AREA DRAIN
OVER FLOW DRAIN
STORM DRAIN MANHOLE
BUBBLER BOX
PRIVATE SITE LIGHTING
EDGE OF BELOW GRADE PARKING GARAGE

ABBREVIATIONS

- AC
AD
BB
BW
C
CB
CC
DI
FF
FL
GS
GRD
HP
LG
LP
MH
OFD
PV
SD
SDCO
SDJB
SS
STP
TC
TH
TP
TW
TRC
TYP
W
- HVAC UNIT
AREA DRAIN
BUBBLER BOX
BACK OF WALK
BOTTOM OF WALL
CONCRETE
CATCH BASIN
CURB OPENING
DROP INLET
FINISHED FLOOR
FLOW LINE
GARAGE SLAB
GRADE
HIGH POINT
LIP OF GUTTER
LOW POINT
MANHOLE
OVER FLOW DRAIN
PAVEMENT
STORM DRAIN
STORM DRAIN CLEAN OUT
STORM DRAIN JUNCTION BOX
SANITARY SEWER
STEP
TOP OF CURB
TOP OF WOOD HEADER
TOP OF PRECAST WALL
TOP OF WALL
TOP OF ROLLED CURB
TYPICAL
WATER



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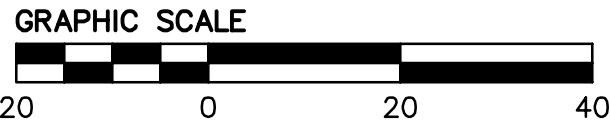
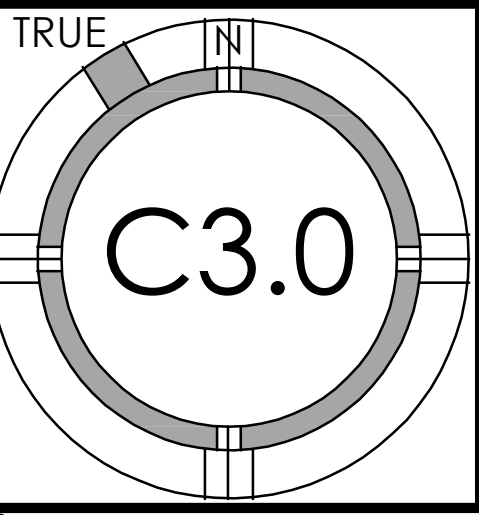


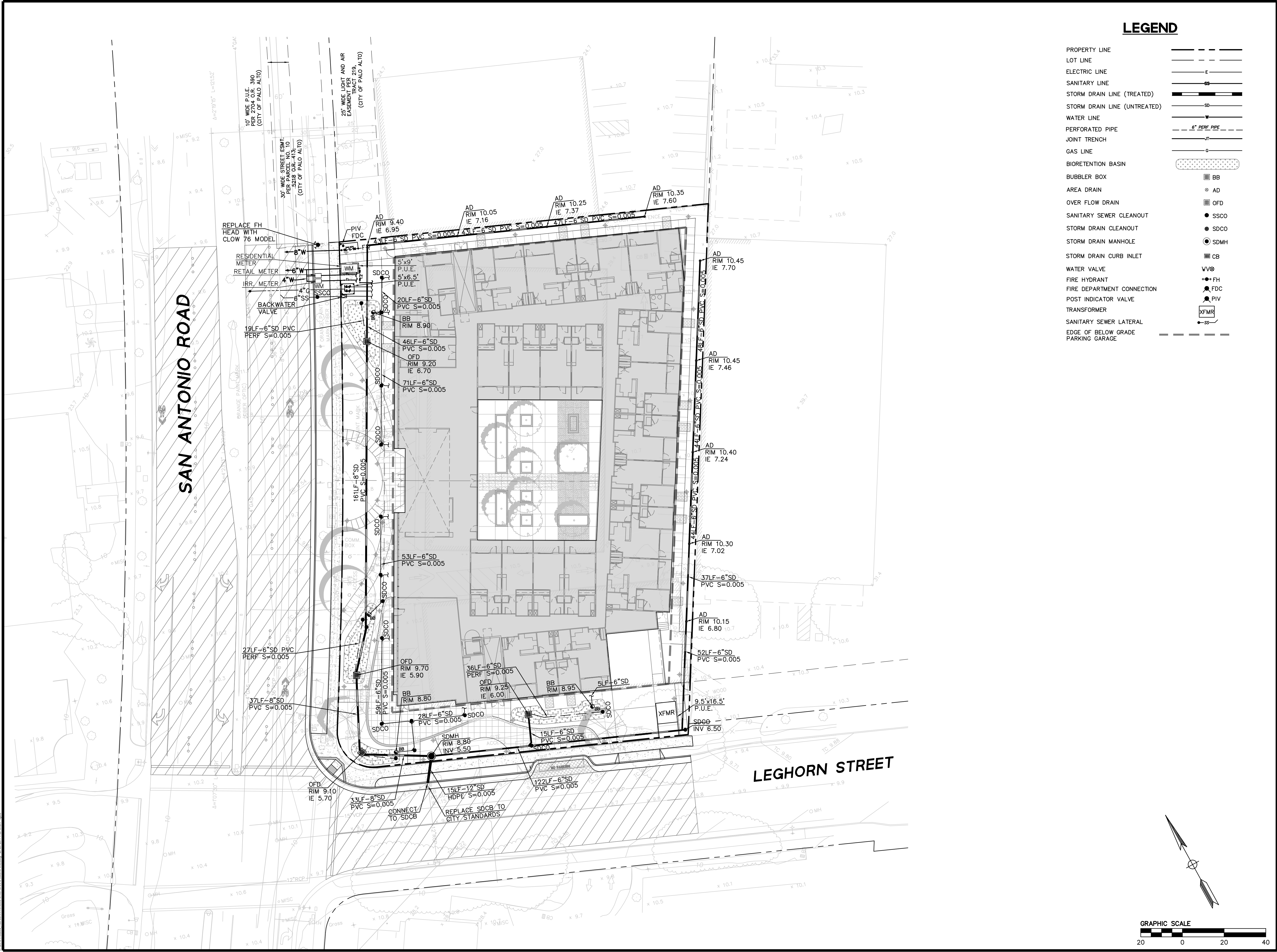
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	06.21.2019	ARB RESUBMITTAL PACKAGE #2	ATN	

PRELIMINARY
GRADING PLAN





LEGEND

- PROPERTY LINE
- LOT LINE
- ELECTRIC LINE
- SANITARY LINE
- STORM DRAIN LINE (TREATED)
- STORM DRAIN LINE (UNTREATED)
- WATER LINE
- PERFORATED PIPE
- JOINT TRENCH
- GAS LINE
- BIORETENTION BASIN
- BUBBLER BOX
- AREA DRAIN
- OVER FLOW DRAIN
- SANITARY SEWER CLEANOUT
- STORM DRAIN CLEANOUT
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- WATER VALVE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE
- TRANSFORMER
- SANITARY SEWER LATERAL
- EDGE OF BELOW GRADE PARKING GARAGE



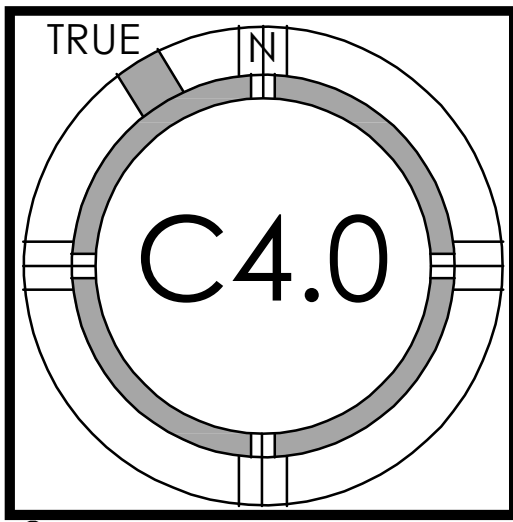
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	06.21.2019	ARB RESUBMITTAL PACKAGE #2	ATN

PRELIMINARY
UTILITY PLAN



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LEGEND

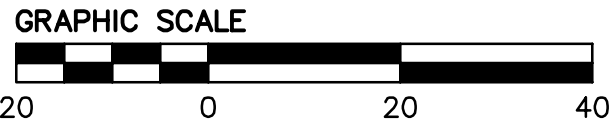
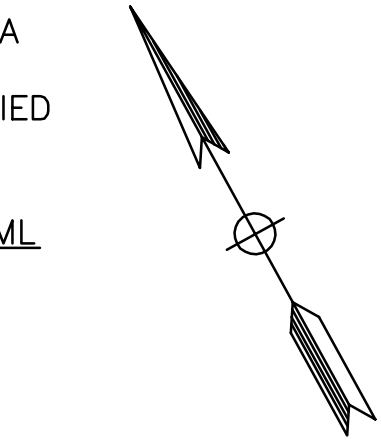
- PROPERTY LINE
- ADJACENT PROPERTY LINES
- LOT LINES
- DRAINAGE AREA BOUNDARY
- TREATMENT AREA
- BIORETENTION BASIN
- OVERFLOW DRAIN
- AREA DRAIN
- BUBBLER BOX

LIST OF POTENTIAL POLLUTANTS:

- LITTER
- MOTOR OIL
- GASOLINE
- HYDROCARBONS
- HEAVY METALS
- PESTICIDES

CONSTRUCTION NOTES

- ALL WORKS IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED PER CITY OF PALO ALTO PUBLIC WORKS' STANDARDS (DETAILS AND SPECIFICATIONS) BY A LICENSED CONTRACTOR WHO MUST FIRST OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS AT THE CITY DEVELOPMENT CENTER.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATE TO KEEP MATERIALS AND EQUIPMENT ON-SITE OR WITHIN PRIVATE PROPERTY.
- EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 10-FEET FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 650.496.5953. ANY CHANGES SHALL BE APPROVED BY THE SAME.
- CONTRACTOR SHALL CONTACT PUBLIC WORKS ENGINEERING (PWE) INSPECTORS TO INSPECT AND APPROVE THE STORM DRAIN SYSTEM (PIPES, AREA DRAINS, INLETS, BUBBLERS, DRY WELLS, ETC.) ASSOCIATED WITH THE PROJECT PRIOR TO BACKFILL. CONTRACTOR SHALL SCHEDULE AN INSPECTION, AT A MINIMUM 48-HOURS IN ADVANCE BY CALLING (650) 496-6929.
- STENCIL "NO DUMPING/FLOWS TO ADOBE CREEK" LOGO IN BLUE COLOR ON A WHITE BACKGROUND, ADJACENT TO ALL ON-SITE STORM DRAIN INLETS. STENCILS OF THE LOGO ARE AVAILABLE FROM THE PUBLIC WORKS ENVIRONMENTAL COMPLIANCE DIVISION, WHICH MAY BE CONTACTED AT (650) 329-2598.
- DURING THE BEGINNING OF CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT BY A THIRD PARTY REVIEWER ACCEPTABLE TO THE CITY TO VERIFY THAT THE INSTALLED MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. THE THIRD PARTY REVIEWER WILL RECOMMEND THE REQUIRED NUMBER OF SITE INSPECTIONS AT DIFFERENT INTERVALS OF CONSTRUCTION. THE THIRD PARTY REVIEWER MUST BE A CIVIL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA AND MUST HAVE A CURRENT TRAINING ON STORMWATER TREATMENT DESIGN. A LIST OF QUALIFIED THIRD-PARTY RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) WEB SITE AT [HTTP://WWW.SCVURPPP-W2K.COM/CONSULTANTS.HTML](http://www.scvurppp-w2k.com/consultants.html)



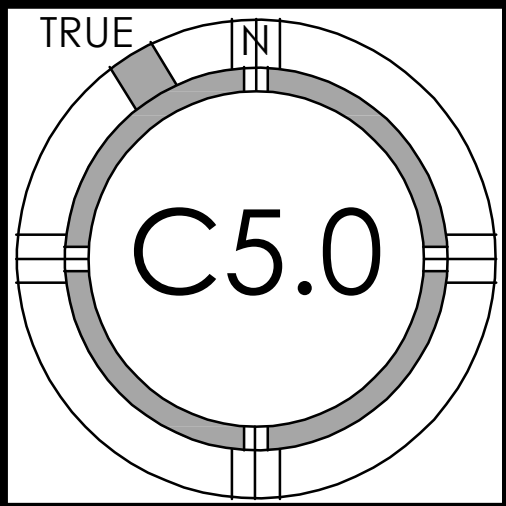
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PRELIMINARY STORMWATER MANAGEMENT PLAN





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ARB Package

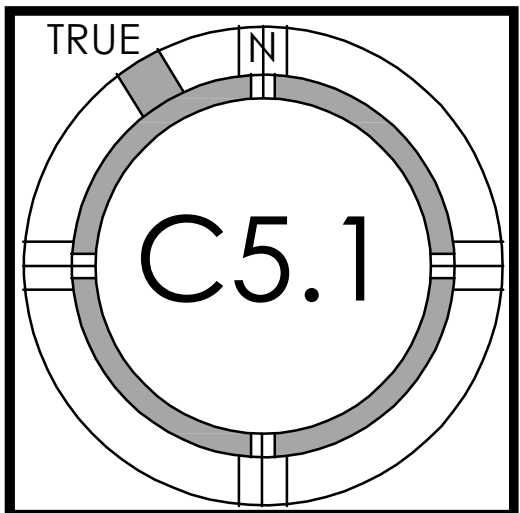
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Palo Alto, CA

788SAPA Land LLC



PROJECT NO.	18019	DRAWN BY	ATN
REVISION	DATE	DESCRIPTION	
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	06.21.2019	ARB RESUBMITTAL PACKAGE #2	ATN

PRELIMINARY
STORMWATER
MANAGEMENT PLAN



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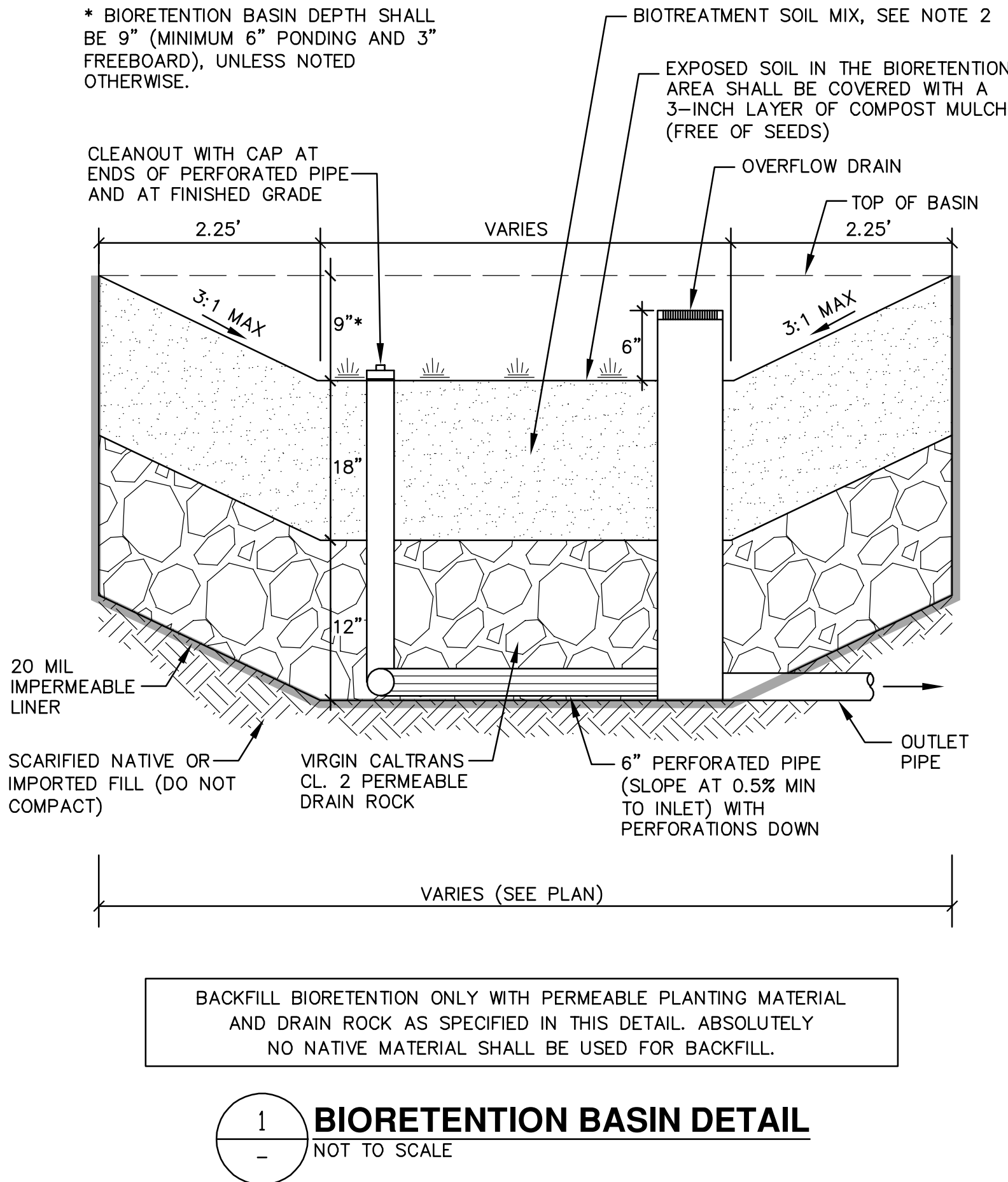
LIST OF POTENTIAL POLLUTANTS:

1. LITTER
4. HYDROCARBONS
2. MOTOR OIL
5. HEAVY METALS
3. GASOLINE
6. PESTICIDES

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TREATMENT CONTROL MEASURE SUMMARY											
DRAINAGE AREAS	DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	TYPE OF PERVIOUS SURFACE	PERVIOUS AREA (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS AREA (SQ. FT.)	TYPE OF IMPERVIOUS SURFACE	TREATMENT AREA (FLOW-VOLUME BASED)		PROPOSED TREATMENT CONTROLS	CONFORMS TO SIZE STANDARD?
								REQUIRED (SF)	PROVIDED (SF)		
A-1	1,751.26	1,087.00	LANDSCAPE	0	PERMEABLE PAVER	664.26	CONCRETE	NA	NA	SELF-RETAINING (1/2 IMPERVIOUS)	YES
A-2	2,931.62	1,438.17	LANDSCAPE	0	PERMEABLE PAVER	1,493.45	CONCRETE	NA	NA	SELF-RETAINING (1/2 IMPERVIOUS)	YES
A-3	9,011.62	821.51	LANDSCAPE	0	PERMEABLE PAVER	8,190.11	ROOF CONCRETE	298.13	340.00	BIORETENTION BASIN	YES
A-4	4,602.87	874.39	LANDSCAPE	0	PERMEABLE PAVER	3,728.48	ROOF CONCRETE	137.72	170.00	BIORETENTION BASIN	YES
A-5	11,930.78	1,943.16	LANDSCAPE	0	PERMEABLE PAVER	9,987.62	ROOF CONCRETE	367.33	380.00	BIORETENTION BASIN	YES
A-6	13,186.40	2,486.90	LANDSCAPE	0	PERMEABLE PAVER	10,699.50	ROOF CONCRETE	395.13	400.00	BIORETENTION BASIN	YES
	43,414.55	8,651.13		0		34,763.42		1,198.28	1,290.00		



NOTES

1. STENCIL "NO DUMPING/FLOWS TO ADOBE CREEK" LOGO IN BLUE COLOR ON A WHITE BACKGROUND, ADJACENT TO ALL ON-SITE STORM DRAIN INLETS. STENCILS OF THE LOGO ARE AVAILABLE FROM THE PUBLIC WORKS ENVIRONMENTAL COMPLIANCE DIVISION, WHICH MAY BE CONTACTED AT (650) 329-2598.
2. BIOTREATMENT SOIL MIX

A. BIOTREATMENT SOIL MIX SHALL CONFORM TO THE SPECIFICATIONS PROVIDED IN ATTACHMENT L OF THE MUNICIPAL REGIONAL STORMWATER PERMIT (WHICH ARE ALSO INCLUDED IN APPENDIX C OF SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM'S C.3 HANDBOOK).

