



PROJECT DESCRIPTION

The proposed project is located on San Antonio Road between Middlefield Road and E. Charleston Road. The combined lots of 800 and 808 San Antonio are 0.88 acres, on which are sited a 76-unit market-rate residential building with 21% below-market-rate units.

The proposed building is 5 floors with 4 levels of Type V-A Construction over one (1) above-grade and two (2) below-grade parking levels of Type I-A construction. The project also includes an interior courtyard, patios, and balconies.

Active amenity spaces such as a Community Space and Gym are provided for the residents at the Ground Level facing the street. Additionally, the double height main lobby faces with street with a glass wall to visually connect the public realm with the landscaped interior courtyard and its distinct features, including a potential art wall, green walls, and water feature.

PROPOSED UNIT MIX:		BELOW MARKET RATE UNIT MIX:
1 BEDROOM	8	[VLI] VERY LOW INCOME: (3) 1BR, (4) 2BR
2 BEDROOM	52	[LI] LOW INCOME: (5) 2BR
3 BEDROOM	16	[M] MEDIUM INCOME: (2) 2BR, (2) 3BR
TOTAL	76 UNITS	TOTAL: 16 BMR UNITS

UNIT COUNT

UNIT COUNT	
Unit type	Count
1 BR	8
2 BR	5
3 BR	1
RES. LEVEL 1	14
2 BR	11
3 BR	4
RES LEVEL 2	15
2 BR	13
3 BR	3
RES LEVEL 3	16
2 BR	13
3 BR	3
RES LEVEL 4	16
2 BR	10
3 BR	5
RES LEVEL 5	15
Grand total: 76	76



CODE SUMMARY

APPLICABLE CODES:	
2022 CALIFORNIA BUILDING CODE	2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA MECHANICAL CODE	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL Green)
2022 CALIFORNIA PLUMBING CODE	PALO ALTO MUNICIPAL CODE
2022 CALIFORNIA ELECTRICAL CODE	
2022 CALIFORNIA ENERGY CODE	

FIRE PROTECTION:
SPRINKLERED PER NFPA 13 FIRE SPRINKLER SYSTEM W/ NFPA 14 STANDPIPE SYSTEM, NFPA 20 FIRE PUMP ROOM W/ FIRE SVC BACK FLOW PREVENTER, NFPA 24 UNDERGROUND FIRE SERVICE, NFPA 72 FIRE ALARM SYSTEM, TWO-WAY COMMUNICATION SYSTEM AND AN EMERGENCY RESPONDER RADIO COMMUNICATION SYSTEM.

- GENERAL NOTES:**
- Building shall be all electric per PAMC 16.14.
 - Exit signs shall be internally/externally illuminated by external source w/intensity more than 5 foot candles (54 lux) at all times. Signs shall be listed, labeled and installed per manufacturer specifications and 2022 CBC Section 2702. Emergency power system to provide more than 90 minutes of illumination per 2022 CBC Sections 1013.5-1013.6.
 - Emergency lighting to provide average of 1 foot candle and min of 0.1 foot candle at any point measured along egress floor level. Maximum to minimum Illumination Uniformity Ratio of 40 to 1 not be exceeded per 2022 CBC Section 1008.3.
 - Means of egress including exit discharge shall be illuminated at all times the building space served by the means of egress is occupied. The means of egress illumination level shall not be less than 1 foot candle at the walking surface per 2022 CBC 1008.1
 - Emergency power system shall provide power duration not less than 90min; consist of storage batteries, unit equipment or on-site generator installed per 2022 CBC 2702 section 1008.3.
 - In the event of a power supply failure, emergency electrical system shall automatically illuminate the following, per 2022 CBC Section 1008.3:
 - Aisle and unenclosed egress stairways in room/space with 2 or more exits.
 - Corridors, exit enclosures, exit passageways, interior exit discharge permitted under CBC Section 1028.1
 - Exterior egress at other than their level of discharge and exterior landing required per CBC Section 1010.1.6 in buildings with 2 or more exits
 - All egress door operation to comply with CBC Section 1010.1.9
 - All egress doors shall be openable without key or special knowledge or effort and compliant door hardware per CBC Section 1010.1.9 installed at 34" to 48" A.F.F.
 - Provide operable window min 5.7 sf per CBC Section 1031.3. Emergency escape/rescue openings are not required per CBC Section 1031.2 Exception 2
 - Egress elevators shall comply with 2022 CBC 1009, 3001.5 and 11B-407
 - Condensate from HVAC Condensate lines shall not be connected or allowed to drain to the storm drain system per PAMC 16.09.180(b)(5)
 - Discharge of groundwater shall conform with PAMC 16.09.170/13.09.040 and all applicable codes at time of Construction Permit issuance
 - Project shall comply with CBC 2022 and all other applicable codes. Details shall be provided in Permit Sets

PROJECT DIRECTORY

OWNER:	TS 800 SA, LLC 12230 SARATOGA SUNNYVALE RD. SARATOGA, CA 95070 ATTN: YORKE LEE YORKELEE@TIMESPACEGROUP.COM (408) 781-7866	CIVIL ENGINEER:	HMH 1570 OAKLAND RD. SAN JOSE, CA 95131 ATTN: BRIAN GLICK BGCLICK@HMHCA.COM (408) 487-2200
ARCHITECT:	LOWNEY ARCHITECTURE 360 17TH STREET, SUITE 100 OAKLAND, CA 94612 ATTN: JORDAN ROSE JORDAN@LOWNEYARCH.COM (510) 836-5400	LANDSCAPE ARCHITECT:	HMH 1570 OAKLAND RD. SAN JOSE, CA 95131 ATTN: BRIAN GLICK BGCLICK@HMHCA.COM (408) 487-2200

SHEET LIST

GENERAL

A 0.0	SAN ANTONIO ROAD HOUSING
A 0.1	PROJECT INFORMATION
A 0.2	PROJECT INFORMATION
A 0.3	SHEET LIST
A 0.4	STREETSCAPE ELEVATION
A 0.5	CONTEXTUAL PLANS + PHOTOS
A 0.6	UNIT MIX
A 0.7	UNIT MIX
A 0.8	UNIT MIX
A 0.9	FAR FLOOR DIAGRAM
A 0.10	FAR FLOOR DIAGRAM
A 0.11	FAR FLOOR DIAGRAM
A 0.12	PALO ALTO GREEN BUILDING
A 0.14	PALO ALTO GREEN BUILDING

14

PLANNING

A 1.0	EXISTING SITE PLAN
A 1.1	PROPOSED SITE PLAN
A 2.0A	BASEMENT LEVEL 2
A 2.0B	BASEMENT LEVEL 1
A 2.1	GROUND FLOOR PLAN
A 2.2	LEVEL 2 FLOOR PLAN
A 2.3	LEVEL 3 FLOOR PLAN
A 2.4	LEVEL 4 FLOOR PLAN
A 2.5	LEVEL 5 FLOOR PLAN
A 2.6	ROOF PLAN
A 3.0	BUILDING ELEVATIONS
A 3.1	BUILDING ELEVATIONS
A 4.0	BUILDING SECTION
A 4.1	BUILDING SECTION
A 6.0	SITE LIGHTING

15

SHEET LIST

CIVIL

C- 1	EXISTING CONDITIONS
C- 2	GRADING AND DRAINAGE PLAN
C- 3	CROSS SECTION
C- 4	UTILITY PLAN
C- 5	STORMWATER CONTROL PLAN
C- 6	STORMWATER CONTROL DETAILS

6

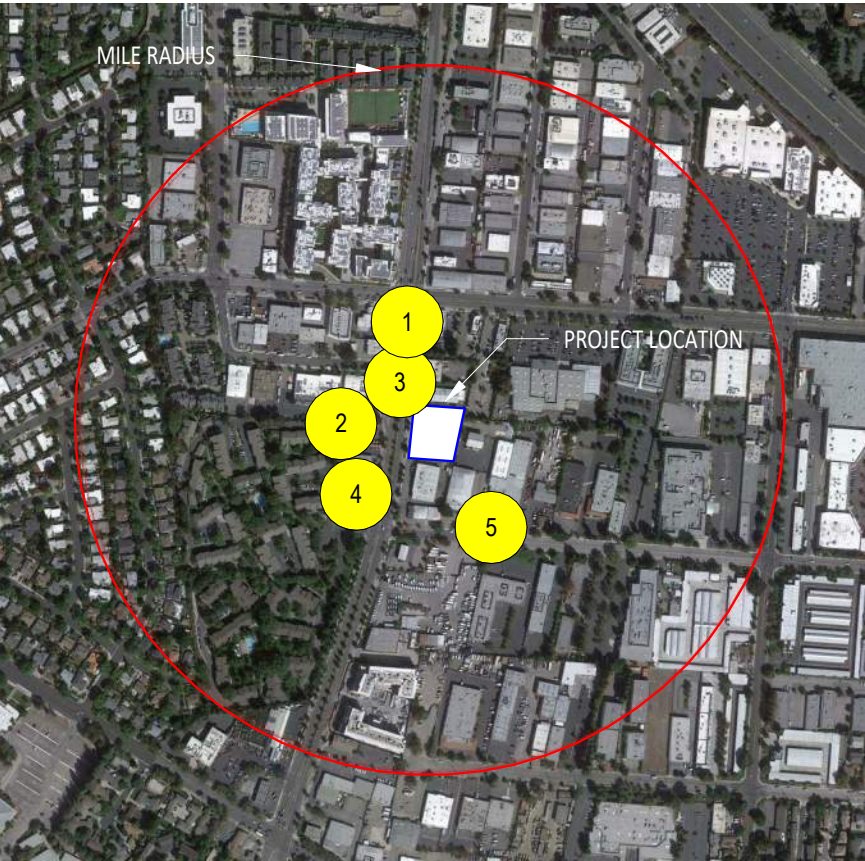
LANDSCAPE

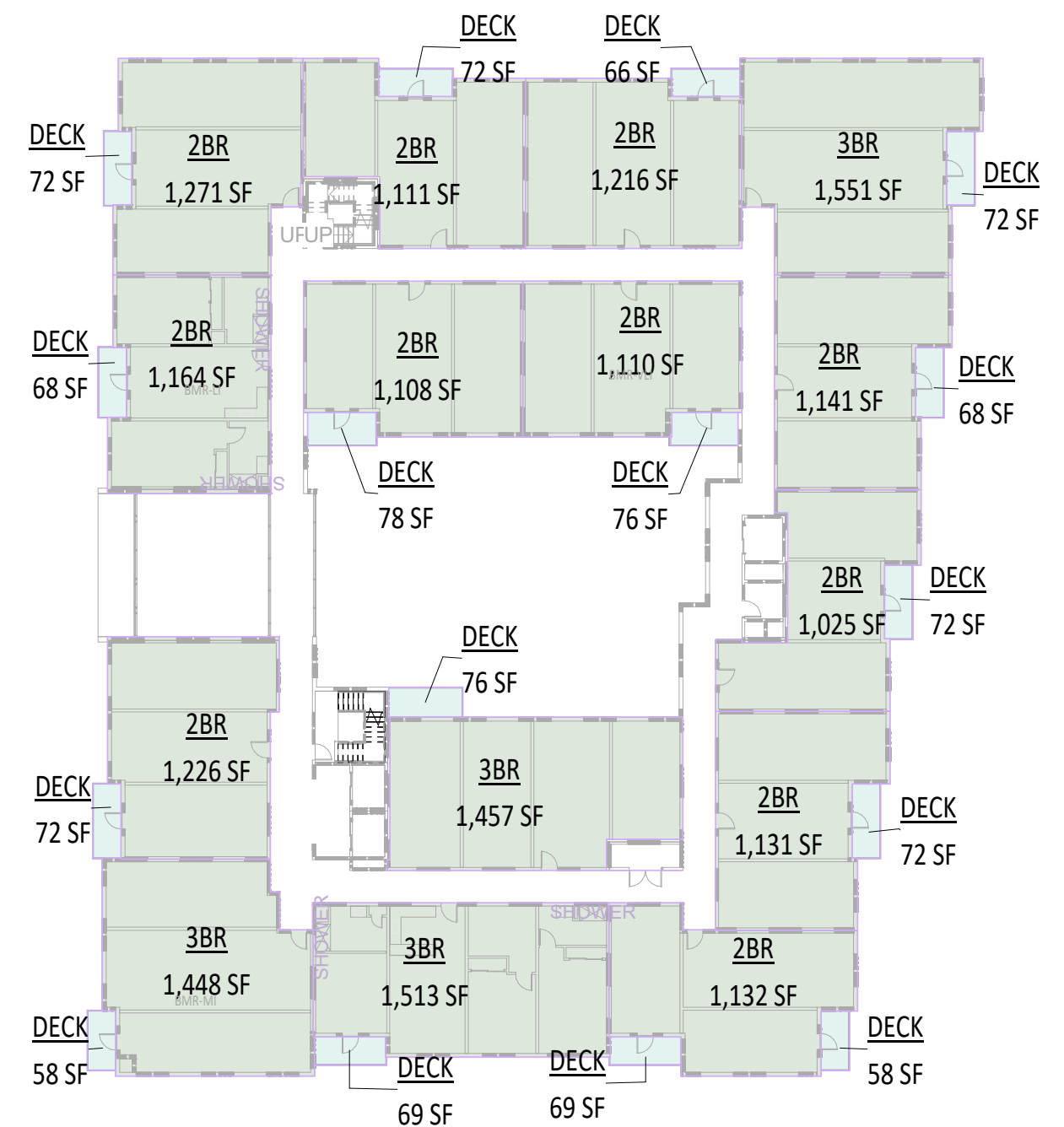
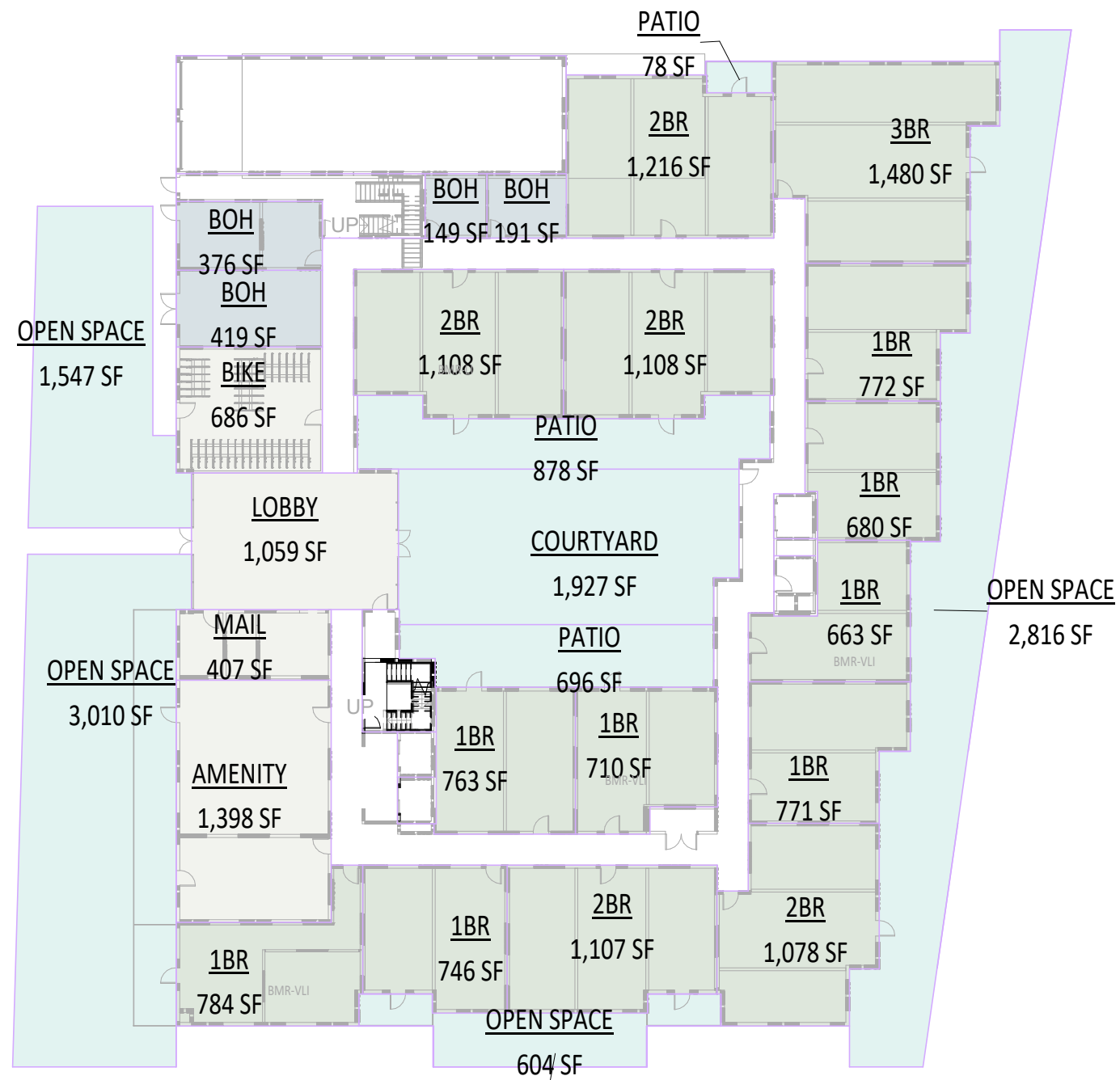
L- 1	LANDSCAPE PLAN
L- 2	CONSTRUCTION DETAILS, NOTES AND MATERIALS
L- 7	PLANTING PLAN
L- 8	PLANTING PALETTE, PLANTING NOTES AND DETAILS
T- 2	TREE REMOVAL & PROTECTION PLAN
T- 4	ARBORIST ASSESSMENT AND REPORT

