



**FAR CALCULATION**

SIZE OF LOT: 110, 423 SQUARE FEET (SF)  
NOTE THAT PURSUANT TO THE ZONING CODE, ALLOWABLE FLOOR AREA RATIO (FAR) IS 0.4:1 FOR THE DEALERSHIP AND ADDITIONAL 0.2:1 FOR THE SHWRROOM SPACE

ALLOWED:  
0.40:1 = 44,169 SF ALLOWED  
0.20:1 = 22,084 SF ALLOWED

PROPOSED:  
30,814 SF FOR DEALERSHIP  
4,499 SF FOR EXCLUDED SERVICE DRIVE  
30,814 SF TOTAL

\*SEE SHEET 04 FOR AREA DIAGRAM

**PROJECT SUMMARY**

THIS PROJECT ENTAILS THE CONSTRUCTION OF A NEW AUTOMOTIVE DEALERSHIP WITH A SERVICE FACILITY. THE BUILDING HAS A PARAPET OF 26'-0" AND A PYLON TOWER OF 36'-0". EXTERIOR CLADDING OF THE PROPOSED FACILITY WILL CONSIST OF GLAZING, ACM PANELS, RIBBED METAL PANELS, RECLAIMED WOOD SIDING, STUCCO, AND A LANDSCAPE WALL.

THE REAR OF THE SITE CONTAINS A DRIVEWAY ALLOWING ACCESS FROM THE PROPOSED MERCEDES-BENZ DEALERSHIP TO THE EXISTING AUDI DEALERSHIP NEXT DOOR.

THIS BUILDING HAS MIXED OCCUPANCY CLASSES OF B, S-1, AND S-2.

**PARKING CALCULATIONS**

CUSTOMER PARKING REQUIRED - 1 SPACE PER 400 SF OF SALES, SERVICE, AND OFFICE ADMINISTRATION. 1 SPACE PER 500 SF OF EXTERIOR DISPLAY

TOTAL SALES, SERVICES AND OFFICE AREA = 30,814 SF / 400 = 77.03 SPACES  
TOTAL EXTERIOR DISPLAY = 3,414 SF / 500 = 6.83 SPACES  
TOTAL CUSTOMER PARKING = 85 SPACES  
TOTAL INVENTORY PARKING = 41 SPACES  
TOTAL DISPLAY PARKING = 20 SPACES  
TOTAL PARKING = 146 SPACES  
BICYCLE PARKING = 1 SPACE PER 10 EMPLOYEES, 40 EMPLOYEES = 4 BIKE SPACES  
2 LOADING SPACES = 12' X 45'

**EXISTING SITE SUMMARY**

EXISTING PARCEL: 110,432 SF OR 2.535 AC  
EXISTING FLOOR AREA: 15,207 SF  
EXISTING PARKING: 161 SPACES

00	Cover Sheet
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C-3.1	Grading Plan
C-3.2	Plan and Profile
C-4.1	Utility Plan
C-5.1	Demo Notes
C-5.2	Demo Notes
CT-P	Truck Movement Plan
L-1	Overall Landscape Plan
L-2	Parking Exhibit
L-3	Landscape Details
T-1	Special Tree Protection Instructions
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20	Streetscape
21	Material board
22	Signage Details
1	1st Floor Photometric
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3	2nd Floor Photometric
4	2nd Floor RCP
5	Site Lighting



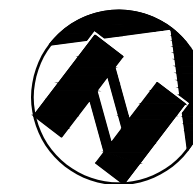
AERIAL VIEW



NEIGHBORHOOD CONTEXT



EMBARCADERO ROAD (R/W 68')



GRAPHIC SCALE  
1"=20'

NOTES:

1. THE EASEMENT AREA, TRANSFORMER AND OTHER UTILITY LINES WILL BE SHOWN WHEN THE UTILITY LINES ARE DESIGNED AND APPROVED BY CITY. AS PART OF THE CONSTRUCTION DOCUMENTS.
2. LOCATION OF ELECTRIC METERS WILL BE SHOWN AS PART OF THE CONSTRUCTION DOCUMENT. AT THIS TIME WE DO NOT HAVE FINAL DESIGN YET.

NOTES:

- (A) 4 BIKE RACKS, SEE ARCHITECTURAL PLANS.
- (B) 2 EV CHARGING STATIONS, SEE ARCHITECTURAL PLANS.
- (C) THE ENCLOSURE WILL BE SHARED WITH THE NEIGHBORING BUILDING, 1730 EMBARCADERO RD. IF THE TWO LOCATIONS ARE SHARING, THEN THE APPLICANT MUST PROVIDE A COVERED REFUSE ENCLOSURE LARGE ENOUGH TO HOUSE FOUR - 4CY BINS. APPLICANT IS REQUIRED TO FOLLOW THE "REFUSE ENCLOSURE GUIDELINES" AND THE "ENCLOSURE DESIGN GUIDE" WHEN DESIGNING AND BUILDING THE REFUSE ENCLOSURE.

LEGEND:

- VEHICLE INVENTORY PARKING
- VEHICLE DISPLAY PARKING
- BIO RETENTION AREAS
- EXISTING FENCE
- PROPOSED RETAINING WALL

1 <sup>ST</sup> FLOOR DEALERSHIP	30,814 SF
2 <sup>ND</sup> FLOOR DEALERSHIP	5,715 SF
TRASH ENCLOSURE	381 SF
SERVICE DRIVE	4,499 SF
TOTAL (EXCLUDED)	4,880 SF

EXCLUDED (SERVICE DRIVE) 4,382 SF

SIZE OF LOT: 110,432 SQUARE FEET (SF)  
NOTE THAT PURSUANT TO THE ZONING CODE, ALLOWABLE FLOOR AREA RATIO (FAR) IS 0.4:1 FOR DEALERSHIP AND ADDITIONAL 0.2:1 FOR SHOWROOM SPACE.

ALLOWED:  
0.40:1 = 44,169 SF ALLOWED  
0.20:1 = 22,084 SF ALLOWED

PROPOSED:  
26,336 FOR DEALERSHIP  
4,097 FOR SHOWROOM  
381 FOR TRASH ENCLOSURE

PARKING CALCULATIONS:

CUSTOMER PARKING REQUIRED 1 SPACE PER 400 SF OF SALES, SERVICE, AND OFFICE ADMINISTRATION. 1 SPACE PER 500 SF OF EXTERIOR DISPLAY.

TOTAL SALES, SERVICE AND OFFICE AREA = 30,814 SF/400 = 77.03 SPACES

TOTAL EXTERIOR DISPLAY = 3414 SF/500 = 6.83 SPACES

TOTAL PARKING REQUIRED = 85 SPACES

TOTAL PARKING PROVIDED = 85  
TOTAL PARKING INVENTORY = 41

PARKING SUMMARY:

CUSTOMER PARKING: 85  
INVENTORY PARKING: 41  
DISPLAY PARKING: 20  
TOTAL PARKING: 146

EXISTING SITE SUMMARY:

EXISTING PARCEL: 110,432+/-SF OR 2.535+/-AC  
EXISTING FLOOR AREA: 15,207+/-SF  
EXISTING PARKING: 161 SPACE

PARCEL ONE  
LLA 20544106  
APN: 008-03-084  
AREA = 110,432 SQ.FT.  
OR 2.535 ACRES±

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801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778	ams associates, inc.	ENGINEERING	SURVEYING
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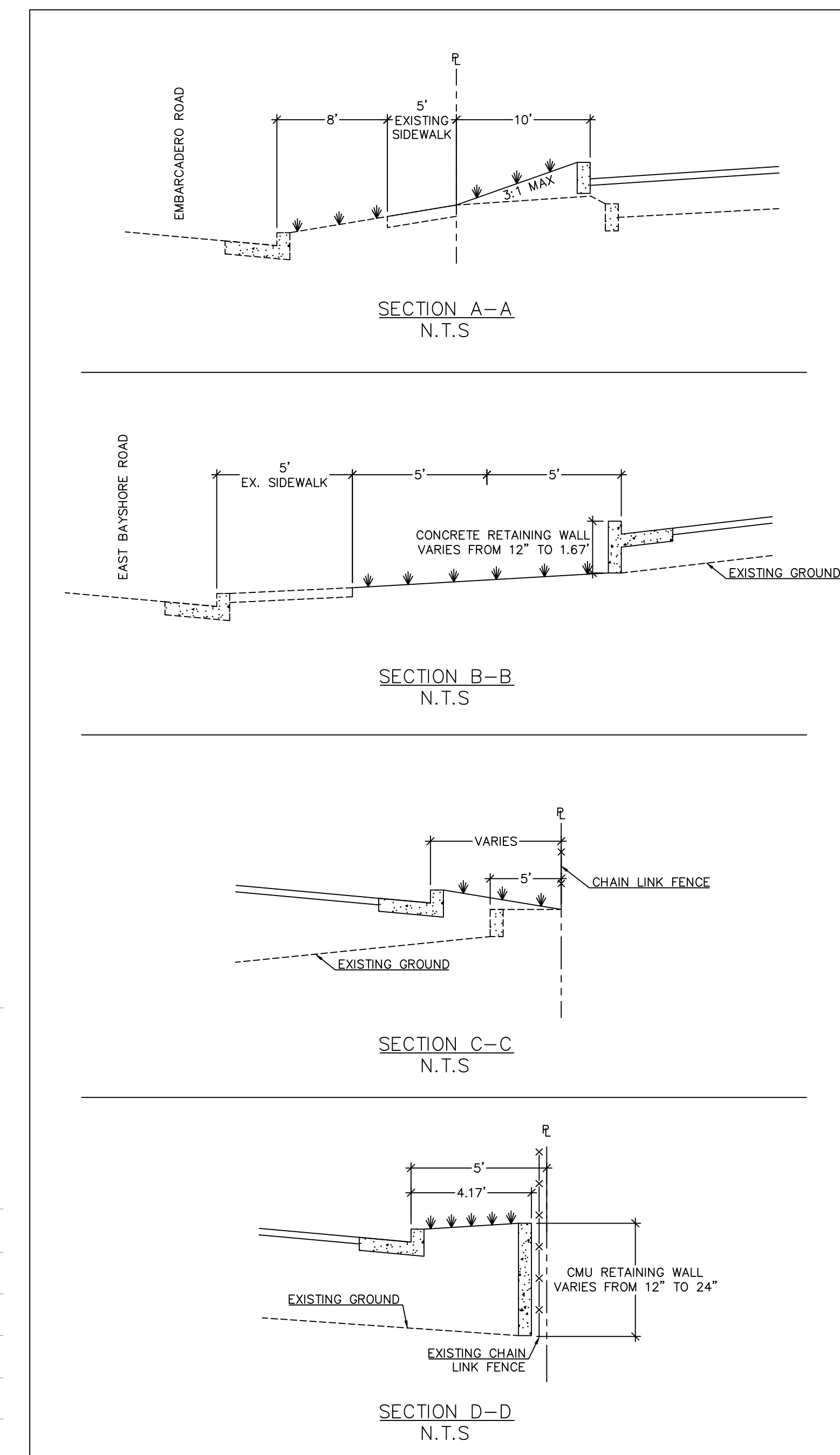
HORIZONTAL CONTROL MERCEDES-BENZ OF PALO ALTO	1700 EMBARCADERO RD PALO ALTO SANTA CLARA COUNTY CALIFORNIA
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SHEET C-21 OF	PROJECT 20-2518
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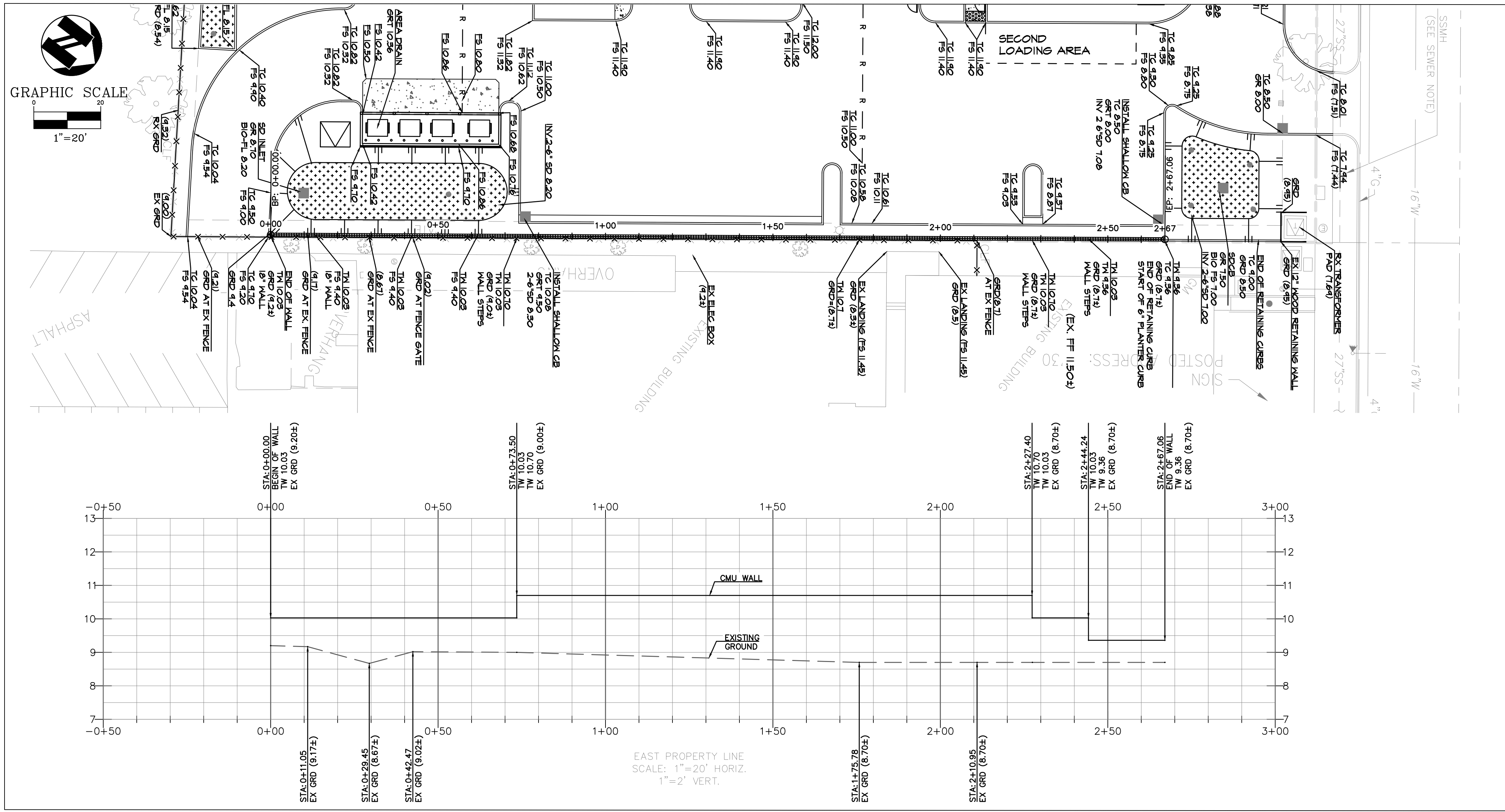
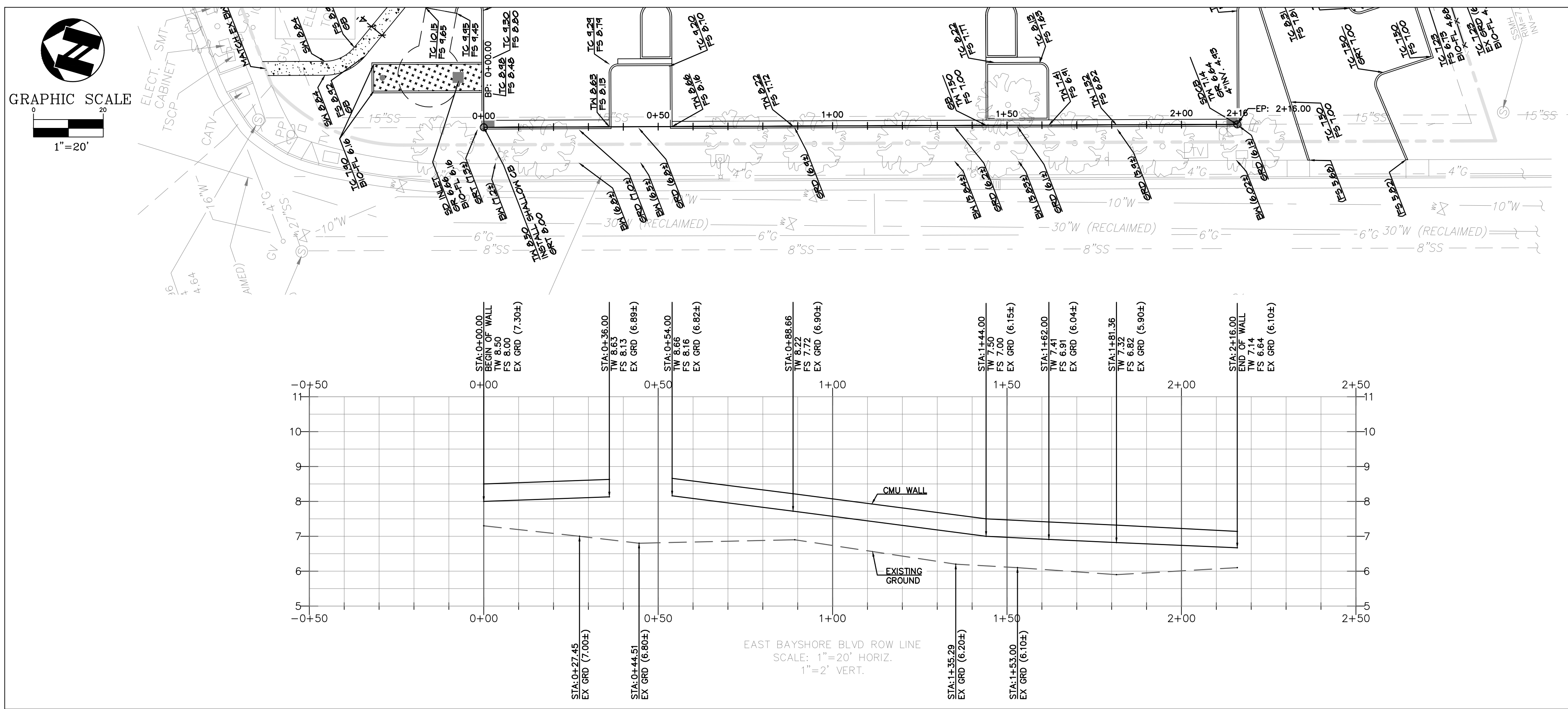
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1" = 20'



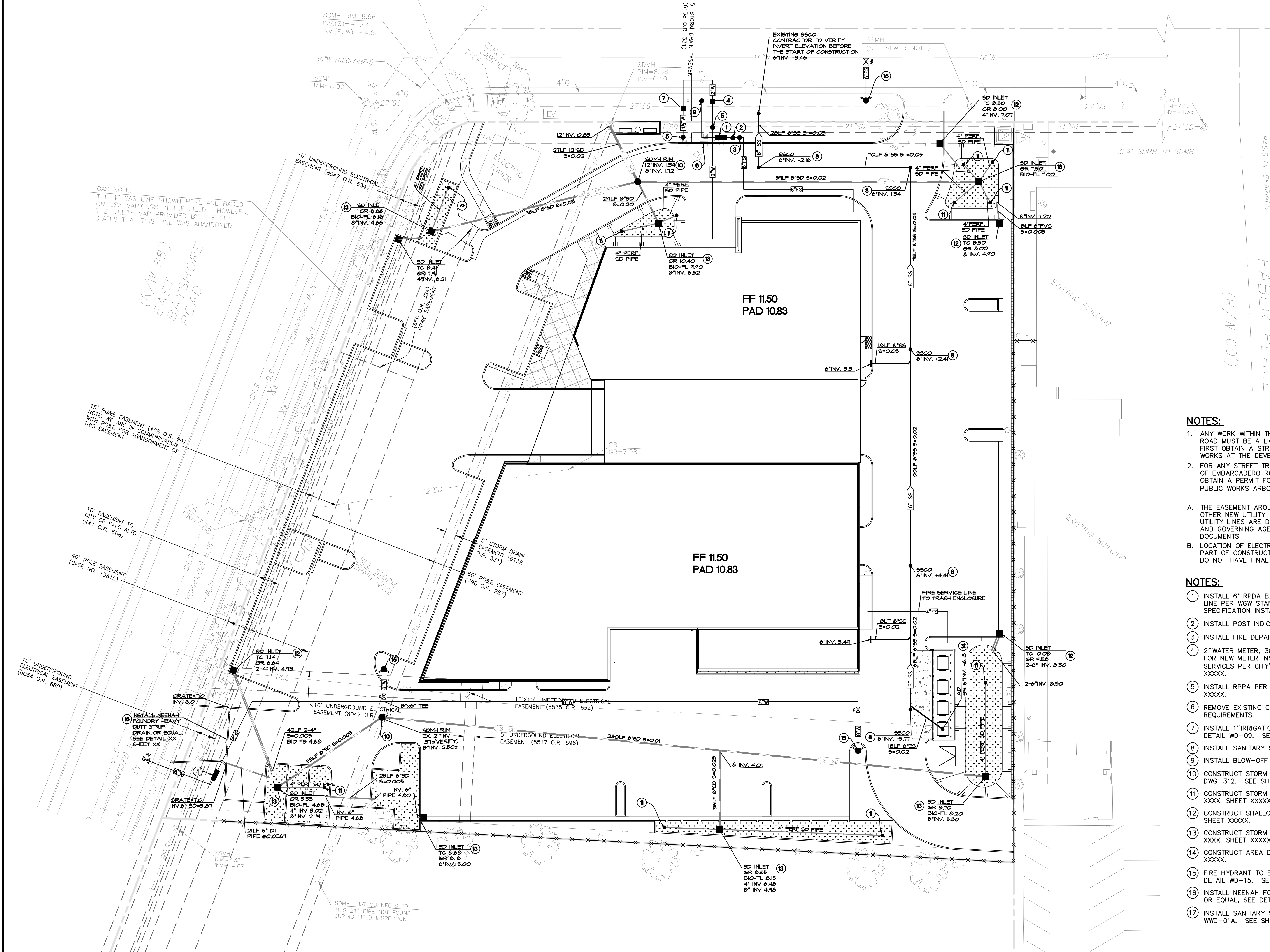
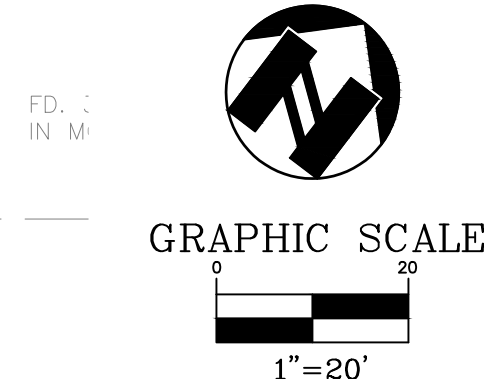
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# EMBARCADERO ROAD (R/W 68')



- NOTES:**
1. ANY WORK WITHIN THE PUBLIC R/W OF EMBARCADERO ROAD MUST BE A LICENSED CONTRACTOR WHO MUST FIRST OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS AT THE DEVELOPMENT CENTER.
  2. FOR ANY STREET TREE WORK WITHIN THE PUBLIC R/W OF EMBARCADERO ROAD, THE CONTRACTOR SHALL OBTAIN A PERMIT FOR STREET TREE WORK FROM THE PUBLIC WORKS ARBORIST, (650) 496-5953.
  - A. THE EASEMENT AROUND THE TRANSFORMER AND OTHER NEW UTILITY LINES WILL BE SHOWN WHEN THE UTILITY LINES ARE DESIGNED AND APPROVED BY CITY AND GOVERNING AGENCIES AS PART OF CONSTRUCTION DOCUMENTS.
  - B. LOCATION OF ELECTRICAL METERS WILL BE SHOWN AS PART OF CONSTRUCTION DOCUMENT. AT THIS TIME WE DO NOT HAVE FINAL DESIGN YET.

- NOTES:**
1. INSTALL 6" RPDA BACKFLOW ASSEMBLIES AT PROPERTY LINE PER GWG STANDARD AND CONNECTION SPECIFICATION INSTALLED BY C.P.A.U.
  2. INSTALL POST INDICATOR VALVE (PIV).
  3. INSTALL FIRE DEPARTMENT CONNECTION (FDC).
  4. 2" WATER METER, 30"x48" METER BOX AND MAIN FOLD FOR NEW METER INSTALLED BY C.P.A.U. FOR DOMESTIC SERVICES PER CITY'S DETAIL WE-09. SEE SHEET XXXXX.
  5. INSTALL RPPA PER CITY'S DETAIL WD-11C. SEE SHEET XXXXX.
  6. REMOVE EXISTING CHECK VALVE PER CITY'S REQUIREMENTS.
  7. INSTALL 1" IRRIGATION METER BY C.P.A.U. PER CITY'S DETAIL WD-09. SEE SHEET XXXXX.
  8. INSTALL SANITARY SEWER CLEANOUT.
  9. INSTALL BLOW-OFF BY C.P.A.U. WATER LINE PER GWG.
  10. CONSTRUCT STORM DRAIN MANHOLE PER CITY'S DETAIL DWG. 312. SEE SHEET XXXXX.
  11. CONSTRUCT STORM DRAIN CLEANOUT. SEE DETAIL XXXX, SHEET XXXXX.
  12. CONSTRUCT SHALLOW CATCH BASIN. SEE DETAIL XXXX, SHEET XXXXX.
  13. CONSTRUCT STORM DRAIN CATCH BASIN. SEE DETAIL XXXX, SHEET XXXXX.
  14. CONSTRUCT AREA DRAIN, SEE DETAIL XXXX, SHEET XXXX.
  15. FIRE HYDRANT TO BE INSTALLED BY C.P.A.U. PER CITY'S DETAIL WD-15. SEE SHEET XXXXX.
  16. INSTALL NEENAH FOUNDRY HEAVY DUTY STRIP DRAIN OR EQUAL, SEE DETAIL XXXX, SHEET XXXXX.
  17. INSTALL SANITARY SEWER CLEANOUT PER CITY'S DETAIL WWD-01A. SEE SHEET XXXXX.

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801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778	ams associates, inc.	ENGINEERING SURVEYING
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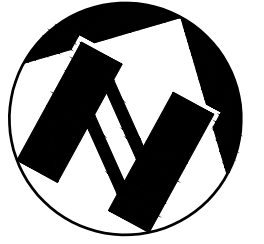
UTILITY PLAN MERCEDES-BENZ OF PALO ALTO	1700 EMBARCADERO RD PALO ALTO SANTA CLARA COUNTY CALIFORNIA
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SHEET C-41 OF PROJECT	20-2518
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EMBARCADERO ROAD (R/W 68')



GRAPHIC SCALE  
1"=20'

REFERENCE NOTES:

- DEMOLISH THE EXISTING BUILDING. THIS INCLUDES CONCRETE SLAB, COLUMNS AND UTILITIES. DEMOLITION OF THE BUILDING SHALL BE PART OF THE BUILDING DEMOLITION PERMIT.
- REMOVE EXISTING ASPHALT.
- REMOVE EXISTING CONCRETE PAVEMENT.
- REMOVE EXISTING TREES.
- EXISTING TREES TO REMAIN. THE CONTRACTOR IS TO INSTALL TREE PROTECTION AROUND THE TREES. SEE "T" SHEETS FOR SPECIAL TREE PROTECTION INSTRUCTION.
- REMOVE EXISTING CONCRETE CURB AND PLANTERS.
- REMOVE EXISTING CONCRETE SIDEWALK.
- EXISTING ELECTRIC TOWER TO REMAIN.
- REMOVE EXISTING YARD LIGHTS.
- EXISTING STORM DRAIN LINE TO REMAIN.
- REMOVE EXISTING STORM DRAIN LINE.
- EXISTING SANITARY SEWER LINE TO REMAIN.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING GAS METER AND GAS LINE TO BE REMOVED. THE CONTRACTOR IS TO COORDINATE WITH PG&E.
- EXISTING ELECTRICAL TRANSFORMER TO BE REMOVED. THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF PALO ALTO TO ELECTRIC.
- EXISTING ELECTRIC LINES ARE TO BE PROTECTED UNTIL SUCH TIME THE ELECTRIC LINES ARE REROUTED TO THE NEW TRANSFORMER.
- EXISTING METERS AND BACK FLOWS TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING POWER POLE AND ELECTRIC VAULTS ARE TO REMAIN AND BE PROTECTED.
- ALL OVERHEAD AND UNDERGROUND UTILITIES WITHIN THE EXISTING 40 FT. POLE EASEMENT, 15 FT. PG&E EASEMENT AND 10 FT. ELECTRICAL EASEMENTS SHOWN SHALL BE PROTECTED AT ALL TIMES. THE CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANIES.
- A PORTION OF THE EXISTING ASPHALTIC DRIVEWAY WOULD REMAIN (ALT#1) DURING THE DEMOLITION OF REMOVE THE EXISTING ASPHALT AND INSTALL STABILIZED CONSTRUCTION ENTRANCE.

LEGEND:

- INSTALL FIBER ROLLS (SEE DETAIL 000 SHEET C-000)
- INSTALL TEMPORARY CHAIN LINK FENCE WITH GATE
- INLET PROTECTION (SEE DETAIL 000 SHEET C-000)
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE REMAIN
- CONCRETE WASH OUT AREA

BENCHMARK:

SANTA CLARA VALLEY WATER DISTRICT BM607 BRASS DISK SET IN TOP OF CURB, EAST CORNER OF THE INTERSECTION OF E. BAYSHORE WITH EMBARCADERO ROAD.

ELEVATION = 8.91 FEET, NAVD88 DATUM.

UTILITY NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPE SIZES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES, EXCEPT AS SHOWN ON THIS SURVEY. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.