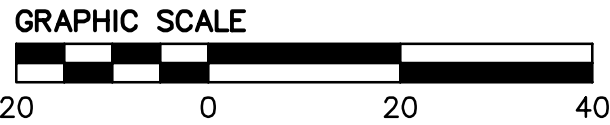
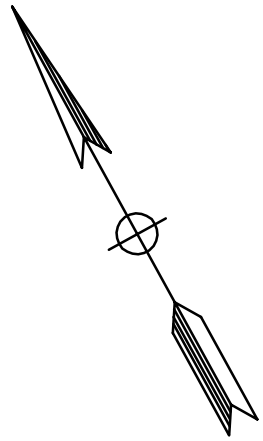
B. ACHIEVE A LONG-TERM, IN-PLACE INFILTRATION RATE OF AT LEAST 5 INCHES PER HOUR.

C. SUPPORT VIGOROUS PLANT GROWTH.

D. CONSIST OF THE FOLLOWING MIXTURE OF FINE SAND AND COMPOST, MEASURED ON A VOLUME BASIS:

60%-70% SAND

30%-40% COMPOST
3. COMPACTION OF THE UNDERLYING SOILS BELOW THE BIORETENTION AREA SHOULD BE AVOIDED.
4. PLANTING FOR BIORETENTION AREAS SHALL BE DROUGHT TOLERANT PLANTS AND CONFORM TO THE PLANT LIST PROVIDED IN APPENDIX D OF SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM'S C.3 HANDBOOK.
5. A THIRD PARTY INSPECTION OF THE BIORETENTION PONDS WILL BE REQUIRED DURING INSTALLATION AND PRIOR TO OCCUPANCY. CONTACT THIRD PARTY INSPECTOR PRIOR TO THE PLACEMENT OF BIORETENTION SOILS.



POLLUTION PREVENTION — IT'S PART OF THE PLAN

Construction projects are required to implement year-round stormwater BMPs, as they apply to your project.

Runoff from streets and other paved areas is a major source of pollution to San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep construction dirt, debris, and other pollutants out of storm drains and local creeks. Following these guidelines will ensure your compliance with City of Palo Alto Ordinance requirements.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ☐ Use (but don't overuse) reclaimed water for dust control.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ☐ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ☐ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ☐ Keep site clear of litter (e.g. lunch items, cigarette butts).
- ☐ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



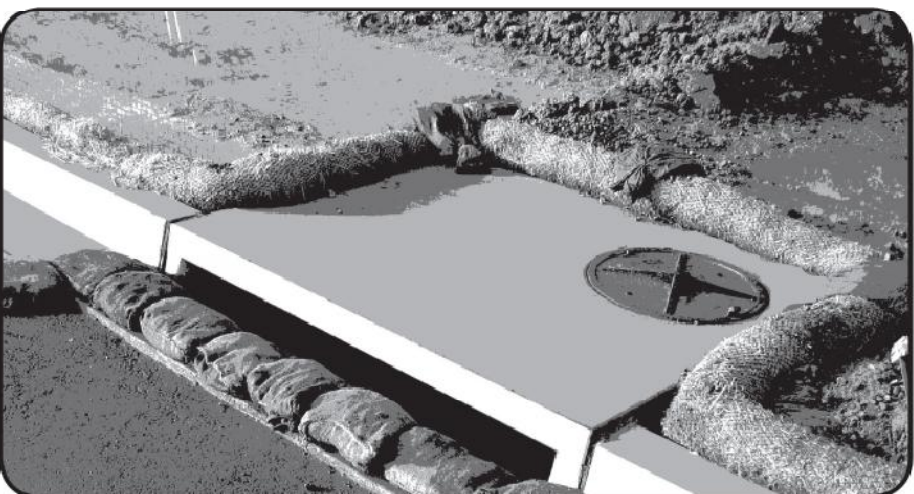
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ☐ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ☐ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ☐ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report any hazardous materials spills immediately! Call City of Palo Alto Communications, (650) 329-2413. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).



EARTHMOVING

Grading and Earthwork

- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (e.g., silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.
- ☐ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



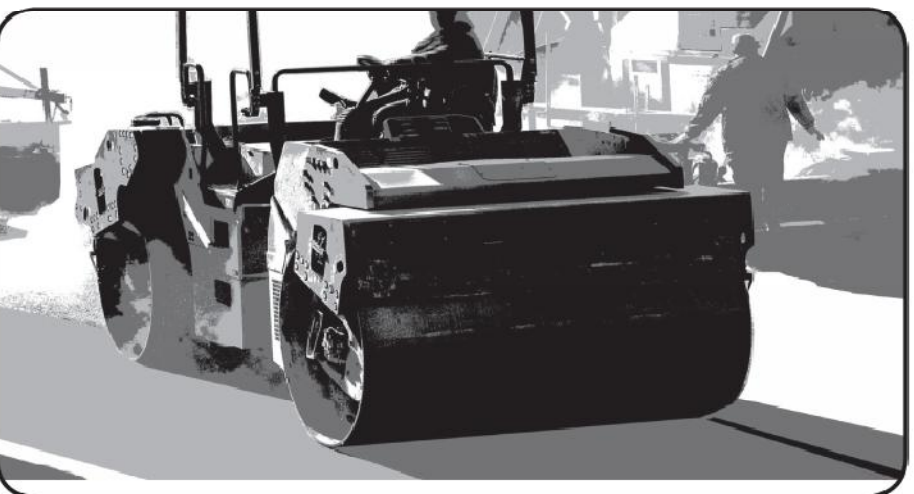
CONCRETE MANAGEMENT & DEWATERING

Concrete Management

- ☐ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ☐ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ☐ Reuse water for dust control, irrigation or another on-site purpose to the greatest extent possible.
- ☐ Be sure to obtain a Permit for Construction in the Public Street from Public Works Engineering before discharging water to a street, gutter, or storm drain. Call the Regional Water Quality Control Plant (RWQCP) at (650) 329-2598 for an inspection prior to commencing discharge. Use filtration or diversion through a basin, tank, or sediment trap as required by the approved dewatering plan. Dewatering is not permitted from October to April.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the City inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



PAVING/ASPHALT WORK

Paving

- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

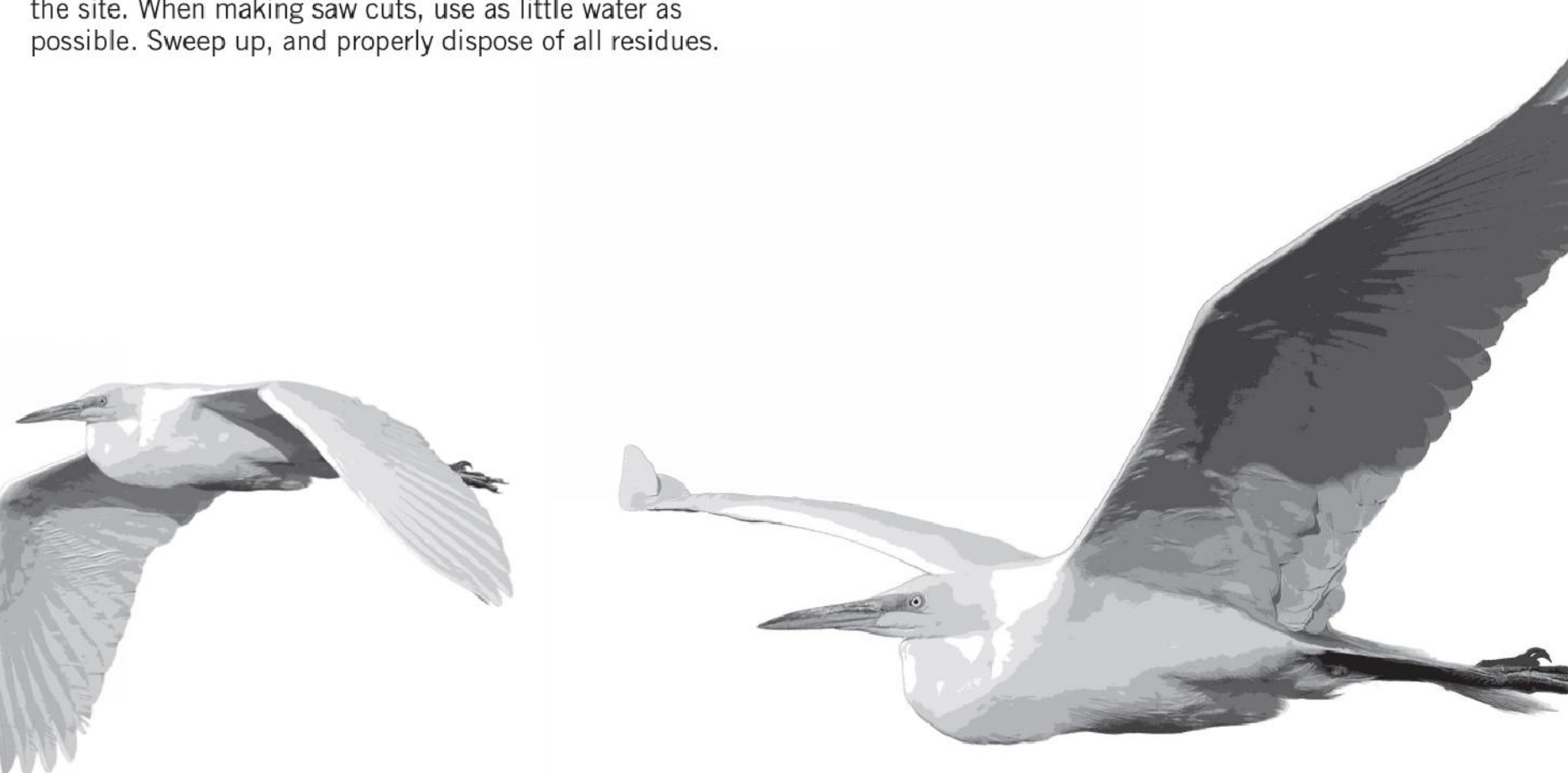
- ☐ Protect storm drain inlets during saw cutting.
- ☐ If saw cut slurry enters a catch basin, clean it up immediately.
- ☐ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.



PAINTING & PAINT REMOVAL

Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state certified contractor.



STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

250 Hamilton Avenue
Palo Alto, CA 94301
650.329.2211
cityofpaloalto.org



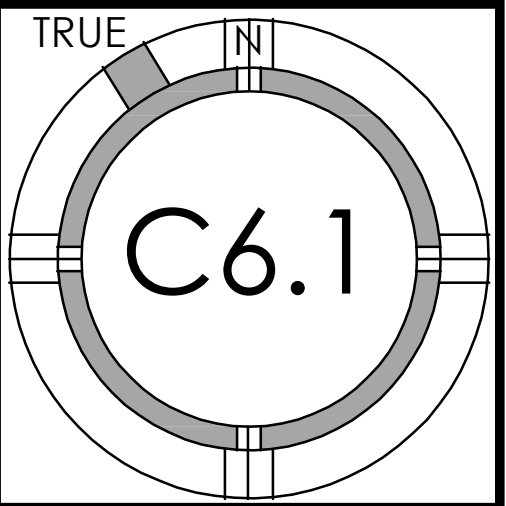
1730 N First St., Suite 600
San Jose, CA 95112
P : (408) 467 - 9100
F : (408) 467 - 9199

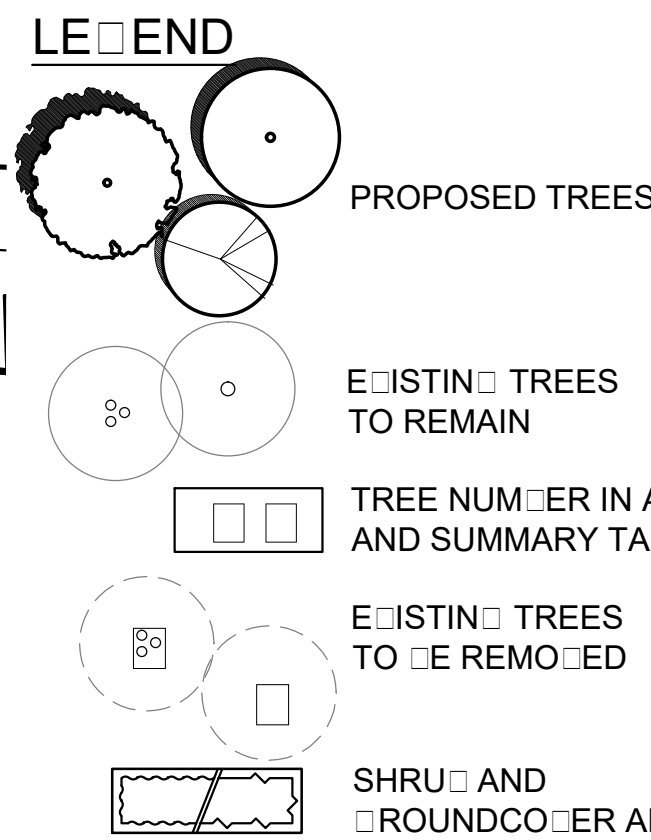
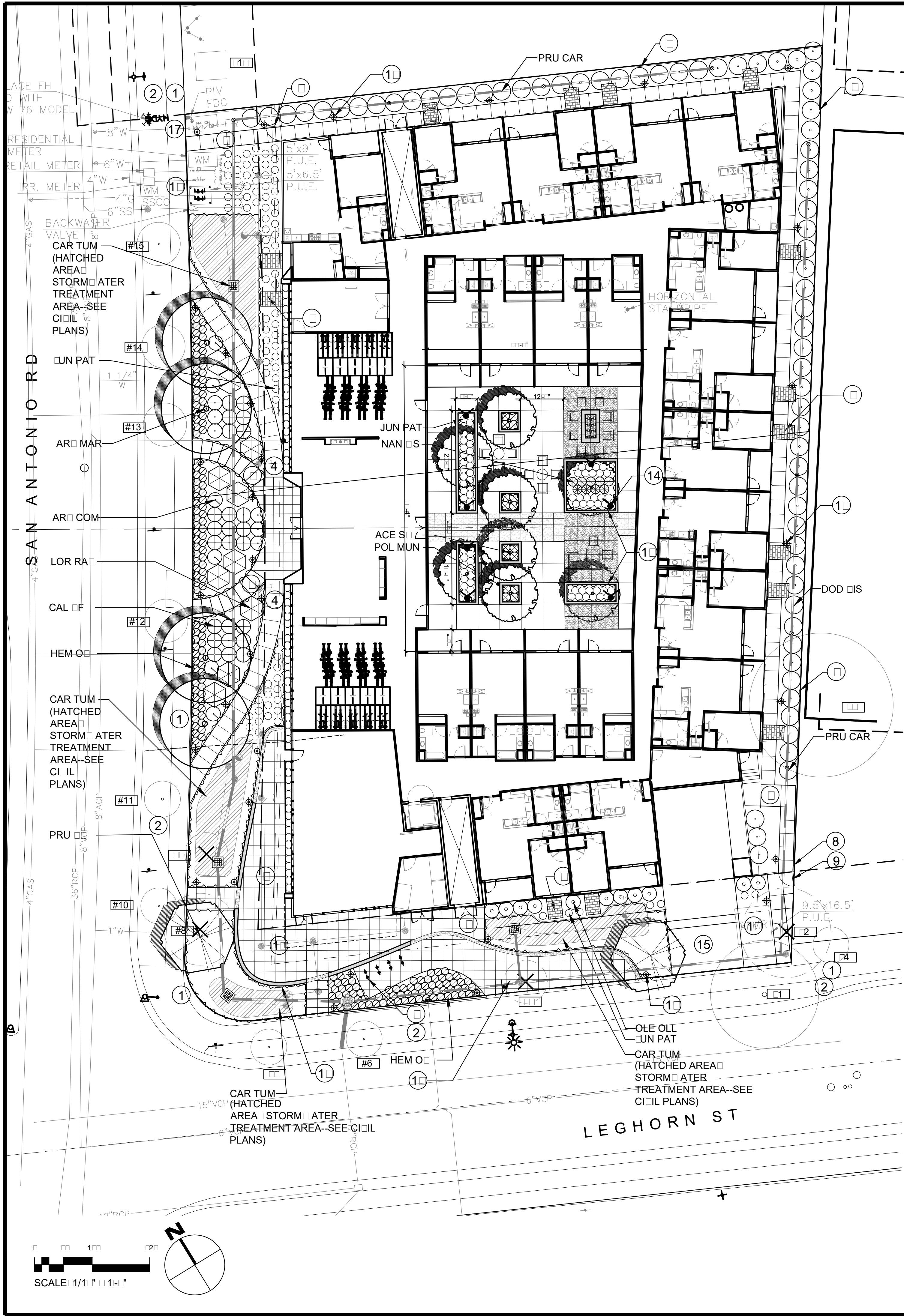
788 San Antonio Housing ARB Package	788, 790, 796 San Antonio Road Palo Alto, CA	788SAPA Land LLC
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PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
18019	02.15.2019	ARB PACKAGE	ATN
	04.30.2019	ARB RESUBMITTAL PACKAGE	ATN
	06.21.2019	ARB RESUBMITTAL PACKAGE #2	ATN

BEST
MANAGEMENT
PRATICES





KEY NOTES

- 1 CITY SIDEWALK--PROPOSED
- 2 PARK STRIP (EXISTING PLANTING TO REMAIN)
- 3 CONCRETE PAVING (INTERIOR COLOR)
- 4 ADA RAMP
- 5 STEPS
- 6 FIRE EMERGENCY LADDER PADS
- 7 TREE RACES (TREES) COLUMBIA CASCADE CYCLOPS CIRCULO POLYMER COATED STEEL
- 8 4 FT HIGH PAINTED METAL PICKET FENCE (SEE EIGHT EIGHTS AT PL)
- 9 4 FT HIGH PAINTED METAL PICKET GATE
- 10 PLANTER WALLS (24" TO 36" HIGH)
- 11 FIREPIT
- 12 PATIO (FENCE)
- 13 COLLARD LIGHT FIXTURE
- 14 PLANTER (PATHWAY) LIGHT FIXTURE
- 15 DRAINAGE
- 16 TRANSFORMER
- 17 UTILITY POINT OF CONNECTIONS WATER/DOMESTIC/IRRIGATION/FIRE/SEWERSANITARY SEWER--SEE CIVIL PLANS
- 18 CONCRETE PATTERS--PERMEABLE
- 19 CONCRETE SEAT WALL--UPLIFT

LANDSCAPE DESIGN INTENT

- REINFORCE THE SAN ANTONIO ROAD AND LEGHORN ST STREETSCAPES WITH THE PROPOSED LANDSCAPE ON BOTH FRONTSIDES.
- DIFFERENTIATE BETWEEN THE TWO BUILDING USES (RESIDENTIAL AND RETAIL) WITH THE PROPOSED TREE PLANTINGS.
- PROVIDE RECOGNIZABLE ENTRIES FOR BOTH THE RESIDENTIAL AND RETAIL USES.
- ADDRESS THE PRIVACY NEEDS OF THE FUTURE RESIDENTS.
- PROVIDE VARIOUS OPEN SPACE OPPORTUNITIES FOR THE FUTURE RESIDENTS AND RETAIL USERS.

