

788 SAN ANTONIO HOUSING

NEW MULTI-FAMILY RESIDENCE



788, 790, 796 San Antonio Road, Palo Alto, CA



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

788 San Antonio Housing

ARB Package

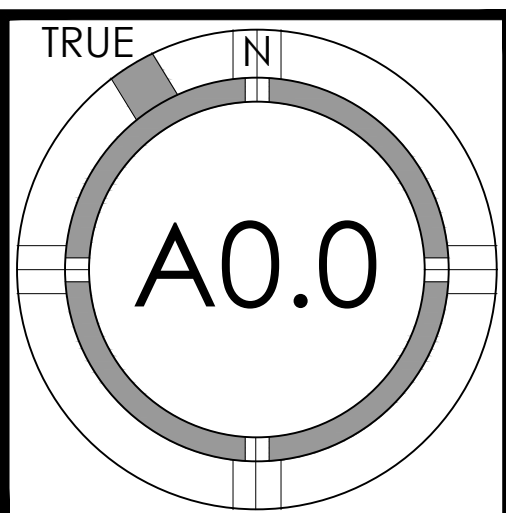
788, 790, 796 San Antonio Road
Palo Alto, CA

788SAPA Land LLC



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
18019	06.26.2018	ARB FOR PREL REVIEW	JA
	09.26.2018	ARB FOR PREL REVIEW	JA
	02.15.2019	ARB PACKAGE	IV/JG
	04.30.2019	ARB RESUBMITAL PACKAGE	IG

COVER SHEET



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LOCATION MAP	SCOPE OF WORK DEMOLISH EXISTING COMMERCIAL/LIGHT INDUSTRIAL BUILDINGS (2). CONSTRUCT A (64) UNIT FOR SALE MIXED USE BUILDING WITH 4 FLOORS ABOVE GRADE AND 1 FLOOR BELOW GRADE FOR THE GARAGE, CONSISTING OF (18) 2BR UNITS, (46) 1BR UNITS WITH 91 PARKING STALLS WITH STACKERS AND 70 BIKE PARKING SPACES. 8 BIKE PARKING SPACES WILL BE PROVIDED AT GRADE. 10 UNITS WILL BE DESIGNATED FOR BMR USES. TOTAL FLOOR AREA OF 6864.1 SF AND A BASEMENT OF 29,530.8 SF	DEFERRED SUBMITTALS	SHEET INDEX ARCHITECTURAL A0.0 COVER SHEET A0.1 CODE ANALYSIS A0.2a EXISTING CONDITIONS A0.2b PROPOSED SITE ELEVATIONS A0.3a NEIGHBORHOOD CONTEXT A0.3b NEIGHBORHOOD CONTEXT A0.4 FLOOR AREA CALCULATIONS A1.0a SITE PLAN A1.0b DEMO SITE PLAN A2.1a GARAGE FLOOR PLAN A2.1b 1ST FLOOR PLAN A2.1c 2ND FLOOR PLAN A2.1d 3RD FLOOR PLAN A2.1e 4TH FLOOR PLAN A2.1f UNIT A AND UNIT B FLOOR PLANS A2.2 ROOF PLAN A2.5 ENLARGED FLOOR PLANS A3.0 EXTERIOR ELEVATIONS A3.1 EXTERIOR ELEVATIONS A3.2 EXTERIOR ELEVATIONS A3.3a-f EXTERIOR PERSPECTIVES A3.4a-d DETAILS A5.0a SECTIONS A5.0b SECTIONS A7.0 COLOR + MATERIALS BOARD CIVIL C1.0 EXISTING CONDITIONS C2.0 PRELIMINARY SITE PLAN C3.0 PRELIMINARY GRADING PLAN C4.0 PRELIMINARY UTILITY PLAN C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN C5.1 PRELIMINARY STORMWATER MANAGEMENT PLAN C6.1 BEST MANAGEMENT PRACTICES LANDSCAPE LA-1 SCHEMATIC LANDSCAPE PLAN LA-2 IRRIGATION HYDROZONE PLAN ARBORIST T-1, 2 SPECIAL PROTECTION INSPECTION SHEET AR-1 ARBORIST REPORT - MAP - GREEN GB-1 GREEN BUILDING COMPL. FORM UTILITY JT1 JOINT TRENCH COMPOSITE TITLE SHEET JT2 JOINT TRENCH GENERAL NOTES AND DETAILS JT3 JOINT TRENCH DETAILS JT4 JOINT TRENCH SECTIONS AND DETAILS JT5 JOINT TRENCH COMPOSITE PLAN SL1 STREET LIGHTING GENERAL NOTES AND DETAILS SL2 STREET LIGHTING GENERAL NOTES AND DETAILS	PROJECT TEAM OWNER 788SAPA Land LLC Yurong Han, Manager 2225 East Bayshore Rd, Suite 200 Palo Alto, CA 94303 email: yuronghan@gmail.com PROJECT MANAGER Ted O'Hanlon Explore Real Estate 2625 Middlefield Road, #101 Palo Alto, CA 94306 ph: 650-813-1077 tedohanlon@gmail.com ARCHITECT Studio S Squared Architecture, Inc. 1000 S Winchester Blvd San Jose, CA 95128 attn: Isabeau Guglielmo ph 408 998 0983 x7 email: Isabeau@StudioS2arch.com CIVIL ENGINEER BKF Engineers 1650 Technology Dr, Ste #650 San Jose, CA 95110 attn: Ahn Tuan Nguyen email: ANguyen@bkf.com ph: 408-467-9143 LANDSCAPE ARCHITECT Taniguchi Landscape Architecture attn: Dennis Taniguchi ph 650 638 9985 email: dennis@dtlandarch.com ARBORIST Kevin Kielty Certified Arborist attn: Kevin Kielty ph: 650 515 9783 email: kkarbor0476@yahoo.com GREEN POINT RATER Emerson Environmental, LLC Attn: Suzanne Emerson ph 650 281 9805 email: suzanne@emersonenvironmental.com UTILITY CONSULTANT Tarrar Utility Consultants attn: Nick Delgado ph 925 240 2595 email: ndelgado@tarrar.com																																												
ASSESSOR'S PARCEL MAP	PROJECT SUMMARY <table><tr><td>Assessor's Parcel No.</td><td>147-3-41&42</td></tr><tr><td>Jurisdiction:</td><td>City of Palo Alto</td></tr><tr><td>Type of Construction:</td><td>TYPE V-A, SM SPRINKLERED</td></tr><tr><td>Zoning:</td><td>Commercial Service (CS)</td></tr><tr><td>Occupancy</td><td>R-2, M, S-2</td></tr><tr><td>Jurisdiction:</td><td>City of Palo Alto</td></tr><tr><td>Proposed Property Setbacks:</td><td></td></tr><tr><td>Front San Antonio Road</td><td>25'-0"</td></tr><tr><td>Right Street side on Leghorn Street</td><td>25'-0"</td></tr><tr><td>Rear</td><td>10'-1"</td></tr><tr><td>Left Side</td><td>10'-3"</td></tr><tr><td>Proposed Building Height</td><td>50'-0"</td></tr><tr><td>Max Height Allowed</td><td>50'+20' (sprinklered)</td></tr><tr><td>Site Area</td><td>43,414.0</td></tr><tr><td>Existing Lot Coverage</td><td>17,866.0</td></tr><tr><td>Proposed Lot Coverage</td><td>17,887.5</td></tr><tr><td>Existing Floor Area</td><td>17,866.0</td></tr><tr><td>Max. FAR Allowed (1.5 Lot Area)</td><td>65,121.0</td></tr><tr><td>Proposed FAR</td><td>68,641.1</td></tr><tr><td>Required Parking</td><td>car: 87; bike: 71</td></tr><tr><td>Proposed Parking</td><td>car: 91; bike: 70 in garage+8 at grade</td></tr><tr><td>Residential Density</td><td>64 units -- 67.8 units/acre</td></tr></table> PUBLIC FUNDS AVAILABLE: NO	Assessor's Parcel No.	147-3-41&42	Jurisdiction:	City of Palo Alto	Type of Construction:	TYPE V-A, SM SPRINKLERED	Zoning:	Commercial Service (CS)	Occupancy	R-2, M, S-2	Jurisdiction:	City of Palo Alto	Proposed Property Setbacks:		Front San Antonio Road	25'-0"	Right Street side on Leghorn Street	25'-0"	Rear	10'-1"	Left Side	10'-3"	Proposed Building Height	50'-0"	Max Height Allowed	50'+20' (sprinklered)	Site Area	43,414.0	Existing Lot Coverage	17,866.0	Proposed Lot Coverage	17,887.5	Existing Floor Area	17,866.0	Max. FAR Allowed (1.5 Lot Area)	65,121.0	Proposed FAR	68,641.1	Required Parking	car: 87; bike: 71	Proposed Parking	car: 91; bike: 70 in garage+8 at grade	Residential Density	64 units -- 67.8 units/acre	REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT	REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE	APPLICABLE CODES APPLICABLE CODES (with City of Palo Alto Amendments) -2016 CALIFORNIA ADMINISTRATIVE CODE, CAC -2016 CALIFORNIA BUILDING CODE, CBC -2016 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC -2016 CALIFORNIA ELECTRICAL CODE, CEC -2016 CALIFORNIA MECHANICAL CODE, CMC -2016 CALIFORNIA PLUMBING CODE, CPC -2016 CALIFORNIA ENERGY CODE, CENC -2016 CALIFORNIA HISTORICAL CODE, CHC -2016 CALIFORNIA FIRE CODE, CFC -2016 CALIFORNIA EXISTING BUILDING CODE -2016 CALIFORNIA GREEN BUILDING STANDARDS -2016 CALIFORNIA REFERENCED STANDARDS
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PUBLIC FUNDS AVAILABLE: NO



