



PROJECT PARTICIPANTS:

ARCHITECT:

JOHN LUM ARCHITECTURE
3248 17TH STREET
SAN FRANCISCO, CA 94110

PROJECT MANAGER:
HENRY MALMBERG
t. 415.558.9550 x10023
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OWNER:

GEMINI DEVELOPMENT ONE PALO ALTO LLC
1350 BAYSHORE HIGHWAY, SUITE 480
BURLINGAME, CA 94010

GENERAL CONTRACTOR:

T.B.D.

STRUCTURAL ENGINEER:

SUNG ENGINEERING
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UNION CITY, CA 94587
t. 510.475.7900

ARBORIST:

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ROBERT WEATHERILL
965 E. SAN CARLOS AVE.
SAN CARLOS, CA 94070
t. 650.839.9539

CIVIL ENGINEER:

LEA & BRAZE ENGINEERING
t. 510.887.4086

SURVEYOR:

LC ENGINEERING
598 E SANTA CLARA ST. #270
SAN JOSE, CA 95112
t. 408.806.7187

GEOTECHNICAL ENGINEER:

MURRAY ENGINEERS
935 FREMONT AVE.
LOS ALTOS, CA 94024
t. 650.559.9980

LANDSCAPE ARCHITECT:

KAREN AITKEN & ASSOCIATES
PAM JONES
t. 408.842.0245

MECHANICAL ENGINEER:

SEED SANTA CRUZ, INC.
105 LOCUST ST. STE. D
SANTA CRUZ, CA 95060
t. 831.291.2417

TITLE 24:

WADE ENERGY
TRAVIS WADE
1942 LINDA DR.
PLEASANT HILL, CA 94523
t. 925.326.6330

DRAWING INDEX

1	A0.00	TITLESHEET
2	A0.01	GENERAL NOTES
3	A0.02	SITE CONTEXT
4	A0.03	STREET CONTEXT
5	A0.04	SITE PLAN
6	A0.05	SITE PLAN
7	A0.06	CALCULATIONS
8	A0.07	PERSPECTIVES
11	A0.10	MATERIALS BOARD
12	A0.11	PHOTOMETRIC PLAN
13	A0.12	CIRCULATION PLAN
14	SU1.0	SURVEY
15	T1	TREE PROTECTION PLAN
16	T2	TREE PROTECTION PLAN
17	CPAU-1	CPAU STANDARDS
18	CPAU-2	CPAU STANDARDS
19	GB-1	GREEN BUILDING
20	L1	LANDSCAPE PLAN
21	L2	IRRIGATION PLAN
22	L3	LANDSCAPE DETAILS
23	A1.01	1ST FLR PLANS - PROPOSED
24	A1.02	2ND FLR PLANS - PROPOSED
25	A1.03	3RD FLR PLANS - PROPOSED
26	A1.04	ROOF PLANS
27	A3.01	EXTERIOR ELEVATIONS
28	A3.02	EXTERIOR ELEVATIONS
29	A3.03	EXTERIOR ELEVATIONS
30	A3.04	EXTERIOR ELEVATIONS
31	A3.05	BUILDING SECTIONS
32	A5.01	DETAILS

PROJECT DATA:

CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
APPLICABLE PALO ALTO MUNICIPAL CODES

PROJECT ADDRESS

2609, 2611, 2615, & 2617 ALMA ST
PALO ALTO, CA 94306

PROJECT DESCRIPTION

- DECONSTRUCT 2 1-STORY 2-UNIT RESIDENTIAL BUILDINGS.
- CONSTRUCT (4) 3-STORY 1-UNIT BUILDINGS FOR MARKET-RATE RENTAL. EACH BUILDING TO INCLUDE 3 BEDROOMS, 2.5 BATHS, KITCHEN, LIVING ROOM, & PRIVATE YARD.

- BUILDINGS TO BE EQUIPPED WITH FULLY AUTOMATIC FIRE SPRINKLER SYSTEM PER NFPA 13 UNDER SEPARATE PERMIT.

PLANNING INFORMATION

APN	132-25-057
ZONING DISTRICT	RM-30
BUILDING HEIGHT	EXISTING - 10'-0" PROPOSED - 30'-0" (35'-0" MAX)
NUMBER OF STORIES	EXISTING - 1 PROPOSED - 3
SETBACKS	FRONT - 24'-0" (24'-0" MIN) REAR - 11'-6" (10'-0" MIN) SIDES - 10'-0" (6'-0" MIN)
LOT SIZE	8,070 SQ. FT. (.185 ACRES)
LOT DENSITY	3 UNITS (MIN) 5 UNITS (MAX)
ALLOWABLE FAR	(8,070 x 0.6) = 4,842 SQ. FT.
PROPOSED FAR	4,839 SQ. FT.
SITE COVERAGE	3,034.8 SQ. FT. (3,228 SQ. FT. MAX.)
FLOOD HAZARD AREA (NAVD88 DATUM)	X
PARKING SPACES (PAMC 18.52.040)	8 PROPOSED (8 REQUIRED)
BIKE PARKING SPACES (PAMC 18.52.040)	4 PROPOSED (4 REQUIRED)
COMMON USABLE OPEN SPACE	346 SQ. FT. (300 SQ. FT. MIN.)
PRIVATE USABLE OPEN SPACE	2,298 SQ. FT. (200 SQ. FT. MIN.)

GROSS FLOOR AREAS:

TOTAL EXISTING	2,920 SQ.FT.	TOTAL
FIRST FLOOR	770 SQ.FT.	CONDITIONED
SECOND FLOOR	1,927 SQ.FT.	CONDITIONED
THIRD FLOOR	1,368 SQ.FT.	CONDITIONED
TOTAL PROPOSED	4,066 SQ.FT.	CONDITIONED
	0 SQ.FT.	UNCONDITIONED
	4,066 SQ.FT.	TOTAL

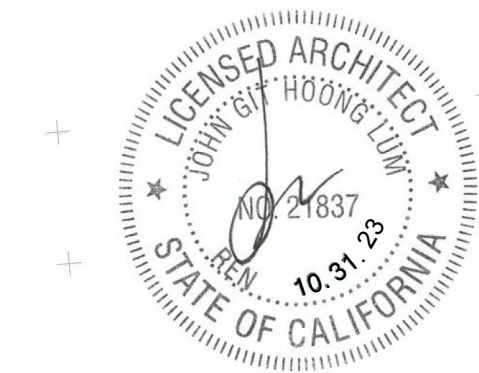
UNIT AREAS:

UNIT 1 - GROSS FLOOR AREA PRIVATE OPEN SPACE	1,211.7 SQ. FT. 474.5 SQ. FT. (150 SQ. FT. MIN.)
UNIT 2 - GROSS FLOOR AREA PRIVATE OPEN SPACE	1,211.7 SQ. FT. 474.5 SQ. FT. (150 SQ. FT. MIN.)
UNIT 3 - GROSS FLOOR AREA PRIVATE OPEN SPACE	1,207.9 SQ. FT. 674.5 SQ. FT. (150 SQ. FT. MIN.)
UNIT 4 - GROSS FLOOR AREA PRIVATE OPEN SPACE	1,207.9 SQ. FT. 674.5 SQ. FT. (150 SQ. FT. MIN.)

BUILDING INFORMATION

CONSTRUCTION TYPE	TYPE - 5A
OCCUPANCY	R2
MINIMUM ROOF CLASS	CLASS B
FIRE SPRINKLERS	NFPA-13
PHOTOVOLTAIC SYSTEM	TO BE SUBMITTED UNDER SEPARATE PERMIT
UTILITIES	ALL ELECTRIC

DEPARTMENT STAMPS



GEMINI - PALO ALTO HOUSING

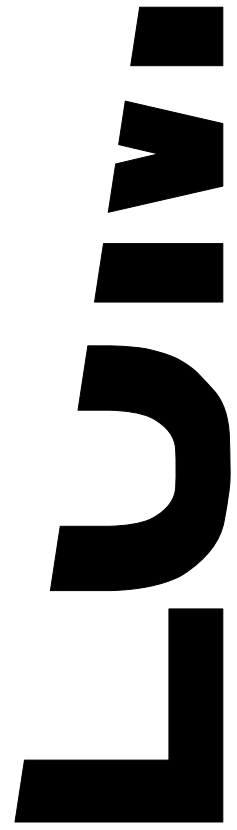
2609, 2611, 2615, & 2617 Alma St
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 480
Burlingame, CA 94010

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm
04.19.22	Major AR - Rev.3.	hm

TITLESHEET

A0.00



JOHN LUM ARCHITECTURE
3248 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554

TREE REMOVAL CONSENT EMAIL:

11/4/2020

Mail - Tenzin Tsungmey - Outlook

Re: Alma Neighbors Property Management Company

Scott Bartner <scott@btproperties.com>
Tue 11/3/2020 2:01 PM

To: Tenzin Tsungmey <tenzin@geminipaloalto.com>
Cc: Ashley Sanderson <ashley@geminipaloalto.com>
Tenzin

Hi

Actually, yes, just this morning.
The owner has agreed to the removal of the tree and putting up a new fence at your expense.

Best
Scott

On Tue, Nov 3, 2020 at 1:45 PM Tenzin Tsungmey <tenzin@geminipaloalto.com> wrote:
Hi Scott,

I am following up to see if you heard anything from the owner.

Kind regards,

Tenzin Tsungmey | Business Development Manager
Gemini Investment Palo Alto LLC

1350 Bayshore Hwy Ste. 520
Burlingame, CA - 94010
P. 650-534-3388
M. 617-460-0545
E. tenzin@geminipaloalto.com

From: Scott Bartner <scott@btproperties.com>
Sent: Thursday, October 29, 2020 8:32 AM
To: Tenzin Tsungmey <tenzin@geminipaloalto.com>
Cc: Ashley Sanderson <ashley@geminipaloalto.com>
Subject: Re: Alma Neighbors Property Management Company

Hi All

I have contacted the owners of the property and am waiting on their response. I will let you know once I get that.

Best
Scott

On Wed, Oct 28, 2020 at 2:38 PM Tenzin Tsungmey <tenzin@geminipaloalto.com> wrote:
Hi Scott,

My coworker Ashley reached out to you last week regarding the shared trees at Alma Street. We will be taking down the existing unoccupied building structure and construct a new 4-unit multifamily home.

We would like to take down the existing trees that are encroaching to your side of the property and replace the whole fence with a 7ft tall wooden fence. Of course, we will cover all expenses related to the fence and the tree removal.

Tenzin Tsungmey| Business Development Manager
Gemini Investment Palo Alto LLC

1350 Bayshore Hwy Ste. 520
Burlingame, CA - 94010
P. 650-534-3388
M. 617-460-0545
E. tenzin@geminipaloalto.com

From: Scott Bartner <scott@btproperties.com>
Sent: Thursday, October 22, 2020 5:09 PM
To: Ashley Sanderson <ashley@geminipaloalto.com>
Subject: Tree Removal

Hi Ashley

I have received your email regarding the shared tree at Alma St.
Please feel free to reach out to me with your proposal.

Thanks and Stay Safe

Scott Bartner
Sr. Regional Manager
650-722-3994
btproperties.com

https://outlook.office365.com/mail/AAMkAGYwOTc4M2JyLTJfOTcNDQkNyb2ZTMzLTU0MTU5YWQNTc0ZQAUAAAAAAXUgB%2B%2BdczR5YHLeOj... 2/3

11/4/2020

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ABBREVIATIONS:

&	AND
NTL	AT
#	NUMBER
C	CENTER LINE
R	PROPERTY LINE
(E)	EXISTING
(D)	DEMOLISH
(N)	NEW
(R)	REPLACE
ABV.	ABOVE
ADJ.	ADJACENT
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ARCH.	ARCHITECTURE
ASPH.	ASPHALT
BD.	BOARD
BASE BD.	BASE BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BOT.	BOTTOM
BM.	BEAM
B.U.	BUILT-UP
CLG.	CEILING
ONTL.	CONTROL
CONT.	CONTINUOUS
CTR.	CENTER
CLR.	CLEAR
C.L.	CENTER LINE
DBL.	DOUBLE
D.F.	DOUGLAS FIR
DIM.	DIMENSION
DN.	DOWN
D.P.	DOUBLE POLE
D.S.	DOWN SPOUT
DWG.	DRAWING
E	EAST
EA	EACH
EL OR ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
EXP.	EXPOSED
EXT.	EXTERIOR
F.A.U.	FORCED-AIR-UNIT
FDN.	FOUNDATION
F.F.	FINISHED FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
FIN.	FINISH
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.P.	FACE OF PLYWOOD
F.P.	FIRE PLACE
FURN.	FURNACE
GA.	GAUGE
GALV.	GALVANIZED
GND.	GROUND
GYP.BD.	GYPSUM BOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARD WOOD
H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING
I.D.	INSIDE DIMENSION
INSUL.	INSULATION
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OVER	OVER
O.C.	ON CENTER
OF.CI.	OWNER FURNISHED, CONTRACTOR INSTALLED
OPNG.	OPENING
O.D.	OUTSIDE DIMENSION
P.C.	PLUMBING CHASE
PL	PLATE
PLYWD.	PLYWOOD
P.T.	PRESSURE TREATED
POINT.	POINT
PTD.	PAINTED
R	RADIUS
RET. AIR	RETURN AIR
RM.	ROOM
RD.WD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S	SOUTH
S.S.D.	SEE STRUCTURAL DRAWINGS
SQ. FT.	SQUARE FOOT
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.P.	SINGLE POLE
SQ.	SQUARE
S.ST.	STAINLESS STEEL
ST.	STEEL
STD.	STANDARD
SUP. AIR	SUPPLY AIR
T&G	TONGUE AND GROOVE
T.B.D.	TO BE DETERMINED
THK.	THICK
T.O.S.	TOP OF SLAB
T.O.F.F.	TOP OF FINISHED FLOOR
T.O.W.	TOP OF WALL
T.P.	TOILET PAPER HOLDER
T.R.	TOWEL RACK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VAR.	VARIES
V.D.C.	VERIFY DURING CONSTRUCTION
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W	WEST
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.P.	WATER PROOF
W.H.	WATER HEATER