PLANT LIST						
ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	INDIGENOUS	MISC. NOTES & REQUIREMENTS
TREES						
ACE SK	<i>Acer palmatum</i> 'Sango Kaku'	Coral Bark Maple	24" Box	M		Multi-St./N.V.S.-45"/Stem up.
ARB MAR	<i>Arbutus</i> 'Mariana'	Strawberry Tree	24" Box	L		S.L./No. Whorl. Br./N. Drp. Br./Match
PRU KV	<i>Prunus cerasifera</i> 'Krauter Vesuvius'	Purple Leaf Plum	24" Box	L		Hi. Br./Match/No top.
TRA FOR	<i>Trachycarpus fortunei</i>	Windmill Palm	24" Box	L		Match
SHRUBS						
ARB COM	<i>Arbutus unedo</i> 'Compacta'	Dwarf Strawberry Tree	5 G.C.	L		F & B
DOD VIS	<i>Dodonaea viscosa</i> 'Purpurea'	Purple Hopseed Bush	5 G.C.	L		F & B
LOR RAZ	<i>Loropetalum chinense</i> 'Razzleberry'	N.C.N.	5 G.C.	L		F & B
NAN GS	<i>Nandina domestica</i> 'Gulf Stream'	Dwarf Heavenly Bamboo	5 G.C.	L		F & B
OLE OLL	<i>Olea europaea</i> 'Little Ollie'	Dwarf Olive (fruitless)	5 G.C.	VL		F & B
PRU CAR	<i>Prunus caroliniana</i> 'compacta'	Dwarf Carolina Laurel Cherry	5 G.C.	L		F & B
PERENNIALS/BULBS/ANNUALS						
CAL KF	<i>Calamagrostis</i> a. 'Karl Foerster'	Reed Grass	1 G.C.	M		
CAR TUM	<i>Carex tumicola</i>	Berkeley Sedge	1 G.C.	L	X	Plant at 18" o.c.
DIE BIC	<i>Diets bicolor</i>	Fortnight Lily	1 G.C.	L		
ERI KAR	<i>Erigeron karvinskianus</i> 'Moerheimii'	Fleabane	1 G.C.	L		
FES EB	<i>Festuca ovina</i> 'Elijah Blue'	Blue Fescue	1 G.C.	L		Plant at 12" o.c.
HEM OG	<i>Hemerocallis</i> 'Our Gertrude'	Evergreen, repeat bloom Daylily	B.R.	M		Double fan min., plant at 18" o.c. max.
JUN PAT	<i>Juncus patens</i>	California Grey Rush	1 G.C.	L	X	
LIM PER	<i>Limonium perezii</i>	Sea Lavender	1 G.C.	L		
POL MUN	<i>Polystichum munium</i>	Western Sword Fern	1 G.C.	M	X	F & B
GROUNDCOVERS						
LAN MON	<i>Lantana montevidensis</i>	Trailing Lantana	1 G.C.	L		Plant at 2'-6" o.c.
VINES						
ROS LUT	<i>Rosa banksiae</i> 'Lutea'	Lady Banks' Rose	5 G.C.	L		

1. * *Hemerocallis* available only from Greenwood Daylilies. 8000 Balcom Canyon Road, Somis, CA 93066, (562) 494-8944, <www.greenwoodgarden.com>
2. WUCOLS Water Use: VL=very low L=low M=medium H=high
3. INDIGENOUS (REGIONALLY)
PLANT LIST ABBREVIATIONS:
Note: This list together with the plant list prepared by Taniguchi Landscape Architecture must accompany the contractor's nursery order(s)
SL Single main, straight, dominant, leader
Hi. Br. High branched—lowest limbs held above rootball 5' min. for 15 gallon can 6' min. for 24" box trees
No Top No topping or pruning of upper branches
Br. Gr. Branched to ground
F & B Full dense, bushy, vigorous plants, with young growth closely spaced on branches, no old/woody plants.
N.V.S.-30 de Narrow upright vase shape 30 degrees or less spread in branch/trunk structure
N.V.S.-45 de Narrow upright vase shape 45 degrees or less spread in branch/trunk structure
No. Whorl. No closely spaced whorled branches. Select even symmetrical branch distribution.
Match Matched size, form, caliper, branching and cultivar. Select from one lot, one grower, for guaranteed consistency through life of plants.
In general plants within a group or area are to be matched, unless noted otherwise.
B.R. Bare Root
Multi. St. Multi stemmed
G.C. Gallon Can
N.C.N. No Common Name
o.c. On center

EXISTING TREE SUMMARY (Refer to Kiely Arborist Services report, Jan 24, 2019)							
Number	Tree species Common Name	Protected	Trunk Diameter (DBH)	Height (feet)	Spread (feet)	Arborist Summary (condition 0 to 100)	Disposition (proposed)
1	Fraxinus velutina 'Modesto' Modesto Ash	X	15.0	30	30	60 Fair vigor & form street tree, not usual form	Retain
2	Fraxinus angustifolia 'Raywood' Raywood Ash		7-8-7-6	25	25	30 Poor vigor & form-multi leader, dead wood & declining	Remove--project arborist rec
3*	Ficus microcarpa Indian Laurel Fig		30	45	40	50 Good vigor, fair/poor form-multi leader	Retain--neighbor's tree
4*	Fraxinus angustifolia 'Raywood' Raywood Ash	X	6.2	12	10	30 Poor vigor & form, declining, street tree	Retain--neighbor's tree
5	Pistachia chinensis Chinese Pistache	X	6.2	15	12	80 Good vigor & form	Remove
6	Fraxinus omus Flowering Ash	X	5.4	20	10	80 Good vigor & form, street tree	Retain
7	Pistachia chinensis Chinese Pistache	X	5.7	20	10	80 Good vigor & form, street tree	Retain
8	Pistachia chinensis Chinese Pistache	X	9.3	15	20	80 Good vigor & form	Remove
9	Pistachia chinensis Chinese Pistache	X	4	15	12	80 Good vigor & form	Remove
10	Ulmus americana 'Princeton' American Elm cvs.	X	4.8	20	10	80 Good vigor & form, street tree	Retain
11	Ulmus americana 'Princeton' American Elm cvs.	X	7.3	20	10	80 Good vigor & form, street tree	Retain
12	Quercus virginiana Southern Live Oak	X	5.2	15	12	80 Good vigor & form, street tree	Retain
13	Quercus virginiana Southern Live Oak	X	4.9	15	12	80 Good vigor & form, street tree	Retain
14	Quercus virginiana Southern Live Oak	X	4.4	15	12	80 Good vigor & form, street tree	Retain
15	Quercus virginiana Southern Live Oak	X	4.7	15	12	80 Good vigor & form, street tree	Retain
16*	Cedrus atlantica 'Glauca pendula' Weeping Blue Atlas Cedar		8 est.	8	15	80 Good vigor, fair form, weeping cvs, 10' from PL	Retain--neighbor's tree

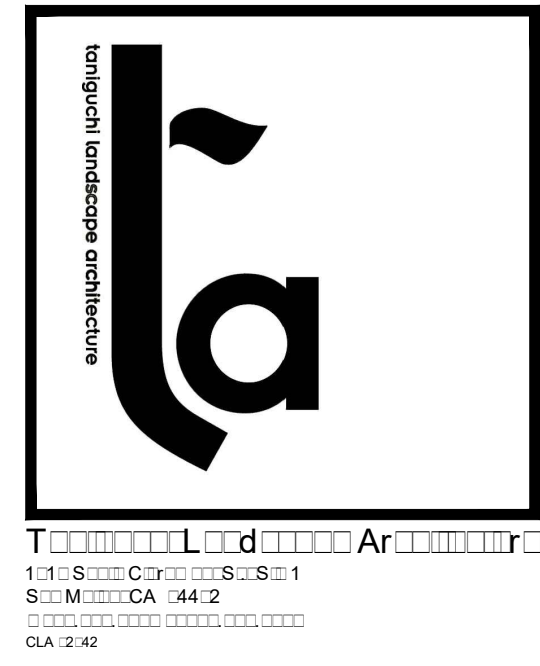
* = Neighbor's tree

1-29: Very Poor | 30-49: Poor | 50-69: Fair | 70-89: Good | 90-100: Excellent

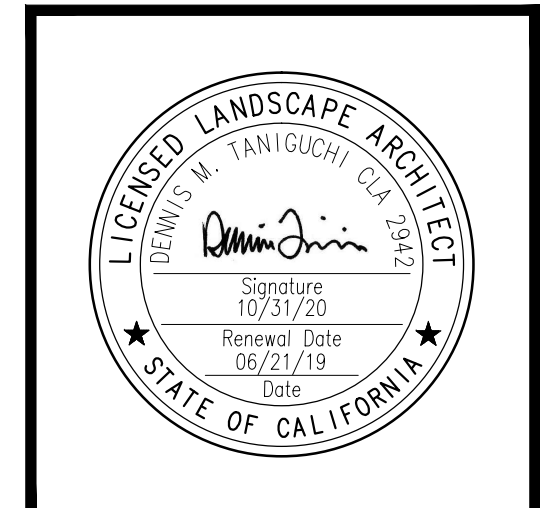
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Dennis M. Taniguchi

DENNIS M. TANIGUCHI-CLA 2142

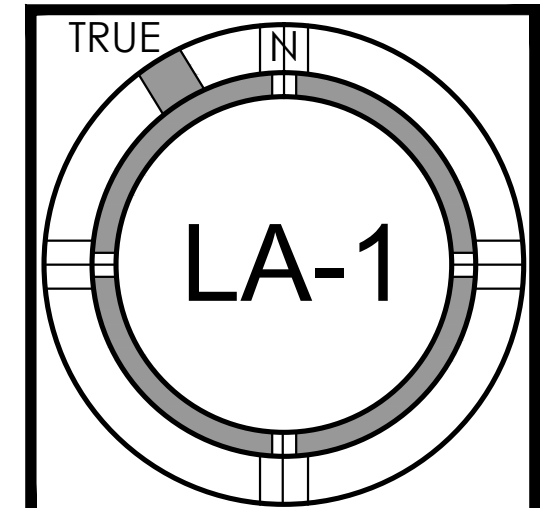


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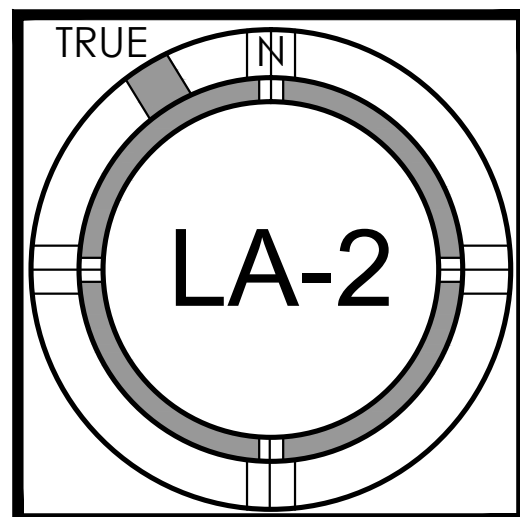
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	09.26.2018	ARB FOR PREL REVIEW	JA
	02.15.2019	ARB PACKAGE	IV/G
	04.30.2019	ARB RESUBMITAL PACKAGE #1	IG
	06.21.2019	ARB RESUBMITAL PACKAGE #2	IG, IV

SCHEMATIC
LANDSCAPE PLAN
FIRST FLOOR

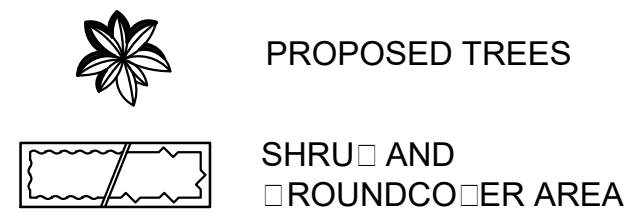


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	06.21.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

SCHEMATIC
LANDSCAPE PLAN
FOURTH FLOOR



LEGEND

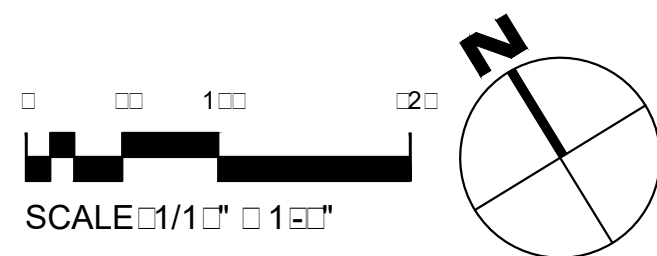
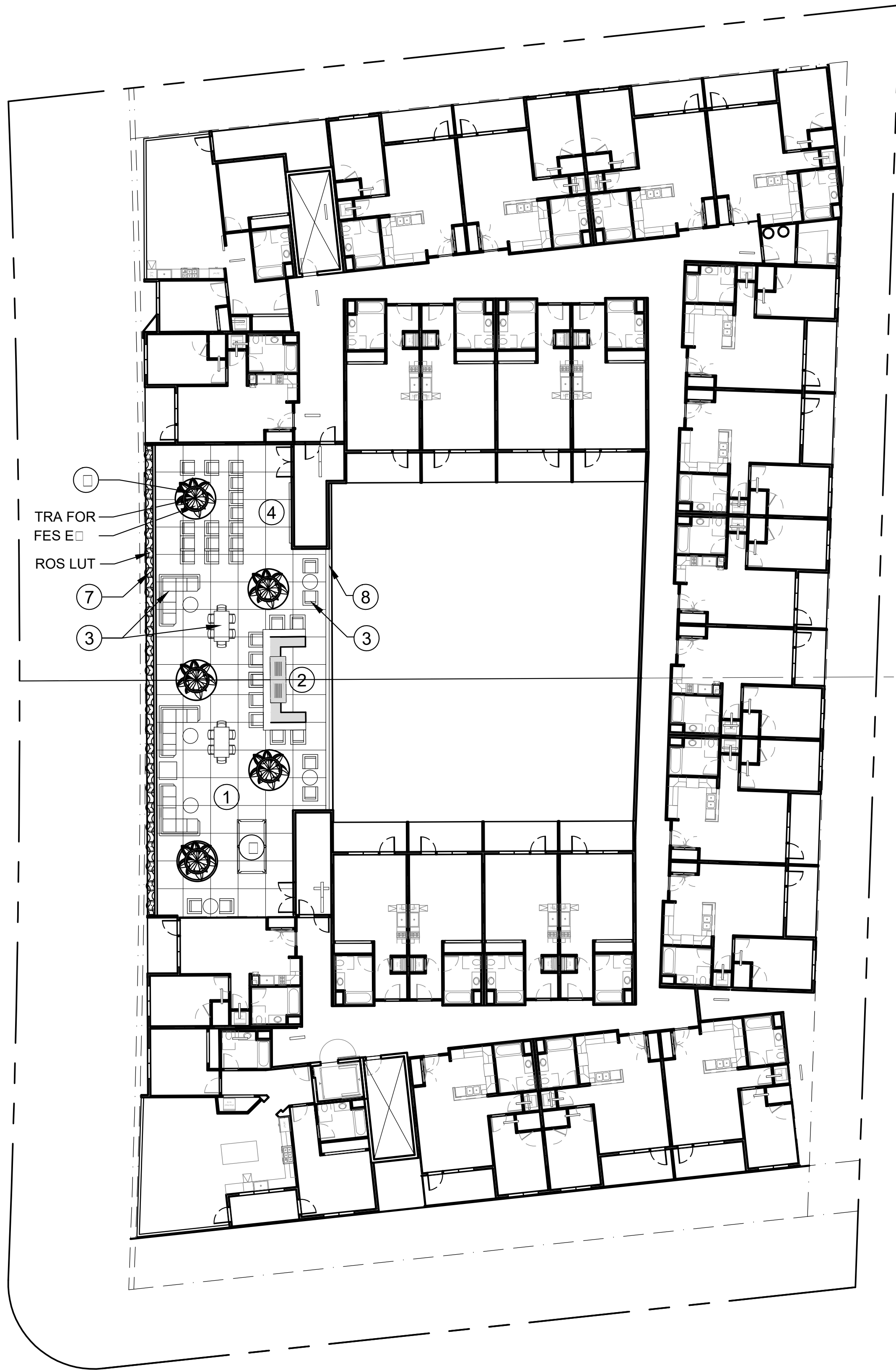
SHRUB AND
ROUNDED CORNER AREA

KEY NOTES

- CONCRETE PAVING TOPPING SLAB (INTERIOR COLOR)
- COUNTER
- SITE FURNITURE
- MODIFIED INTERIOR AREA
- ILLIARD TABLE
- PLANTER-CENTERED CEILING OPENING IN ROOF
FOR ROOF SEE ARCHITECTS PLAN
- PLANTER CONTINUOUS AT EDGE TO FORM GUARDRAIL
- GLASS GUARDRAIL AT EDGE OF TERRACE

NOTES

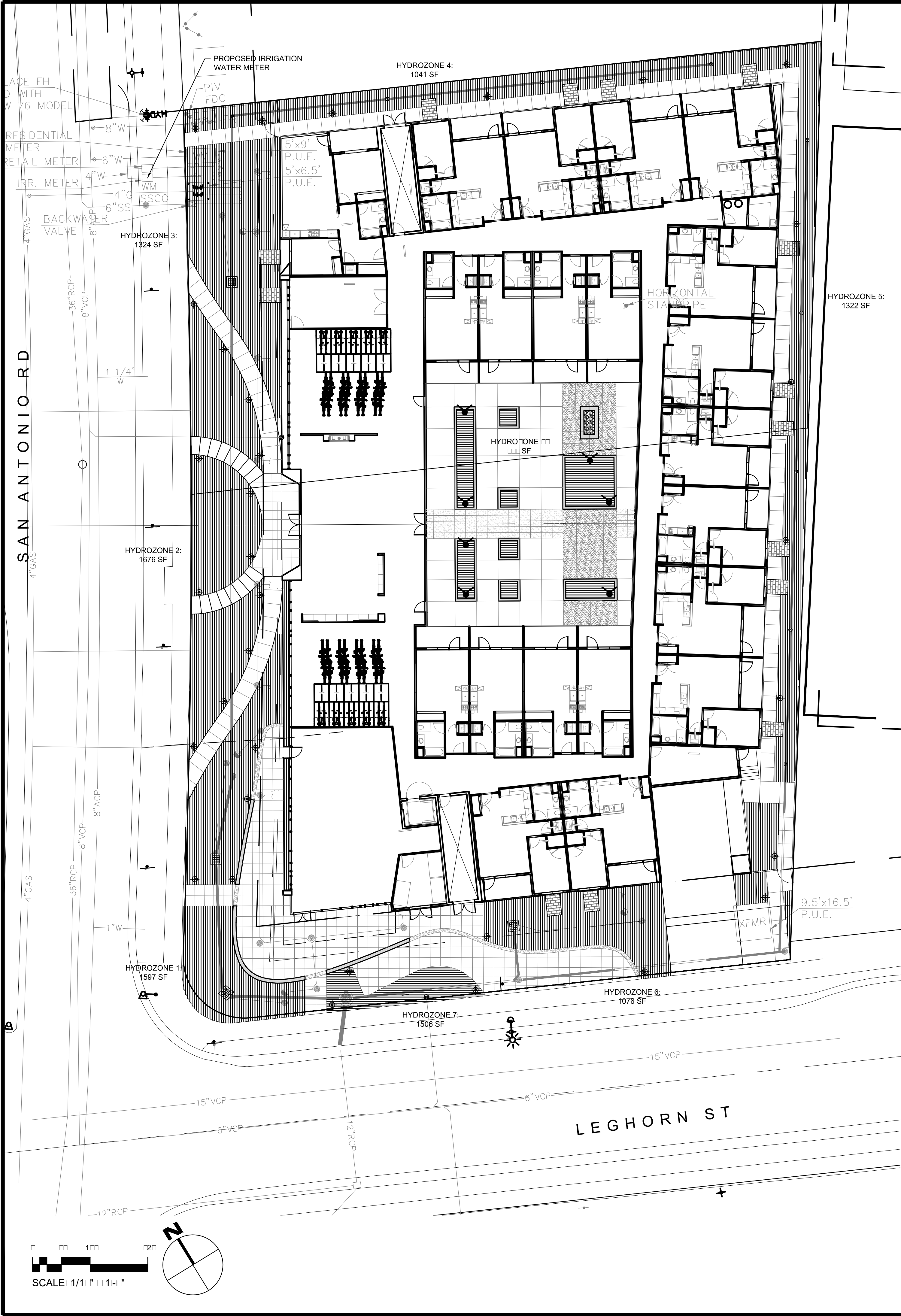
SEE PLANT LEGEND/LIST AND NOTES ON SHEET LA-1.