DEMOLITION PLAN  
MERCEDES-BENZ OF PALO ALTO

1700 EMBARCADERO RD  
PALO ALTO SANTA CLARA COUNTY CALIFORNIA

ams  
801 YGNACIO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778  
associates, inc. PLANNING ENGINEERING SURVEYING

SHEET C-51  
OF

PROJECT  
20-2518

DESCRIPTION

DATE

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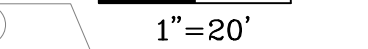
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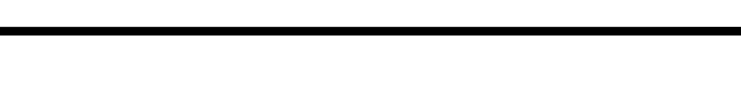
<div>DEMOLITION NOTES:</div> <div><div>1. THE CONTRACTOR SHALL CAREFULLY AND THOROUGHLY EXAMINE THE PLANS AND THE SITE TO OBTAIN FIRST–HAND KNOWLEDGE OF EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF BIDDING.</div><div>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF PROPERTY AND PERSONS AFFECTED AS A RESULT OF THIS WORK. SAFETY MEASURES SUCH AS BARRICADES, FLAGMEN, SIGNS AND OTHER SUITABLE WARNING DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THE SAFETY OF THE PUBLIC, PEDESTRIANS AND EMPLOYEES (INCLUDING PERSONS EMPLOYED BY THE CONTRACTOR) AT ALL TIMES DURING THE COURSE OF CONSTRUCTION (DURING WORKING AND NON–WORKING HOURS).</div><div>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE CONDITIONS AND THE SAFETY OF PROPERTY AND PERSONS AT ALL TIMES THROUGHOUT THE CONTRACT PERIOD. THE CONTRACTOR SHALL HOLD HARMLESS AND DEFEND THE OWNER, ENGINEER AND THEIR ASSIGNS EMPLOYEES OR AGENTS FROM ANY AND ALL CLAIMS, REAL OR ALLEGED, ARISING OUT OF THE PERFORMANCE OF THE WORK, EXCEPT IN THE CASE OF SOLE NEGLIGENCE OF THE OWNER, ENGINEERS AND THEIR ASSIGNS, EMPLOYEES OR AGENTS.</div><div>4. THE CONTRACTOR SHALL PERFORM HIS/HER WORK IN A MANNER TO RESULT IN MINIMUM INCONVENIENCE TO THE TRAFFIC, PEDESTRIANS AND THE OPERATION OF THE EXISTING ORCHARD STORE AT ALL TIMES DURING THE CONSTRUCTION.</div><div>5. EXISTING TREES, ROOTS, CONCRETE AND PAVEMENT SHALL BE REMOVED FROM THE SITE, INCLUDING ANY DEBRIS OR RUBBISH GENERATED FROM DEMOLITION.</div><div>6. UNDERGROUND STRUCTURES AND OTHERS, WHERE THEY EXIST ON THE SITE, MUST BE TOTALLY REMOVED INCLUDING ALL FIELD DRAINS AND CONNECTED LINES, UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER, UNLESS OTHERWISE NOTED. A PORTION OF THE EXISTING SANITARY SEWER AND WATER LINE TO REMAIN. SEE THE DEMOLITION PLAN. DEPRESSIONS LEFT FROM ANY REMOVAL SHALL BE PROPERLY FILLED AND COMPACTED IN ACCORDANCE WITH THESE SPECIFICATIONS.</div><div>7. IT SHALL BE THE CONTRACTOR’S RESPONSIBILITY TO DETERMINE THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES. ALL FACILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE TO ams associates, inc. AT THE TIME OF PREPARATION OF THESE PLANS. NO GUARANTEES ARE MADE AS TO THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS TO CALL USA UNDERGROUND SERVICE ALERT AT (800) 227–2600 OR 811 FOR INFORMATION REGARDING THE LOCATIONS OF THE UTILITIES AND STORM DRAIN LINES PRIOR TO DEMOLITION.</div><div>8. LAWFUL DISPOSAL OF ALL EXCESS MATERIAL OFF THE PROPERTY.</div><div>9. OBTAINMENT OF ANY PERMITS REQUIRED BY LOCAL AGENCIES SHALL BE THE CONTRACTOR’S RESPONSIBILITY.</div><div>10. ANY DAMAGE TO UTILITY UNDERGROUND FACILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.</div><div>11. THE CONTRACTOR SHALL NOT ALLOW RUBBLE TO ACCUMULATE ON THE PROPERTY. TEMPORARY STORAGE SHALL BE PERMITTED FOR CONTRACTOR’S CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY THEREOF.</div><div>12. UTILITY ABANDONMENT/REMOVAL: DISCONNECT AND CAP PIPES AND SERVICES TO REMAIN.</div><div>13. NOTIFY THE OWNER’S REPRESENTATIVE AND ENGINEER IMMEDIATELY OF ANY UTILITIES ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS. PRESERVE AND REPAIR ANY UTILITIES THAT ARE DAMAGED AND THAT ARE TO REMAIN.</div><div>14. TREES WHICH ARE MARKED SHALL BE REMOVED. THE EXISTING TREES OUTSIDE OF THE DEMOLITION LIMITS SHALL BE PROTECTED PER THE CITY OF PALO ALTO’S STANDARDS AND SPECIFICATIONS.</div><div>15. THE CONTRACTOR SHALL STAGE AND FENCE THEIR OPERATIONS AS NOTED IN THIS PLAN. THE STAGING AREA SHALL BE DETERMINED BY THE CONTRACTOR. THE STAGING LOCATION SHALL BE APPROVED BY THE OWNER.</div><div>16. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL OCCUR ALONG THE “HAUL ROUTE” AS DIRECTED BY THE CITY. THE CONTRACTOR IS TO COORDINATE WITH THE CITY PRIOR TO THE START OF WORK.</div><div>17. THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS ON THE CITY’S RIGHT–OF–WAY AND COORDINATE THEIR WORK WITH THE CITY IN A MANNER THAT MINIMIZES ANY DAMAGE OR DISRUPTIONS TO THE ADJACENT PROPERTIES AND THE CITY’S RIGHT–OF–WAY OPERATION’S AND TRAFFIC.</div><div>18. ALL WORK SHALL BE COMPLETED CONSISTENT WITH THE PLANS, SPECIFICATIONS, BID AND CONTRACT DOCUMENTS.</div><div>19. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE CITY OF PALO ALTO’S FIRE DEPARTMENT HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS, OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR ANY OTHER ENVIRONMENTAL LIABILITIES ENCOUNTERED DURING SITE CLEARANCE ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIED PRIOR TO PROCEEDING WITH FURTHER SITE CLEARANCE/DEMOLITION.</div><div>20. PERSONNEL OPERATING THE CONSTRUCTION SITE SHALL HAVE A MEANS OF COMMUNICATING AND REPORTING A FIRE OR MEDICAL EMERGENCY. THIS REQUIREMENT MAY BE MET BY USE OF A CELLULAR TELEPHONE FOR DIALING 911. CELLULAR TELEPHONE CALLS TO 911 NOW REPORT TO THE CLOSEST PUBLIC SERVICE ANSWERING POINT TO THE PROJECT SITE; IN THIS CASE, THE PALO ALTO POLICE DEPARTMENT.</div><div>21. THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE PERMITS REQUIRED FROM ANY STATE OR REGIONAL AGENCIES, INCLUDING BUT NOT LIMITED TO, THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD), REGIONAL WATER QUALITY CONTROL BOARD (RWQCB), CITY OF PALO ALTO AND THE SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH.</div><div>22. THE CONTRACTOR IS TO NOTIFY THE WATER AGENCY, SANITARY SEWER DISTRICT AND THE CITY OF PALO ALTO 72 HOURS PRIOR TO THE START OF DEMOLITION.</div><div>23. THE CONTRACTOR IS TO NOTIFY CITY OF PALO ALTO, PG&amp;E, TELEPHONE AND CABLE TELEVISION COMPANIES 72 HOURS PRIOR TO THE START OF DEMOLITION.</div></div>	<div><div>DATE: 12–10–21</div><div>SCALE: DESIGNED: AS</div><div>DRAWN: TY</div><div>CHECKED: AS</div><div>PROJ. MGR: AS</div><div>FILE PATH: 20–2518 mb palo alto\latest date director\10–05–20 entitlement\2518demo.dwg</div></div>	<div><div>DESCRIPTION</div><div>DATE</div><div>BY</div><div>REV #</div><div>△</div><div>△</div><div>△</div><div>△</div><div>△</div></div>	<div><div>ams</div><div>801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925–943–2777 FAX 925–943–2778</div><div>associates, inc. PLANNING ENGINEERING SURVEYING</div></div>	<div><div>DEMOLITION NOTES</div><div>MERCEDES-BENZ OF PALO ALTO</div><div>1700 EMBARCADERO RD PALO ALTO SANTA CLARA COUNTY CALIFORNIA</div></div>	<div><div>SHEET C-5.2</div><div>OF</div><div>PROJECT</div><div>20-2518</div></div>
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- NOT TO SCALE



## DIETETION FACILITY

NOT TO SCALE

SHEET  
**C-6.1**  
OF  
PROJECT  
**20-2518**

**STORMWATER CONTROL PLAN**  
**MERCEDES-BENZ OF PALO ALTO**  
1700 EMBARCADERO RD  
PALO ALTO    SANTA CLARA COUNTY    CALIFORNIA

**ams**  
associates, inc. PLANNING ENGINEERING SURVEYING

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SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

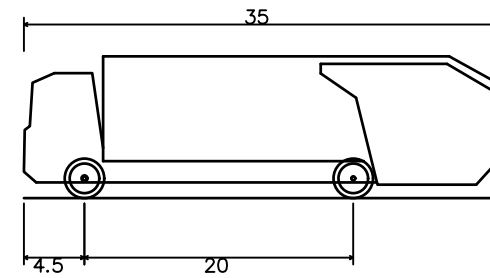
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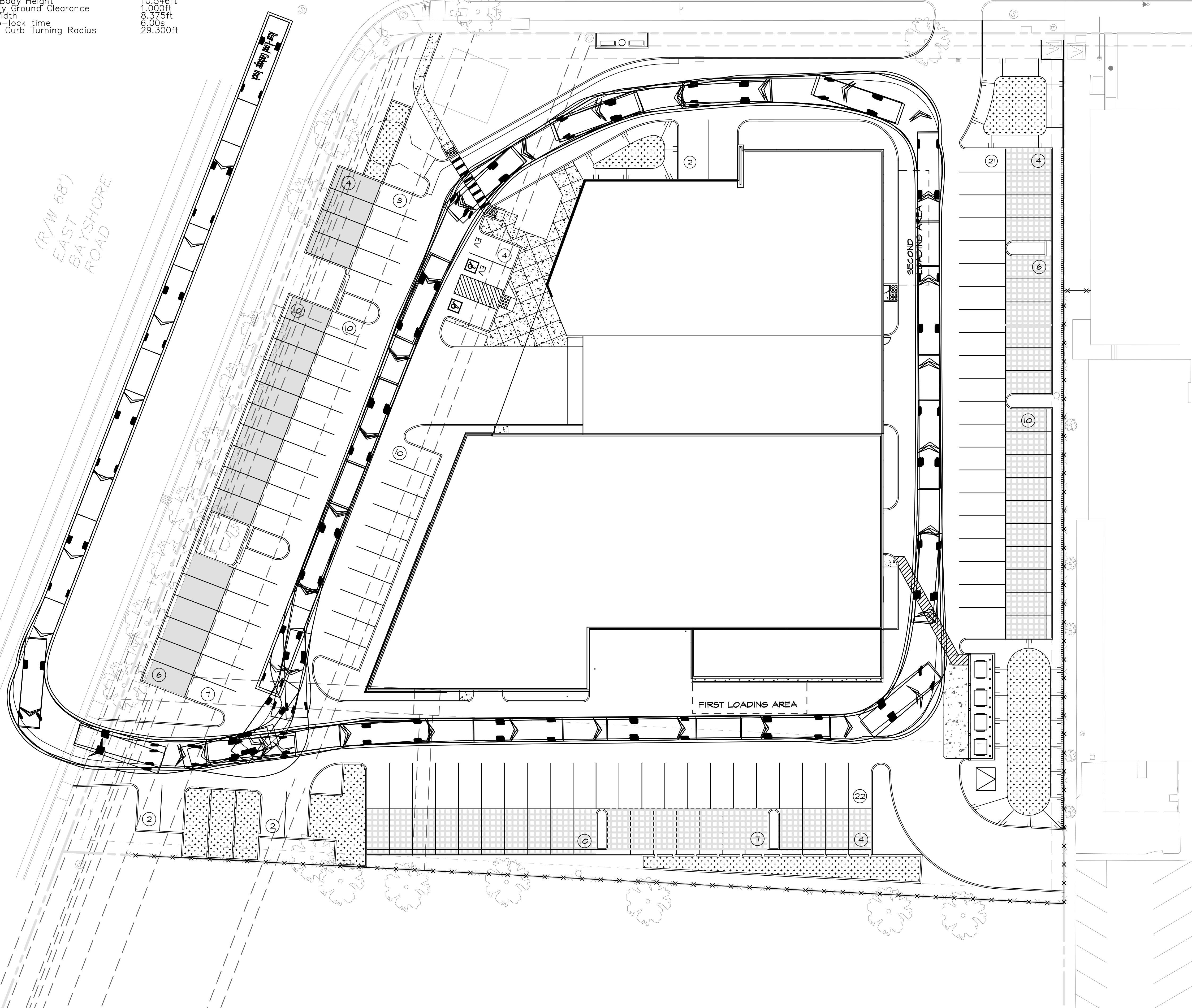
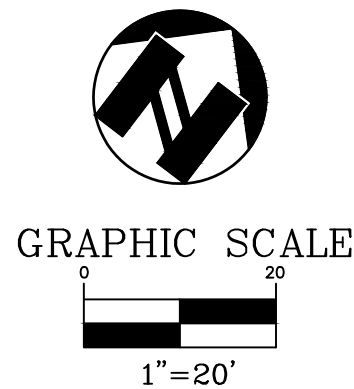




Rear-Load Garbage Truck  
Overall Length 35.000ft  
Overall Width 8.375ft  
Overall Body Height 10.546ft  
Min Body Ground Clearance 1.000ft  
Track Width 8.375ft  
Lock-to-lock time 2.00s  
Curb to Curb Turning Radius 29.300ft

(R/W 68')  
EAST  
BAYSHORE  
ROAD

EMBARCADERO ROAD (R/W 68')



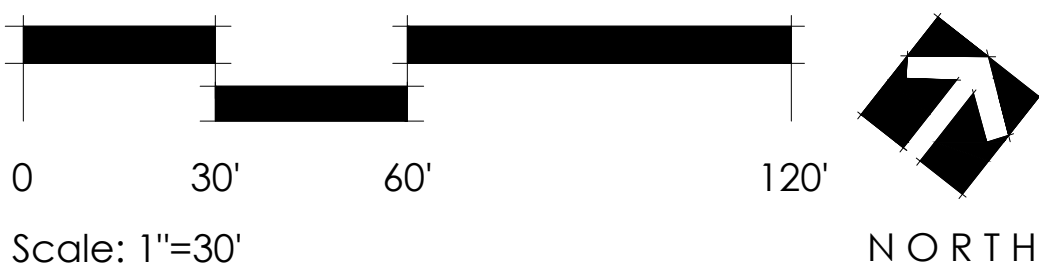
SHEET  
C-TP  
OF  
PROJECT  
20-2518

TRUCK MOVEMENT PLAN  
MERCEDES-BENZ OF PALO ALTO  
PALO ALTO SANTA CLARA COUNTY CALIFORNIA

**ams**  
associates, inc. PLANNING ENGINEERING SURVEYING  
801 YGNACIO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

DATE:	12-10-21	REV #	BY	DATE	DESCRIPTION
SCALE:	1"=20'	△			
DESIGNED:	△				
DRAWN:	△				
CHECKED:	△				
PROJ. MGR:	△				
FILE PATH:	20-2518 mb palo alto\latest date\dir\10-05-20 entitlement\2518sifs.dwg				





**DESIGN STATEMENT:**

THE LANDSCAPE DESIGN FOR THIS PROJECT WILL TAKE THE BAYLANDS NATURAL PRESERVE STYLE AND INTERTWINE THE MODERN LOOK OF THE FLETCHER JONES BRAND.

THE LANDSCAPE SURROUNDING THE BUILDING WILL BE DESIGNED TO FRAME THE WINDOWS, PROVIDE ACCENTS AT FOCAL AREAS, AND ADDRESS ALL SIDES OF THE BUILDING.

REFER TO THE GRADING PLANS FOR DRAINAGE AND WATER QUALITY INFORMATION

**IRRIGATION STATEMENT:**

THE IRRIGATION SYSTEM WILL BE DESIGNED TO COMPLY WITH THE WATER CONSERVATION LANDSCAPE ORDINANCE. THE EQUIPMENT SHALL UTILIZE THE MOST UP TO DATE WATER CONSERVATION METHODS INCLUDING, DRIP IRRIGATION AND AN ET WEATHER MONITORING CONTROLLER.

OVERALL LANDSCAPE PLAN

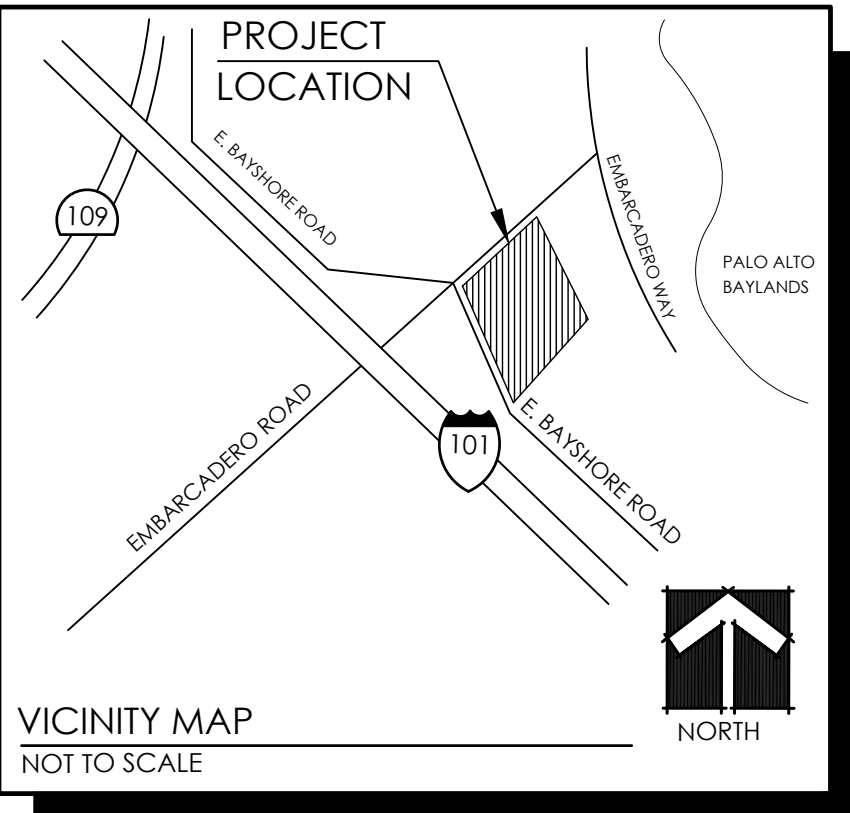
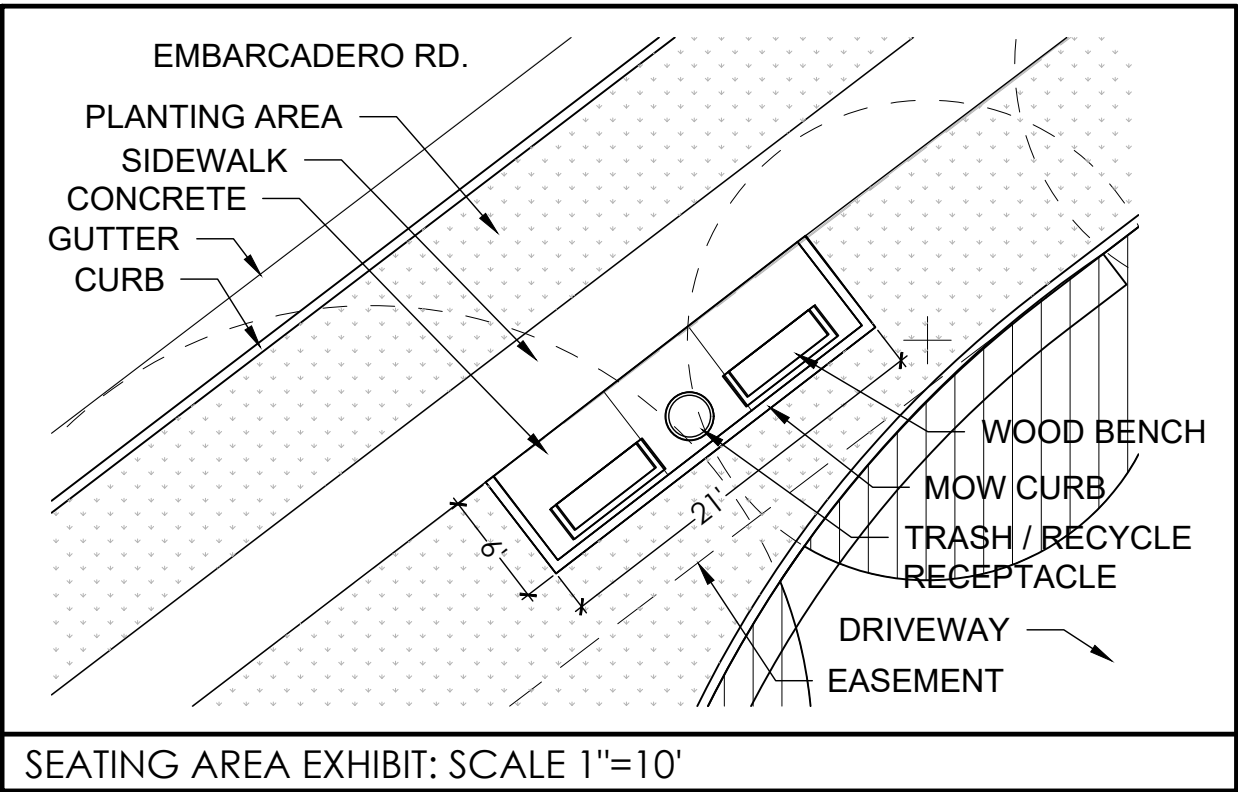
LANDSCAPE CONCEPT PLAN FOR:

# Mercedes-Benz of Palo Alto

Swickard Auto Group

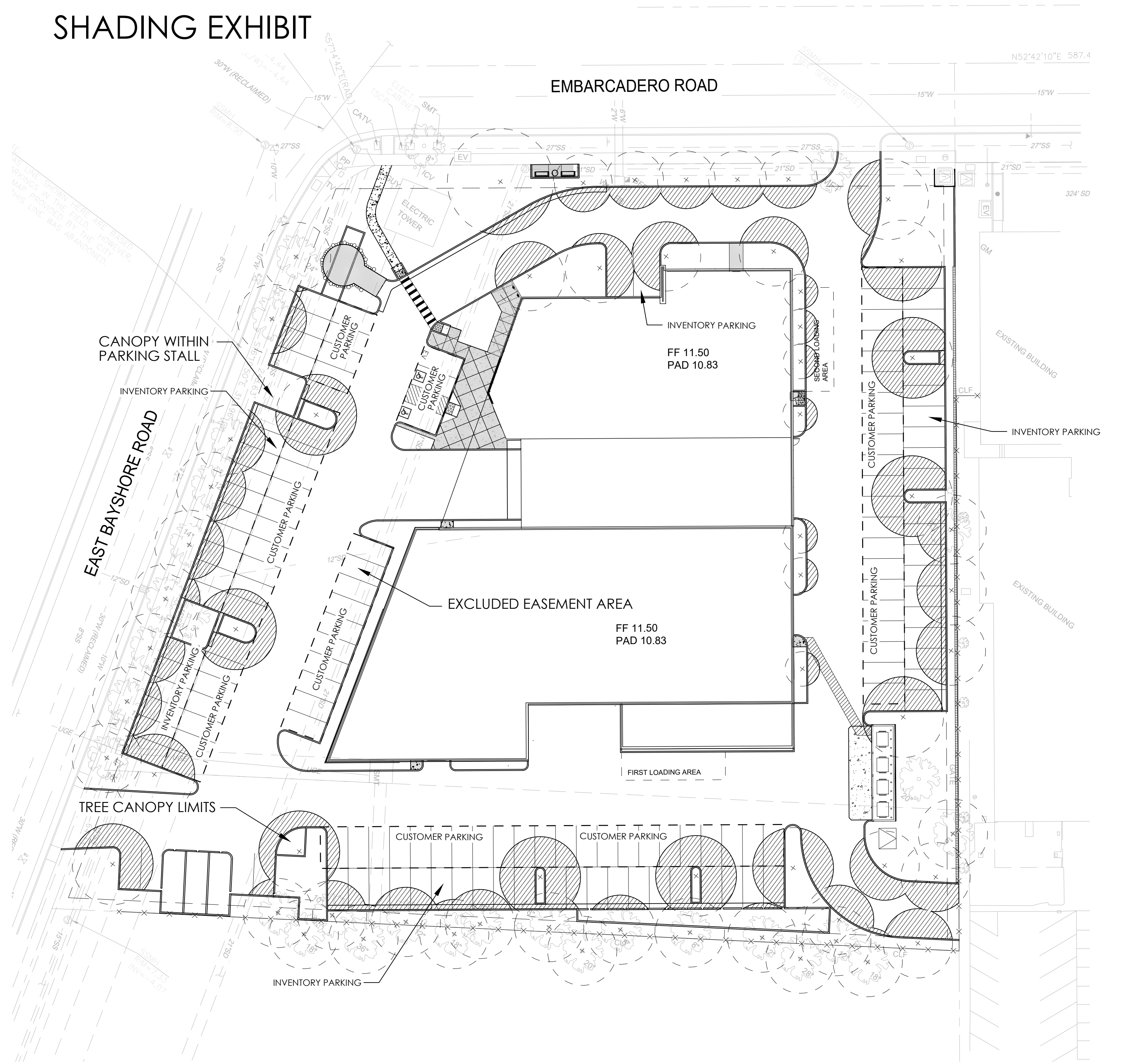
CONCEPTUAL PLANT LEGEND

BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	PLANT WATER USE	PLANT NATIVE
<b>EXISTING OFF-SITE TREES</b>					
VARIOUS EUCALYPTUS SPECIES	EUCALYPTUS				
<b>EXISTING OFF-SITE TREES</b>					
ULMUS PARVIFOLIA	CHINESE ELM				
<b>INTERIOR ACCENT TREE</b>					
GINKGO BILOBA	MAIDENHAIR TREE	48" BOX	AS SHOWN	MEDIUM	NON NATIVE
<b>PARKING SHADE TREE</b>					
PLATANUS ACERIFOLIA "YARWOOD"	LONDON PLANE TREE	48" BOX	AS SHOWN	LOW	NON NATIVE
<b>PERIMETER TREE / SCREEN TREE</b>					
FREMONTODENDRON CALIFORNICA AESCULUS CALIFORNICA	FLANNEL BUSH CALIFORNIA BUCKEYE	36" BOX 36" BOX	AS SHOWN AS SHOWN	MEDIUM MEDIUM	NATIVE NATIVE
<b>VERTICAL FOUNDATION TREES</b>					
PINUS ELGARICA	AFGHAN PINE	48" BOX	AS SHOWN	MEDIUM	NON NATIVE
<b>FOUNDATION SHRUBS AND PERENNIALS</b>					
ARCTOSTAPHYLOS HYBRIDS	MANZANITA HYBRIDS	5 GALLON	2' - 4' O.C.	LOW	NATIVE
CALLISTEMON "LITTLE JOHN"	DWARF BOTTLEBRUSH	5 GALLON	2' - 4' O.C.	LOW	NON NATIVE
DIETES BICOLOR (MORAEA)	FORTNIGHT LILY	5 GALLON	2' - 4' O.C.	LOW	NON NATIVE
RHAMNUS CALIFORNICA "ED HOLM"	COFFEEBERRY	5 GALLON	2' - 4' O.C.	LOW	NATIVE
GARRYA ELLIPTICA	SILK TASSEL BUSH	5 GALLON	4' - 6' O.C.	LOW	NATIVE
HETEROMELES ARBUTIFOLIA	TOYON	5 GALLON	4' - 6' O.C.	LOW	NATIVE
MAHONIA "GOLDEN ABUNDANCE"	HYBRID "GOLDEN ABUNDANCE"	5 GALLON	2' - 4' O.C.	LOW	NATIVE
JASMINUM NITIDUM	ANGELWING JASMINE	5 GALLON	2' - 4' O.C.	LOW	NON NATIVE
RIBES AUREUM	GOLDEN CURRANT	5 GALLON	2' - 4' O.C.	LOW	NATIVE
LIRIOPE "MONROE WHITE"	WHITE LILY TURF	5 GALLON	4' - 6' O.C.	MEDIUM	NON NATIVE
RIBES SANGUINEUM "CLAREMONT"	PINK WINTER CURRANT	5 GALLON	2' - 4' O.C.	LOW	NATIVE
RHAPHIOLEPIS "MAJESTIC BEAUTY"	INDIA HAWTHORN	5 GALLON	4' - 6' O.C.	LOW	NON NATIVE
ROSA "ICEBERG"	WHITE SHRUB ROSE	5 GALLON	2' - 4' O.C.	MEDIUM	NON NATIVE
<b>GROUNDCOVERS</b>					
ARCTOSTAPHYLOS "EMERALD CARPET"	GROUNDCOVER MANZANITA	1 GALLON	3' O.C.	LOW	NATIVE
MAHONIA REPENS	CREeping MAHONIA	1 GALLON	3' O.C.	LOW	NATIVE
SISYRINCHIUM BELLUM	BLUE-EYED GRASS	1 GALLON	3' O.C.	LOW	NATIVE
SANTOLINA VIRENS	GREEN LAVENDER COTTON	1 GALLON	3' O.C.	LOW	NON NATIVE
3"-8" ROCK COBBLE - MINIMUM 8" DEPTH					
<b>VINES</b>					
DISTICTUS BUCCINATORIA	RED TRUMPET VINE	5 GALLON	3' O.C.	MEDIUM	NON NATIVE
<b>BIO-SWALE GROUNDCOVER</b>					
CAREX PANSA	CALIFORNIA MEADOW SEDGE	LINERS	12" O.C.	MEDIUM	NATIVE
<b>ORNAMENTAL GRASSES</b>					
CALAMAGROSTIS FOLIOSA	MENDOCINO REED GRASS	1 GALLON	3' O.C.	LOW	NATIVE
CHONDROPETALUM TECTORUM	CAPE RUSH	15 GALLON	3' O.C.	LOW	NON NATIVE
CHONDROPETALUM ELEPHANTINES	LARGE CAPE RUSH	15 GALLON	3' O.C.	LOW	NON NATIVE
FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GALLON	3' O.C.	LOW	NATIVE
NASSELLA CERNUA	NODDING NEEDLE GRASS	1 GALLON	3' O.C.	LOW	NATIVE
MUHLENBERGIA RIGENS.	DEER GRASS	1 GALLON	3' O.C.	LOW	NATIVE
SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GALLON	3' O.C.	LOW	NON NATIVE
TOTAL LANDSCAPE AREA: 26,868 S.F.					





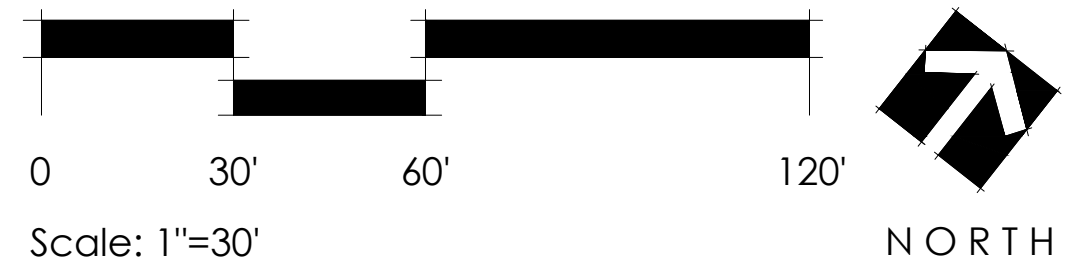
SHADING EXHIBIT



SHADE CALCS

- TREE CANOPY (EXISTING OR PROPOSED)
- SHADED AREA

AREA OF PAVEMENT - 55,647 S.F.  
AREA OF TREE SHADE - 14,285 S.F.  
TOTAL PERCENTAGE OF SHADE - 26%



PARKING EXHIBIT  
LANDSCAPE CONCEPT PLAN FOR:  
**Mercedes-Benz of Palo Alto**  
Swickard Auto Group







TRASH / RECYCLING RECEPTACLE

FORMS+SURFACES SLURB-36SS SIDE  
OPENING WITH INTEGRATED RECYCLE BIN,  
COLOR TO BE: "DARK CORTEN TEXTURE"



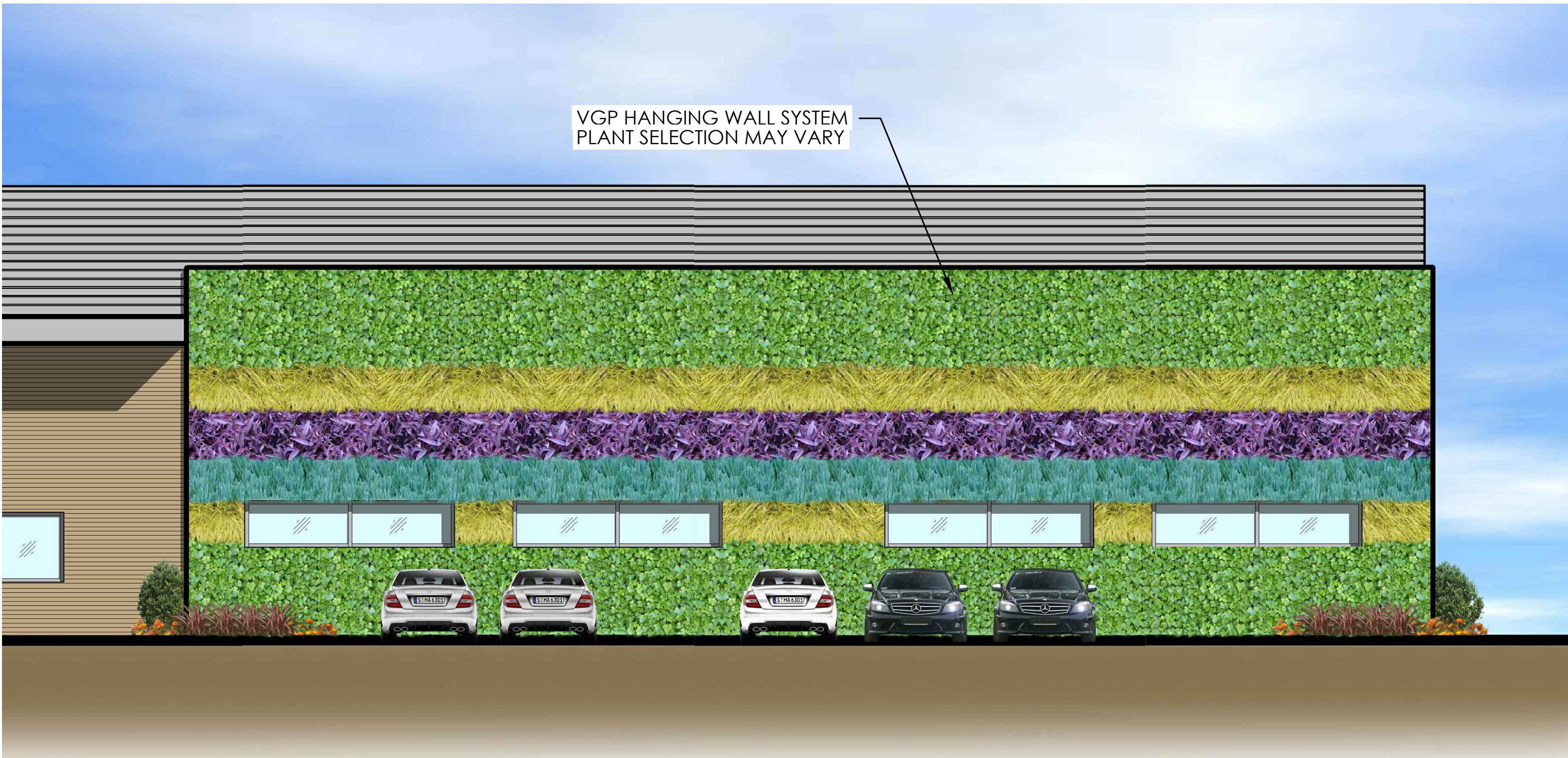
WOOD BENCH

FORMS+SURFACES SBHUD-72S "HUDSON  
BENCH", SURFACE MOUNT



BIKE RACK

BELSON OUTDOOR BOL450-2R-SF-ES



CONCEPTUAL GREEN WALL DESIGN

WEST ELEVATION

N.T.S.

WATER EFFICIENT LANDSCAPE WORKSHEET							
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation							
Reference Evapotranspiration (ETo)			43.90				
Hydrozone # /Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
HZ 1-Low Sunub	0.2	In-line Drip	0.81	0.25	18815	4646	126446
HZ 2-Green Wall	0.5	Point Source Dnp	0.9	0.56	2710	1506	40978
HZ 3-Mod Shmb	0.5	In-line Drip	0.81	0.62	5343	3298	0
HZ 4-Water	0.9	-	0.9	1.00	0	0	0
Totals					26868	9449	167424
Special Landscape Areas							
HZ5-Rec. Turf		Rotor		1	0	0	0
				1		0	0
				1		0	0
Totals					0	0	0
ETWU Total							167424
Maximum Allowed Water Allowance (MAWA)							459016
Hydrozone #/Planting Description							
E.g. 1) front lawn 2) low water use plantings 3) medium water use planting							
Irrigation Method							
overhead spray 0.75 for spray head							
or drip 0.81 for drip							
WATER EFFICIENT LANDSCAPE WORKSHEET							
Eto x 0.62 x ETAF x Area							
Where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.							
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area	9449.38	Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.					
Total Area	26868.00						
Average ETAF	0.35						
All Landscape Areas							
Total ETAF x Area	9449.38						
Total Area	26868.00						
Sitewide ETAF	0.35						

## VGP® Hanging Wall System

Versatile, Easy-to-Install Planting System for Interior and Exterior Use

Few living wall systems offer the versatility of the VGP hanging wall. At the heart of the system is the VGP planting tray. Made of 100% recycled polypropylene, it fits either two plants in 4" nursery pots for interior applications, or a direct planted pot for the exteriors. It can be hung on the VGP recycled mounting panel, standard 2"x3" welded mesh, or along rods or steel rope. Each tray incorporates an anti-lift arm to prevent removal, but requires no other bolts or clips. The trays can be hung at 6" or 9" vertical intervals, depending on the plant size and the project budget.