SYMBOLS:

WALL TYPES

NEW WALL (NON-RATED)	
NEW 1-HOUR FIRE-RATED WALL	
NEW 2-HOUR FIRE-RATED WALL	
NEW LOW WALL	
EXISTING WALL	
DEMO WALL	

LINE TYPES

OVERHEAD LINE	
HIDDEN LINE	
PROPERTY LINE	
SETBACK LINE	
CENTER LINE	
BREAK LINE	
ELEVATION LINE	

DIMENSIONS

FACE OF FINISH	
CL OF STUD	

MARKERS

DETAIL MARKER	
PLAN DETAIL MARKER	
ELEVATION MARKER	
SECTION MARKER	
INTERIOR ELEVATION MARKER	
REVISION MARKER	
DOOR TAG	
WINDOW TAG	
STEP	

GENERAL NOTES:

AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT," ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT STATE & LOCAL CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
- CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
- SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
- DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
- ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
- IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
- WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
- DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
- "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- "TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
- CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
- ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
- WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
- MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO :
 - MINIMUM ROOF/CEILING INSULATION R-19
 - MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
 - MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13
 - ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 - INFILTRATION CONTROL:
 - DOORS AND WINDOWS WEATHER-STRIPPED.
 - EXHAUST SYSTEMS DAMPENED
 - DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
 - ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
 - DUCTS CONSTRUCTED AND INSTALLED PER UMC
 - ELECTRICAL OUTLET PLATEGASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
- SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
- GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES.
- LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWINGS. NOTED DIMENSIONS TAKE PRECEDENCE.

DEPARTMENT STAMPS:

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05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm

GENERAL NOTES

A0.01

GEMINI - PALO ALTO HOUSING

2809, 2811, & 2817 Alma St.
Palo Alto, CA 94306

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1350 Bayshore Highway, Suite 480
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client:

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.558.8550 FAX 415.558.8554



1 STREET CONTEXT ELEVATION
A0.02 Scale: 1/8" = 1'-0"



ADJACENT PROPERTY: 2571, 2577, & 2581 ALMA ST



ADJACENT PROPERTY: 2595 ALMA ST



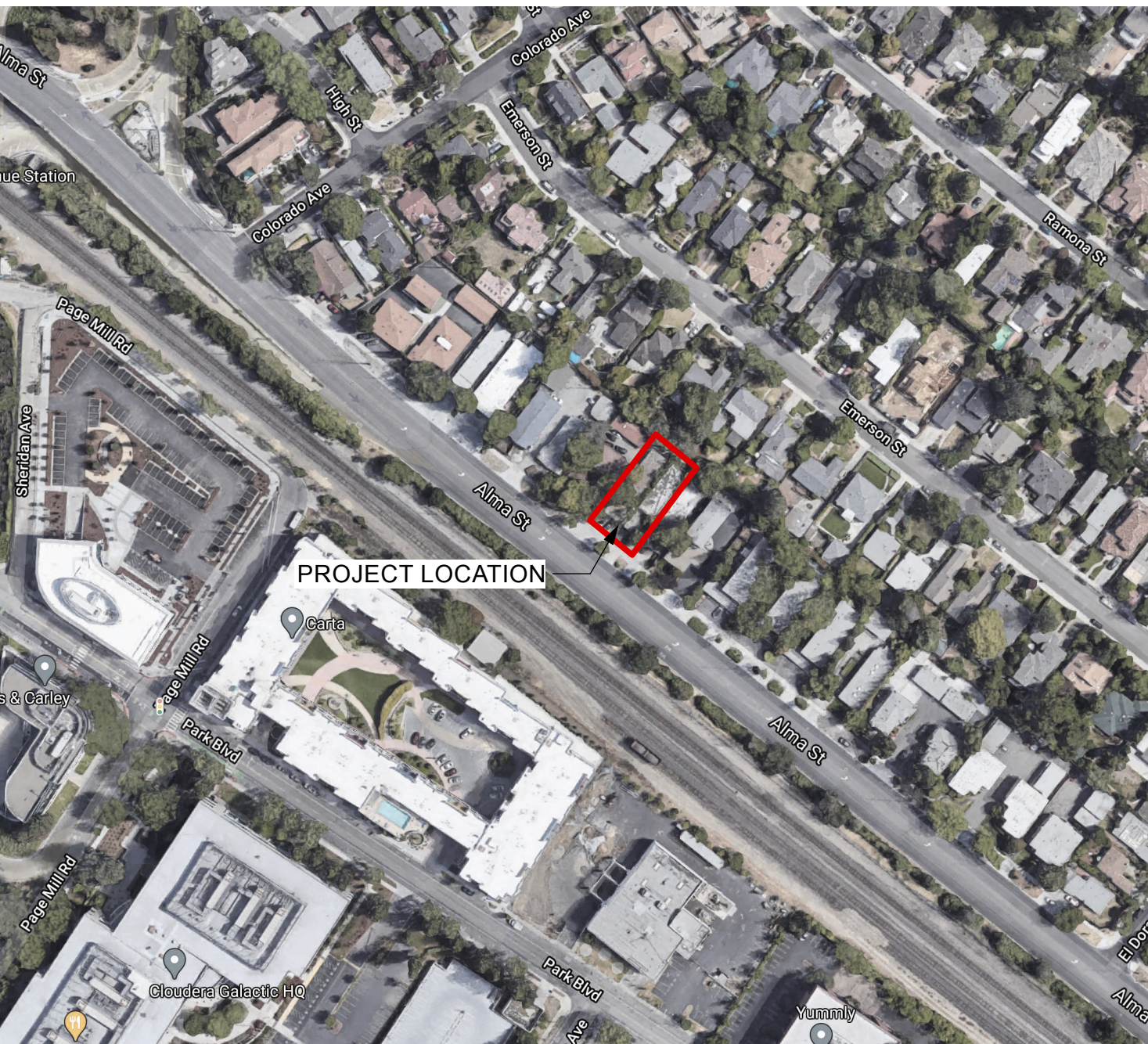
SUBJECT PROPERTY: 2609, 2911, 2615, & 2617 ALMA ST



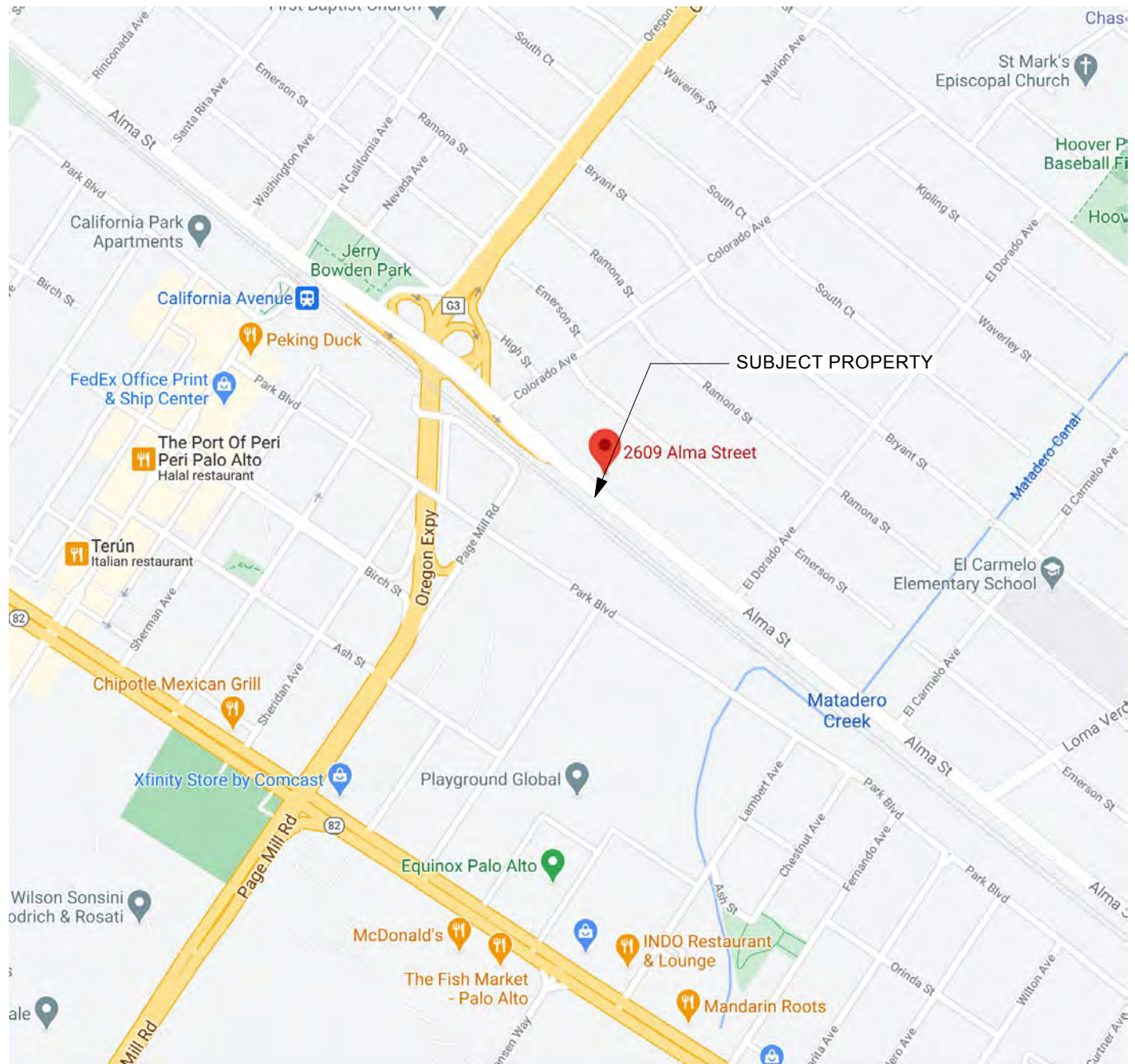
ADJACENT PROPERTY: 2619 & 2621 ALMA ST



ADJACENT PROPERTY: 2631, 2633, 2635 & 2637 ALMA ST



SATELLITE MAP



VICINITY MAP



VIEW ACROSS ALMA ST. FROM SUBJECT PROPERTY

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01.06.22	Major AR - Rev.2	hm

SITE CONTEXT

A0.02

GEMINI - PALO ALTO HOUSING

2609, 2911, 2615, & 2617 Alma St
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filename: GEMINI_Planning Rev3_220419b_3.wvx