TRUE

I HAVE COMPLIED WITH THE CRITERIA
OF THE ORDINANCE AND APPLIED
THEM FOR THE EFFICIENT USE OF
SPACE IN THE LANDSCAPE DESIGN
PLAN

DENNIS M. TANIGUCHI, CLS 1242



HYDROZONE LEGEND

- LOW WATER USE (241 SF OR 10% OF PLANTING AREA) (SURFACE DRIP AND/OR DRIP EMITTERS)
- MEDIUM WATER USE (242 SF OR 20% OF PLANTING AREA) (SURFACE DRIP AND/OR DRIP EMITTERS)
- HIGH WATER USE (3 SF OR 5% OF PLANTING AREA)

NOTES

- IRRIGATED PLANTED AREA 1020 SF TURF IS 10% OF THAT PLANTED AREA
- A MINIMUM 1-INCH LAYER OF 1/2" 1-DIAMETER FIR OR PINE BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS.
- UNLESS CONTRAINDICATED BY A HORTICULTURAL SOILS ANALYSIS, SOIL AMENDMENT TO INCLUDE COMPOST AT A MINIMUM OF 4 CUBIC YARDS PER 1000 SF OF PLANTING AREA INCORPORATED TO A DEPTH OF 6 INCHES.
- PLANT MATERIAL SPECIES ARE DROUGHT TOLERANT INTRODUCED OR NATIVE AND NON-INVASIVE PLANT SPECIES (AS DEFINED BY THE CALIFORNIA INVASIVE PLANT COUNCIL). DROUGHT TOLERANCE IS AS DEFINED IN "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" BY THE EAST BAY MUNICIPAL UTILITY DISTRICT AND UCOLS.

Water Efficient Landscape Worksheet: San Antonio Housing 06/20/2019

Reference Evapotranspiration (ETo)		43 (Palo Alto)					
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscare Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
#1 Mixed shrubs/groundcover/trees	0.2	Drip	0.81	0.247	1,506	371.85	9,914
#2 Mixed shrubs/groundcover/trees	0.2	Drip	0.81	0.247	363	89.63	2,390
#3 Mixed shrubs/groundcover/trees	0.2	Drip	0.81	0.247	336	82.96	2,212
#4 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	433	106.91	2,850
#5 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	2,805	692.59	18,465
#6 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	724	178.77	4,766
#7 Mixed shrubs	0.4	Drip	0.81	0.494	1,025	506.17	13,495
#8 Mixed shrubs/groundcover/trees	0.5	Drip	0.81	0.617	481	296.91	7,916
#9 Groundcover/trees	0.2	Drip	0.81	0.247	228	56.30	1,501
#10 Mixed shrubs	0.2	Drip	0.81	0.247	421	103.95	2,771
				Totals	8,322	2,486.05	66,278
Special Landscape Areas (SLA)							
1) Pool/Spa				1	0	0	0
2) Water Features				1	0	0	0
				0	0	0	0
				Totals	0	0	0
				Estimated Total Water Use (ETWU)			66,278
				Maximum Allowed Water Allowance (MAWA)			122,025

Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

MAWA (annual gallons allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

ETAF Calculations		
Regular Landscape Areas		
Total ETAF x Area	2,486	Average ETAF for regular landscape areas must be 0.55 or below
Total Area	8,322	for residential areas, and 0.45 or below for non-residential
Average ETAF	0.30	areas.

All Landscape Areas	
Total ETAF x Area	2,486
Total Area	8,322
Sitewide ETAF	0.30

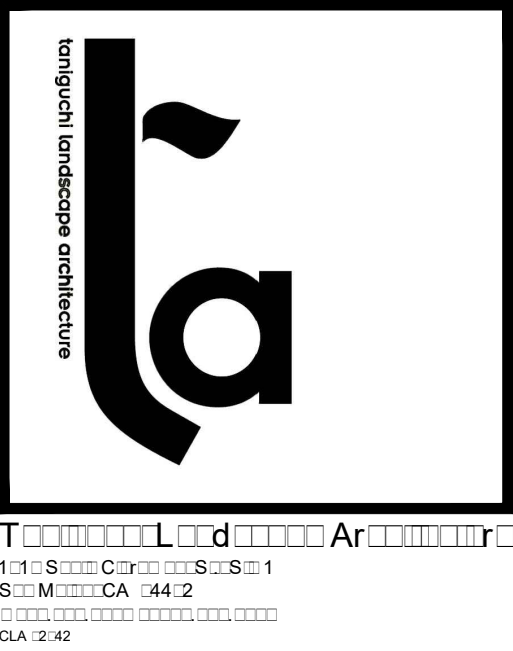
IRRIGATION DESIGN STATEMENT

- IRRIGATION DESIGN SHALL BE DESIGNED FOR 1) TURF AND ANNUALS AND OTHER MODERATE TO HIGH WATER USE PLANT MATERIALS; 2) ROUNDLEAFS; AND 3) NATIVE AND WATER CONSERVING PLANT MATERIALS.
- IRRIGATION DESIGN SHALL ALSO BE DESIGNED FOR MICRO CLIMATES INCLUDING COOL SHADED AND PROTECTED AREAS; AS WELL AS HOT, SUNNY AND WINDY AREAS.
- PART SHADE AREAS INCLUDE MODERATE WATER USE AREAS HAVING MORNING AND/OR AFTERNOON SHADE.
- COOL AND FULL SHADY AREAS INCLUDE LOW WATER USE AREAS FOR PLANTS REQUIRING LITTLE OR NO IRRIGATION WATER AND/OR LOCATIONS THAT WILL PROVIDE MOIST CONDITIONS.
- LAYOUT SHALL BE DESIGNED FOR MINIMUM RUNOFF AND OVERSPRAY ONTO NON-LANDSCAPED AREAS.
- LOW VOLUME SPRINKLERS SHALL BE USED WHEREVER POSSIBLE WITH HEAD TO HEAD COVERAGE.
- DRIP EMITTER OR SUBSURFACE IRRIGATION SHALL BE UTILIZED AT TREES TO PROMOTE DEEP WATERING WHEREVER POSSIBLE.
- DRIP IRRIGATION SHALL BE UTILIZED AT NON-TRAFFIC OR ISOLATED PLANTING AREAS TO DECREASE THE POSSIBILITY OF CROWDING TO THE MICRO-TUNING.
- THE IRRIGATION CONTROLLER SHALL HAVE AMPLE CAPACITY IN TERMS OF PROGRAMS AND CYCLES THAT WILL MATCH THE COMPLEXITY OF THE LANDSCAPE PLAN FOR MORE EFFICIENT WATERING. FOR EXAMPLE, THE CONTROLLER SHALL HAVE THE ABILITY TO HAVE MULTIPLE CYCLES TO PERMIT A NUMBER OF SHORT DURATION WATERINGS THAT WILL ALLOW WATER TO SOAK INTO THE SOIL RATHER THAN RUN OFF. RAIN SENSING OVERRIDE DEVICES SHALL BE INSTALLED WITH CONTROLLER.
- INDIVIDUAL SUBSURFACERS OR DRIP EMITTERS SHALL BE UTILIZED TO ISOLATE WATER FOR PLANT MATERIALS AND ELIMINATE WATERING OF "LARGE ROUND."

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Dennis M. Taniguchi

DENNIS M. TANIGUCHI, CLA 2042

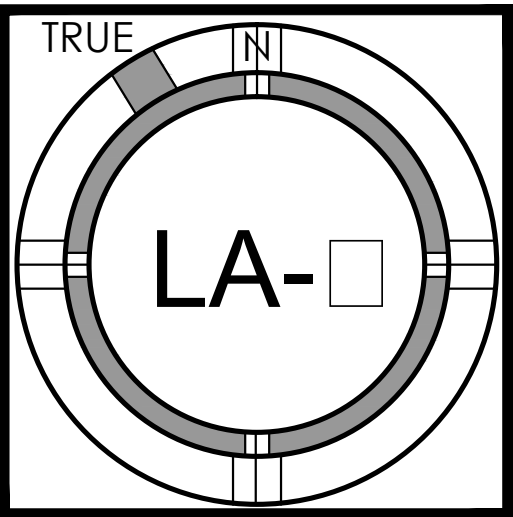


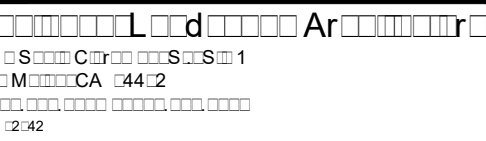
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IRRIGATION
HYDROZONE
PLAN
FIRST FLOOR

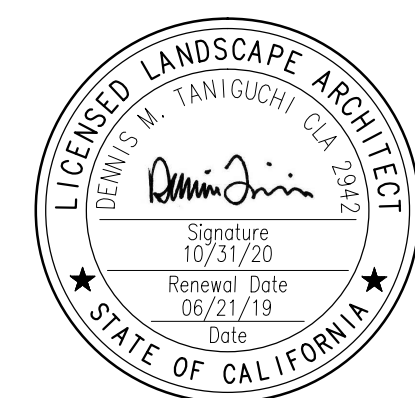




788 San Antonio Housing
ARB Package

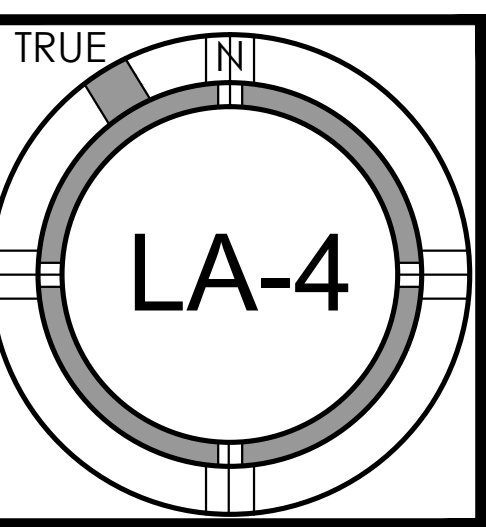
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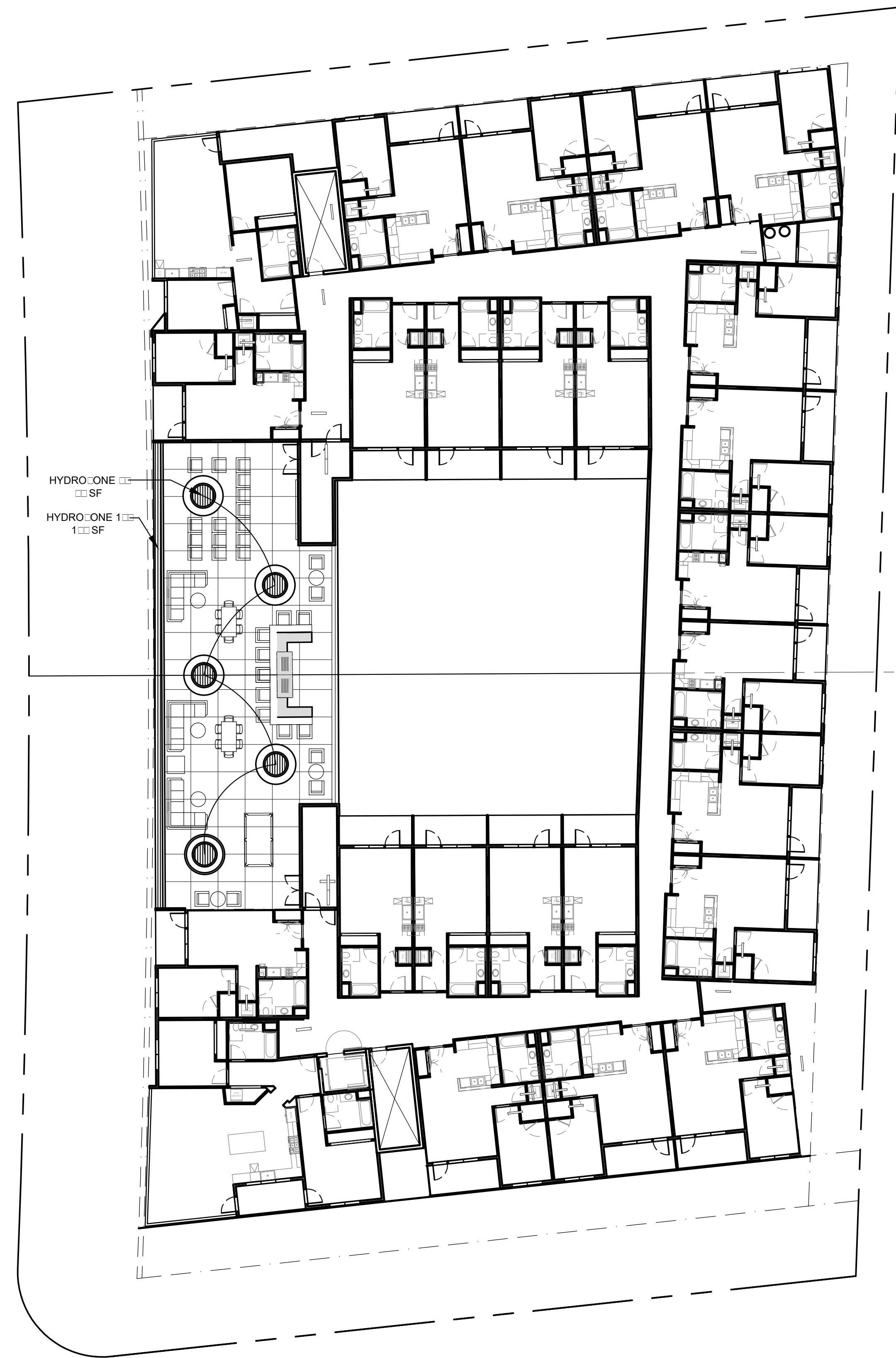
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		04.30.2019	ARB RESUBMITTAL PACKAGE	IG	
		06.21.2019	ARB RESUBMITTAL PACKAGE #2	G, IV	

IRRIATION
HYDROONE PLAN
FOURTH FLOOR

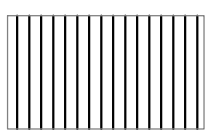


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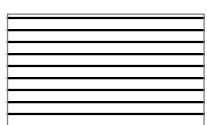
"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



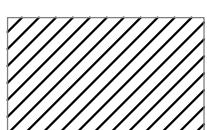
HYDROPHONE LEAD



LO ☐ ☐ ATER USE (☐241 SF OR ☐ ☐ OF PLANTIN ☐ AREA)
(SU ☐ SURFACE DRIP AND/OR DRIP EMITTERS)



MEDIUM WATER USE (242 SF OR 2 OF PLANTIN AREA)
(SU SURFACE DRIP AND/OR DRIP EMITTERS)



HIGH WATER USE (SF OR % OF PLANTING AREA)

NOTES

1. SEE IRRIGATION NOTES ON SHEET LA-1
2. SEE IRRIGATION CALCULATIONS ON SHEET LA-1

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Demetrius Irimia

DENNIS M TANI UCHI CLA 2 42



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

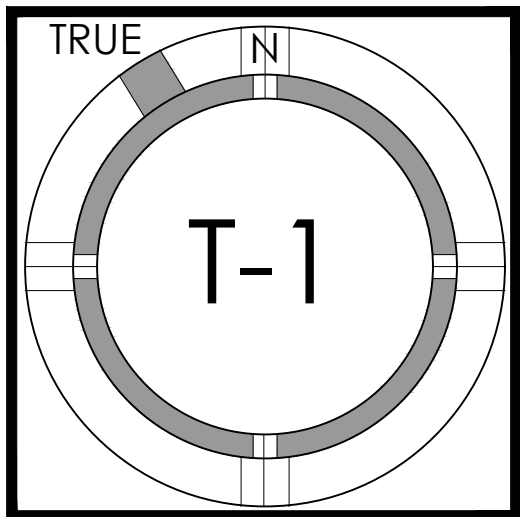
788 San Antonio Housing
ARB Package
788, 790, 796 San Antonio Road
Palo Alto, CA
788SAPA Land LLC



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"

PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
18019		06/26/2018	ARB FOR PREL REVIEW	JA
		09/26/2018	ARB FOR PREL REVIEW	JA
		02/15/2019	ARB PACKAGE	IV/G
		04/30/2019	ARB RESUBMITTAL PACKAGE	IG
		06/21/2019	ARB RESUBMITTAL PACKAGE #2	IG, IV

SPECIAL
PROTECTION
INSTRUCTION SHEET



City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 788 SAN ANTONIO ROAD, PALO ALTO, CA

Are there Regulated trees on or adjacent to the property? ☒ YES ☐ NO (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

☒ On the property
☒ On adjacent property overhanging the project site
☒ In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? ☒ YES (Check where applicable) ☐ NO

☒ Protected Tree (s)
☒ Designated Tree (s)
☐ On or overhanging the property

3. Is there activity or grading within the dieline? (radius 10 times the trunk diameter) of these trees? ☒ YES ☐ NO

If Yes, a **Tree Preservation Report** must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.25). Attach this report to Sheet T-1: Tree Protection, its Part of the Plan! per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? ☒ YES ☐ NO

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dieline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dieline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