The VGP is designed with a sub-irrigation reservoir using simple felt wicking, and incorporates an overflow drain that can be direct plumbed or cascade to a central drainage point. Drip irrigation and fertilizer dosing is recommended, but not required.



### LIVING WALL SUGGESTED PLANT LIST

CAREX OSHIMENSIS 'EVERGOLD'  
HEDERA HELIX  
MYOPORUM PARVIFLORA  
PELARGONIUM PELTATUM  
SEDUM SPECIES  
SENECIO SPECIES

**Tournesol SITEWORKS** [tournesolsiteworks.com](http://tournesolsiteworks.com)  
800.542.2282

Part No.	Overall Part Size	Nominal Part Size	Description	Empty Weight
VGP-01	7-5/8"W x 8-1/8"H x 7-1/2"D	7-7/8"W x 6"H x 7-5/8"D	Planting Tray, black recycled polypropylene. Planting volume 110 cu. in. or 47 gal.	1 lbs.
VGP-1636	16-1/2"W x 36-3/8"H x 7/8"D	15-3/4"W x 35-1/2"H x 7/8"D	Mounting Panel, black recycled polypropylene. Fits 12 pots (close spacing) or 8 pots (expanded spacing)	2 lbs.

#### Specification Details

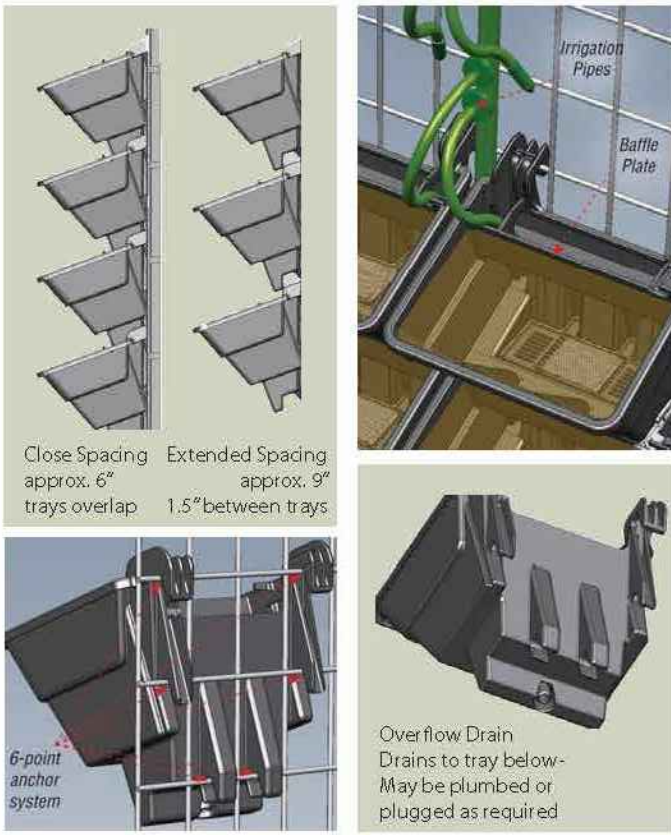
Approx. Planting Weight:  
Close Spacing (2 trays psf) - 19 lbs/sq. ft.  
Extended Spacing (1.5 trays psf) - 12.7 lbs/sq. ft.

Irrigation lines can be run between the trays, attached to the mounting panel or the 2"x3" mesh. Individual irrigation lines run to the back of each tray. The bottom of the tray serves as a sub-irrigation reservoir.

Overflow drains to the tray below, behind the baffle plate. Alternately, drain plugs are available if required.

Interior applications will typically use two 4" plants in their nursery pots per tray, with capillary wicks running from pot to the tray reservoir.

Exterior applications will typically use flats or plugs directly planted into the tray.

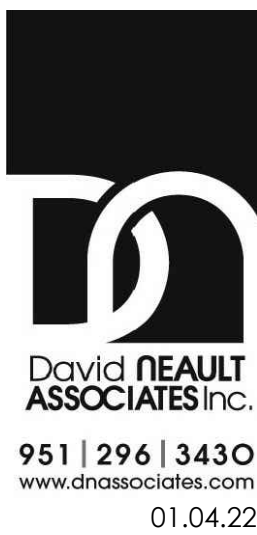


## LANDSCAPE DETAILS

### LANDSCAPE CONCEPT PLAN FOR:

**Mercedes-Benz of Palo Alto**  
Swickard Auto Group

L-3





# City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.** For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at [www.cityofpaloalto.org/trees/](http://www.cityofpaloalto.org/trees/).

TREE DISCLOSURE STATEMENT		CITY OF PALO ALTO Planning Division, 250 Hamilton Avenue Palo Alto, CA 94301 (650) 325-2441 <a href="http://www.cityofpaloalto.org">http://www.cityofpaloalto.org</a>
Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on submitted and approved site plans. A completed tree disclosure statement must accompany all permit applications that include exterior work, all demolition or grading permit applications, or other development activity.		
PROPERTY ADDRESS: 1700 Embarcadero Road		
Are there Regulated trees on or adjacent to the property? <input checked="" type="checkbox"/> YES (If no, proceed to Section 4)		
[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]		
1. Where are the trees? Check those that apply. (Plans must be submitted showing all trees over 4" diameter) <input type="checkbox"/> On the property <input type="checkbox"/> On adjacent property overhanging the project site <input type="checkbox"/> In the city planter strip or right-of-way easement within 30' of property line (Street Trees)*		
*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form. Contact Public Works Operations at (650) 496-5953 for inspection of type I, II or III fencing (see attached Detail #605) required for all street trees.		
2. Are there any Protected or Designated Trees? <input checked="" type="checkbox"/> YES (check where applicable) <input type="checkbox"/> NO <input type="checkbox"/> Protected Tree (s) <input type="checkbox"/> Designated Tree (s) <input type="checkbox"/> On or overhanging the property		
3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If Yes, a Tree Preservation Report must be prepared by an ISI certified arborist and submitted for staff review (see TTM Section 6.25). Attach this report to Sheet T-1, Tree Protection, as Part of the Plan - per Site Plan Requirements.		
4. Are the Site Plan Requirements** completed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO **These Protection of Regulated trees during development requires the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <a href="http://www.cityofpaloalto.org/trees/forms.htm">http://www.cityofpaloalto.org/trees/forms.htm</a> (See also TTM, Section 2.15 for areas to be fenced)		
I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.		
Signature: _____ Print: _____ Date: _____ (Prop. Owner or Agent)		
FOR STAFF USE: Sections 5-8 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).		
5. Protected Trees: The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES <input type="checkbox"/> NO <input type="checkbox"/> (N/A if there are no protected trees, check here <input type="checkbox"/> )		
6. Street Trees: A signed Public Works Street Tree Protection Verification form is attached. YES <input type="checkbox"/> NO <input type="checkbox"/> (N/A if there are no street trees, check here <input type="checkbox"/> )		
<small>*Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 10" in diameter or larger, when measured 4" above natural grade, and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan. Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <a href="http://www.cityofpaloalto.org/trees/technical-manual.htm">www.cityofpaloalto.org/trees/technical-manual.htm</a></small>		
© PLANNING DIVISION Planning and Arborist Tree Program Informational Tree Disclosure Statement (TDS) Tree Disclosure Statement Form_TDS_0812 Revised 05/04/07		

City of Palo Alto 250 Hamilton Avenue, Palo Alto, CA 94301	
Search: <input type="text"/>	Advanced <input type="button" value=""/> Browse By Topic <input type="button" value=""/>
Home > Planning & Community Environment	
<b>Tree Technical Manual</b>	
To purchase the Tree Technical Manual	
June, 2001 First Edition	
View by section:	
<ul style="list-style-type: none"><li>Table of Contents (PDF, 87KB)</li><li>Intent and Purpose (PDF, 1.09MB)</li><li>Introduction - Uses of Manual (PDF, 1.05MB)</li><li>Section 1.0 - Definitions (PDF, 96KB)</li><li>Section 2.0 - Protection of Trees During Construction (PDF, 259KB)</li><li>Section 3.0 - Removal, Replacement &amp; Planting of Trees (PDF, 117KB)</li><li>Section 4.0 - Hazardous Trees (PDF, 109KB)</li><li>Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)</li><li>Section 6.0 - Tree Reports (PDF, 64KB)</li></ul>	
View ALL sections:	
<ul style="list-style-type: none"><li>Tree Technical Manual - Full (PDF, 1.84MB)</li></ul>	
APPENDICES	
<ul style="list-style-type: none"><li>A. Palo Alto Municipal Code Chapter 8.10, Tree Preservation &amp; Management Regulations</li><li>B. Tree City - USA</li><li>C. ISA Hazard Evaluation Form</li><li>D. List of Inherent Failure Patterns for Selected Species (Reference source)</li><li>E. ISA Tree Pruning Guidelines (PDF, 1.89MB)</li><li>F. Tree Care Safety Standards, ANSI Z39.1-1994 (Reference source)</li><li>G. Pruning Performance Standards, ANSI A300-1995 (Reference source)</li><li>H. Tree Planting Details, Diagram 504 &amp; 505</li><li>I. Tree Disclosure Statement</li><li>J. Palo Alto Standard Tree Protection Instructions</li></ul>	

For written specifications associated with illustrations below, see Public Works Specifications Section 31 Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) ( <a href="http://www.cityofpaloalto.org/trees/">www.cityofpaloalto.org/trees/</a> )	
<b>Tree Protection Zone (TPZ)</b> shown in gray (radius of TPZ equals 10 times the diameter of the tree or 10 feet, whichever is greater) • Restricted activity area - see Tree Technical Manual Sec 2.15(E) • Restricted trenching area - see Tree Technical Manual Sec 2.20(C-D), any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call (650) 496-5953.	
	<b>Type I Tree Protection</b> For all Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as dictated on the plans. Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report.
	<b>Type II Tree Protection</b> For all Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as dictated on the plans. Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type II is installed correctly according to the plans and Tree Preservation Report.
	<b>Type III Tree Protection</b> For all Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as dictated on the plans. Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type III is installed correctly according to the plans and Tree Preservation Report.
<b>Tree Protection During Construction</b> City of Palo Alto Standard Scale: NTS	

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-	
31-1 General	<b>a. Tree protection has three primary functions:</b> 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state; and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. <b>b. The Tree Protection Zone (TPZ)</b> is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.
31-2 Reference Documents	<b>a. Detail:</b> Illustration of situations described below. <b>b. Tree Technical Manual (TTM) Form</b> ( <a href="http://www.cityofpaloalto.org/trees/">http://www.cityofpaloalto.org/trees/</a> ) 1. Trenching Restrictions (TTM, Section 2.20(C)) 2. Adverse Reporting Protocol (TTM, Section 3.3) 3. Site Plan Requirements (TTM, Appendix L.3) 4. Tree Disclosure Statement (TTM, Appendix J) <b>c. Street Tree Verification (STV) Form</b> ( <a href="http://www.cityofpaloalto.org/trees/forms/">http://www.cityofpaloalto.org/trees/forms/</a> )
31-3 Execution	<b>a. Type I Tree Protection:</b> The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on parking or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations. <b>b. Type II Tree Protection:</b> For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use. <b>c. Type III Tree Protection:</b> To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden stakes bound securely to the ground. Stakes shall not be allowed to dig into the lawn's. During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist. <b>d. Size, type and area to be fenced:</b> All trees to be protected shall be protected with 10' foot high chain link fence. Fences are to be mounted on two-inch diameter galvanized steel posts, driven into the ground to a depth of at least 2-feet or as more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV form. <b>e. "Warning" signs:</b> A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5 inches x 11 inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.118". <b>f. Duration:</b> Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except the work specifically allowed in the TPZ. Work in and disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works. <b>g. During construction</b> 1. All neighbor trees that overhang the project site shall be protected from impact of any kind. 2. The applicant shall be responsible for the repair or replacement (per penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code. 3. The following tree preservation measures apply to all trees to be retained: a. No use of material, gravel, vehicles or equipment shall be permitted within the TPZ. b. The ground under and around the tree canopy area shall not be altered. c. Trees to be retained shall be irrigated, asexual and maintained as necessary to ensure survival.
END OF SECTION City of Palo Alto 2004 Standard Drawings and Specifications Street Tree Verification of Protection, PWE, Section 31 Revised 08/06	

Palo Alto Tree Technical Manual	
Table 2-2 CONTRACTOR & ARBORIST INSPECTION SCHEDULE	
Reference: See Palo Alto Tree Technical Manual is available at <a href="http://www.cityofpaloalto.org/environment/">www.cityofpaloalto.org/environment/</a>	
ALL CHECKED ITEMS APPLY TO THIS PROJECT:	
1. <input checked="" type="checkbox"/> Inspection of Protective Tree Fencing: For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).	
2. <input checked="" type="checkbox"/> Pre-Construction Meeting: Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operator, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6923).	
3. <input checked="" type="checkbox"/> Inspection of Rough Grading or Trenching: Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, damage and trenching, and if required, inspect irrigation system, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.	
4. <input checked="" type="checkbox"/> Monthly Tree Activity Report Inspection: The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any evidences to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. Landscape review staff no later than 14 days after issuance of building permit date. Fax to: (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 1.1, & section 1.17).	
5. <input checked="" type="checkbox"/> Special activity within the Tree Protection Zone: Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).	
6. <input type="checkbox"/> Landscape Architect Inspection: For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 3.20 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. Landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.	
7. <input type="checkbox"/> List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)	

City of Palo Alto Tree Department Public Works Operations PO Box 10295 Palo Alto, CA 94303 650-496-5953 FAX: 650-496-5229 <a href="mailto:treeprotection@CityPaloAlto.org">treeprotection@CityPaloAlto.org</a>		Verification of Street Tree Protection	
Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.			
APPLICATION DATE:			
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:			
APPLICANT'S NAME:			
APPLICANT'S ADDRESS:			
APPLICANT'S TELEPHONE & FAX NUMBERS:			
This section to be filled out by City Tree Staff			
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:	YES <input type="checkbox"/>	NO <input type="checkbox"/>	* If NO, go to #2 below
Inspected by:			
Date of Inspection:			
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:			
Indicate how the required modifications were communicated to the applicant.			
Subsequent inspection	YES <input type="checkbox"/>	NO <input type="checkbox"/>	* If NO, indicate in "Notes" below the disposition of case.
Street trees at above address were found to be adequately protected.			
Inspected by:			
Date of Inspection:			
Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.			
Return approved sheet to Applicant for demolition or building permit issuance.			
© 2002/03/20/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/00/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/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Tree Inventory, Assessment, And Protection  
1700 Embarcadero Road  
Palo Alto, CA 94303

Prepared for:  
Skender Construction  
December 23, 2015



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan December 23, 2015

Observations

Site and Trees

The site is located at the corner of East Bayshore Road and Embarcadero Road in Palo Alto. The property has eleven on trees adjacent sites with crowns extending over the boundary which are as follows: one red gum (*Eucalyptus camaldulensis*), two silver dollar gum (*Eucalyptus polyanthemos*), and eight red ironbark (*Eucalyptus sideroxylon*). Along East Bayshore Road there are ten street trees all comprised of Chinese elms (*Ulmus parvifolia*) adjacent to the sidewalk with no park strip. Along Embarcadero Road are three additional privet (*Ligustrum lucidum*) street trees growing in the park strip between the sidewalk and curb. In total there are thirteen street trees and eleven trees growing on adjacent sites which are require protection based on their locations. The interior of the property contains thirty-nine specimens none of which are oaks (*Quercus* spp.) or redwoods (*Sequoia sempervirens*) or protected by the municipal ordinance.

Trees and Plans

All the trees located in the interior of the property are to be demolished (C01.00) except for Chinese elm number 12 located near the corner of Embarcadero Road and East Bayshore Road.

There are five areas where the storm drains are located near existing protected trees which are as follows:

- Two along the west side of the site along East Bayshore Road near street trees.
- One along the south side near at least one neighboring red ironbark.
- Two near the southeast corner around the two silver dollar gums, one red gum, and one red ironbark 60, 61, 62, and 63.

Trenching for the drains will occur in these areas but appears far from the trees or at least outside of ten times their trunk diameter. Grading will occur in these areas to allow for the proper drainage toward the surface drains but again is far enough from the trees it should not be a problem.

The construction of the "Car Wash" will also be under some red ironbarks located on the adjacent site.

Water connections will be near Chinese elm number 1 and there are several other utilities in the general area. Protection around that tree will be required and monitoring advised.

Street trees 11, 38, and 46 are to be removed and replaced.



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan December 23, 2015

Tree Protection

Tree protection focuses on protecting trees from damage to the roots, trunk, or scaffold branches from heavy equipment (Appendix D).

The TPZ is defined by the City of Palo Alto as the following: "unless otherwise specified by a project arborist or City Arborist, the area of temporary fenced tree enclosure. Within the TPZ, roots that are critical for tree survival are typically found in the upper three foot soil horizon, and may extend beyond the drip-line area. Protecting the roots in the TPZ is necessary to ensure the tree's survival. The TPZ is a restricted activity zone where no soil disturbance is permitted, unless otherwise approved. TPZ must be identified for each tree and shown on all applicable improvement plans for a development project."

The City of Palo Alto has two different tree protection requirements that apply to this project which are called Type I and Type II (Figures 1 and 2). The eucalyptus would need to have tree protection fence placed at the maximum encroachment distance of ten times their trunk diameter onto the site using Type I tree protection (Appendix B2). The street trees will require Type II protection and fence to be placed along the sidewalk enclosing the trees within the planted area between the sidewalk and parking lot or sidewalk and curb.

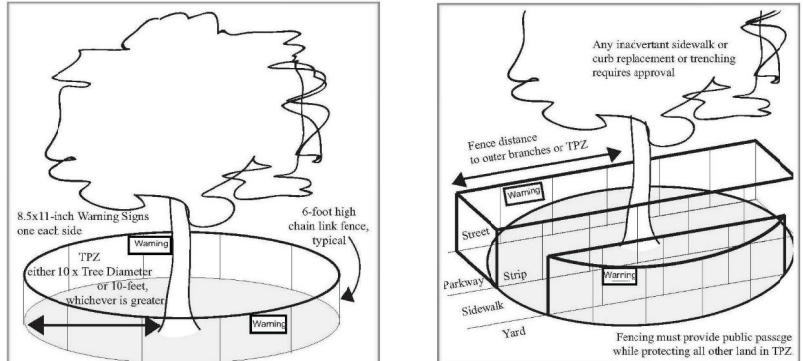


Figure 1: Type I Tree protection with fence placed at a radius of ten times the trunk diameter. Image City of Palo Alto 2006.

Figure 2: Type II Tree protection with fence placed along the sidewalk and curb to enclose the tree. Image City of Palo Alto 2006.



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1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan December 23, 2015

Discussion

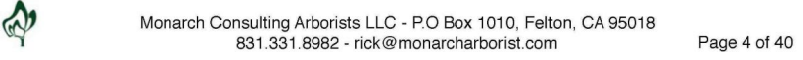
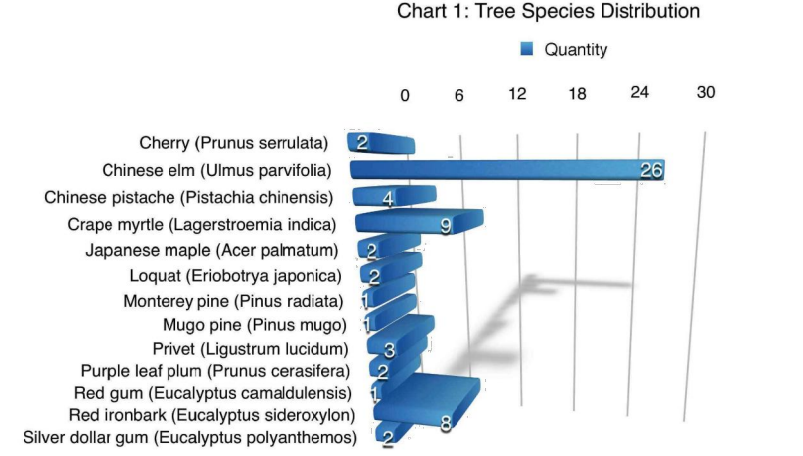
Tree Inventory

The tree inventory consists of all the trees on the property and those directly adjacent with crowns that extend over the boundary. The City of Palo Alto municipal ordinance protects oaks (*Quercus* spp.) and redwoods (*Sequoia sempervirens*) of certain sizes and street trees along public roadways. Trees on adjacent sites are to be protected regardless of size or species because it is illegal to compromise a neighboring tree.

All trunk diameters were taken from the Bay Area Tree Specialists report and heights and crown diameters are estimates. Aluminum tree tags are affixed to all trees listed in the inventory while trees on the adjacent sites have tags on the nearby fence.

The inventory contains 63 trees comprised of 13 different species. Chinese elm accounts for 41 percent of all trees while crane myrtle and red ironbark comprise 14 and 13 percent respectively as the next most abundant species. Thirteen trees, ten Chinese elms and three privets, are protected street trees. Eleven additional eucalyptus are located on adjacent properties requiring protection.

The chart below lists the species and their relative quantity within the project area (Chart 1).



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan December 23, 2015

Palo Alto Required Practices

Activities prohibited within the TPZ include

In addition to the tree protection guidelines stipulated in Appendix D the following is prohibited within the tree protection zone and required by the Tree Technical Manual, City of Palo Alto 2001:

Storage or parking vehicles, building materials, refuse, excavated spoils or dumping of poisonous materials or on or around trees and roots. Poisonous materials include, but are not limited to, paint, petroleum products, concrete or sludge mix, dirty water or any other material which may be deleterious to tree health.

The use of tree trunks as a winch support, underbrace, as a temporary power pole, sign post or other similar function.

Cutting of tree roots by utility trenching, foundation digging, placement of curbs and trenches and other miscellaneous excavation without prior approval of the City Arborist.

Soil disturbance or grade change (see Grade Changes and Trenching, Section 2.20).

Drainage changes.

Grading Limitations within the Tree Protection Zone

The following changes in grade are prohibited within the tree protection zone and required by the Palo Alto Municipal Code (Copied from the Tree Technical Manual, City of Palo Alto 2001).

Grade changes outside of the TPZ shall not significantly alter drainage to the tree.

Grade changes within the TPZ are not permitted.

Grade changes under specifically approved circumstances shall not allow more than 6-inches of fill soil added or allow more than 4-inches of existing soil to be removed from natural grade unless mitigated.

Grade fills over 6-inches or impervious overlay shall incorporate notes: an approved permanent aeration system, permeable material or other approved mitigation.

Grade cuts exceeding 4-inches shall incorporate retaining walls or an appropriate transition equivalent.



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Thirty-eight trees will be highly affected by the project and will need to be removed. None of these 38 are protected by the ordinance. Thirteen trees will be moderately influenced which are all the eucalyptus along the adjacent southern sites and Chinese elm number 1 near utility backlogs. All the moderately affected trees are protected. Twelve trees are not expected to be impacted including all the protected street trees with the exception of Chinese elm number 1.

The street trees will require Type II protection and fence placed along the sidewalk and parking lot edge while the eucalyptus will need Type I protection onto the site. The three privet (*Ligustrum lucidum*) along Embarcadero Road are to be removed and replaced with flame-leaved paperbark (*Melaleuca Linariformis*).

In total there are thirteen protected street trees comprised of ten Chinese elms and three privets. In addition to the protected street trees there are eleven eucalyptus growing on adjacent sites that will also require preservation.



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan December 23, 2015

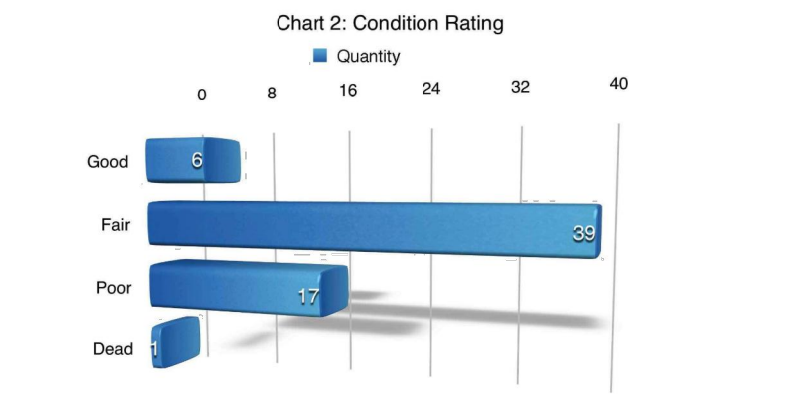
Condition Rating

A tree's condition is a determination of its overall health and structure based on five aspects: Roots, trunk, scaffold branches, twigs, and foliage. The assessment considered both the health and structure of the trees for a combined condition rating.

- Exceptional - Good health and structure with significant size, location or quality.
- Good - No apparent problems, good structure and health, good longevity for the site.
- Fair - Minor problems, at least one structural defect or health concern, problems can be mitigated through cultural practices such as pruning or a plant health care program.
- Poor - Major problems with multiple structural defects or declining health, not a good candidate for retention.
- Dead/Unstable - Extreme problems, irreversible decline, failing structure, or dead.

Most trees are in fair condition with 39 specimens while 17 more are in poor shape. Trees in poor shape are primarily comprised of Chinese elms around the interior perimeter suppressed by the eucalyptus. Six trees are in good condition which include the three Chinese pistache in the interior parking lot. The Monterey pine 56 is dead and located in the northeast corner along Embarcadero Road.

The chart below list the condition ratings and the relative quantity of each category (Chart 2).



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Trenching or Tunneling for Utilities Near Street Trees

When trenching near the street tree the following shall be followed and required by the Palo Alto Municipal Code (Copied from the Tree Technical Manual, City of Palo Alto 2001):

Notification: Contractor shall notify the project arborist a minimum of 24 hours in advance of the activity in the TPZ.

Root Severance: Roots that are encountered shall be cut to sound wood and repaired. Roots 2-inches and greater must remain injury free.

Root injury (Root Injury, Section 2.25 A-1): If trenches are cut and tree roots 2-inches or larger are encountered they must be clearly cut back to a sound wood lateral root. The end of the root shall be covered with either a plastic bag and secured with tape or rubber band, or be coated with latex paint. All exposed root areas within the TPZ shall be backfilled or covered within one hour. Exposed roots may be kept from drying out by temporarily covering the roots and draping layered burlap or carpeting over the upper 3-feet of trench walls. The materials must be kept wet until backfilled to reduce exposure from the trench walls.

Excavation: Any approved excavation, demolition or extraction of material shall be performed with equipment sitting outside the TPZ. Methods permitted are by hand digging, hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather.

If excavation or trenching for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots 2-inches in diameter and greater.

Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly 1- foot outside the TPZ and to the depth of the future excavation.

The trench must then be hand dug and roots pruned with a saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.

Tunneling & Directional Drilling: If trenching or pipe installation has been approved within the TPZ, then the trench shall be either cut by hand, air-spade, hydraulic v-vac excavation or by mechanically boring the tunnel under the roots with a horizontal directional drill and hydraulic or pneumatic air excavation technology. In all cases, install the utility pipe immediately, backfill with soil and seal within the same day. Installation of private utility improvements shall be tunnel bored beneath the tree and roots.



Summary

The site is located at the corner of East Bayshore Road and Embarcadero Road in Palo Alto. There is an old restaurant building centrally located on the property. The site is now used to house Aud vehicles throughout the parking lot.

The inventory consists of 63 trees comprised of 13 different species and includes those directly adjacent. Forty-one percent are Chinese elms with twenty-six specimens on the site. Thirteen trees, ten Chinese elms (*Ulmus parvifolia*) and three privets (*Ligustrum lucidum*), are protected street trees. Eleven additional eucalyptus (*Eucalyptus* spp.) are located on adjacent to the site requiring protection.

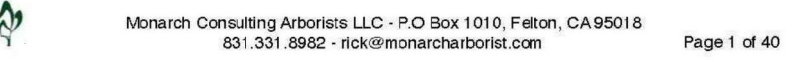
Thirty-nine trees are in fair condition and seventeen are in poor shape. Six are in good condition and one pine (*Pinus radiata*) is dead.

Thirty-four trees have poor suitability for preservation including all the crane myrtles (*Lagerstroemia indica*) and Chinese elms around the interior. Among the poorly suited trees are three protected privet street trees along Embarcadero Road. These three street trees are in poor condition and are considered as invasive species. Considerations for removal and replacement should be made for the three privet.

Thirty-eight trees will be highly affected by the project and will need to be removed. None of these 38 are protected by the ordinance. Thirteen trees will be moderately influenced which are all the eucalyptus along the adjacent southern sites and Chinese elm number 1 near utility backlogs. All the moderately affected trees are protected. Twelve trees are not expected to be impacted including all the protected street trees with the exception of Chinese elm number 1.

The street trees will require Type II protection and fence placed along the sidewalk and parking lot edge while the eucalyptus will need Type I protection onto the site. The three privet (*Ligustrum lucidum*) along Embarcadero Road are to be removed and replaced with flame-leaved paperbark (*Melaleuca Linariformis*).

In total there are thirteen protected street trees comprised of ten Chinese elms and three privets. In addition to the protected street trees there are eleven eucalyptus growing on adjacent sites that will also require preservation.



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan December 23, 2015

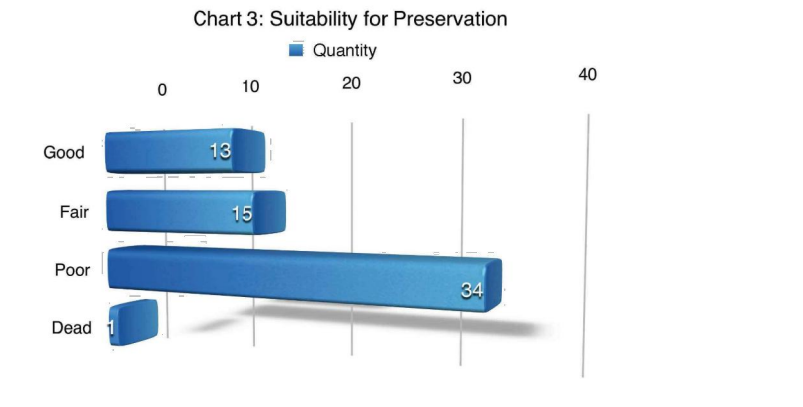
Suitability for Preservation

A tree's suitability for preservation is determined based on its health, structure, age, species characteristics, and longevity using a scale of good, fair, or poor. The following list defines the impact rating scale (Tree Care Industry Association, 2012):

- Good - Trees with good health, structural stability and longevity.
- Fair - Trees with fair health and/or structural defects that may be mitigated through treatment. These trees require more intense management and monitoring, and may have shorter life spans than those in the good category.
- Poor - Trees in poor health with significant structural defects that cannot be mitigated and will continue to decline regardless of treatment. The species or individual may possess characteristics that are incompatible or undesirable in landscape settings or unsuited for the intended use of the site.

Thirty-four trees have poor suitability for preservation including all the crane myrtles and Chinese elms around the interior. Among those poorly suited are three protected privet street trees along Embarcadero Road. Thirteen trees have good suitability for preservation including the ten protected Chinese elms along East Bayshore Road and two Chinese pistache in the interior. Fifteen have fair suitability including the red ironbarks on the adjacent site. One Monterey pine number 36 is dead.

The chart below list the condition ratings and the relative quantity of each category (Chart 3).



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Root Zone Protection Around the Protected Trees

The following measures should be taken when designing the car wash station and required by the Palo Alto Municipal Code (Copied from the Tree Technical Manual, City of Palo Alto 2001):

Heavy Equipment: Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited unless approved by the City Arborist. If allowed, a protective root buffer (see Root Buffer and Damage to Trees, Section 2.25 A-1) is required. The protective buffer shall consist of a base course of free chip spread over the root area to a minimum of 6-inch depth, layered by 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. This buffer within the TPZ shall be maintained throughout the entire construction project.

Structural design: If injurious activity or interference with roots greater than 2-inches will occur within the TPZ, plans shall specify a design of special foundation, footings, walls, concrete abut or pavement designs subject to City Arborist approval. Discontinuous foundations such as concrete pier and structural grade beam must maintain natural grade (not to exceed a 4-inch cut), to minimize root loss and allow the tree to use the existing soil.

Hardscape installation: When designing hardscape areas near trees, the project architect or engineer should consider the use of recommended base course material such as an engineered structural soil mix. The Palo Alto approved structural soil mix will allow a long term cost effective tree and infrastructure compatibility that is particularly suited for the following types development projects: repair or replacement of sidewalk, greater than 40-feet in length, subdivisions with new street tree plantings, planting areas that are designed over structures or parking garages, confined parking lot medians and islands or other specialized conditions as warranted. (see City of Palo Alto Public Works Improvement Specifications Standards and, [www.apaworks.com/cityinfo](http://www.apaworks.com/cityinfo))

Tree Pruning, Surgery, and Removal

Minimum Pruning: If the project arborist recommends that trees be pruned, and the type of pruning is left unspecified, the standard pruning shall consist of "crown clearing" as defined by ISA Best Management Practices: Pruning 2008 with the objective to reduce risk and/or improve structure.

Maximum Pruning: Maximum pruning should only occur in the rarest situation approved by the City Arborist. No more than one fourth (25 percent) of the fine branching leaf and stem area may be removed within one calendar year of any protected or designated tree, or removal of foliage so as to cause the unbalancing of the tree.



Introduction

Background

Thomas Belanger at Skender Construction asked me to assess the site, trees, and proposed plans to provide a report with my findings and recommendations to help satisfy the City of Palo Alto planning requirements.

Assignment

- Provide an arborist's report that includes an assessment of the trees within the project area. The assessment is to include the species, size (trunk diameter), condition (health and structure), suitability for preservation ratings, and disposition.
- Provide tree protection specifications and influence ratings for the trees that will be affected by the project. Include Palo Alto required practices.

Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on December 23, 2015. No tree risk assessments were performed.
- Tree tagging, trunk diameter measurements, and tree locations were taken from the Bay Area Tree Specialists report dated August 3, 2015 with permission and verified by Monarch Consulting Arborists LLC on December 22, 2015.
- The plans reviewed for this assignment were as follows: Demo Plan C01.00, Utility Plan C05.09, Grading Plan GR03.00, Storm Water Plan GR03.02 dated November 5, 2015 provided by Gmiller.

Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the property owners, their agents, and the City of Palo Alto as a reference for existing tree conditions to help satisfy the City of Palo Alto planning requirements.