2501 - 2505 ALMA ST



2507 - 2515 ALMA ST



2517 - 2533 ALMA ST



2537 & 2539 ALMA ST



2551 - 2559 ALMA ST



2571 - 2585 ALMA ST



2591 - 2599 ALMA ST



SUBJECT PROPERTY: 2609 - 2617 ALMA ST



2619 - 2621 ALMA ST



2631 - 2639 ALMA ST



2631 - 2639 ALMA ST



2643 - 2651 ALMA ST



2673 - 2681 ALMA ST



2689 - 2695 ALMA ST



2701 - 2721 ALMA ST



2725 - 2757 ALMA ST

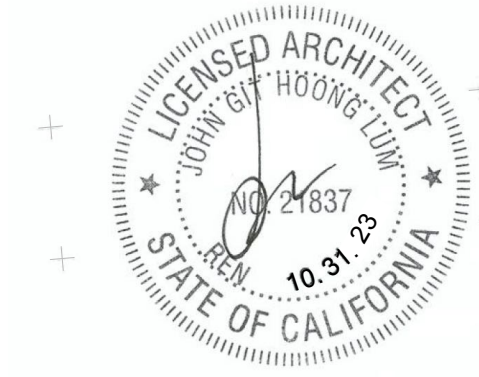


2773 - 2781 ALMA ST



2799 ALMA ST

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1350 Bayshore Highway, Suite 480
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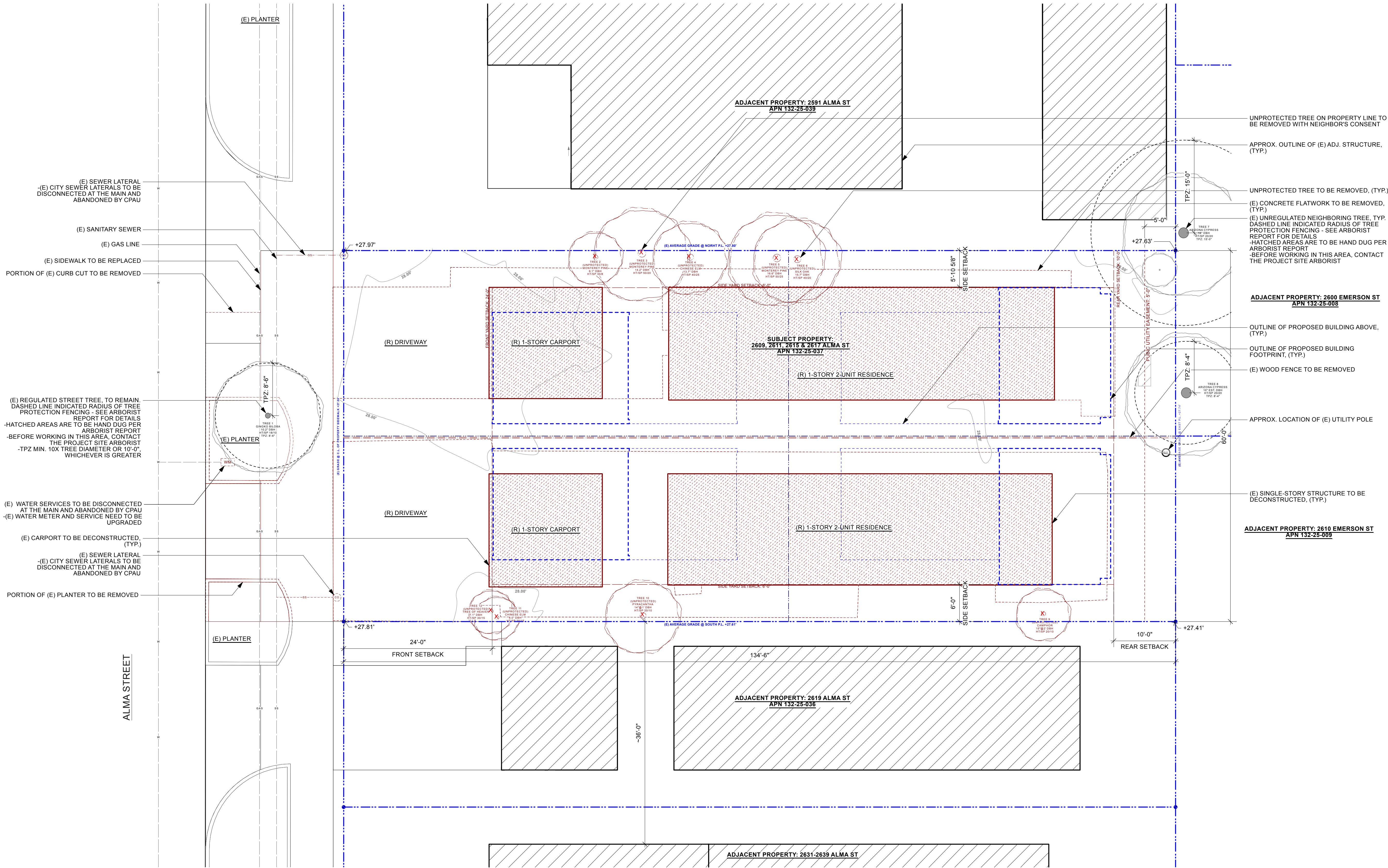
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05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm

STREET CONTEXT

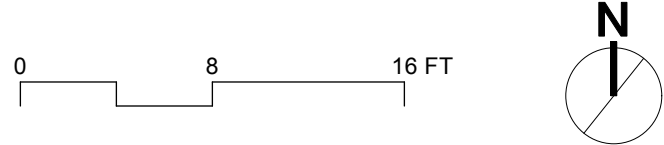
A0.03

JOHN LUM ARCHITECTURE

3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554



1 SITE PLAN - EXISTING / DEMO
A0.04 Scale: 1/8" = 1'-0"



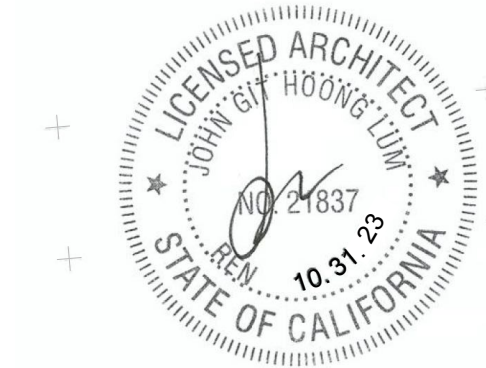
DEPARTMENT STAMPS:

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm

GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 480
Burlingame, CA 94010



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SITE PLAN

A0.04

NOTE: UPGRADE PUBLIC FIRE HYDRANT IN FRONT OF 2581 & 2585 ALMA ST TO A CLOW MODEL 76

- (N) WOOD FENCE, (TYP.)
- (N) CONCRETE PAVER DRIVEWAY AND PARKING COURT, WITH PERMEABLE TURF
- (E) GAS LINE
- (N) PLANTER
- (N) SIDEWALK AS SHOWN
- (E) SANITARY SEWER
- (E) MODIFIED PLANTER W/ (N) COBBLESTONES
- PROVIDE 1 EVSE-READY OUTLET OR EVSE INSTALLED FOR EACH RESIDENCE PER PAMC16.14.420, (TYP.)
- (E) REGULATED STREET TREE, TO REMAIN. DASHED LINE INDICATED RADIUS OF TREE PROTECTION FENCING - SEE ARBORIST REPORT FOR DETAILS
- HATCHED AREAS ARE TO BE HAND DUG PER ARBORIST REPORT
- BEFORE WORKING IN THIS AREA, CONTACT THE PROJECT SITE ARBORIST
- TPZ MIN. 10X TREE DIAMETER OR 10'-0", WHICHEVER IS GREATER, TYP.
- (N) 2" HDPE WATER SERVICE & MANIFOLD
- 4 (N) 1" WATER METERS W/ INSTALLATION BY CPAU
- (N) 5/8" WATER METER
- 5 (N) RPPA BACKFLOW PREVENTORS PER CITY STANDARD WD-11C
- (N) 4'-0" HIGH FENCE AT PRIVATE YARD
- (E) CURBCUT (MODIFIED)
- (N) SEWER DISCHARGE AND CLEAN OUT PER CA PLUMBING CODE 2019 STANDARDS
- (E) PLANTER (MODIFIED)

ALMA STREET

1 SITE PLAN - PROPOSED
A0.05 Scale: 1/8" = 1'-0"

0 8 16 FT



DEPARTMENT STAMPS:

ADJACENT PROPERTY:
2591 ALMA ST
APN 132-25-039

ADJACENT PROPERTY:
2600 EMERSON ST
APN 132-25-008

SUBJECT PROPERTY:
2609, 2611, 2615 & 2617
ALMA ST
APN 132-25-037

ADJACENT PROPERTY:
2610 EMERSON ST
APN 132-25-008

ADJACENT PROPERTY:
2619 ALMA ST
APN 132-25-036

ADJACENT PROPERTY: 2631-2639 ALMA ST

APPROX. OUTLINE OF (E) ADJ. STRUCTURE, (TYP.)

(E) UNREGULATED NEIGHBORING TREE, (TYP.)
DASHED LINE INDICATED RADIUS OF TREE PROTECTION FENCING, RADIUS TO BE 10X DBH - SEE ARBORIST REPORT FOR DETAILS
-HATCHED AREAS ARE TO BE HAND DUG PER ARBORIST REPORT
-BEFORE WORKING IN THIS AREA, CONTACT THE PROJECT SITE ARBORIST

4 (N) UNENCLOSED ELECTRIC METER BOXES

(N) ELECTRICAL PULL BOX WITH UNDERGROUND ELECTRICAL CONDUIT TO SUPPLY METER BOXES

APPROX. LOCATION OF (E) UTILITY POLE
(N) WOOD DECK, TYP.

(N) LONG TERM BIKE PARKING SPACE, (TYP.)

(N) COVERED TRASH ENCLOSURE
-THE FUTURE TENANTS OR PROPERTY MANAGER WILL BE RESPONSIBLE TO BRING THE CARTS TO THE CURB FOR REFUSE SERVICE AND IMMEDIATELY STORE THE CARTS BACK IN THE REFUSE ENCLOSURE AFTER SERVICE

GEMINI - PALO ALTO HOUSING

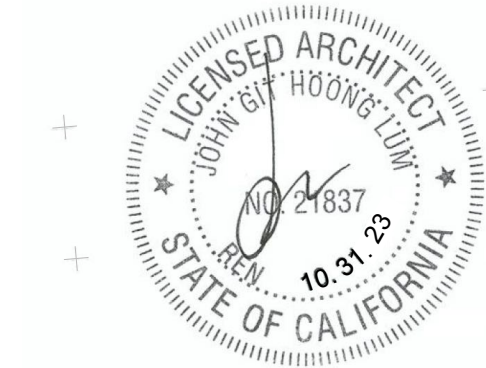
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Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
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Burlingame, CA 94010