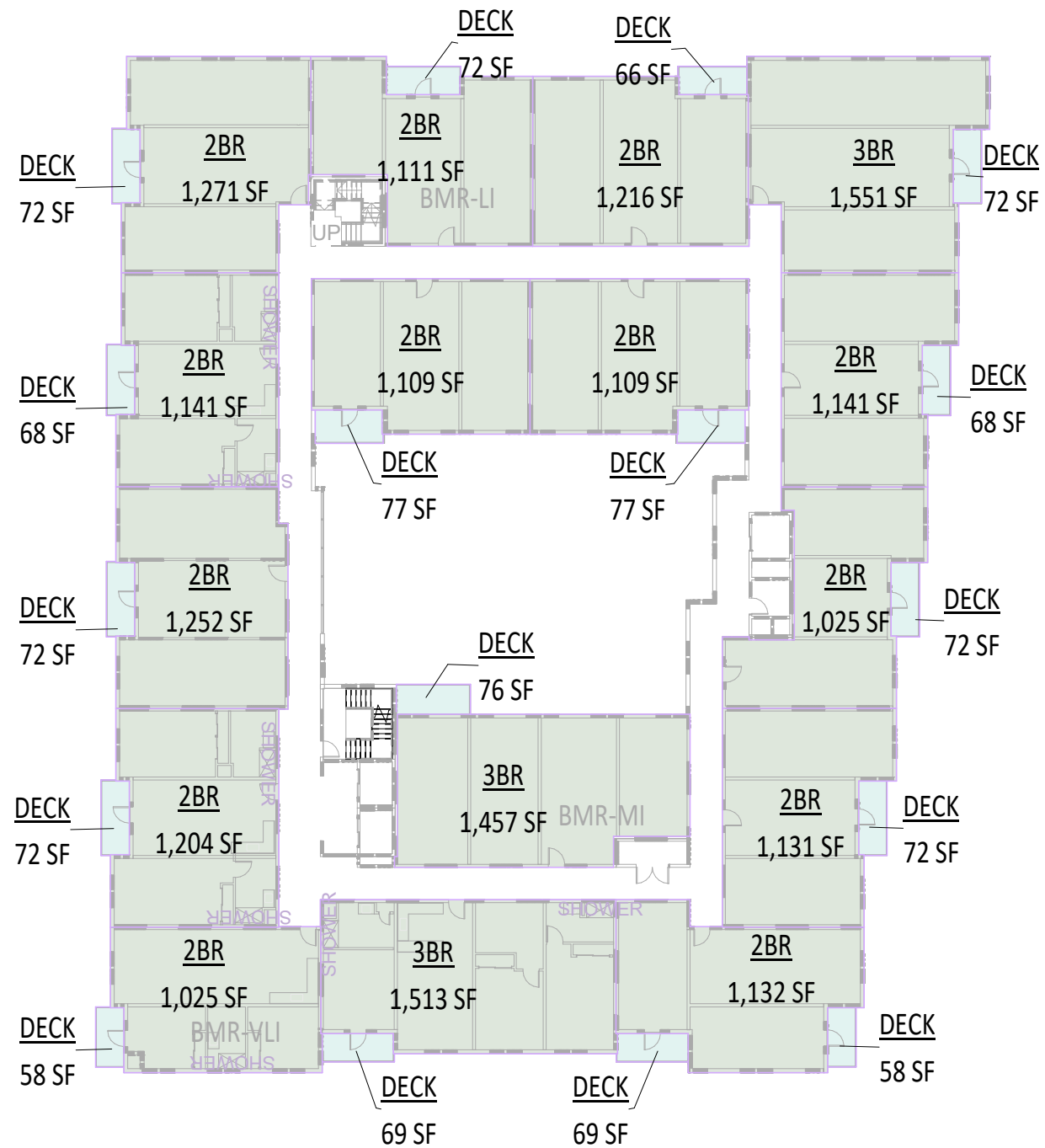
6

SHEET TOTAL: 41

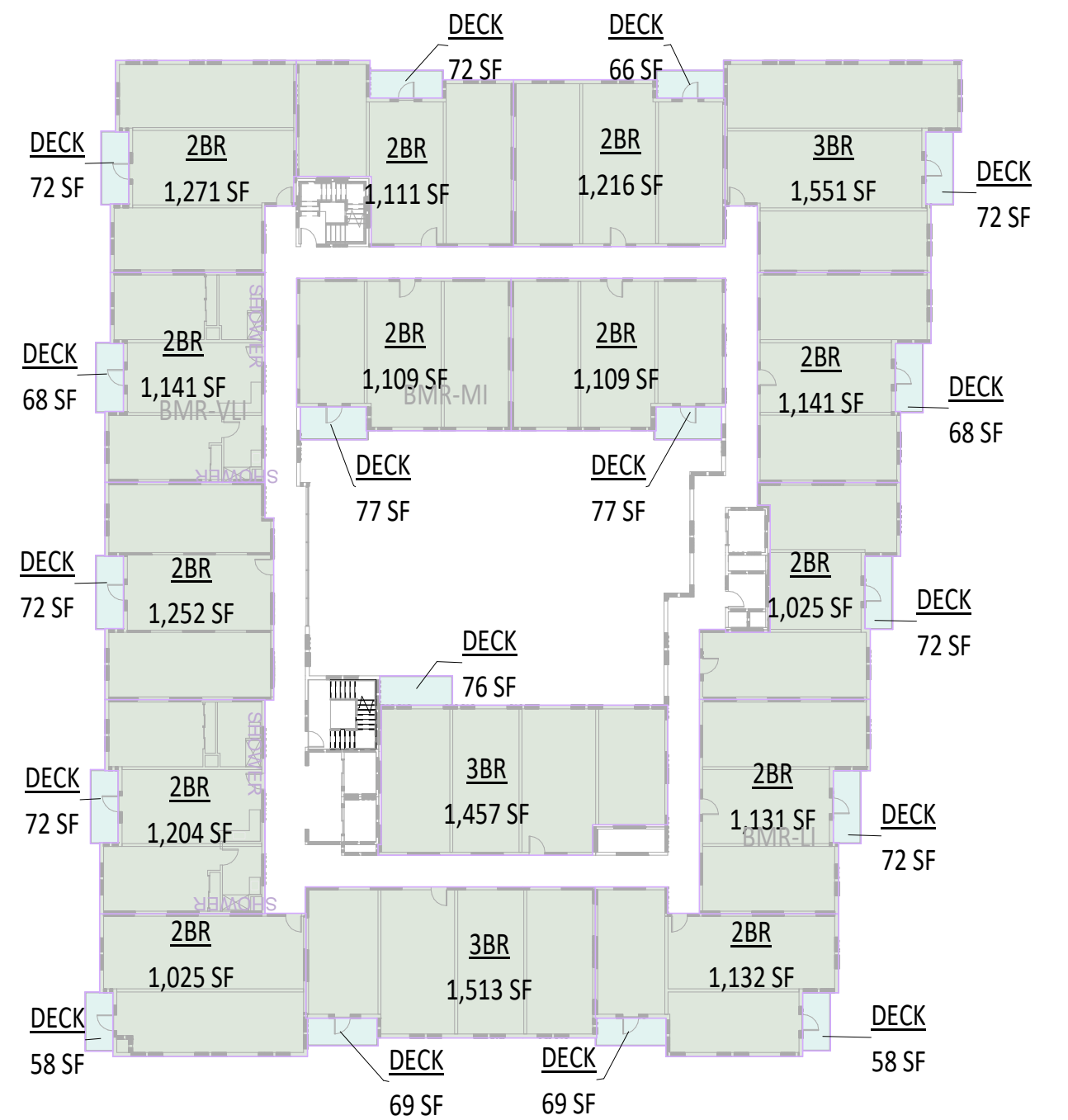




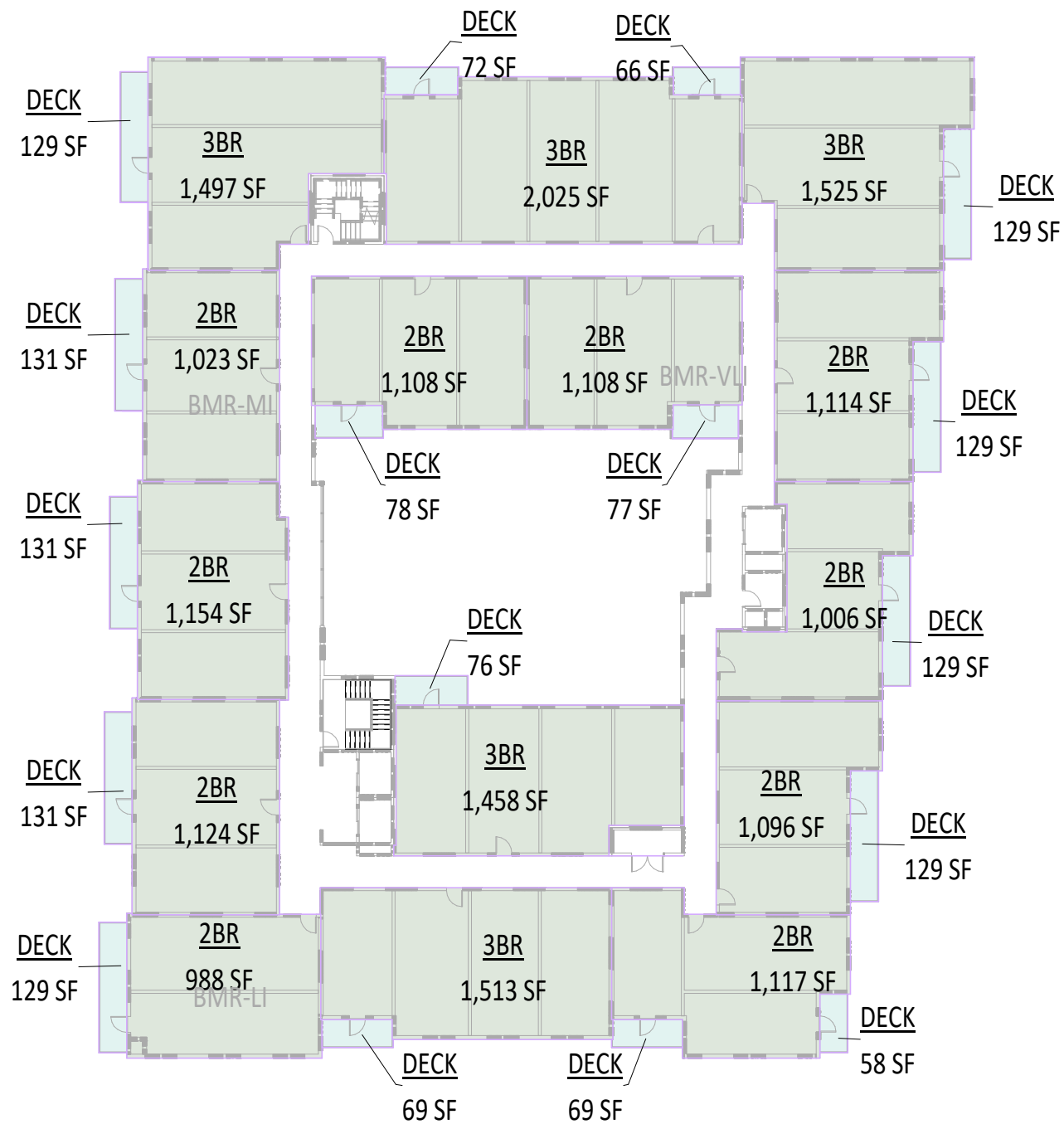




LEVEL 3



LEVEL 4

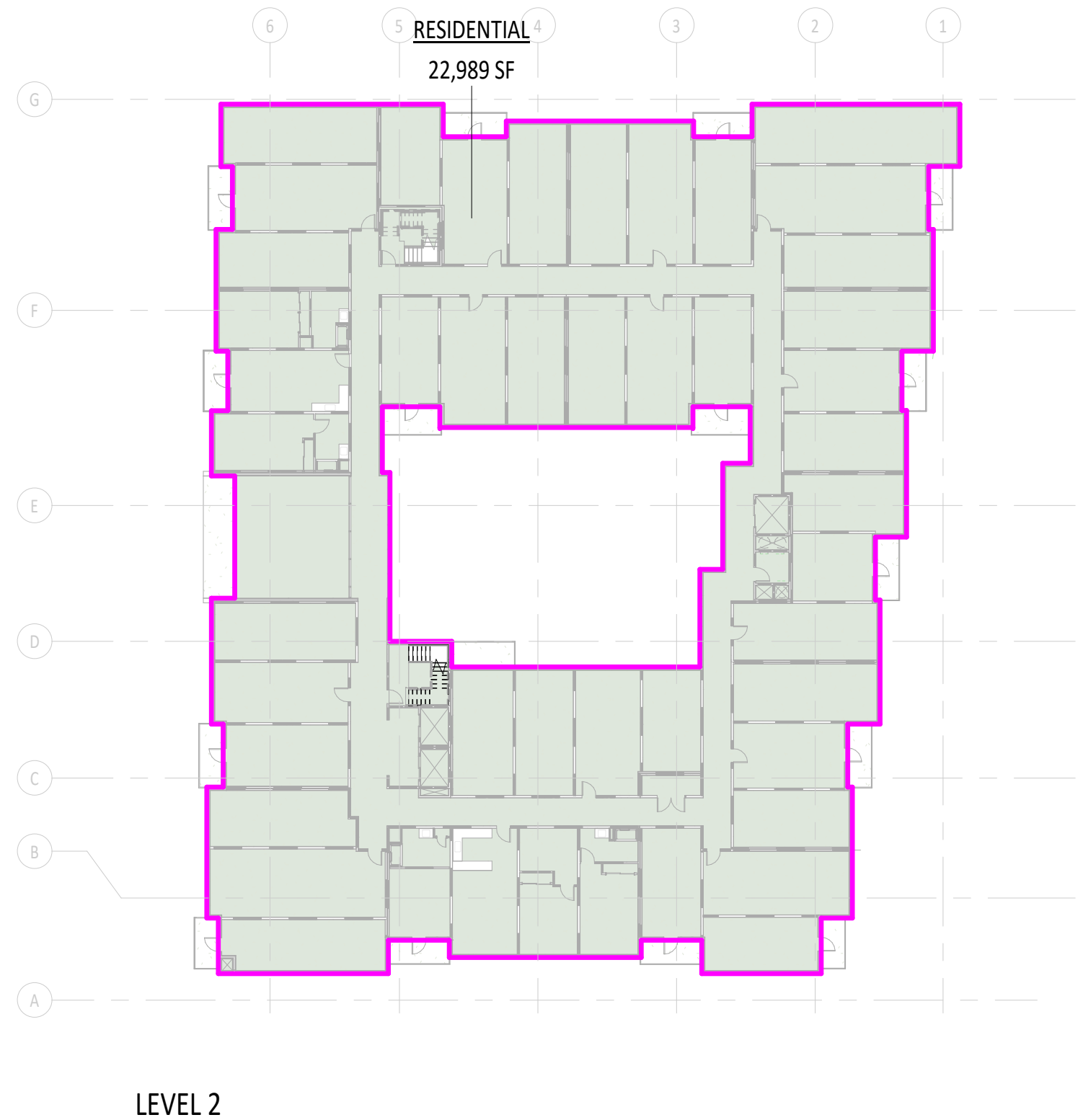
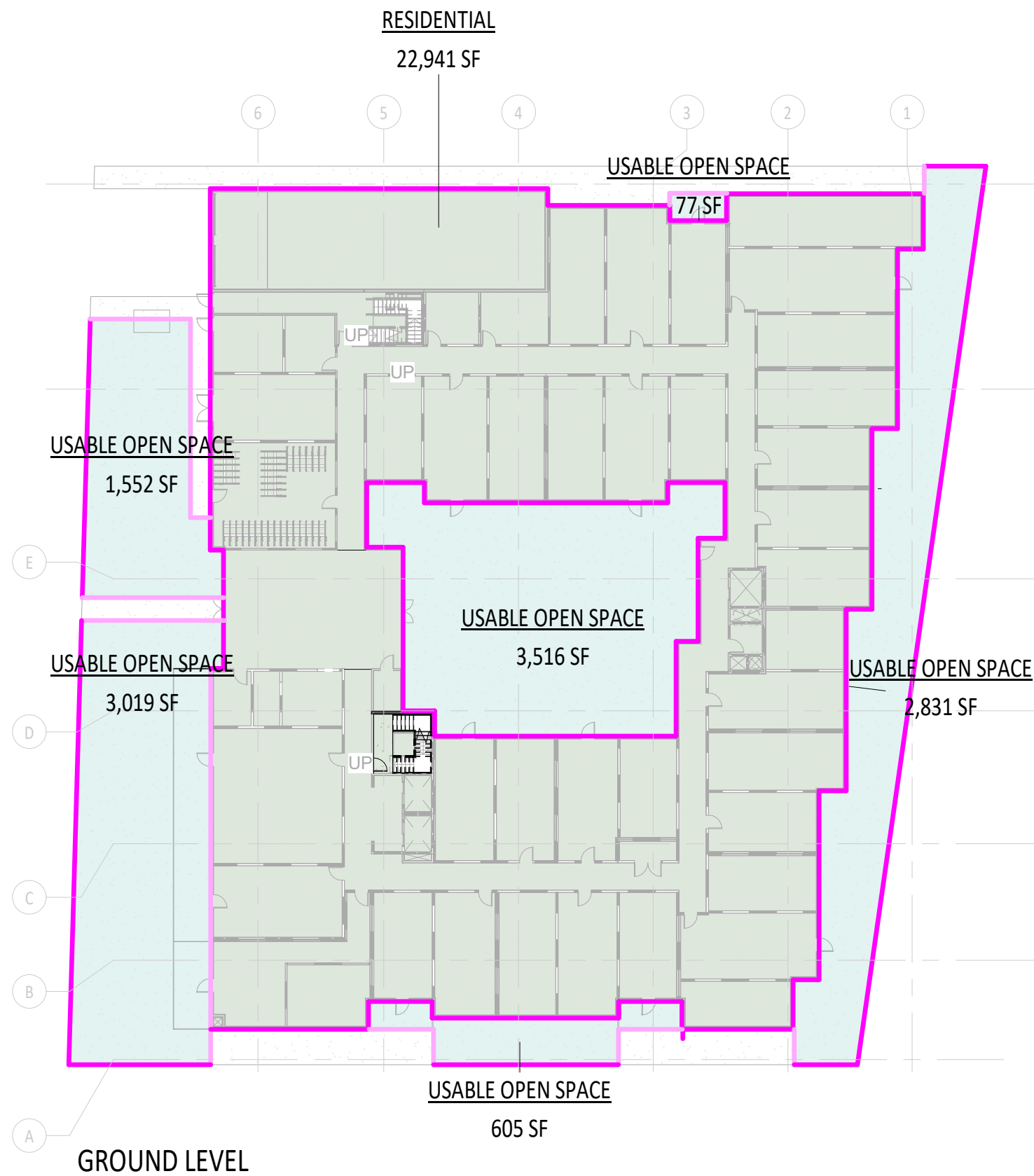


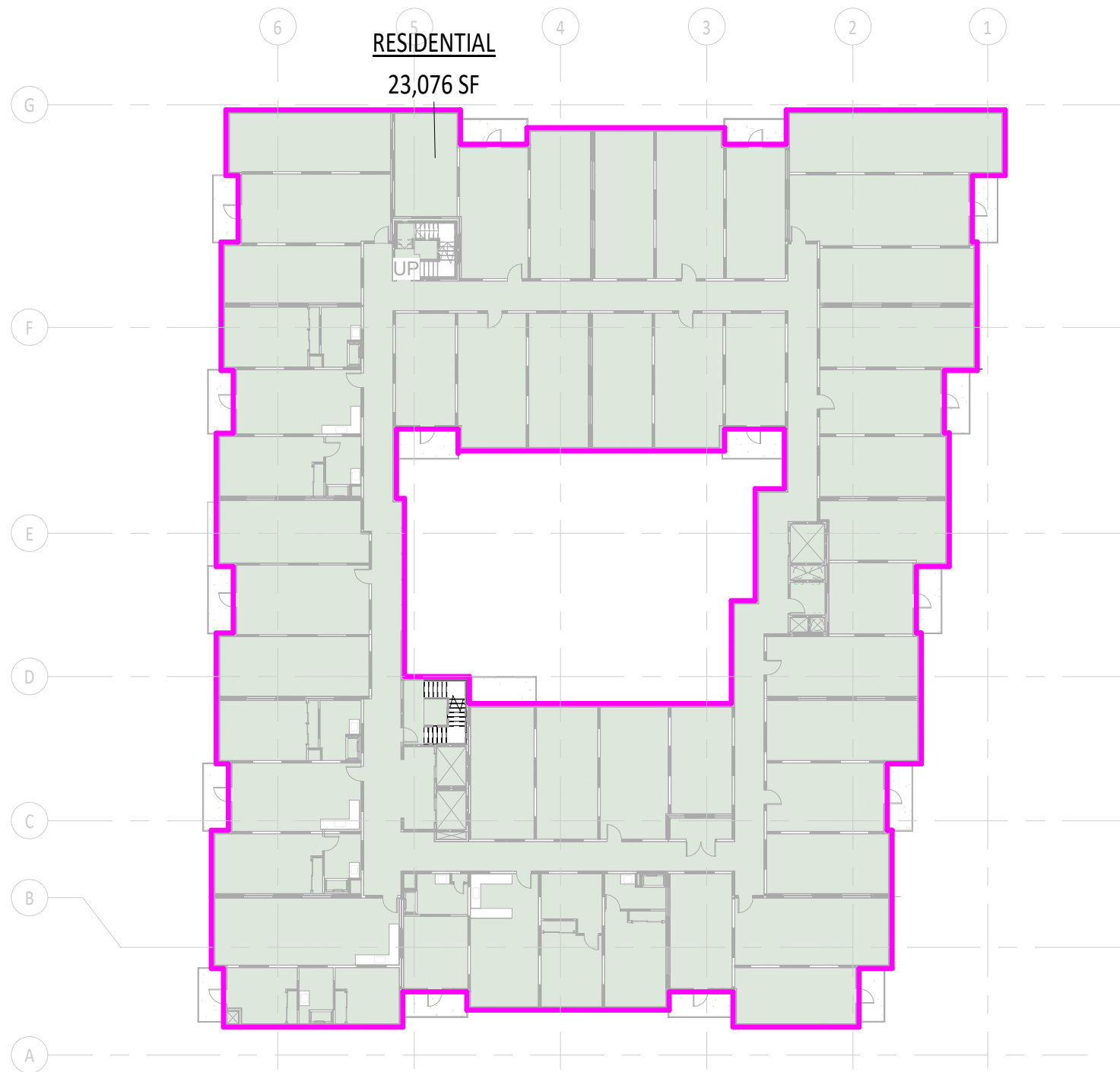
LEVEL 5



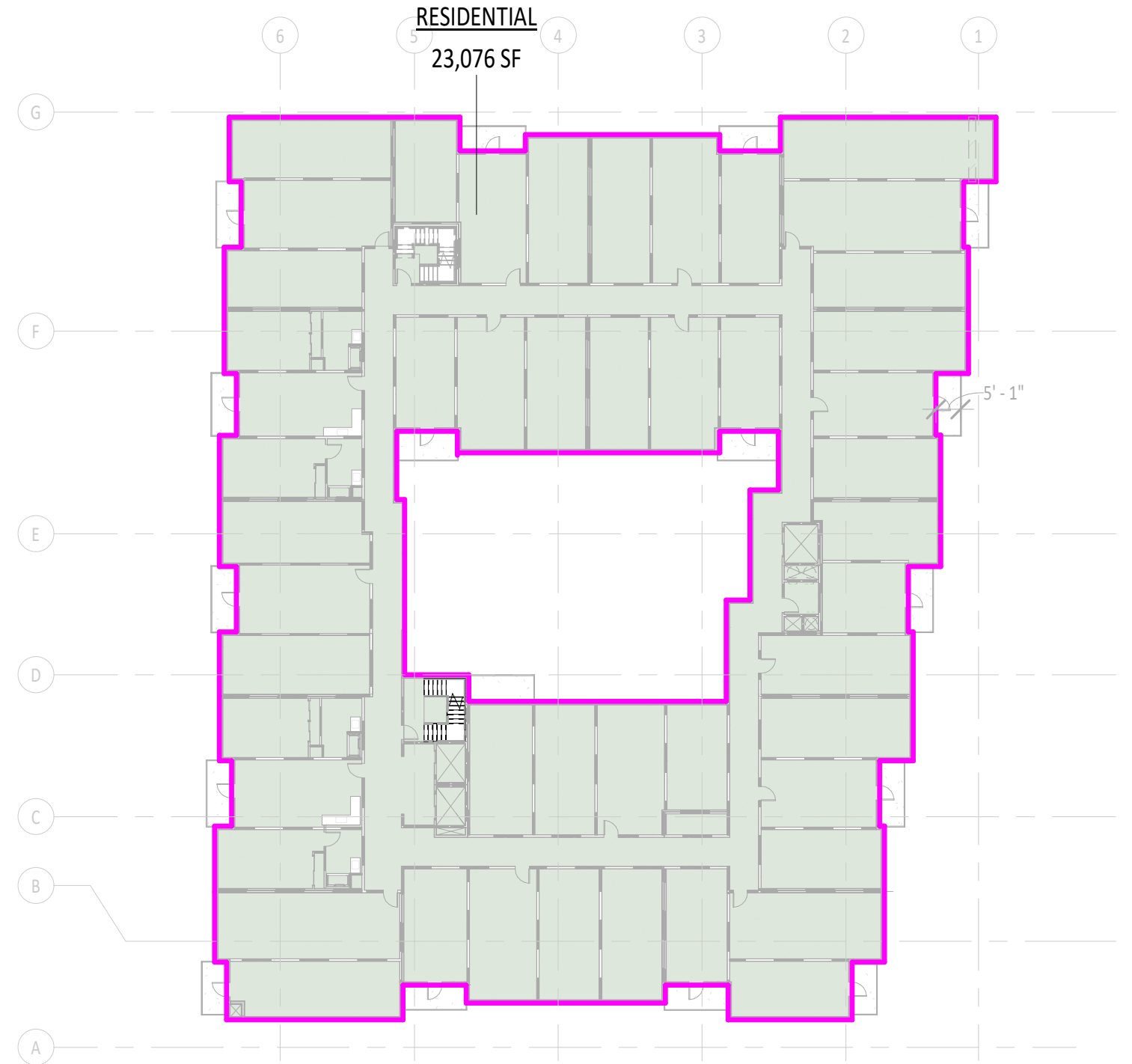
BELOW MARKET RATE AVERAGE UNIT SF :	MARKET RATE AVERAGE UNIT SF :
1 BEDROOM: 755 SF (784: 710: 771)	1 BEDROOM: 725 SF
2 BEDROOM: 1,093 SF (1,108: 1,110: 1,164: 1,025: 1,111: 1,131: 1,109: 1,141: 1,023: 988: 1,108)	2 BEDROOM: 1,142 SF
3 BEDROOM: 1,453 SF (1,448: 1,457)	3 BEDROOM: 1,543 SF

UNIT AREAS		UNIT AREAS		UNIT AREAS	
Unit type	Area	Unit type	Area	Unit type	Area
RES. LEVEL 1		RES LEVEL 3		RES LEVEL 5	
1BR		2BR		2BR	
1BR	772 SF	2BR	1,271 SF	2BR	1,114 SF
1BR	680 SF	2BR	1,141 SF	2BR	1,096 SF
1BR	663 SF	2BR	1,252 SF	2BR	1,117 SF
1BR	771 SF	2BR	1,204 SF	2BR	1,124 SF
1BR	746 SF	2BR	1,025 SF	2BR	1,154 SF
1BR	763 SF	2BR	1,132 SF	2BR	1,023 SF
1BR	710 SF	2BR	1,131 SF	2BR	1,108 SF
1BR	784 SF	2BR	1,025 SF	2BR	1,108 SF
2BR		2BR	1,141 SF	2BR	988 SF
2BR	1,216 SF	2BR	1,216 SF	2BR	1,006 SF
2BR	1,078 SF	2BR	1,111 SF	3BR	
2BR	1,107 SF	2BR	1,109 SF		1,497 SF
2BR	1,108 SF	2BR	1,109 SF		2,025 SF
2BR	1,108 SF	3BR			1,525 SF
3BR			1,513 SF		1,513 SF
3BR	1,480 SF		1,457 SF	3BR	1,458 SF
14	12,985 SF	3BR	1,551 SF	15	18,856 SF
RES LEVEL 2		16		TOTAL: 76	
2BR		RES LEVEL 4		89,228 SF	
2BR	1,271 SF	2BR		1BR: 8	
2BR	1,164 SF	2BR	1,141 SF	2BR: 52	
2BR	1,226 SF	2BR	1,252 SF	3BR: 16	
2BR	1,132 SF	2BR	1,204 SF	89,228 SF / 114,581 SF = 77.9% EFFICIENCY	
2BR	1,131 SF	2BR	1,025 SF		
2BR	1,025 SF	2BR	1,132 SF		
2BR	1,141 SF	2BR	1,131 SF		
2BR	1,216 SF	2BR	1,025 SF		
2BR	1,111 SF	2BR	1,141 SF		
2BR	1,108 SF	2BR	1,216 SF		
2BR	1,110 SF	2BR	1,111 SF		
3BR		2BR	1,109 SF		
3BR	1,448 SF	2BR	1,109 SF		
3BR	1,513 SF	3BR			
3BR	1,457 SF		1,513 SF		
3BR	1,551 SF		1,457 SF		
15	18,607 SF	3BR	1,551 SF		
		16	19,390 SF		