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan December 23, 2015

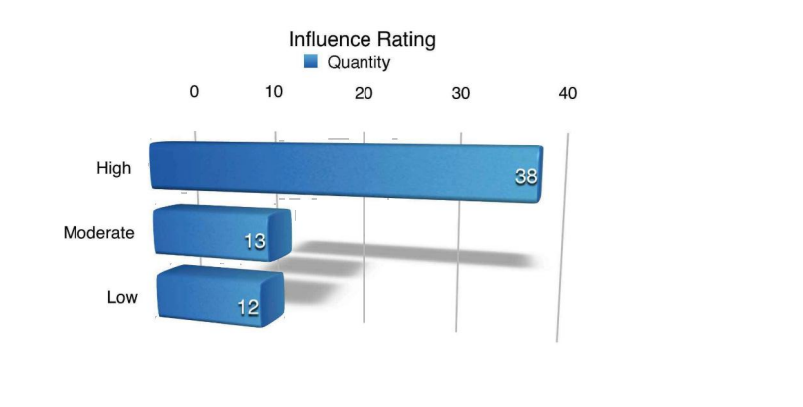
Influence Level

Influence level defines how a tree may be influenced by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating (Matheny, N. and Clark, J. 1998):

- Low - The construction activity will have little influence on the tree.
- Moderate - The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High - Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Thirty-eight trees will be highly affected by the project and need to be removed (Appendix B1). None of the 38 are protected by the ordinance. Thirteen trees will be moderately influenced which are all the eucalyptus along the adjacent sites and Chinese elm number 1 along E. Bayshore Road. All the moderately affected trees are protected and there will be some grading and drainage nearby and the car wash construction close by. The plans do not indicate the location of these trees relative to the grading, drainage, and utility improvements and it is difficult to determine just how close the trees are to the disturbances. Twelve trees will not be expected to be impacted which include all the protected street trees with the exception of Chinese elm number 1.

The chart below lists the trees and the development influence rating (Chart 4).



1700 Embarcadero Road Tree Inventory, Assessment, and Protection Plan December 23, 2015

Tree Workers: Pruning shall not be attempted by construction or contractor personnel, but shall be performed by a qualified tree care specialist or certified tree worker, according to specifications written according to ANSI A300 (Part 1) *Pruning* with measurable criteria outlining the objective, method (type), amount or quantity of live foliage to be removed, the size range of branches indicated in diameter, and the location within the tree where the pruning is to be performed.

Surgery: Prior to construction, if it is necessary to promote health and prolong useful life or the structural characteristics, then trees shall be provided the appropriate treatments (e.g. cavity screening, bark tracing, wound treatment, cables, rods or pole supports) as specified by the project arborist.

Tree Removal Procedure: When Regulated Trees are removed and adjacent trees that are to be preserved (as shown on the approved site plans) must be protected, then the following tree removal practices apply:

- Tree Removal: Removal of trees that extend into the branches or roots of Regulated Trees shall not be attempted by demolition or construction personnel, grading or other heavy equipment. A certified arborist or tree worker shall remove the tree carefully in a manner that causes no damage above or below ground to trees that remain.

- Stump Removal: Before performing stump extraction, the developer shall first consider whether or not roots may be entangled with trees that are to remain. If so, these stumps shall have their roots severed before extracting the stump. Removal shall include the grinding of stump and roots to a minimum depth of 24-inches but expose soil beneath stump to provide drainage. In sidewalks or small planter areas to be replanted with a new tree, the entire stump shall be removed and the planting pit dug to a depth of 36-inches. If dug below 36-inches, compact the backfill to prevent settling. Large surface roots three feet from the outside circumference shall be removed, including the spalls and backfilled with City approved topsoil to grade, and the area tamped to settle the soil.

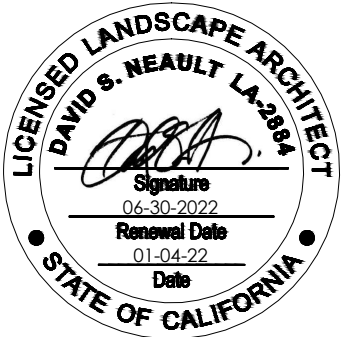
Damage to Trees

Reporting: Any damage or injury to trees shall be reported within 6-hours to the project arborist and city arborist and/or City Arborist so that mitigation can take place. All mechanical or chemical injury to branches, trunk or to Required Practices notes: roots over 2-inches in diameter shall be reported in the monthly inspection report.

Penalty for damage to street trees: In the event that street trees or their roots have been damaged, the contractor or property owner shall be subject to the penalty rate of \$1,000.00 per inch of damage.



SPECIAL TREE PROTECTION INSTRUCTIONS  
LANDSCAPE CONCEPT PLAN FOR:  
**Mercedes-Benz of Palo Alto**  
Swickard Auto Group





Conclusion

The site is located at the corner of East Bayshore Road and Embarcadero Road. The inventory consists of 63 trees comprised of 13 different species and includes those on the property and directly adjacent. Forty-one percent of all trees are Chinese elms with twenty-six specimens. Thirteen trees, ten Chinese elms and three privets, are protected street trees. Eleven additional eucalyptus are located on adjacent properties also requiring protection.

Thirty-nine trees are in fair condition while seventeen are in poor shape. Six are in good condition which include the three Chinese pistache in the interior parking lot. Pine number 36 is dead along Embarcadero Road.

Thirty-four trees have poor suitability for preservation including all the cape myrtles and Chinese elms around the interior. Among those poorly suited are three protected privet street trees along Embarcadero Road and consideration for removal and replacement should be made. Thirteen trees have good suitability for preservation including the ten protected Chinese elms along East Bayshore Road. Fifteen have fair suitability including the red ironbarks on the adjacent site.

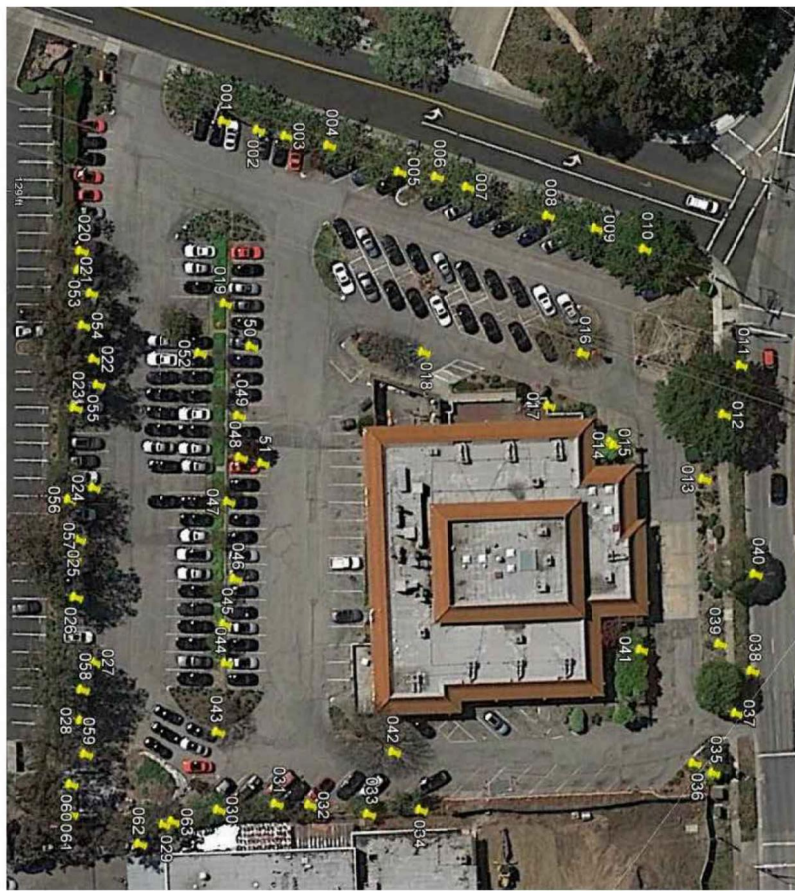
Thirty-eight trees will be highly affected by the project and require removal (Appendix B). None of these 38 are protected by the ordinance. Thirteen trees will be moderately influenced which are all the eucalyptus along the adjacent sites and Chinese elm number 1. All the moderately affected trees are protected and it appears there will be grading and drainage along with the car wash construction nearby. The plans do not indicate the locations of the adjacent trees relative to the grading, drainage, and utility improvements and it is difficult to determine just how close they are to the disturbances. Twelve trees will not be expected to impacted which include all the protected street trees with the exception of Chinese elm number 1.

The eucalyptus numbers 53 through 63 will need to have tree protection fences placed at their maximum encroachment distances of ten times their trunk diameter onto the site using Type I tree protection (Appendix B2). The street trees will require Type II protection and fence placed along the sidewalk and parking lot and between the sidewalk and curb.

In total there are thirteen protected street trees comprised of ten Chinese elms and three privets. In addition to the protected street trees are eleven eucalyptus growing on adjacent sites requiring preservation. No trees of oak, or redwood species are on the site or directly adjacent. A tree disposition table is located in Appendix B) indicating those to be removed or retained, protected on adjacent sites, and their protection status of either street tree or adjacent tree.

Care will be required while working around the street trees for utility hook-ups and grading near the south boundary where the eucalyptus are located. Tree protection radii are located in Appendix B2 indicating ten times the trunk diameter distances for each tree to be protected.

Appendix A: Tree Inventory Map



Tree inventory map produced and provided by Bay Area Tree Specialists, August 8, 2015.

Appendix B1: Tree Disposition Table

Table 2: Tree Disposition Table											
Tree Species	#	Trunk Diameter	~Height	~Crown Diameter	Protected	Type	Remove/Retain				
Chinese pistache (Pistacia chinensis)	18	12	25	35	No	Interior	Remove				
Cape myrtle (Laportea myrsinoides)	19	4.5	20	10	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	1	13.5	20	30	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	2	8.5	20	20	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	3	10	20	30	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	4	10	20	25	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	5	11	20	25	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	6	9.5	20	25	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	7	9.5	20	25	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	8	8.5	20	25	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	9	11	20	25	Yes	Street Tree	Retain				
Chinese elm (Ulmus parvifolius)	10	17	20	40	Yes	Street Tree	Retain				
Privet (Ligustrum lucidum)	11	7.5	10	8	Yes	Street Tree	Remove				
Chinese elm (Ulmus parvifolius)	12	23.5	30	50	No	Interior	Retain				
Cherry (Prunus serrulata)	13	5	8	8	No	Interior	Remove				
Japanese maple (Acer palmatum)	14	18	12	12	No	Interior	Remove				
Cape myrtle (Laportea myrsinoides)	15	6	10	8	No	Interior	Remove				
Chinese pistache (Pistacia chinensis)	16	13	25	35	No	Interior	Remove				
Purple leaf plum (Prunus cerasifera)	17	4.5	10	8	No	Interior	Remove				

Recommendations

Pre-Construction Phase

1. Locate all trees to be retained on all plans and indicate their required tree protection zone/ drip line distances of ten times their trunk diameters as required. Place all tree protection fence and locations on all plans including civil and construction documents.
2. Protect the street trees 1 through 10 as a group along East Bayshore Road by placing fence along the edge of the parking lot and sidewalk to enclose a rectangular fenced area as specified for "Type II" fence protection.
3. Remove street trees 11, 38, and 40 and replace with lace-leaved paperbark (*Medelaena laurifolia*).
4. Protect eucalyptus trees 53 through 63 by placing tree protection fence at a distance of ten times their trunk diameters as per the City of Palo Alto tree protection zone recommendations (Appendix B2).
5. Place straw wattles at the base of the tree protection on the construction side to help prevent soils from sloughing into the tree protection zone as an erosion control measure.
6. Remove all trees to be demolished after obtaining all necessary permits from the City of Palo Alto.
7. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
8. Arrange a pre-construction meeting with the project architect or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.
9. Arrange for the project architect or landscape architect to monitor and document initial grading activity and no grading is to occur within any tree protection zone.
10. Provide a monthly monitoring schedule to planning expected to be every four weeks and when activity is expected within the TPZ.
11. Refer to Appendix D for general tree protection guidelines.

Appendix B: Tree Inventory and Disposition Tables

Table 1: Tree Inventory and Assessment											
Tree Species	#	Trunk Diameter	~Height	~Crown Diameter	Condition	Suitability	Influence Level				
Chinese elm (Ulmus parvifolius)	1	13.5	20	30	Fair	Good	Moderate				
Chinese elm (Ulmus parvifolius)	2	8.5	20	20	Fair	Good	Low				
Chinese elm (Ulmus parvifolius)	3	10	20	30	Fair	Poor	Low				
Chinese elm (Ulmus parvifolius)	4	10	20	25	Fair	Good	Low				
Chinese elm (Ulmus parvifolius)	5	11	20	25	Fair	Good	Low				
Chinese elm (Ulmus parvifolius)	6	9.5	20	25	Fair	Good	Low				
Chinese elm (Ulmus parvifolius)	7	9.5	20	25	Fair	Good	Low				
Chinese elm (Ulmus parvifolius)	8	8.5	20	25	Fair	Good	Low				
Chinese elm (Ulmus parvifolius)	9	11	20	25	Fair	Good	Low				
Chinese elm (Ulmus parvifolius)	10	17	20	40	Fair	Good	Low				
Privet (Ligustrum lucidum)	11	7.5	10	8	Poor	Poor	Low				
Chinese elm (Ulmus parvifolius)	12	23.5	30	50	Fair	Fair	Moderate				
Cherry (Prunus serrulata)	13	5	8	8	Fair	Poor	High				
Japanese maple (Acer palmatum)	14	18	12	12	Good	Fair	High				
Cape myrtle (Laportea myrsinoides)	15	6	10	8	Fair	Poor	High				
Chinese pistache (Pistacia chinensis)	16	13	25	35	Good	Good	High				

Tree Species	#	Trunk Diameter	~Height	~Crown Diameter	Protected	Type	Remove/Retain				
Chinese pistache (Pistacia chinensis)	18	12	25	35	No	Interior	Remove				
Cape myrtle (Laportea myrsinoides)	19	4.5	20	10	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	20	8.5	20	10	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	21	6.5	20	10	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	22	9.5	20	10	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	23	5.5	20	10	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	24	6	20	10	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	25	6	20	10	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	26	9	20	15	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	27	9.5	25	25	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	28	8.5	25	25	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	29	5.5	20	15	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	30	9	30	25	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	31	8	25	25	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	32	7.5	25	20	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	33	6	25	15	No	Interior	Remove				
Chinese elm (Ulmus parvifolius)	34	7.5	25	15	No	Interior	Remove				
Mugo pine (Pinus mugo)	35	4.5	5	6	No	Interior	Remove				

Construction Phase

1. Place irrigation or soaker hoses on the existing grade under the within the drip line area or within the tree protection zone or automatic irrigation under trees 1 through 10, 11, 12, 38, and 40.
2. Place two to four inches of organic mulch, coarse woody debris, chips from tree care operations under the trees and over the soaker hoses within the tree protection zone.
3. If construction is to take place between June and October the trees should be watered to help mitigate any root loss and reduce stress. Ten gallons per inch of trunk diameter of water should be irrigated to the root zones once a week with a deep soaking.
4. If roots are expected to be cut the work shall be supervised and documented by the project arborist. If tree roots 2 inches or larger are encountered they must be cleanly cut back to a sound wood lateral root. The end of the root shall be covered with either a plastic bag and secured with tape or rubber band, or be coated with latex paint. All exposed root areas within the TPZ shall be backfilled or covered within one hour. Exposed roots may be kept from drying out by temporarily covering the roots and draping layered burlap or carpeting over the upper 3-feet of trench walls. The materials must be kept wet until backfilled to reduce evaporation from the trench walls.
5. Trenching or boring for utilities within the tree protection zone of the street trees or within shall be monitored and documented by the project arborist.
6. Provide monthly monitoring documentation to planning as required at least once every four weeks.

Post-Construction Phase

1. Monitor the health and structure of all trees for any changes in condition.
2. Manage soil moisture and maintain mulch.
3. Perform any other mitigation measures to help ensure long term survival.

Tree Species	#	Trunk Diameter	~Height	~Crown Diameter	Condition	Suitability	Influence Level				
Purple leaf plum (Prunus cerasifera)	17	4.5	10	8	Fair	Poor	High				
Chinese pistache (Pistacia chinensis)	18	12	25	35	Good	Good	High				
Cape myrtle (Laportea myrsinoides)	19	4.5	20	10	Fair	Fair	High				
Chinese elm (Ulmus parvifolius)	20	8.5	20	10	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	21	6.5	20	10	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	22	9.5	20	10	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	23	5.5	20	10	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	24	6	20	10	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	25	6	20	10	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	26	9	20	15	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	27	9.5	25	25	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	28	8.5	25	25	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	29	5.5	20	15	Fair	Poor	High				
Chinese elm (Ulmus parvifolius)	30	9	30	25	Fair	Fair	High				
Chinese elm (Ulmus parvifolius)	31	8	25	25	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	32	7.5	25	20	Poor	Poor	High				
Chinese elm (Ulmus parvifolius)	33	6	25	15	Fair	Fair	High				
Chinese elm (Ulmus parvifolius)	34	7.5	25	15	Poor	Poor	High				

Tree Species	#	Trunk Diameter	~ Height	~ Crown Diameter	Protected	Type	Remove/Retain
Monterey pine ( <i>Pinus radiata</i> )	36	17	15	10	No	Interior	Remove
Locust ( <i>Eriobotrya japonica</i> )	37	21	25	25	No	Interior	Remove
Privet ( <i>Ligustrum lucidum</i> )	38	5.5	8	8	Yes	Street tree	Remove
Cherry ( <i>Prunus serrulata</i> )	39	6	8	8	No	Interior	Remove
Privet ( <i>Ligustrum lucidum</i> )	40	18	35	30	Yes	Street tree	Remove
Japanese maple ( <i>Acer palmatum</i> )	41	9	12	12	No	Interior	Remove
Chinese pistache ( <i>Pistacia chinensis</i> )	42	20	35	40	No	Interior	Remove
Chinese pistache ( <i>Pistacia chinensis</i> )	43	12.5	25	30	No	Interior	Remove
Cape myrtle ( <i>Laportea myrsinoides</i> )	44	4	20	10	No	Interior	Remove
Cape myrtle ( <i>Laportea myrsinoides</i> )	45	4	20	10	No	Interior	Remove
Cape myrtle ( <i>Laportea myrsinoides</i> )	46	4	20	10	No	Interior	Remove
Cape myrtle ( <i>Laportea myrsinoides</i> )	47	4.5	20	10	No	Interior	Remove
Cape myrtle ( <i>Laportea myrsinoides</i> )	48	5.5	20	10	No	Interior	Remove
Cape myrtle ( <i>Laportea myrsinoides</i> )	49	4	20	10	No	Interior	Remove
Cape myrtle ( <i>Laportea myrsinoides</i> )	50	4	20	10	No	Interior	Remove
Purple leaf plum ( <i>Prunus cerasifera</i> )	51	4	20	12	No	Interior	Remove



Tree Species	#	Trunk Diameter	Crown Diameter	Protected	Type	Remove/Retain	TPZ 10X DBH (ft. radius)
Red ironbark (Eucalyptus sideroxylon)	56	14	40	Yes	Adjacent Site Tree	Retain	12
Red ironbark (Eucalyptus sideroxylon)	57	15	40	Yes	Adjacent Site Tree	Retain	13
Red ironbark (Eucalyptus sideroxylon)	58	17	40	Yes	Adjacent Site Tree	Retain	14
Red ironbark (Eucalyptus sideroxylon)	59	13	40	Yes	Adjacent Site Tree	Retain	11
Red gum (Eucalyptus camaldulensis)	60	14	40	Yes	Adjacent Site Tree	Retain	12
Red ironbark (Eucalyptus sideroxylon)	61	14	40	Yes	Adjacent Site Tree	Retain	12
Silver dollar gum (Eucalyptus polyanthemos)	62	15	25	Yes	Adjacent Site Tree	Retain	13
Silver dollar gum (Eucalyptus polyanthemos)	63	18	25	Yes	Adjacent Site Tree	Retain	15
Chinese elm (Ulmus parvifolia)	12	20.5	50	No	Interior	Retain	20

C5: Adjacent Eucalyptus #53 through #61



Appendix C: Photographs  
C1: Chinese elms #1 through #10 along E. Bayshore Road



C6: Adjacent Eucalyptus #62 and #63



Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report;

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist® and Tree Risk Assessor Qualified. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner

ASCA Registered Consulting Arborist® #496  
ISA Board Certified Master Arborist® WE-4341B  
ISA Tree Risk Assessor Qualified

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C2: Privet #11



Appendix D: Tree protection specifications

Tree protection locations should be marked before any fencing contractor arrives.

Pre-Construction Meeting with the Project Arborist

Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.

Tree Protection Zones and Fence Specifications

Tree protection fence should be established prior to the arrival of construction equipment or materials on site. Fence should be comprised of six-foot high chain link fence mounted on eight-foot tall, 1.75-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

The fence should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper functions.

Fence should be repaired, as necessary, to provide a physical barrier from construction activities.

A final inspection by the city arborist at the end of the project will be required prior to removing any tree protection fence and replacement tree shall be planted at this time.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Restrictions Within the Tree Protection Zone

No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spills from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.

NOTES:

1. THIS SITE CONTAINS REGULATED TREES, INCLUDING NEIGHBORING TREES THAT OVERHANG THE PROJECT SITE.
2. LANDSCAPE MODIFICATIONS, CHANGES IN IRRIGATION, ADDING PLANT MATERIAL OR ANY EXCAVATION WITHIN 10- FEET OF STREET TREES MUST BE APPROVED IN ADVANCE BY THE URBAN FORESTRY SECTION AT (650) 496-5953.
3. TREE REMOVAL: CONTRACTOR SHALL OBTAIN A COMPLETED URBAN FORESTRY TREE CARE PERMIT # \_\_\_\_\_ SEPARATE FROM THE BUILDING OR STREET WORK PERMIT, PERMIT NOTICE HANGER AND CONDITIONS APPLY. CONTACT (650) 496-5953
4. THE CITY REQUIRES ADEQUATE ROOTABLE SOIL VOLUME AREAS FOR HEALTHY TREES. THE VOLUME OF ROOTABLE SOIL TO BE PROVIDED PER TREE IS BASED ON THE SIZE OF THE TREE AT MATURITY:  
- 600 CUBIC FEET OF ROOTABLE SOIL VOLUME SHALL BE INSTALLED PER SMALL TREE.  
- 900 CUBIC FEET PER MEDIUM-SIZED TREE AND  
- 1200 CUBIC FEET PER LARGE-SIZED TREE  
THE ABOVE SOIL VOLUME IS REQUIRED FOR ALL TREES PLANTED IN PARKING LOT ISLANDS LESS THAN 5' WIDE, USING ADJACENT AREA WITH Pervious SURFACE ABOVE (E.G. PAVERS). ALL IMPORTED SOILS SHALL BE TESTED AND THE RESULTS PROVIDED TO THE CITY FOR APPROVAL BEFORE IMPORT. IMPORT SOIL SHALL BE AMENDED WITH COMPOST PER CITY STANDARDS IN PLACE OF OTHER SOIL AMENDMENTS. STREET TREES REQUIRE AN AUTOMATIC IRRIGATION/BUBBLER SYSTEM AND MAY REQUIRE TREE GRATES.
5. SOIL ANALYSIS FOR PLANTING. SOIL ANALYSIS SHALL BE REQUIRED FOR ANY PROJECT WHERE GRADING DISTURBS MORE THAN 2,500 SQUARE FEET OF LAND AREA. A SOIL ANALYSIS REPORT SHALL DOCUMENT THE VARIOUS CHARACTERISTICS OF THE SOIL (E.G. TEXTURE, INFILTRATION RATE, PH, SOLUBLE SALT CONTENT, PERCENT ORGANIC MATTER, ETC.), AND PROVIDE RECOMMENDATIONS FOR AMENDMENTS AS APPROPRIATE FOR  
C) THE IMPROVED HEALTH OF NATIVE AND NATURALIZED TREES PROTECTED ON THE SITE;  
D) SPECIFICALLY FOR THE NEW TREE, SHRUB & GROUND COVER SPECIES PLANTED ON SITE AND,  
E) TO OPTIMIZE THE PRODUCTIVITY AND WATER-EFFICIENCY OF THE SOIL. THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE TO THE PROFESSIONALS PREPARING THE TREE ASSESSMENT OR PROTECTION REPORT, LANDSCAPE AND IRRIGATION DESIGN PLANS IN A TIMELY MANNER EITHER BEFORE OR DURING THE DESIGN PROCESS. A COPY OF THE SOILS ANALYSIS REPORT SHALL BE SUBMITTED TO THE CITY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE. THE PLANNING AND/OR PUBLIC WORKS DEPARTMENTS SHALL HAVE DISCRETION TO REQUIRE SOIL ANALYSIS AND TREATMENTS AS A CONDITION OF APPROVAL FOR ANY GRADING PERMIT, BUILDING SITE APPROVAL, ARCHITECTURE AND SITE APPROVAL, USE PERMIT OR DESIGN REVIEW; WHERE A LANDSCAPE PROJECT SUBMITTAL IS REQUIRED.
6. BASE UNDER SIDEWALK, PLAZA, ROAD OR COMPACTED SURFACES, ENGINEERED SOIL MIX, SUCH AS STRUCTURAL SOIL OR OTHER ENGINEERED SOIL, SILVA CELLS OR OTHER PRODUCTS IN CONSULTATION WITH THE CONSULTING PROJECT ARBORIST.

C3: Privet #38



Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, hand saw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with hurlup or back-filled within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (beary) roots. Bore holes should be a minimum of three feet deep.

Timing

If the construction is to occur during the summer months supplemental watering and bark beetle treatments should be applied to help ensure survival during and after construction.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-41/D-49 California Contractors License. Tree pruning should be specified according to ANSI A-300A pruning standards and adhere to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk-through.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix E).

### Project Arborist Certification Letter

Prior to demolition, building, or grading permit issuance, the project arborist must sign this certification letter. By signing, the arborist certifies that the following terms have been met:

- Reviewed the entire building permit plan set submittal, and all updated Tree Protection Report (TPR) measures and changes are incorporated in the plan set
- Affirms that the T-1 (Tree Protection - it's Part of the Plan!) is included in the plan set with the Tree Disclosure Statement complete/signature by the Property Owner or Agent.
- Reviewed the Urban Forestry Conditions of Approval, and required items (e.g. specific plan notes and standard drawings) have been included in all relevant permit sheets.
- Confirms that ongoing Contractor/Project Arborist site monitoring inspections and reporting have been arranged with the contractor or owner.
- If protected oaks, redwoods, or designated trees are located on or next to the property, an itemized list of any activity impacts has been quantified and mitigated in the Tree Protection Zone for each tree.
- Confirms that changes to plans before or during construction shall be reviewed by the project arborist and responded to with a written letter of acceptance before submitting the revision to the Building Department for review by Planning, Public Works, or Urban Forestry.

Project Address: 1700 Embarcadero Road

I, Richard Gessner, certify that the items listed have been addressed and are in accordance with City of Palo Alto standards and Building Permit stipulations

Richard Gessner March 31, 2016 ISA Board Certified Master Arborist® WE-4341B  
Project Arborist Signature Date Certification Number ASCA #CA #496

Palo Alto Tree Technical Manual: <http://www.cityofpaloalto.org/civica/files/civica/document/6436>  
Public Works Urban Forestry Operations Phone: (650) 496-5953

C4: Privet #40



Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

SPECIAL TREE PROTECTION INSTRUCTIONS  
LANDSCAPE CONCEPT PLAN FOR:  
**Mercedes-Benz of Palo Alto**  
Swickard Auto Group



T-4  
  
David NEAULT  
ASSOCIATES Inc.  
951 | 296 | 3430  
www.dnassociates.com  
01.04.22





CONTEXT MAP

**FAR CALCULATION**  
SIZE OF LOT: 110,423 SQUARE FEET (SF)  
NOTE THAT PURSUANT TO THE ZONING CODE, ALLOWABLE FLOOR AREA RATIO (FAR) IS 0.4:1 FOR THE DEALERSHIP AND ADDITIONAL 0.2:1 FOR THE SHWROOM SPACE

ALLOWED:  
0.40:1 = 44,169 SF ALLOWED  
0.20:1 = 22,084 SF ALLOWED

PROPOSED:  
30,814 SF FOR DEALERSHIP  
4,699 SF FOR EXCLUDED SERVICE DRIVE  
30,814 SF TOTAL

\*SEE SHEET 04 FOR AREA DIAGRAMS

**PROJECT SUMMARY**

THIS PROJECT ENTAILS THE CONSTRUCTION OF A NEW AUTOMOTIVE DEALERSHIP WITH A SERVICE FACILITY. THE BUILDING HAS A PARAPET OF 26'-0" AND A PYLON TOWER OF 36'-0". EXTERIOR CLADDING OF THE PROPOSED FACILITY WILL CONSIST OF GLAZING, ACM PANELS, RIBBED METAL PANELS, RECLAIMED WOOD SIDING, STUCCO, AND A LANDSCAPE WALL.

THE REAR OF THE SITE CONTAINS A DRIVEWAY ALLOWING ACCESS FROM THE PROPOSED MERCEDES-BENZ DEALERSHIP TO THE EXISTING AUDI DEALERSHIP NEXT DOOR.

THIS BUILDING HAS MIXED OCCUPANCY CLASSES OF B, S-1, AND S-2.

**PARKING CALCULATIONS**

CUSTOMER PARKING REQUIRED - 1 SPACE PER 400 SF OF SALES, SERVICE, AND OFFICE ADMINISTRATION. 1 SPACE PER 500 SF OF EXTERIOR DISPLAY

TOTAL SALES, SERVICES AND OFFICE AREA = 30,814 SF / 400 = 77.03 SPACES

TOTAL EXTERIOR DISPLAY = 3,414 SF / 500 = 6.83 SPACES

TOTAL CUSTOMER PARKING = 85 SPACES

TOTAL INVENTORY PARKING = 41 SPACES

TOTAL DISPLAY PARKING = 20

TOTAL PARKING = 146 SPACES

BICYCLE PARKING = 1 SPACE PER 10 EMPLOYEES, 40 EMPLOYEES = 4 BIKE SPACES

2 LOADING SPACES = 12' X 45'

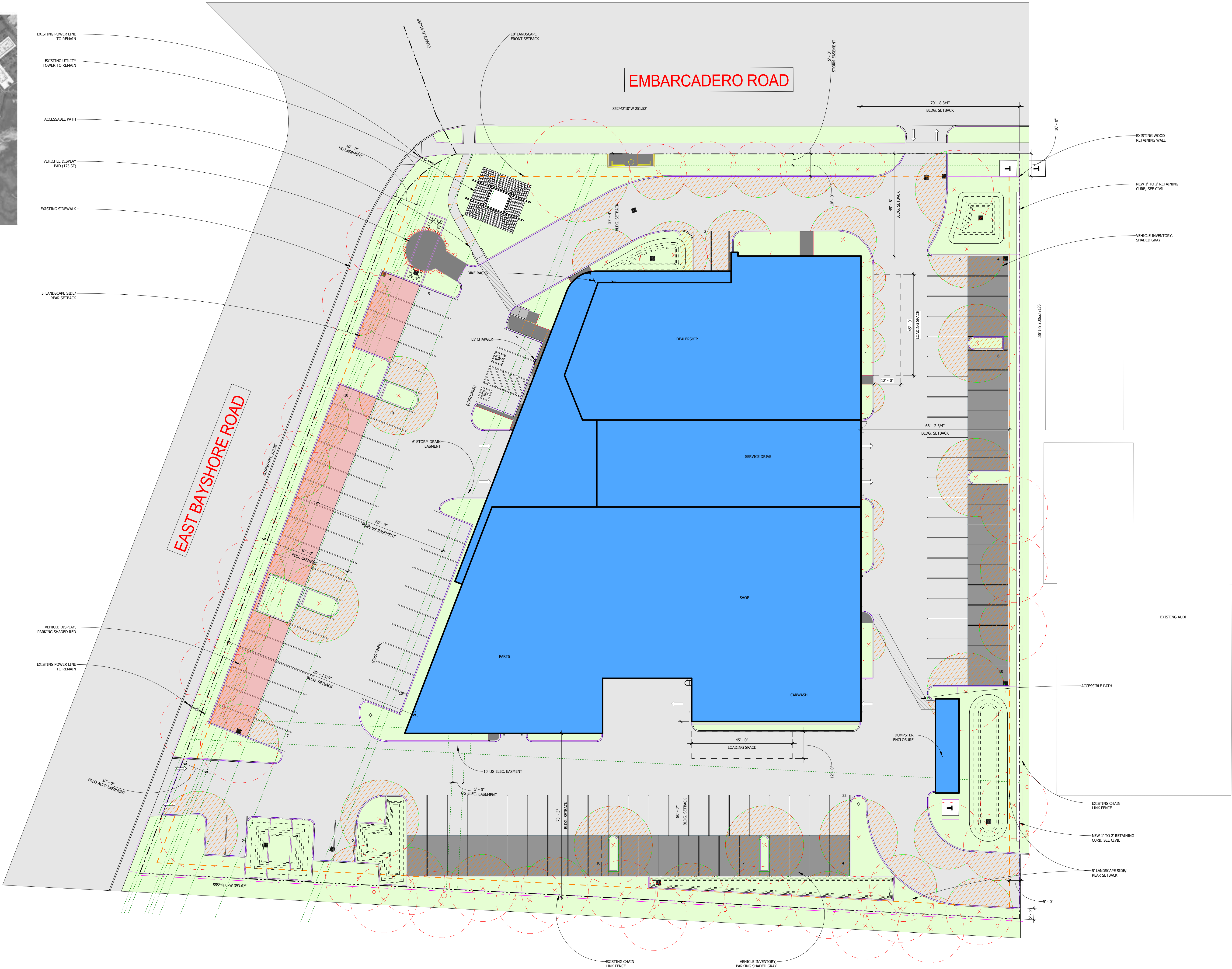
**EXISTING SITE SUMMARY**

EXISTING PARCEL: 110,432 SF OR 2.535 AC

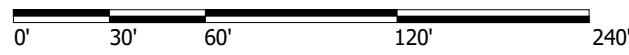
EXISTING FLOOR AREA: 15,207 SF

EXISTING PARKING: 161 SPACES

**SEE LANDSCAPE SHEETS FOR EXACT TREE LOCATIONS AND LANDSCAPE INFORMATION**



**1 | Architectural Site Plan**  
1" = 20'-0"





- MERCEDES-BENZ PROGRAM

SHOWROOM

ENTRY

DEalersHIP

FOCAL CAR

HOSPITALITY

MerCHandise

STAIR

JANITOR

PRINT

SERVICE ADVISORS

SERVICE DRIVE

CONSULTING

AMG STUDIO

OFFICE

Men'S RESTROOM

Women'S RESTROOM

TRAINING / BREAK

CORRIDOR

11'