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
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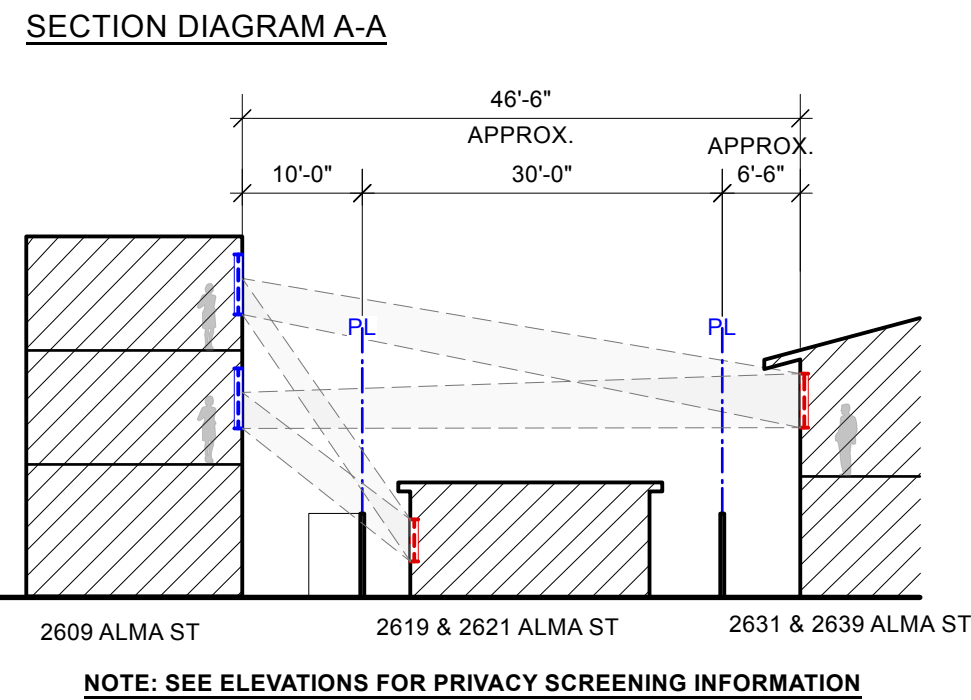
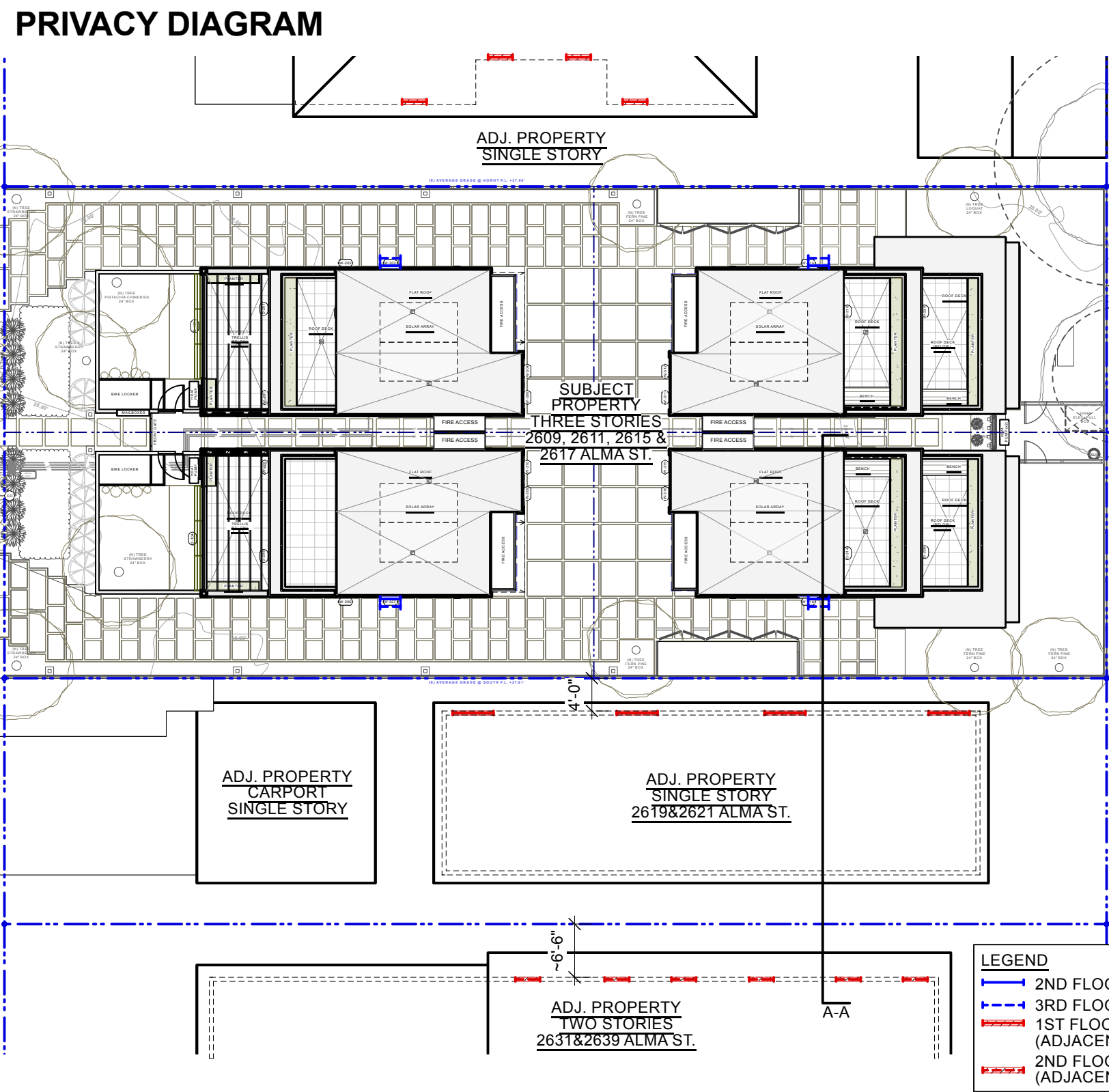
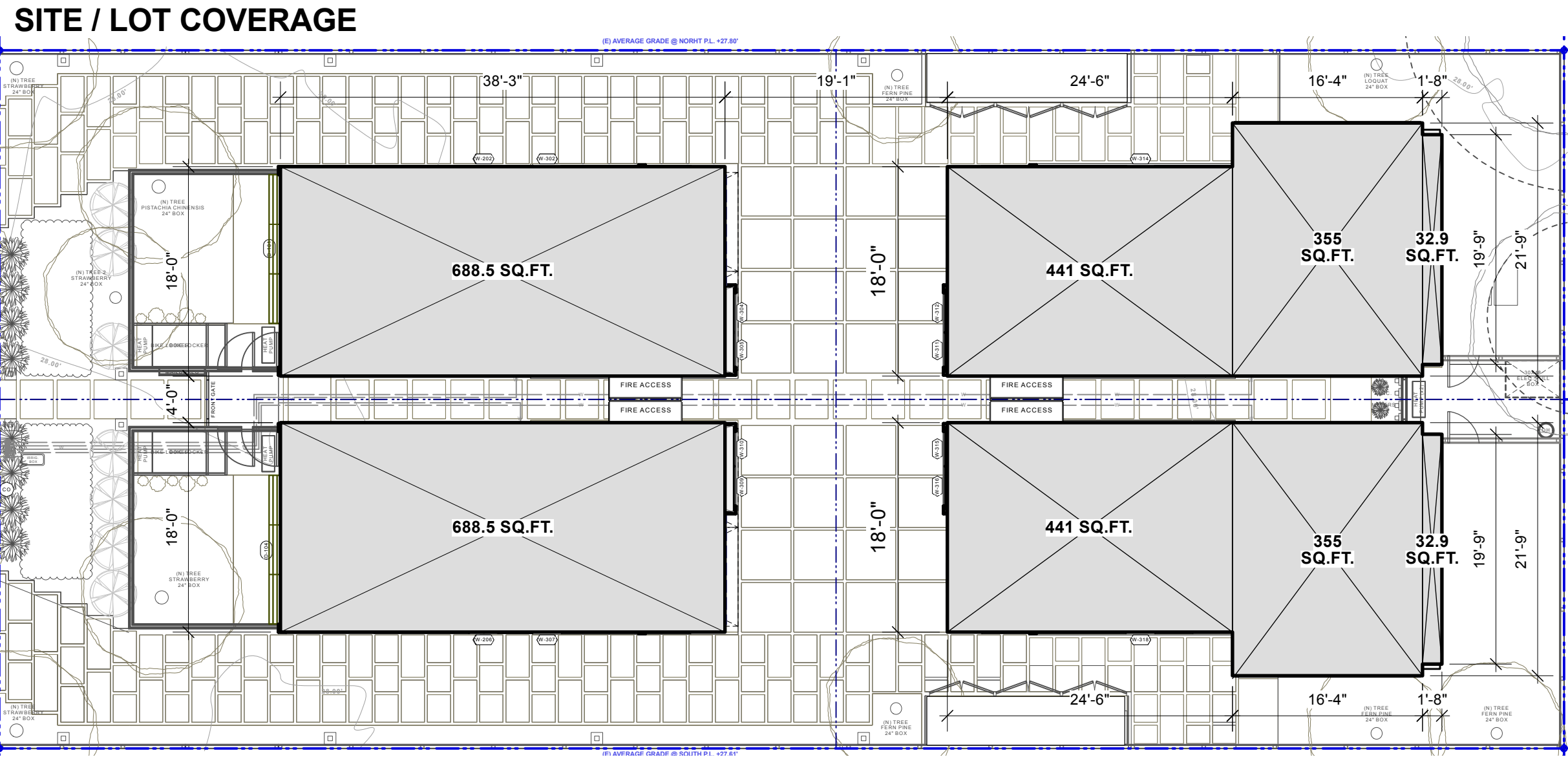
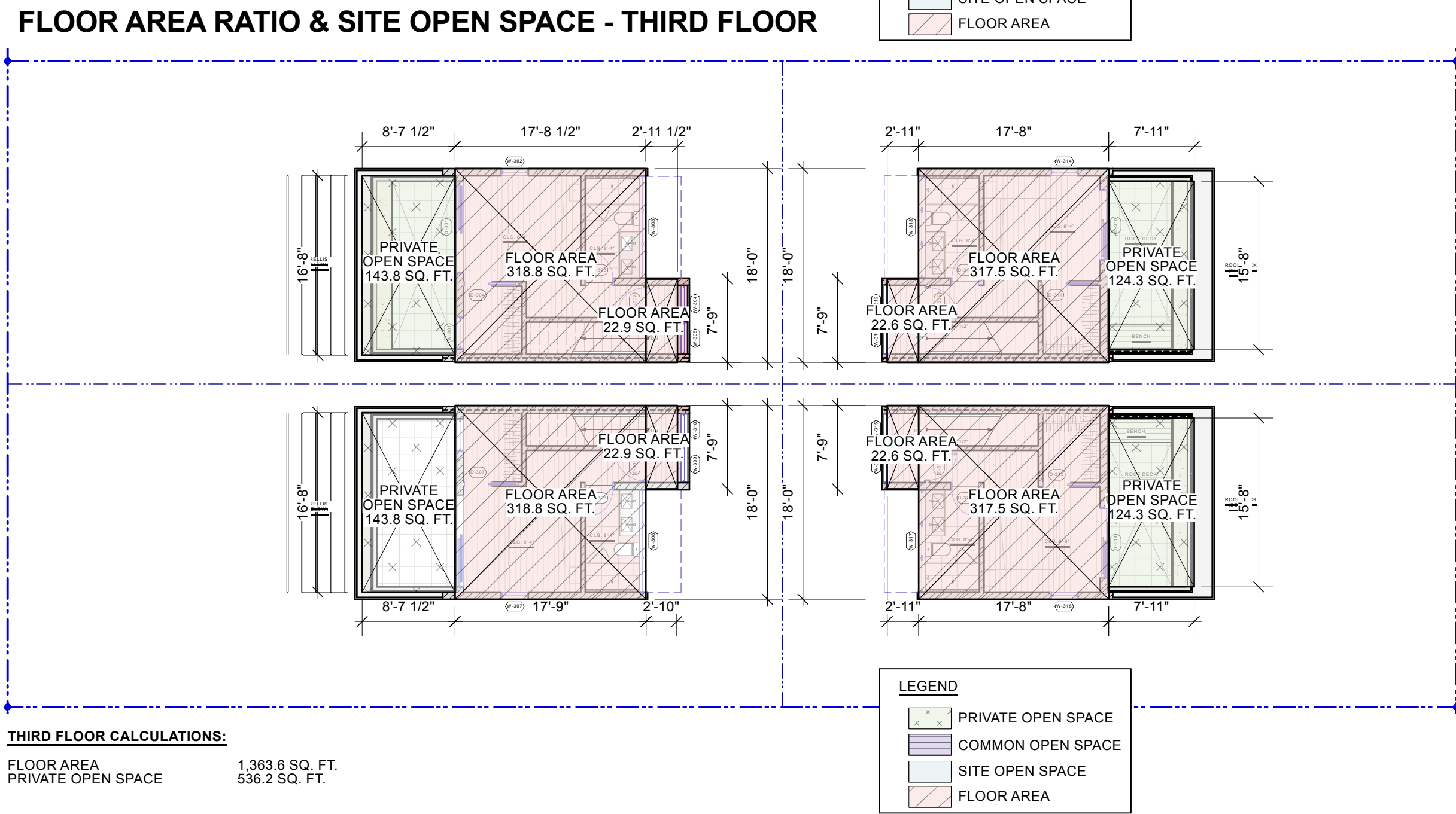
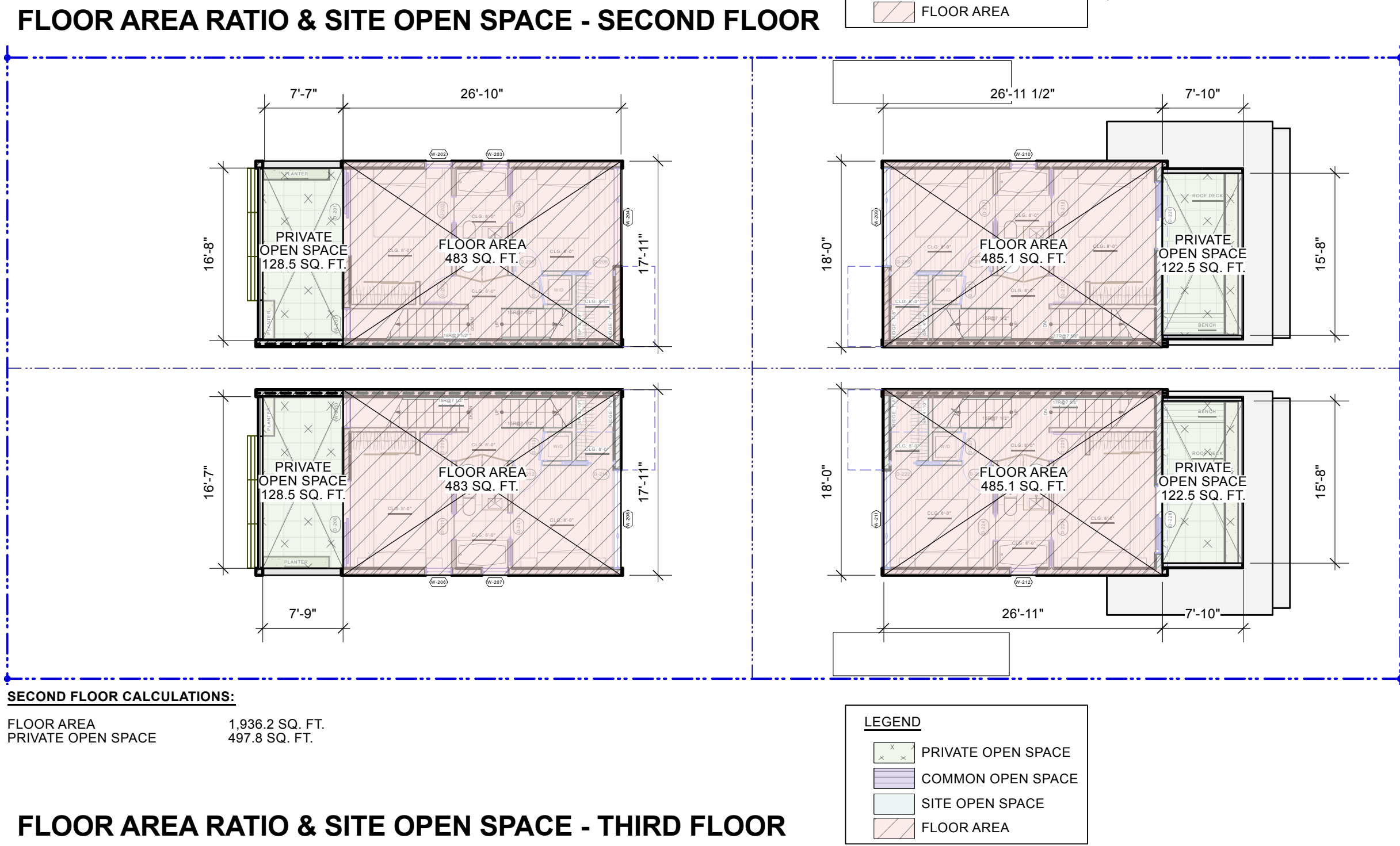
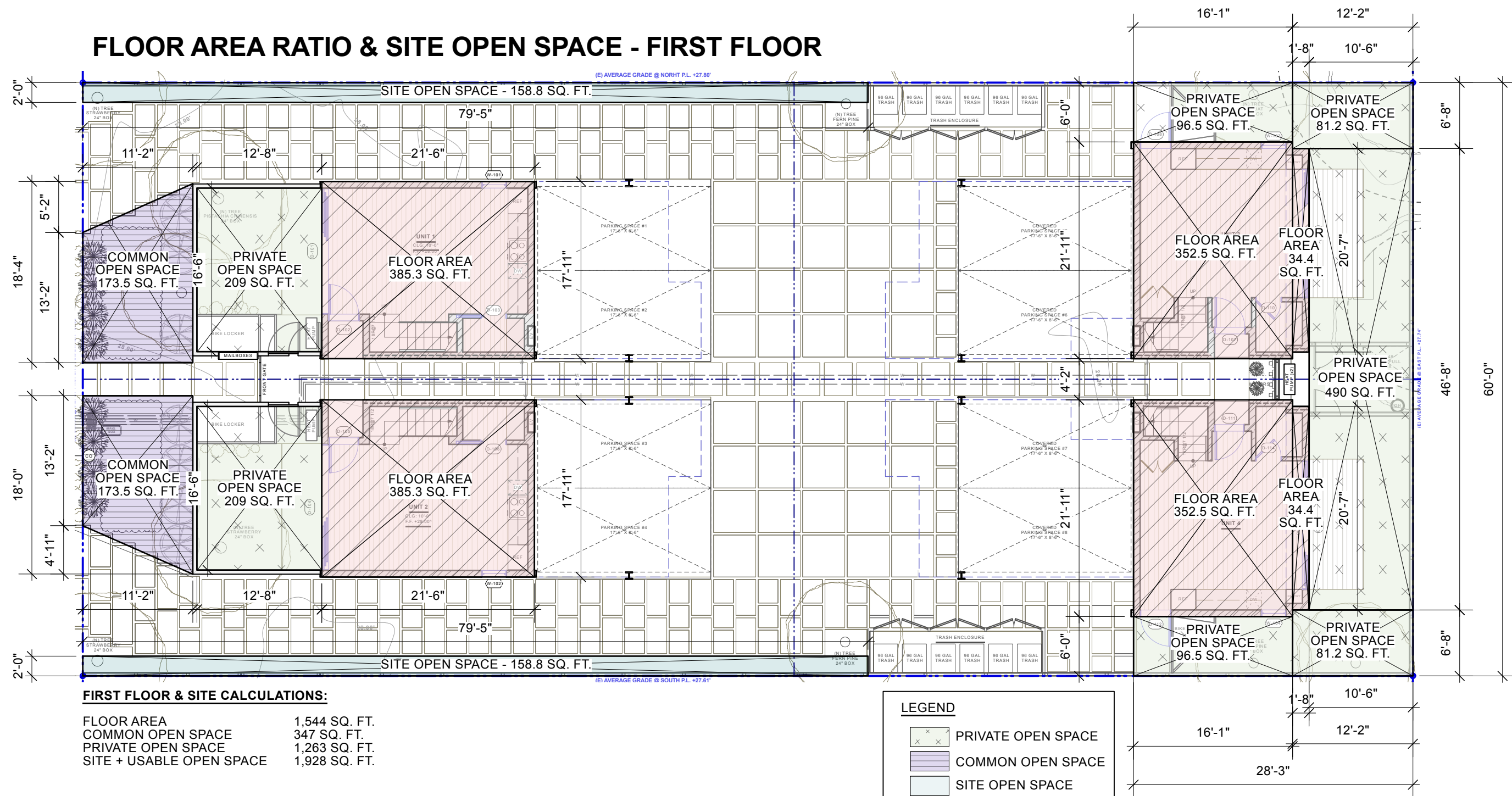
SITE PLAN