1. VIEW OF SUBJECT PROPERTY FROM SAN ANTONIO ROAD



2. VIEW OF SUBJECT PROPERTY FROM SAN ANTONIO ROAD



3. VIEW OF SUBJECT PROPERTY FROM SAN ANTONIO ROAD



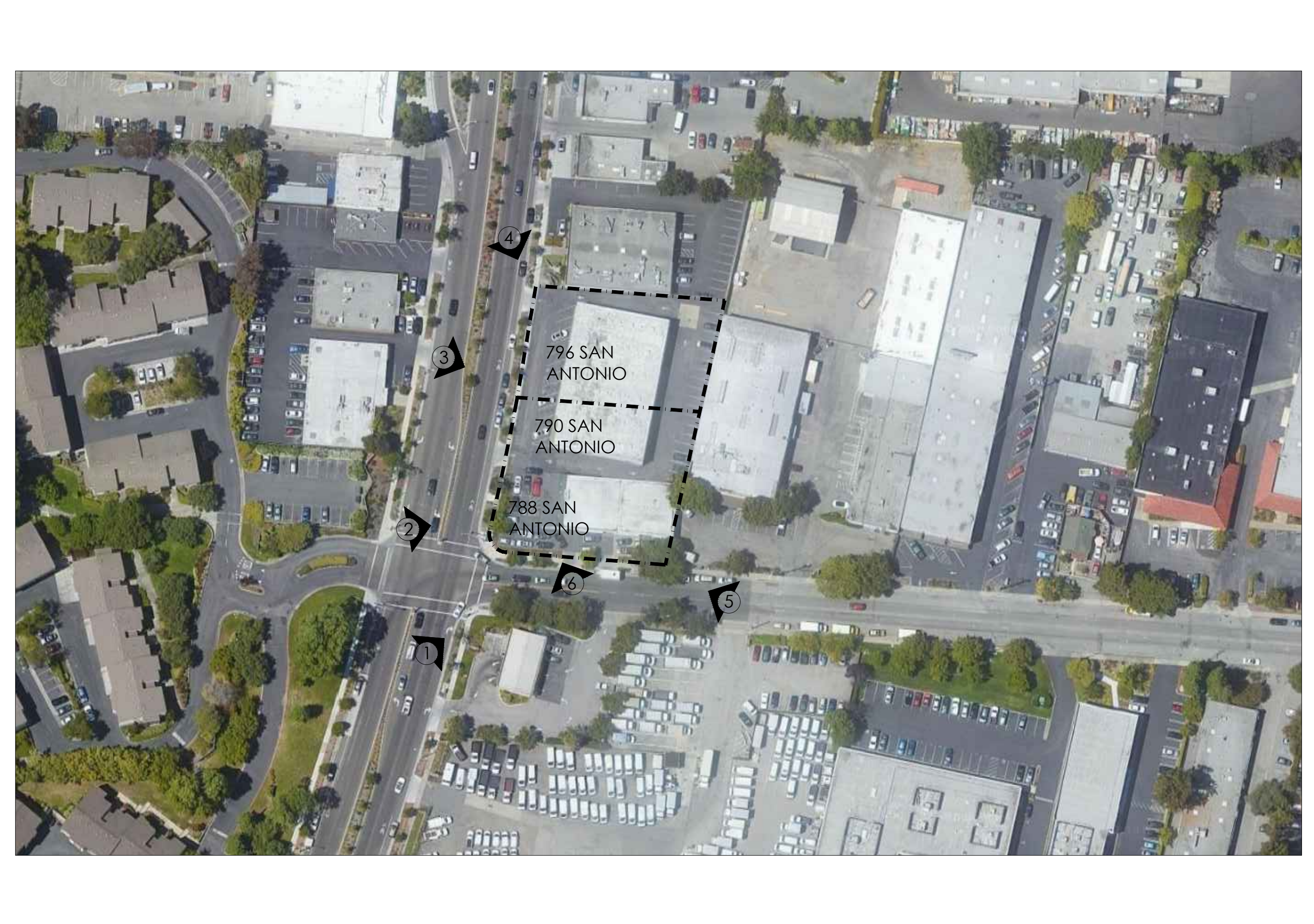
4. VIEW OF SUBJECT PROPERTY FROM SAN ANTONIO ROAD



5. VIEW OF SUBJECT PROPERTY FROM LEGHORN STREET



6. VIEW OF SUBJECT PROPERTY FROM LEGHORN STREET



EXISTING PLAN VIEW

-

1



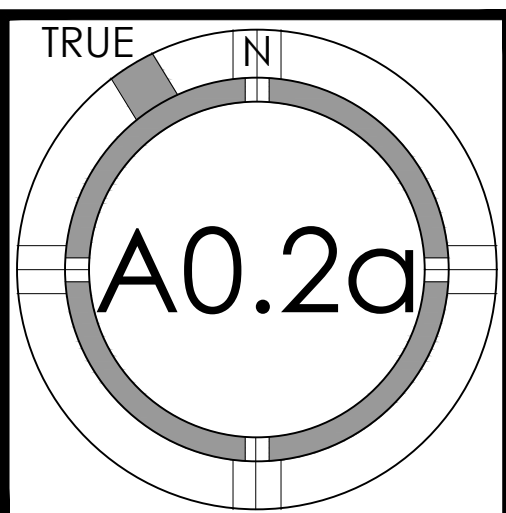
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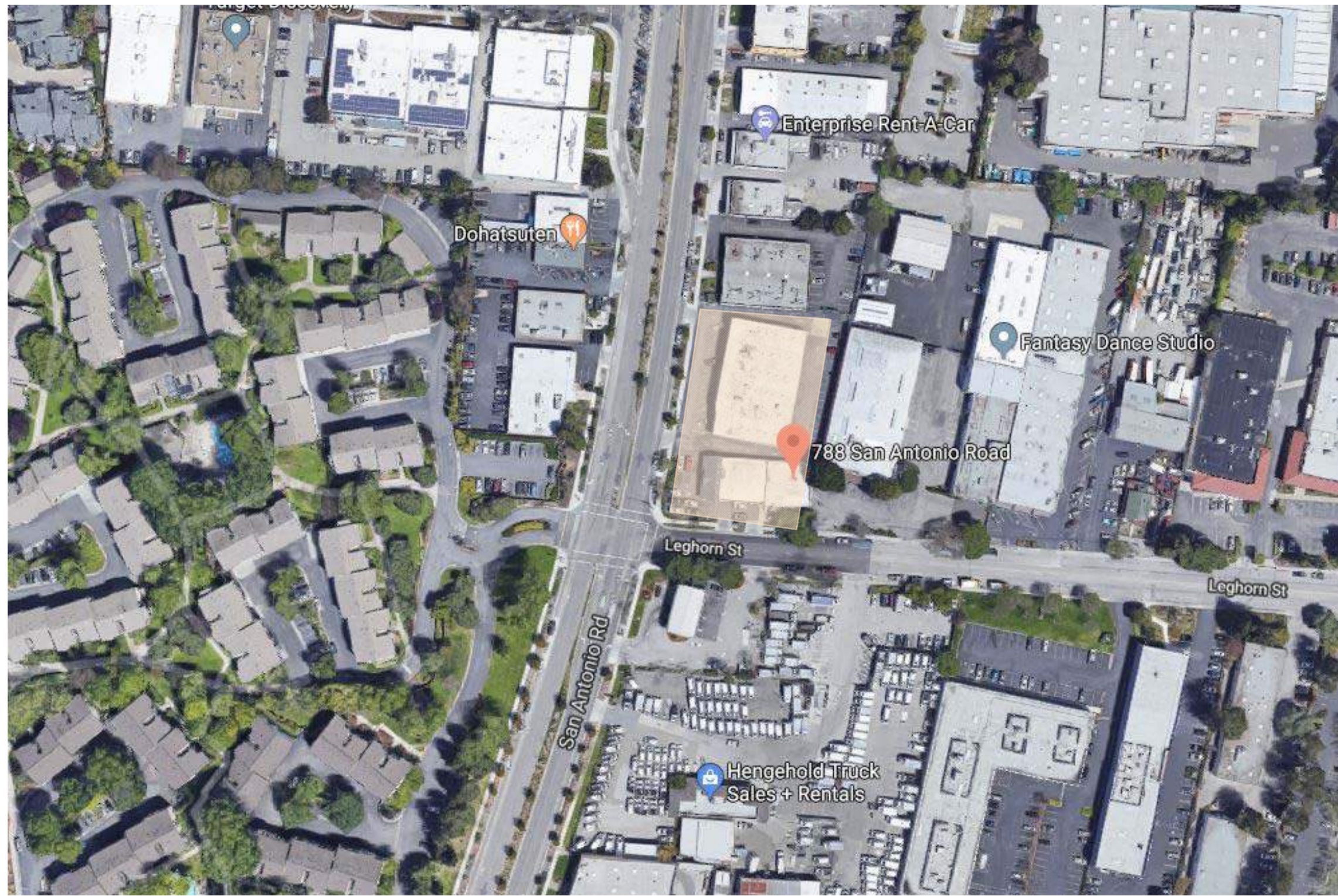
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18019	06.26.2018	ARB FOR PREL REVIEW	JA
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EXISTING
CONDITIONS