FILES

SERVICE

Men'S RESTROOM

Women'S RESTROOM

STAIR

JANITOR

SERVICE DRIVE

TIRE EQUIP. / TOOLS

PARTS STORAGE

PARTS RECEIVING

ELECTRICAL

COMPRESSOR

SERVICE SHOP

FOREMAN

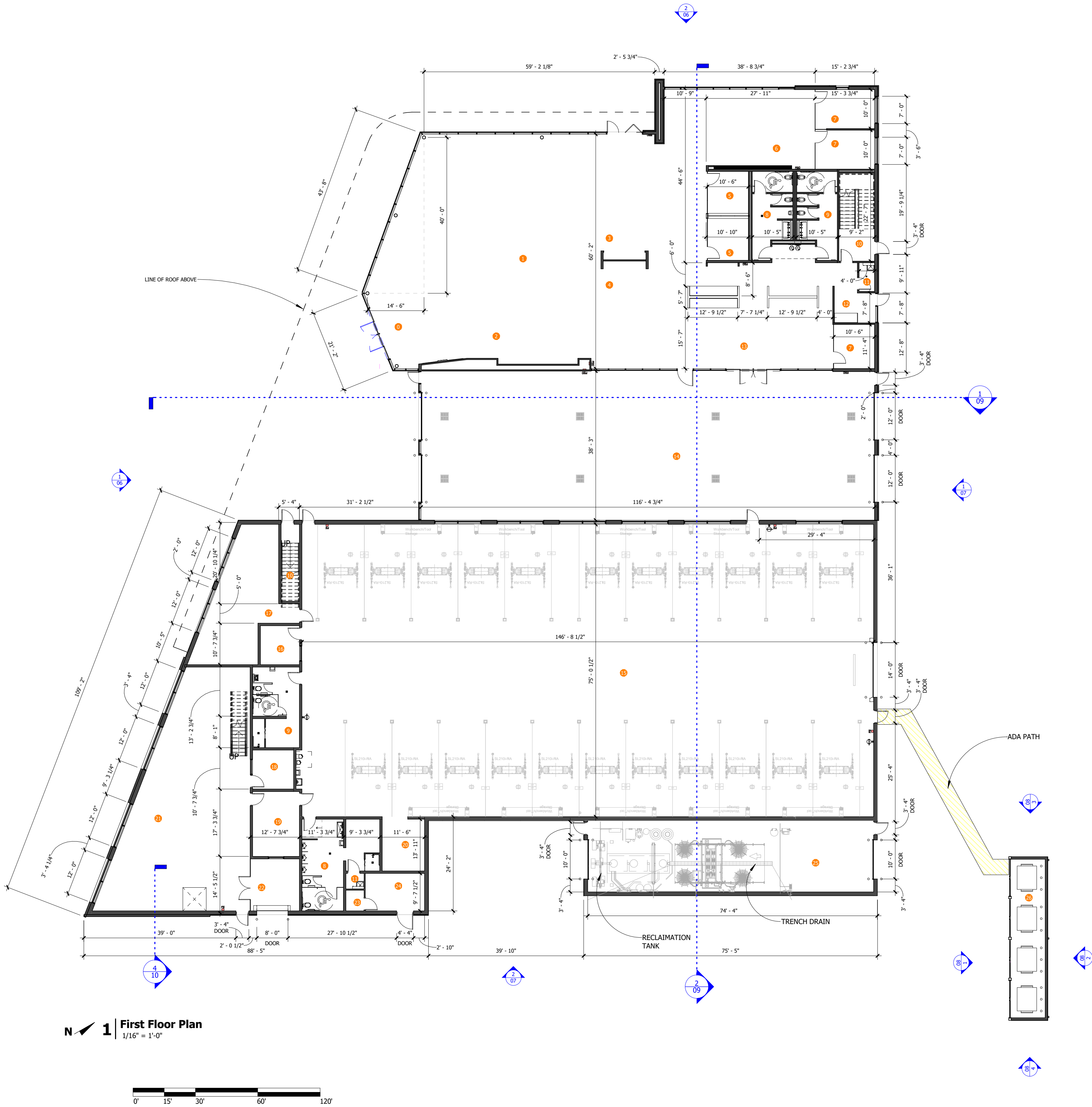
TRAINING / BREAK

PARTS MANAGER

TECH PARTS

CARWASH

DUMPSTER ENCLOSURE





- MERCEDES-BENZ PROGRAM

SHOWROOM

1 ENTRY

2 DEALERSHIP

3 FOCAL CAR

4 HOSPITALITY

5 MERCHANDISE

6 STAIR

7 JANITOR

8 PRINT

9 SERVICE ADVISORS

10 SERVICE DRIVE

11 CONSULTING

12 AMG STUDIO

13 OFFICE

14 MEN'S RESTROOM

15 WOMEN'S RESTROOM

16 TRAINING / BREAK

17 CORRIDOR

18 L.T.

19 FILES

SERVICE

1 MEN'S RESTROOM

2 WOMEN'S RESTROOM

3 STAIR

4 JANITOR

5 SERVICE DRIVE

6 TIME EQUIP. / TOOLS

7 PARTS STORAGE

8 PARTS RECEIVING

9 ELECTRICAL

10 COMPRESSOR

11 SERVICE SHOP

12 FOREMAN

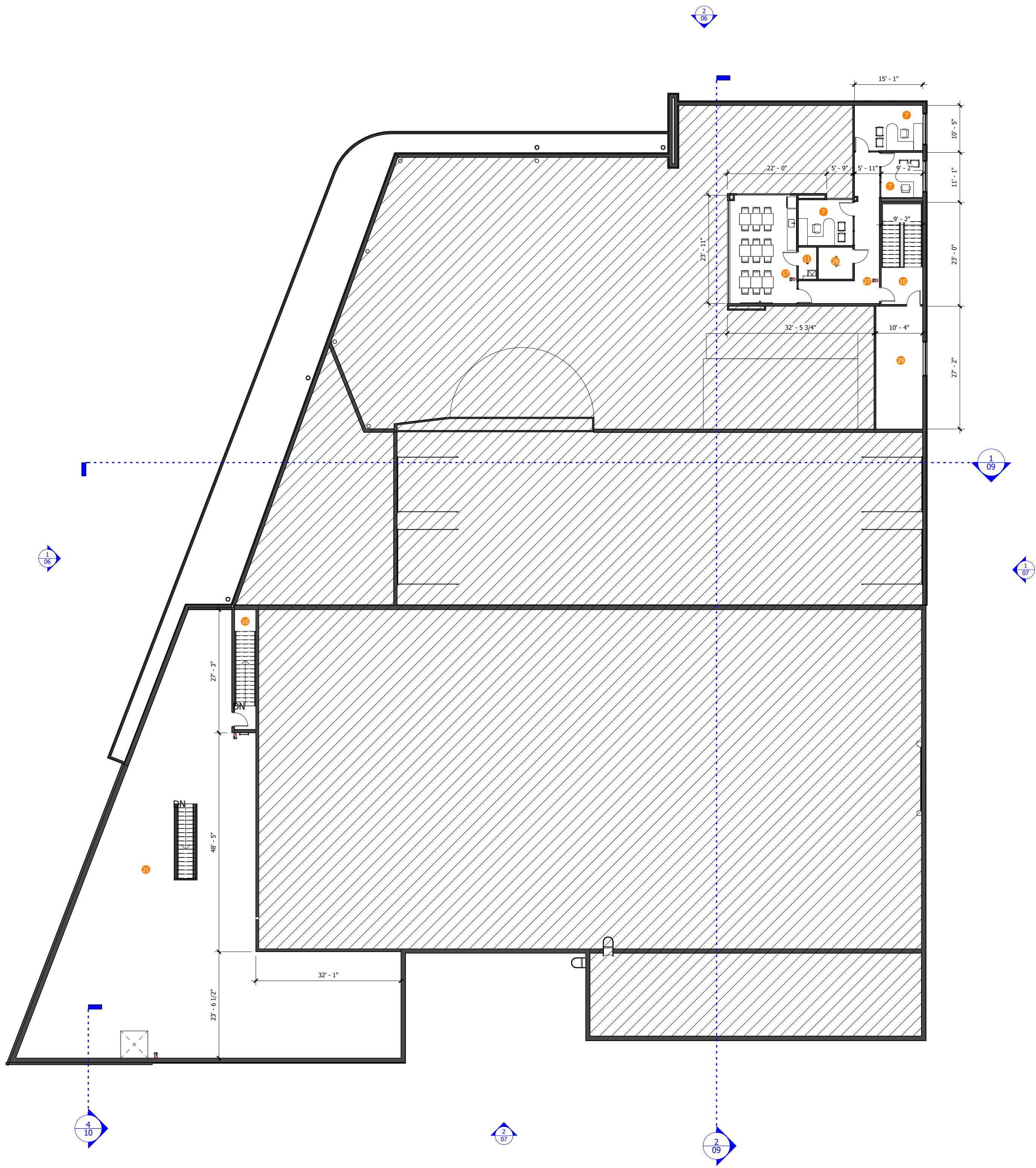
13 TRAINING / BREAK

14 PARTS MANAGER

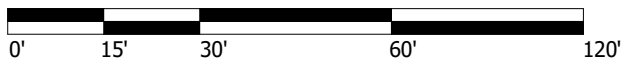
15 TECH PARTS

16 CARWASH

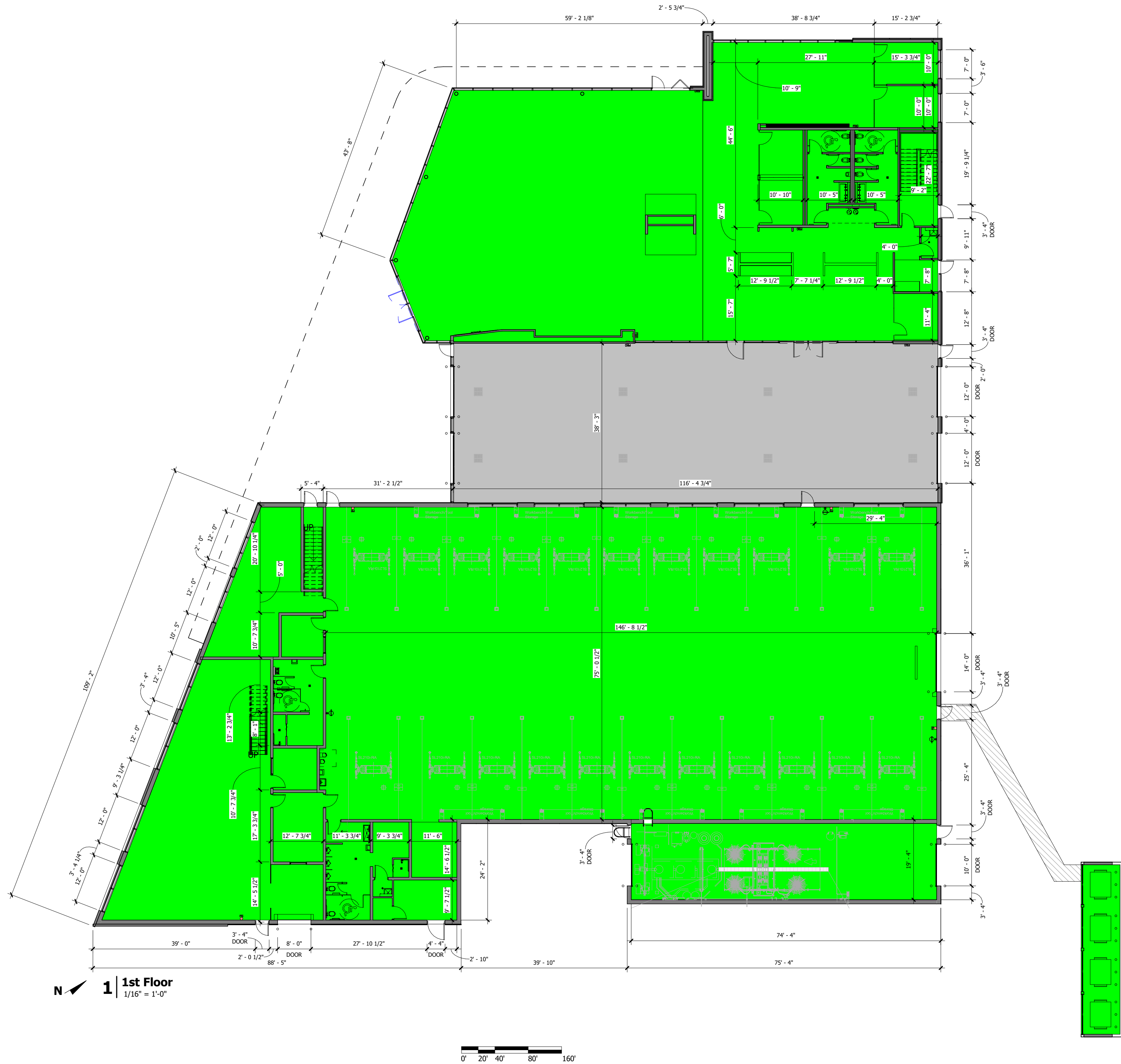
17 GUNPSYTER ENCLOSURE



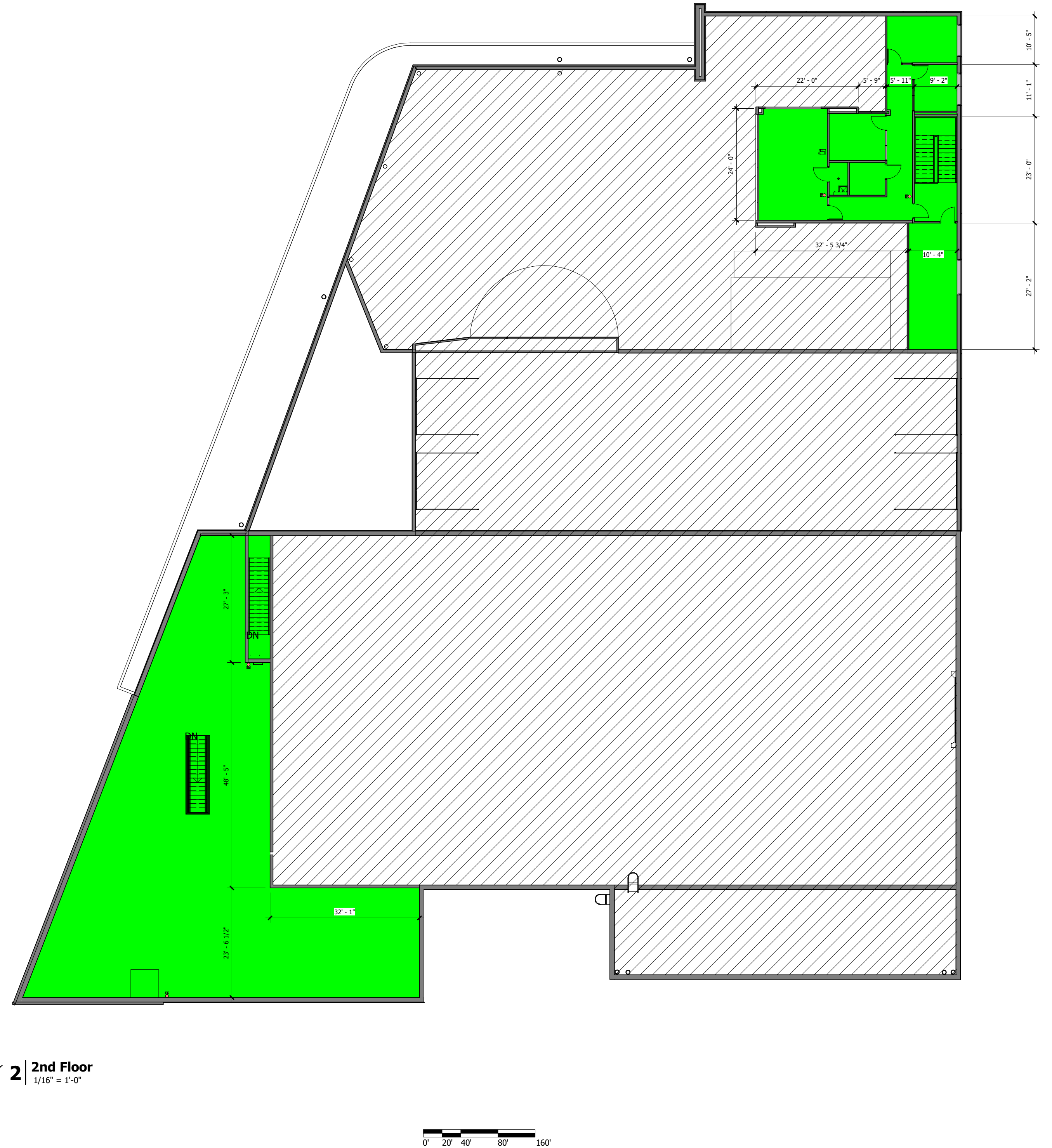
N 2 Second Floor Plan  
1/16" = 1'-0"







1ST FLOOR DEALERSHIP	25,099 SF
2ND FLOOR DEALERSHIP	5,715 SF
<b>SUBTOTAL</b>	<b>30,814 SF</b>
SERVICE DRIVE	4,499 SF
<b>SUBTOTAL (EXCLUDED)</b>	<b>4,499 SF</b>

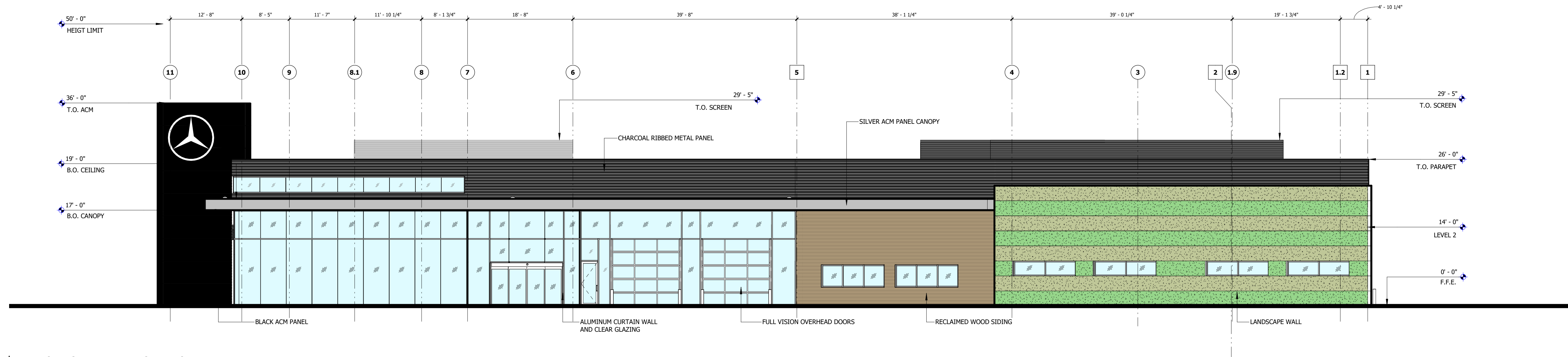


SIZE OF LOT: 110,423 SQUARE FEET (SF)  
NOTE THAT PURSUANT TO THE ZONING CODE,  
ALLOWABLE FLOOR AREA RATION (FAR) IS 0.4:1 FOR  
DEALERSHIP AND ADDITIONAL 0.2:1 FOR SHOWROOM  
SPACE  
ALLOWED:  
0.40:1 = 44,169 SF ALLOWED  
0.20:1 = 22,084 SF ALLOWED  
PROPOSED:  
30,814 SF FOR DEALERSHIP



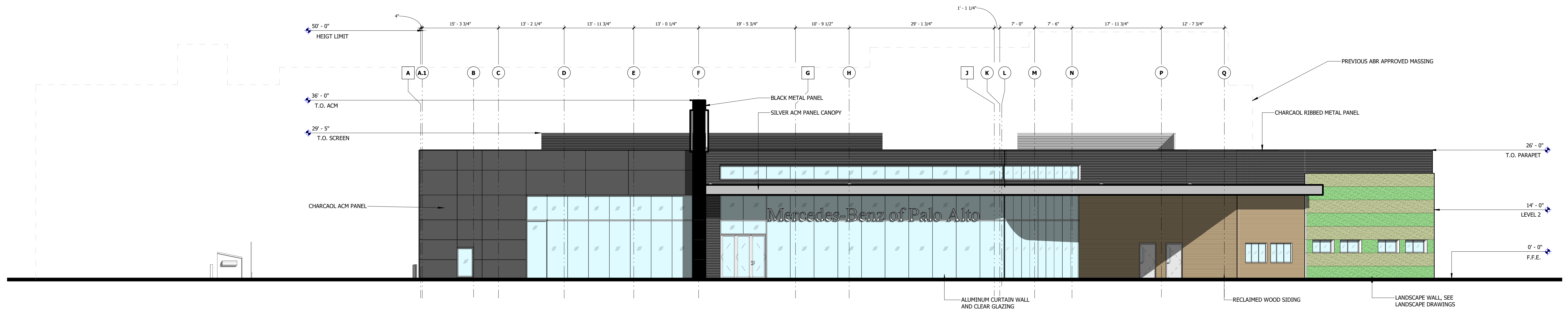






**1 | West Elevation - East Bayshore Rd.**  
1" = 10'-0"

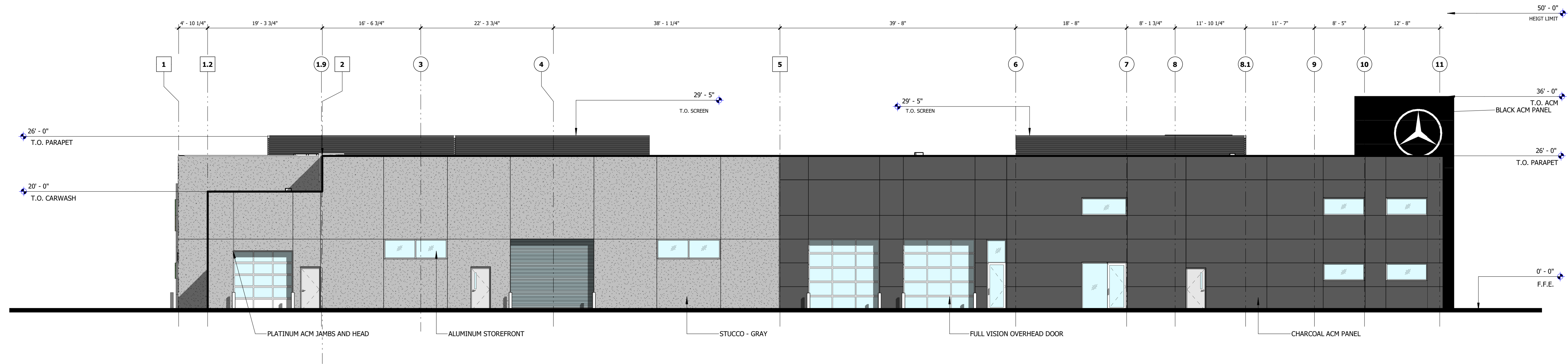
SEE MATERIAL BOARD ON SHEET 21



**2 | Northwest Elevation - Embarcadero Rd**  
1" = 10'-0"

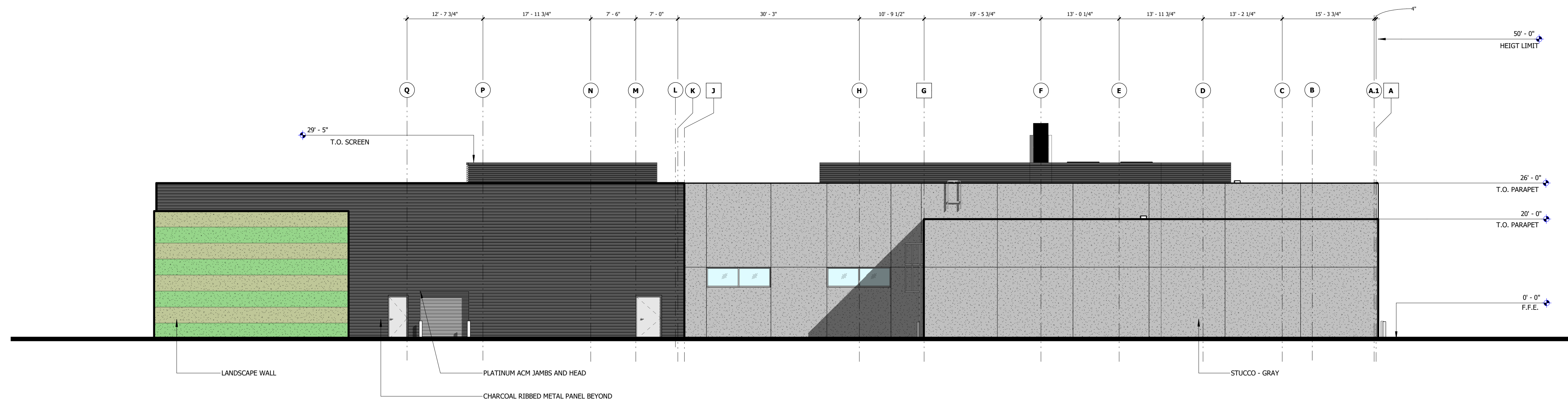
SEE MATERIAL BOARD ON SHEET 21





**1 | Northeast Elevation**  
1" = 10'-0"

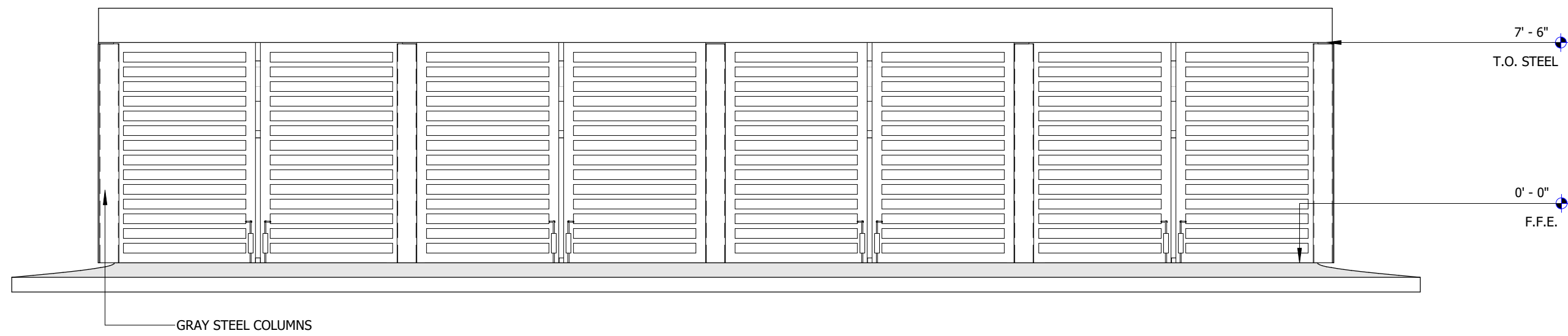
SEE MATERIAL BOARD ON SHEET 21



**2 | Southeast Elevation**  
1" = 10'-0"

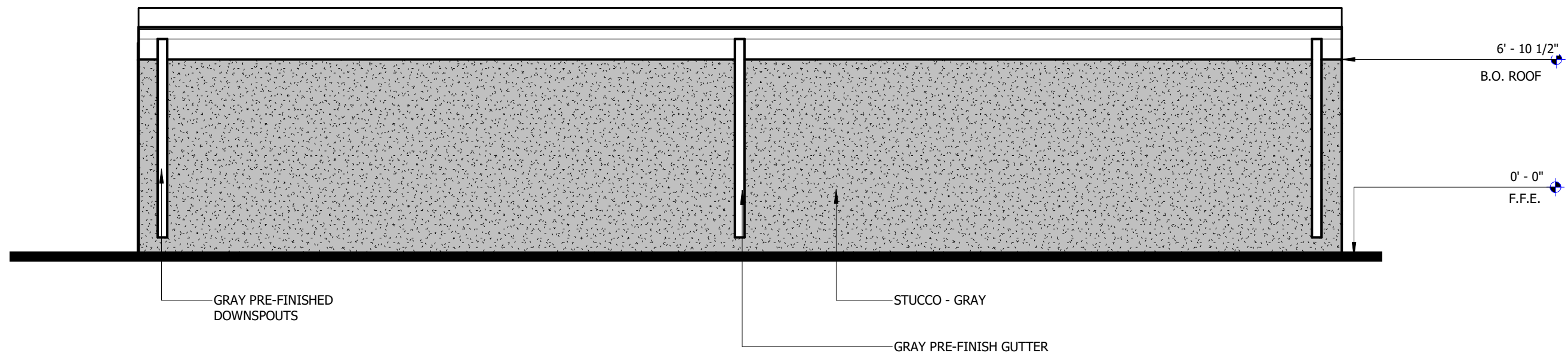
SEE MATERIAL BOARD ON SHEET 21





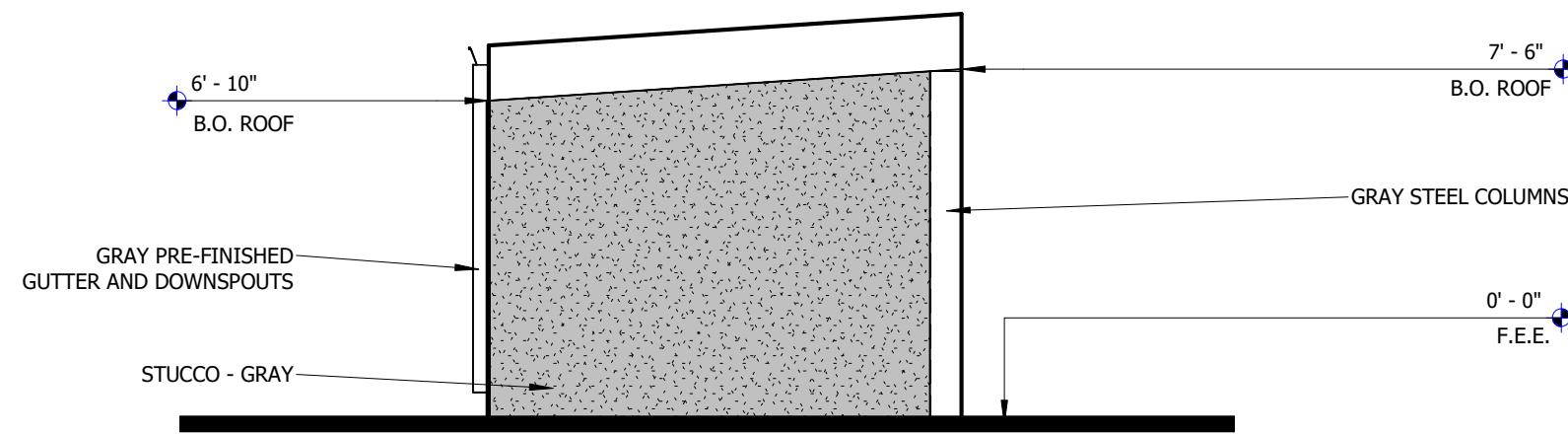
**1 | West Elevation - Front**  
1/4" = 1'-0"

SEE MATERIAL BOARD ON SHEET 21



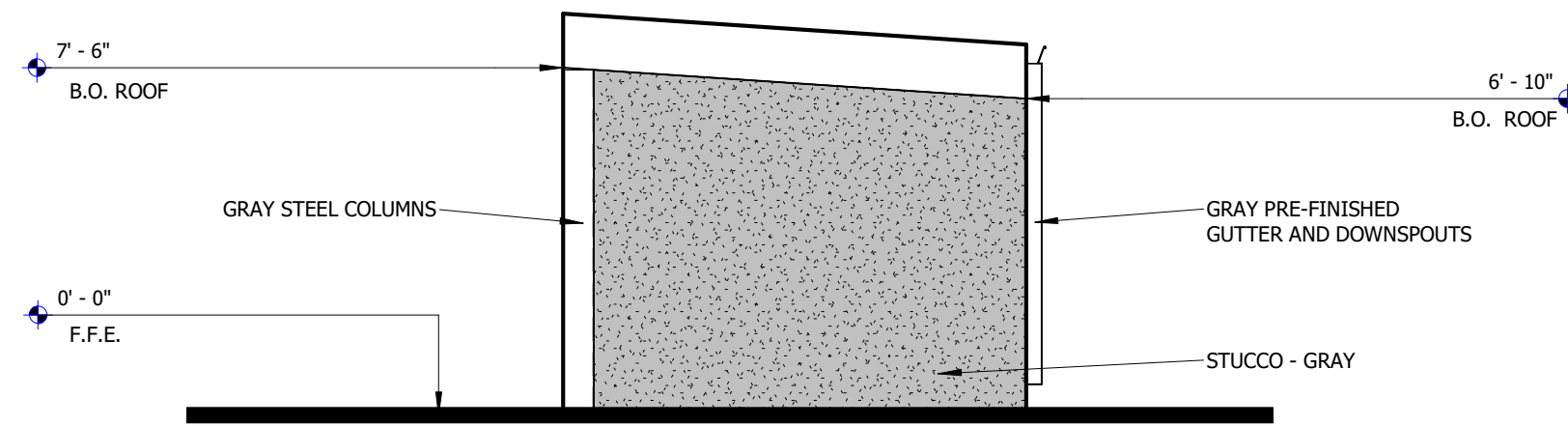
**2 | Northeast Elevation - Rear**  
1/4" = 1'-0"