A0.05



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554

filename: GEMINI_Planning Rev3_220419b_3.wxw



FAR, PARKING, & OPEN SPACE CALCULATIONS

PRIVATE OPEN SPACE			
FIRST FLOOR	1,240 SQ.FT.		
SECOND FLOOR	444.0 SQ.FT.		
THIRD FLOOR	480.5 SQ.FT.		
TOTAL	2,164.7 SQ.FT.		
REQUIRED	(4X50 SQ.FT.) = 200 SQ.FT.	COMPLIES	
COMMON OPEN SPACE			
FIRST FLOOR	347 SQ.FT.		
REQUIRED	(4X75 SQ.FT.) = 300 SQ.FT.	COMPLIES	
USABLE OPEN SPACE			
REQUIRED	2,512.0 SQ.FT.		
	(4X150 SQ.FT.) = 600 SQ.FT.	COMPLIES	
SITE OPEN SPACE			
	317.6 SQ. FT.		
SITE + USABLE OPEN SPACE			
REQUIRED	2,829.6 SQ.FT.		
	(.3 X 8,070 SQ.FT.) = 2,421 SQ.FT.	COMPLIES	
SITE COVERAGE			
MAXIMUM	3,034.8 SQ.FT.		
	(.4 X 8,070 SQ.FT.) = 3,228 SQ.FT.	COMPLIES	
FLOOR AREA RATIO			
FIRST FLOOR	770 SQ.FT.		
SECOND FLOOR	1,927.2 SQ.FT.		
THIRD FLOOR	1,368.4 SQ.FT.		
TOTAL	4,066.0 SQ.FT.		
MAX. ALLOWED	(8,070 X 0.6) = 4,842 SQ.FT.	COMPLIES	
PARKING REQUIREMENTS (PER PAMC18.52.040 TABLE 1)			
BICYCLE PARKING	(1 PER UNIT X 4 UNITS) = 4 SPACES	COMPLIES	
CAR PARKING	(2 PER UNIT X 4 UNITS) = 8 SPACES	COMPLIES	
	MIN. (4 COVERED + 4 UNCOVERED) = 8 SPACES		

DEPARTMENT STAMPS:

date	issues / revisions	by
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CALCULATIONS

A0.06



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Palo Alto, CA 94306

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Burlingame, CA 94010

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DEPARTMENT STAMPS:

PERSPECTIVES

A0.07

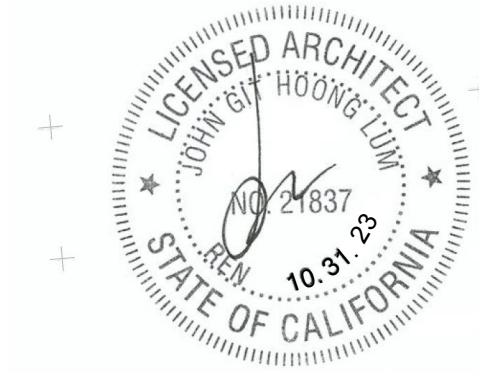
date	issues / revisions	by
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08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm
04.19.22	Major AR - Rev.3.	hm

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client:

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Burlingame, CA 94010



John Lum Architecture

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL: 415.558.8550 FAX: 415.558.8554



DEPARTMENT STAMPS:

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08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm
04.19.22	Major AR - Rev.3.	hm

PERSPECTIVES

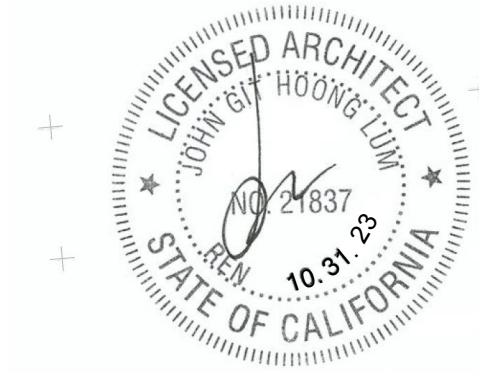
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client:

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Burlingame, CA 94010



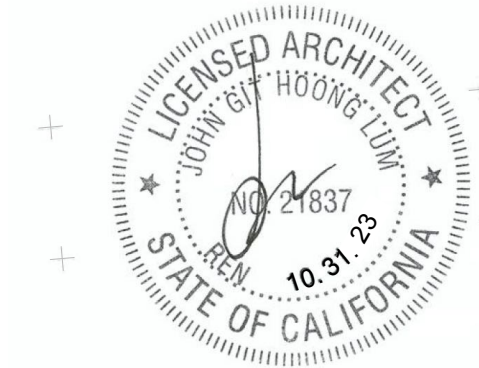
lum

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL: 415.558.8550 FAX: 415.558.8554



***NOTE: ADJACENT TREES NOT SHOWN FOR CLARITY**

DEPARTMENT STAMPS:



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Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 480
Burlingame, CA 94010

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08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm
04.19.22	Major AR - Rev.3.	hm

PERSPECTIVES

A0.09

GEMINI - ALMA STREET HOUSING
MATERIALS BOARD

06.02.2021



SHOU-SUGI-BAN WOOD SIDING - DELTA MILLOWORKS "WOLVERINE"



GEMINI - PALO ALTO
2609, 2611, 2615, & 2617 ALMA ST.
PALO ALTO, CA 94306



ALUMINUM WINDOWS - BRONZE ANODIZED



STUCCO - DRYVIT - MOONLIGHT 612

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm

DEPARTMENT STAMPS:

MATERIALS BOARD

A0.10

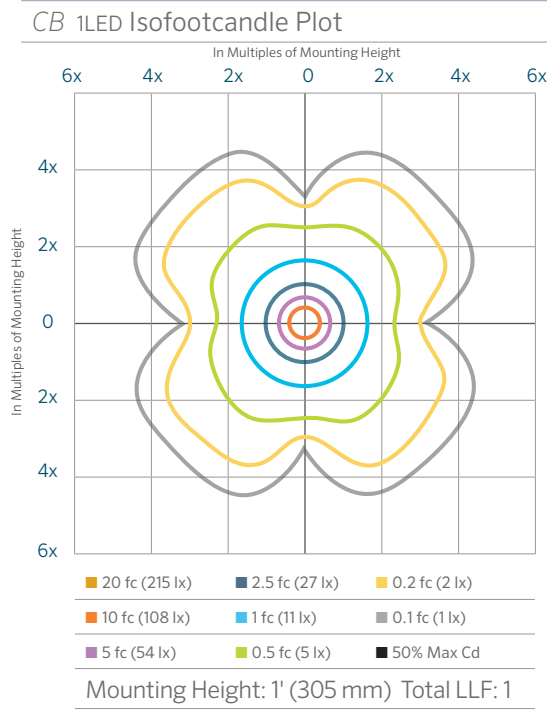


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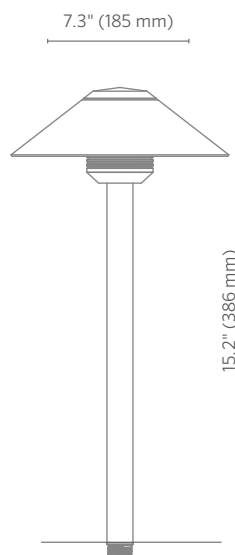
CB Path Light

DESIGNER PREMIUM

Classic styling combines metals in this 1 or 3 LED area light. Copper and brass construction. RGBW capable with **Luxor®** system.

Quick Facts

- Copper/brass construction
- Natural copper/brass, powder coat, or antique finishes
- Creed® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

CB Path Light SPECIFICATIONS

Output	1LED	3LED	3LEDT	ZDC
Total Lumens*	44	94	74	83
Input Voltage	10 to 15V	10 to 15V	10 to 15V	11 to 15V
Input Power (W)	2.0	4.2	4.2	6.0
VA	2.4	4.5	4.5	7.2
Efficacy (Lumens/Watt)	23	64	21	36
Color Rendering Index (CRI)	80+	80+	--	80+
Max Candela	15	30	29	40
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	--
RGBW Available	No	No	No	Yes
Luxor Compatibility				
Default	Zoning	Zoning	--	--
ZD Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	--	Zoning/Dimming/Color
Minimum Rated Life (L70)	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000Hrs

** For optimal performance, use a trailing-edge, phase-cut dimmer.
* Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).

CB Path Light ORDERING INFORMATION

Fixture	Luxor Option	Output	Riser	Finish
CB*	[default] Zone	1LED 44 Lumens	08R 8" (203 mm) Riser	CU Natural Copper
	ZD Zone/Dim	3LED 94 Lumens	12R 12" (305 mm) Riser	BZ Bronze Metallic
		3LEDT** Wildlife-Friendly Amber (585-595 nm)	18R 18" (457 mm) Riser	DG Desert Granite
	ZDC Zone/Dim/Color	[default] 83 Lumens	24R 24" (610 mm) Riser	WI Weathered Iron
		36R 36" (914 mm) Riser	FB Black	AT Antique Tumbled
			WG White Gloss	NP Nickel Plate