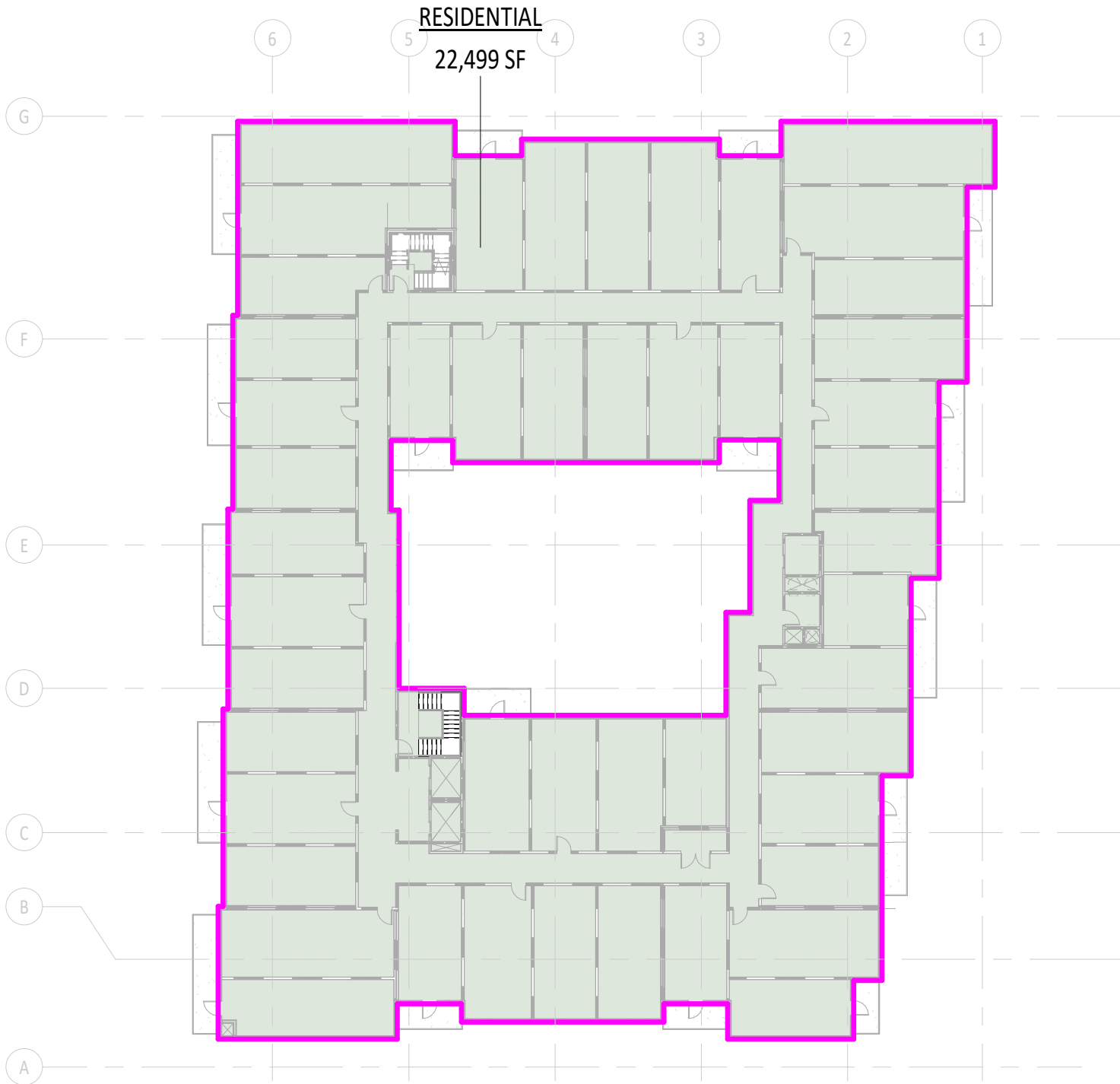




LEVEL 3



LEVEL 4



LEVEL 5

AREA - OPEN SPACE

DECK	58 SF *7 (406 SF)
DECK	66 SF *4 (264 SF)
DECK	68 SF *6 (408 SF)
DECK	69 SF *8 (552 SF)
DECK	72 SF *21 (1512 SF)
DECK	76 SF *5 (380 SF)
DECK	77 SF *5 (385 SF)
DECK/PATIO	78 SF *2 (234 SF)
DECK	129 SF *6 (774 SF)
DECK	131 SF *3 (393 SF)
OPEN SPACE	604 SF
PATIO	696 SF
PATIO	878 SF
OPEN SPACE	1,547 SF
COURTYARD	1,927 SF
OPEN SPACE	2,816 SF
OPEN SPACE	3,010 SF
Grand total: 75	16,864 SF

LEVEL	VLI			LI			MI			TOTAL
	1BR	2BR	3BR	1BR	2BR	3BR	1BR	2BR	3BR	
1	3				1					4
2					1				1	2
3		1			1				1	3
4		1			1			1		3
5		2			1			1		4
	3	4			5			2	2	16

BELOW MARKET RATE UNIT MIX:

[VLI] VERY LOW INCOME:

- (3) 1BR
- (4) 2BR

[LI] LOW INCOME:

- (5) 2BR

[M] MEDIUM INCOME:

- (2) 2BR
- (2) 3BR

TOTAL: 16

PROPOSED GROSS BUILDING AREA

RES. LEVEL 1	22,941 SF
RES LEVEL 2	22,989 SF
RES LEVEL 3	23,076 SF
RES LEVEL 4	23,076 SF
RES LEVEL 5	22,499 SF

Grand total 114,581 SF

TOTAL PROJECT UNIT COUNT:

1BR	8
2BR	52
3BR	16

TOTAL 76

FAR:

FAR: 114,581 SF / 38,194 = 2.99 FAR

MAX FAR: 2.99

AREA CALCULATIONS:

PROPOSED GROSS BUILDING AREA

AREA AS PROPOSED (TYPE III-A STRUCTURE): 89,228 SF

GROUND LEVEL 22,941 SF

ALLOWABLE AREA: 164,000 SF

LEVEL 1 22,941 SF

LEVEL 2 22,989 SF

LEVEL 3 23,076 SF

LEVEL 4 23,076 SF

LEVEL 5 22,499 SF

TOTAL 114,581 SF

BASED ON ONE SIDE > 25% OF PERIMETER, >30' TO CL OF R.O.W.

BASED ON TABLE 501.3.3Sa = 2 BASED ON EQUATION 5-2

HEIGHT AS PROPOSED: 55' ABOVE GRADE PLANE

ALLOWABLE HEIGHT: 65' FOR S (WITH AREA INCREASE) PER TABLE 504.3 NUMBER OF

STORIES AS PROPOSED: 4 TYPE III-A ABOVE TYPE I-A PODIUM

ALLOWABLE NUMBER OF STORIES: 4 FOR S (WITH AREA INCREASE) PER TABLE 504.4

Green Building for Multi-Family and Single-Family New Construction and Renovation
Compliance Verification



Instructions:Select the residential green building requirements applicable to the project and follow the compliance instructions listed in the right column. Please note this verification form is for reference only and does not need to be submitted with the Permit Application.

New Residential Construction Projects

Project Condition	Requirement	Compliance Schedule & Instructions
<input checked="" type="checkbox"/> New multi-family or new single-family construction projects of any size. ^{1,4} (CBC, Part 11.301.3, PAMC 16.14.080) ^{2, 3}	CALGreen Mandatory + Tier 2 with local amendments	<p>Planning Phase: Complete a preliminary Green Building Checklist "GB-1 Residential Mandatory Plus Tier 2" sheet and include in Planning Application. (Only Projects Subject to Planning)</p> <p>Permit Phase: Complete Green Building Checklist "GB-1 CALGreen Mandatory Plus Tier 2" sheet and include within Permit Plans. The design must be third-party verified by a Green Building Special Inspector. Complete Green Building Survey. Insert an image of the completed Green Building Survey on the "Notes" section of the "GB-1" sheet.</p> <p>Inspection Phase: Complete construction phase requirements as identified on the "GB-1 Res Mandatory Plus Tier 2" Sheet in the Permit Plans. Projects are subject to the Residential Green Building Inspection Guidelines. Construction activities must be third-party verified by a Green Building Special Inspector as identified in the Residential Green Building Inspection Guidelines.</p>
<input type="checkbox"/> New Detached Accessory Dwelling Unit (ADU) (PAMC 18.42.040, Section 301.1.2)	CALGreen Mandatory + Tier 2 prerequisite requirements with local amendments Detached Accessory Dwelling Units of new construction shall meet the following: 1. No Planning and Design electives. 2. Two (2) Water Efficiency and Conservation electives. 3. Two (2) Material Conservation and Resource Efficiency electives. 4. One (1) Environmental Quality elective.	<p>Planning Phase: Complete a preliminary Green Building Checklist "GB-1 Residential Mandatory" sheet and include in Planning Application. (Only Projects subject to Planning)</p> <p>Permit Phase: Complete Green Building Checklist for CALGreen Mandatory and include a "GB-1 Residential CALGreen Mandatory Plus Tier 2" Sheet in the Permit Plans. The design must be third-party verified by a Green Building Special Inspector. Complete Green Building Survey. Insert an image of the completed Green Building Survey on the "Notes" section of the "GB-1" sheet.</p> <p>Inspection Phase: Complete construction phase requirements as identified on the within "GB-1 Res Mandatory" Sheet in the Permit Plans. Projects are subject to the Residential Green Building Inspection Guidelines.</p>

¹ Square footage means all new and replacement square footage, including basement areas (7 feet or greater in height).
² In mixed use occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy per CGBC 302.1.
³ Green Building Special Inspectors must be selected from the Development Services preapproved list of Green Building Special Inspectors.
⁴For the purposes of green building, square footage includes conditioned, habitable space.

Green Building for Multi-Family and Single-Family New Construction and Renovation

Compliance Verification

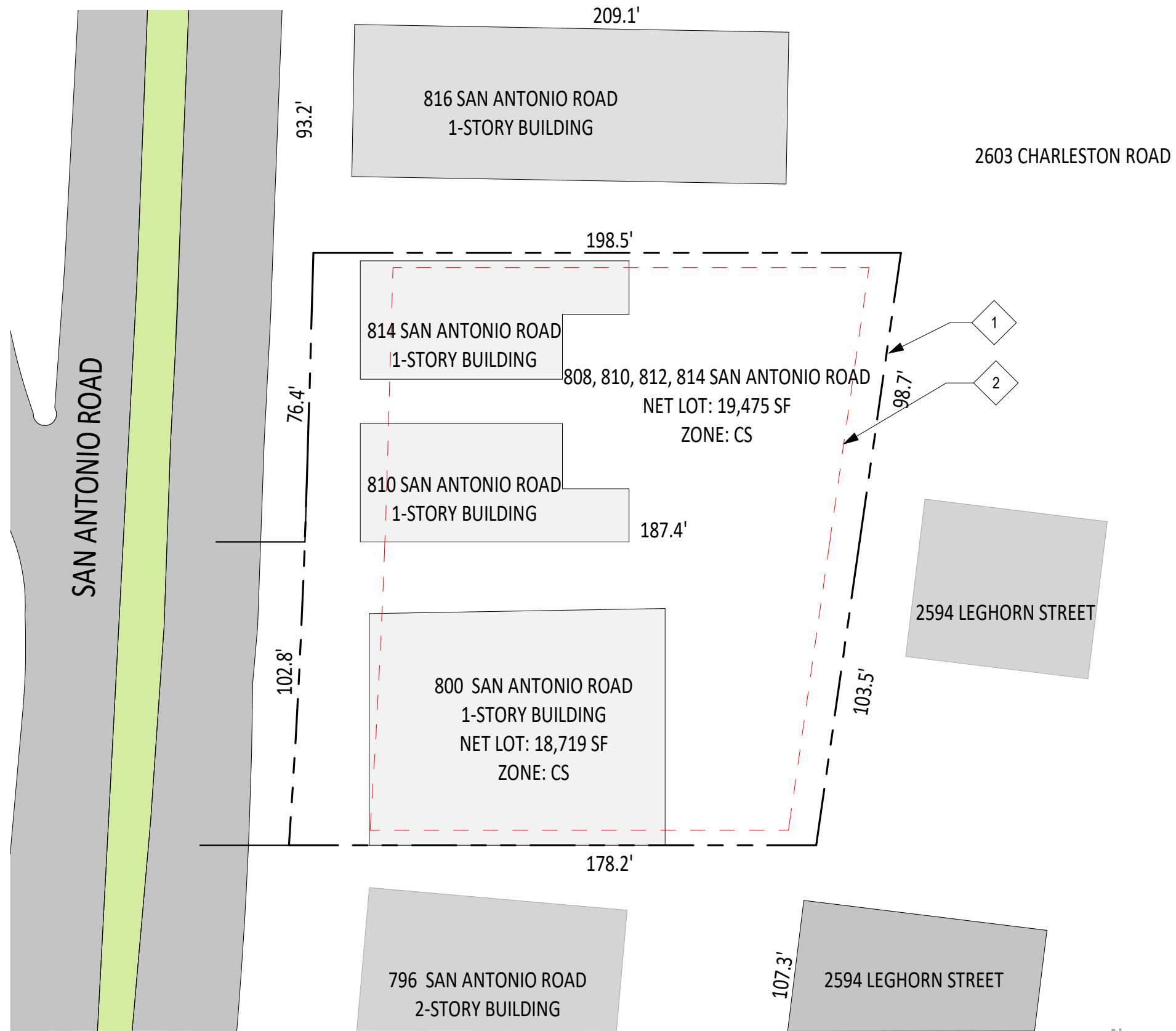
Instructions: Select the residential green building requirements applicable to the project and follow the compliance instructions listed in the right column. Please note this verification form is for reference only and does not need to be submitted with the Permit Application.



Electric Vehicle Supply Equipment (EVSE) Requirements

Project Condition	Requirement	Compliance Schedule & Instructions
<input type="checkbox"/> New One-Family, Two-Family, and Townhouse Residential Construction (PAMC 16.14.420, A4.106.8.1)	Provide Conduit Only ⁴, EVSE-Ready Outlet ⁵, or EVSE Installed⁶ for each residence. The proposed location of a charging station may be internal or external to the dwelling, and shall be in close proximity to an on-site parking space consistent with City guidelines, rules, and regulations. See ordinance language for additional details. ¹	Planning Phase: Declare the EV requirements on the preliminary Green Building Checklist "GB-1" sheet and include in Planning Application. Show EVSE ready location at single-family dwelling. (Only Projects subject to Planning) Permit Phase: Complete Green Building Checklist and include and references on the "GB-1" within the Permit Plans. Declare the EV requirements on the Green Building Checklist "GB-1" sheet and include in Permit Plans. Show "EV" or "EV-Ready" location on the Permit Plans. Inspection Phase: Subject to the activities listed on the Electric Vehicle Supply Equipment Checklist.
<input checked="" type="checkbox"/> New Multi-Family Residential Construction (PAMC 16.14.420, A4.106.8.2)	Resident parking. The property owner shall provide at least one EVSE-Ready Outlet ⁵ or EVSE Installed ⁶ for each residential unit in the structure. Guest parking. The property owner shall provide Conduit Only ⁴ , EVSE-Ready Outlet ⁵ , or EVSE Installed ³ , for at least 25% of guest parking spaces, among which at least 5% (and no fewer than one) shall be EVSE Installed ³ . See ordinance language for additional details. ¹ , ² Accessible spaces. Projects shall comply with the California Building Code requirements for accessible electric vehicle parking.	Planning Phase: Declare the EV requirements on the preliminary Green Building Checklist "GB-1" sheet and include in Planning Application. Show EVSE calculations within the parking analysis. Show "EVSE Installed", "EVSE Ready", and "Conduit Only" on parking plan. Use the EVSE calculator ² for compliance assistance. (Only Projects subject to Planning) Permit Phase: Complete Green Building Checklist and include and references on the "GB-1" within the Permit Plans. Declare the EV requirements on the Green Building Checklist "GB-1" sheet and include in Permit Plans. Show EVSE calculations within the parking analysis. Label applicable parking spaces "EVSE Installed", "EVSE Ready", and "Conduit Only" on parking plan (see ordinance language for definitions). Use the EVSE calculator ² for compliance assistance. Inspection Phase: Subject to the activities listed on the Electric Vehicle Supply Equipment Checklist.
<input type="checkbox"/> New Hotel Construction (PAMC 16.14.420, A4.106.8.3)	Provide Conduit Only ⁴, EVSE-Ready Outlet ⁵, or EVSE Installed ³ for at least 30% of parking. At least 10% and no fewer than one shall be EVSE installed. See ordinance language for additional details. ¹	Planning Phase: Declare the EV requirements on the preliminary Green Building Checklist "GB-1" sheet and include in Planning Application. Show EVSE calculations within the parking analysis. Show "EVSE Installed", "EVSE Ready", and "Conduit Only" on parking plan. Use the EVSE calculator ² for compliance assistance. See ordinance language for additional details. (Only Projects subject to Planning) Permit Phase: Complete Green Building Checklist and include and references on the "GB-1" within Permit Plans. Declare the EV requirements on the Green Building Checklist "GB-1" sheet and include in Permit Plans. Show EVSE calculations within the parking analysis. Label applicable parking spaces "EVSE Installed", "EVSE Ready", and "Conduit Only" on parking plan (see ordinance language for definitions). Use the EVSE calculator ² for compliance assistance. See ordinance language for additional details. Inspection Phase: Subject to the activities listed on the Electric Vehicle Supply Equipment Checklist.

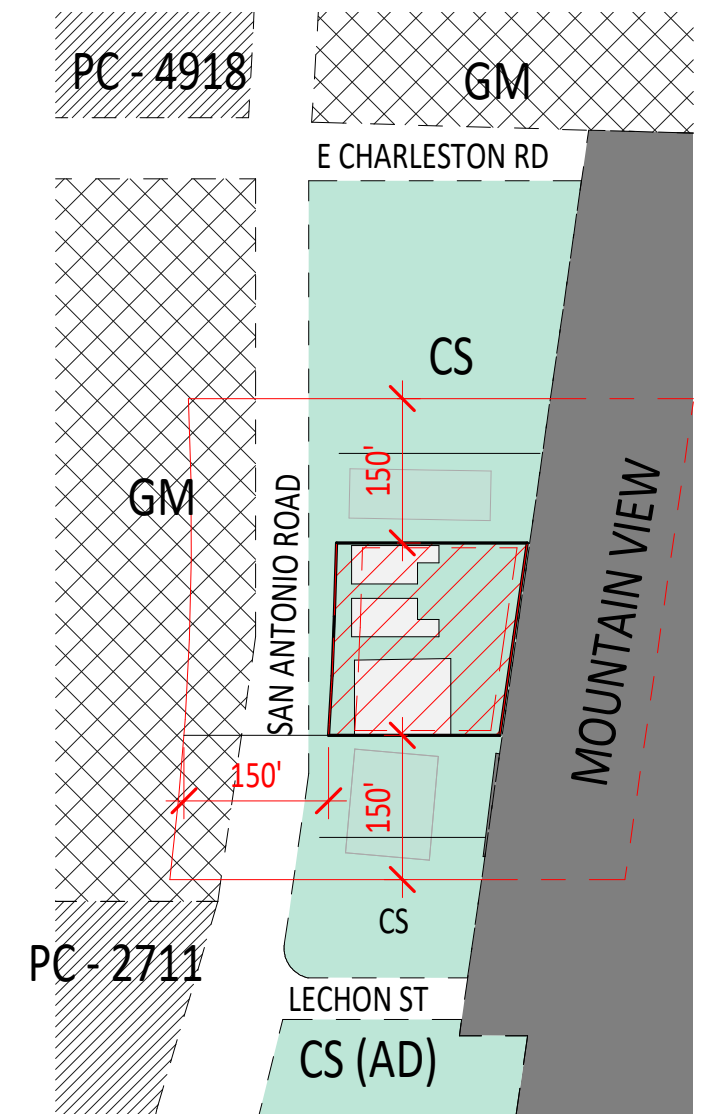
¹ Projects are subject to the requirements outlined in PAMC 16.14. See Development Services webpage for ordinance language.
² For the EVSE Calculator location, see Green Building Compliance on the Development Services webpage.
³ Level 2 EVSE. "Level 2 EVSE" shall mean an EVSE capable of charging at 30 amperes or higher at 208 or 240 VAC. An EVSE capable of simultaneously charging at 30 amperes for each of two vehicles shall be count as two Level 2 EVSE. EVSE Installed. "EVSE Installed" shall mean an installed Level 2 EVSE³.
⁴ Conduit Only. "Conduit Only" shall mean, at minimum: (1) a panel capable to accommodate a dedicated branch circuit and service capacity to install a 208/240V, 50 amperes grounded AC outlet; and (2) raceway wiring with capacity to accommodate a 100 ampere circuit; terminating in (3) a listed cabinet, box, enclosure, or NEMA receptacle. The raceway shall be installed so that minimal removal of materials is necessary complete the final installation.
⁵ EVSE-Ready Outlet. "EVSE-Ready Outlet" shall mean, at minimum: (1) a panel capable to accommodate a dedicated branch circuit and service capacity to install a 208/240V, 50 amperes grounded AC outlet; (2) a two-pole circuit breaker; (3) raceway with capacity to accommodate 100-ampere circuit; (4) 50 ampere wiring; terminating in (5) a 50 ampere NEMA receptacle in a covered outlet box.