SEE MATERIAL BOARD ON SHEET 21



**3 | Northwest Elevation**  
1/4" = 1'-0"

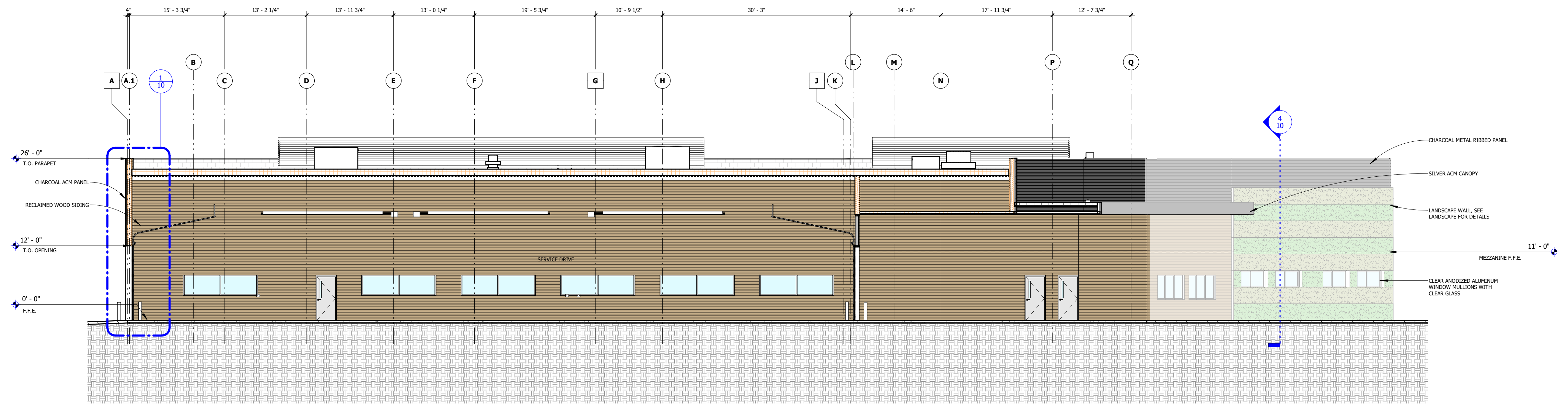
SEE MATERIAL BOARD ON SHEET 21



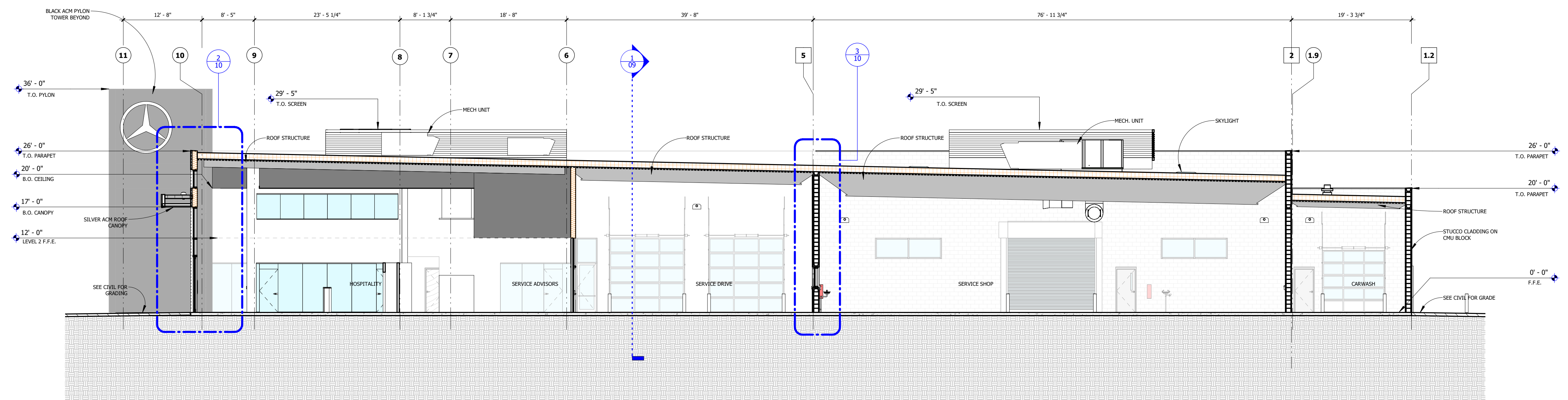
**4 | Southeast Elevation**  
1/4" = 1'-0"

SEE MATERIAL BOARD ON SHEET 21



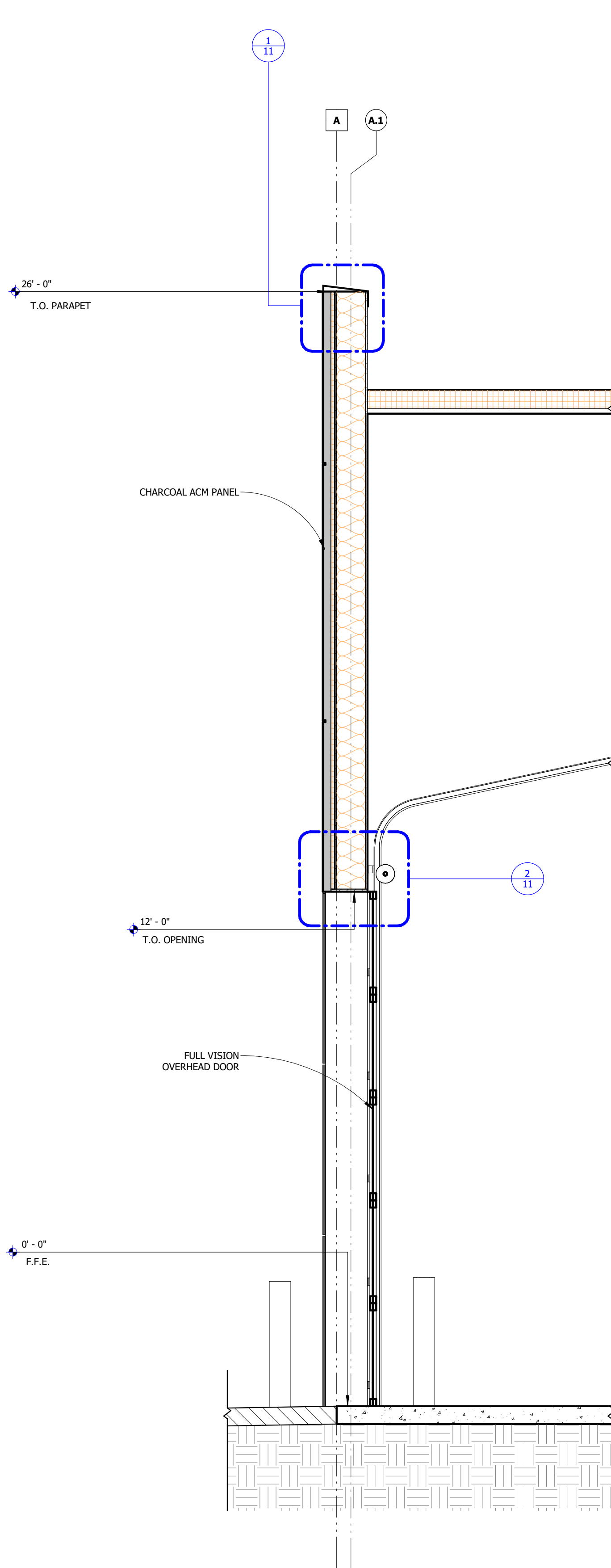


**1** East to West Wall Section 2  
1" = 10'-0"

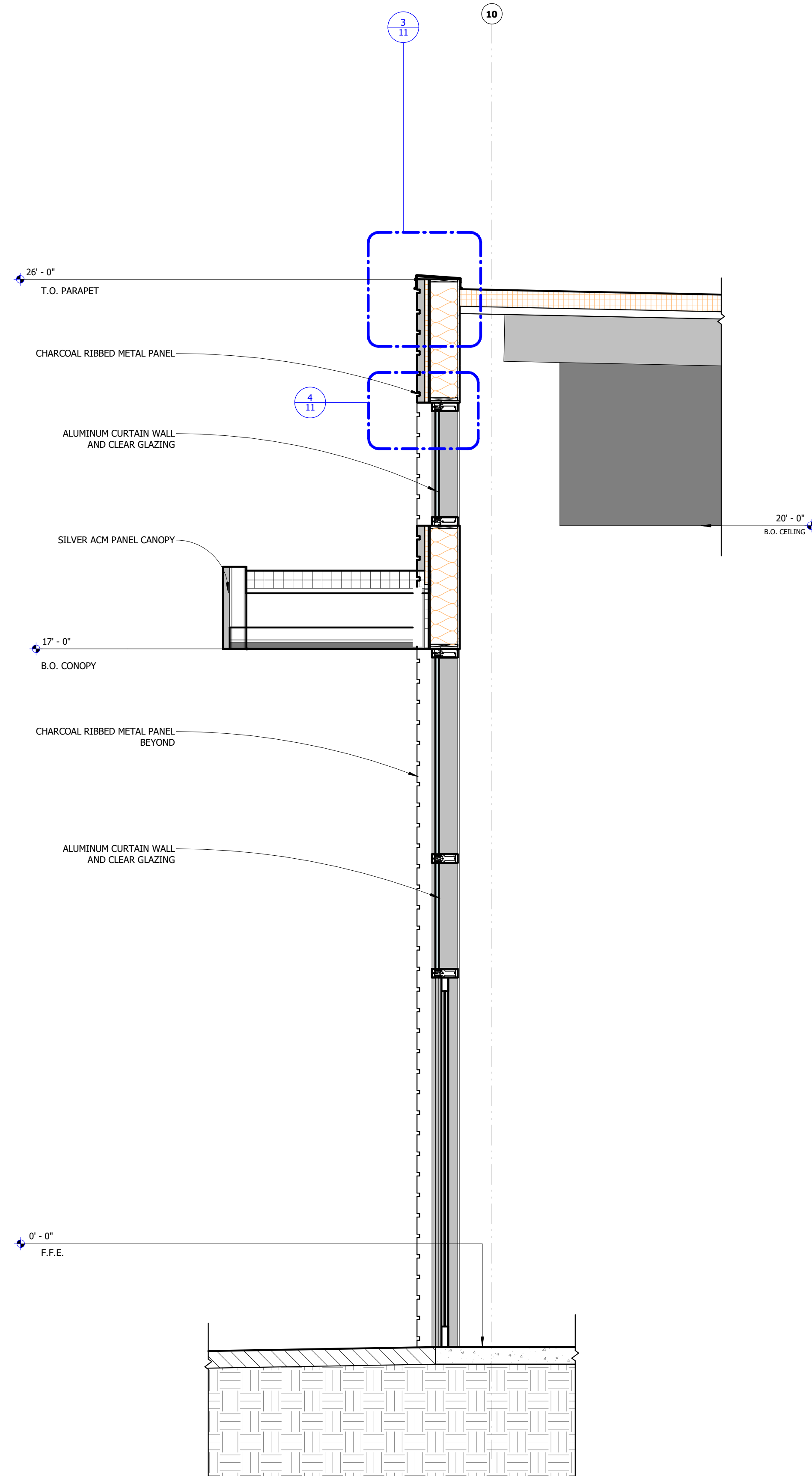


**2** N-S Building Section  
1" = 10'-0"

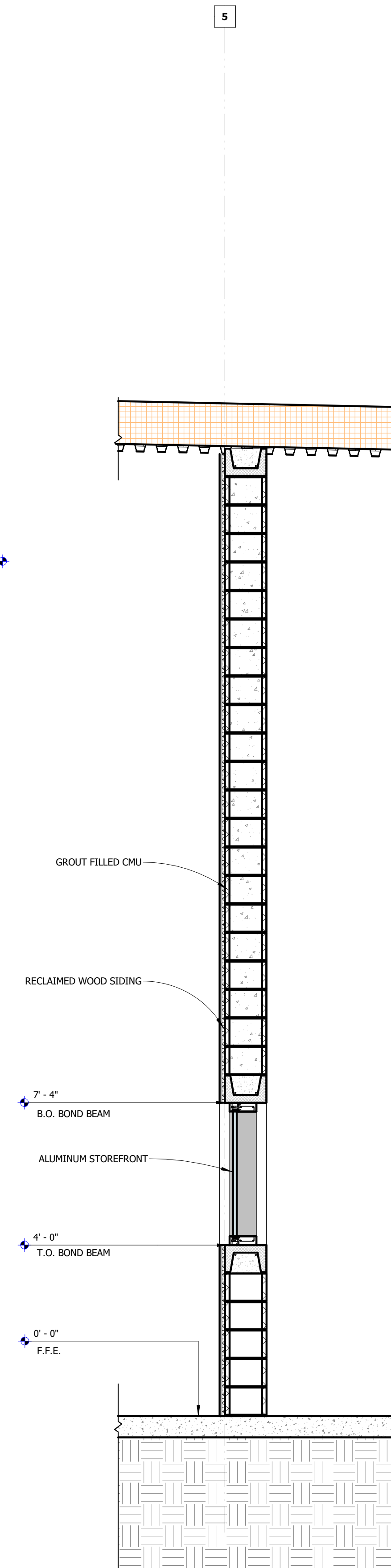




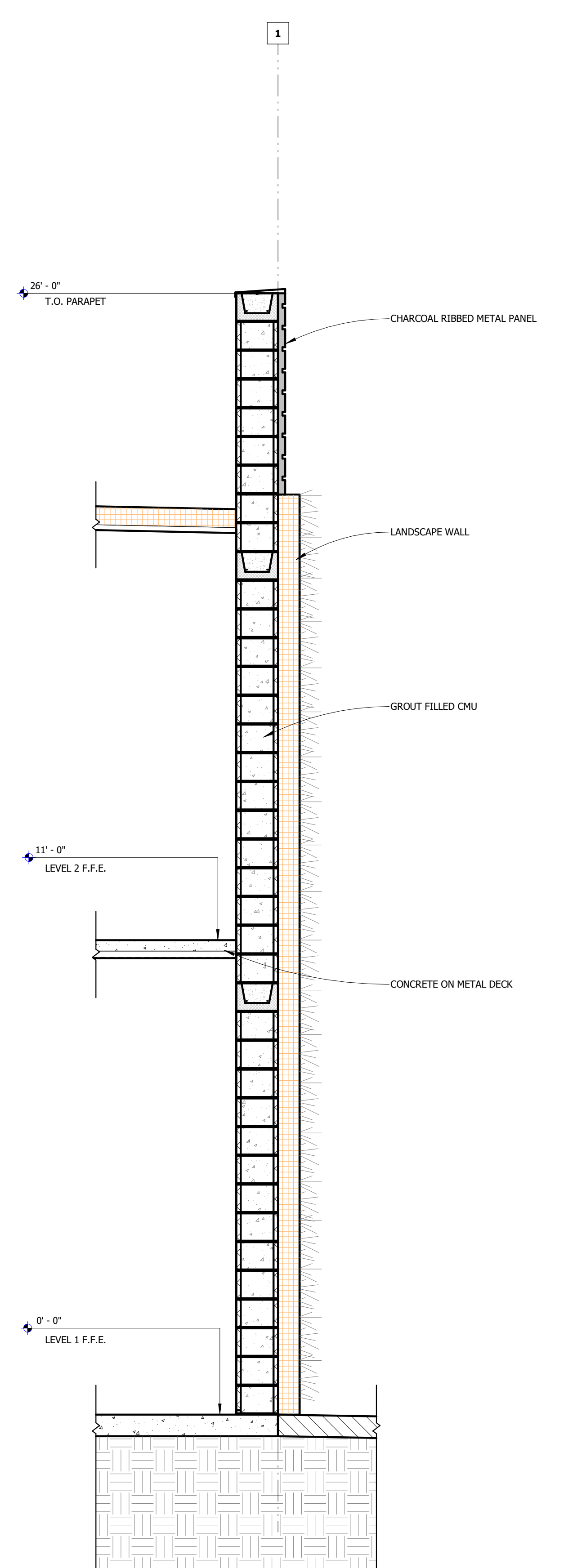
**1 | E-W Wall Section 1**  
1/2" = 1'-0"



**2 | N-S Wall Section 1**  
1/2" = 1'-0"

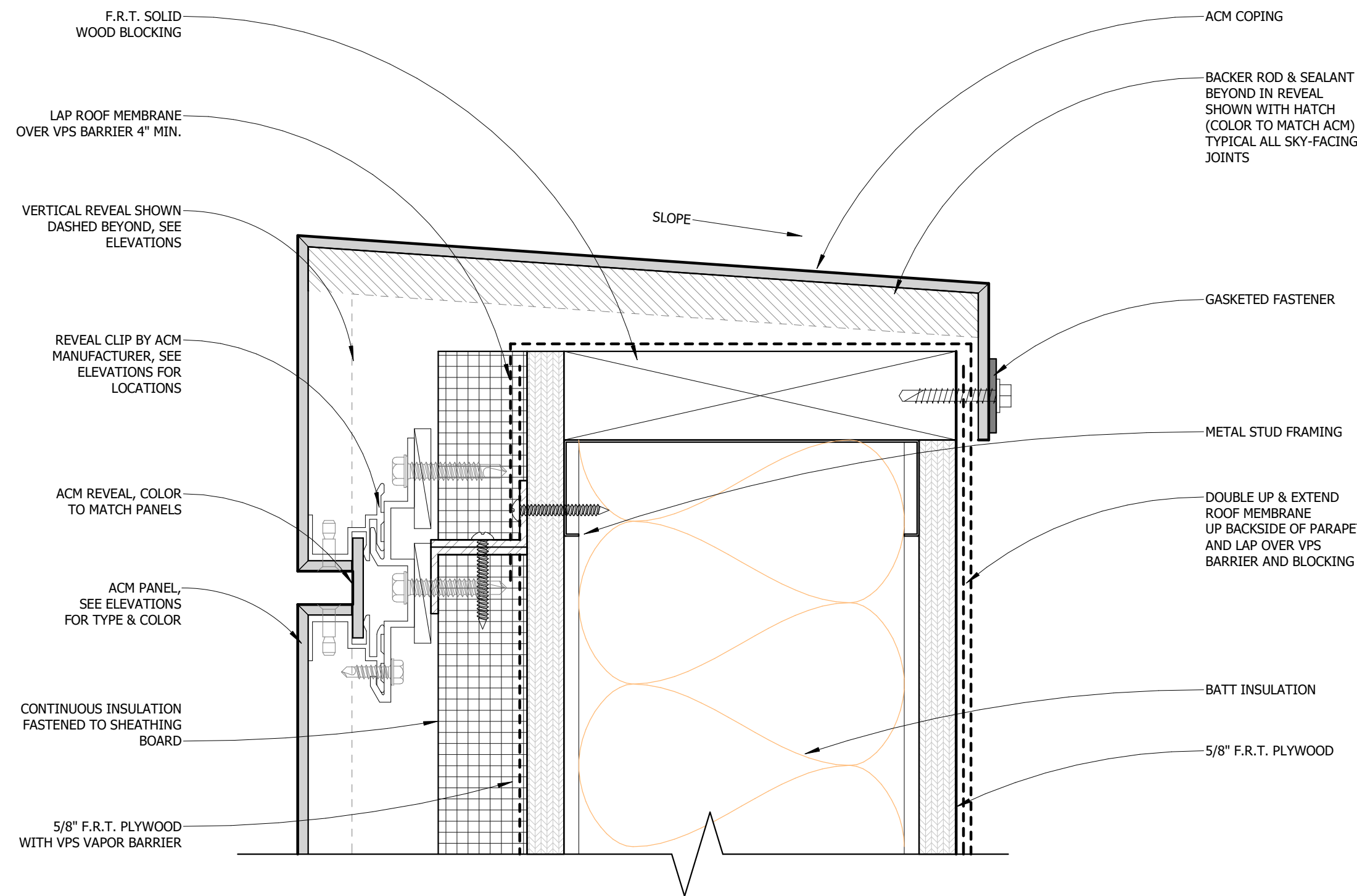


**3 | N-S Wall Section 2**  
1/2" = 1'-0"

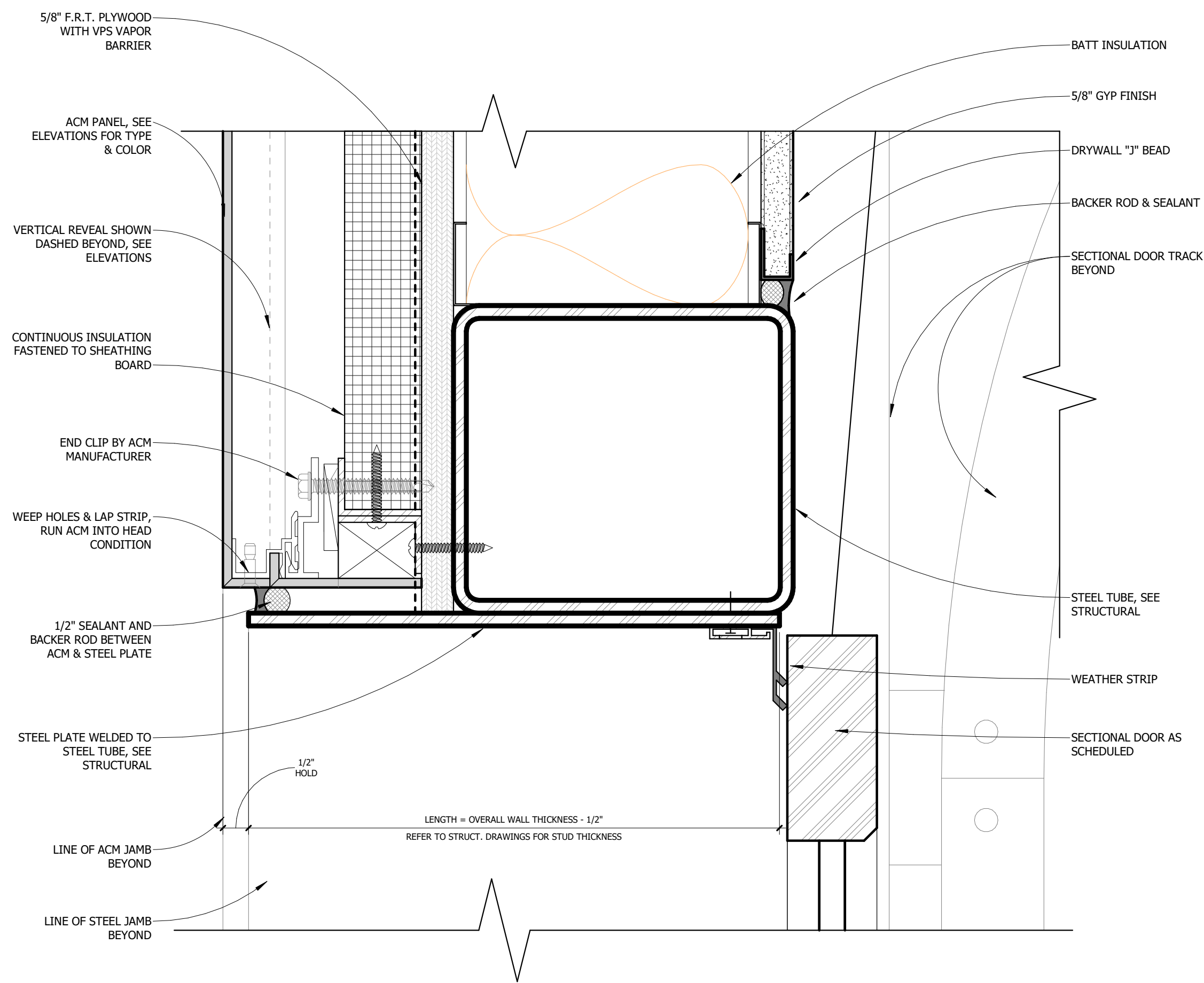


**4 | N-S Wall Section 3**  
1/2" = 1'-0"

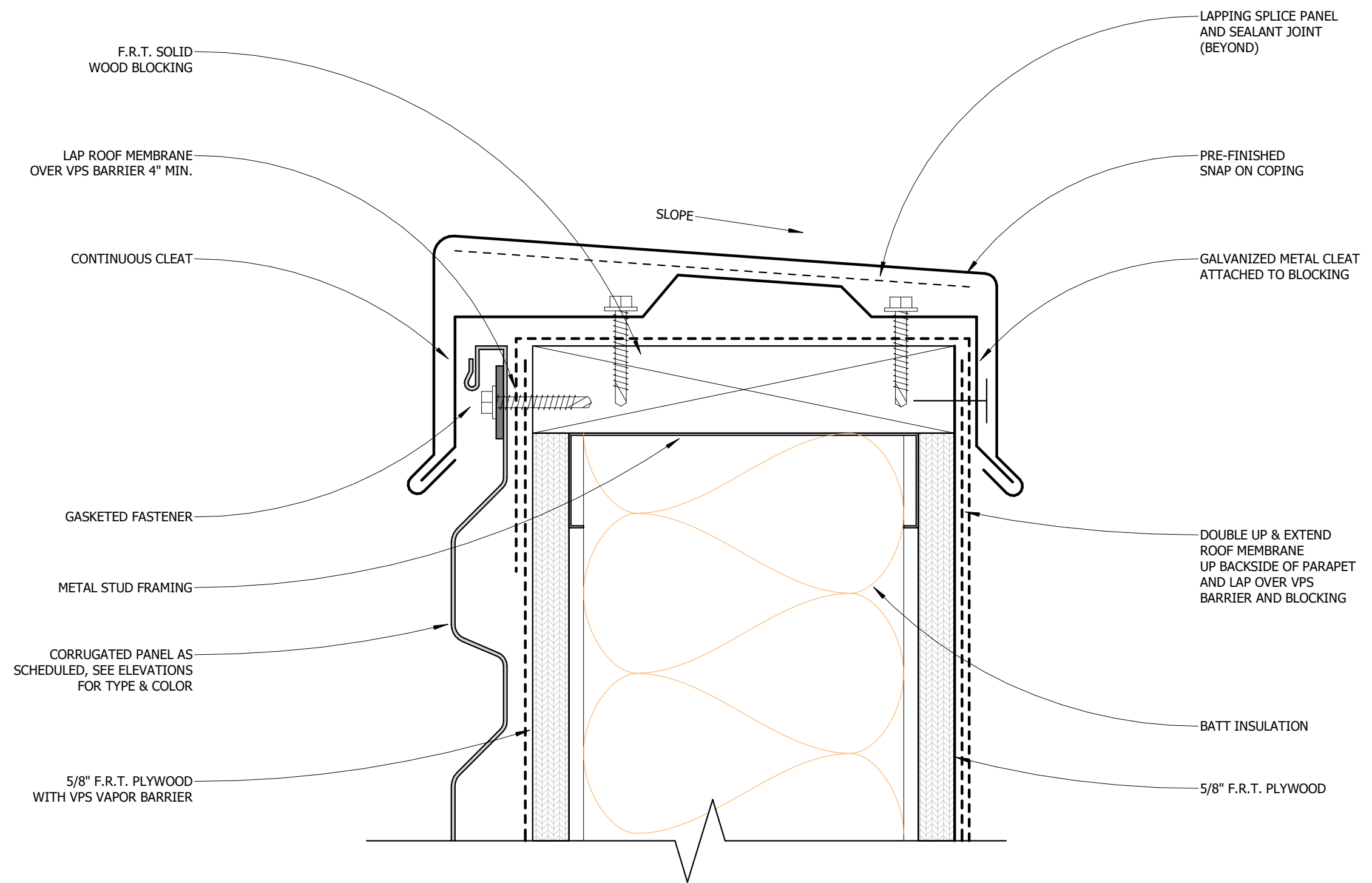




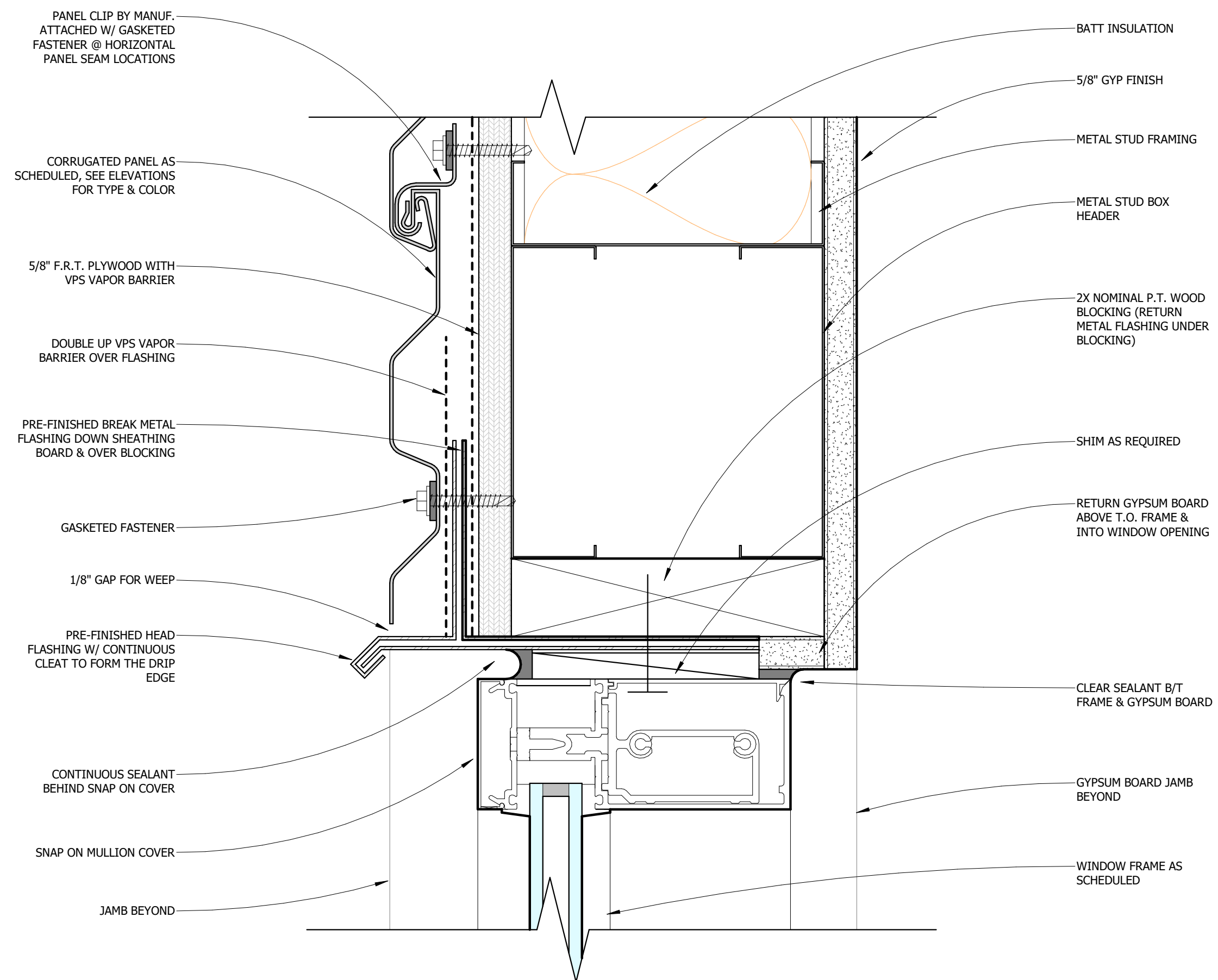
**1 | ACM Coping**  
6\"/>



**2 | ACM Head @ Sectional Door**  
6\"/>



**3 | CORR. Coping**  
6\"/>



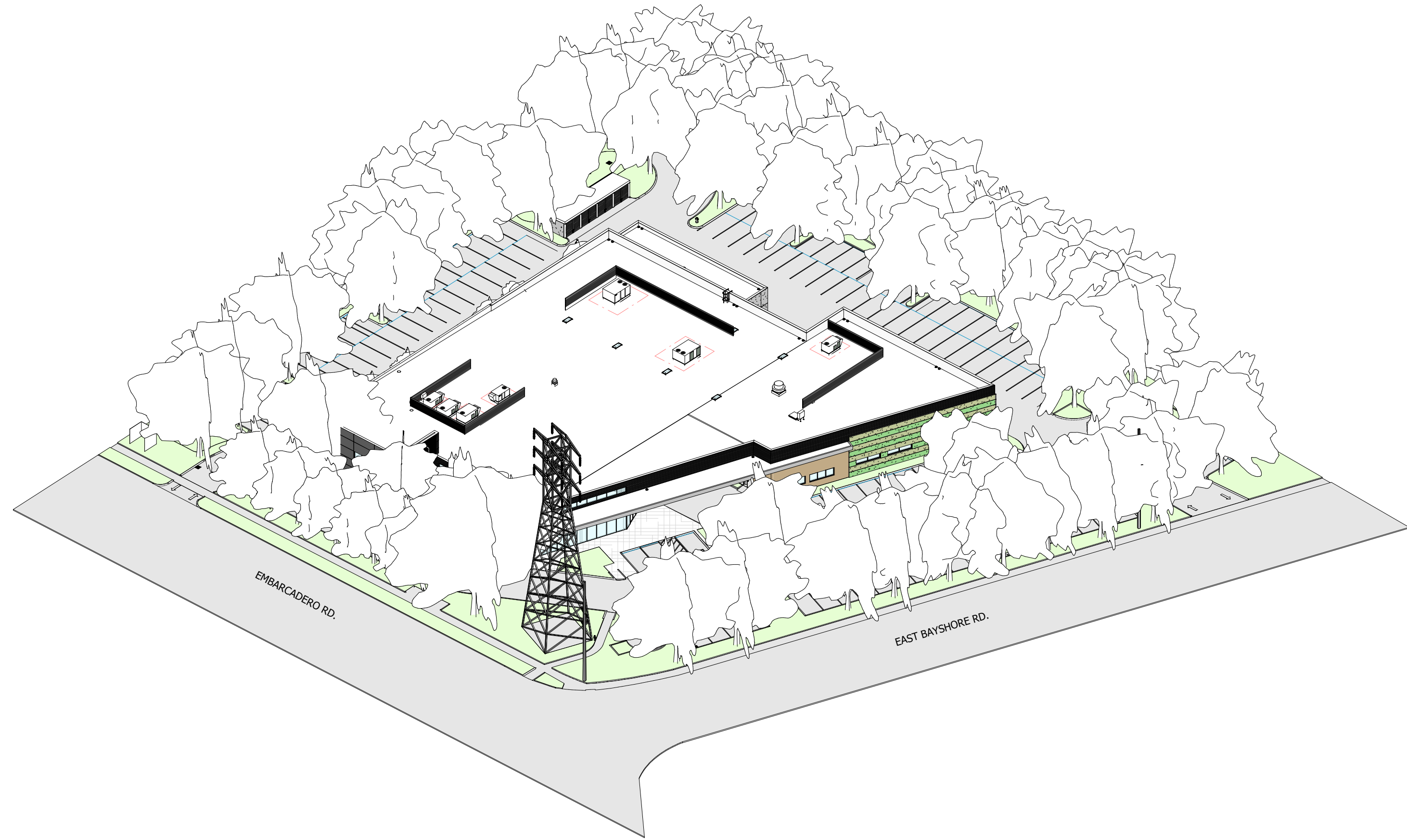
**4 | CORR. Head @ Window - Metal Stud**  
6\"/>