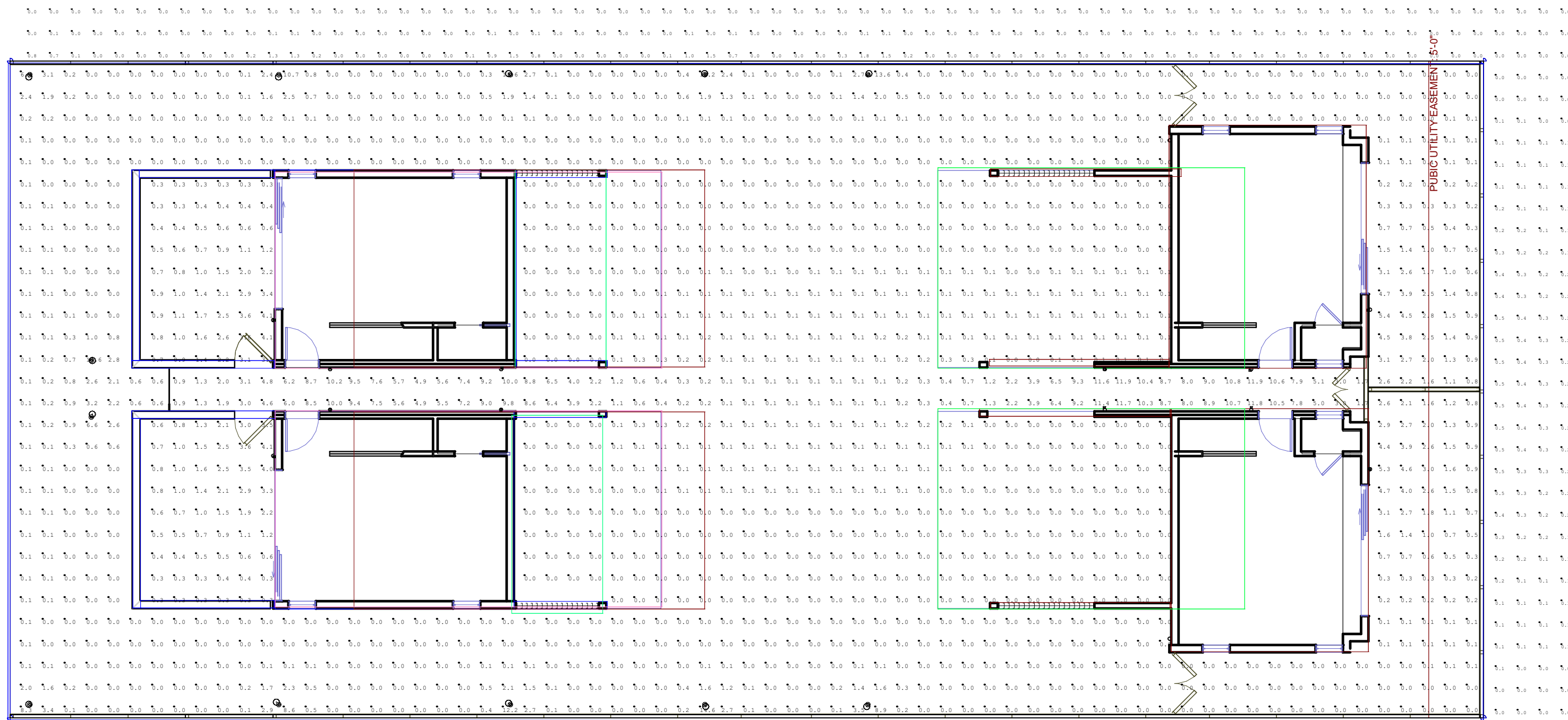
Learn more. Visit: [fxl.com](#) | +1760.744.5240

0.8	1.1	1.4	1.8	2.3	2.6	2.9	3.0
0.9	1.3	1.7	2.2	2.7	3.1	3.4	3.6
1.0	1.4	1.9	2.4	3.0	3.5	3.9	4.1
1.1	1.5	2.0	2.5	3.1	3.7	4.2	4.4
1.1	1.4	1.9	2.5	3.1	3.7	4.2	4.5
1.0	1.4	1.9	2.4	3.0	3.5	4.0	4.1
0.9	1.2	1.7	2.1	2.6	3.1	3.4	3.5
0.8	1.1	1.4	1.8	2.2	2.6	2.9	3.1
0.7	0.9	1.2	1.5	1.8	2.1	2.4	2.5
0.5	0.7	0.9	1.2	1.4	1.6	1.8	1.9
0.4	0.6	0.7	0.8	1.0	1.2	1.3	1.3
0.3	0.4	0.5	0.6	0.7	0.9	0.9	1.0
0.3	0.3	0.4	0.5	0.5	0.6	0.7	0.7
0.2	0.3	0.3	0.3	0.4	0.4	0.5	0.5
0.2	0.2	0.2	0.3	0.3	0.3	0.3	0.3
0.1	0.2	0.2	0.2	0.2	0.2	0.2	0.2
0.1	0.1	0.1	0.1	0.1	0.2	0.2	0.2

Calculation Summary						
Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min
Object_20_Top_1	Illuminance	1.50	4.5	0.1	15.00	45.00

2 PHOTOMETRIC PLAN - TYPICAL UPPER FLOOR DECK

Scale: Actual Size



Calculation Summary						
Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min
ext perim	Illuminance	0.11	1.8	0.0	N.A.	N.A.
Perimeter	Illuminance	0.67	18.2	0.0	N.A.	N.A.

1 PHOTOMETRIC PLAN - SITE PLAN

Scale: Actual Size

WAC LIGHTING

Caliber

Outdoor Wall Sconce 3000K

Model & Size	Color Temp & CRI	Finish	Watt	LED Lumens	Delivered Lumens
WS-W36610 10"	3000K 90	AL Brushed Aluminum BK Black BZ Bronze	11W	735	560

Example: **WS-W36610-BZ**
For custom requests please contact customs@waclighting.com

DESCRIPTION

Light projection tuned with precision, Caliber is a discrete cylinder with minimal mounting hardware. Available in a single or double light configuration which can be mounted both vertically and horizontally. The light engine is factory sealed for maximum protection against the harshest elements.

FEATURES

- Discrete cylinder with minimal mounting hardware
- Weather-resistant powder coated finish
- WS-W36614 is Up & down light, WS-W36610 is one direction
- Light engine is factory sealed for maximum protection from the elements
- Driver concealed within the fixture
- 5 year warranty

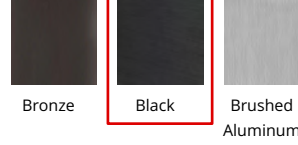
SPECIFICATIONS

Color Temp:	3000K
Input:	120-277 VAC, 50/60Hz
CRI:	90
Dimming:	ELV: 100-10%
Rated Life:	72000 Hours
Mounting:	Can be mounted on wall vertically or horizontally
Standards:	ETL, cETL, IP65 Wet Location Listed
Construction:	Aluminum hardware with lens diffuser

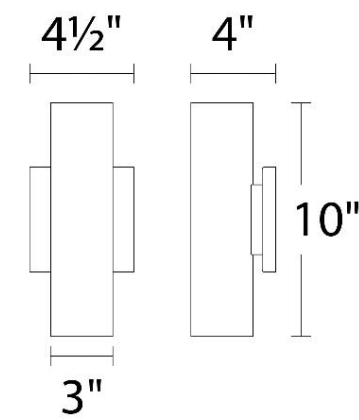
Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____



FINISHES:



LINE DRAWING:



WS-W36610

waclighting.com | Phone (800) 526-2588 | Fax (800) 526-2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. June 2021

GEMINI - PALO ALTO HOUSING

2606, 2811, 2815, & 2817 Alma St.
Palo Alto, CA 94306

Gemini Development One Palo Alto LLC
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Burlingame, CA 94010




client:

PHOTOMETRIC PLAN

A0.11

Make sure your crews and subs do the job right!

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/

<div>  <div> <div>City of Palo Alto</div> <div>250 Hamilton Avenue, Palo Alto, CA 94301</div> </div> </div>			
<div> <div>Search:</div> <div> <input type="text"/> <input type="button" value="GO"/> </div> </div>		<div> <div>Browse By Topic</div> <div> <input type="button" value="GO"/> <input type="button" value="X"/> </div> </div>	
<div>Home > Planning & Community Environment</div>			
<div>  </div>		<div> <div>Tree Technical Manual</div> <div>To purchase the Tree Technical Manual</div> <div> <div>June, 2011 First Edition</div> <div>View by section:</div> <div> <ul style="list-style-type: none"> • Table of Contents (PDF, 87KB) • Intent and Purpose (PDF, 1.05MB) • Introduction - Use of Manual (PDF, 1.05MB) • Section 1.0 - Definitions (PDF, 96KB) • Section 2.0 - Protection of Trees During Construction (PDF, 259KB) • Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB) • Section 4.0 - Hazardous Trees (PDF, 105KB) • Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB) • Section 6.0 - Tree Reports (PDF, 84KB) </div> <div> <div>View ALL sections:</div> <div> <ul style="list-style-type: none"> • Tree Technical Manual - Full (PDF, 1.84MB) </div> </div> </div> </div>	
<div> <div>Home</div> <div>City-owned Trees</div> <div>Privately-owned Trees</div> <div>About the Tree Ordinance</div> <div>Title 8.10</div> <div>Hazardous Trees</div> <div>Forms</div> <div>Tree Technical Manual</div> <div>FAQs</div> <div>Contact Us</div> <div>Resources</div> </div>		<div> <div>APPENDICES</div> <div> <div>A: Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations</div> <div>B: Tree City - USA</div> <div>C: ISA Hazard Evaluation Form</div> <div>D: List of Inherent Failure Patterns for Selected Species (Reference source)</div> <div>E: ISA Tree Pruning Guidelines (PDF, 1.85MB)</div> <div>F: Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)</div> <div>G: Pruning Performance Standards, ANSI A300-1995 (Reference source)</div> <div>H: Tree Planting Details, Diagram 504 & 505</div> <div>I: Tree Disclosure Statement</div> <div>J: Palo Alto Standard Tree Protection Instructions</div> </div> </div>	

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS —SECTION 31—

APPENDIX J

31-1 General

- a. **Tree Protection has three primary functions.** 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- b. **The Tree Protection Zone (TPZ)** is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, excluding any fencing.

31-2 References/Documents

- a. **Detail 605** – Illustration of situations described below.
- b. **Tree Technical Manual (TTM) Forms** (<http://www.cityofpaloalto.org/trees/>)
 1. Trenching Restriction Zones (TTM, Section 2.30C)
 2. Arborist Reporting Protocol (TTM, Section 6.30)
 3. Site Plan Requirements (TTM, Section 6.33)
 4. Tree Dislocation Statement (TTM, Appendix J)
- c. **Street Tree Verification (STV) Form** (<http://www.cityofpaloalto.org/trees/forms>)


31-3 Excavation

- a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.
- b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
- c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree bed or sidewalk planting pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Many limbs may also require plastic fencing as directed by the City Arborist.
- d. **Sign, type and area to be fenced:** The TPZ shall be protected shall be protected with six (6') foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of least 2-feet or no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.
- e. **"Warning" signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5 inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."
- f. **Duration.** Tree fencing shall be erected before demolition; grading or construction begins and remain in place until final final completion of the project, except for work specifically allowed in the TPZ. Work on soil disturbance in the TPZ requires approval by the project arboretor or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.
- g. **During construction**
 1. All neighbor's trees that surround the project site shall be protected from impact of any kind.
 2. The applicant shall be responsible for the repair or replacement plus penalty of any impacted or trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
 3. The following tree preservation measures apply to all trees to be retained:
 - a. No storage of material, spoil, vehicles or equipment shall be permitted within the TPZ.
 - b. The ground under and around the tree canopy area shall not be altered.
 - c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION

City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWL, Section 31

Revised 08/06

	City of Palo Alto Tree Department Public Works Operations PO Box 10250 Palo Alto, CA 94303 650/486-6963 FAX: 650/652-0289 treeprotection@CityofPaloAlto.org	<h2 style="margin: 0;">Verification of Street Tree Protection</h2>
<i>Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.</i>		
APPLICATION DATE:		
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:		
APPLICANT'S NAME:		
APPLICANT'S ADDRESS:		
APPLICANT'S TELEPHONE & FAX NUMBERS:		
<i>This section to be filled out by City Tree Staff</i>		
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:	YES <input type="checkbox"/>	NO* <input type="checkbox"/>
* If NO, go to #2 below		
Inspected by:		
Date of Inspection:		
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: Indicate how the required modifications were communicated to the applicant.	<hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>	
<i>Subsequent Inspection</i>		
Street trees at above address were found to be adequately protected.	YES <input type="checkbox"/>	NO* <input type="checkbox"/>
* If NO, indicate in "Notes" below the disposition of case.		
Inspected by:		
Date of Inspection:		
Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.		
Return approved sheet to Applicant for demolition or building permit issuance.		

---WARNING---

Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

****Palo Alto Municipal Code Section 8.10.110***

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS	PLANNING DEPARTMENT
TREE PROTECTION INSPECTIONS MANDATORY	
<p>PAMC 8.10.0 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.</p>	
BUILDING PERMIT DATE: _____	
DATE OF 1 ST TREE ACTIVITY REPORT: _____	
CITY STAFF: _____	
<p>REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.</p>	

Apply Tree Protection Report on sheet(s) T-2

Use additional “T” sheets as needed

GEMINI - PALO ALTO HOUSING

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet

City of Palo Alto



T1

Tenzin Tsungmey
Gemini Development One Palo Alto LLC
1350 Bayshore Hwy Ste. 520
Burlingame, CA - 94010

Site: 2609/2611 Alma St., Palo Alto

Dear Tenzin,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. The two adjacent lots will be merged and the two single story apartment buildings will be deconstructed and replaced by four new individual units, prompting the need for this tree protection report.

Method:

Palo Alto regulates coast live oaks and valley oaks greater than 11.5 inches in diameter, and coastal redwoods greater than 18.0 inches in diameter. Palo Alto requests that all trees with a trunk diameter greater than 6 inches at standard height be included in the report including all street trees and trees on neighboring properties that might be impacted.