EXISTING SITE PLAN

KEY NOTES

- 1 PROPERTY LINE
- 2 SITE SETBACK

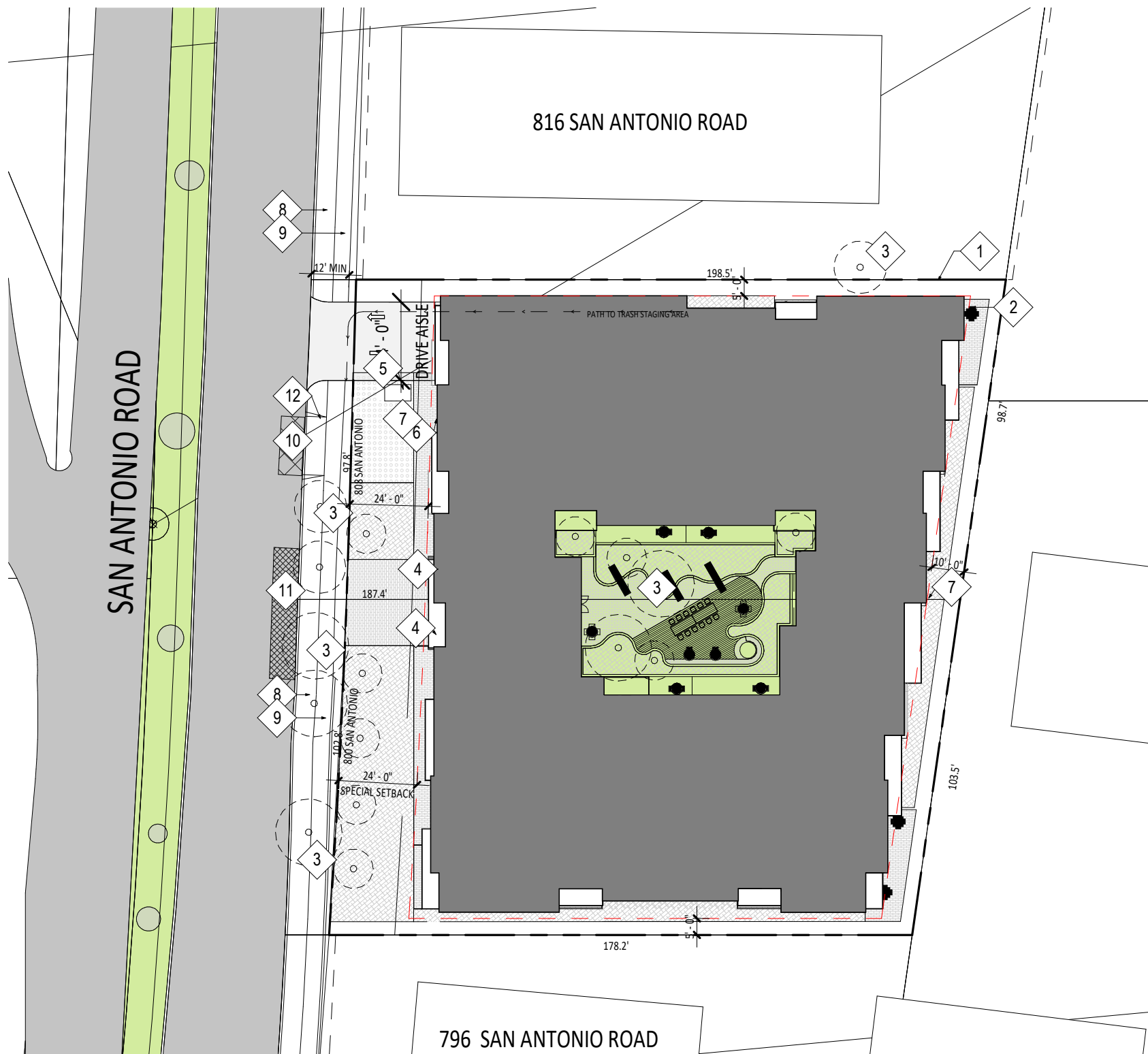


ZONING MAP




EXISTING SITE PLAN

SAN ANTONIO ROAD HOUSING - 06/29/2023

A 1.0



LEGEND

-  EXISTING BUILDING NOT IN CONTRACT
-  PROPOSED BUILDING
-  ACCESSIBLE PATH OF TRAVEL AND DIRECTION

TOTAL PROJECT UNIT COUNT:

1BR	8
2BR	52
3BR	16
TOTAL	76

FAR:

FAR: 114,581 SF / 38,194 = 2.99 FAR
MAX FAR: 2.99













PROPOSED GROSS BUILDING AREA

GROUND LEVEL	22,941 SF
LEVEL 2	22,989 SF
LEVEL 3	23,076 SF
LEVEL 4	23,076 SF
LEVEL 5	22,499 SF
TOTAL	114,581 SF

SHEET NOTES

1. ACCESSIBLE PATHS OF TRAVEL TO COMPLY WITH CBC 11B-302, SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY CHANGES IN LEVEL EXCEEDING ½ INCH AND 48" MIN CLEAR WIDTH. SURFACE CROSS SLOPES SHALL NOT EXCEED ¼" PER FOOT. WHEN THE SLOPE IN DIRECTION OF TRAVEL OF ANY WALK EXCEEDS ONE UNIT VERTICAL TO 20 UNITS HORIZONTAL, IT SHALL COMPLY WITH PROVISIONS OF CBC 11B-405 FOR RAMPS.
2. DRIVEWAY IN ACCORDANCE WITH PUBLIC WORKS STANDARDS, SEE CIVIL DRAWINGS
3. TRANSFORMER AS SHOWN IS CONCEPTUAL, CONFIGURATION AND REQUIREMENTS TO BE COORDINATED W/ CPAU

KEY NOTES

-  1 PROPERTY LINE
-  2 SITE SETBACK LINE
-  3 TREE, S.L.D
-  4 BICYCLE RACK, S.L.D.
-  5 PAD-MOUNTED TRANSFORMER PER CPAU REQUIREMENTS
-  6 FIRE DEPARTMENT CONNECTION
-  7 FIRE STANDPIPE VALVE
-  8 PLANTER STRIP, S.L.D.
-  9 SIDEWALK PER PAMC
-  10 TRASH STAGING AREA
-  11 WHITE ZONE FOR RIDESHARE/MAIL/DELIVERIES
-  12 EXISTING CURB CUT TO REMAIN FOR UTILITIES AND FIRE DEPARTMENT ACCESS

SHEET NOTES

- 1. PARKING IN COMPLIANCE W/ CBC 2022 1109A, CALGREEN PER PAMC AND ALL APPLICABLE CODE
- 2. MECHANICAL PARKING LIFT SYSTEM SHALL NOT REQUIRE REMOVAL OF PARKED VEHICLE FOR ACCESS
- 3. MECHANICAL PARKING SYSTEM TO BE EVSE READY PER PAMC 16.14.420, A4106.8.2
- 4. SURFACE PARKING STALLS ARE 9'W X 18'L U.O.N.
- 5. VEHICLE RAMP SLOPE NOT TO EXCEED SLOPES PER PAMC 18.54 FIGURE 5
- 6. COVERED PARKING DRAIN PLUMBING TO BE CONNECTED TO OIL/WATER SEPARATE AND TO SANITARY SEWER SYSTEM PER PAMC 16.09.180(b)(9)
- 7. EMERGENCY POWER SYSTEM SHALL PROVIDE POWER DURATION NOT LESS THAN 90MIN; CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR ON-SITE GENERATOR INSTALLED PER CBC 2702 SECTION 1008.3

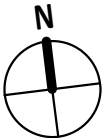
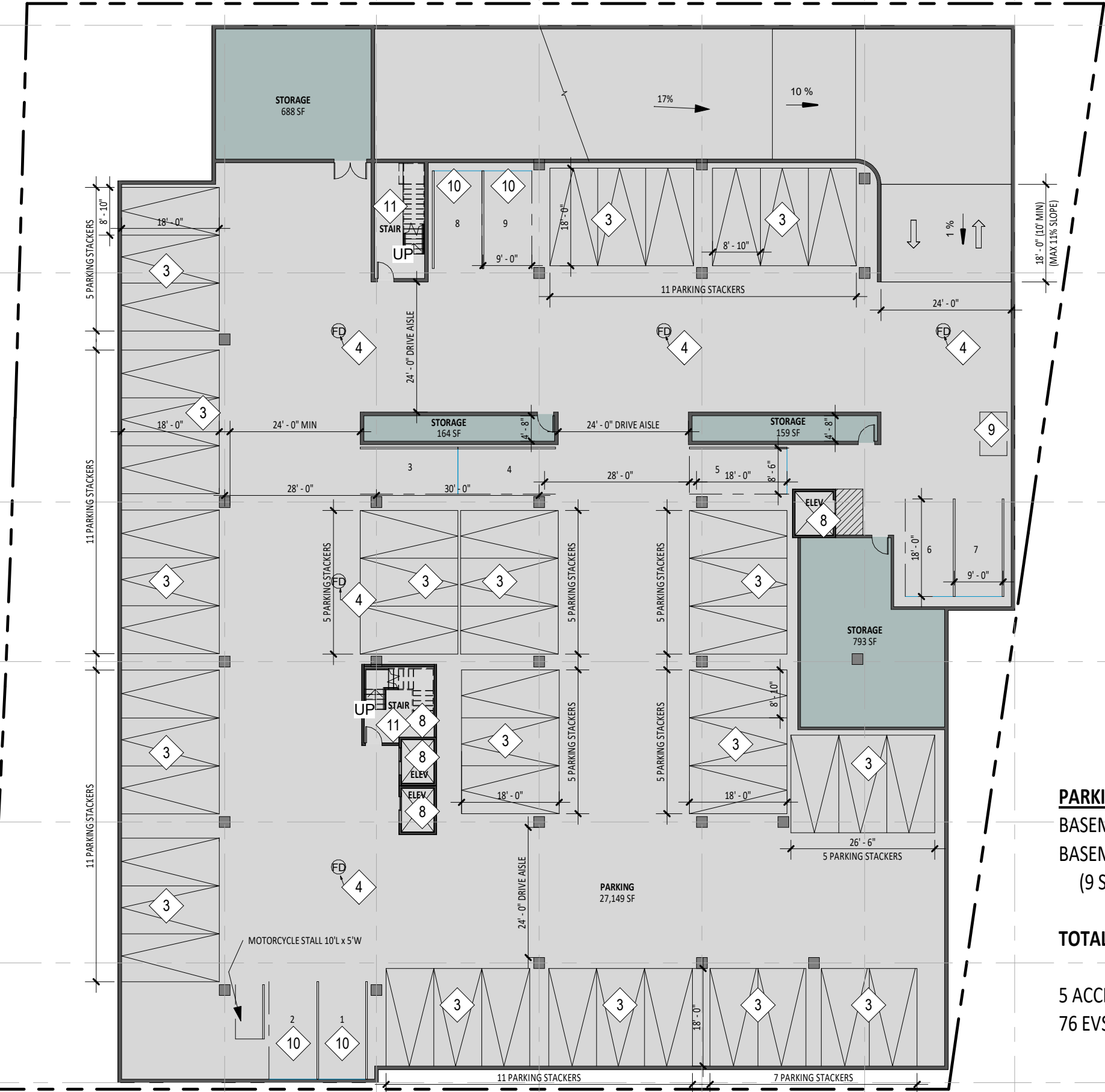
KEY NOTES

- 1 PARKING - ACCESSIBLE / VAN ACCESSIBLE
- 2 PARKING - EV CHARGING
- 3 PARKING - STACKER SYSTEM (8'-10"W X 18' STALL) DEPARC DE-61
- 4 12"X12" FLOOR DRAIN (CONNECTED TO SAND OIL SEPARATOR)
- 5 TRASH ROOM DESIGN TO BE PROVIDED BY WASTE MANAGEMENT CONSULTANT INCLUDING CHUTES, BIN, COMPACTORS, VENTILATION, MEP REQ, VOLUME AND FREQUENCY CALCULATIONS
- 6 OPENING ABOVE FOR TRASH, RECYCLING AND COMPOST CHUTE
- 7 VENTILATION OPENING ABOVE
- 8 2 HR RATED CONSTRUCTION
- 9 SAND OIL SEPARATOR, 100 GALLONS MIN
- 10 VISITOR PARKING
- 11 EMERGENCY EGRESS STAIR CBC 2022 1009

PARKING COUNTS:
BASEMENT LEVEL 1: 53 SPACES
BASEMENT LEVEL 2: 95 SPACES
(9 SURFACE / 86 STACKERS)

TOTAL: 148 SPACES (144 REQUIRED)

5 ACCESSIBLE PARKING (INCL. 1 VAN AND 1 EV)
76 EVSE READY OUTLETS



SHEET NOTES

- 1. PARKING IN COMPLIANCE W/ CBC 2022 1109A, CALGREEN PER PAMC AND ALL APPLICABLE CODE
- 2. MECHANICAL PARKING LIFT SYSTEM SHALL NOT REQUIRE REMOVAL OF PARKED VEHICLE FOR ACCESS
- 3. MECHANICAL PARKING SYSTEM TO BE EVSE READY PER PAMC 16.14.420, A4106.8.2
- 4. SURFACE PARKING STALLS ARE 9'W X 18'L U.O.N.
- 5. VEHICLE RAMP SLOPE NOT TO EXCEED SLOPES PER PAMC 18.54 FIGURE 5
- 6. COVERED PARKING DRAIN PLUMBING TO BE CONNECTED TO OIL/WATER SEPARATE AND TO SANITARY SEWER SYSTEM PER PAMC 16.09.180(b)(9)
- 7. EMERGENCY POWER SYSTEM SHALL PROVIDE POWER DURATION NOT LESS THAN 90MIN; CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR ON-SITE GENERATOR INSTALLED PER CBC 2702 SECTION 1008.3

KEY NOTES

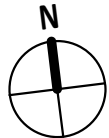
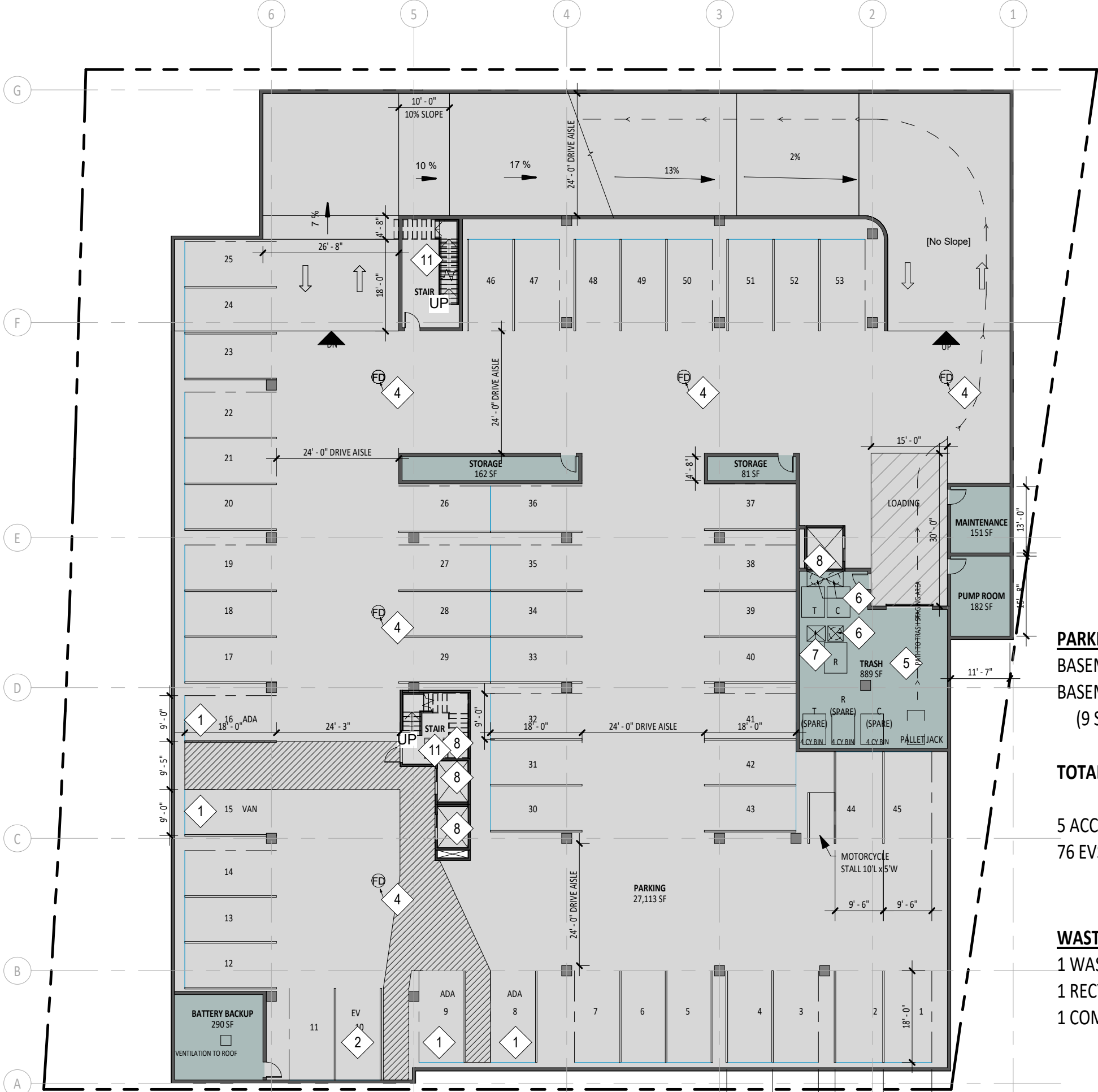
- 1. PARKING - ACCESSIBLE / VAN ACCESSIBLE
- 2. PARKING - EV CHARGING
- 3. PARKING - STACKER SYSTEM (8'-10"W X 18' STALL) DEPARC DE-61
- 4. 12"X12" FLOOR DRAIN (CONNECTED TO SAND OIL SEPARATOR)
- 5. TRASH ROOM DESIGN TO BE PROVIDED BY WASTE MANAGEMENT CONSULTANT INCLUDING CHUTES, BIN, COMPACTORS, VENTILATION, MEP REQ, VOLUME AND FREQUENCY CALCULATIONS
- 6. OPENING ABOVE FOR TRASH, RECYCLING AND COMPOST CHUTE
- 7. VENTILATION OPENING ABOVE
- 8. 2 HR RATED CONSTRUCTION
- 9. SAND OIL SEPARATOR, 100 GALLONS MIN
- 10. VISITOR PARKING
- 11. EMERGENCY EGRESS STAIR CBC 2022 1009

PARKING COUNTS:
BASEMENT LEVEL 1: 53 SPACES
BASEMENT LEVEL 2: 95 SPACES
(9 SURFACE / 86 STACKERS)

TOTAL: 148 SPACES (144 REQUIRED)

5 ACCESSIBLE PARKING (INCL. 1 VAN AND 1 EV)
76 EVSE READY OUTLETS

WASTE & RECYCLE:
1 WASTE CHUTE
1 RECYCLE CHUTE
1 COMPOST CHUTE



SHEET NOTES

- 1. SEE CIVIL DRAWINGS FOR ON/OFF SITE UTILITY PLANS, GRADING, DRAINAGE & STORM WATER TREATMENT
- 2. SEE LANDSCAPE DRAWINGS FOR FINE GRADING, PAVING, PLANING AND IRRIGATION PLAN
- 3. ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL.
- 4. DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI)
- 5. ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
- 6. ELEVATORS PER CBC 1009, 3001.4, 11B-407
- 7. PROVIDE PVC CONDUIT FROM TRANSFORMER AND SWITCH PAD TO (E) ELECTRICAL BOX

KEY NOTES

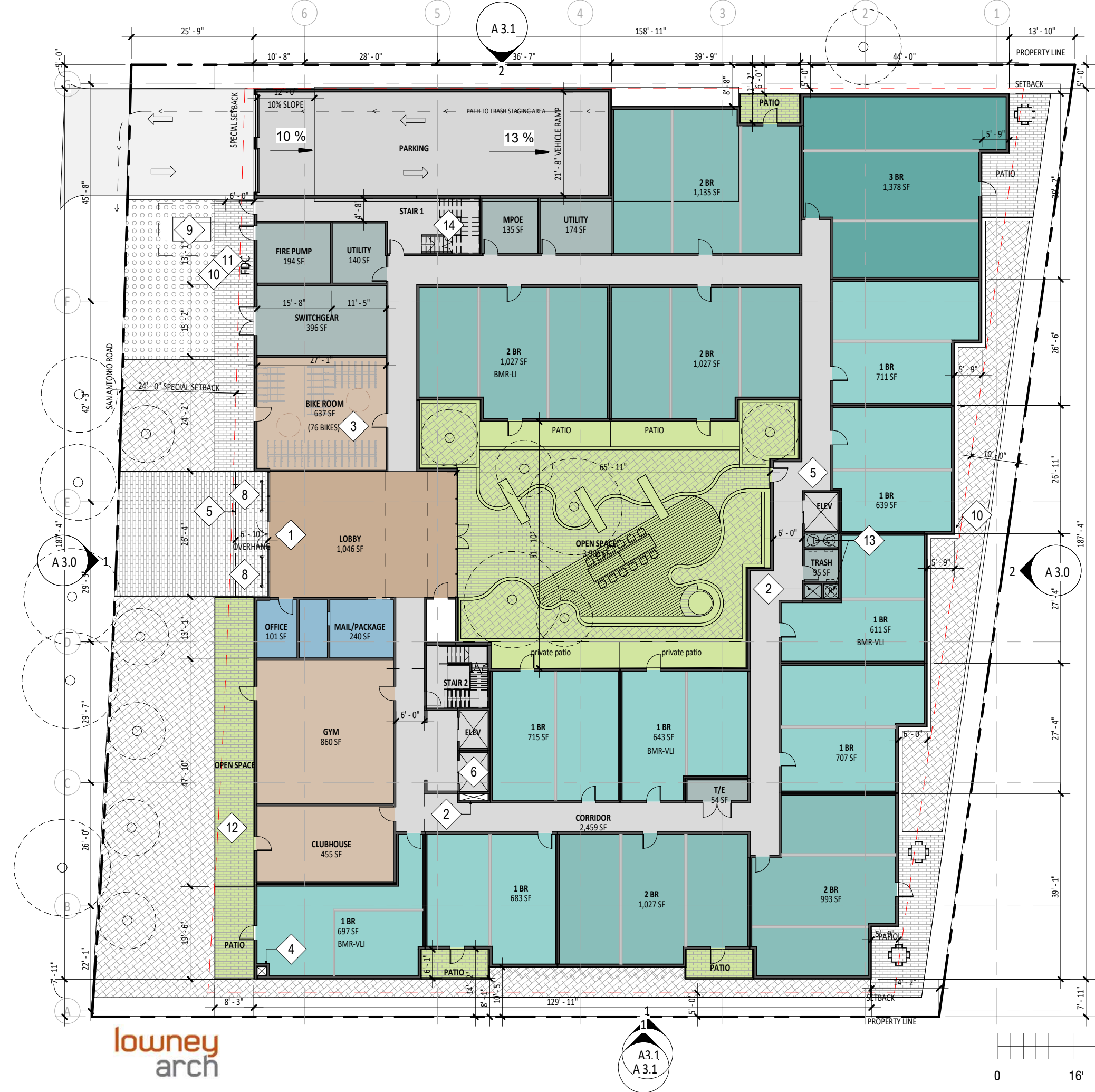
- 1 MAIN BUILDING ENTRY
- 2 2 HR RATED SHAFT CONSTRUCTION
- 3 DERO DECKER LIFT ASSIST BIKE RACK OR SIM, PER PAMC 18.54.060
- 4 BATTERY ROOM 2 HR VENTILATION SHAFT
- 5 AWNING ABOVE, SEE SECTION 2/A4.1.
- 6 EGRESS ELEVATOR IN 2HR SHAFT CBC 2022-3001.4, 11B407, 1009
- 7 FIRE STANDPIPE HOSE VALVE
- 8 EXTERIOR BIKE RACK, SLD
- 9 PAD-MOUNTED TRANSFORMER PER CPAU REQUIREMENTS
- 10 FIRE STANDPIPE HOSE VALVE
- 11 FIRE DEPARTMENT CONNECTION
- 12 PATIO WITH NO FENCE
- 13 TRASH, RECYCLING, COMPOST CHUTE IN 2HR RATED SHAFT
- 14 EMERGENCY EGRESS STAIR



DERO DECKER LIFT ASSIST BIKE RACK OR SIM

LEVEL 1 UNIT COUNT

Name	Count
1 BR	8
2 BR	5
3 BR	1
Grand total: 14	14





SHEET NOTES

- 1. ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL.
- 2. DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI)
- 3. ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
- 4. ELEVATORS PER CBC 1009, 3001.4, 11B-407

KEY NOTES

- 1 EMERGENCY EGRESS STAIR
CBC 2022 1009
- 2 2 HR RATED SHAFT
- 3 COVERED SOFFIT UNDER AWNING/ARCHITECTURAL PROJECTION, 4' MINIMUM DEPTH
- 4 ROOF BELOW
- 5 BATTERY ROOM 2 HR VENTILATION SHAFT
- 6 EGRESS ELEVATOR IN 2HR SHAFT
CBC 2022-3001.4, 11B407, 1009
- 7 TRASH, RECYCLING, COMPOST CHUTE IN 2HR RATED SHAFT