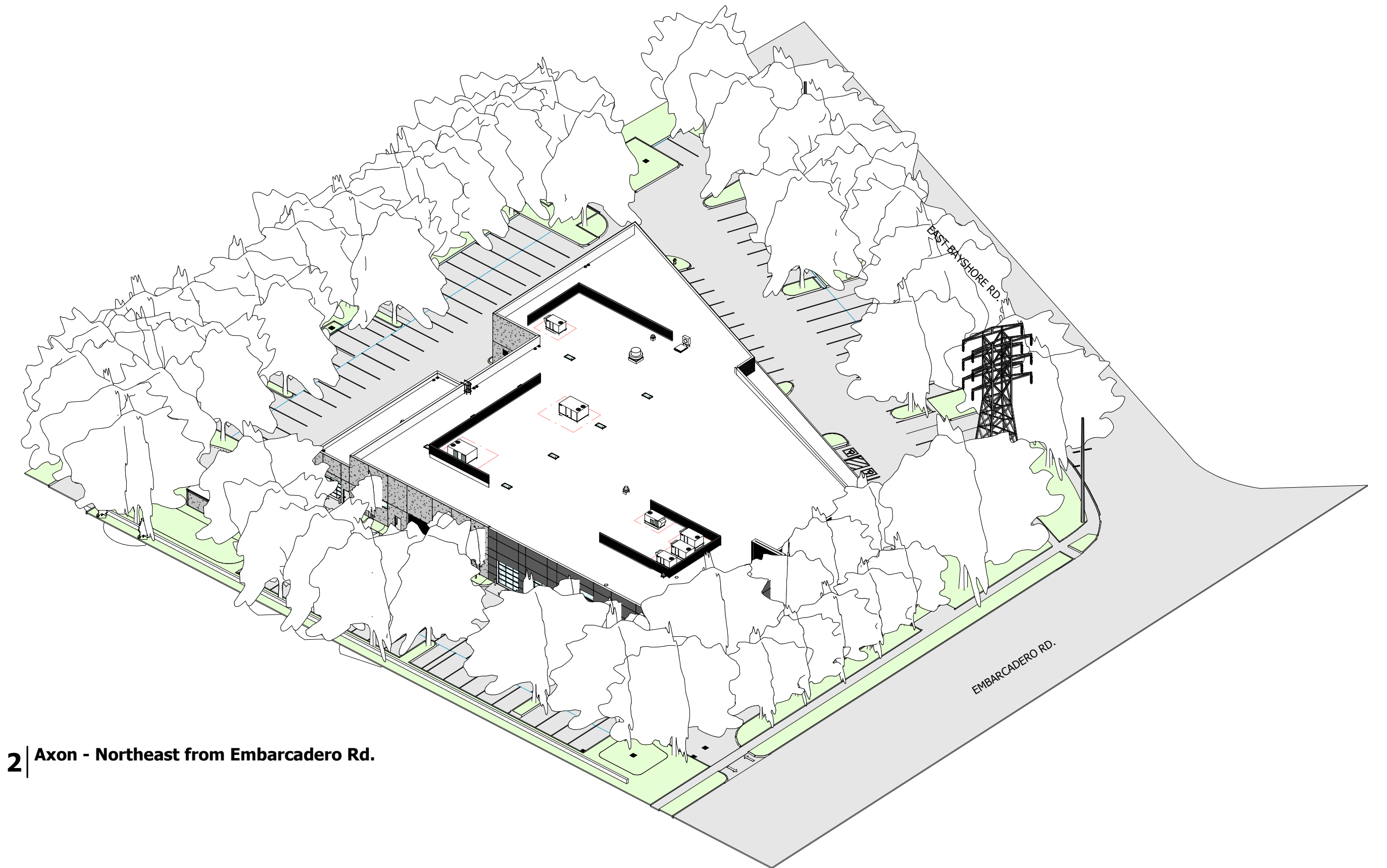
										Compliance Path Verification						
										Plan Check	Rough GR Inspection IVR # 152	Final Inspection IVR # 153				
										CONR	INITIAL	CONR	INITIAL	CONR	INITIAL	
										Y	N					
Plan Sheet, Spec or Attachment Reference																
5.1 Planning and Design	Mandatory	Storm water pollution prevention for projects that disturb < 1 acre of land	PAMC 16.14.290/ 5.106.1													
	Mandatory	Local storm water pollution prevention	PAMC 16.14.290/ 5.106.1.1													
	Mandatory	Best management practices	5.106.1.2													
	Mandatory	Bicycle parking for additions or change of use that results in increased parking	PAMC 18.54.060/ 5.106.4													
	Mandatory	Short term bicycle parking	5.106.4.1.1													
	Mandatory	Long term bicycle parking	5.106.4.1.2													
	Mandatory	Parking stall markings	5.106.5.2.1													
	Tier 2 Mand.	Designated parking - 12% of Parking Capacity	AS.106.5.1.2													
	Tier 2 Mand.	Electric Vehicle (EV) Charging for Non-Residential Structures (EVSE) [N]: New Construction, Shall provide Conduit Only, EVSE-Ready Outlet, or EVSE Installed for at least 25% of parking spaces, among which at least 5% (and no fewer than one) shall be EVSE Installed.	PAMC 16.14.430/ AS.106.5.3													
	Mandatory	Light pollution reduction	PAMC 16.14.290/ 5.106.8													
Electives (Choose 3)	Mandatory	Grading and paving (exception for additions and alterations not altering the drainage path)	5.106.10													
	Tier 2 Mand.	Cool roof for reduction of heat island effect	AS.106.11.2													
	Electives	Community connectivity	AS.103.1													
	Electives	Brownfield or greyfield site redevelopment or infill area development	AS.103.2													
	Electives	Reduce development footprint and optimize open space	AS.104.1													
	Electives	Existing building structure (75%)	AS.105.1.1													
	Electives	Existing non-structure elements (50%)	AS.105.1.2													
	Electives	Salvage	AS.105.1.3													
	Electives	Storm water design	AS.106.2													
	Electives	Low impact development (LID)	AS.106.3													
PAMC 16.17 Energy Reach Code	Mandatory or	Effective April 1, 2020: Option 1: All-electric design - Performance approach specified within the 2019 California Energy Code shall be used to demonstrate the energy budget calculated for the proposed design building is no greater than the energy budget calculated for the Standard Design Building.	PAMC 16.17.080/ Title 24, Part 6													
	Mandatory	Effective April 1, 2020: Option 2: Mixed-fuel design -Performance approach specified within the 2019 California Energy Code shall be used to demonstrate the energy budget calculated for the proposed design building under has a compliance margin, relative to the energy budget calculated for the Standard Design Building under, of at least the value specified for the corresponding occupancy type in Table 140.1-A.	PAMC 16.17.080/ Title 24, Part 6													
	Mandatory	Energy Star portfolio manager: All new construction or renovation projects greater than \$100,000 in value	PAMC 16.14.380 Sect 5.410.4.6													
	Mandatory	Performance Review: For projects over 10,000 SF	PAMC 16.14.390 Sect 5.410.4.7													
	Mandatory	Performance Review (For sites > 1 acre)	PAMC 16.14.400 Sect 5.410.4.8													
	5.3 Water Efficiency and Conservation															
	Mandatory	Meters, separate submeters or metering devices installed as follows: New buildings or additions in excess of 50,000 square feet Excess consumption (Submeters for additions that consume over 1,000 gal/ day)	5.303.1 5.303.1.1 5.303.1.2													
	Tier 2 Mand.	Water Reduction- 20% savings over the "water use baseline" Table AS.303.2.3.1	AS.303.2.3.2													
	Mandatory	Indoor Water Use: Water closets (shall not exceed 1.28 gallons per flush)	5.303.3.1													
	Mandatory	Indoor Water Use: Wall-mounted urinals (0.125gpf)	5.303.3.2.1													
Mandatory	Indoor Water Use: Floor-mounted urinals (0.5 gpf)	5.303.3.2.2														
Mandatory	Indoor Water Use: Single showerhead (1.8 gpm at 80 psi)	5.303.3.3.1														
Mandatory	Indoor Water Use: Multiple showerheads serving one shower ( flow rate of 1.8 gpm at 80 psi)	5.303.3.3.2														
Mandatory	Indoor Water Use: Nonresidential lavatory faucets (0.5 gpm at 60 psi)	5.303.3.4.1														
Mandatory	Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi)	5.303.3.4.2														
Mandatory	Indoor Water Use: Wash fountains (1.8 gpm at 60 psi)	5.303.3.4.3														
Mandatory	Indoor Water Use: Metering faucets (0.2 gallons/ cycle)	5.303.3.4.4														
Mandatory	Indoor Water Use: Metering faucets for wash fountains (0.2 gallons/ cycle)	5.303.3.4.5														
Mandatory	Commercial kitchen equipment	5.303.4														
Mandatory	Food waste disposers	5.303.4.1														
Mandatory	Indoor water use: Areas of addition or alteration	5.303.5														
Mandatory	Dual plumbing required when > 50,000 s.f. or 2-50 toilets or urinals proposed	PAMC 16.14.300/ 5.306														
Mandatory	Indoor Water Use: Standards for plumbing fixtures and fittings (2019 Cal Plumbing Code)	5.303.6														
Mandatory	Outdoor potable water use in landscape areas (MWEO)	5.304.1														
Mandatory	Recycled water supply systems	PAMC 16.12.030														
Mandatory	Invasive species prohibited	PAMC 16.14.360 Section 5.304.2														
Mandatory	Non-residential enhanced water budget required when use > 1,000 gal/day	PAMC 16.14.365 Section 5.306														
Electives	Indoor water use: 25% reduction	AS.303.2.3.3														
Electives	Nonpotable water systems for indoor water use	AS.303.2.3.4														
Electives	Appliances and fixtures for commercial application	AS.303.3														
Electives	Nonwater supplied urinals	AS.303.4.1														
Electives	Outdoor Water Use: Restoration of areas disturbed by construction	AS.304.6														
Electives	Outdoor Water Use: Previously developed sites: restore or protect 50 % of site area	AS.304.7														
Electives	Outdoor Water Use: Graywater irrigation system	AS.304.8														
Electives	Nonpotable water systems	AS.305.1														
Electives	Irrigation system: Recycled water	AS.305.2														
5.4 Material Conservation and Resource Efficiency																
Tier 2 Mand.	Recycled content: 15%	AS.405.4.1														
Mandatory	Weather protection	5.407.1														
Mandatory	Moisture control: Sprinklers	5.407.2.1														
Mandatory	Moisture control: Entries + Openings	5.407.2.2														
Mandatory	Moisture control: Exterior door protection	5.407.2.2.1														
Mandatory	Moisture control: Flashing	5.407.2.2.2														
Mandatory	Construction waste management	5.408.1														
Mandatory	Construction waste management plan	5.408.1.1														
Mandatory	Waste management company	5.408.1.2														
Mandatory	Waste stream reduction alternative	5.408.1.3														
Mandatory	Documentation: Construction waste management plan, waste management company, waste stream reduction alternative	5.408.1.4														
Mandatory	Excavated soil and land clearing debris (100% reuse or recycle)	5.408.3														
Tier 2 Mand.	Enhanced construction waste reduction (80% diversion rate for projects exceeding \$25,000 in value; 65% diversion rate for projects less than \$25,000)	PAMC 16.14.370/ AS.408.3.1.1														
Mandatory	Recycling by occupants (with exceptions)	5.410.1														
Mandatory	Commissioning (≥ 10,000 SF) [N]	5.410.2														
Mandatory	Commissioning plan [N]	5.410.2.3														
Mandatory	Functional performance testing [N]	5.410.2.4														
Mandatory	Documentation and Training: Systems manual	5.410.2.5.1														
Mandatory	Documentation and Training: Systems operations training [N]	5.410.2.5.2														
Mandatory	Commissioning report [N]	5.410.2.6														
Mandatory	Testing and adjusting for [N] buildings < 10,000 SF or new systems that serve additions or alterations [AA]	5.410.4														
Mandatory	Testing and adjusting for systems: Renewable energy, landscape irrigation, and water reuse	5.410.4.2														
Mandatory	Testing and adjusting: Procedures	5.410.4.3														
Mandatory	Testing and adjusting: HVAC balancing	5.410.4.3.1														
Mandatory	Testing, adjusting and balancing: Reporting for HVAC balancing	5.410.4.4														
Mandatory	Operation and maintenance (O&M) manual	5.410.4.5														
Mandatory	Performance reviews- Water (sites > 1 acre)	PAMC 16.14.400 Sect 5.410.4.6														
Mandatory	Inspection and reports [AA] + [N] < 10,000 SF	5.410.4.5.1														

				Compliance Path Verification							
				Plan Check		Rough GB Inspection IVR # 152		Final Inspection IVR # 153			
				Part 1	Part 2	Part 1	Part 2	Part 1	Part 2	Part 1	Part 2
5.4 Material Conservation and Resource Efficiency, continued				Code Section Y N		Plan Sheet, Spec or Attachment Reference		COMPL	INITIAL	COMPL	INITIAL
Electives (Choose 3)	Electives	Wood Framing: Structural or fire-resistance integrity	AS.404.1.1								
	Electives	Wood Framing: Framing specifications	AS.404.1.2								
	Electives	Regional materials	AS.405.1								
	Electives	Bio-based materials: Certified wood	AS.405.2.1								
	Electives	Bio-based materials: Rapidly renewable materials	AS.405.2.2								
	Electives	Reused materials	AS.405.3								
	Electives	Alternate method for concrete	AS.405.4.5								
	Electives	Cement and concrete: Cement	AS.405.5.1								
	Electives	Cement and concrete: Concrete	AS.405.5.2								
	Electives	Additional means of compliance- Cement: Alternative fuels	AS.405.5.3.1.1								
Electives (Choose 3)	Electives	Additional means of compliance- Cement: Alternative power	AS.405.5.3.1.2								
	Electives	Additional means of compliance- Concrete: Alternative energy	AS.405.5.3.2.1								
	Electives	Additional means of compliance- Concrete: Recycled aggregate	AS.405.5.3.2.2								
	Electives	Additional means of compliance- Concrete: Mixing water	AS.405.5.3.2.3								
	Electives	Additional means of compliance- Concrete: High strength concrete	AS.405.5.3.2.4								
	Electives	Choice of materials: Service life	AS.406.1.1								
	Electives	Choice of materials: Reduced maintenance	AS.406.1.2								
	Electives	Choice of materials: Recyclability	AS.406.1.3								
	Electives	Life Cycle Assessment shall be ISO 14044 compliant	AS.409.1								
	Electives	Whole building life cycle assessment	AS.409.2								
Electives (Choose 3)	Electives	Materials and system assemblies	AS.409.3								
	Electives	Substitution of prescriptive standards	AS.409.4								
5.5 Environmental Quality											
Mandatory	Mandatory	Prepares	5.503.1								
	Mandatory	Temporary ventilation (MERV 8)	5.504.1								
	Mandatory	Covering of duct openings and protection of mechanical equipment during construction	5.504.3								
	Mandatory	Adhesives, sealants and caulks: Comply with VOC limits (Table 5.504.4.1 and 5.504.4.2 for VOC limits)	5.504.4.1								
	Mandatory	Paints and Coatings: Comply with VOC Limits (Table 5.504.4.3)	5.504.4.3								
	Mandatory	Aerosol: paints and coatings	5.504.4.3.1								
	Mandatory	Verification, for paints and coatings	5.504.4.3.2								
	Mandatory	Carpet systems: Carpet cushion	5.504.4.4								
	Mandatory	Carpet systems: Carpet adhesive (Table 5.504.4.1 for VOC limits)	5.504.4.4.1								
	Mandatory	Composite wood products: Formaldehyde limits (Table 5.504.4.5)	5.504.4.5								
Electives (Choose 3)	Mandatory	Composite wood products: Documentation	5.504.4.5.3								
	Tier 2 Mand.	Resilient Flooring system: 100%	PAMC 16.14.070/ AS.504.4.7.1								
	Mandatory	Resilient flooring verification of compliance	AS.504.4.8.1								
	Tier 2 Mand.	Thermal insulation: No added formaldehyde	AS.504.4.8.1								
	Mandatory	Environmental tobacco smoke (ETS) control	5.504.7								
	Mandatory	Outside air delivery (For Indoor Air Quality)	5.506.1								
	Mandatory	Carbon dioxide (CO2) monitoring (For Indoor Air Quality)	5.506.2								
	Mandatory	Indoor Air Quality Management Plan	PAMC 16.14.410								
	Mandatory	Acoustical control (STC Values per ASTM E90 and ASTM E413)	5.507.4								
	Mandatory	Exterior noise transmission, prescriptive method (with exceptions)	5.507.4.1								
Electives (Choose 3)	Mandatory	Noise exposure where noise contours are not readily available	5.507.4.1.1								
	Mandatory	Exterior noise transmission, performance method	5.507.4.2								
	Mandatory	Site features	5.507.4.2.1								
	Mandatory	Documentation of compliance	5.507.4.2.2								
	Mandatory	Interior sound transmission (with note)	5.507.4.3								
	Mandatory	Ozone depletion and greenhouse gas reductions	5.508.1								
	Mandatory	Chlorofluorocarbons (CFCs)	5.508.1.1								
	Mandatory	Halons	5.508.1.2								
	Mandatory	Supermarket refrigerant leak reduction	5.508.2								
	Mandatory	Refrigerant piping	5.508.2.1								
Electives (Choose 3)	Mandatory	Refrigerant piping valves	5.508.2.2								
	Mandatory	Refrigerant piping access valves	5.508.2.2.2								
	Mandatory	Refrigerated service case	5.508.2.3								
	Mandatory	Refrigerant receivers	5.508.2.4								
	Mandatory	Pressure testing	5.508.2.5								
	Mandatory	Evacuation (after pressure testing)	5.508.2.6								
	Electives	Indoor air quality (IAQ) during constructions: Temporary ventilation	AS.504.1.1								
	Electives	Indoor air quality (IAQ) during constructions: Additional IAQ measures	AS.504.1.2								
	Electives	IAQ postconstruction	AS.504.2								
	Electives	IAQ testing	AS.504.2.1								
Electives (Choose 3)	Electives	Maximum levels of contaminants	AS.504.2.1.1								
	Electives	Test protocols	AS.504.2.1.2								
	Electives	Noncomplying building areas	AS.504.2.1.3								
	Electives	Acoustical ceiling and wall panels	AS.504.4.9								
	Electives	Hazardous particulates and chemical pollutants	AS.504.5								
	Electives	Entryway systems (to control pollutants)	AS.504.5.1								
	Electives	Isolation of pollutant sources (to control pollutants)	AS.504.5.2								
	Electives	Lighting and thermal comfort controls: Single occupant spaces- Lighting and Thermal Comfort	AS.507.1.1.1AS.507.1.2								
	Electives	Lighting and thermal comfort controls: Multi-occupant spaces	AS.507.2								
	Electives	Daylight: Toplighting and sidelighting	AS.507.2								
Electives (Choose 3)	Electives	Views: Direct line of sight to outdoors: interior office spaces	AS.507.3.1								
	Electives	Views- Multi-occupant spaces	AS.507.3.2								
	Electives	Hydro-chlorofluorocarbons (HCFCs) (for HVAC and refrigeration equipment)	AS.508.1.3								
	Electives	Hydro-fluorocarbons (HFCs) (for HVAC, refrigeration and fire suppression equipment)	AS.508.1.4								
	Electives	Hydro-chlorofluorocarbons (HCFCs) (for HVAC, refrigeration and fire suppression equipment)	AS.508.1.5								
	Required Additional Electives (Choose 3 additional Electives from any category)										
	Tier 2 Mand.		AS.601.3.4								
	Tier 2 Mand.		AS.601.3.4								
	Tier 2 Mand.		AS.601.3.4								

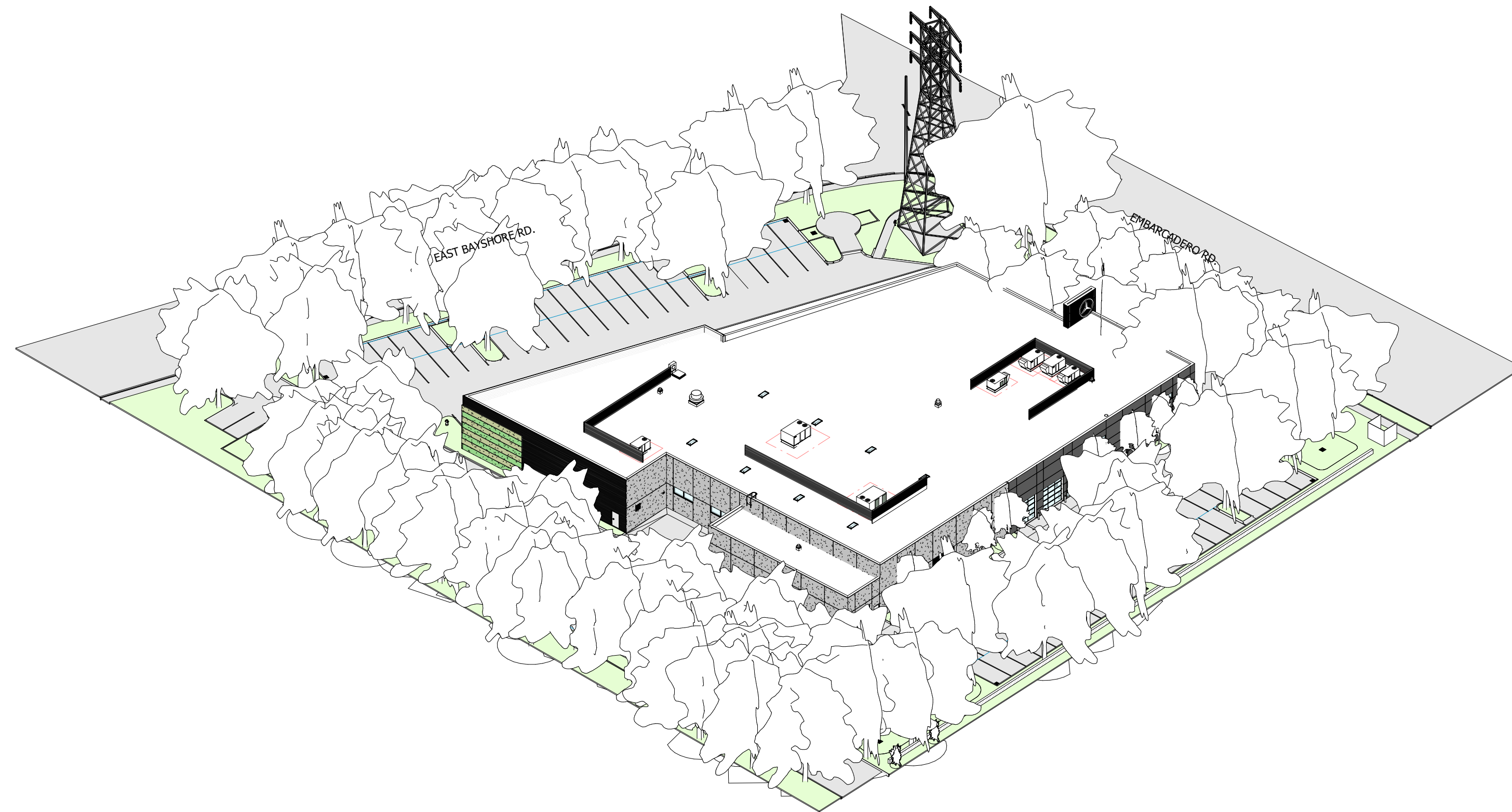




1 | Axon - East bayshore Rd. @ Embarcadero Rd.



2 | Axon - Northeast from Embarcadero Rd.

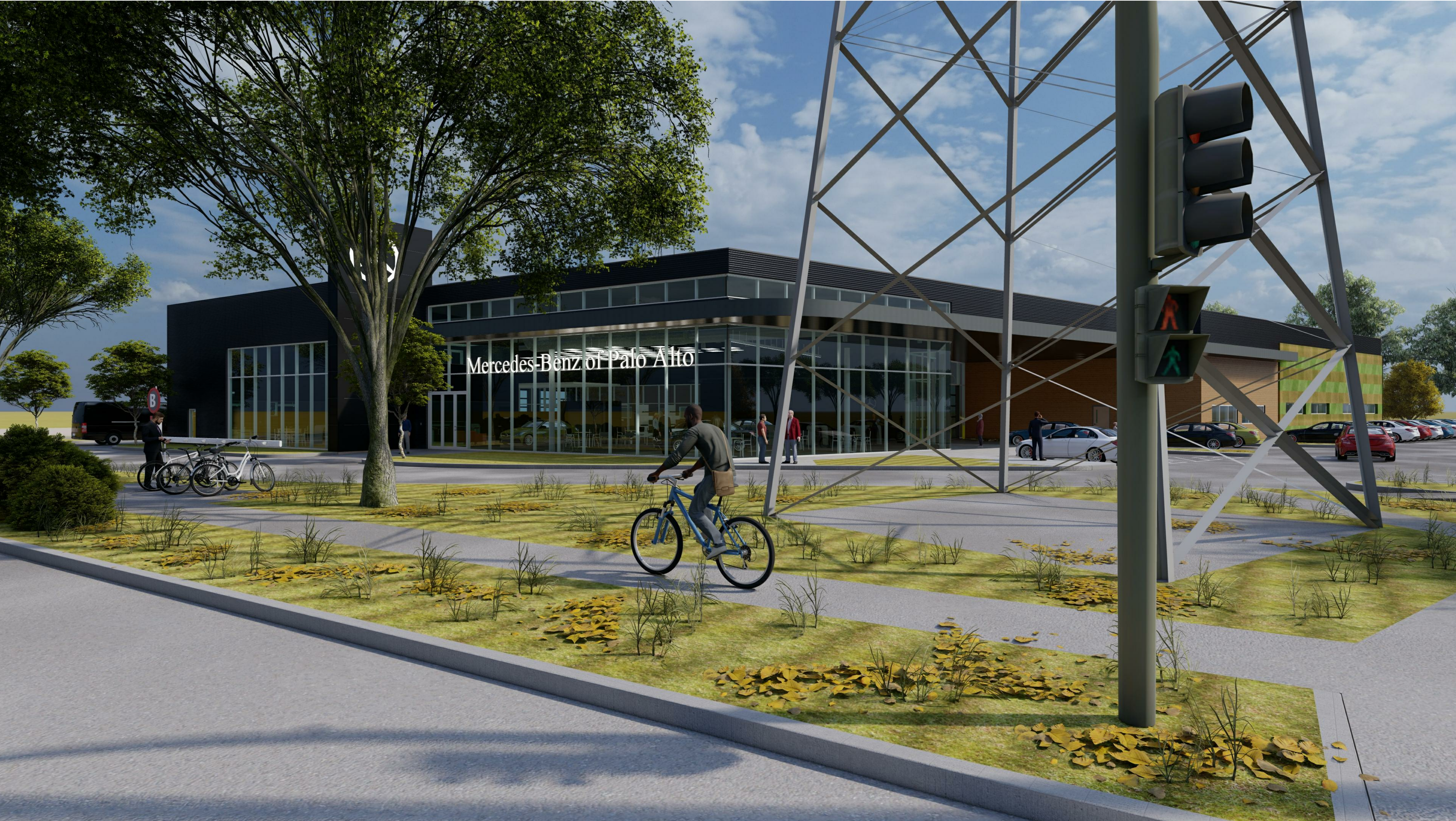


3 | Axon - Southwest Opposite East Bayshore Rd.