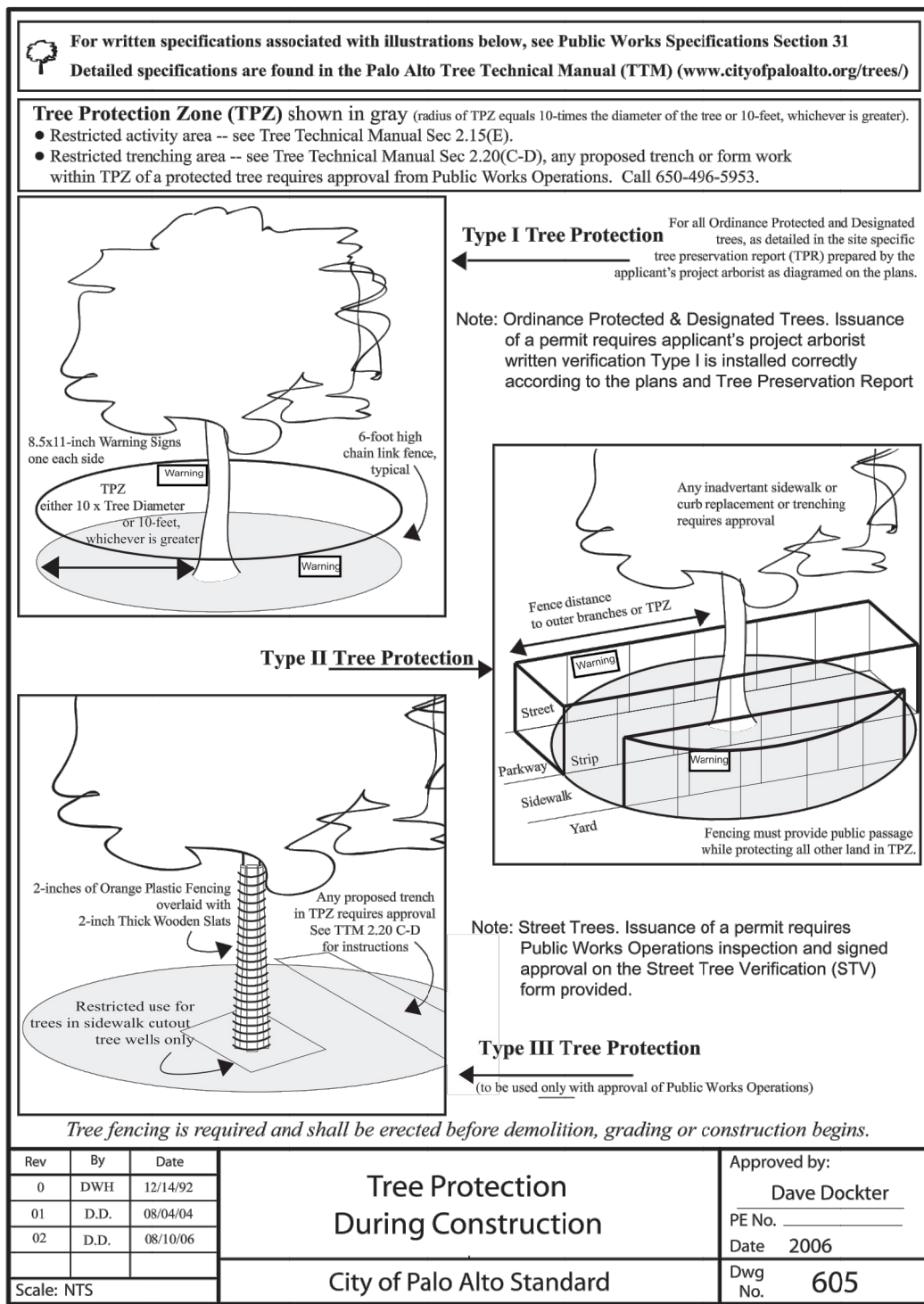
Signature: _____ Print: IRENA VELJOVIC Date: 02/22/2019
(Prop. Owner or Agent)

FOR STAFF USE:

Protective Fencing
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. ☒ YES ☐ NO
(N/A if there are no protected trees, check here ☐)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. ☒ YES ☐ NO
(N/A if there are no street trees, check here ☐)



**PALO ALTO
STREET TREE PROTECTION INSTRUCTIONS
-SECTION 31-**

31-1 General

a. Tree protection has three primary functions, 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail #65 - Illustration of situations described below.

b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)

1. Trenching Restriction Zones (TTM, Section 2.20(C))

2. Arborist Reporting Protocol (TTM, Section 6.30)

3. Site Plan Requirements (TTM, Section 6.30)

4. Tree Disclosure Statement (TTM, Appendix J)

c. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. Size, type and area to be fenced. All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet or no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **Warning signs:** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."

f. **Duration:** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right-of-way require a Street Work Permit from Public Works.

During construction

1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.

2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.

3. The following tree preservation measures apply to all trees to be retained:

a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.

b. The ground under and around the tree canopy area shall not be altered or compacted.

c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWS, Section 31
Revised 08/06

**City of Palo Alto
Tree Department
Public Works Operations
PO Box 10250 Palo Alto, CA 94303
(650) 496-5953 FAX: (650) 855-8099
treeprotection@CityOfPaloAlto.org**

**Verification of
Street Tree Protection**

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____

APPLICANT'S NAME: _____

APPLICANT'S ADDRESS: _____

APPLICANT'S TELEPHONE & FAX NUMBERS: _____

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____

YES ☐ NO ☐ * If NO, go to #2 below

Inspected by: _____

Date of inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant: _____

Subsequent inspection

Street trees at above address were found to be adequately protected: _____

YES ☐ NO ☐ * If NO, indicate in "Notes" below the disposition of case.

Inspected by: _____

Date of inspection: _____

Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.

5/1706

City of Palo Alto Tree Technical Manual ADDENDUM 11

Arborist Firm Data Here

Monthly Tree Activity Report- Construction Site

Inspection Date: _____ Site address: Palo Alto, CA

Contractor: _____ Main Site Contact Information: _____

#1: Job site superintendent: _____ Company: _____ Email: _____ Job site Office: _____ Cell: _____ Mail: _____

Also present: _____

Attn: Dave Dockter dave.dockter@cityofpaloalto.org 650-329-2440

Distributions: 1. City of Palo Alto 2. Others _____

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

1. Assignment Activity (Demolition/grading/sewer/trenching/foundation list relevant visits)

a. Pre-construction meeting requirement with sub-contractors

b. Inspect to verify that tree protection measures are in place

c. Determine if field adjustments, watering or plan revisions may be needed

2. Field Observations (general site-wide and list by individual tree number)

a. Tree Protection Fences (TPF) are _____

b. Trenching has/will occur _____

3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due

a. Tree Protection Fence (TPF) needs adjusting (tree #, x, s, x)

b. Root zone buffer material (wood chips) can be installed next

c. Schedule sewer trench, foundation dig with _____

4. Photographs (use often)

5. Tree Location Map (mandatory 8.5 x 11 sheet)

6. Recommendations, notes or monitor items for project/staff/schedule

7. Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____

Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

---WARNING--- Tree Protection Zone

This fencing shall not be removed without
City Arborist approval (650-496-5953)

Removal without permission is
subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city-palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS

PLANNING DEPARTMENT

TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES, CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING, PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: _____

DATE OF 1ST TREE ACTIVITY REPORT: _____

CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

Project
Data

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-1

City of Palo Alto Tree Protection - It's Part of the Plan!

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For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

Kiely Arborist Services LLC
Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
650-515-9783

January 24, 2019

Yurong Han and Ted O'Hanlon
Site: San Antonio Housing Project, Palo Alto CA

Dear Yurong Han and Ted O'Hanlon,

As requested on Monday, January 21, 2019, I visited the above site to inspect and comment on the trees. A housing development is planned for this site and your concern as to the future health and safety of the trees on site has prompted this visit.

Method:
All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. Each tree was then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The tree was given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29 Very Poor
30 - 49 Poor
50 - 69 Fair
70 - 89 Good
90 - 100 Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

San Antonio Road Housing /1/24/19 (2)

Tree#	Species	DBH	CON	HT/SP	Comments
1P	Modesto ash (<i>Fraxinus velutina</i> 'Modesto')	15.0	60	30/30	Fair vigor, fair form, street tree, not usual form of species, wide spreading canopy, street tree.
2R	Raywood ash (<i>Fraxinus angustifolia</i> 'Raywood')	7-8-7-6	30	25/25	Poor vigor, poor form, multi leader at 3 feet, large amount of dead wood, in decline, fire damage.
3*	Indian laurel fig (<i>Ficus microcarpa</i>)	30.0	50	45/40	Good vigor, fair to poor form, multi leader at 3 feet with poor unions, against neighbor's foundation, surrounded by hardscapes, poor location, needs pruning maintenance.
4*P	Raywood ash (<i>Fraxinus angustifolia</i> 'Raywood')	6.2	30	12/10	Poor vigor, poor form, suppressed, in decline, heavy dead wood, street tree.
5P	Chinese pistache (<i>Pistachia chinensis</i>)	6.2	80	15/12	Good vigor, good form, young tree, street tree. (may not be a street tree)
6P	Flowering ash (<i>Fraxinus ornus</i>)	5.4	80	20/10	Good vigor, good form, street tree.
7P	Chinese pistache (<i>Pistachia chinensis</i>)	5.7	80	20/10	Good vigor, good form, street tree.
8P	Chinese pistache (<i>Pistachia chinensis</i>)	9.3	80	15/20	Good vigor, good form, street tree. (may not be a street tree)
9P	Chinese pistache (<i>Pistachia chinensis</i>)	4.0	80	15/12	Good vigor, good form, street tree. (may not be a street tree)
10P	American elm cultivar (<i>Ulmus americana</i> 'Princeton')	4.8	80	20/10	Good vigor, good form, street tree.
11P	American elm cultivar (<i>Ulmus americana</i> 'Princeton')	7.3	80	20/10	Good vigor, good form, street tree.
12P	Southern live oak (<i>Quercus virginiana</i>)	5.2	80	15/12	Good vigor, good form, street tree.
13P	Southern live oak (<i>Quercus virginiana</i>)	4.9	80	15/12	Good vigor, good form, street tree.

San Antonio Road Housing /1/24/19 (3)

Tree#	Species	DBH	CON	HT/SP	Comments
14P	Southern live oak (<i>Quercus virginiana</i>)	4.4	80	15/12	Good vigor, good form, street tree.
15P	Southern live oak (<i>Quercus virginiana</i>)	4.7	80	15/12	Good vigor, good form, street tree.
16*	Weeping blue atlas cedar 8est (<i>Cedrus atlantica</i> 'Glaucu pendula')	80	8/15		Good vigor, fair form, weeping cultivar, 10 feet from property line.

*indicates neighbor's tree. P-indicates protected tree
R-indicates tree proposed for removal



Summary:
This site has 13 protected street trees (#1 and #4-15). All of the street trees are in fair to good condition, as the majority of them are young street trees that have been recently planted. Because the protected trees are street trees, construction impacts are likely to be minimal to nonexistent, due to buildings located at the property setbacks far from the retained trees. The only potential impacts to the retained trees would be from any proposed utility work passing through the root zones of the trees or from any proposed work within the existing parking lot areas near trees #5, 8 and 9.

Showing southern live oak street trees

The only tree on site recommended for removal is Raywood ash tree #2. This tree is not a protected tree and is in significant decline, therefore removal is recommended.

San Antonio Road Housing /1/24/19 (4)



Ficus tree #3 is located on the neighboring property to the east. This tree is mature for the species. The proposed building foundation near this tree is pushed back further away from the existing. Impacts are expected to be nonexistent for this reason.

Showing neighbor's Ficus tree #3

All protected street trees will need to be protected by type 2 tree protection fencing throughout the entire length of the proposed construction. Fencing must be installed in a way that completely fences off the entire street tree planting pits. Trees #5, 8 and 9 are located near the side walk but within the property (not in street tree planting pits). It is not clear if these are designated street trees or not. If street trees, these trees will also be required to have their planting pits fenced off by type 2 tree protection fencing.

All of the retained street trees are imported species. It is recommended to provide supplemental irrigation for these trees throughout the construction process. Every 2 weeks the planting pits are recommended to receive flood type irrigation until the top foot of soil is saturated. Seasonal rainfall may reduce the need to irrigate. The following tree protection plan will help reduce impacts to the retained trees.

Tree Protection Plan:

Tree Protection Fencing

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link supported by metal poles pounded into the ground to a depth of 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be placed at the edges of the street tree planting pits. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. All of the retained trees on site are recommended to be protected by type 2 tree protection fencing. Fencing must be installed in a way that completely fences off the entire street tree planting pits.

Apply Tree Protection Report on sheet(s) T-2
Use additional "T" sheets as needed

San Antonio Road Housing /1/24/19 (5)

Landscape Barrier

Where tree protection does not cover the entire root zone of the trees, or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone. (NOT EXPECTED TO BE USED ON THIS SITE)

Root Cutting

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the Project Arborist. The Project Arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Grading

The existing grade underneath the canopies of the protected trees on site is recommended to be retained as is. Grade changes of 3" may be acceptable by the Project arborist after review. Any grade changes proposed that are greater than 3" will require special mitigation measures for tree in close proximity. No grade changes are allowed within 3 feet of a tree's basal flare.

Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Irrigation

Normal irrigation shall be maintained on this site at all times. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

San Antonio Road Housing /1/24/19 (6)

Inspections

The site will be inspected after the tree protection measures are installed and before the start of construction. Monthly inspections are required for site such as this. Inspections will be carried out during the first week of each month. The inspections will be documented with inspection letters being provided to the owner, contractor and city arborist. Other inspections will be carried out on an as needed basis. The monthly inspections are required by the city of Palo Alto as a condition of approval. It is the contractors responsibility to notify the site arborist when construction is to start, and whenever there is to be work preformed within the 10 times the diameter of a protected tree on site. At least a 48 hours notice is needed for site inspections. Kiely Arborist Services can be reached at 650-515-9783(Kevin), or by email at kkarbor0476@yahoo.com.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,
Kevin R. Kiely
Certified Arborist WE#0476A

San Antonio Road Housing /1/24/19 (7)

Kiely Arborist Services LLC

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist: _____
Kevin R. Kiely

Date: January 24, 2019

Project
Data

T-2



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-2



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

788 San Antonio Housing

ARB Package

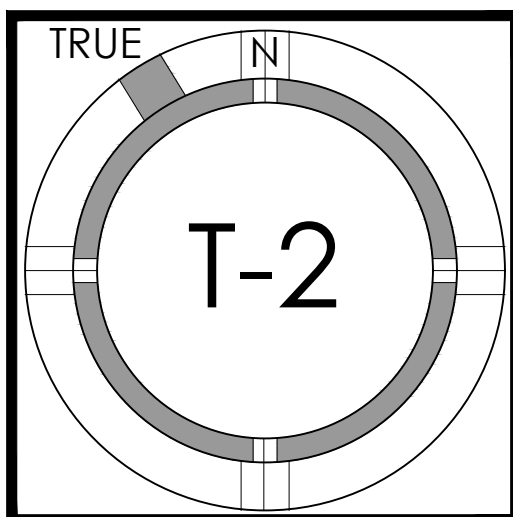
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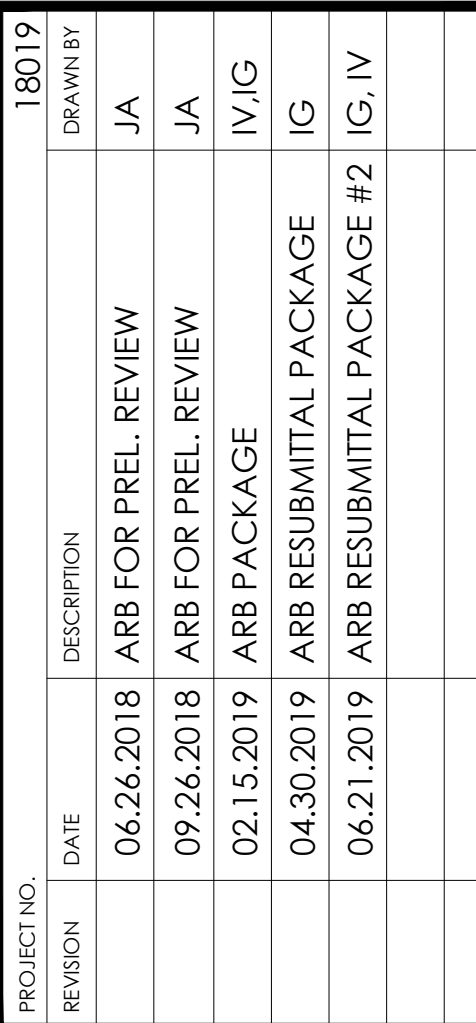
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	04.30.2019	ARB RESUBMITTAL PACKAGE	IG	
	06.21.2019	ARB RESUBMITTAL PACKAGE #2	IG, IV	

SPECIAL
PROTECTION
INSTRUCTION SHEET





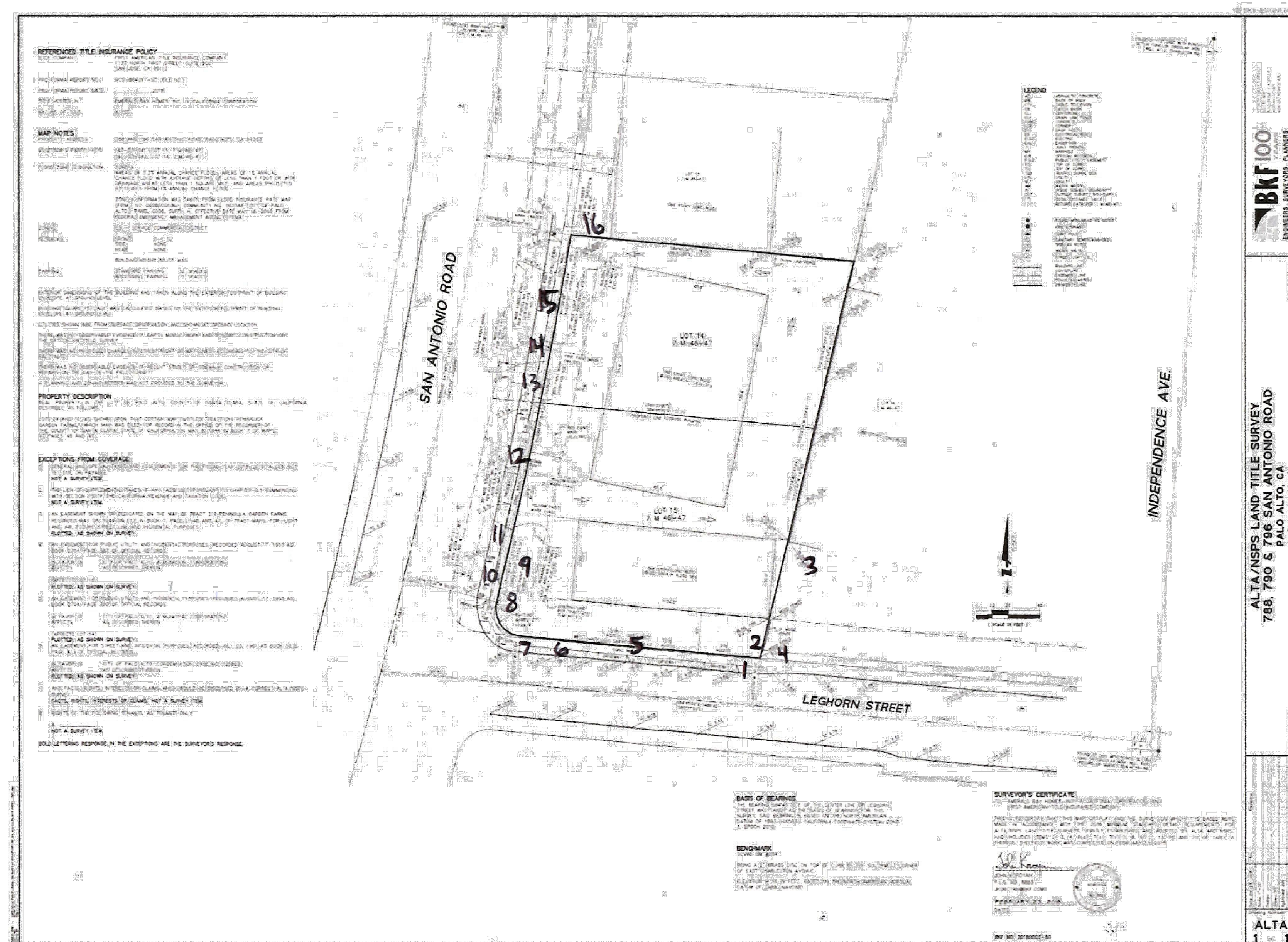
788 San Antonio Housing ARB Package	788, 790, 796 San Antonio Road Palo Alto, CA	788SAPA Land LLC
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ARBORIST
REPORT
- MAP -