LEVEL 2 UNIT COUNT

Name	Count
2 BR	11
3 BR	4
Grand total: 15	15



SHEET NOTES

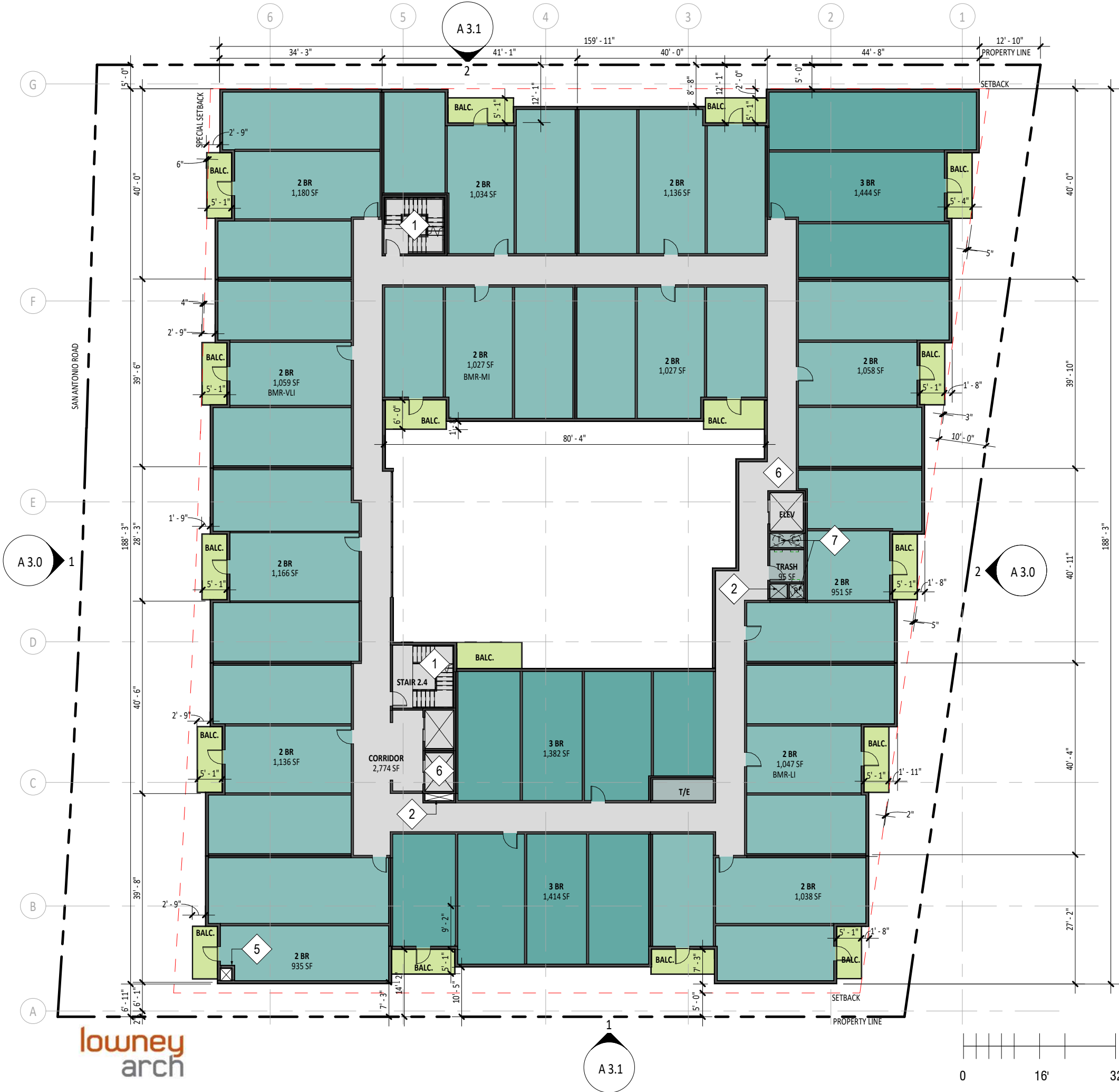
- 1. ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL.
- 2. DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI)
- 3. ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
- 4. ELEVATORS PER CBC 1009, 3001.4, 11B-407

KEY NOTES

- 1 EMERGENCY EGRESS STAIR
CBC 2022 1009
- 2 2 HR RATED SHAFT
- 3 COVERED SOFFIT UNDER AWNING/ARCHITECTURAL PROJECTION, 4' MINIMUM DEPTH
- 4 ROOF BELOW
- 5 BATTERY ROOM 2 HR VENTILATION SHAFT
- 6 EGRESS ELEVATOR IN 2HR SHAFT
CBC 2022-3001.4, 11B407, 1009
- 7 TRASH, RECYCLING, COMPOST CHUTE IN 2HR RATED SHAFT

LEVEL 3-4 UNIT COUNT

Name	Count
2 BR	13
3 BR	3
Grand total: 16	16



SHEET NOTES

- 1. ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL.
- 2. DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI)
- 3. ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
- 4. ELEVATORS PER CBC 1009, 3001.4, 11B-407

KEY NOTES

- 1 EMERGENCY EGRESS STAIR
CBC 2022 1009
- 2 2 HR RATED SHAFT
- 3 COVERED SOFFIT UNDER AWNING/ARCHITECTURAL PROJECTION, 4' MINIMUM DEPTH
- 4 ROOF BELOW
- 5 BATTERY ROOM 2 HR VENTILATION SHAFT
- 6 EGRESS ELEVATOR IN 2HR SHAFT
CBC 2022-3001.4, 11B407, 1009
- 7 TRASH, RECYCLING, COMPOST CHUTE IN 2HR RATED SHAFT

LEVEL 3-4 UNIT COUNT

Name	Count
2 BR	13
3 BR	3
Grand total: 16	16



SHEET NOTES

- 1. ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL.
- 2. DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI)
- 3. ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
- 4. ELEVATORS PER CBC 1009, 3001.4, 11B-407

KEY NOTES

- 1. EMERGENCY EGRESS STAIR
CBC 2022 1009
- 2. 2 HR RATED SHAFT
- 3. COVERED SOFFIT UNDER AWNING/ARCHITECTURAL PROJECTION, 4' MINIMUM DEPTH
- 4. ROOF BELOW
- 5. BATTERY ROOM 2 HR VENTILATION SHAFT
- 6. EGRESS ELEVATOR IN 2HR SHAFT
CBC 2022-3001.4, 11B407, 1009
- 7. TRASH, RECYCLING, COMPOST CHUTE IN 2HR RATED SHAFT

LEVEL 5 UNIT COUNT

Name	Count
2 BR	10
3 BR	5
Grand total: 15	15

SHEET NOTES

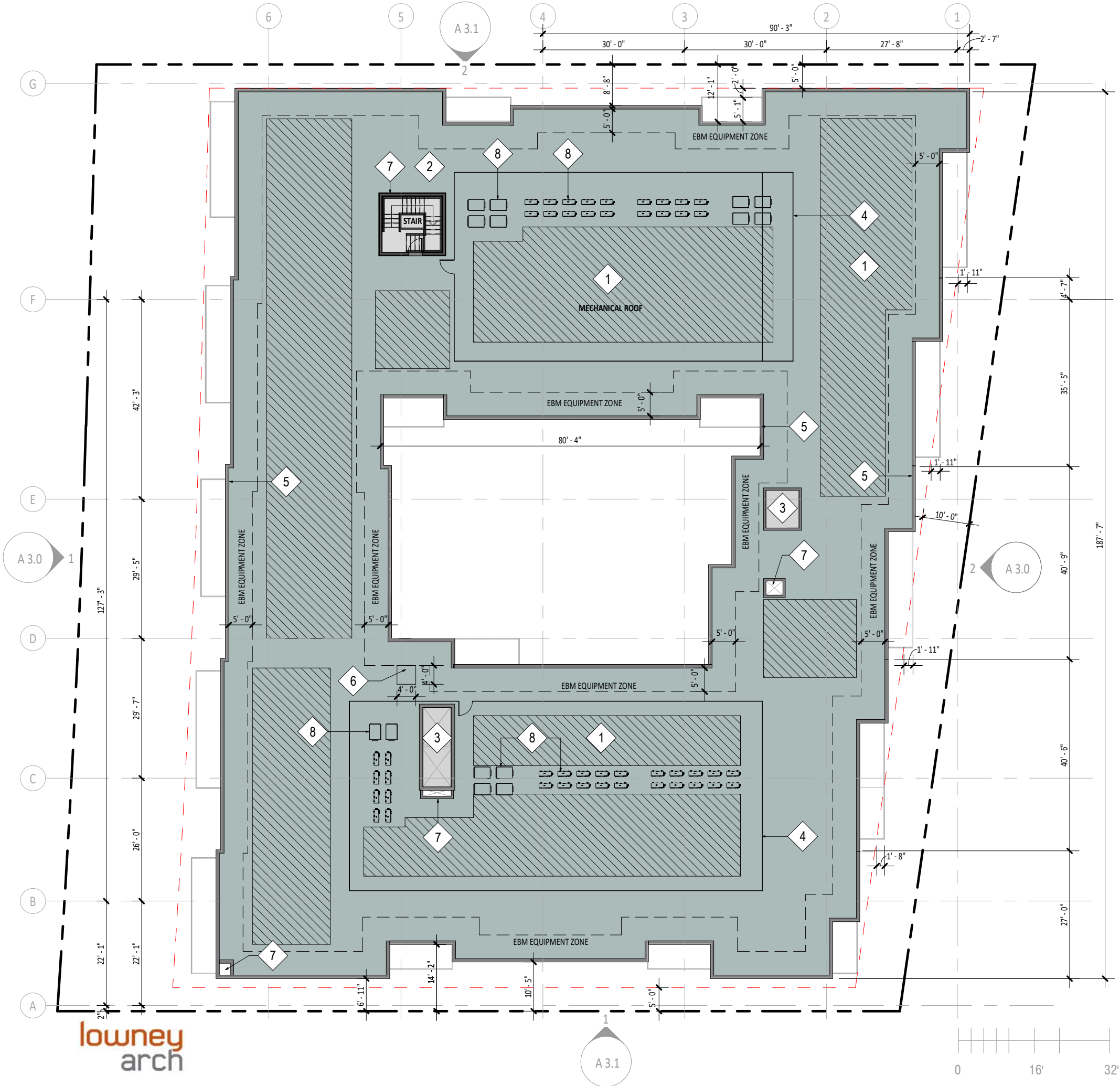
- 1. PAMC 16.09.180(B)(5) CONDENSATE FROM HVAC CONDENSATE LINES SHALL NOT BE CONNECTED OR ALLOWED TO DRAIN TO THE STORM DRAIN SYSTEM.
- 2. ROOF ACCESS FOR MAINTENANCE ONLY.
- 3. ROOF MATERIAL TO BE HIGH ALBEDO MEMBRANE ROOFING.

KEY NOTES

- 1 MECHANICAL ROOF W/ NO PUBLIC ACCESS
- 2 EMERGENCY EGRESS STAIR
CBC 2022 1009
- 3 STAIR/ELEVATOR OVERRUN
- 4 MECHANICAL SCREEN - 7' H METAL SIDING PER ELEV.
- 5 42"H MINIMUM PARAPET AT ROOF PERIMETER
- 6 FIXED LADDER AND ROOF HATCH
- 7 2HR RATED SHAFT
- 8 MECHANICAL UNITS

LEGEND

 SOLAR PHOTOVOLTAIC ZONE





SHEET NOTES

1. NO PROTECTED OPENINGS REQUIRED PER CBC 2022 705.8
 MAXIMUM UNPROTECTED OPENING PER CBC 705.8:
- | | |
|------------|---------------------------|
| 5' TO 10' | MAX OPENING 25 % ALLOWED* |
| 10' TO 15' | MAX OPENING 45 % ALLOWED* |
| 15' TO 20' | MAX OPENING 75 % ALLOWED* |
- *IN SPRINKLERED BUILDINGS

KEY NOTES

- 1 ARCHITECTURAL PROJECTION OVER ENTRY
- 2 PERFORATED METAL GARAGE DOOR
- 3 7'H MECHANICAL SCREEN

MATERIALS LEGEND

- FC1 FIBER CEMENT PANEL
- FC2 FIBER CEMENT PANEL
- FC3 FIBER CEMENT PANEL
- M1 DECORATIVE METAL PRIVACY SCREEN
- M2 METAL PERFORATED PANEL
- M3 METAL PERFORATED SHADING FIN
- M4 METAL TRIM - BLACK
- M5 METAL TRIM - WHITE
- M6 METAL SIDING PANEL W/ STEEL FRAME
- GL1 EXTERIOR GLAZING
- C1 CONCRETE
- AW ALUMINUM WINDOW





WEST ELEVATION



EAST ELEVATION

SHEET NOTES

1. NO PROTECTED OPENINGS REQUIRED PER CBC 2022 705.8
MAXIMUM UNPROTECTED OPENING PER CBC 705.8:
- | | |
|------------|---------------------------|
| 5' TO 10' | MAX OPENING 25 % ALLOWED* |
| 10' TO 15' | MAX OPENING 45 % ALLOWED* |
| 15' TO 20' | MAX OPENING 75 % ALLOWED* |
- *IN SPRINKLERED BUILDINGS

KEY NOTES

- 1 ARCHITECTURAL PROJECTION OVER ENTRY
- 2 PERFORATED METAL GARAGE DOOR
- 3 7'H MECHANICAL SCREEN

MATERIALS LEGEND

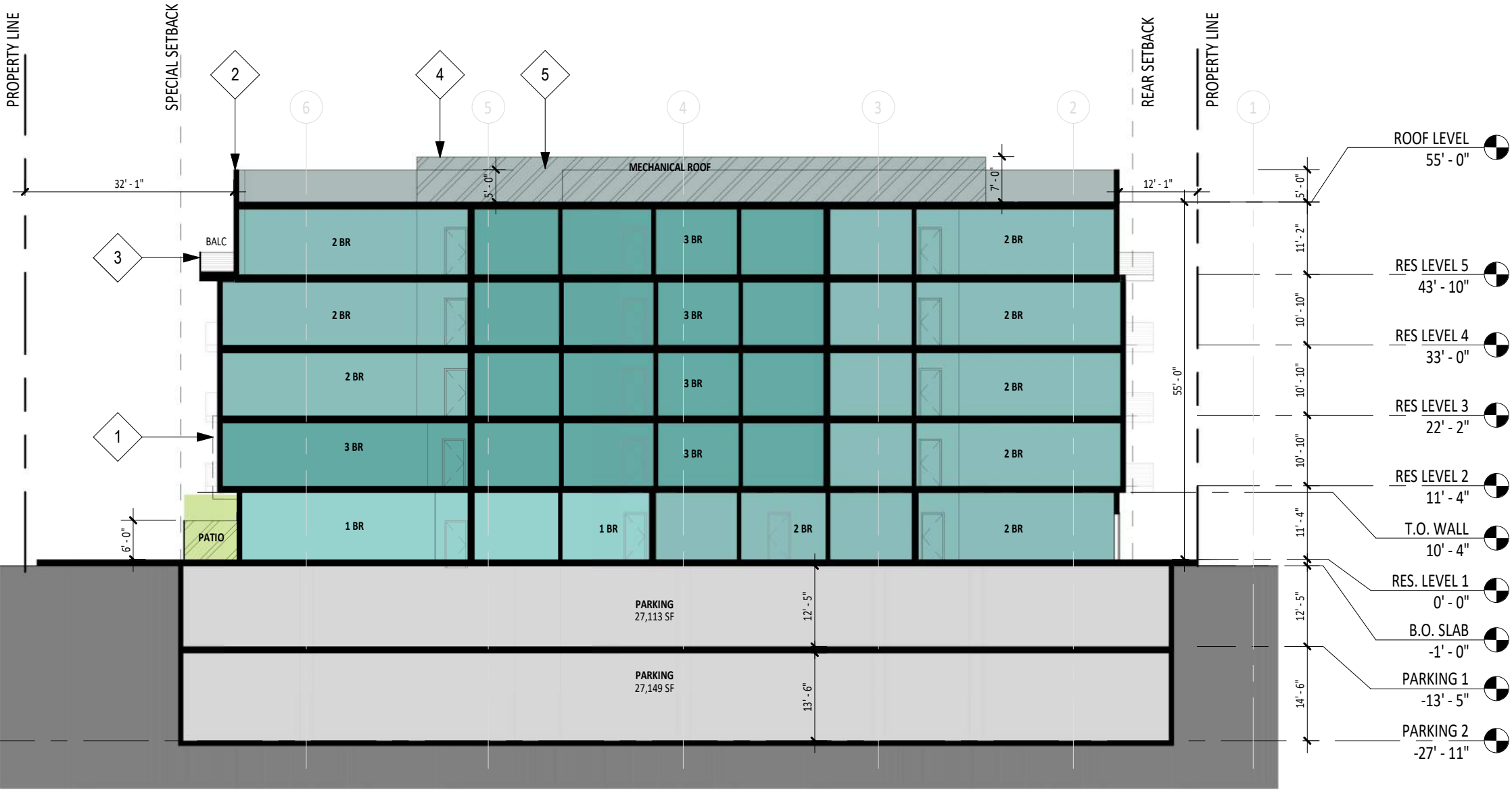
- FC1 FIBER CEMENT PANEL
- FC2 FIBER CEMENT PANEL
- FC3 FIBER CEMENT PANEL
- M1 DECORATIVE METAL PRIVACY SCREEN
- M2 METAL PERFORATED PANEL
- M3 METAL PERFORATED SHADING FIN
- M4 METAL TRIM - BLACK
- M5 METAL TRIM - WHITE
- M6 METAL SIDING PANEL W/ STEEL FRAME
- GL1 EXTERIOR GLAZING
- C1 CONCRETE
- AW ALUMINUM WINDOW

SHEET NOTES

1. MAXIMUM UNPROTECTED OPENING PER CBC 705.8:
- | | |
|------------|---------------------------|
| 5' TO 10' | MAX OPENING 25 % ALLOWED* |
| 10' TO 15' | MAX OPENING 45 % ALLOWED* |
| 15' TO 20' | MAX OPENING 75 % ALLOWED* |
- *IN SPRINKLERED BUILDINGS

KEY NOTES

- 1 ARCHITECTURAL PROJECTION / CANOPY
- 2 PARAPET
- 3 BALCONY
- 4 7'H MECHANICAL SCREEN
- 5 STAIR/ELEVATOR OVERRUN



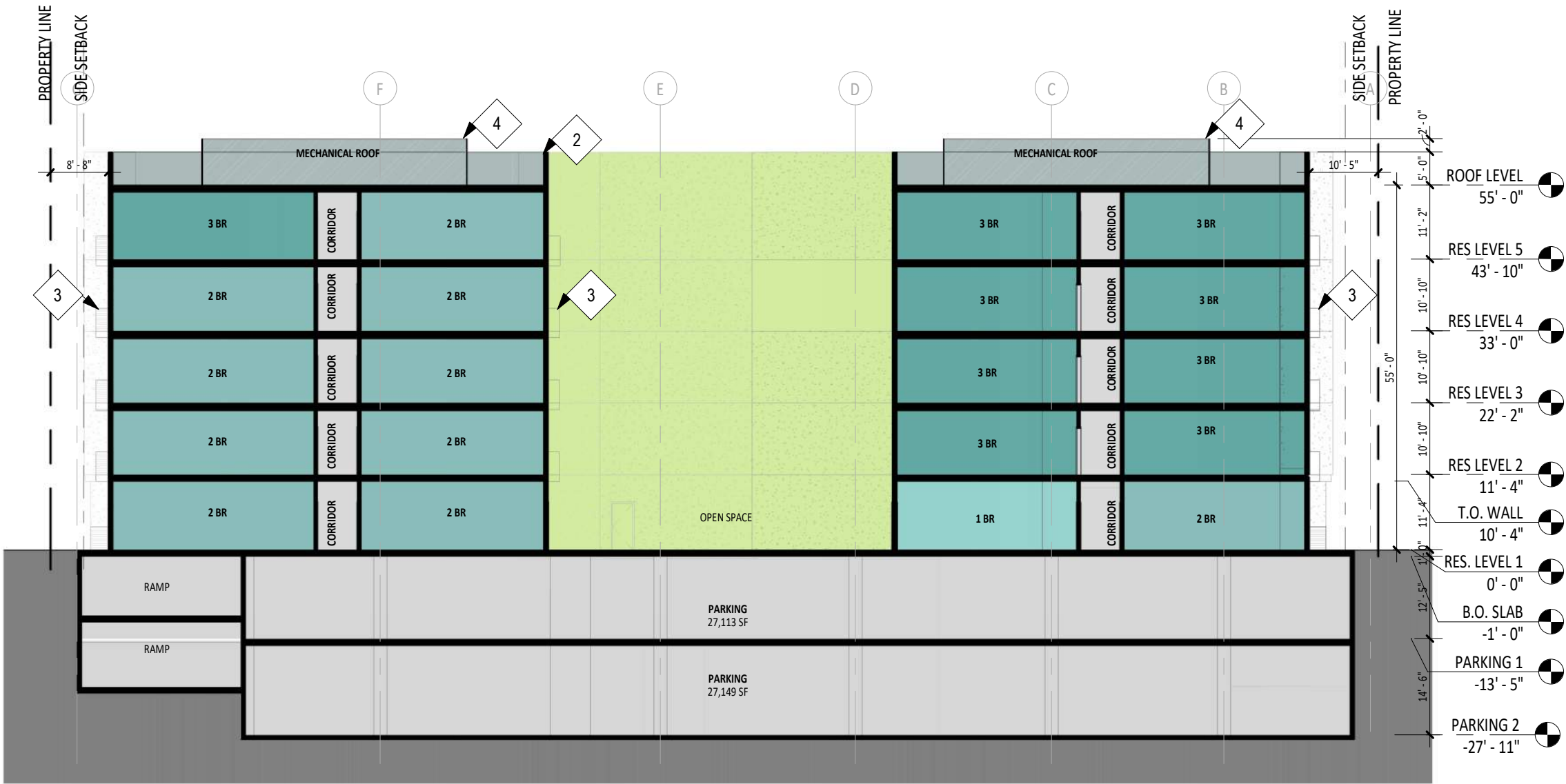
BUILDING SECTION A

SHEET NOTES

1. MAXIMUM UNPROTECTED OPENING PER CBC 705.8:
- | | |
|------------|---------------------------|
| 5' TO 10' | MAX OPENING 25 % ALLOWED* |
| 10' TO 15' | MAX OPENING 45 % ALLOWED* |
| 15' TO 20' | MAX OPENING 75 % ALLOWED* |
- *IN SPRINKLERED BUILDINGS