The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely




Robert Weatherill
Certified Arborist WE 1936A

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Maiden hair tree <i>Ginkgo biloba</i>	10.2"	18/10	50	Fair health and condition, street tree, topped, Regulated
2	Monterey pine <i>Pinus radiata</i>	9.1"	30/8	40	Poor health and condition, one sided canopy, Not Regulated
3	Monterey pine <i>Pinus radiata</i>	14.2"	50/20	55	Fair health and condition, joint owned Not Regulated
4	Chinese elm <i>Ulmus parvifolia</i>	13.7"	40/25	55	Fair health and condition, growing through fence, Not Regulated
5	Monterey pine <i>Pinus radiata</i>	16.6"	50/25	55	Fair health and condition, growing through fence, Not Regulated
6	Silk oak <i>Grevillea robusta</i>	15.7"	40/20	55	Fair health and condition, one sided canopy, Not Regulated
7	Arizona cypress <i>Cupressus arizonica</i>	18"est	20/20	50	Fair health and condition, topped by utility, neighbors Not Regulated
8	Arizona cypress <i>Cupressus arizonica</i>	10"est	20/20	50	Fair health and condition, topped by utility, neighbors Not Regulated
9	Camphor <i>Cinnamomum camphor</i>	5@2"0	20/10	40	Fair health, poor condition, basal sprouts, Not Regulated
10	Pyracantha <i>Pyracantha spp</i>	14"@1"	20/10	40	Fair health, poor condition Not Regulated
11	Chinese elm <i>Ulmus parvifolia</i>	8.0"	20/15	40	Fair health, poor condition Not Regulated
12	Tree of heaven <i>Ailanthus altissima</i>	7.1"	30/15	70	Good health and condition, invasive Not Regulated

Summary:

The trees on the site are a variety of natives and non-natives.

Tree # 1 is a street tree that is Regulated and should be protected during construction.

Tree #s 2, 4, 5, 6, 9, 10, 11 and 12 are not Regulated trees and can be removed if desired.

Tree # 3 is not a Regulated tree but because of its location on the property line it is a joint owned tree. The tree is in fair health and condition but not tolerant of construction activity. With all the surrounding trees removed, this tree will look unsightly since its growth pattern has been influenced by the surrounding trees. I recommend that this tree be removed, but because it is joint owned, the neighbor's permission is required.

Tree #s 7 and 8 are not Regulated trees but are located on the rear neighbor's property, consequently, both trees should be protected during construction.

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1½" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree # 1: TPZ should be at 8.5 feet from the trunk closing on the edge of sidewalk and road in accordance with Type II Tree Protection as outlined and illustrated in image 2.15- 3⁽⁹⁾. The improvements to the existing sidewalk within the TPZ should be done by hand. No roots greater than 2" in diameter should be cut.

Tree #s 7 and 8: TPZ should be at 15 and 8 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾ .

The patio encroaching into TPZ for Tree # 8 should be dug with hand tools within the TPZ, area shaded in blue. No roots greater than 2" in diameter should be cut.



IMAGE 2.15-1
Tree Protection Fence at the Dripline



IMAGE 2.15-2
Tree Protection Fence at the Dripline

• Type I Tree Protection
The fences shall enclose the entire area under the **canopy dripline** or **TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (see *Images 2.15-1 and 2.15-2*). **Parking Areas:** If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.



IMAGE 2.15-3
Tree Protection within a Planter Strip

• Type II Tree Protection
For trees situated within a **narrow planting strip**, only the planting strip shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use (see *Image 2.15-3*)

2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.

3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾

4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾

5. Do Not:⁽⁴⁾

- Allow run off or spillage of damaging materials into the area below any tree canopy.
- Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
- Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
- Allow fires under any adjacent trees.
- Discharge exhaust into foliage.
- Secure cable, chain or rope to trees or shrubs.
- Apply soil sterilants under pavement near existing trees.

6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.⁽⁶⁾

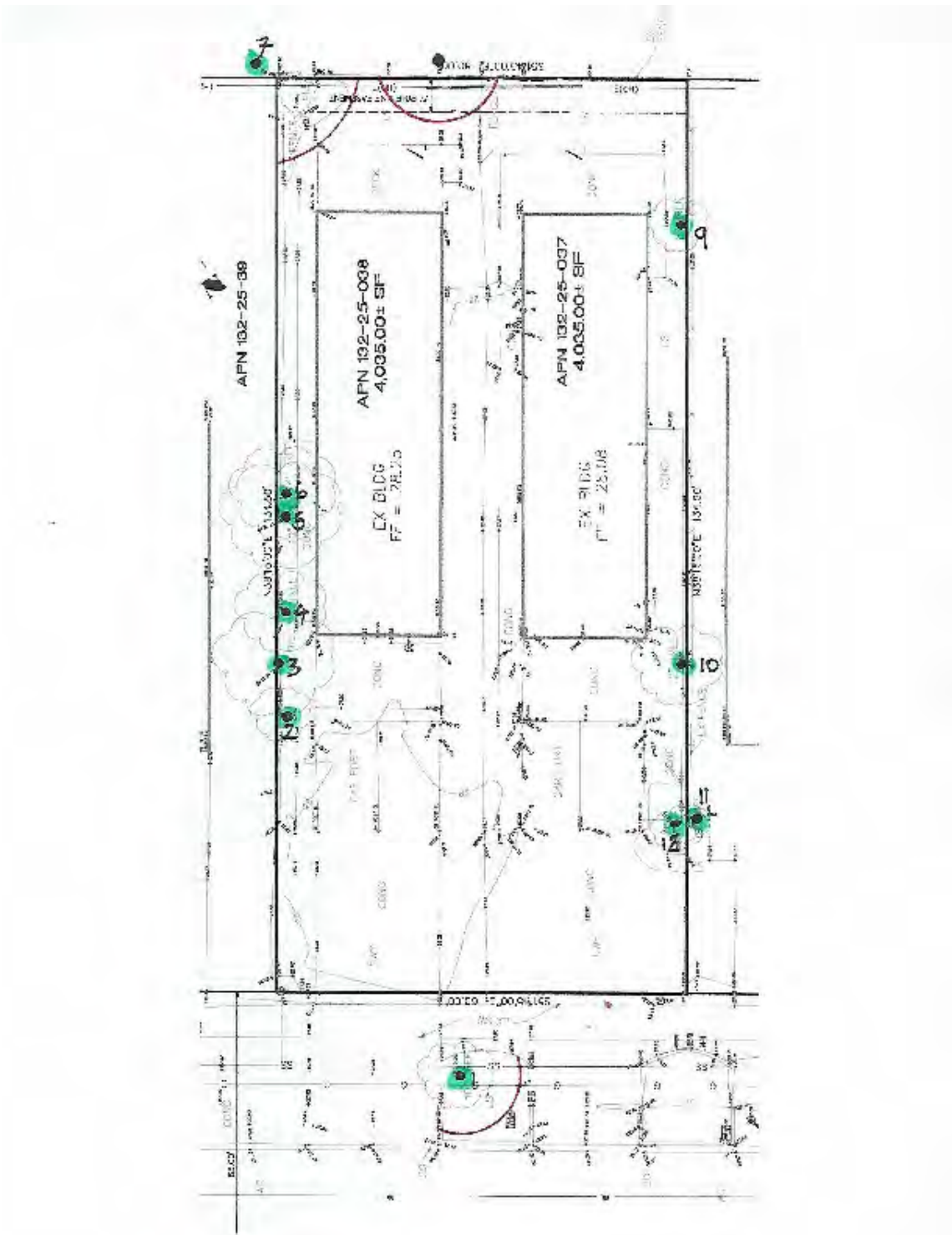
7. Route pipes into alternate locations to avoid conflict with roots.⁽⁴⁾

8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.⁽⁴⁾

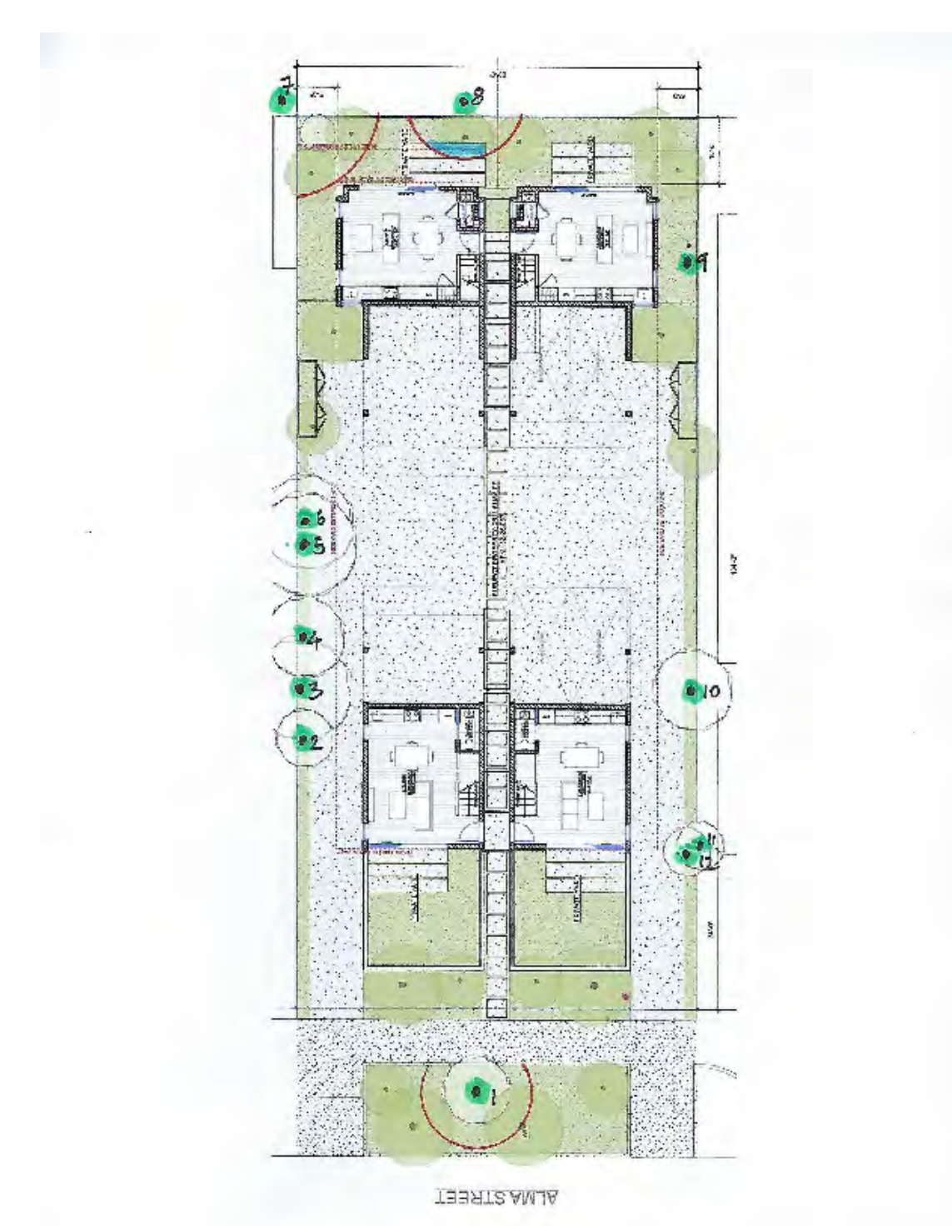
9. Compaction of the soil within the dripline shall be kept to a minimum.⁽²⁾ If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4" of wood chip overlaid with plywood.

10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.

11. Ensure upon completion of the project that the original ground level is restored



Location of existing apartments on adjacent lots, protected trees and their Tree Protection Zones



Location of proposed 4 new individual units, protected trees and their Tree Protection Zones

Glossary

Canopy	The part of the crown composed of leaves and small twigs. ⁽²⁾
Cavities	An open wound, characterized by the presence of extensive decay and resulting in a hollow. ⁽¹⁾
Decay	Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin ⁽¹⁾
Dripline	The width of the crown as measured by the lateral extent of the foliage ⁽¹⁾
Genus	A classification of plants showing similar characteristics.
Root plate	The point at which the trunk flares out at the base of the tree to become the root system.
Species	A Classification that identifies a particular plant.
Standard height	Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

(1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.

(3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

Certification of Performance⁽³⁾

I, Robert Weatherill certify:

* That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;

* That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

* That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;

* That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;

* That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

* That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 20 years.

Signed





Robert Weatherill
Certified Arborist WE 1936a
Date: 8/2/21

Terms and Conditions⁽³⁾

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care:

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.

2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.

3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.

4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.

5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.

6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.

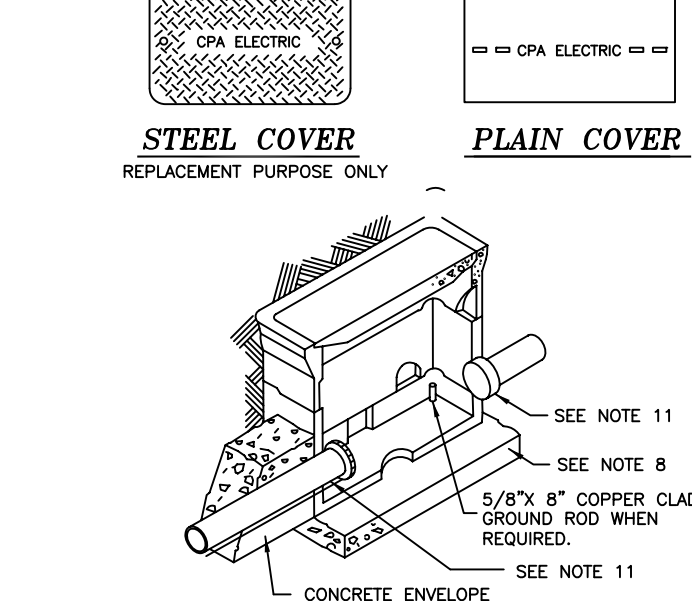
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.

8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.

9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphic material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.