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



										Compliance Path Verification										
										Plan Check		Rough GB Inspection IVR # 112		Final Inspection IVR # 974						
														Part 1	Part 1	Part 2	Part 2			
4.1 Planning and Design										Code Section	Y	N	Plan Sheet, Spec or Attachment Reference							
Mandatory	Mandatory	Deconstruction survey	PAMC 16.14.135/ A4.105.3	X																
	Mandatory	Storm water drainage and retention during construction (less than one acre)	4.106.2	X																
	Tier 2 Mand.	Topsoil protection - Tier 2 requirements	A4.106.2.3	X																
	Mandatory	Grading and paving	4.106.3	X																
	Tier 2 Mand.	Water permeable surfaces for 30% - Tier 2 requirements	A4.106.4	X																
	Tier 2 Mand.	Cool roof for reduction of heat island effect -Tier 2 requirements	PAMC 16.17.050/ A4.106.5	X																
	Tier 2 Mand.	Electric vehicle (EV) charging for residential structures (Locally amended)	PAMC 16.14.150/ 4.106.8	X																
	Mandatory	EV Charging: New single family residences	PAMC 16.14.420/ A4.106.8.2	X																
Electives (choose 4)	Mandatory	EV Charging: New multi-family residential structures	PAMC 16.14.420/ A4.106.8.3	X																
	Mandatory	Bicycle Parking (Locally amended) (Multi-family only)	PAMC 16.54.060/ A4.106.9	X																
	Elective	Site selection	A4.103.1	X																
	Elective	Community connectivity	A4.103.2	X																
	Elective	Supervision and education by a Special Inspector (Locally amended)	PAMC 16.14.120/ A4.104.1	X																
	Elective	Deconstruction (Locally amended)	PAMC 16.14.130/ A4.105.1	X																
	Elective	Reuse of existing materials (Locally amended)	A4.106.2.1	X																
	Elective	Soil analysis	A4.106.2.1	X																
	Elective	Soil protection	A4.106.2.2	X																
	Elective	Landscape design	A4.106.3	X																
	Elective	Vegetated roof	A4.106.6	X																
	Elective	Reduction of heat island effect for nonroof areas	A4.106.7	X																
	Elective	Light pollution reduction (Locally amended)	PAMC 16.14.170/ A4.106.10	X																
	Elective	Innovative concepts and local environmental conditions	A4.108.1	X																
PAMC 16.17 Energy Reach Code																				
Mandatory	Mandatory	Option 1: The performance approach specified within the 2016 CEC shall be used to demonstrate the TDV Energy of proposed new single-family residential construction is at least: 10 percent less than the TDV Energy of the Standard Design if the proposed building does not include a photovoltaic system.	PAMC 16.17.050/ 2016 Title 24, Part 6	X																
	Mandatory	Option 2: The performance approach specified within the 2016 CEC shall be used to demonstrate the TDV Energy of proposed new single-family residential construction is at least: 20 percent less than the TDV Energy of the Standard Design if proposed building includes a photovoltaic system.	PAMC 16.17.050/ 2016 Title 24, Part 6	X																
	Mandatory	Option 1: The performance approach specified within the 2016 CEC shall be used to demonstrate the TDV Energy of proposed new multi-family residential construction is at least: 10 percent less than the TDV Energy of the Standard Design if the proposed building does not include a photovoltaic system.	PAMC 16.17.050/ 2016 Title 24, Part 6	X																
	Mandatory	Option 2: The performance approach specified within the 2016 CEC shall be used to demonstrate the TDV Energy of proposed new multi-family residential construction is at least: 12 percent less than the TDV Energy of the Standard Design if proposed building includes a photovoltaic system.	PAMC 16.17.050/ 2016 Title 24, Part 6	X																
	Mandatory	Solar-ready infrastructure for new single- family residences. The solar zone shall be located on the roof or overhang of the building and have a total area no less than 500 square feet. (Locally amended)	PAMC 16.17.060	X																
4.3 Water Efficiency and Conservation																				
Mandatory	Mandatory	Indoor Water Use: Water closets (1.28 gpf)	4.303.1.1	X																
	Mandatory	Indoor Water Use: Urinals (Wall Mounted 0.125 gpf, all others 0.5 gpf)	4.303.1.2	X																
	Mandatory	Indoor Water Use: Single showerhead (1.8 gpm at 80 psi)	4.303.1.3.1	X																
	Mandatory	Indoor Water Use: Multiple showerheads serving one shower (1.8 gpm at 80 psi)	4.303.1.3.2	X																
	Mandatory	Indoor Water Use: Residential lavatory faucets (1.2 gpm at 60 psi)	4.303.1.4.1	X																
	Mandatory	Indoor Water Use: [Multi-family Only] Lavatory faucets in common and public use areas	4.303.1.4.2	X																
	Mandatory	Indoor Water Use: Metering faucets (0.25 gallons per cycle)	4.303.1.4.3	X																
	Mandatory	Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi)	4.303.1.4.4	X																
	Mandatory	Indoor Water Use: Standards for plumbing fixtures and fittings (Meet 2016 Plumbing Code)	4.303.2	X																
	Mandatory	Outdoor potable water use in landscape areas (MWEL0)	4.304.1	X																
	Mandatory	Irrigation metering device/ landscape water meters(when landscaping is included in the scope) (Locally	PAMC 16.14.220/ A4.304.2.1	X																
	Tier 2 Mand.	Laundry-to- Landscape Infrastructure	PAMC 16.14.230/ A4.305.5	X																
	Tier 2 Mand.	Laundry-to- Landscape Infrastructure- Identification	PAMC 16.14.230/ A4.305.5.1	X																
Electives (choose 3)	Elective	Kitchen faucets (1.5 gpm at 60 psi)	A4.303.1	X																
	Elective	Alternate water sources for nonpotable applications	A4.303.2	X																
	Elective	Appliances	A4.303.3	X																
	Elective	Nonwater supplied urinals and waterless toilets	A4.303.4	X																
	Elective	Hot water recirculation systems	A4.303.5	X																
	Elective	Rainwater catchment systems	A4.304.1	X																
	Elective	Potable water elimination	A4.304.2	X																
	Elective	Graywater (Locally amended)	PAMC 16.14.230/ A4.305.1	X																
	Elective	Recycled water piping (Locally amended)	PAMC 16.14.230/ A4.305.2	X																
	Elective	Recycled water for landscape irrigation (Locally amended)	PAMC 16.14.230/ A4.305.3	X																
	Elective	Innovative concepts and local environmental conditions	A4.306.1	X																
4.4 Material Conservation and Resource Efficiency																				
Mandatory	Tier 2 Mand.	Recycled content - 15% - Tier 2 requirements	A4.405.3.1	X																
	Mandatory	Rodent proofing	4.406.1	X																
	Mandatory	Enhanced construction waste reduction- 80% Diversion (Locally amended if project valuation conditions are	PAMC 16.14.260/ 4.408.1	X																
	Mandatory	Construction waste management plan in Green Halo	4.408.2	X																
	Mandatory	Waste management company	4.408.3	X																
	Mandatory	Operation and maintenance manual	4.410.1	X																
Electives (choose 4)	Mandatory	Recycling by occupants (≥ 5 multi-family units)	4.410.2	X																
	Elective	Reduction in cement use - 25%	PAMC 16.14.250/ A4.403.2	X																
	Elective	Efficient framing techniques - Lumber size	A4.404.1	X																
	Elective	Efficient framing techniques - Dimensions and layouts	A4.404.2	X																
	Elective	Efficient framing techniques - Building systems	A4.404.3	X																
	Elective	Efficient framing techniques - Pre-cut materials and details	A4.404.4	X																
	Elective	Prefinished building materials	A4.405.1	X																
	Elective	Concrete floors	A4.405.2	X																
	Elective	Use of building materials from rapidly renewable sources	A4.405.4	X																
	Elective	Drainage around foundations	A4.407.1	X																
	Elective	Roof drainage	A4.407.2	X																
	Elective	Flashing details	A4.407.3	X																
	Elective	Material protection	A4.407.4	X																
	Elective	Door protection	A4.407.6	X																
	Elective	Roof overhangs	A4.407.7	X																
	Elective	Innovative concepts and local environmental conditions	A4.411.1	X																

						Plan Sheet, Spec or Attachment Reference		Compliance Path Verification									
								Plan Check		Rough GB Inspection IVR # 112		Final Inspection IVR # 974					
								CORR	INITIAL	CORR	INITIAL	Part 1	Part 1	Part 2	Part 2		
4.5 Environmental Quality						Code Section	Y	N									
Mandatory	Mandatory	Fireplaces	4.503.1	X		N/A											
	Mandatory	Covering of duct openings, protection of mechanical equipment during construction	4.504.1	X													
	Mandatory	Adhesives, sealants and caulks - Table 4.504.1 and 4.504.2	4.504.2.1	X													
	Mandatory	Paints and coatings - Table 4.504.3	4.504.2.2	X													
	Mandatory	Aerosol paints and coatings	4.504.2.3	X													
	Mandatory	Carpet systems	4.504.3	X													
	Mandatory	Carpet cushion	4.504.3.1	X													
	Mandatory	Carpet adhesive	4.504.3.2	X													
	Tier 2 Mand.	Resilient flooring systems for 100% - Tier 2 requirements	A4.504.2	X													
	Mandatory	Composite wood products	4.504.5	X													
	Mandatory	Concrete slab foundations	4.505.2	X													
	Mandatory	Capillary break	4.505.2.1	X													
	Mandatory	Moisture content of building materials	4.505.3	X													
	Mandatory	Bathroom exhaust fans	4.506.1	X													
Mandatory	Heating and air conditioning system design	4.507.2	X														
Electives - (1)	Elective	Compliance with formaldehyde limits	A4.504.1	X													
	Elective	Thermal insulation	PAMC 16.14.27/ A4.504.3	X													
	Elective	Filters	A4.506.1	X													
	Elective	Construction filters [HR- High Rise]	A4.506.2	X													
	Elective	Direct-vent appliances	A4.506.3	X													
	Elective	Innovative concepts and local environmental conditions.	A4.509.1	X													

Compliance Path Verification												Plan Sheet, Spec or Attachment Reference	
Two Check		Part 1		Part 2		Part 3		Part 4		Part 5			
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<p>Special Inspector Acknowledgement</p> <p>The project will be verified by a GREEN BUILDING SPECIAL INSPECTOR</p> <p>I have reviewed the project plans and specifications, and they are in conformance with the CALGreen mandatory and elective measures deemed. I have reviewed and understand the other construction requirements below.</p>	
<p>Signature</p>	<p>Date</p>

Signature: Robert H. Johnson Inspector
Printed Name
604.261.5806
Phone or Email
robert@hennrichson.com

Y - Yes; the measure is in the scope of work
N - No; the measure is not in the scope of work

The [Green Building Survey](#) is a required project submittal. The survey can be found at the following [link](#). The survey shall be completed on Survey Monkey and a screenshot shall be included on a separate page in this plan set.

reference page here _____.

Please indicate the

[illegible]

Checklist for Pre-Screening Application Use Only. - Suzanne Emerson, Green Building Special Inspector

SECTION TO BE COMPLETED AFTER
CONSTRUCTION

☐ After construction is complete submit the following at the City Development Center to schedule your final inspection:

☐ Construction debris receipts from an approved facility using Green

☐ If HERS testing was required per the homes energy report, attach the completed forms.

☐ If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Types) scan the report and attach it.

(certify that)

☐ The home has met the CALGreen measures as claimed on this sheet. Those required for landscaping may be excluded from this confirmation if verified within 6 months of final inspection.

☐ Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment.

Signature (Open Building Special Project)
Step 01's data collection is completed.
Print Name
Date



Title 24, Part 11, California Green Building Code (CALGreen)
City of Palo Alto Green Building Program and Resources
City of Palo Alto Green Building Ordinance 53933
City of Palo Alto Energy Reach Ordinance 53835

2016 RESIDENTIAL GREEN BUILDING APPLICATION CALGREEN + TIER 2

Application: This plan sheet is for residential new construction of any size.

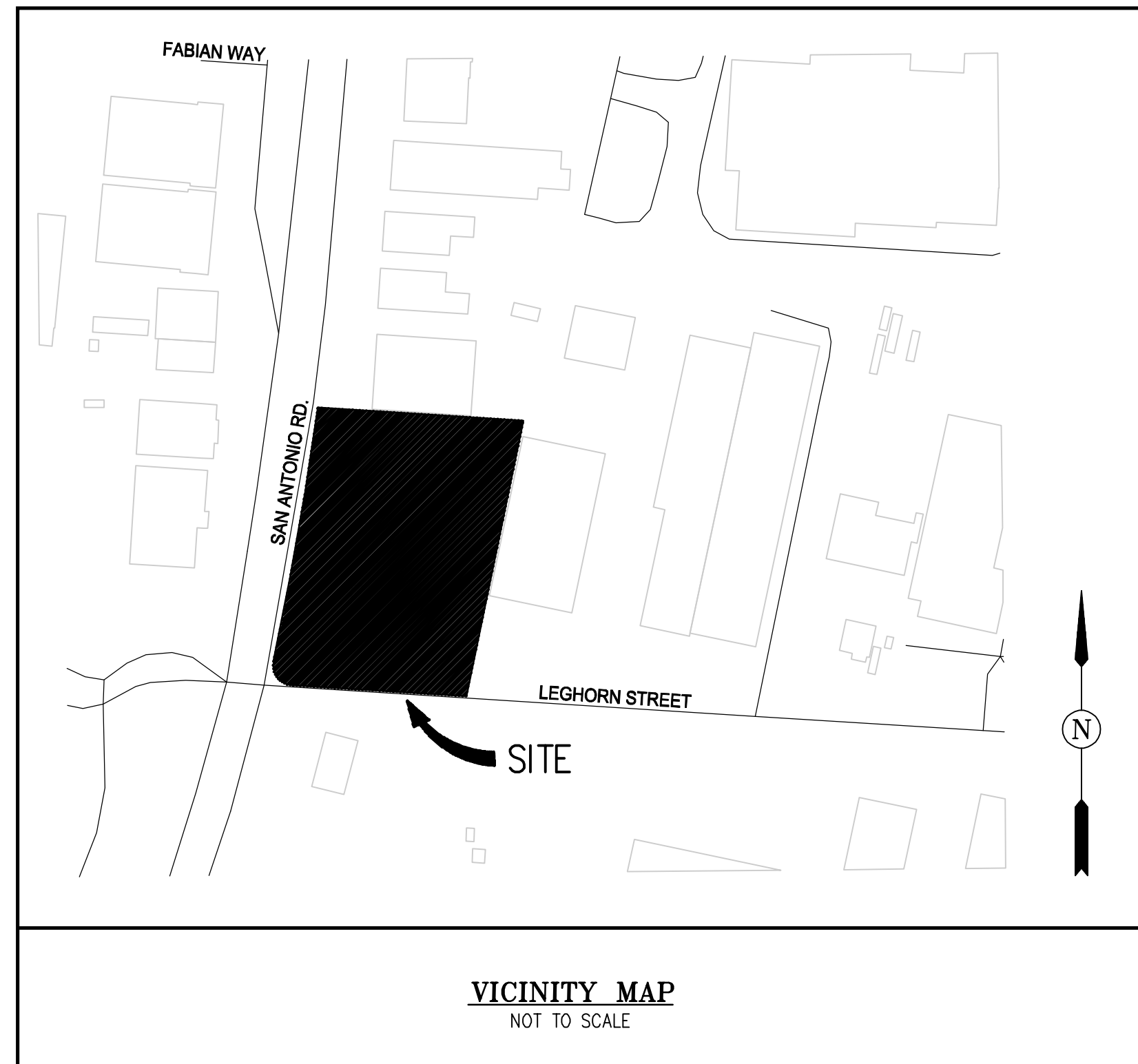
<http://www.bsc.nov/home/CAI/Gessen.aspx>
http://www.cafedshashbo.org/ps/04/ps_04s.htm
http://www.cafedshashbo.org/ps/04/ps_04s.htm#document55478
http://www.cafedshashbo.org/ps/04/ps_04s.htm#document55421

Project Address: 788, 790, 796 San Antonio Rd, Palo Alto

2016 RESIDENTIAL CHECKLIST - CALGREEN + TIER 2

GB-1R
TIER 2

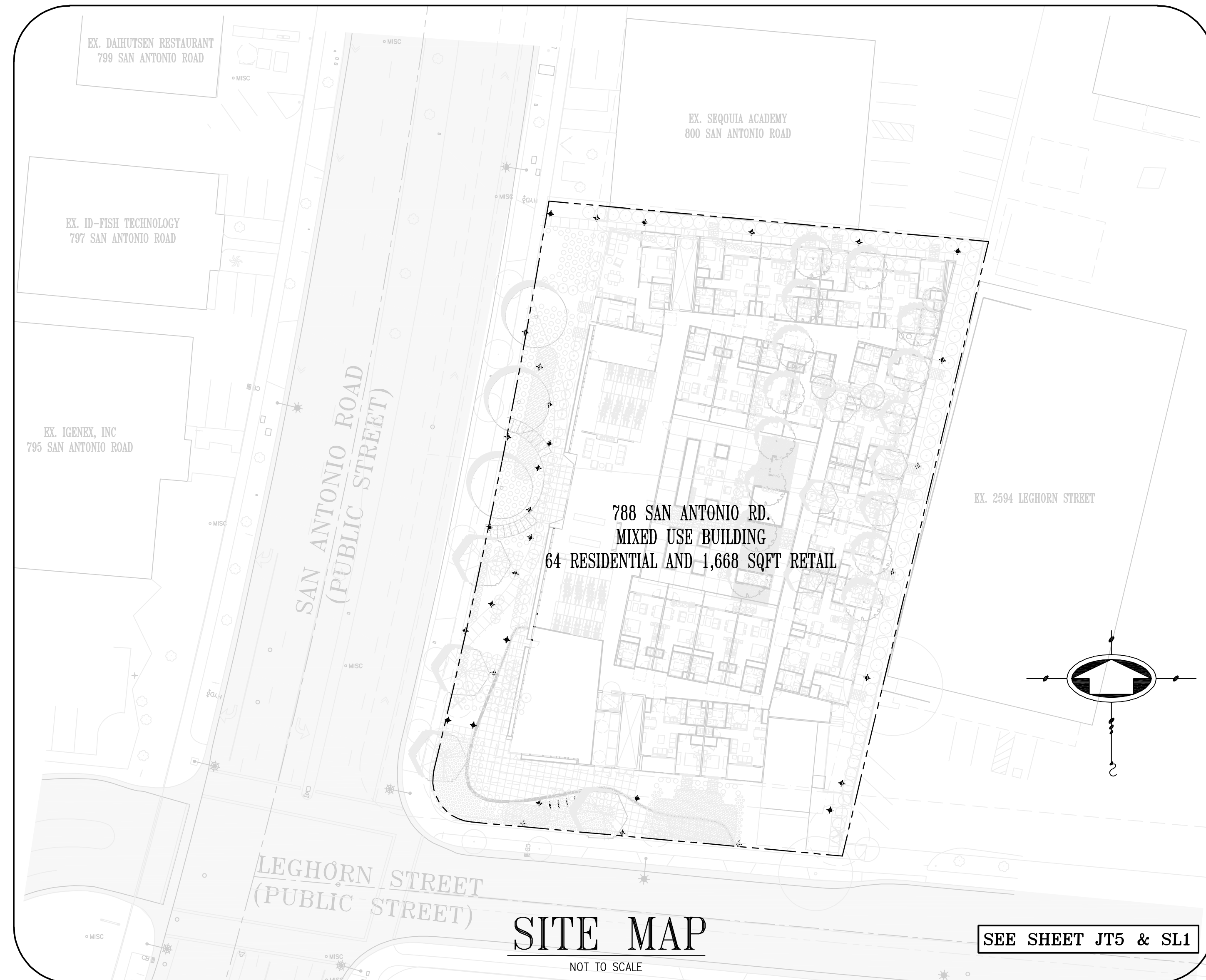
SAPA LAND, LLC
788 SAN ANTONIO ROAD, PALO ALTO
SANTA CLARA COUNTY CALIFORNIA



SHEET INDEX	
SHEET NO.	DESCRIPTION
JT1	JOINT TRENCH COMPOSITE TITLE SHEET
JT2	JOINT TRENCH GENERAL NOTES AND DETAILS
JT3	JOINT TRENCH DETAILS
JT4	JOINT TRENCH SECTIONS AND DETAILS
JT5	JOINT TRENCH COMPOSITE PLAN
SL1	STREET LIGHTING GENERAL NOTES AND DETAILS
SL2	STREET LIGHTING GENERAL NOTES AND DETAILS
SL3	STREET LIGHTING SITE PLAN (NOT INCLUDED)