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AERIAL SITE VIEWS - 3



PROPOSED SITE ELEVATION -- SAN ANTONIO ROAD 1"=20' 2



PROPOSED SITE ELEVATION -- LEGHORN STREET 1"=20' 1



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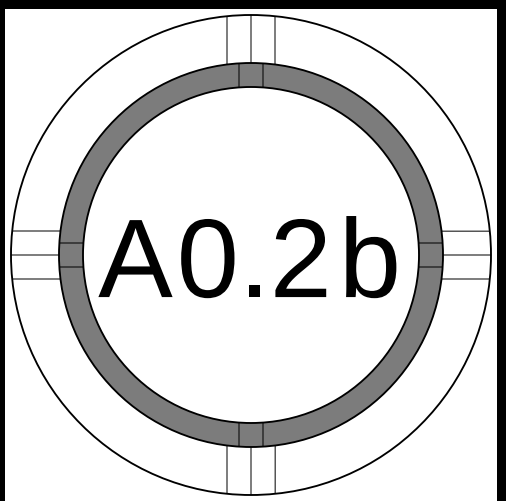
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PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY	18019
		06.20.2018	ARB FOR PREL REVIEW	JA	
		09.25.2018	ARB FOR PREL REVIEW	JA	
		01.20.2019	ARB	IV/G	

PROPOSED
SITE
ELEVATIONS





1. 780 SAN ANTONIO ROAD, PALO ALTO



2. 795 SAN ANTONIO ROAD, PALO ALTO



3. 797 SAN ANTONIO ROAD, PALO ALTO



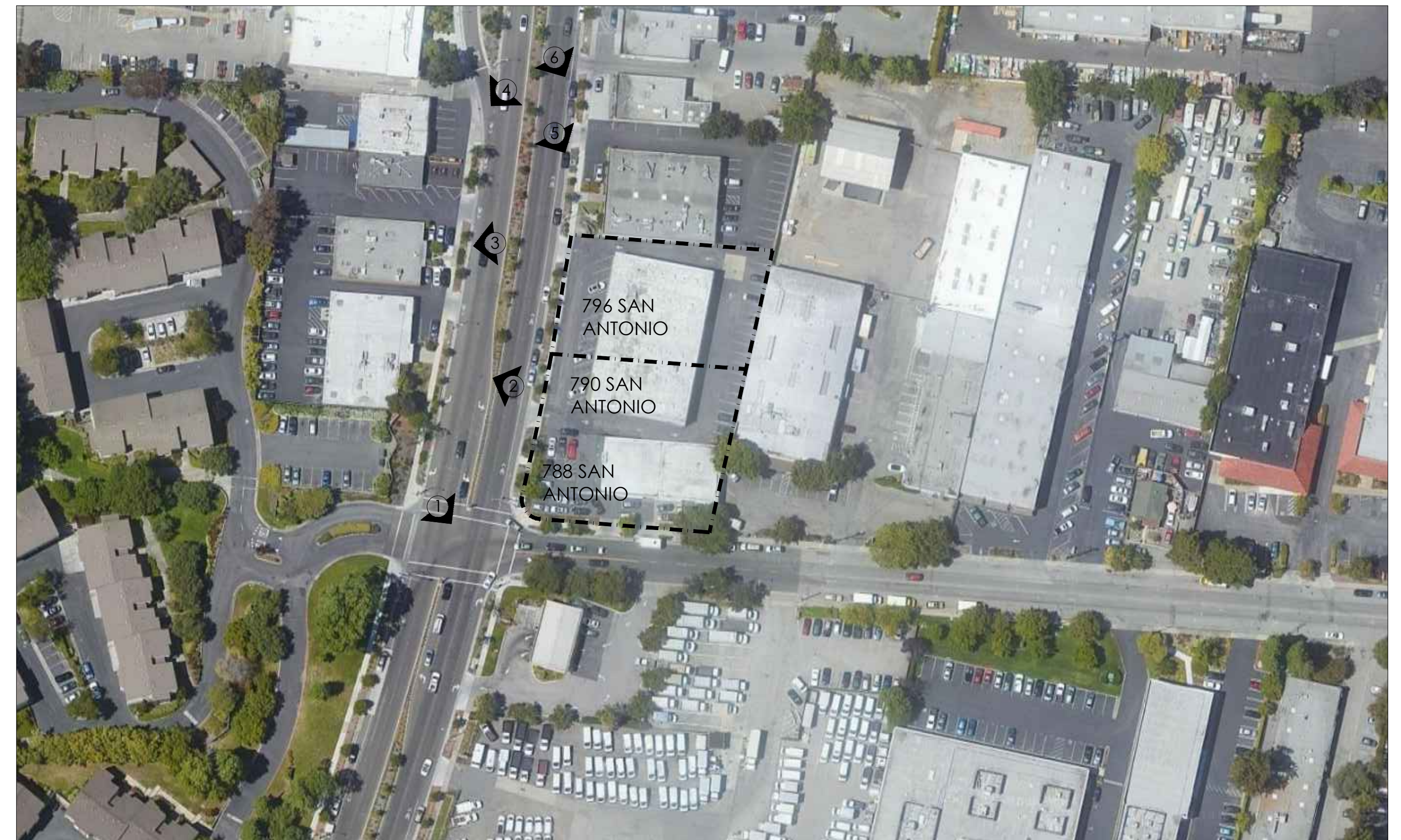
4. 801 SAN ANTONIO ROAD, PALO ALTO



5. 800-802 SAN ANTONIO ROAD, PALO ALTO



6. 808-810 SAN ANTONIO ROAD, PALO ALTO



EXISTING PLAN VIEW



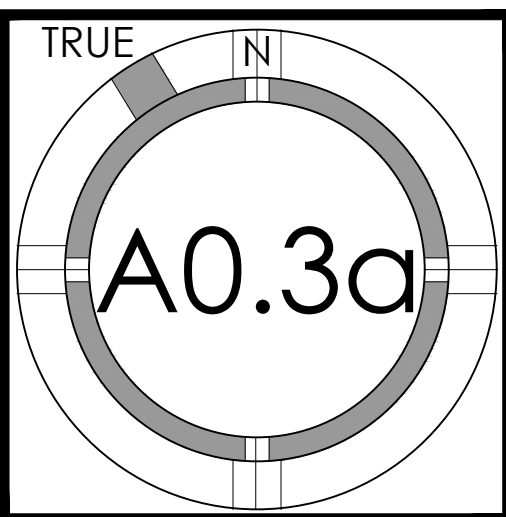
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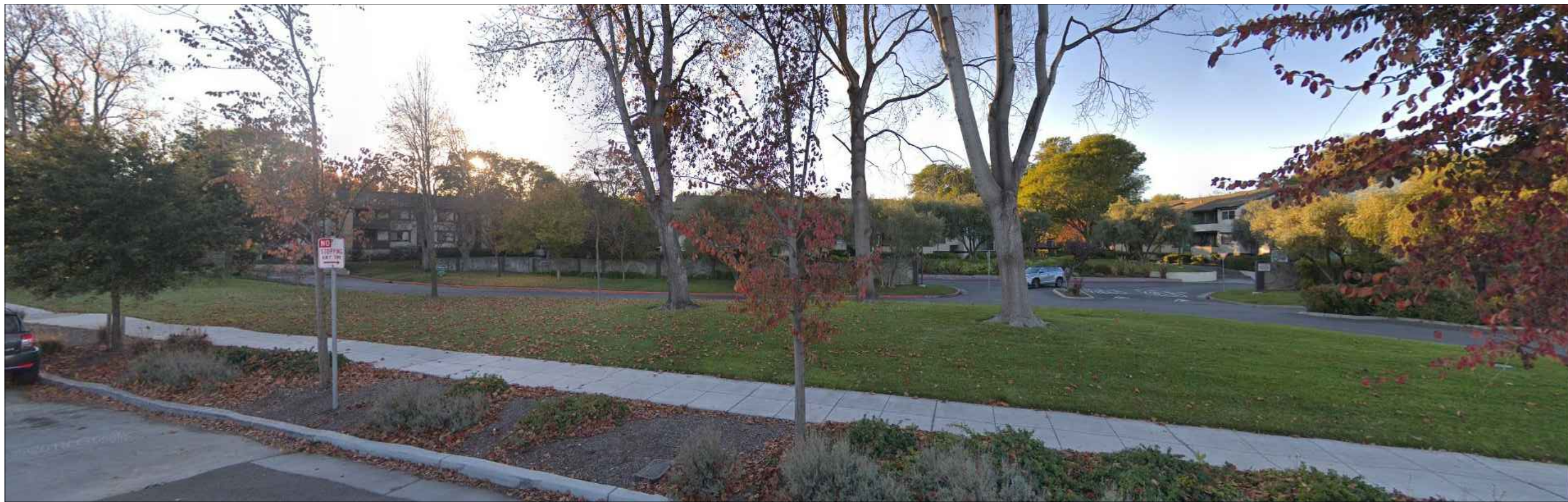
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	01.21.2019	ARB PACKAGE	IV/JG