2 AWNING DETAIL
1/16" = 1'-0"



KEY NOTES

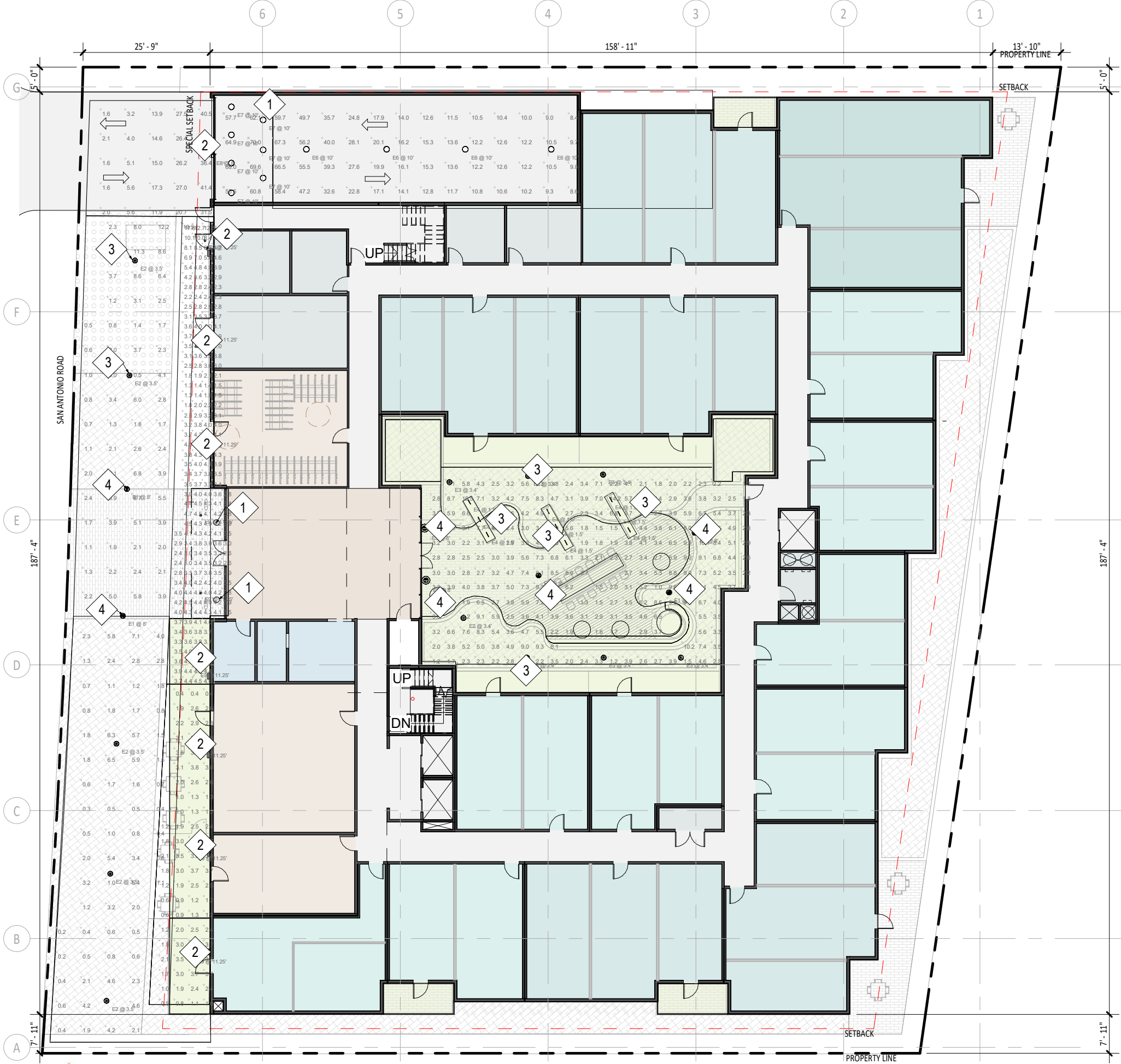
- | | |
|---|-----------------------------------|
| 1 | ARCHITECTURAL PROJECTION / CANOPY |
| 2 | PARAPET |
| 3 | BALCONY |
| 4 | 7'H MECHANICAL SCREEN |
| 5 | STAIR/ELEVATOR OVERRUN |

BUILDING SECTION B

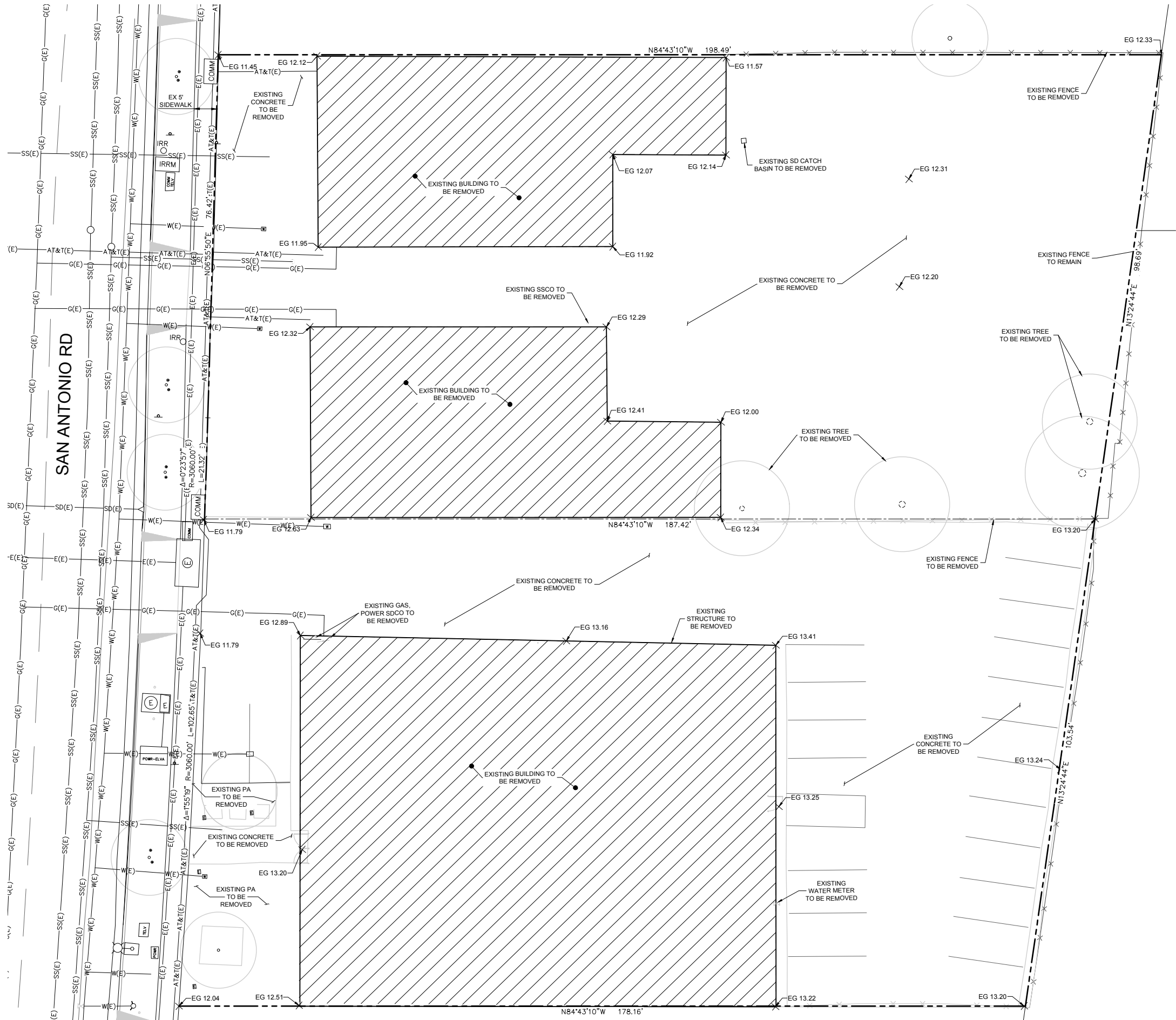
SHEET NOTES

KEY NOTES

- 1 DOWNLIGHT
- 2 WALL SCONCE
- 3 BOLLARD
- 4 EXTERIOR LAMP



S:\PROJECTS\61800\PLANNING\LOT DRAWINGS\61800EX.DWG



SAN ANTONIO RD



LEGEND

- PROJECT BOUNDARY
- PROPERTY LINE
- RIGHT OF WAY
- EASEMENT
- CURB AND GUTTER
- SIDEWALK
- CENTERLINE
- STRIPING
- CENTERLINE

- SANITARY SEWER
- SANITARY SEWER MANHOLE CSJ D-11
- SANITARY LATERAL
- SANITARY SEWER CLEAN OUT
- STORM DRAIN LINE
- STORM DRAIN MANHOLE CSJ D-11
- STORM DRAIN FIELD INLET (1X1)
- STORM DRAIN FIELD INLET (2X2)
- STORM DRAIN CURB INLET

TREE

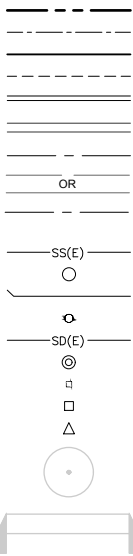
DRIVEWAY

SHOWN FOR INFORMATION ONLY. DESIGNED BY OTHERS

- WATER LINE
- WATER VALVE
- FIRE HYDRANTS

- STREET SIGN
- ELECTROLIER
- UTILITY POLE
- CONDUIT
- PULL BOX
- GAS METER
- ELECTRICAL METER
- AT&T SERVICE BOX
- IRRIGATION METER

EXISTING

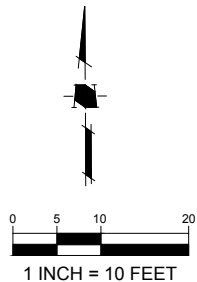


ABBREVIATIONS

- CO CLEANOUT
- EG EXISTING GROUND
- PA PLANTER AREA
- SD STORM DRAIN

NOTES

SITE AREA: 0.86 ACRES



EXISTING CONDITIONS

SAN ANTONIO ROAD HOUSING - TIMESPACE GROUP
800/808 SAN ANTONIO ROAD 07/26/2023

C-1

S:\PROJECTS\1610802\PLANT\TITLEMENT PLAN\LOT DRAWINGS\1610802GP.DWG

GRADING AND DRAINAGE PLAN

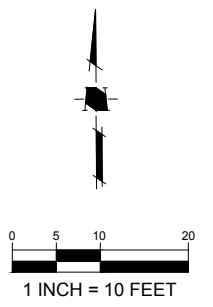
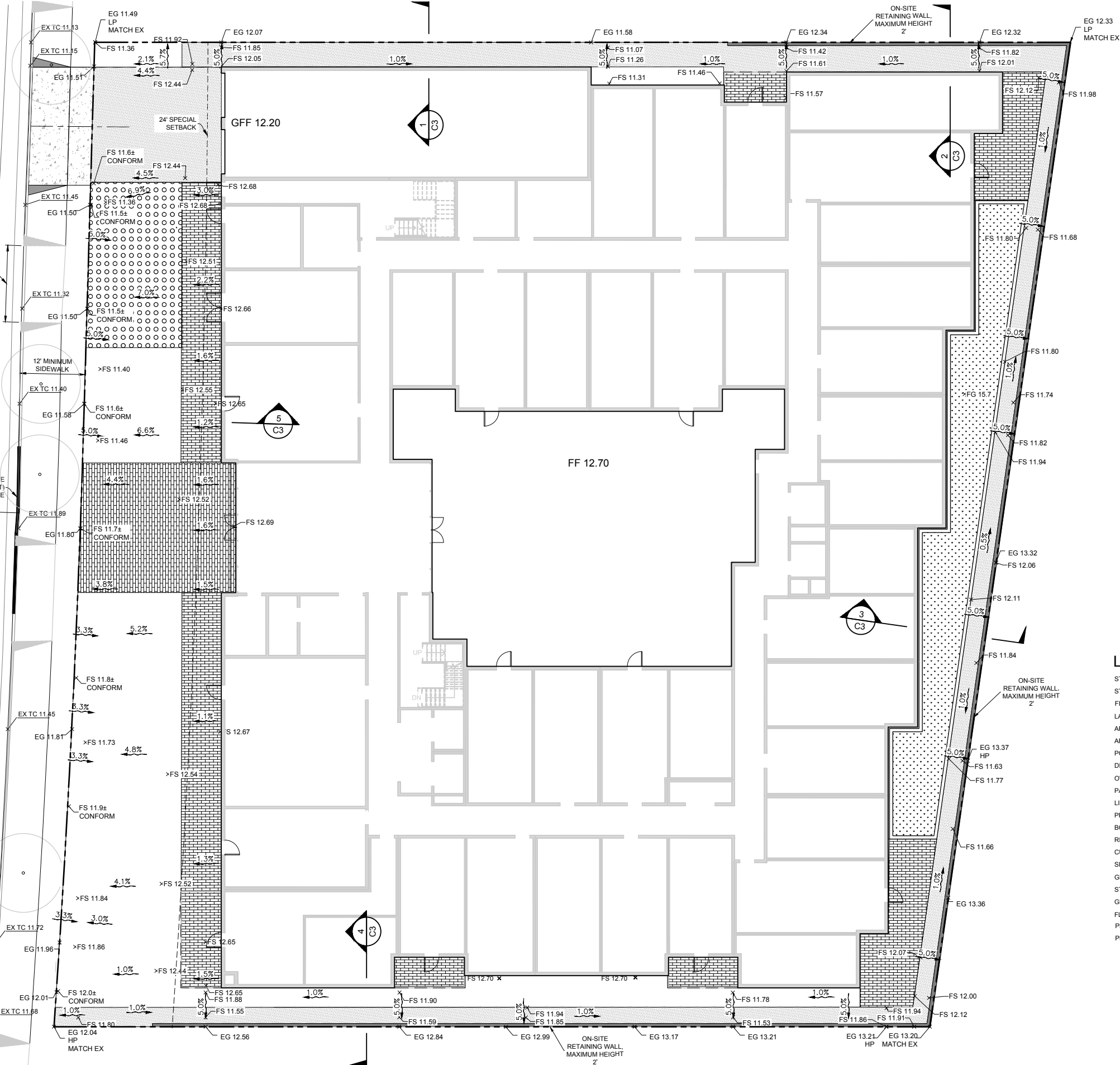
SAN ANTONIO ROAD HOUSING - TIMESPACE GROUP
800/808 SAN ANTONIO ROAD 07/26/2023

C-2

SAN ANTONIO RD

TRASH
STAGING AREA
(DRIVEWAY TO
REMAIN FOR
UTILITY
ACCESS ONLY)

LOADING ZONE
(YELLOW PAINT)
WITH SIGNAGE



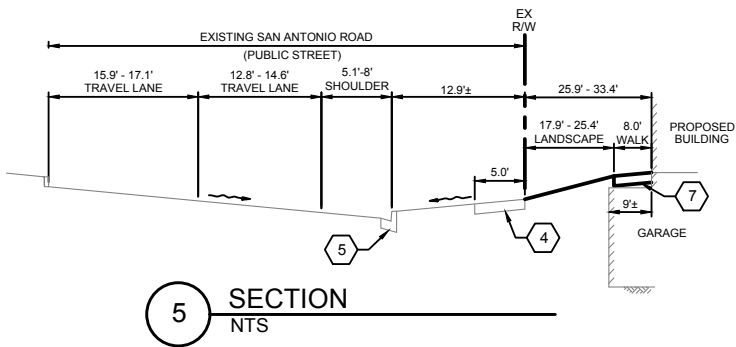
ABBREVIATIONS

EG	EXISTING GROUND
EX	EXISTING
FF	FINISHED FLOOR
HP	HIGH POINT
FS	FINISHED SURFACE
LP	LOW POINT
TC	TOP OF CURB

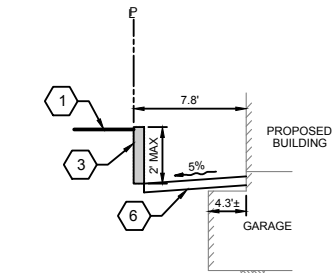
LEGEND

	PROPOSED	EXISTING
STORM DRAIN MANHOLE	⊙	⊙
STANDARD CURB INLET	▲	△
FIELD INLET	■	□
LANDSCAPE DRAIN PIPE	---	
AREA DRAIN CLEAN OUT	•	
AREA DRAIN PLANTING AREA	•	
POP-UP DRAINAGE EMITTER	•	
DIRECTION OF SURFACE DRAINAGE	→	
OVERLAND RELEASE PATH	---	
PAD LIMIT	---	
LIMIT OF GRADING	---	
PROPERTY LINE	---	
BOUNDARY	---	
RIGHT-OF-WAY	---	
CURB AND GUTTER	---	
SIDEWALK	---	
GRADE BREAK	---	
STORM DRAIN PIPE	---	
GRASS PAVEMENT	---	
FLOW-THROUGH PLANTER	---	
PERVIOUS PAVEMENT	---	
PERVIOUS PAVERS	---	

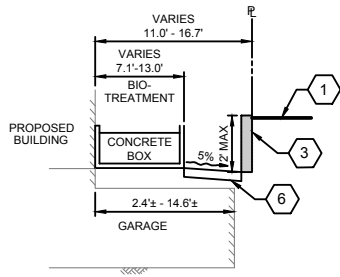
S:\PROJECTS\610802\PLANT\TILEMENT PLAN\LOT DRAWINGS\610802CP.DWG



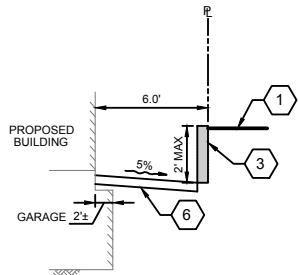
5 SECTION
NTS



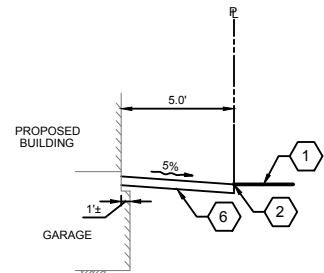
4 SECTION
NTS



3 SECTION
NTS



2 SECTION
NTS



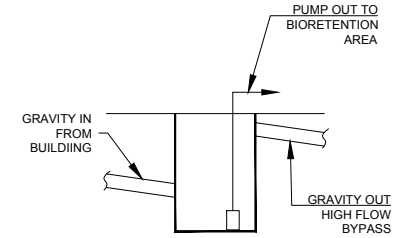
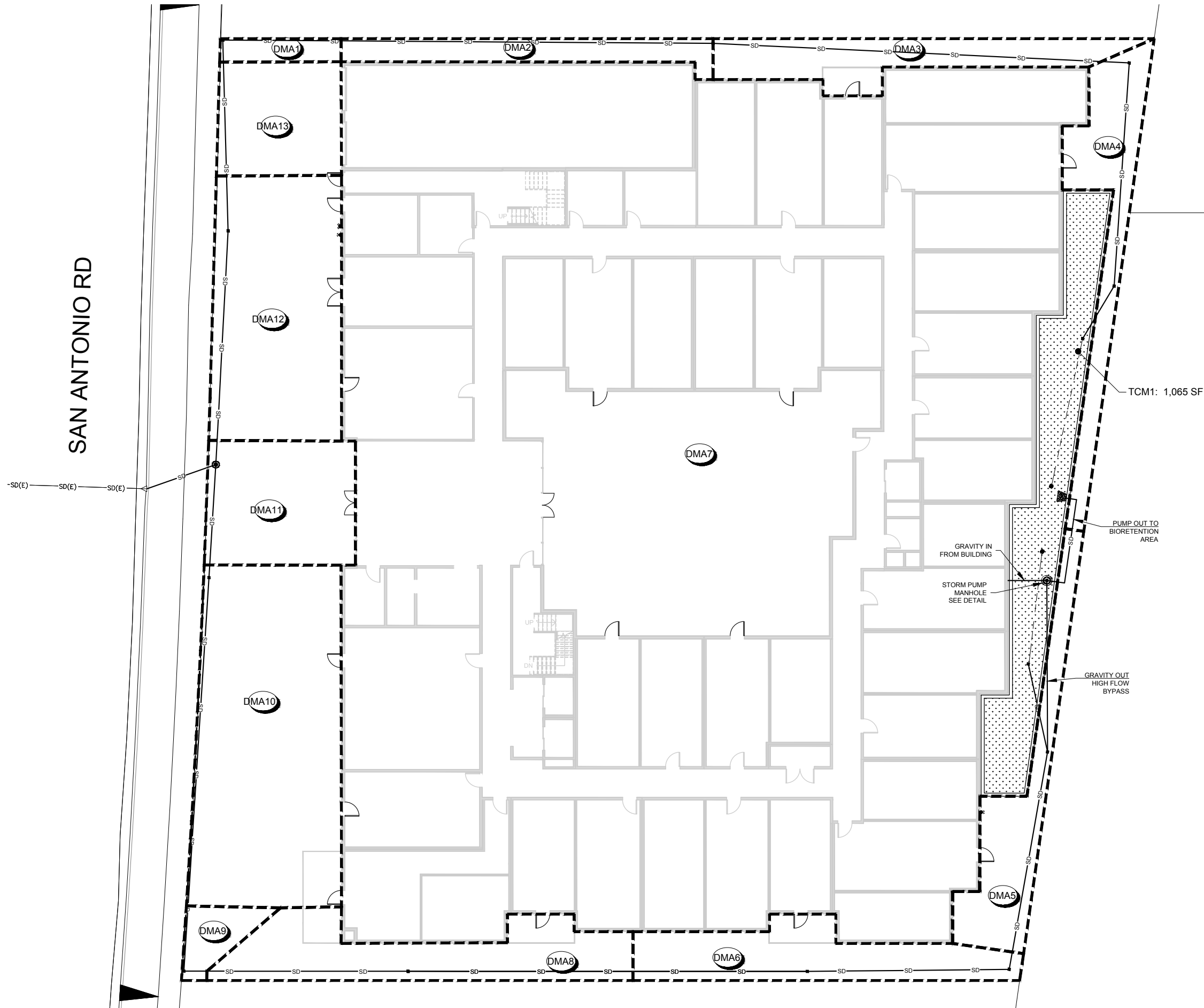
1 SECTION
NTS

- KEY NOTES
- 1 ADJACENT GRADE
 - 2 MATCH ADJACENT GRADE
 - 3 PROPOSED RETAINING WALL
 - 4 EXISTING 5' SIDEWALK TO REMAIN
 - 5 EXISTING CURB AND GUTTER TO REMAIN
 - 6 PERVIOUS CONCRETE
 - 7 PERVIOUS PAVERS

CROSS SECTIONS

SAN ANTONIO ROAD HOUSING - TIMESPACE GROUP
800/808 SAN ANTONIO ROAD 07/26/2023

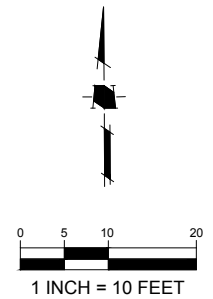
S:\PROJECTS\1610802\PLANTITLEMENT PLAN\LOT DRAWINGS\1610802SW.DWG



PUMP MANHOLE DETAIL
NTS

LEGEND

PROJECT BOUNDARY	
STORM DRAIN PIPE	
STORM DRAIN PIPE (EXISTING)	
CATCH BASIN	
CATCH BASIN (EXISTING)	
FLOW DRAINAGE	
LID TREATMENT DRAINAGE AREA (SEE SIZING CALCULATIONS, SHEET C6)	
BIORETENTION AREA	



PROJECT SITE INFORMATION:

1. SOILS TYPE: **D**
2. GROUND WATER DEPTH: **5'-10"**
3. NAME OF RECEIVING BODY: **ADOBE CREEK**
4. FLOOD ZONE: **X**
3. FLOOD ELEVATION (IF APPLICABLE): **N/A**

OPERATION AND MAINTENANCE INFORMATION:

- I. PROPERTY INFORMATION:
- I.A. PROPERTY ADDRESS:
APN: 147-03-043 & 147-03-038
- I.B. PROPERTY OWNER:
TIMESPACE GROUP LLC
- I.B. CONTACT:
YORKE LEE, YORKELEE@TIMESPACEGROUP.COM
- II. RESPONSIBLE PARTY FOR MAINTENANCE:
- II.A. CONTACT:
TBD
- II.B. PHONE NUMBER OF CONTACT:

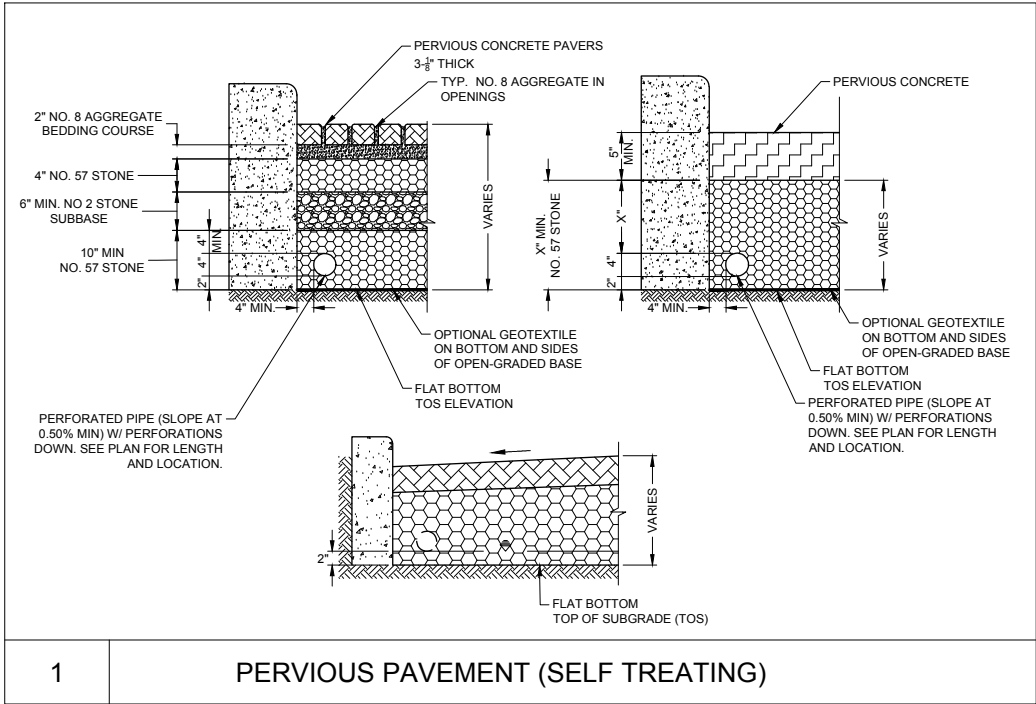
- II.C. EMAIL:
TBD
- II.D. ADDRESS:
TBD

SOURCE CONTROL MEASURES:

1. CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER
A) COVERED TRASH/RECYCLING ENCLOSURES
B) COVERED LOADING DOCKS AND MAINTENANCE BAYS
2. BENEFICIAL LANDSCAPING.
3. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
4. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
5. STORM DRAIN LABELING.