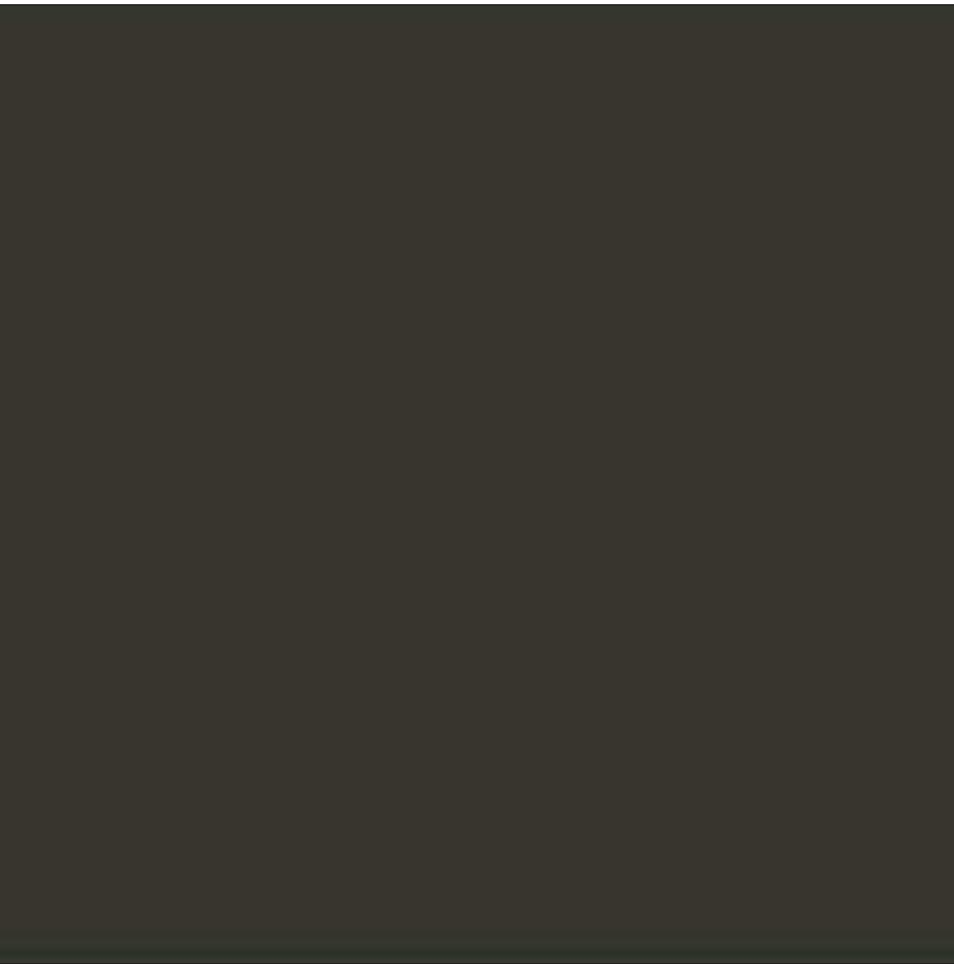






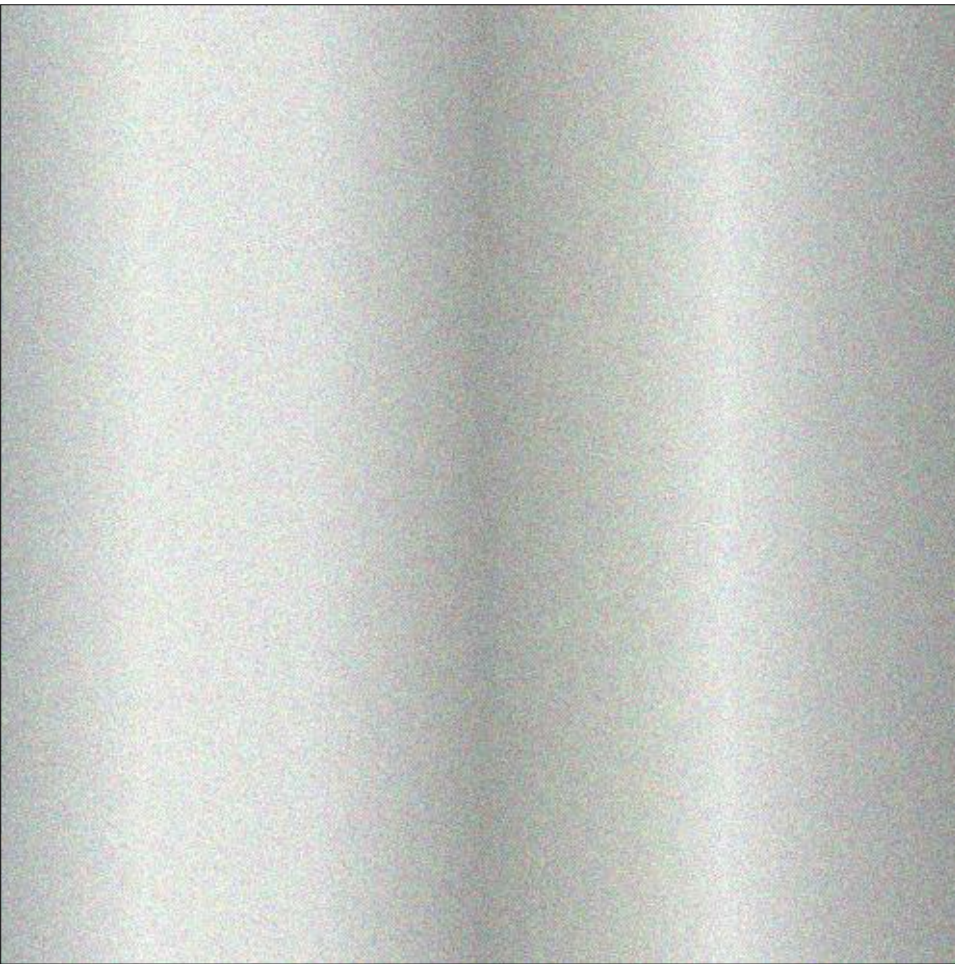


ACM PANEL



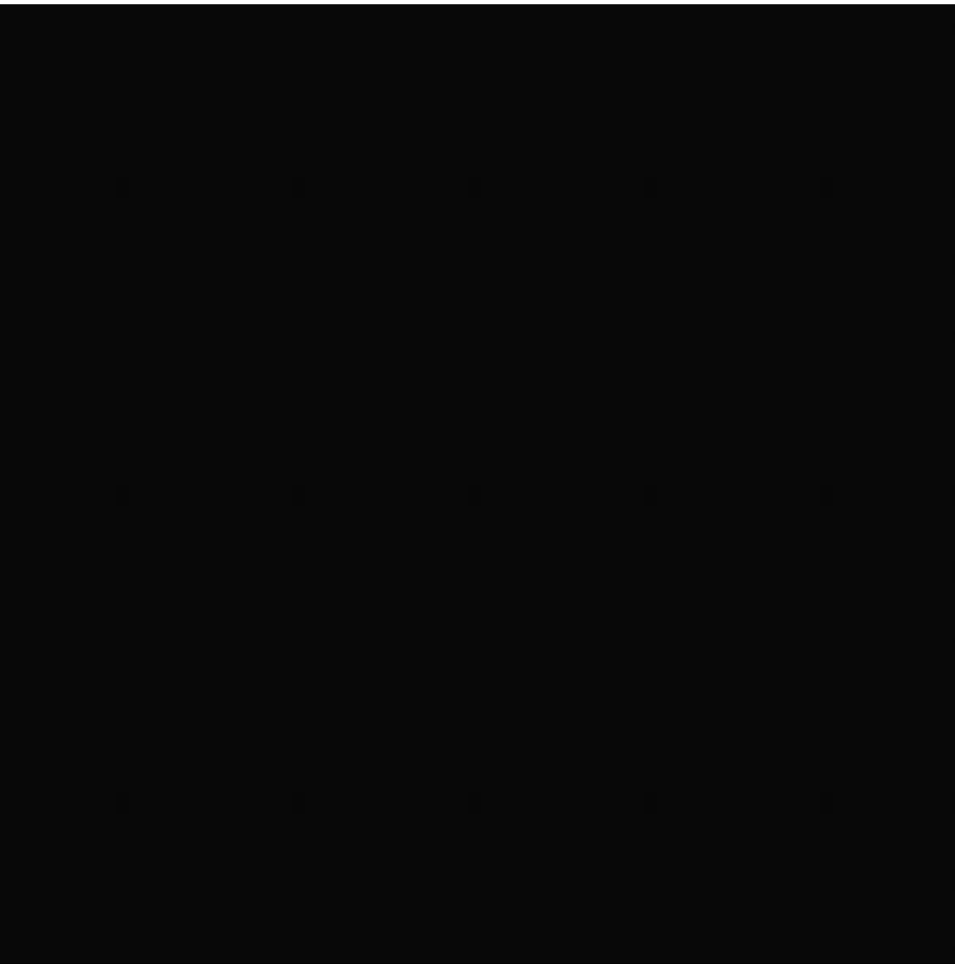
ALPOLIC  
FRONT ELEVATION  
CHARCOAL

ACM PANEL



ALPOLIC  
FRONT CANOPY  
SILVER

ACM PANEL



ALPOLIC  
PYLON TOWER  
BLACK

STUCCO



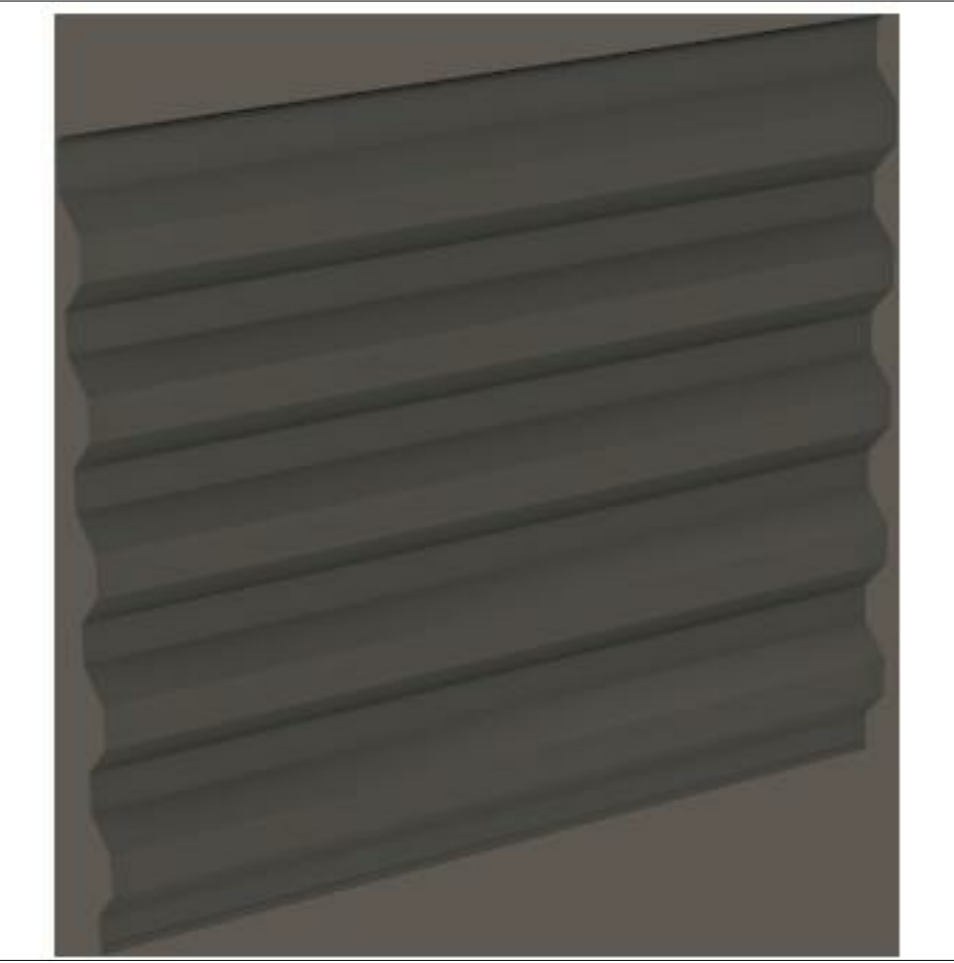
KADEX  
NE, SE ELEV. & DUMPSTER  
GRAY

RECLAIMED WOOD



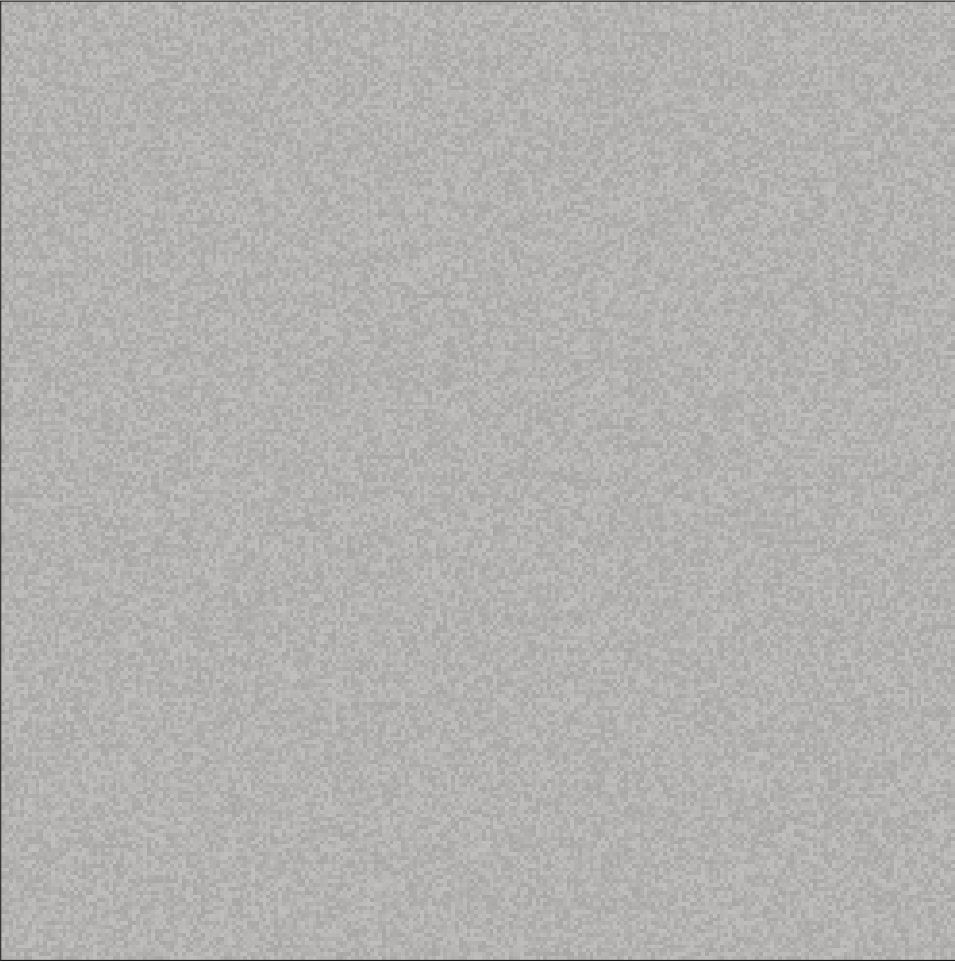
TERRA MAI  
SERVICE DRIVE  
ANGELIQUE

RIBBED METAL PANEL



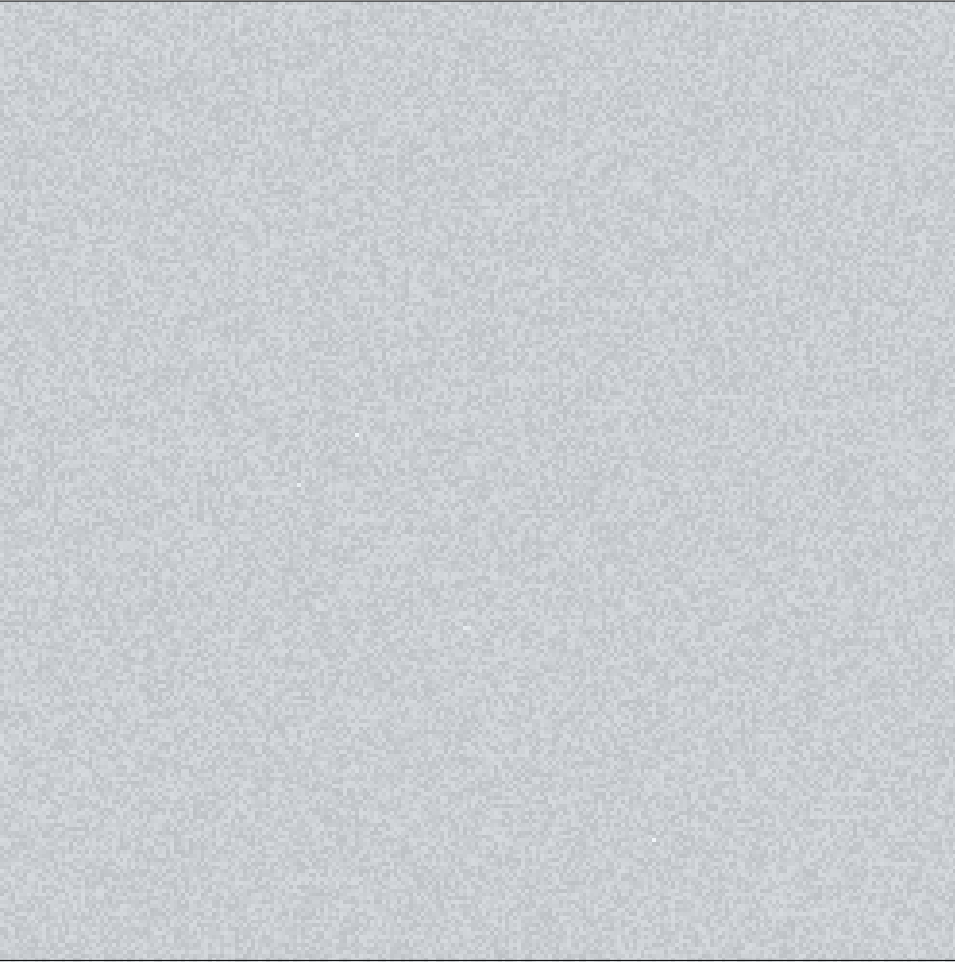
CENTRIA  
W & NW ELEVATIONS  
CHARCOAL

ACM PANEL



CENTRIA  
BACK OF HOUSE  
PLATINUM

ACM PANEL



CENTRIA  
BACK OF HOUSE  
SILVERSMITH

WINDOW MULLION



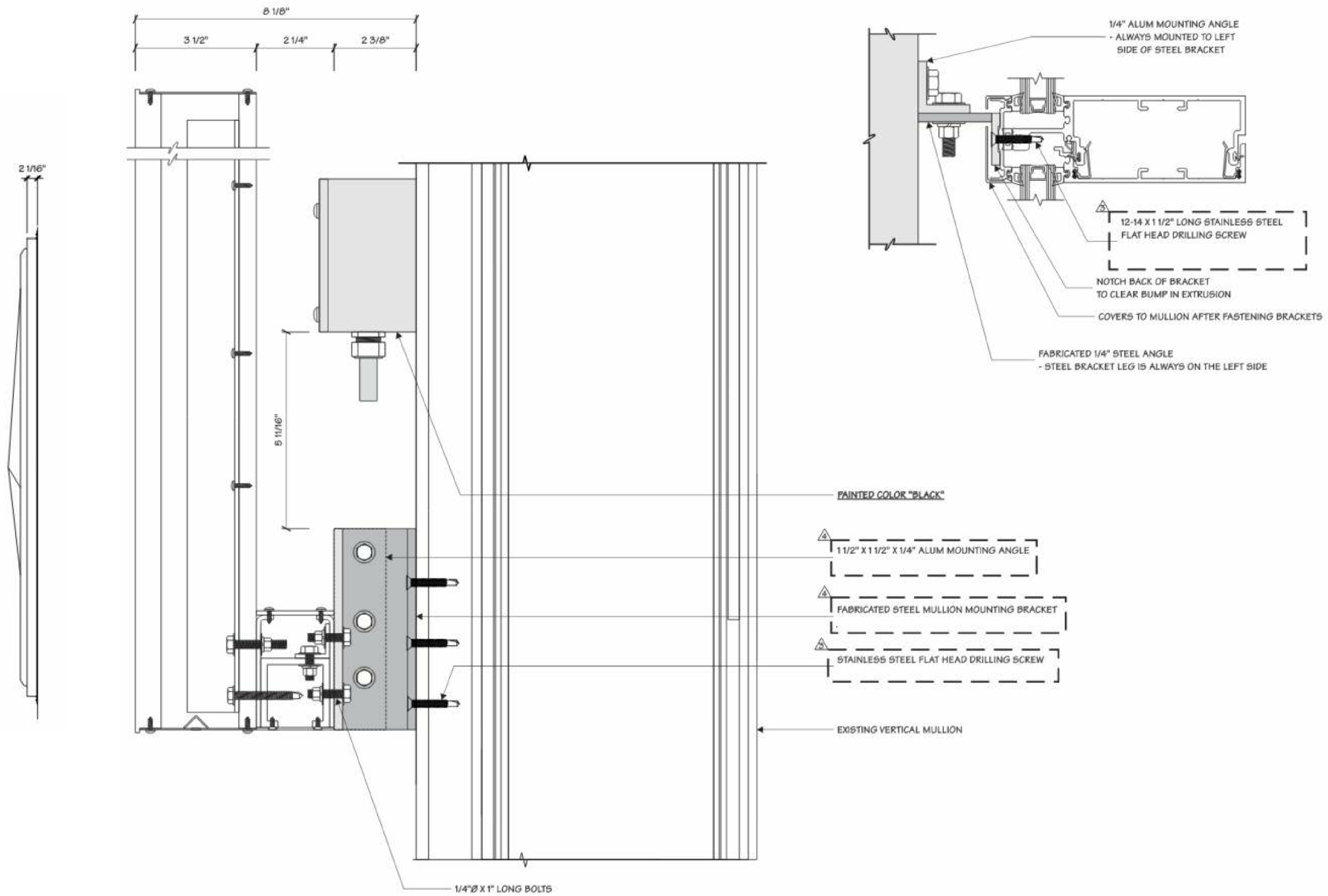
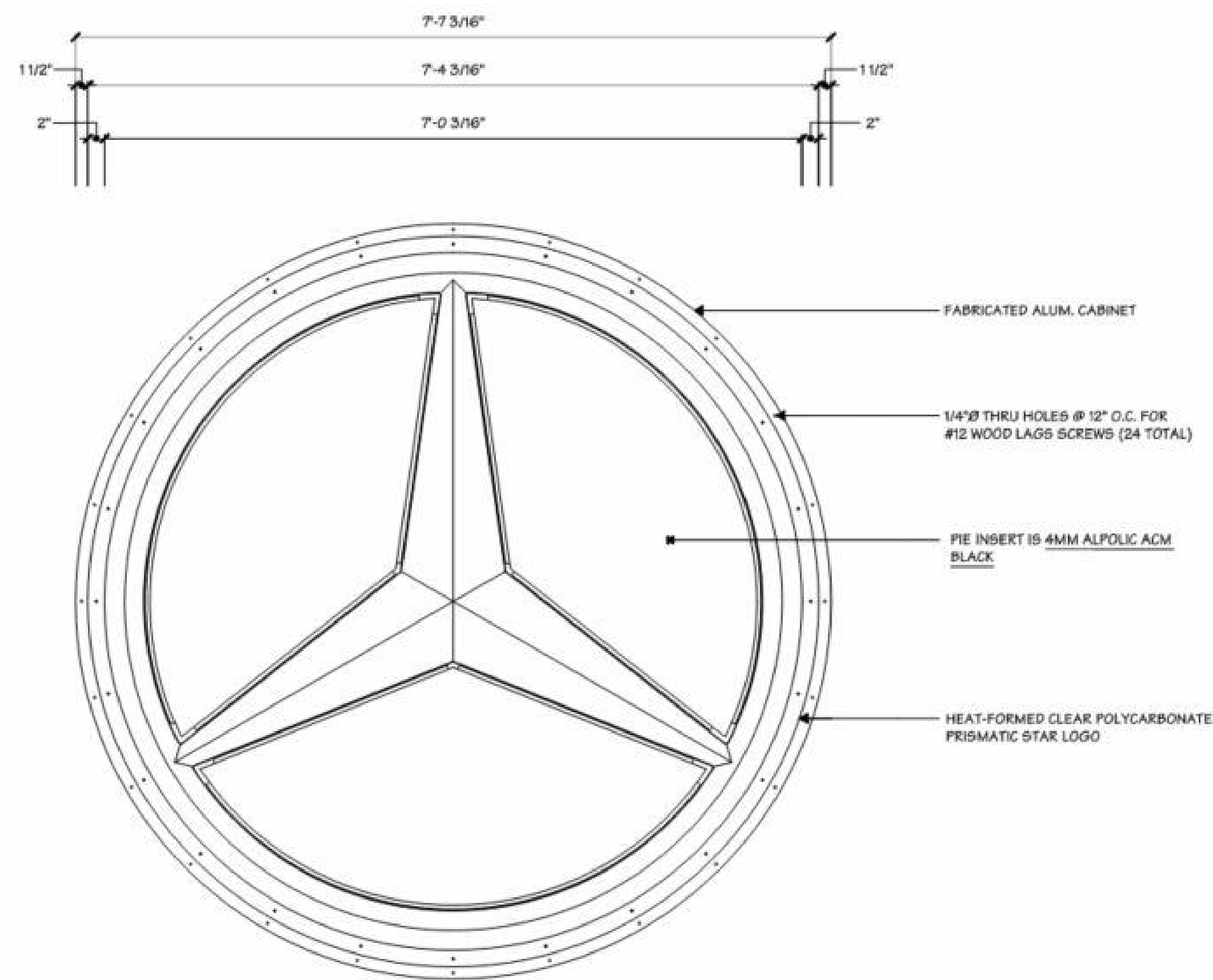
OLD CASTLE  
EXTERIOR WINDOWS  
CLEAR ANODIZED

EXTERIOR GLAZING

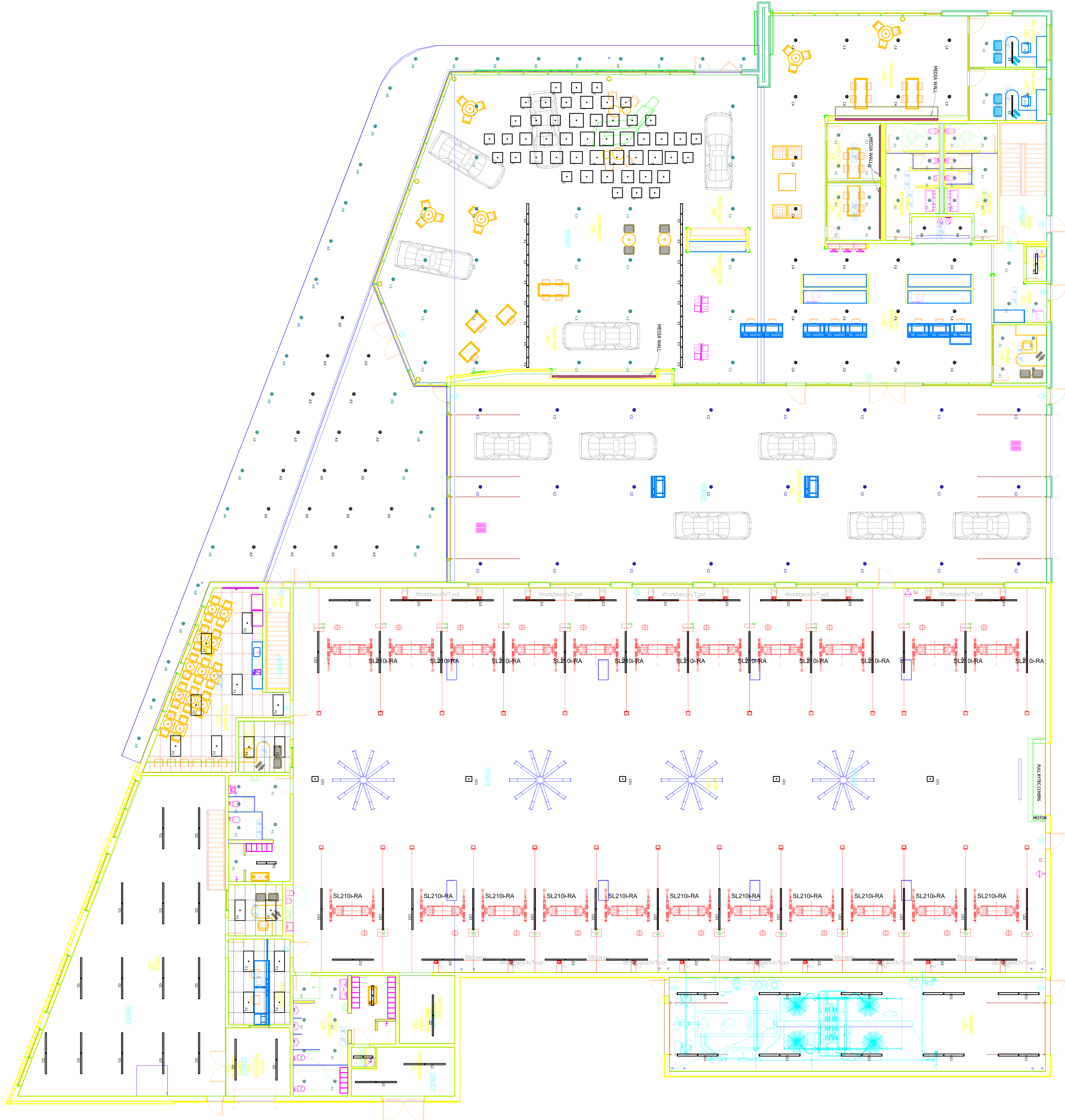


VITRO  
ALL ELEVATIONS  
CLEAR







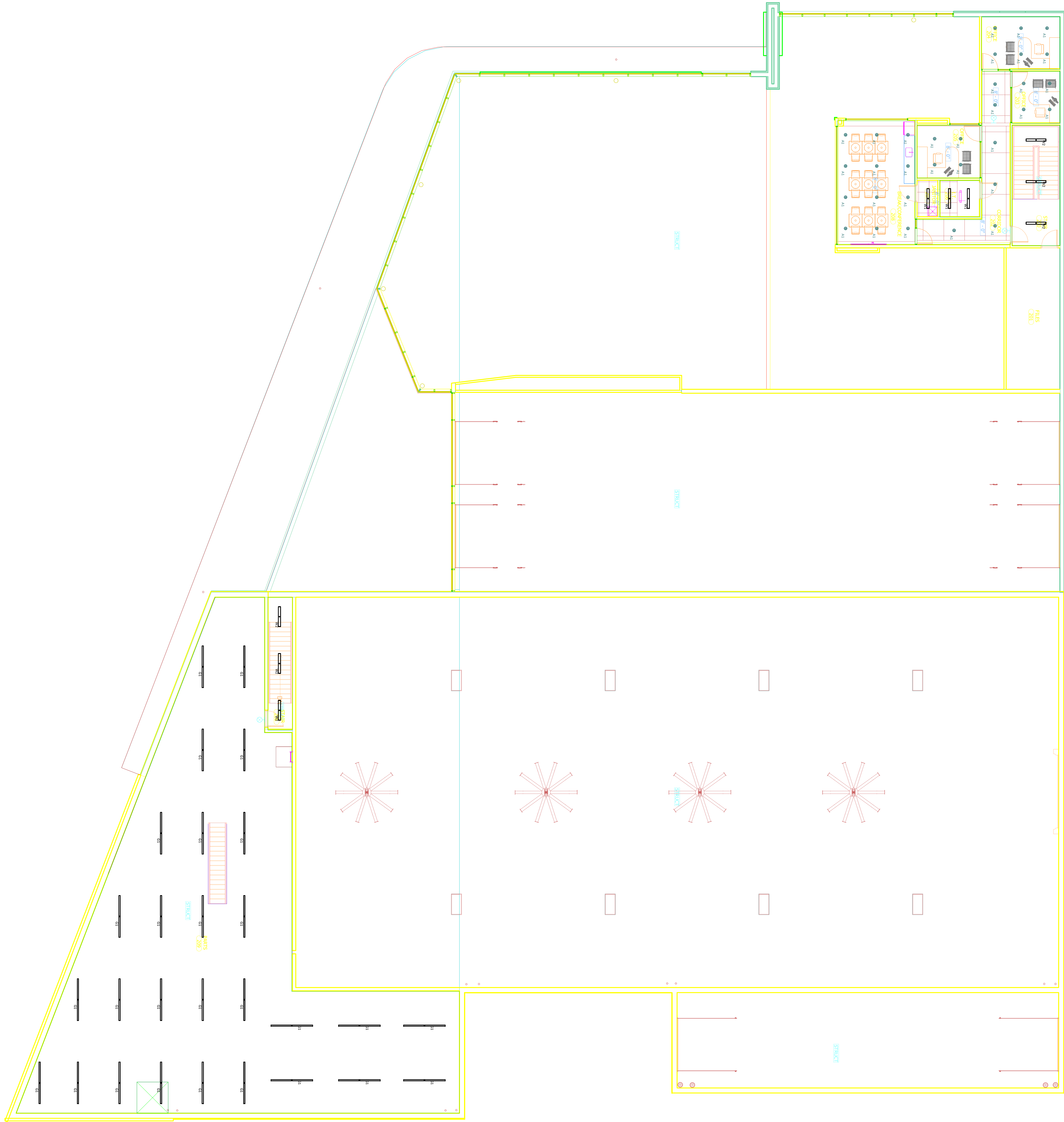


Revisions			Comments
#	Date		



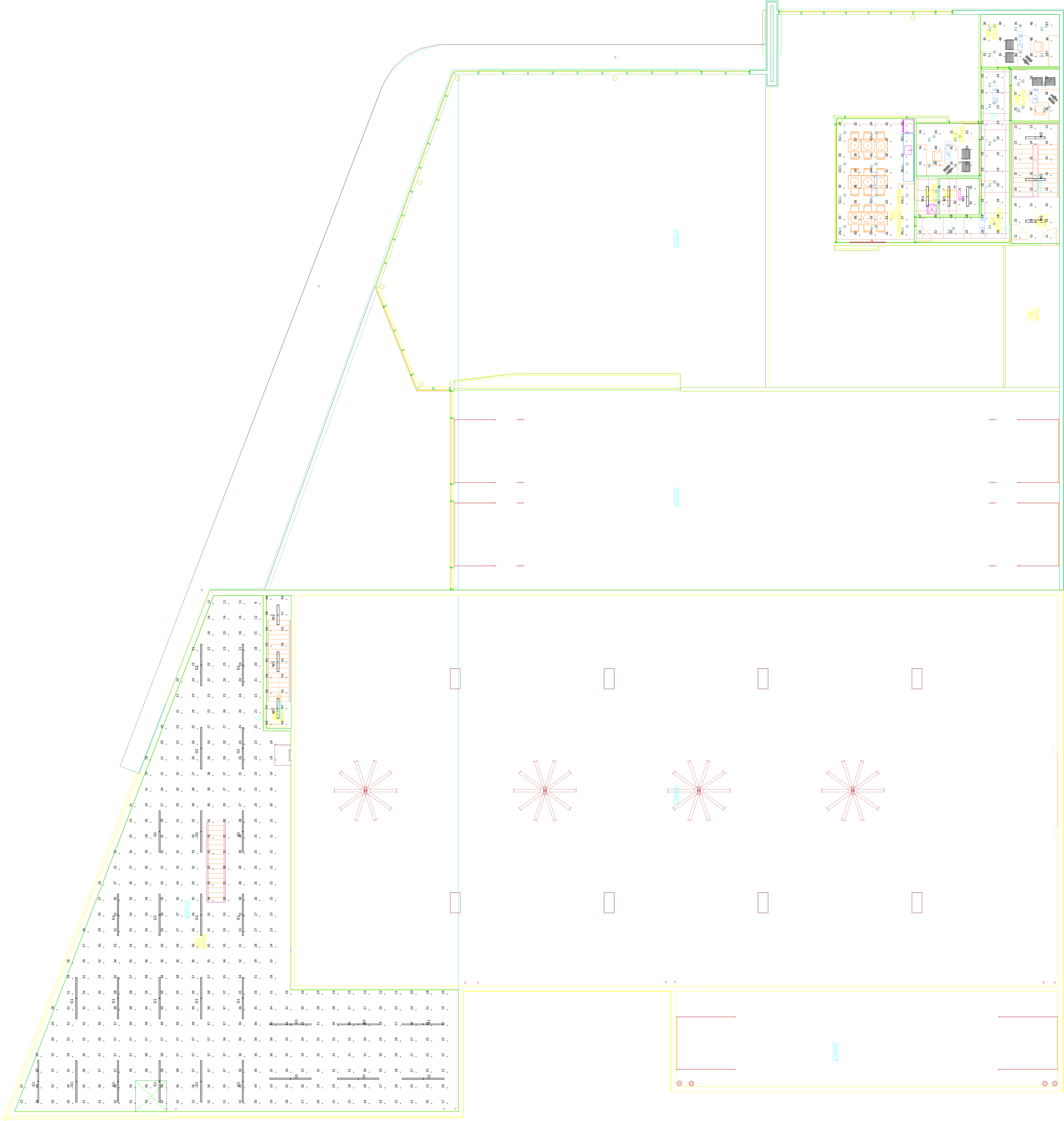
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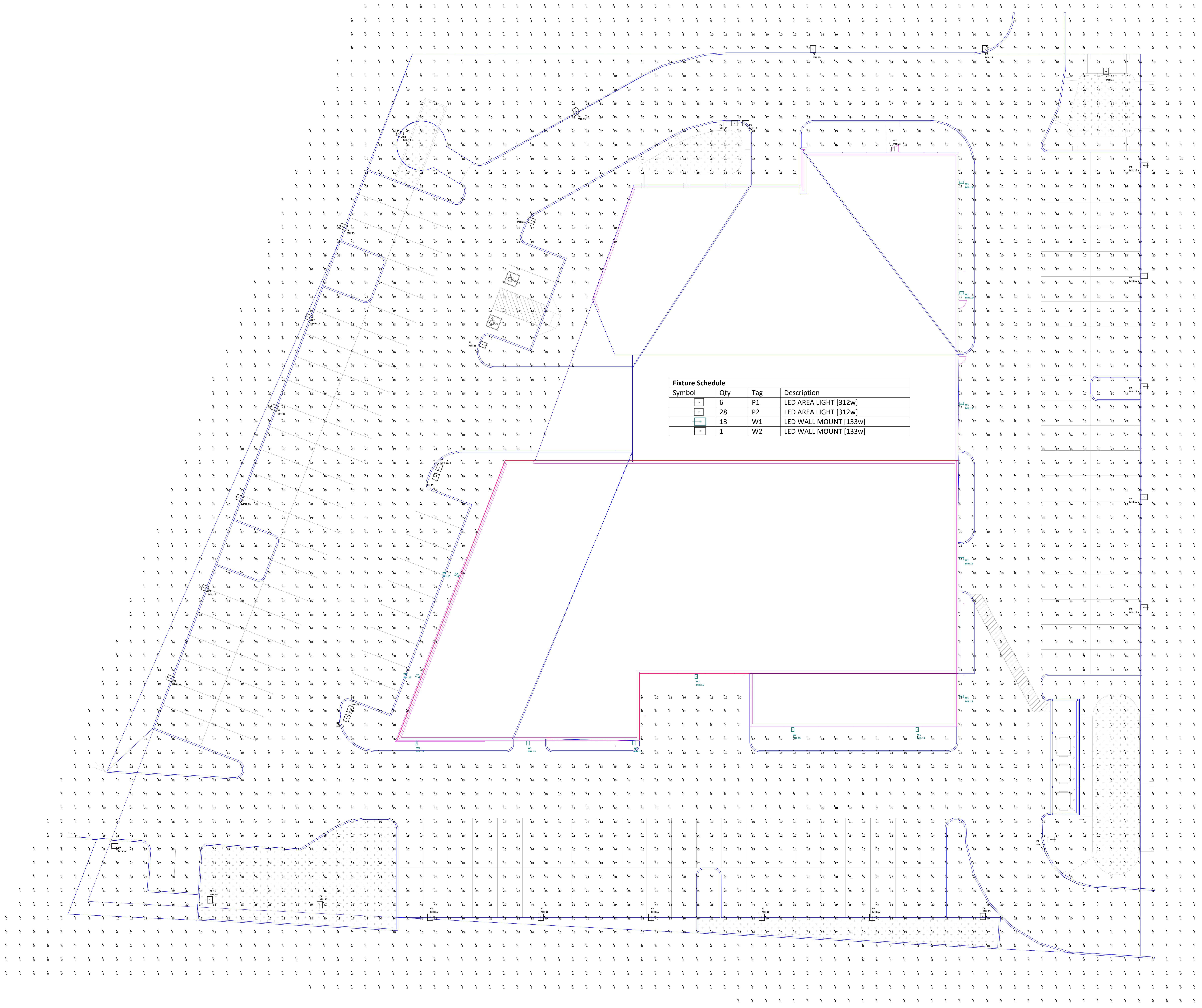
#	Date	Comments
Revisions		









Revisions			Comments	
#	Date			





Fixture Schedule			
Symbol	Qty	Tag	Description
	6	P1	LED AREA LIGHT [312w]
	28	P2	LED AREA LIGHT [312w]
	13	W1	LED WALL MOUNT [133w]
	1	W2	LED WALL MOUNT [133w]



Comments

Date

#

Revisions

Drawn By: Eric Perkins

REPRESENTING: PACIFIC ENERGY CONCEPTS

Date: 5/3/2021

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ERIC.PERKINS@PECNW.COM

Mercedes of Palo Alto

Site Lighting