NEIGHBORHOOD
CONTEXT





1. CONDOMINIUMS SAN ANTONIO ROAD, PALO ALTO



5. 780 SAN ANTONIO ROAD, PALO ALTO



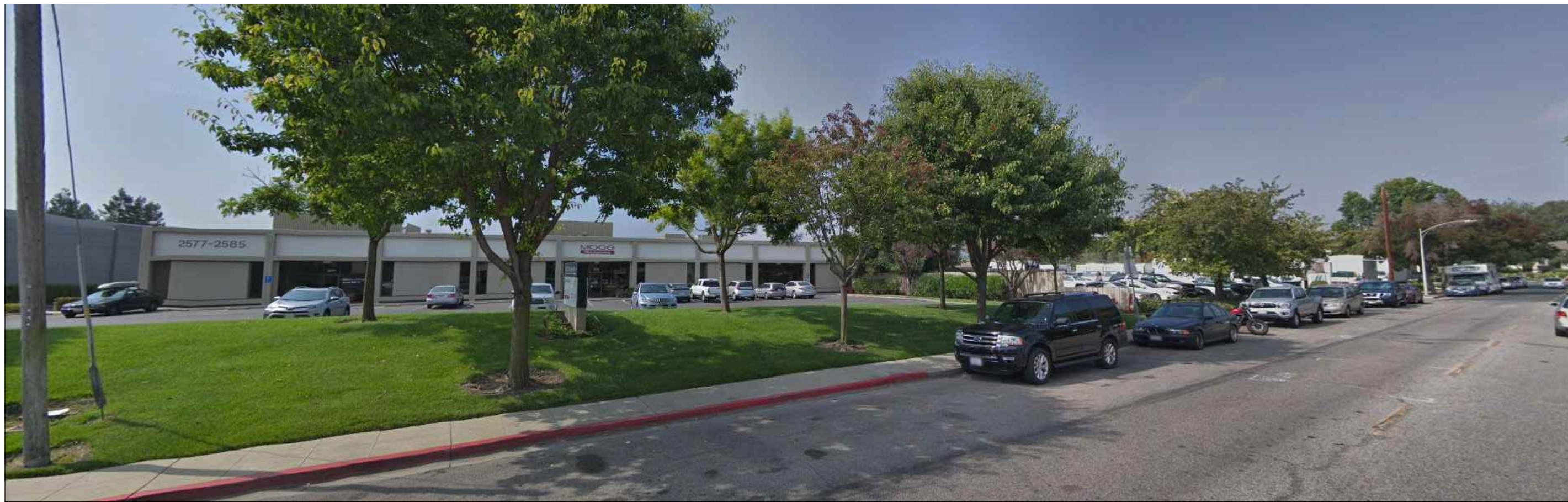
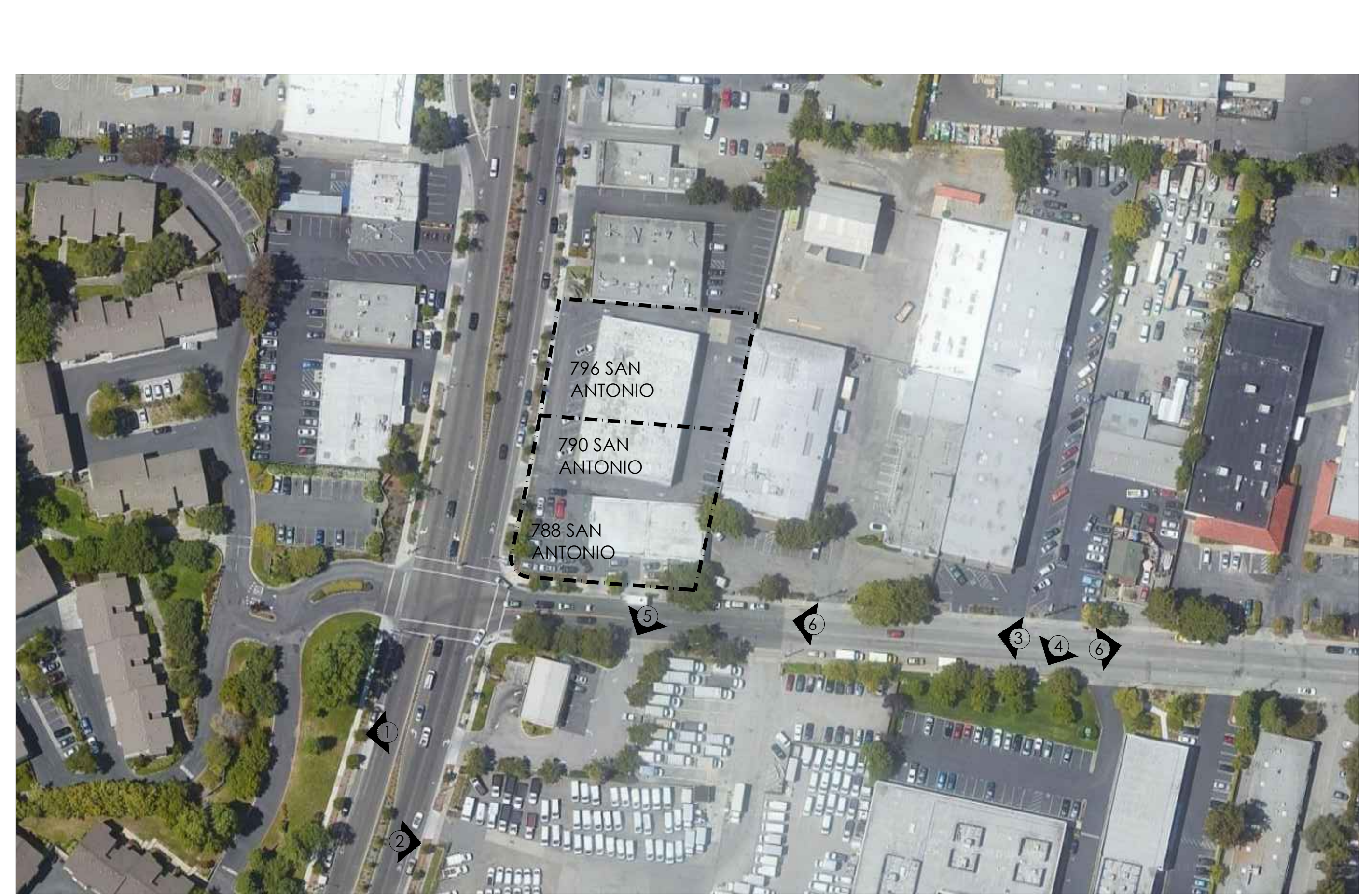
2. 762 SAN ANTONIO ROAD, PALO ALTO



6. 2582 LEGHORN STREET, MOUNTAIN VIEW



3. 2584-2570 LEGHORN STREET, MOUNTAIN VIEW



4. 2577-2585 LEGHORN STREET, MOUNTAIN VIEW

EXISTING PLAN VIEW - 1



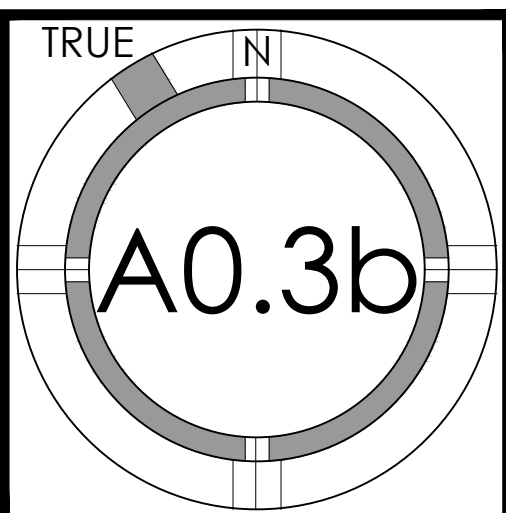
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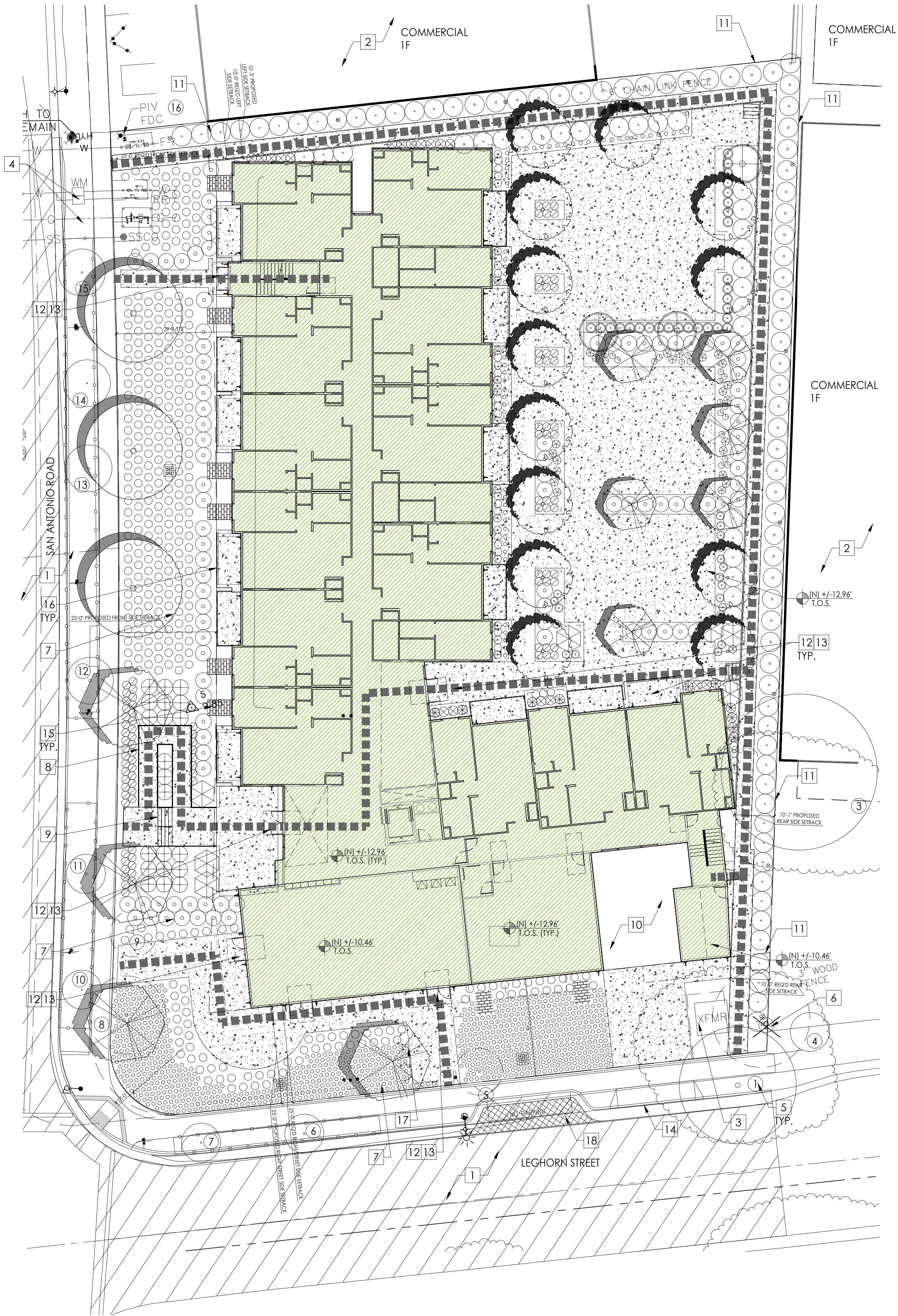
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NEIGHBORHOOD
CONTEXT





- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
 - (N) TRANSFORMER--SEE JOINT TRENCH PLANS FOR MORE INFORMATION
 - (N) UTILITIES--SEE JOINT TRENCH PLANS FOR MORE INFORMATION
 - (E) TREE(S) TO REMAIN--PROTECT AS REQUIRED DURING CONSTRUCTION--DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION
 - (E) TREE(S) TO BE REMOVED--SEE ARBORIST REPORT FOR MORE INFORMATION
 - (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION--SEE LANDSCAPE PLANS
 - (N) ENTRY RAMP--SEE LANDSCAPE & CIVIL PLANS FOR MORE INFORMATION
 - (N) ENTRY STAIRS--SEE LANDSCAPE & CIVIL PLANS FOR MORE INFORMATION
 - ENTRANCE TO PARKING GARAGE
 - (N) FENCE AND GATE--NEW FENCES TO CONFORM TO JURISDICTION FENCE REGULATIONS--SEE LANDSCAPE PLANS FOR MORE INFORMATION
 - (N) HARDSCAPE--SLOPE AWAY FROM BUILDING @ 2% MIN.--SEE LANDSCAPE PLANS FOR MORE INFORMATION
 - (N) 60" MIN. DEEP LEVEL LANDING (MAX. 7" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
 - (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL--SEE CIVIL PLANS
 - LADDER PADS PER CITY OF PALO ALTO FIRE DEPARTMENT REQUIREMENTS
 - CANTILEVERED BALCONY OR DECK, TYP. @ BUILDING EXTERIOR
 - SHORT-TERM BICYCLE PARKING--MANUF. FORMS + SURFACES--OLYMPIA BIKE RACK OR EQUAL

SITE PLAN KEYNOTES

---	PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
---	REQUIRED YARD SETBACK/EASEMENT
---	TREE PROTECTION FENCING
---	ACCESSIBLE PATH OF TRAVEL
---	NEW BUILDING AREA
---	NEW HARDSCAPE--SEE LANDSCAPE PLAN FOR MORE INFO
---	SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO
---	TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO

NOTES:

- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
- (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.



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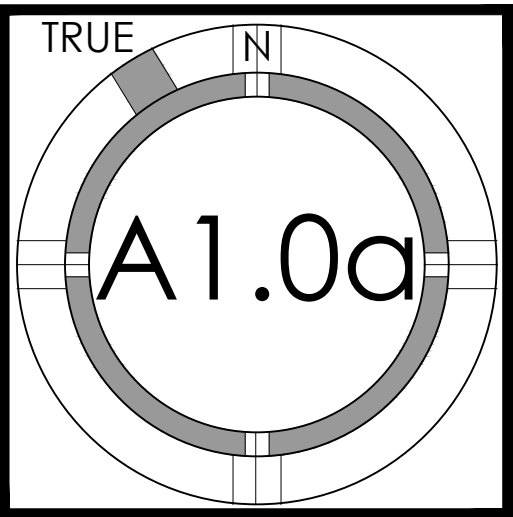
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SITE PLAN

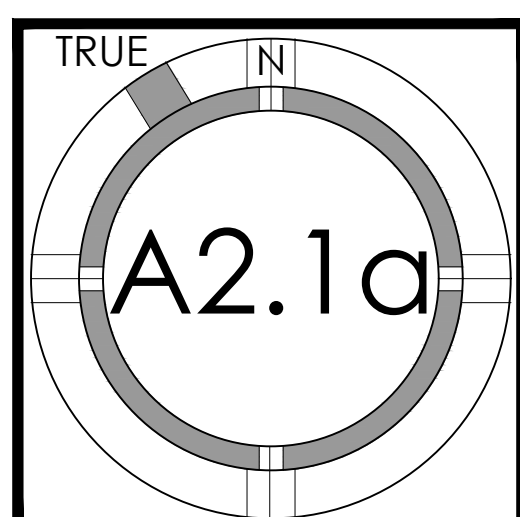




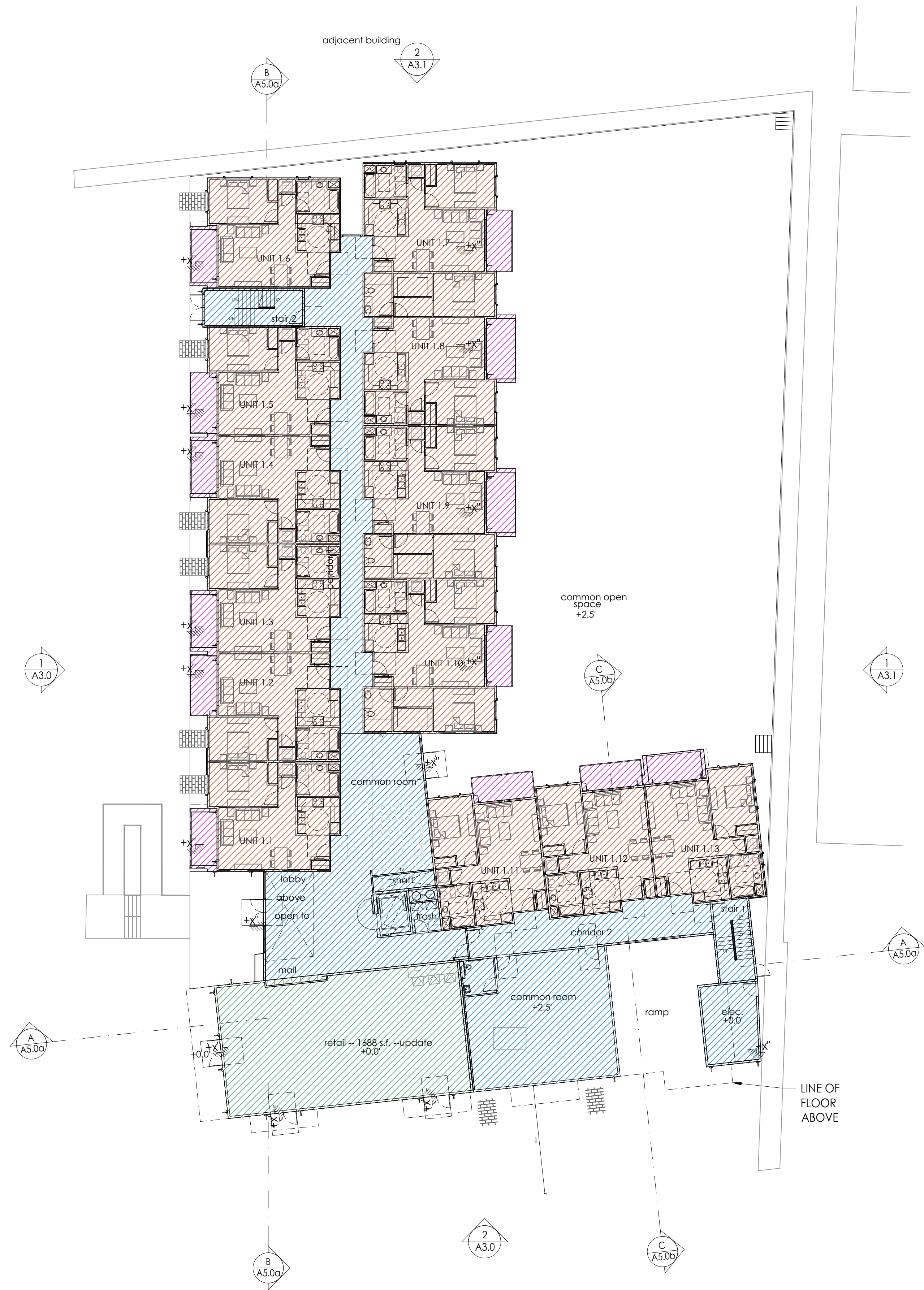
1

2-row layout

- (N) WALL: EXTERIOR: 2x6 STUDS @ 16" O.C.; INTERIOR 2x4 STUDS @ 16" O.C.—SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2—INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
- (N) WALL W/ 2 HOUR SEPARATION—5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING

[illegible]

(C) STUDIO S SQUARED ARCHITECTURE, INC.