SITE DESIGN MEASURES:

1. PROTECT EXISTING TREES, VEGETATION, AND SOIL.
2. PRESERVE OPEN SPACE AND NATURAL DRAINAGE PATTERNS.
3. LANDSCAPING
- a. WALKWAYS AND PATIOS.
- b. PRIVATE STREETS AND SIDEWALKS.
4. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
5. CLUSTER STRUCTURES/PAVEMENT.
6. PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.



REV. DATE SEPTEMBER 2018

STORMWATER NOTES:

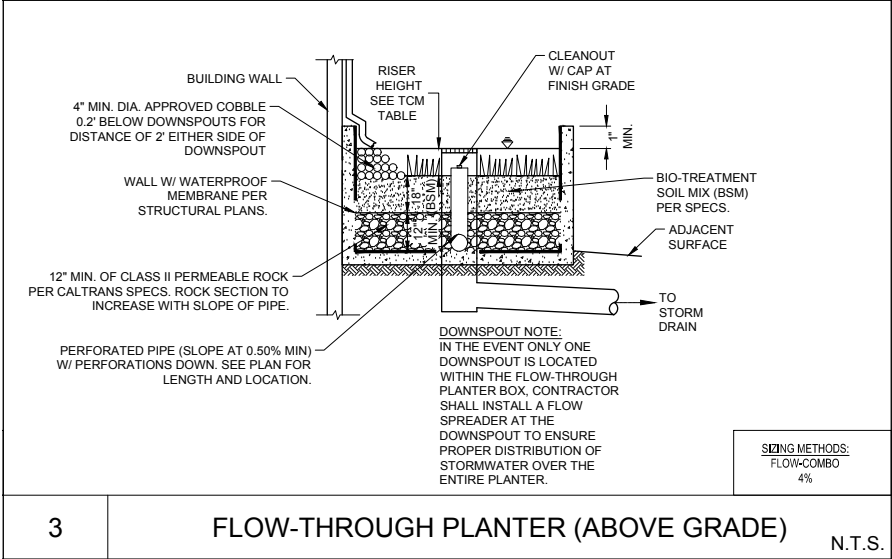
1. STORM DRAIN LABELING: STORM DRAIN INLETS MUST BE CLEARLY MARKED WITH THE WORDS "NO DUMPING - FLOWS TO ADOBE CREEK."
2. STORMWATER BEST MANAGEMENT PRACTICES (BMPs) ASSOCIATED WITH REFUSE MANAGEMENT (INCLUDING ACTIONS RELATED TO REFUSE PICK-UP AND THE ENCLOSURE ITSELF) SHALL BE FOLLOWED TO ENSURE POLLUTION PREVENTION AND PREVENTING POTENTIAL DISCHARGES TO THE CITY'S STORM DRAIN SYSTEM. STORMWATER BMPs INCLUDE, BUT ARE NOT LIMITED TO, POWER WASHING THE PAVEMENT ON BOTH THE PRIVATE PROPERTY AND IN THE RIGHT-OF-WAY AND SIDEWALK A MINIMUM OF ONCE PER YEAR BEFORE THE WET SEASON BEGINS ON OCTOBER 1ST; UTILIZING A POWER WASHING CONTRACTOR THAT IS A RECOGNIZED SURFACE CLEANER BY THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA); DISPOSING OF WASH WATER ACCORDING TO THE RECOGNIZED SURFACE CLEANER CERTIFICATION REQUIREMENTS; AND REMOVING ANY POTENTIAL TRASH BUILD-UP ON A REGULAR BASIS.
3. PAMC 16.09.170, 16.09.040 DISCHARGE OF GROUNDWATER PRIOR APPROVAL SHALL BE OBTAINED FROM THE CITY ENGINEER OR DESIGNEE TO DISCHARGE WATER PUMPED FROM CONSTRUCTION SITES TO THE STORM DRAIN. THE CITY ENGINEER OR DESIGNEE MAY REQUIRE GRAVITY SETTLING AND FILTRATION UPON A DETERMINATION THAT EITHER OR BOTH WOULD IMPROVE THE WATER QUALITY OF THE DISCHARGE. CONTAMINATED GROUND WATER OR WATER THAT EXCEEDS STATE OR FEDERAL REQUIREMENTS FOR DISCHARGE TO NAVIGABLE WATERS MAY NOT BE DISCHARGED TO THE STORM DRAIN. SUCH WATER MAY BE DISCHARGED TO THE SEWER, PROVIDED THAT THE DISCHARGE LIMITS CONTAINED IN PALO ALTO MUNICIPAL CODE (16.09.040(M)) ARE NOT EXCEEDED AND THE APPROVAL OF THE SUPERINTENDENT IS OBTAINED PRIOR TO DISCHARGE. THE CITY SHALL BE COMPENSATED FOR ANY COSTS IT INCURS IN AUTHORIZING SUCH DISCHARGE, AT THE RATE SET FORTH IN THE MUNICIPAL FEE SCHEDULE.

OR, (PLUME AREAS ARE SHOWN ON THE GIST MAPS, LOCATED AT CHARLESTON/SAN ANTONIO, PAGE MILL/EL CAMINO AND NEAR VA AT FOOTHILLS – ANY PROJECT WITHIN 2 BLOCKS SHOULD TEST GROUNDWATER)

THE PROJECT IS LOCATED IN AN AREA OF SUSPECTED OR KNOWN GROUNDWATER CONTAMINATION WITH VOLATILE ORGANIC COMPOUNDS (VOCs). IF GROUNDWATER IS ENCOUNTERED THEN THE PLANS MUST INCLUDE THE FOLLOWING PROCEDURE FOR CONSTRUCTION DEWATERING:

PRIOR TO DISCHARGE OF ANY WATER FROM CONSTRUCTION DEWATERING, THE WATER SHALL BE TESTED FOR VOLATILE ORGANIC COMPOUNDS (VOCs) USING EPA METHOD 601/602 OR METHOD 624. THE ANALYTICAL RESULTS OF THE VOC TESTING SHALL BE TRANSMITTED TO THE REGIONAL WATER QUALITY CONTROL PLANT (RWQCP) 650-329-2588. CONTAMINATED GROUND WATER THAT EXCEEDS STATE OR FEDERAL REQUIREMENTS FOR DISCHARGE TO NAVIGABLE WATERS MAY NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR CREEKS. IF THE CONCENTRATIONS OF POLLUTANTS EXCEED THE APPLICABLE LIMITS FOR DISCHARGE TO THE STORM DRAIN SYSTEM THEN AN EXCEPTIONAL DISCHARGE PERMIT MUST BE OBTAINED FROM THE RWQCP PRIOR TO DISCHARGE TO THE SANITARY SEWER SYSTEM. IF THE VOC CONCENTRATIONS EXCEED THE TOXIC ORGANICS DISCHARGE LIMITS CONTAINED IN THE PALO ALTO MUNICIPAL CODE (16.09.040(M)) A TREATMENT SYSTEM FOR REMOVAL OF VOCs WILL ALSO BE REQUIRED PRIOR TO DISCHARGE TO THE SANITARY SEWER. ADDITIONALLY, ANY WATER DISCHARGED TO THE SANITARY SEWER SYSTEM OR STORM DRAIN SYSTEM MUST BE FREE OF SEDIMENT. NOTICE OF REGULATION OF PCB MATERIAL – EFFECTIVE JULY 1ST, 2019: PLEASE BE ADVISED THAT NEW REQUIREMENTS REGARDING STORMWATER CONTROL DURING BUILDING DEMOLITION FOR POLYCHLORINATED BIPHENYLS (PCBS) BECAME EFFECTIVE STARTING JULY 1ST, 2019, IN ACCORDANCE WITH THE SAN FRANCISCO BAY REGION MUNICIPAL REGIONAL STORMWATER NPDES PERMIT (MRP), ORDER NO. R2-2015-0049, MRP PROVISION C.12.F. REQUIRES THAT SAN FRANCISCO BAY AREA MUNICIPALITIES DEVELOP A PROGRAM TO ENSURE THAT PCBs FROM BUILDING MATERIALS (E.G. CAULK, PAINT, MASTIC) DO NOT ENTER THE STORM DRAIN SYSTEM DURING BUILDING DEMOLITION. PALO ALTO CITY COUNCIL ADOPTED THE PCBs REGULATION IN MAY 2019. FOR SPECIFIC QUESTIONS ABOUT YOUR PROJECT, PLEASE EMAIL CLEANBAY@CITYOFFPALOALTO.ORG, CALL 650-329-2122 OR VISIT HTTP://WWW.CITYOFFPALOALTO.ORG/PCBDEMOPROGRAM.

	Pre-Project	Post-Project
Impervious Area	36,665	26,978
Pervious Area	896	10,585
Total Area	37,563	37,563



SIZING METHODS:
FLOW-COMBO
4%

N.T.S.

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (ft)	Storage Depth Required (ft)	Storage Depth Provided (ft)	Comments
1	-	Onsite	Self-treating areas	LID	N/A	127	0	-	127	0.34%	-	-	-	-	-	
2	-	Onsite	Self-treating areas	LID	N/A	406	0	-	406	1.08%	-	-	-	-	-	
3	-	Onsite	Self-treating areas	LID	N/A	664	75	-	589	1.77%	-	-	-	-	-	
4	-	Onsite	Self-treating areas	LID	N/A	700	0	-	700	1.86%	-	-	-	-	-	
5	-	Onsite	Self-treating areas	LID	N/A	672	0	-	672	1.79%	-	-	-	-	-	
6	-	Onsite	Self-retaining areas	LID	N/A	796	85	-	711	2.12%	-	-	-	-	-	
7	1	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	20' Flow 4% Method **	27,806	26,733	-	1,073	74.03%	1,070	1,073	6	-	-	Above-grade Planter
8	-	Onsite	Self-retaining areas	LID	N/A	948	85	-	863	2.52%	-	-	-	-	-	
9	-	Onsite	Self-treating areas	LID	N/A	185	0	-	185	0.49%	-	-	-	-	-	
10	-	Onsite	Self-treating areas	LID	N/A	2,245	0	-	2,245	5.98%	-	-	-	-	-	
11	-	Onsite	Self-treating areas	LID	N/A	836	0	-	836	2.23%	-	-	-	-	-	
12	-	Onsite	Self-treating areas	LID	N/A	1,544	0	-	1,544	4.11%	-	-	-	-	-	
13	-	Onsite	Self-treating areas	LID	N/A	633	0	-	633	1.69%	-	-	-	-	-	
Totals:						37,563	26,978	0	10,585	100.00%						

Footnotes:

* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.

** Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)

610800 TCM SUMMARY.xlsx

VEHICULAR VISION-TRIANGLE
NO SHRUBS >3' IN THIS AREA

PERMEABLE CONCRETE:
VEHICULAR RATED

GRASS-PAVE DRIVABLE VEGETATION

GROUND COVER AND SHRUBS

VEHICULAR VISION-TRIANGLE
NO SHRUBS >3' IN THIS AREA

BIKE RACK, NINE SLOTS

CONCRETE PERMEABLE PAVERS

BIKE RACK, NINE SLOTS

NEW STREET TREES
TYPICAL

SMALL TREE ALLEE
TYPICAL

GROUND COVER AND SHRUBS

CONCRETE PERMEABLE
PAVERS

RESIDENTIAL UNIT
PRIVACY FENCE

SAN ANTONIO ROAD

PRIVATE
PATIO

PRIVATE
PATIO

PRIVATE PATIO

PRIVATE PATIO

PRIVATE PATIO

PRIVATE PATIO

PRIVATE
PATIO

PRIVATE
PATIO

EXISTING FENCE TO REMAIN

ORNAMENTAL TREE IN RAISED
PLANTER (TYPICAL)

NATURAL MATERIAL BENCH (TYPICAL)

RAISED BIO-TREATMENT PLANTER

GREEN WALL VERTICAL GARDEN

SHRUBS AND GROUND COVER TO
MATCH VERTICAL GARDEN

DECORATIVE CONCRETE LINEAR
PAVERS

WOOD DECKING OR WOOD-LOOK TILE

BUILT-IN TABLE

BUILT-IN WOOD TOPPED BENCH
WITH BANQUETTE SEATING

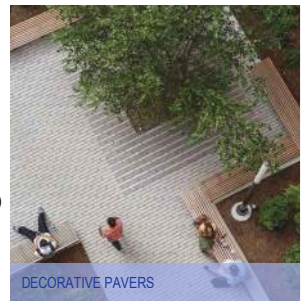
FIRE ACCESS PATHWAY,
PERMEABLE SURFACE FOR
FIRE ACCESS



COURTYARD PLANTING PALETTE



SPLIT-FACE NATURAL STONE BENCHES



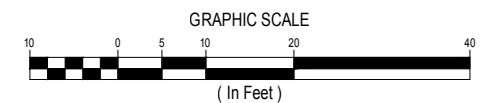
DECORATIVE PAVERS



WOOD DECKING OR WOOD-LOOK TILE



COURTYARD GREEN WALL



CONSTRUCTION PLAN NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE INSTALLATION OF ALL IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING INSTALLATION. IF ANY DISCREPANCIES EXIST, THEY SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND STAKING ALL SEWER, WATER AND UTILITY LINES ABOVE OR BELOW GRADE THAT MIGHT BE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED FOR REPAIR, RESTORATION, OR REPLACEMENT OF AFOREMENTIONED UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS.

DEVIATIONS BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

HARDSCAPE AND STRUCTURAL ELEMENTS SHALL BE PLACED PER GEOTECHNICAL SOILS REPORT. IF SUCH REPORT IS UNAVAILABLE, CONTRACTOR SHALL DISCUSS PLACEMENT ON SUITABLE GRADE WITH THE OWNER'S AUTHORIZED REPRESENTATIVE.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL MATERIALS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF-SITE.

COSTS INCURRED DUE TO REPAIR, RESTORATION, OR REPLACEMENT OF EXISTING IMPROVEMENTS WHICH ARE DESIGNATED "TO BE PROTECTED" OR "TO REMAIN" WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, MATERIALS TO BE PURCHASED AND FURNISHED BY THE CONTRACTOR SHALL BE NEW.

CONCRETE INDICATED FOR SAWCUTTING AND REMOVAL SHALL BE CUT TO A TRUE LINE WITH NEATLY SAWED EDGES. IF A SAWCUT IS WITHIN THREE FEET (3') OF AN EXISTING EXPANSION OR CONTROL JOINT, CONCRETE SHALL BE REMOVED TO THAT NEAREST JOINT.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, MANUFACTURER'S CUT OR DATA SHEETS FOR APPROVAL PRIOR TO ORDERING MATERIALS. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ABANDONED PIPES SHALL BE CAPPED OR PLUGGED IN A MANNER APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

MATERIALS LIST

CONCRETE PAVING:
NATURAL COLOR CONCRETE. MEDIUM BROOM FINISH PERPENDICULAR TO THE PATH OF TRAVEL.

CONCRETE PAVERS:
STEPSTONE LARGE SCALE LINEAR PAVER. COLOR FRENCH GRAY.

GRASS PAVE:
GRASS PAVE 2 INSTALLED PER MANUFACTURER'S DIRECTIONS.

NATURAL MATERIAL BENCH:
SPLIT-FACE GRAY GRANITE

GREEN WALL SYSTEM:
TBD

WOOD DECKING:
KEBONY CLEAR DECKING SURFACE. FLUSH MOUNT TO ADJACENT PAVING OR PAVERS.

BUILT-IN TABLE:
TBD

BUILT-IN WOOD TOPPED BENCH:
WOOD TOP: KEBONY CLEAR BOARDS

EXTERIOR BIKE RACK:
DUMOR 188-09 (9 SPACE RACK). MOUNT: EMBED . COLOR: BLACK SIZE: 9



G FLUSH WOOD DECKING

SCALE: NTS



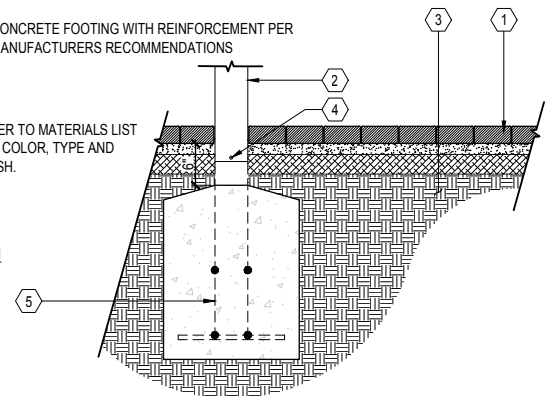
F GRASS PAVE

SCALE: NTS

- 1 ADJACENT INTERLOCKING PAVERS. SEE MATERIALS LIST
- 2 BIKE RACK. IMBED MOUNT. SEE MATERIAL LIST FOR MAKE, MODEL & FINISH
- 3 NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE
- 4 DIRECT EMBEDMENT BIKE RACK PER MANUFACTURERS RECOMMENDATIONS
- 5 CONCRETE FOOTING WITH REINFORCEMENT PER MANUFACTURERS RECOMMENDATIONS

NOTES:
1. REFER TO MATERIALS LIST FOR COLOR, TYPE AND FINISH.

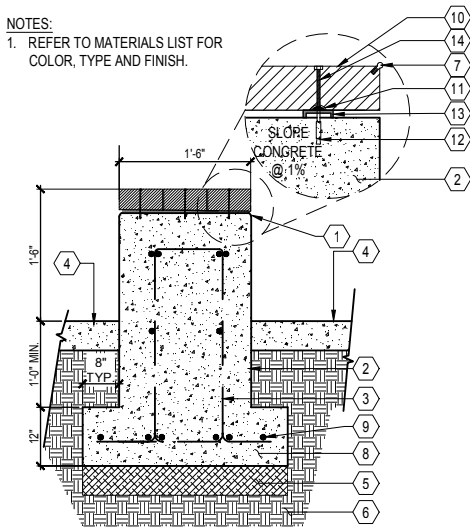
SECTION



E BIKE RACK IN PERMEABLE CONCRETE PAVERS

SCALE: 1"=1'-0"

NOTES:
1. REFER TO MATERIALS LIST FOR COLOR, TYPE AND FINISH.



- 1 1/2" RADIUS EDGE, TYPICAL
- 2 POURED IN PLACE CONCRETE WALL
- 3 REBAR #4 @ 16" O.C. VERTICAL 3" CLEAR, ALTERNATE HOOKS INTO FOOTING AS SHOWN
- 4 ADJACENT PAVING PER PLAN
- 5 COMPACTED NON EXPANSIVE FILL, THICKNESS AND COMPACTION PER GEOTECHNICAL RECOMMENDATION
- 6 NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- 7 SKATEBOARD DETERRENT, 4' O.C. MAX. SEE MATERIALS LIST
- 8 CONCRETE FOOTING
- 9 REBAR #4 CONTINUOUS MAINTAIN 3" CLEAR, TYPICAL.
- 10 3" X 6" WOOD SLATS
- 11 KERF WOOD SO IT LIES FLUSH AGAINST SURFACE
- 12 CONCRETE WEDGE ANCHOR
- 13 3/8" GALVANIZED STEEL C-CHANNEL @ 18" OC
- 14 BLACK OXIDE SQUARE DRIVE SELF TAPPING SCREWS COUNTERSUNK SO THE SCREW HEAD IS FLUSH WITH THE FACE OF SURFACE. ALIGNED IN A STRAIGHT LINE AT THE SURFACE, SPACED EQUAL DISTANCE APART.

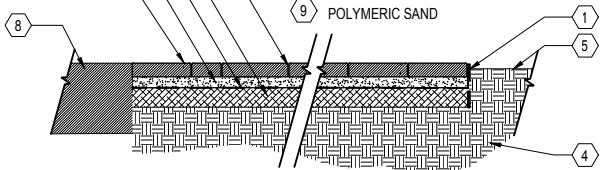
D LANDSCAPE WALL WITH WOOD CAP

SCALE: 1"=1'-0"

NOTE:
1. SEE MATERIALS LIST FOR COLOR, TYPE AND FINISH.
2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

- 1 ALUMINUM HEADER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- 2 BASE PER GEOTECHNICAL RECOMMENDATIONS.
- 3 FILTER FABRIC
- 4 NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE
- 5 FINISHED GRADE 2" BELOW FOR SHRUB AREAS
- 6 PERMEABLE CONCRETE PAVER, HOLD TIGHT
- 7 1" DEEP SAND LEVELING BED
- 8 ADJACENT PAVING OR CURB
- 9 POLYMERIC SAND

SECTION

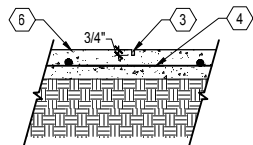


C PERMEABLE CONCRETE PAVERS OVER SAND

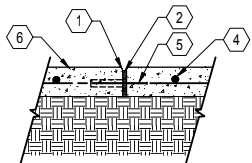
SCALE: 1"=1'-0"

NOTES:
1. SEE MATERIALS LIST FOR COLOR, TYPE AND FINISH.
2. CONTROL JOINTS SHALL BE PROVIDED AS SHOWN ON THE PLANS AND WITH A MAXIMUM SPACING OF 8' O.C. EXPANSION JOINTS SHALL BE AS SHOWN ON PLANS WITH A MAXIMUM SPACING OF 12' O.C.