202 L.F. OF JOINT TRENCH AND X STREET LIGHTS
SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

- 1 CONDOMINIUM BLDG.
- 1 NEW SERVICE COMPLETION (ELECTRIC, TELEPHONE AND CATV)
- 1 NEW GAS COMPLETION



LEGEND	
	PROPOSED JOINT TRENCH
	PROPOSED GAS
	EXISTING GAS
	EXISTING FIBER OPTIC
	EXISTING UNDERGROUND ELECTRIC LINES
	EXISTING UNDERGROUND UTILITY LINES
	EXISTING CPAU PRIMARY VAULT
	PROPOSED CPAU PRIMARY VAULT
	CPAU 3ø, 2000-2500 KVA PAD MOUNT TRANSFORMER, IIE PAD SIZE-114" x 120"
	TELEPHONE SERVICE BOX, 30" x 48" x 32"
	CATV SPLICE BOX, 24" x 36" x 18"
	GAS BELLHOLE, 6' x 5' (BY CPAU)
	DESIGNATES UTILITY LINES TO BE REMOVED
	EXISTING UTILITY AS NOTED
	EXISTING UTILITY AS NOTED

TARRAR UTILITY REP.:	KHALID TARRAR	JOB NO.	219002	PHONE NO.	(925) 240-2595
DEVELOPER:	YURONG HAN	JOB NO.	219002	PHONE NO.	(925) 735-2777
CPAU ELECTRIC COORDINATOR:	R-ELEC REP	JOB NO.	R-ELECOJBNO	PHONE NO.	R-ELECPHNO
CPAU GAS COORDINATOR:	R-GAS REP	JOB NO.	R-GASJOBNO	PHONE NO.	R-GASPHNO
TELEPHONE REP.:	DAVID CLARK	JOB NO.	-	PHONE NO.	(408) 635-8824
CABLE T.V. REP.:	CAMERON DIPUTADO	JOB NO.	-	PHONE NO.	(650) 533-5293

FILES STATUS			
DESCRIPTION:	BY:	DATE:	STATUS:
CIVIL PLANS (ELECTRONIC FILE)	BKF ENGINEERS	01-23-2019	R
ARCHITECTURAL PLANS (ELECTRONIC FILE)	STUDIO S SQUARED	01-23-2019	R
LANDSCAPE PLANS (ELECTRONIC FILE)	TANIGUCHI LANDSCAPE ARCHITECTURE	01-24-2019	R
GAS DESIGN	CITY OF PALO ALTO	XX-XX-XXXX	XXXX
ELECTRIC DESIGN	CITY OF PALO ALTO	XX-XX-XXXX	XXXX
TELEPHONE INTENT REPLY	AT&T	XX-XX-XXXX	XXXX
CATV INTENT REPLY	COMCAST / CABLECOM	XX-XX-XXXX	XXXX
STREET LIGHT PLANS - PUBLIC	XXXX	XX-XX-XXXX	XXXX
STREET LIGHT PLANS - PRIVATE	TARRAR UTILITIES	XX-XX-XXXX	XXXX
SOILS REPORT	XXXX	XX-XX-XXXX	XXXX
A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED			

DEVELOPER
PLEASE NOTE AND SIGN

ALL CPAU ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE
ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPER'S ENGINEER.
ALL COSTS TO RELOCATE OR READJUST BOXES AT A LATER DATE
WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB
SUPT. VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND
BOXES, AND SIGN AND DATE DRAWING. THANK YOU

SIGNED _____ DATE _____

COMPOSITE DRAWING BY DEVELOPER

Approved _____ Telephone representative _____ Date _____

Approved _____ CATV representative _____ Date _____

813 First Street
Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
www.tarrar.com

TARRAR
UTILITY CONSULTANTS

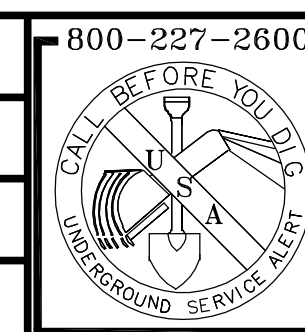
- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- CPAU Gas Design
- CPAU Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH COMPOSITE TITLE SHEET

SAPA LAND, LLC
788 SAN ANTONIO ROAD,
PALO ALTO CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: January 2019	DATE LAST WORKED ON: 6/19/2019
SCALE: NOT TO SCALE	DRAWN: ND CHECKED: KT
JOB NO.: 219002	PRELIMINARY NOT FOR CONSTRUCTION



SHEET
JT1
OF
JT5
SHEETS

PROJECT NOTES:

1. FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
2. CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
3. FIELD ADJUST SPLICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
4. A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR TOES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
5. TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET JT3 (TYPICAL).
6. CONTRACTOR SHALL PLACE ALL UTILITY SPLICE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
7. ALL CPAU, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
8. CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
9. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCROACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
10. FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPLICE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
11. RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
12. UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
13. INCIDENTAL TRENCHING TO SPLICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPLICE BOXES AND CABINETS (TYPICAL).
14. ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
15. ALL CONDUITS MUST BE MANDREL TESTED AND APPROVED.
16. OFFSET SPLICE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
17. PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
18. ALL CPAU SPLICE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
19. ALL CONDUITS NOT ENTERING SPLICE BOXES OR ENCLOSURES SHALL BE CAPPED.
20. COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
21. THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
22. ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANDREL THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
23. EDGE OF SPLICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
24. ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS
25. MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPLICE BOXES & XFMRs.
26. DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
27. FOR CLARITY – BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
28. ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
29. THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM R-PN1 (R-PN2).

JOINT TRENCH AND UTILITY BOX LOCATION

THIS AREA RESERVED FOR STREET SECTIONS TO BE PLACED AT A LATER TIME

JOINT TRENCH STREET SECTIONS

NOT TO SCALE
NOTE: SEE PLANS FOR CONFIGURATIONS AND ARRANGEMENTS.
* UNLESS OTHERWISE SHOWN

WITHIN ROADWAY SECTION
(95% RELATIVE COMPACTION FOR THE TOP 6"
BELOW ROAD SUBGRADE AND 90% BELOW THAT)

GENERAL NOTES:

1. ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH CPAU UTILITY OPERATIONS UO STANDARD S5453.
2. ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
3. BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
4. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO CPAU GREEN BOOK PUBLICATION S5453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
7. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRAR UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (KERN COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
9. CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
10. THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH. IF DISCREPANCY IS FOUND, NOTIFY TARRAR UTILITY CONSULTANTS PRIOR TO STARTING WORK.
11. TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
12. TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC...). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
13. THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
14. VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BIDDING.
15. TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING ITS BID.
16. THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
17. CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
18. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF CPAU'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
19. THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
20. THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
21. CPAU'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING, AND INSTALLATION WORK.
22. IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRAR UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
23. TARRAR UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
24. ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
25. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES, THAT THE WORK IS READY FOR INSPECTION.
27. THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
28. ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER CPAU SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
29. THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
30. KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY. AS SHOWN.
31. ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY OF PALO ALTO REQUIREMENTS.
32. THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
33. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRAR UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRAR UTILITY CONSULTANTS.
34. THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC., WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL, OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRAR UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC., THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
35. "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF PALO ALTO ENCROACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF PALO ALTO AT THE TIME OF APPLICATION FOR THE ENCROACHMENT PERMIT."

ABBREVIATION LIST

B/C	BACK OF CURB	H.P.S.	HIGH PRESSURE SODIUM	RT	RETAINING WALL
B/W	BACK OF WALK	IRR.	IRRIGATION CONTROLLER	R/W	RIGHT OF WAY
BTU	BRITISH TERM UNITS	J.T.	JOINT TRENCH	SCH.	SCHEDULE
CB	CATCH BASIN	KV	KILO-VOLTS	SD	STORM DRAIN
CL	CENTERLINE	LE	LANDSCAPE EASEMENT	SHI.	SHEET
CAT.	CATALOG	LF	LINEAR FOOT/FEET	S/W	SIDE WALK
C OR CATV	CABLE TELEVISION	MH	MANHOLE	SS	SANITARY SEWER
CFH	CUBIC FEET PER HOUR	MIN.	MINIMUM	SSE	SANITARY SEWER EASEMENT
C.I.P.	CAPITOL IMPROVEMENT PROJECT	MPOE	MINIMUM POINT OF ENTRY	ST. LT.--S/L	STREET LIGHT
CL	CENTER LINE	N.T.S.	NOT TO SCALE	SUBO/V	SUBDIVISION
CU	COPPER	O.D.	OUTER DIAMETER	Sqft.	SQUARE FOOTAGE
E	ELECTRIC	O.H.	OVER HEAD	T	TELEPHONE
EP	EDGE OF PAVEMENT	PIEUE	PRIVATE INGRESS, EGRESS, AND UTILITY EASEMENT	TUC	TARRAR UTILITY CONSULTANTS
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	R	PROPERTY LINE	TYP.	TYPICAL
EX.	EXISTING	P.S.	POWER SUPPLY	T/S	TRAFFIC SIGNAL
F/C	FACE OF CURB	PROJ.	PROJECT	U.G.	UNDERGROUND
FH	FIRE HYDRANT	PSDE	PRIVATE STORM DRAIN EASEMENT	U.O.N.	UNLESS OTHERWISE NOTED
FUT.	FUTURE	PSE	PUBLIC SERVICE EASEMENT	V	VOLT
F.O.	FIBER OPTIC	PVAW	PRIVATE VEHICLE ACCESS WAY	W	WATT
G	GAS	P.V.C.	POLY VINYL CHLORIDE	WT	WATER
GALV.	GALVANIZE	P.W.E	PUBLIC WATER LINE EASEMENT	W/	WITH
G.E.	GENERAL ELECTRIC	PWR	POWER	W/O	WITHOUT
GRD.	GROUND	PUE	PUBLIC UTILITY EASEMENT	WLE	WATER LINE EASEMENT
H.O.A.	HOME OWNERS ASSOCIATION			XFMR	TRANSFORMER

PRIVATE STREET LIGHT TRENCH LOCATION ADJACENT TO JOINT TRENCH

THIS AREA RESERVED FOR PRIVATE STREET LIGHT SECTIONS TO BE PLACED AT A LATER TIME

813 First Street
Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
www.tarrar.com



- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- CPAU Gas Design
- CPAU Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH GENERAL NOTES AND DETAILS

SAPA LAND, LLC
788 SAN ANTONIO ROAD,
PALO ALTO CALIFORNIA

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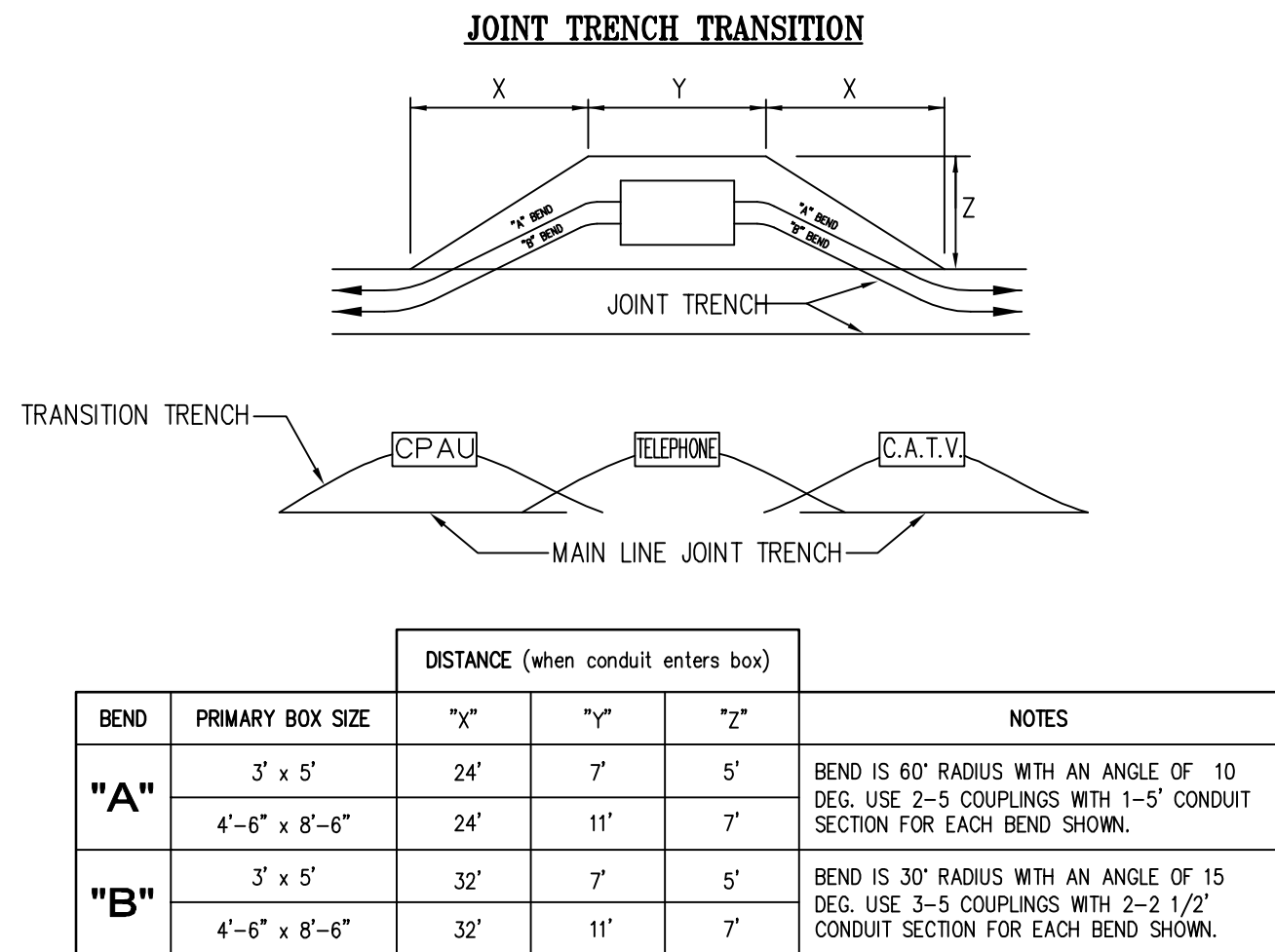
SHEET

JT2

OF

JT5

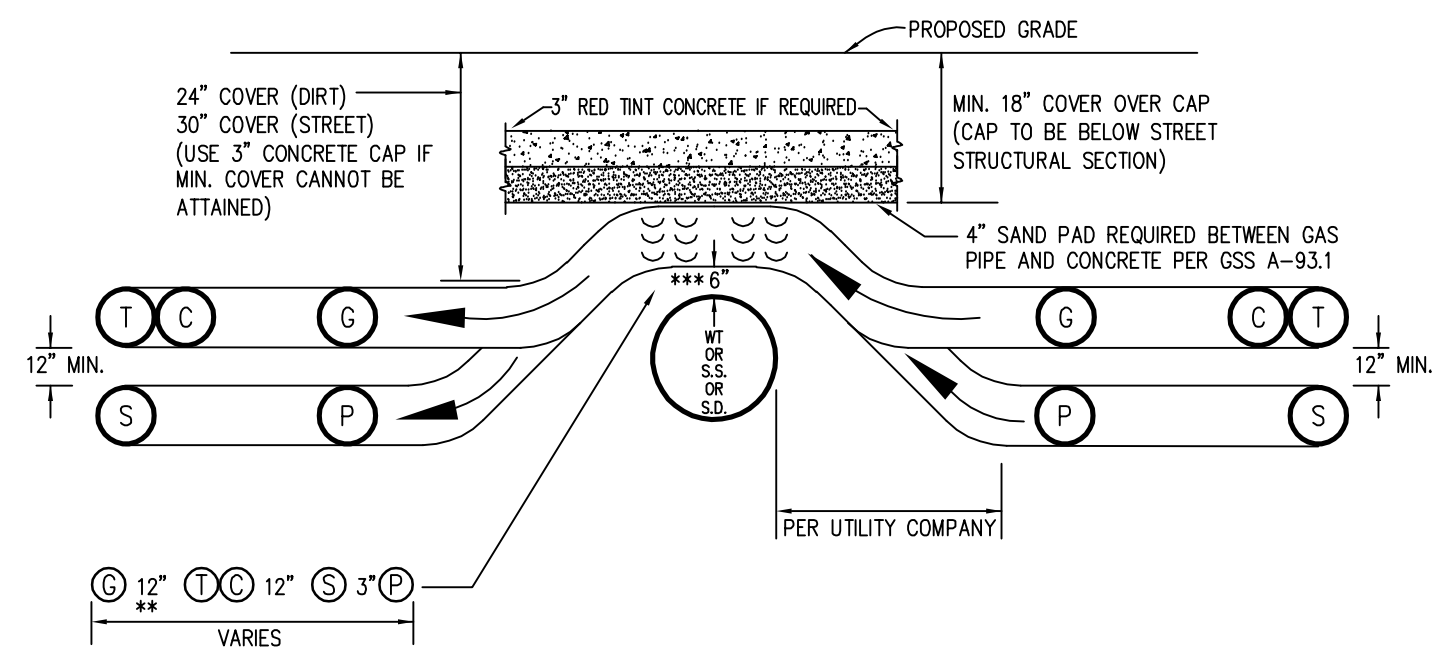
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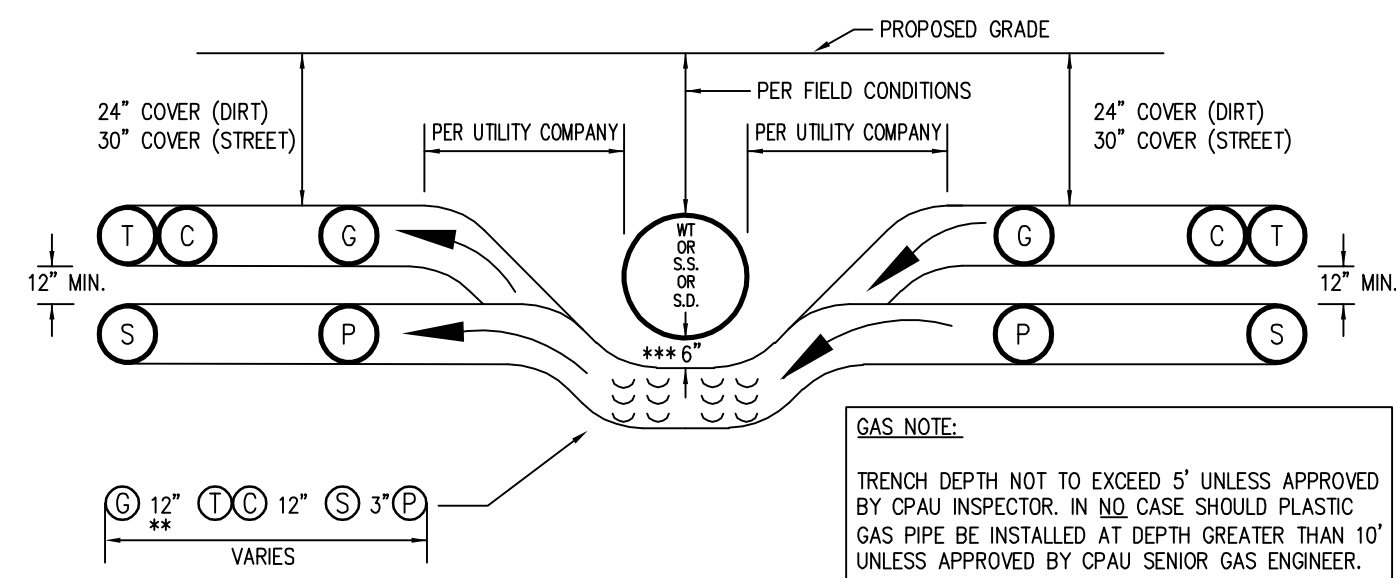
NOTE:

- CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
- TRANSITIONS NOT SHOWN ON COMPOSITE DRAWING FOR CLARITY.
- CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN VAULT EXCAVATION COST.