FLOOR PLAN KEYNOTES

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(N) WALL W/ 2 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING

(N) GAS COCK--REFER TO MANUF. SPECS FOR ELECTRICAL AND GAS REQUIREMENTS. PLUMBER TO VERIFY GAS PIPE DIAMETER NEEDED FOR APPLIANCE FROM GAS METER LOCATION

FLOOR ELEVATION CHANGE--SEE CIVIL PLANS FOR MORE INFO

FLOOR PLAN LEGEND

R# - RETAIL U# = UNITS C# = COMMON B# = BALCONY



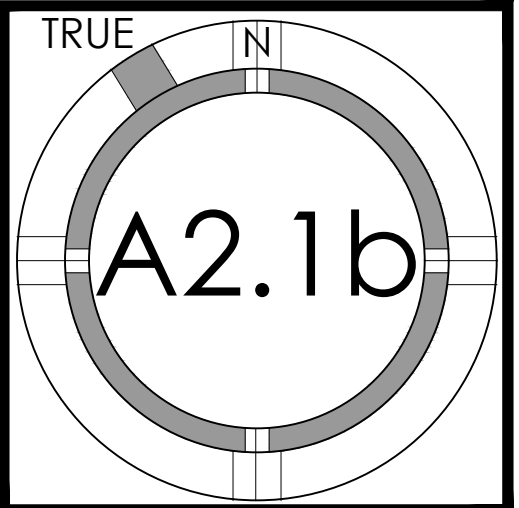
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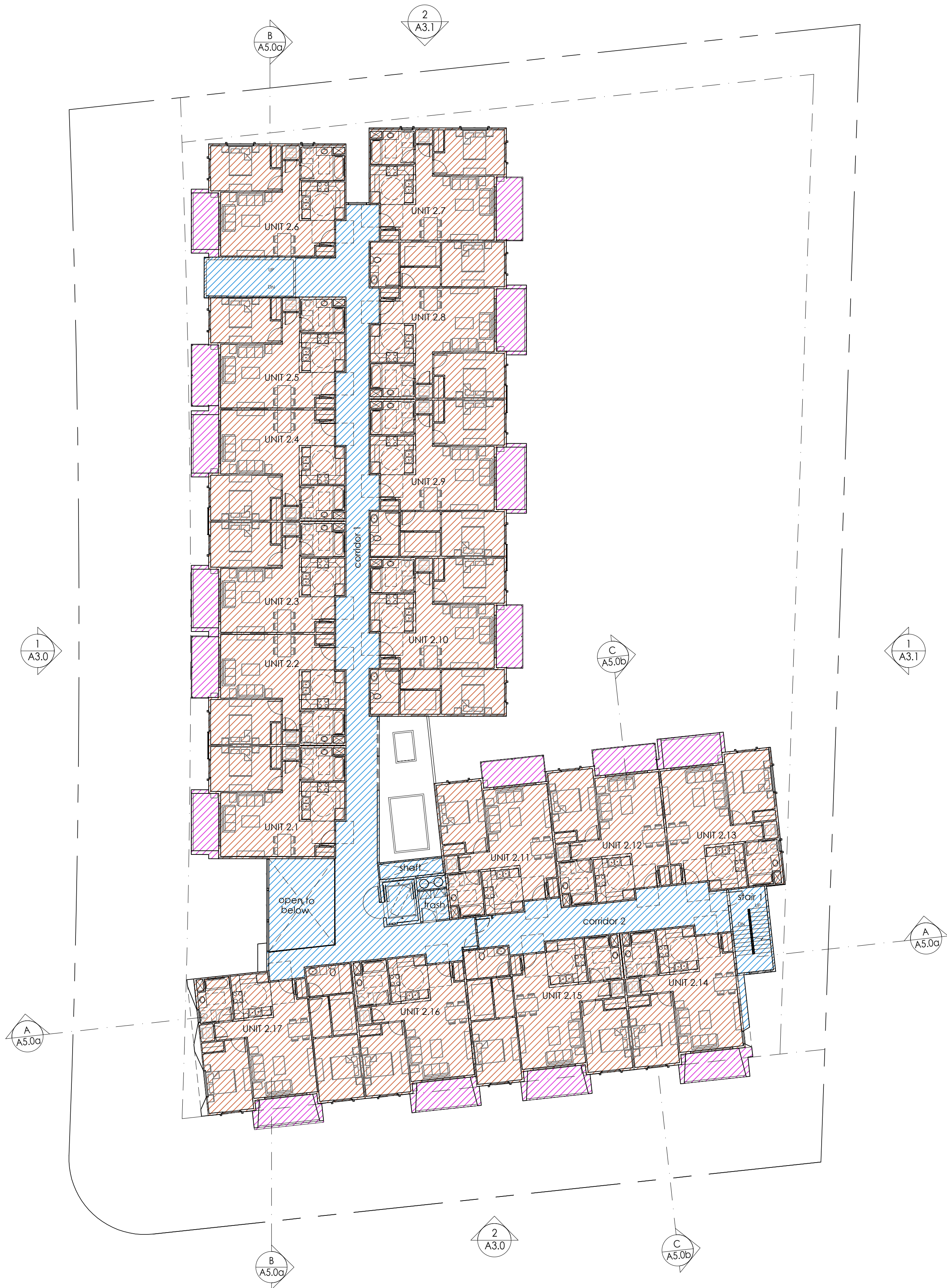


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1ST FLOOR PLAN



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FLOOR PLAN KEYNOTES

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- FLOOR ELEVATION CHANGE--SEE CIVIL PLANS FOR MORE INFO

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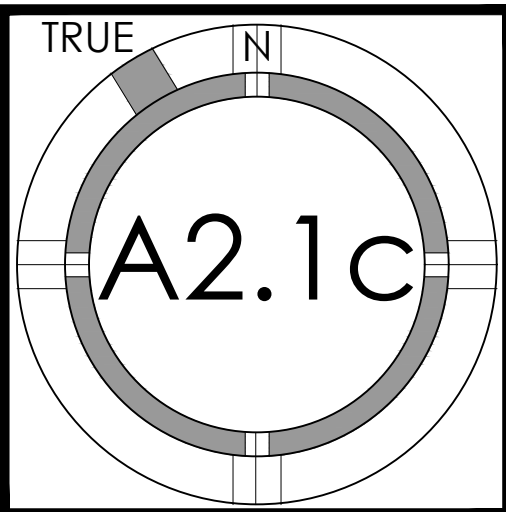
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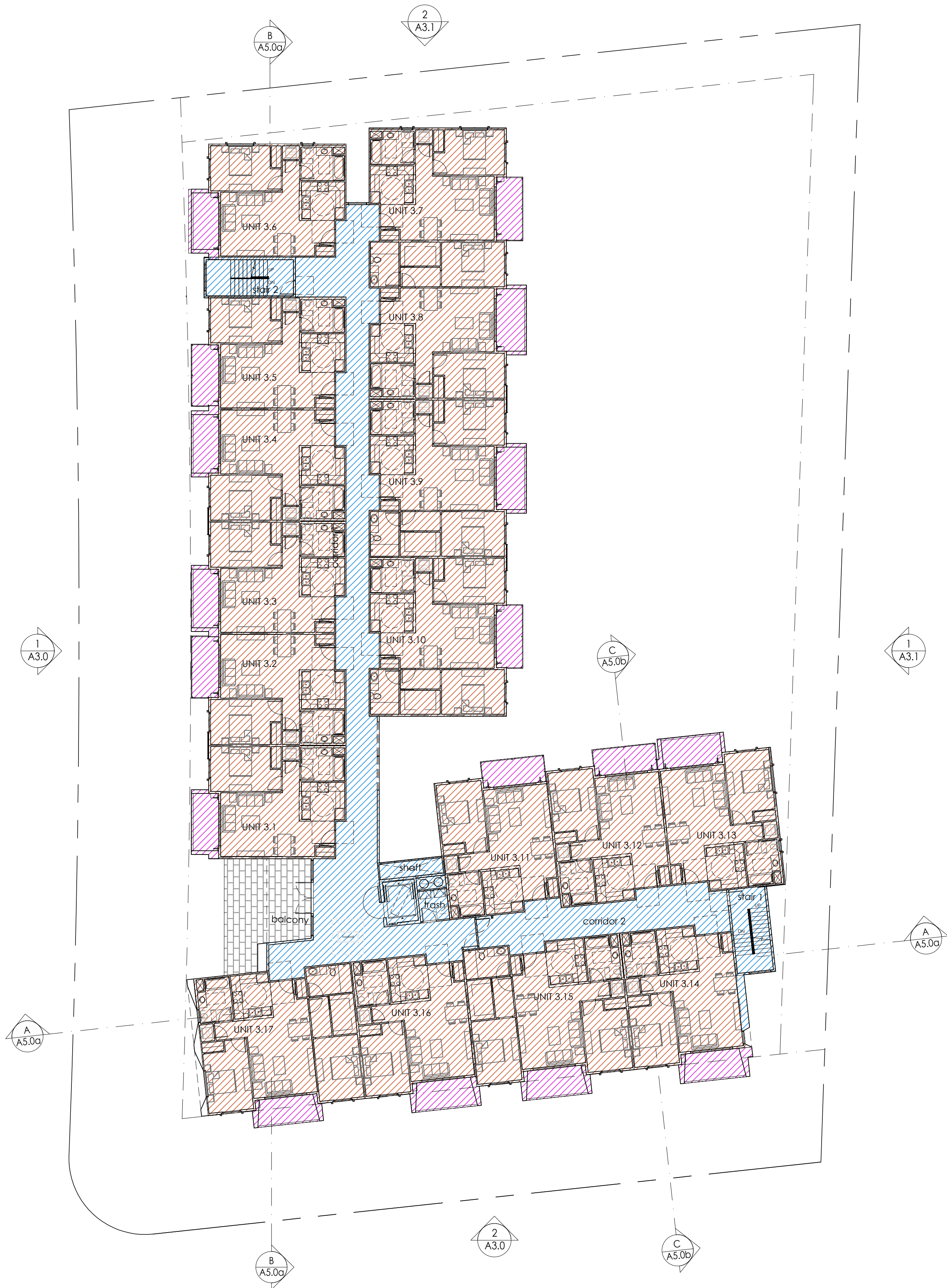
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2ND FLOOR PLAN