- 1 1/2" RADIUS EDGE
- 2 1/2"x3" POLYFELT EXPANSION JOINT (TYPICAL). TOP WITH 2 PART SELF-LEVELING SEALER TO MATCH CONCRETE COLOR
- 3 TOOLED OR SAW CUT CONTROL JOINT 3/4" DEEP
- 4 REINFORCEMENT PER PAVING DETAIL
- 5 12" SMOOTH DOWEL. SLEEVE OR GREASE ONE END. FOR SIDEWALKS UP TO 8' WIDE USE 2 EQUALLY SPACED DOWELS PER EXPANSION JOINT. FOR FLAT WORK GREATER THAN 8' WIDE AND AT CURBS SPACE DOWELS AT 36" O.C. AT EXPANSION JOINT.
- 6 CONCRETE PAVING, SEE CONCRETE PAVING DETAIL



CONTROL JOINT



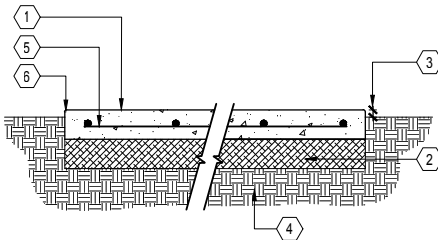
EXPANSION JOINT

B PAVING JOINTS (PEDESTRIAN)

SCALE: 1"=1'-0"

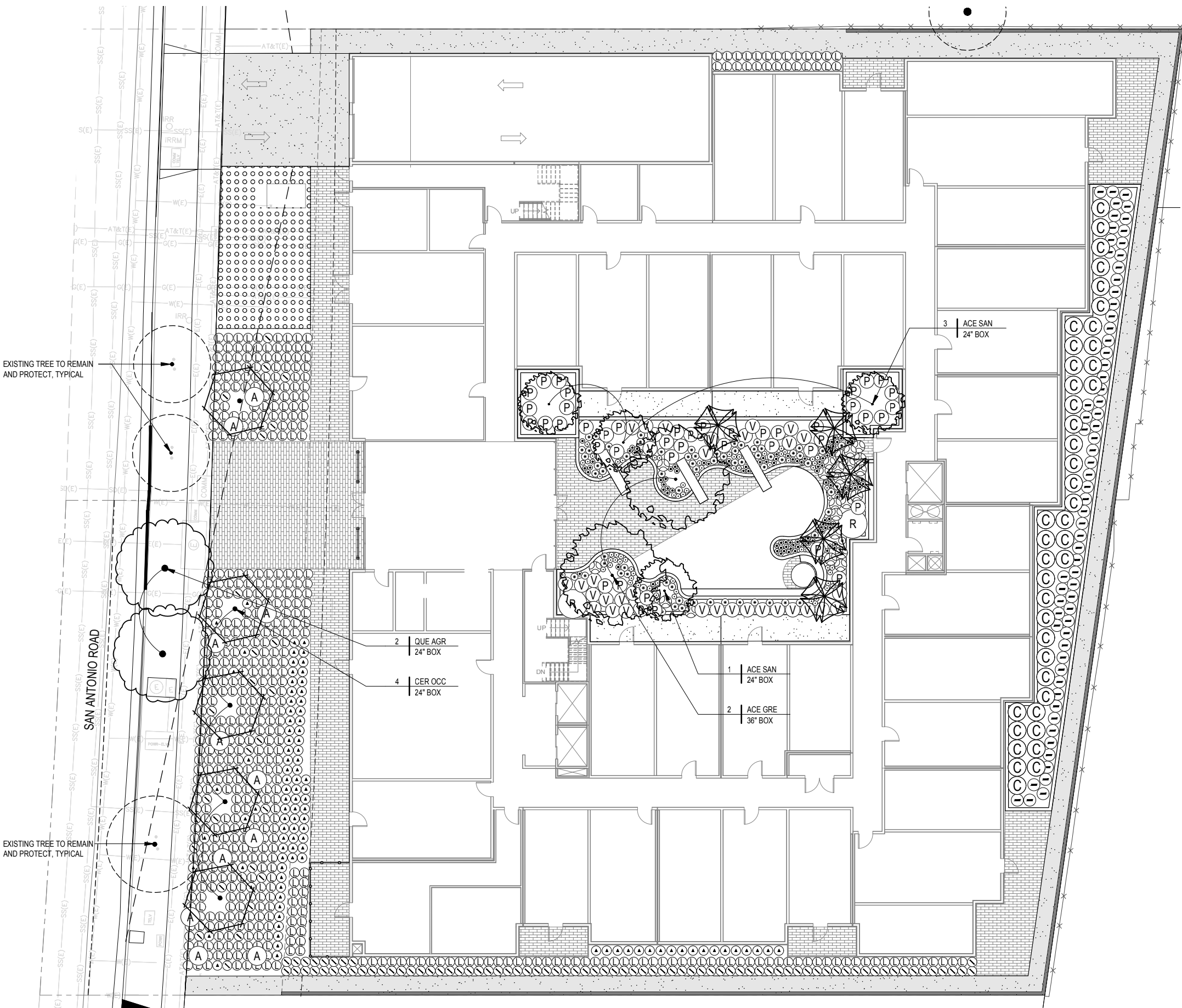
NOTES:
1. SEE MATERIALS LIST FOR COLOR TYPE AND FINISH.

- 1 4" THICK CONCRETE PAVING
- 2 4" CLASS 2 AGGREGATE BASE COMPACTED TO 90%
- 3 FINISH GRADE TO BE 1" BELOW FOR TURF, 2" FOR SHRUB AREAS
- 4 NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE
- 5 #3 REBAR @ 18" O.C. EACH WAY, WITH 3" CLEAR
- 6 1/2" RADIUS EDGE

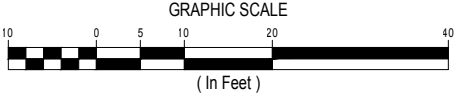


A CONCRETE PAVING (PEDESTRIAN)

SCALE: 1"=1'-0"



COURTYARD LANDSCAPE LEGEND	
BOTANICAL NAME	SYMBOL
ATHYRIUM FILIX-FEMINA	⊙
DICENTRA SPECTABILIS 'BLEEDING HEART'	⊖
DICKSONIA ANTARCTICA	⬠
HEUCHERA MAXIMA	⊙
HEUCHERA 'WENDY'	⊙
POLYSTICHUM MINUTUM	Ⓟ
RHODODENDRON MACROPHYLLUM	Ⓡ
VIBURNUM DAVIDII	Ⓥ
BIOTREATMENT LANDSCAPE LEGEND	
BOTANICAL NAME	SYMBOL
CHONDROPETALUM TECTORUM	Ⓢ
JUNCUS PATENS	⊖
STREETSCAPE LANDSCAPE LEGEND	
BOTANICAL NAME	SYMBOL
AGAVE OVATIFOLIA	Ⓐ
ANIGOZANTHOS 'BIG RED'	⊙
BULBINE FRUTESCENS	Ⓢ
LOMANDRA LONGIFOLIA 'BREEZE'	Ⓛ
PG&E ACCESS LANDSCAPE	
GRASSPAVE WITH MOW-FREE FESCUE	ⓈⓈⓈⓈ



PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	MATURE HxW	WUCOLS*
COURTYARD PLANTING					
☉	ATHYRIUM FILIX-FEMINA	LADY FERN	1 GALLON	2' X 2'	M
☼	DICENTRA SPECTABILIS 'BLEEDING HEART'	BLEEDING HEART	1 GALLON	30" X 30"	M
☼	DICKSONIA ANTARCTICA	TREE FERN	15 GALLON	12X8'	H
☼	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GALLON	1' X 1'	M
☼	HEUCHERA 'WENDY'	ISLAND ALUM ROOT	1 GALLON	1' X 1'	M
☼	POLYSTICHUM MINITUM	WESTERN SWORD FERN	5 GALLON	3' X 3'	M
☼	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	5 GALLON	6' X 6'	M
☼	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GALLON	18" X 18"	M
☼	VIBURNUM DAVIDII	DAVID VIBURNUM	1 GALLON	3' X 3'	M

BIOTREATMENT PLANTING

☼	CHONDROPETALUM TECTORUM	CAPE REED	1 GALLON	3' X 3'	L
☼	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GALLON	18" X 18"	L

****NOTE: ALL BIOTREATMENT PLANTING AREAS SHALL RECIEVE 3" OF NON-FLOATABLE MULCH PER C.3 HANDBOOK RECOMMENDATIONS.**

STREETSCAPE PLANTING

☼	AGAVE OVATIFOLIA	WHALE'S TONGUE AGAVE	1 GALLON	3' X 3'	L
☼	ANIGOZANTHOS 'BIG RED'	KANGAROO PAW	1 GALLON	5' X 2'	L
☼	BULBINE FRUTESCENS	ORANGE STALKED BULBINE	1 GALLON	2' X 3'	L
☼	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GALLON	3' X 2'	L

TREES

ACE GRE	ACER PALMATUM 'GREEN LEAF'	GREEN LEAF JAPANESE MAPLE	36" BOX	20' X 15'	M
ACE SAN	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	36" BOX	20' X 15'	M
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX PRIVATE STREET FRONT	15' X 15'	L
QUE AGR	QUERCUS AGRIFOLIA	COSTAL LIVE OAK	24" BOX STREET TREE	40' X 40'	L

PLANTING PLAN NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) OR LOCAL AGENCY ADOPTED WELO. CONTRACTOR SHALL OBTAIN A SOILS MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

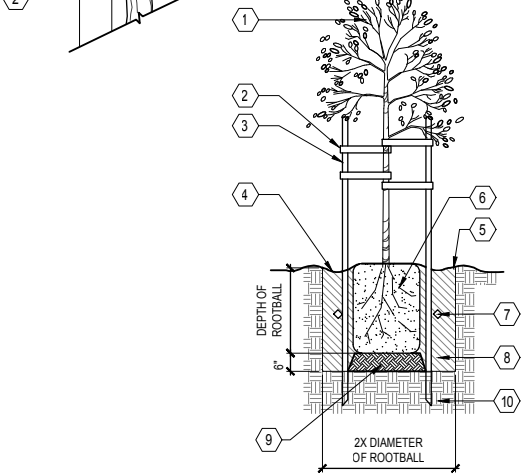
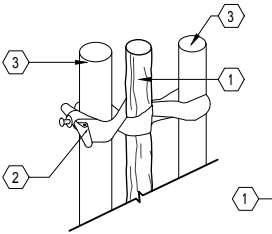
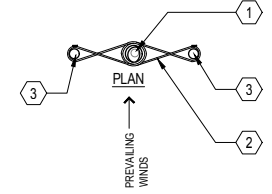
CONTRACTOR MUST CONTACT THE PALO ALTO URBAN FORESTRY AT 650-496-5953 TO VERIFY SPECIES (EVEN IF SHOWN ON THE PLANS), LOCATIONS, AND QUANTITIES OF ALL STREET TREES PRIOR TO ORDERING MATERIAL. IF STREET TREES ARE TO BE PLANTED IN TREE WELLS, FINAL LOCATION OF TREE WELLS SHALL BE DETERMINED BY THE ARBORIST PRIOR TO INSTALLATION OF SIDEWALK.

ALL PLANTING AREAS TO RECEIVE 3" MULCH LAYER. CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED BARK MULCH FOR APPROVAL. BARK MULCH SHALL BE LYNOSO SMALL FIR BARK (3/4" TO 1-1/2") OR APPROVED EQUAL.

ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1)
FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LINE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4", CALIPER SHALL BE MEASURES 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS.
CALIPER IS MEASURED 6" ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.

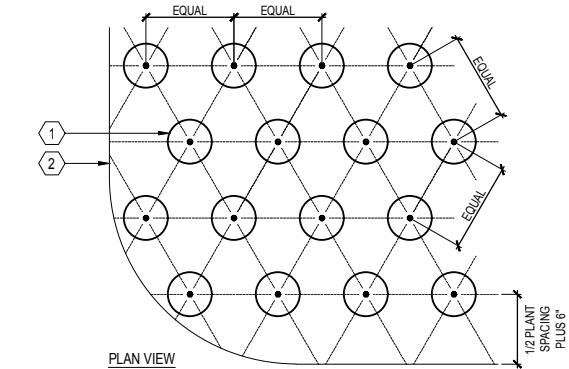
lowney arch	CALIPER SIZES STANDARDS:	WATER NEEDS CATEGORY BASED ON WUCOLS IV (JANUARY 2014) LANDSCAPE COEFFICIENT METHOD:
	15 GALLON: 0.75-1.25"	
	24" BOX: 1.25-2"	
	36" BOX: 2-3.5"	
	48" BOX: 3.5-5"	
HMM	60" BOX: 4-6"	
	CATEGORY	PERCENTAGE OF ETO
	(H) HIGH:	0.7-0.9
	(M) MEDIUM:	0.4-0.6
	(L) LOW:	0.1-0.3
	(VL) VERY LOW:	<0.1

NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. ROOTBALL CROWN TO EXTEND 1" ABOVE FINISH GRADE.



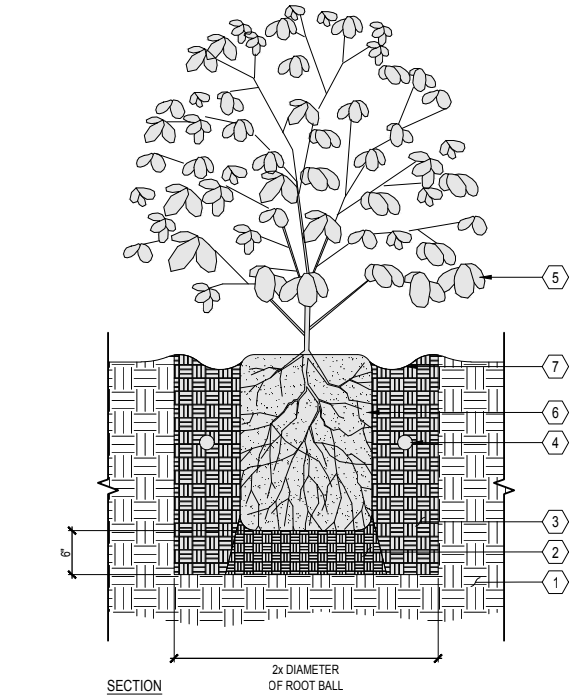
C TREE STAKING (DOUBLE)
SCALE: N.T.S.

NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. SPACING SHALL BE TRIANGULATED UNLESS OTHERWISE NOTED.
3. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.



B GROUNDCOVER
SCALE: 1" = 1'-0"

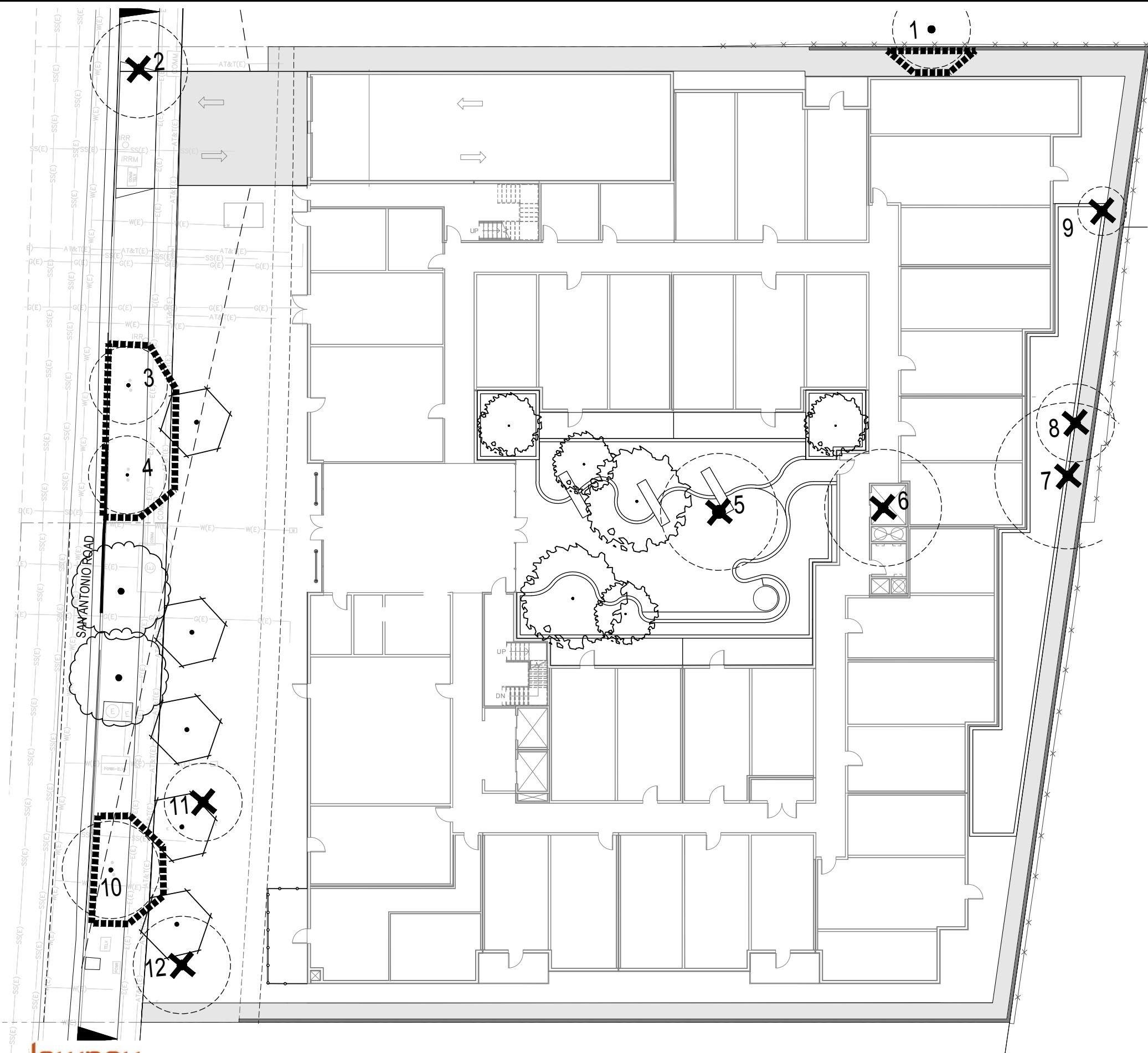
NOTES:
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. ROOT BALL CROWN SHALL EXTEND 1" ABOVE FINISH GRADE.



A SHRUB
SCALE: 1" = 1'-0"

Landscape Construction Plan

SAN ANTONIO ROAD HOUSING - TIMESPACE GROUP
800/808 SAN ANTONIO ROAD 07/26/2023



TREE PROTECTION LEGEND

DESCRIPTION	SYMBOL
TREE TO BE REMOVED	
TREE TO REMAIN/PROTECT	
PROPOSED TREES	
TREE PROTECTION FENCING (SEE DETAIL, THIS SHEET)	

ON-SITE TREE REMOVAL TABLE

	CANOPY SIZE	QTY	REPLACEMENT RATIO-SIZE	QUANTITY REQUIRED
TOTAL TREES TO BE REMOVED	4'-9'	0	2:1 - 24" BOX	0
	10'-27'	6	3:1 - 24" BOX	18
	28'-40'	1	4:1 - 24" BOX	4

TREE REMOVAL SUMMARY

TOTAL TREES TO BE REMOVED	8
TOTAL TREES REQUIRED TO BE MITIGATED	6
TOTAL TREES TO BE PLANTED AS PART OF THIS PROJECT SEE SHEET L-7 FOR PROPOSED TREES	13

- IF QUANTITY OF PROPOSED TREES ARE NOT EQUAL TO OR GREATER THAN REQUIRED TREES, THE PROJECT IS SUBJECT TO MITIGATION FEES PER CITY OF PALO ALTO POLICY.
- A PROTECTED TREE IS: ALL COAST LIVE OAK, QUERCUS AGRIFOLIA, VALLEY OAK, QUERCUS LOBATA THAT ARE 11.5-INCHES OR GREATER IN DIAMETER (36-INCHES IN CIRCUMFERENCE MEASURED AT 54-INCHES ABOVE NATURAL GRADE) AND COAST REDWOOD, SEQUOIA SEMPERVIRENS THAT ARE 18-INCHES OR GREATER IN DIAMETER (57-INCHES IN CIRCUMFERENCE MEASURED AT 54-INCHES ABOVE NATURAL GRADE) AND HERITAGE TREES, INDIVIDUAL TREES OF ANY SIZE OR SPECIES DESIGNATED BY CITY COUNCIL HAVING DISTINCTIVE CHARACTERISTICS SUCH AS GREAT AGE, LARGE, UNIQUE FORM OR POSSESS HISTORICAL SIGNIFICANCE.
- A DESIGNATED TREE IS: ALL TREES THAT ARE SPECIFICALLY DESIGNATED BY THE CITY TO BE SAVED AND PROTECTED ON A PUBLIC OR PRIVATE PROPERTY WHICH IS SUBJECT TO DISCRETIONARY DEVELOPMENT APPROVAL, SUCH AS VARIANCE, HOME IMPROVEMENT EXCEPTION, ARCHITECTURAL REVIEW, SITE AND DESIGN, SUBDIVISION, ETC. DESIGNATED TREES ARE TO BE INDICATED ON APPROVED BUILDING PERMIT OR LANDSCAPE PLANS.
- SEE THE ARBORIST EVALUATION TABLE ON SHEET T-4 DATED 3/23/2022 FOR ADDITIONAL INFORMATION.
- THE SIZE OF A 24-INCH BOX REPLACEMENT TREE CAN BE INCREASED TO 36-INCH BOX AND COUNT AS TWO REPLACEMENT TREES, OR INCREASED TO 48-INCH BOX AND COUNT AS FOUR REPLACEMENT TREES.
- TREE REPLACEMENT SHALL BE PROPOSED WITH PD PERMIT APPLICATION.
- ALL NON STREET TREES SHOWN ARE INTENDED TO APPLY TO MITIGATION REQUIREMENTS. EXACT LOCATIONS AND QUANTITIES SUBJECT TO UTILITY COORDINATION. TREES NOT MITIGATED ON SITE WILL BE SUBJECT TO THE CITY OF PALO ALTO'S IN LIEU FEE.

TREE #	BOTANICAL NAME	COMMON NAME	DBH (INCHES)	CIRCUMFERENCE (INCHES)	CANOPY SIZE DIAMETER (FEET)	PROTECTED / STREET TREE / DESIGNATED TREE	HEALTH	TO BE REMOVED (Y/N)	PRESERVATION SUITABILITY	NOTES
1	<i>Ailanthus altissima</i>	Tree of Heaven	18	57	15.0	No	2	Y	Poor	Growing in Fence, SD, CR
2	<i>Quercus agrifolia</i>	Coast Live Oak	8	25	18.0	Yes	4	Y	Good	
3	<i>Quercus agrifolia</i>	Coast Live Oak	7	20	15.0	Yes	3	N	Moderate	
4	<i>Quercus agrifolia</i>	Coast Live Oak	6	19	15.0	Yes	3	N	Moderate	
5	<i>Quercus ilex</i>	Holly oak	33	104	25.0	No	2	Y	Poor	Growing in Fence, SD, CR
6	<i>Quercus ilex</i>	Holly oak	21	66	23.0	No	2	Y	Poor	Growing in Fence, SD, CR
7	<i>Ailanthus altissima</i>	Tree of Heaven	17	53	30.0	No	3	Y	Moderate	
8	<i>Fraxinus udehi</i>	Ash Tree	13	41	15.0	No	2	Y	Poor	CR, SD, LN
9	<i>Fraxinus udehi</i>	Ash Tree	20	63	10.0	No	2	Y	Poor	Growing in Fence. SD
10	<i>Ulmus 'frontier'</i>	Frontier Elm	10	31	20.0	Yes	3	N	Moderate	
11	<i>Pinus thunbergii</i>	Japanese Black Pine	8	25	15.0	No	3	Y	Moderate	
12	<i>Cedrus atlantica glauca pendula</i>	Weeping Atlas Cedar	10	31	20.0	No	3	Y	Moderate	