DETAIL **1** TYPICAL PRIMARY BOX EXCAVATION USING CONDUIT
N.T.S. JT3



**JOINT TRENCH OVER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 1 (PREFERRED METHOD)**



**JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 2 (OPTIONAL METHOD)**

- * SEE MINIMUM COVER & CLEARANCE CHART
- ** WITH MUTUAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV).
- *** 6" MINIMUM REQUIRED BY CPAU-ADDITIONAL CLEARANCE MAYBE REQUIRED BY CITY OR COUNTY

DETAIL **2** OVER UNDER DETAILS
N.T.S. JT3

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

**PUBLIC UTILITY SYSTEM
(JOINT TRENCH)**

	CPAU	ELECTRIC	GAS	TELEPHONE	CATV	CONTRACTOR
TRENCHING:						
EXCAVATE, BACKFILL AND COMPACT:						
GAS MATERIAL:						
FURNISH:						
INSTALL:						
ELECTRIC CABLE:						
FURNISH:						
INSTALL:						
ELECTRIC CONDUIT:						
FURNISH:						
INSTALL:						
ELECTRIC SPLICE BOXES:						
EXCAVATE:						
FURNISH:						
INSTALL:						
ELECTRIC TEMP. ENCLS.:						
EXCAVATE:						
FURNISH:						
INSTALL:						
ELECTRIC EQUIP. ENCLS.:						
EXCAVATE:						
FURNISH:						
INSTALL:						
ELECTRIC TEMP. PADS:						
GRADE:						
FURNISH:						
INSTALL:						
TELEPHONE CONDUIT:						
FURNISH:						
INSTALL:						
TELEPHONE CABLE:						
FURNISH:						
INSTALL:						
TELEPHONE SPLICE BOX:						
EXCAVATE:						
FURNISH:						
INSTALL:						
TELEPHONE INTER. PADS:						
GRADE:						
FURNISH:						
INSTALL:						
CATV CONDUITS:						
FURNISH:						
INSTALL:						
CATV SPLICE BOXES:						
EXCAVATE:						
FURNISH:						
INSTALL:						

**STREET LIGHTING SYSTEM
(PRIVATE)**

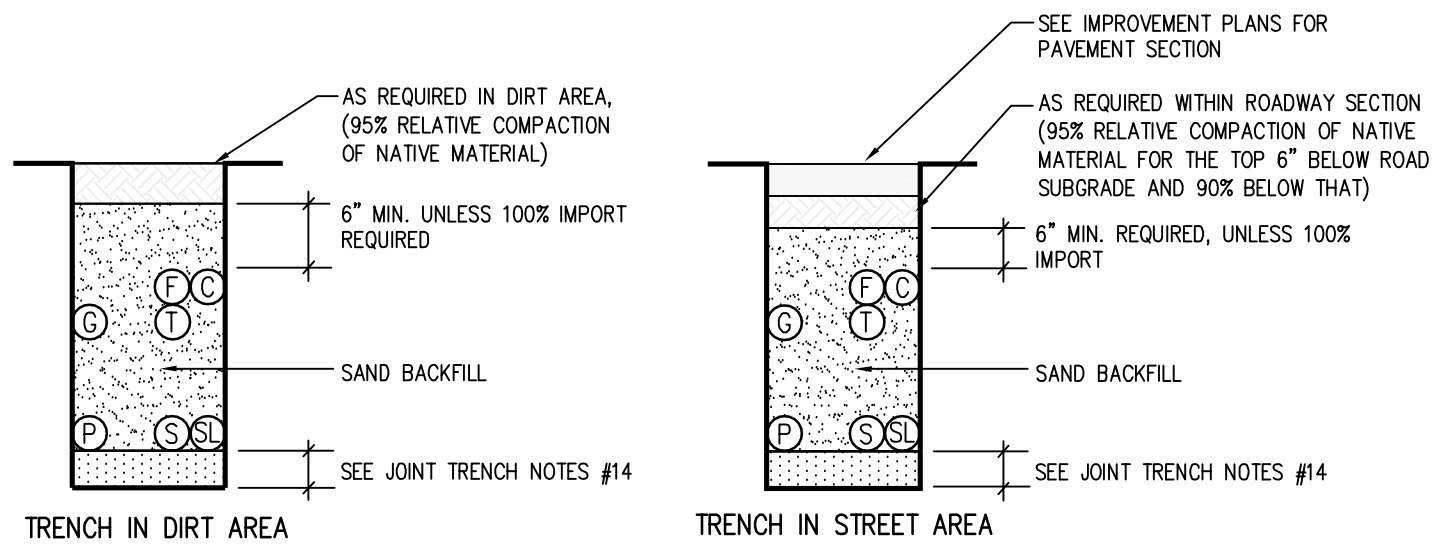
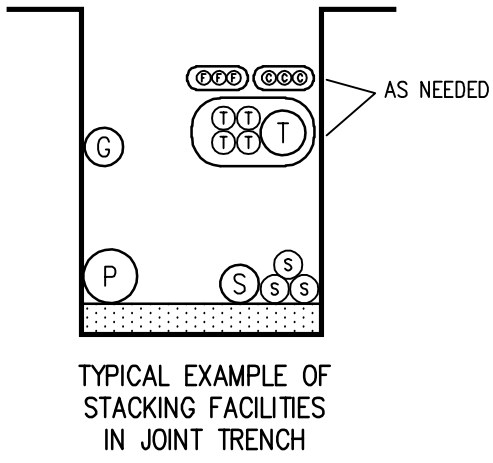
	CPAU	CONTRACTOR
WIRE:		
FURNISH:		
INSTALL:		
CONDUIT:		
FURNISH:		
INSTALL:		
BASES:		
FURNISH:		
INSTALL:		
LUMINAIRES:		
FURNISH:		
INSTALL:		
SPLICE BOXES:		
FURNISH:		
INSTALL:		
POLES & ARMS:		
EXCAVATE:		
FURNISH:		
INSTALL:		

SCHEDULE:	
INSTALL IN JOINT TRENCH:	NO
INSTALL IN SEPARATE TRENCH:	YES
CONDUIT SIZE:	2"
CONDUIT TYPE:	SCH. 40
WIRE SIZE:	#8
TYPE:	CU

ADDITIONAL NOTES:

● DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.

<u>JOINT TRENCH MINIMUM COVER AND CLEARANCES</u>													<u>MINIMUM SEPARATION FROM</u>
	UTILITY	G	T	TD	C	S	P	SL	SLP	F	FE	MINIMUM COVER	
G	(GAS)*	-	12"	12"	12"	6"	12"	12"	6"	12"	12"	24"; 30" IN STREET	
T	(TELEPHONE) DUCT	12"	-	1"	1"	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
TD	(TELEPHONE) DIRECT BURY	12"	1"	-	1"	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
C	(CABLE T.V.)	12"	1"	1"	-	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
S	(ELECT. SECONDARY)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
P	(ELECT. PRIMARY)	12"	12"	12"	12"	3"	3"	12"	3"	12"	12"	30"; 36" IN STREET	
SL	(PUBLIC AND PRIVATE-STREET LIGHT)**	12"	12"	12"	12"	12"	12"	-	12"	12"	12"	24"; 30" IN STREET	
SLP	(CPAU-STREET LIGHT)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
FE	(FOREIGN ELECTRIC SOURCES, NON CPAU)	12"	12"	12"	12"	12"	12"	12"	12"	12"	-	24"; 30" IN STREET	
F	(FIBER OPTIC)	12"	1"	1"	1"	12"	12"	12"	12"	-	12"	24"; 30" IN STREET	



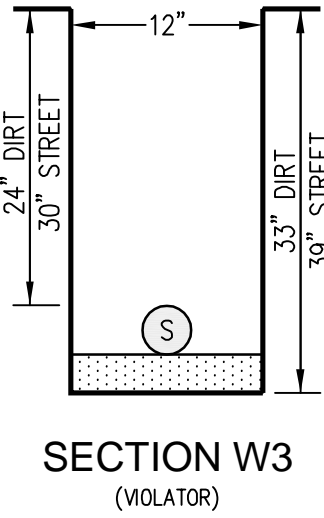
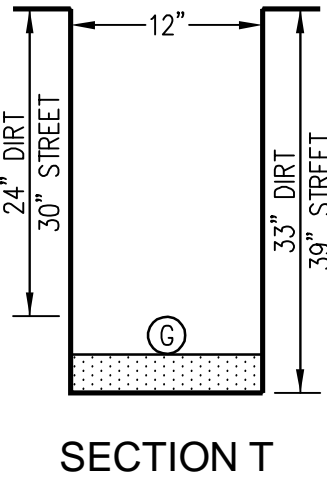
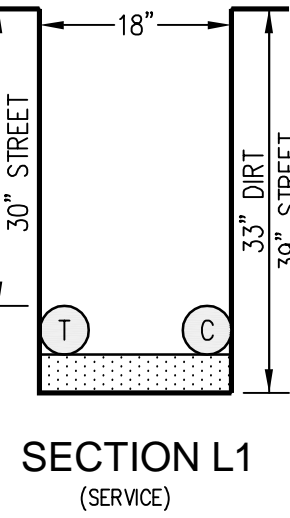
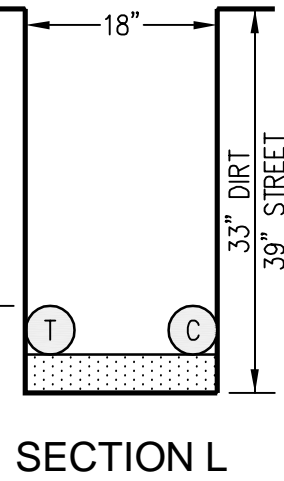
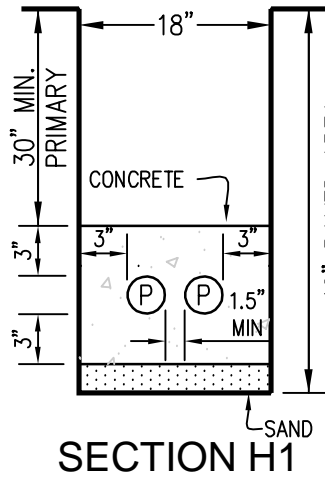
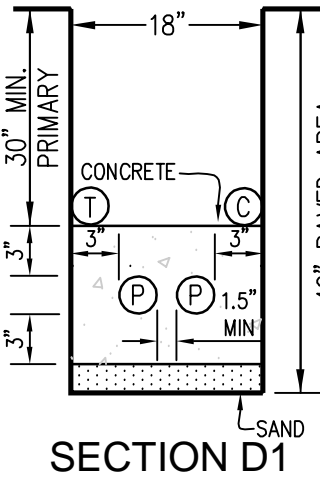
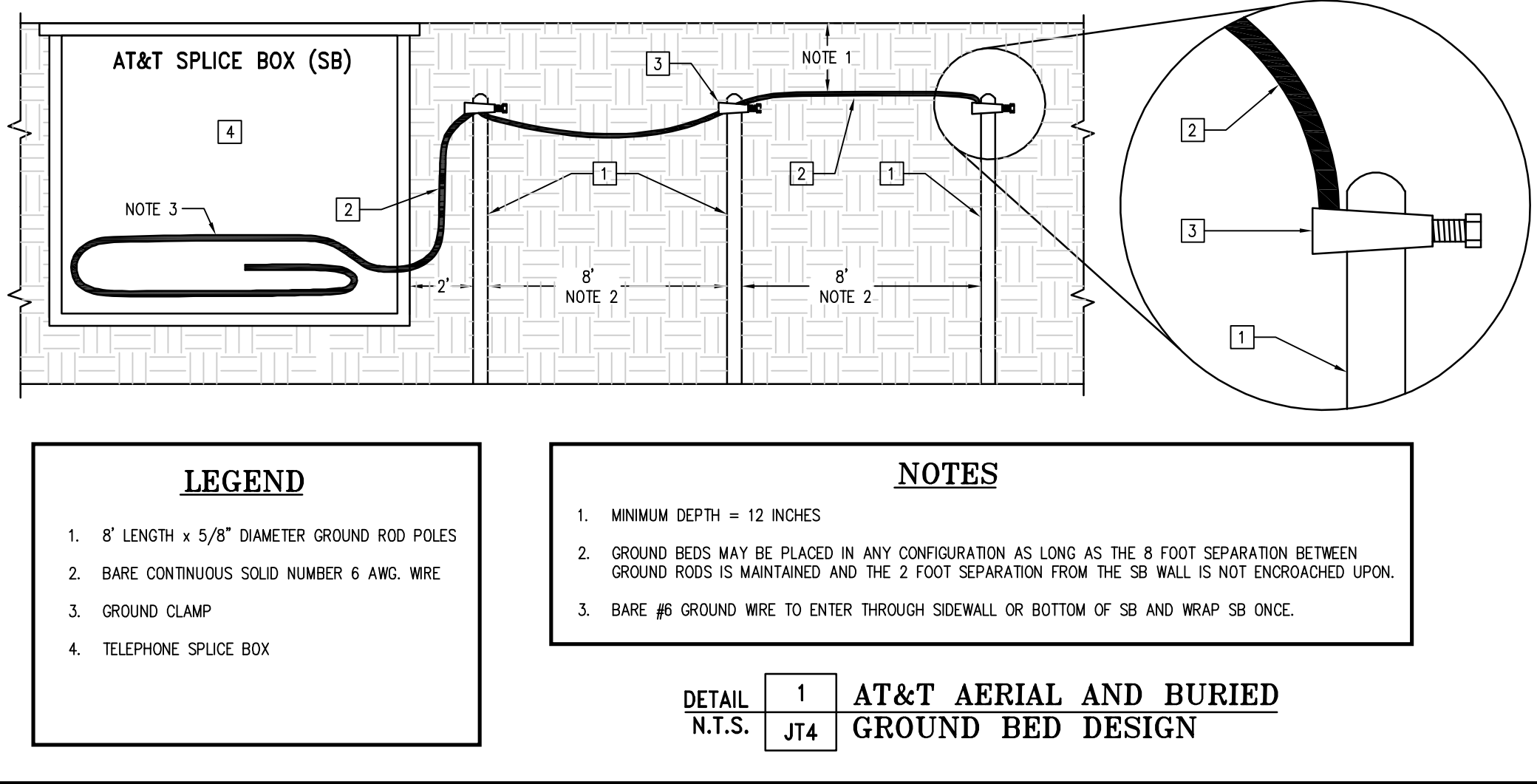
- LEGEND**
- MEETS UTILITY TRENCH ALLOTMENT
 - EXCEEDS UTILITY TRENCH ALLOTMENT
 - GAS
 - ELECTRIC PRIMARY
 - ELECTRIC SECONDARY
 - TELEPHONE (DUCT OR DIRECT BURY)
 - CATV
 - STREET LIGHT (PUBLIC OR PRIVATE)
 - STREET LIGHT (CPAU)
 - FOREIGN ELECTRIC
 - FIBER OPTIC

JOINT TRENCH NOTES:

- TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
- IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
- * WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
- * WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 12" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
- ** WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
- TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
- THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
- TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY; THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
- TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
- THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
- TYPE "W2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
- THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEEP MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
- CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO CPAU GREEN BOOK PUBLICATION S5453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
- ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF PALO ALTO ENGINEERING STANDARDS AND SPECIFICATIONS.
- ALL CPAU, TELEPHONE, CABLE, AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3" SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETLIGHTS.

JOINT TRENCH OCCUPANCY GUIDE																		
TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R
GAS	X	X	X	X					X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRI.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
FIBER OPTICS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY



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CAUTION !! CAUTION !! CAUTION !!
EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR OF ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 24 HOURS IN ADVANCE

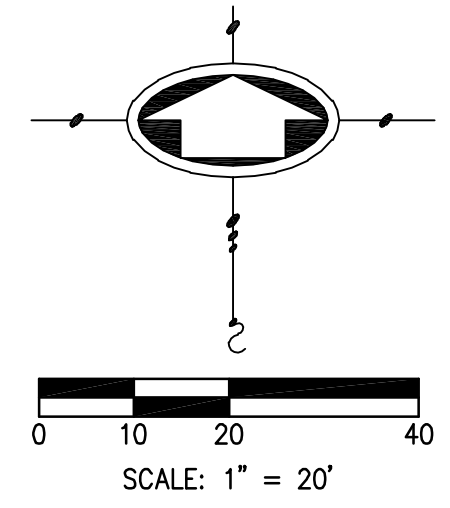
CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

JOINT TRENCH OCCUPANCY GUIDE																										
TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W			
GAS	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X			
TELEPHONE	X	X	X	X	X				X	X	X	X	X	X	X	X	X	X	X	X	X	X	X			
CABLE T.V.	X	X	X	X	X	X			X	X	X	X	X	X	X	X	X	X	X	X	X	X	X			
ELECTRIC SEC.	X	X	X	X	X	X	X								X	X	X	X	X	X	X	X	X			
ELECTRIC PRI.	X	X	X	X	X	X	X	X																		

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

SERVICE TERMINATION LEGEND	
	ELECTRIC, TELEPHONE, CATV LOCATION
	GAS LOCATION

NOTE:
SOME UTILITY BOXES HAVE BEEN ENLARGED FOR CLARITY. SEE SHT. JT1 'LEGEND' FOR SPECIFIC DIMENSIONS.



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Brentwood, CA 94513
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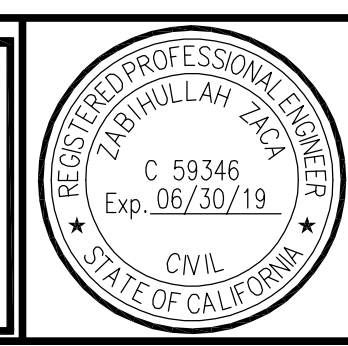
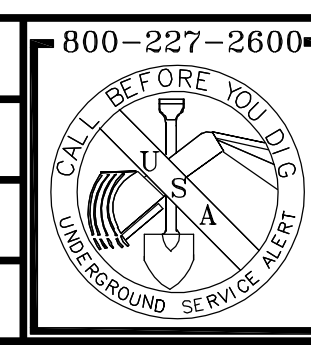


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- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH COMPOSITE PLAN
SAPA LAND, LLC
788 SAN ANTONIO ROAD,
PALO ALTO CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: January 2019	DATE LAST WORKED ON: 6/20/2019
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SHEET
JT5
OF
JT5
SHEETS