FLOOR PLAN KEYNOTES

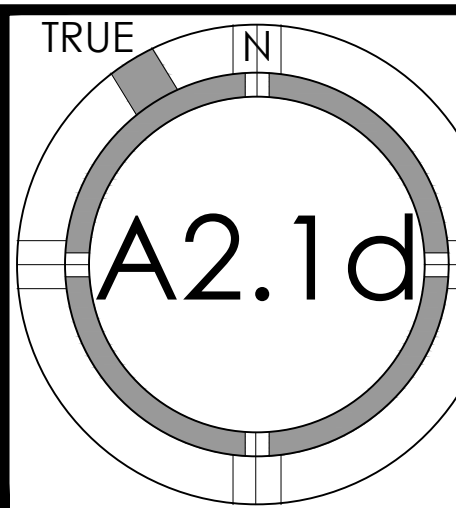
- (N) WALL: EXTERIOR: 2x6 STUDS @ 16" O.C.; INTERIOR 2x4 STUDS @ 16" O.C.-SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
- (N) WALL W/ 2 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING
- (N) GAS COCK--REFER TO MANUF. SPECS FOR ELECTRICAL AND GAS REQUIREMENTS. PLUMBER TO VERIFY GAS PIPE DIAMETER NEEDED FOR APPLIANCE FROM GAS METER LOCATION
- FLOOR ELEVATION CHANGE--SEE CIVIL PLANS FOR MORE INFO

R# - RETAIL U# = UNITS C# = COMMON B# = BALCONY

FLOOR PLAN KEYNOTES

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3RD FLOOR PLAN

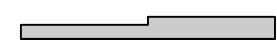
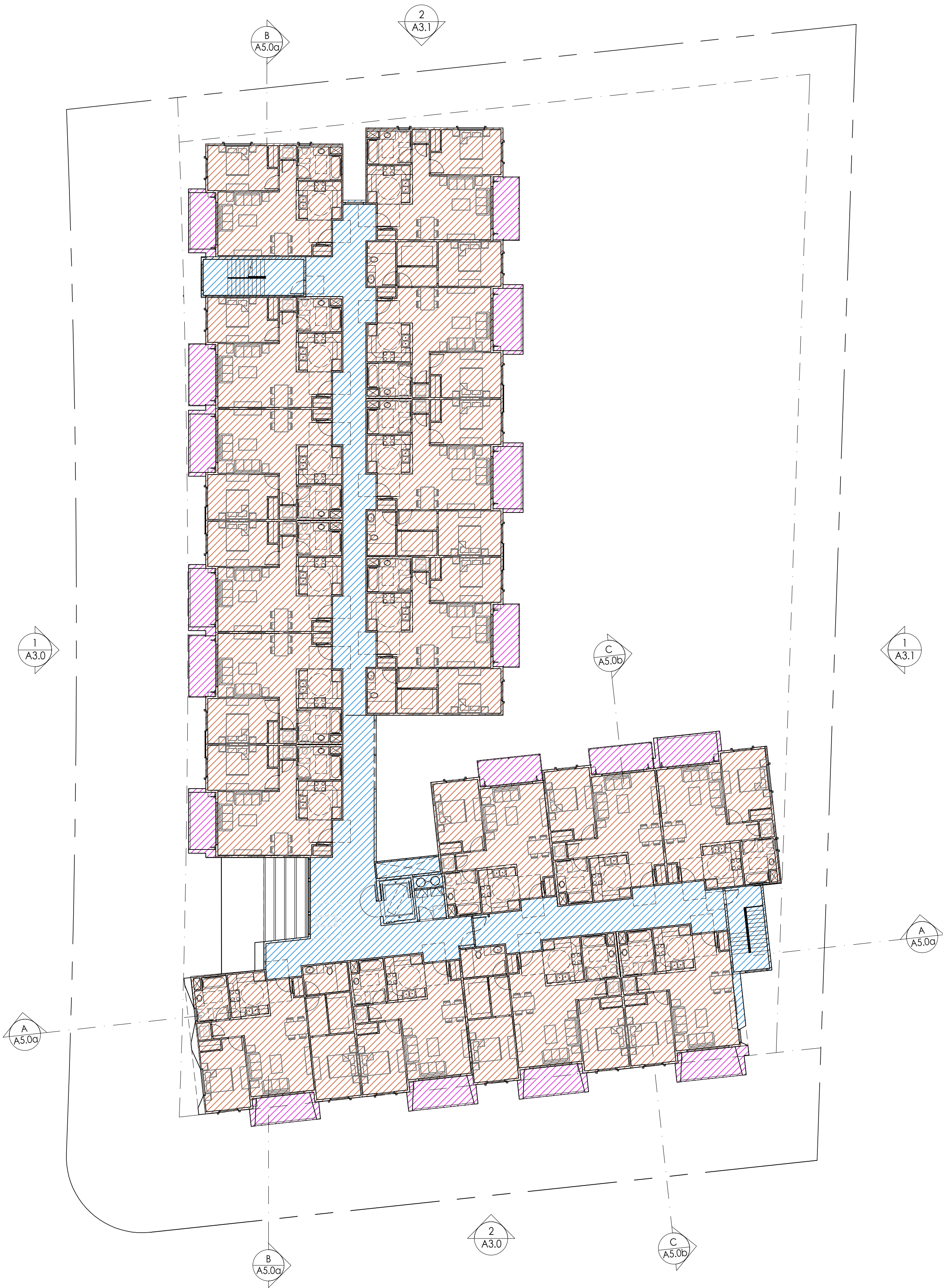


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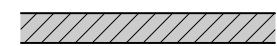
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(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD



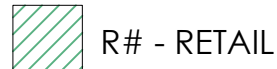
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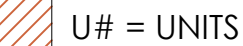
(N) GAS COCK--REFER TO MANUF. SPECS FOR ELECTRICAL AND GAS REQUIREMENTS. PLUMBER TO VERIFY GAS PIPE DIAMETER NEEDED FOR APPLIANCE FROM GAS METER LOCATION



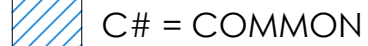
FLOOR ELEVATION CHANGE--SEE CIVIL PLANS FOR MORE INFO



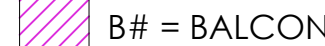
R# - RETAIL



U# = UNITS



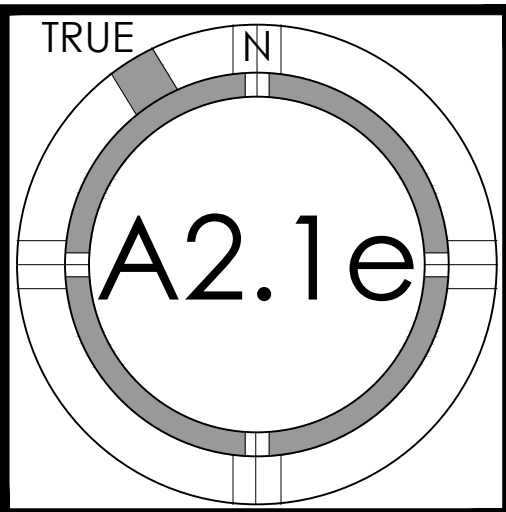
C# = COMMON



B# = BALCONY

FLOOR PLAN KEYNOTES

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4TH FLOOR PLAN

PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
18019	06.26.2018	ARB FOR PREL REVIEW	JA
	09.26.2018	ARB FOR PREL REVIEW	JA
	02.15.2019	ARB PACKAGE	IV/IG
	04.30.2019	ARB RESUBMITTAL PACKAGE	IG



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FRONT ELEVATION -- SAN ANTONIO ROAD -- WEST ELEVATION 1/8" 1



RIGHT SIDE ELEVATION -- LEGHORN STREET -- SOUTH ELEVATION 1/8" 2



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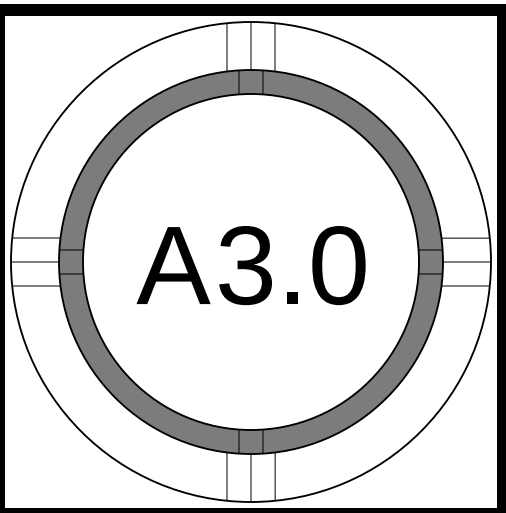
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PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
		06.20.2018	ARB FOR PREL REVIEW	JA
		09.25.2018	ARB FOR PREL REVIEW	JA
		01.23.2019	ARB	IV/IG

EXTERIOR
ELEVATIONS





REAR ELEVATION -- EAST ELEVATION 1/8" 1



LEFT SIDE ELEVATION -- NORTH ELEVATION 1/8" 2



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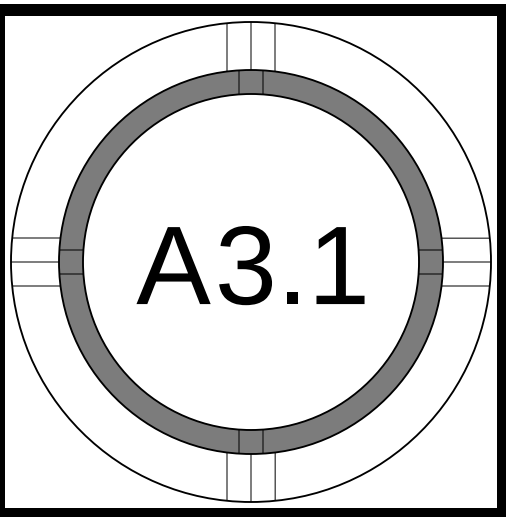
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PROJECT NO.		DATE	DESCRIPTION	DRAWN BY
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		09.25.2018	ARB FOR PREL REVIEW	JA
		01.29.2019	ARB	IV, IG

EXTERIOR
ELEVATIONS





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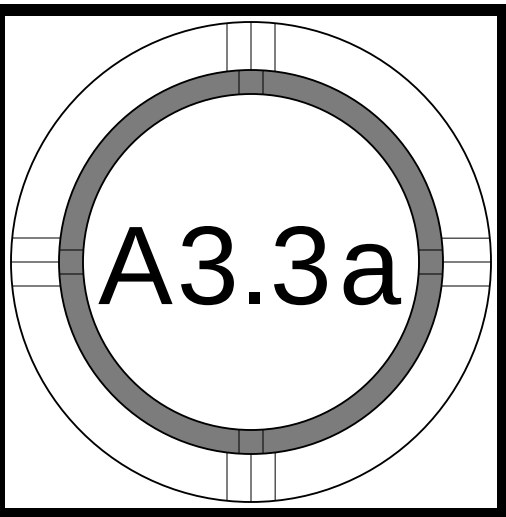
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		09.25.2018	ARB FOR PREL REVIEW	JA
		01.29.2019	ARB	IV, IG

EXTERIOR
PERSPECTIVES





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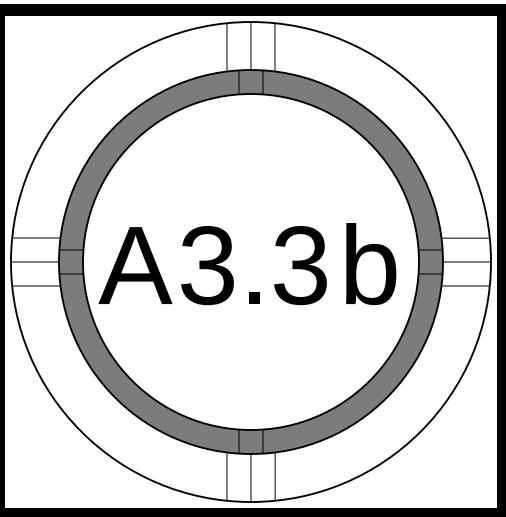
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		01.22.2019	ARB	IV/G

EXTERIOR
PERSPECTIVES





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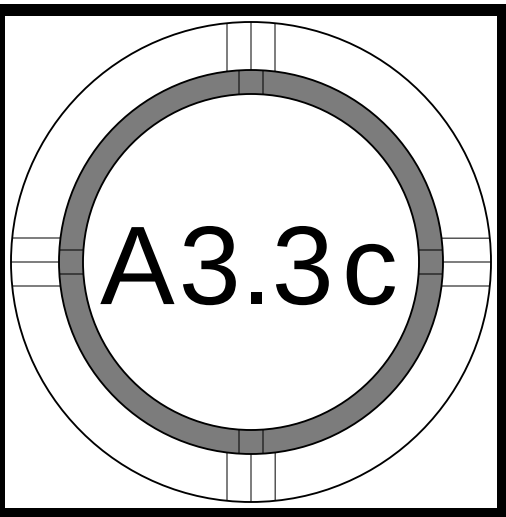
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PROJECT NO.		DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION	REVISION
18019		06.20.2018	ARB FOR PREL REVIEW	1A	09.25.2018	ARB FOR PREL REVIEW	1A	01.20.2019	ARB	IV, IG

EXTERIOR
PERSPECTIVES



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ARB Package

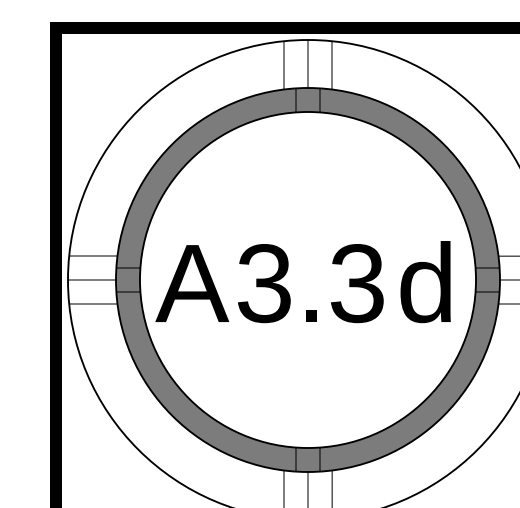
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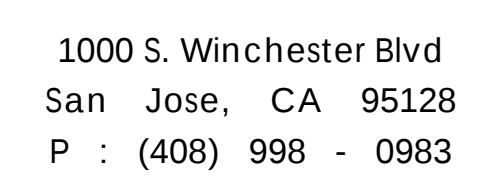
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EXTERIOR PERSPECTIVES

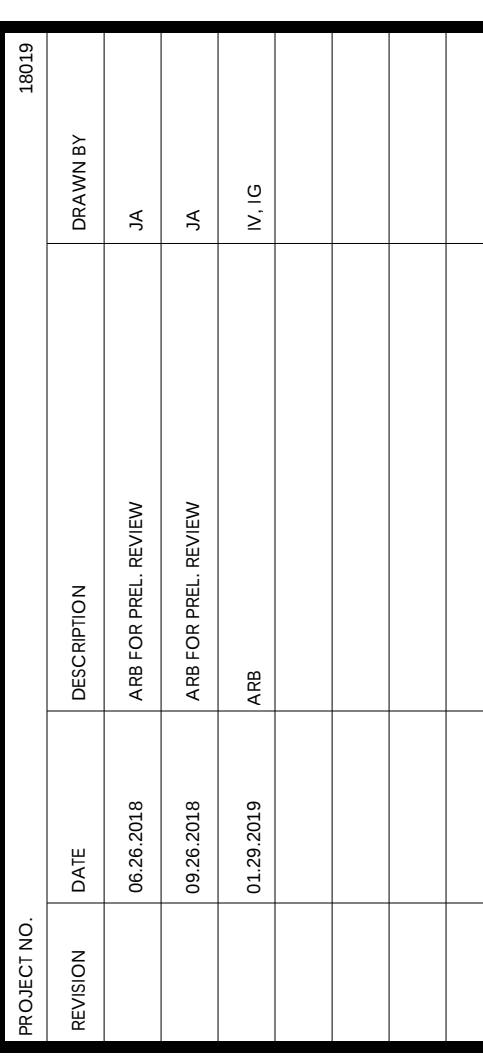


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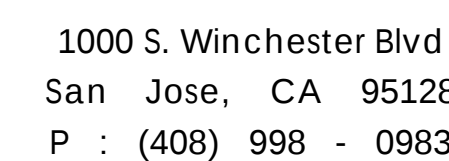


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EXTERIOR PERSPECTIVES





7888 San Antonio Housing
ARB Package

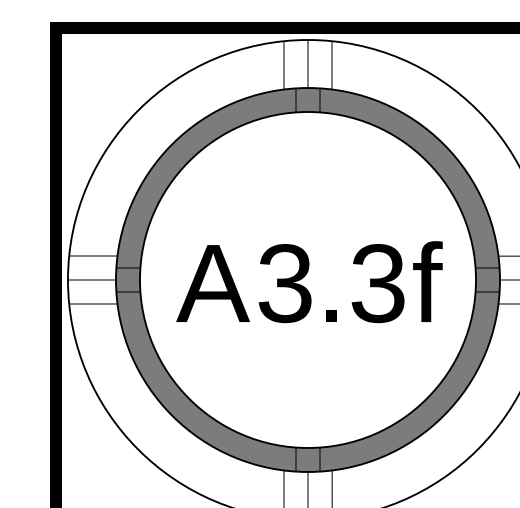
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PROJECT NO.	DATE	DESCRIPTION	DRAWN BY	15013
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	09.26.2018	ARB FOR PREL REVIEW	JA	
	01.29.2019	ARB	IV/G	

EXTERIOR PERSPECTIVES



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