TABLE 2 – COVER TYPES BY APPLICATION		
Box	Manufacturer and Catalog Number	Catalog Number
Utility Vault Company	Application/Cover Type	
444-LA-CPA	Full Traffic Transformer (1-phase) Non-Traffic, Submersible Load Break Junction Full Traffic - ONLY allowed with CPAU Approval Load Break Cabinet (60" wide) Load Break Cabinet (44" wide)	444 Roof Slab with inside-outside frame assembly and one (1) 30" manhole frame and cover Pad size as required by transformer Aluminum Adjustable Frame with torsion assist slip resistant covers (70" x 99") 644 Roof Slab with inside-outside frame assembly and one (1) 30" manhole frame and cover Load Break Pad Type 2, with A-1252 Cover (48" x 72" x 8") Load Break Pad Type 2, with A-1252 Cover (48" x 72" x 8")
644-LA-CPA	Full Traffic Non-Traffic Submersible Transformer	577 Roof Slab with inside-outside frame assembly and two (2) 30" manhole frames and covers Incidental Quick Release Slip Resistant Aluminum Plates & Adjustable Frame Assembly Precast Roof Slab - Tapered Lift Out Cover with Two (2) 30" Grated Cast Iron Covers Full Traffic Rectangular Spice Cover/Frame Assembly with Round Covers CPA Adjustable Frame with Torsion Assist Cover Assembly Incidental Quick Release Slip Resistant Aluminum Plates & Adjustable Frame Assembly
CPA-3536 CPA-3546	Full Traffic Non-Traffic / Submersible Transformer	CPA Heavy PVT Frame (5") & CPA 24"x20" Grated Cast Iron Cover Precast Roof Slab - Tapered Lift Out Cover with Three (3) 30" Grated Cast Iron Covers 711-CPA Switch Pad Roof Slab Type A Switch Type B Switch Type C 711-CPA Switch Pad Roof Slab Type B Switch Type C Precast Roof Slab - Tapered Lift Out Cover with Three (3) 30" Grated Cast Iron Covers
PGE-466	Full Traffic	Load Break Pad Type 2, with A-1252 Cover
CPA-4666	Non-Traffic Full Traffic	Incidental Quick Release Slip Resistant Aluminum Plates & Adjustable Frame Assembly Full Traffic Cover/Frame Assembly with Three (3) Round Covers Full Traffic Cover/Frame Assembly with Three (3) Round Covers Incidental Quick Release Slip Resistant Aluminum Plates & Adjustable Frame Assembly CPA Heavy PVT Frame (5") & CPA 24"x20" Grated Cast Iron Cover
38Y-510-LA-CPA	Submersible Switch Submersible Transformer	Submersible Transformer Submersible Transformer Submersible Transformer Submersible Transformer
38Y-612-LA-CPA	Switch Three Phase Transformer	Submersible Transformer Submersible Transformer Submersible Transformer Submersible Transformer



7	9-15	ADD PGE-466	JP
6	1-09	REVISED	TT
5	1-09	REVISED	TT
4	3-95	REVISED	PV/MJ
3	7-89	REVISED	DH
REV	DATE	DESCRIPTION	APPR
NTS	DT-SS-U-1002	2 OF 3	
SCALE	STANDARD NO.	SHEET NO.	

APPROVED 11/99 4
ENGR. *MOZ-Signet*
DRAWN BY *MOZ-Signet*
CHECKED BY *MOZ-Signet*

ENGINEERING STANDARD
UNDERGROUND JUNCTION BOXES

CITY OF PALO ALTO CALIFORNIA

MATERIALS:

- METER MOUNTING DEVICE WITH MAIN DISCONNECT BUILT INTO THE SAME CABINET.
- UNDERGROUND SERVICE ENTRANCE CONDUIT SHALL BE CONTINUOUS; NO BREAKS, OPENINGS, OR LB'S ARE ALLOWED. CONDUIT SHALL BE GALVANIZED RIGID STEEL OR PVC SCH 40.
- UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40, TYPE DB-120, OR HOT DIPPED GALVANIZED RIGID STEEL.
- PLASTIC TO STEEL ADAPTOR, IF PLASTIC CONDUIT IS USED FOR 3.
- MAY REDUCE TO CEC REQUIREMENTS.

NOTES:

- STEEL CONDUITS SHALL EXTEND 2" MAX. INTO BOX AND SHALL TERMINATE WITH INSULATED BUSHINGS. PLASTIC CONDUITS SHOULD BE TERMINATED WITH BELL ENDS FLUSH WITH THE WALL OF THE BOX. ALL CONDUIT ENTRANCES SHALL BE GROUTED. SEE CPA STANDARD DRAWING DT-SS-U-1002.
- IF THE GRADE OF THE TOP OF THE UTILITY SERVICE BOX IS MORE THAN ONE FOOT ABOVE THE END OF THE CONDUIT THAT TERMINATES AT THE BUILDING, BOTH ENDS OF THE SERVICE CONDUIT SHALL BE SEALED BY CUSTOMER WITH APPROVED PLUGS. SUFFICIENT MEASURES SHALL BE PROVIDED TO ENSURE WATER DOES NOT ENTER METER.
- IF THE GRADE OF THE METER IS BELOW THE GRADE OF THE UTILITY BOX, AN ADDITIONAL BOX MUST BE PLACED IN THE GROUND JUST BEFORE THE METER. FOR DETAILS PLEASE CONTACT ELECTRIC ENGINEERING
- CPAU INSPECTOR MUST BE PRESENT WHEN INSTALLING CONDUIT OR PULLING CABLES INTO CPAU BOX.
- A SPLICE BOX MAY BE REQUIRED IF ALLOWABLE CABLE PULLING TENSION WILL BE EXCEEDED.
- EXISTING 1/2" OR 2" CONDUIT MAY BE ALLOWED FOR PANEL UPGRADES IN THE SAME LOCATION IF THEY MEET AMPACITY AND CONDUIT FILL REQUIREMENTS, AND IS APPROVED BY CPAU ENGINEERING.

SERVICE LATERAL CONDUIT AND CABLE SIZE

Service Voltage (Volts)	Main Service (Amps)	Customer's Minimum Conduit Size	CPAU Approved Conductor Size
120/240 1-phase 3 wire	125	2"	1/0 2
120/208 1-phase 3 wire	200	3"	4/0 2/0
120/208 1-phase 3 wire	400*	4"	350 4/0

* CLASS 320 (UNDERGROUND RESIDENTIAL ONLY)
* CONDUCTOR SIZE IS PER PHASE AND A FULL SIZE NEUTRAL IS REQUIRED.

APPROVED 11/2006
ENGR. *MOZ-Signet*
DRAWN BY *MOZ-Signet*
CHECKED BY *MOZ-Signet*

ENGINEERING STANDARD
RESIDENTIAL UNDERGROUND SERVICE REQUIREMENTS

CITY OF PALO ALTO CALIFORNIA

NOTES:

- UNUSUAL FIELD CONDITIONS MAY DICTATE BOX DIMENSIONS FOR DESIGNS DIFFERENT FROM THOSE SPECIFIED IN THIS DRAWING. THE DETAILS FOR INSTALLATIONS VARYING FROM THESE SPECIFICATIONS WILL BE FURNISHED BY ELECTRIC UTILITY.
- ALL BOXES SHALL BE COMPLETE WITH BODY, COVER, SOLID BASE, AND NECESSARY EXTENSIONS. A SOLID, CONCRETE FLOOR IS REQUIRED FOR ALL BOXES.
- ALL NON-CONCRETE ENCLOSURES (BODY, BASE, COVER, AND EXTENSIONS WHERE REQUIRED) SHALL MEET TIER 15 REQUIREMENTS AS SPECIFIED IN SCTE 77 2007 (OR LATEST VERSION) AND PER CPAU SPECIFICATION SS-01-09 – SPECIFICATION FOR NON-CONCRETE ENCLOSURES.
- THE NUMBER OF EXTENSIONS REQUIRED IS DEPENDENT ON THE DEPTH OF THE CONDUIT. THE CONDUIT SHALL ENTER STRAIGHT INTO THE BOX, PARALLEL WITH THE COVER, I.E. WITH NO VERTICAL BENDS OR SWEEPS.
- ALL NON-ROUND COVERS ON ALL BOXES MUST BE SECURED BY RECESSED HOLD-DOWN BOLTS.
- ALL BOXES SHALL HAVE COVERS APPROVED BY CPAU AND HAVE A NON-SLIP SURFACE.
- THE WORDS "CPA ELECTRIC", "CPA SL", "CPA TS", OR "CPA COMM" SHALL BE CAST OR INSCRIBED IN THE SURFACE OF ALL COVERS, 30"x48" AND SMALLER DEPENDING ON APPLICATION. LARGER BOXES SHALL HAVE "CPA-HIGH VOLTAGE" INSCRIBED ON THE FRAME.
- BOXES LARGER THAN 30"x48" SHALL HAVE PROVISIONS FOR ATTACHING A METAL PLATE INDICATING THE VAULT NUMBER (I.E. LOCATION NUMBER), ALONG WITH THE CORRESPONDING NUMBER PLATE. CONTACT THE UTILITY ENGINEER FOR THE NUMBER BEFORE ORDERING THE BOX.
- THE BASE OF EACH BOX SHALL BE PLACED ON A MINIMUM 6" BEDDING OF 3/4" DRAIN ROCK ON UNDISTURBED OR 95% COMPACTED EARTH. THE BOXES SHALL BE INSTALLED SO THE COVERS ARE LEVEL WITH THE ADJACENT CURB, DRIVEWAY, OR SIDEWALK GRADE.
- FOR 30"x48" OR SMALLER BOXES, AN ALLOWANCE SHALL BE MADE FOR THE THICKNESS OF THE COVER TO ENSURE THE COVER IS FLUSH WITH THE FINISH GRADE. WHEN NO FINISH GRADE IS ESTABLISHED, BOX COVERS SHALL BE 2" ABOVE THE ADJACENT TERRAIN.
- IT IS INTENDED THAT CONDUITS SHALL ENTER CONCRETE BOXES THROUGH THE KNOCKOUTS PROVIDED. BOX WALL MAY BE CUT OR CORE DRILLED AT OTHER LOCATIONS TO PROVIDE CONDUIT ENTRY WITH APPROVAL OF THE CPAU UNDERGROUND INSPECTOR.
- STEEL CONDUITS SHALL EXTEND NO MORE THAN 2" INTO A BOX AND SHALL BE TERMINATED WITH GROUNDING BUSHINGS. PLASTIC CONDUITS SHALL BE TERMINATED WITH BELL ENDS, FLUSH WITH THE WALL OF THE BOX. BELL ENDS MAY NOT PROJECT INTO THE BOX. ALL CONDUIT ENTRANCES SHALL BE GROUTED.
- BOXES USED IN HEAVY TRAFFIC AREAS SHALL BE DESIGNED FOR H-20-44 TRAFFIC LOADING.
- BOXES 3'X5' OR LARGER SUBJECT TO MOTOR VEHICLE TRAFFIC, BACKFILL WITH A 6" MINIMUM WIDTH OF TWO SACK SLOTTED, OTHERWISE BACKFILL WITH 12" MINIMUM WIDTH OF 1/2" BASE ROCK AT 95% COMPACTION.
- BOXES 3'X5' OR LARGER REQUIRE A 12" X 12" CONCRETE COLLAR WITH REBAR AROUND THE FRAME AND VAULT. CONCRETE SHALL BE CLASS 2 CONTAINING SIX (6) BAGS OF CEMENT PER CUBIC YARD AND SHALL PROVIDE A MINIMUM COMPREHENSIVE STRENGTH OF 3500 POUNDS PER SQUARE INCH AT 28 DAYS (MUST MEET CITY OF PALO ALTO SIDEWALK REQUIREMENTS, SECTION 16). TWO PINTS OF LAMPBLACK PER CUBIC YARD OF CONCRETE IS REQUIRED. (SEE DRAWING# DT-SS-U-1038 FOR DETAILS)
- STEEL TRAFFIC LIDS ARE FOR REPLACEMENT PURPOSES ONLY.
- ALL BOXES LISTED IN TABLE 1 SHALL BE SIZED FOR THE LARGEST CONDUCTOR THEY ARE EXPECTED TO CONTAIN.
- FOR BOX INSTALLATION AT THE BASE OF A POLE RISER, SEE CPAU DWG'S DT-SS-U-1001 AND DT-SS-U-1001A.

APPROVED 11/99 4
ENGR. *MOZ-Signet*
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CHECKED BY *MOZ-Signet*

ENGINEERING STANDARD
UNDERGROUND JUNCTION BOXES

CITY OF PALO ALTO CALIFORNIA

NOTES:

- THE CABINET SHOULD BE DESIGNED SO THAT NEITHER THE ROOF NOR THE DOOR SUPPORTS INTERFERE WITH THE INSTALLATION OF THE METER.
- AT LEAST 16" VERTICAL AND HORIZONTAL CLEAR SPACE SHALL BE PROVIDED DIRECTLY IN FRONT OF THE SOCKET (8" ABOVE AND BELOW, AND 8" ON EITHER SIDE OF THE METER SOCKET).
- THE CABINET DOORS SHALL HAVE SIDE HINGES, WILL OPEN GREATER THAN 90 DEGREES, AND WILL HAVE A LATCH TO KEEP IT IN THE OPEN POSITION.
- METER CABINET ENCLOSURES INSTALLED IN LOCATIONS SUSCEPTIBLE TO VEHICULAR DAMAGE MUST COMPLY WITH THE REQUIREMENTS OF CPAU STD DWG SR-MT-E-1035.

NOTE: DIMENSION "A" APPLIES ONLY TO THAT PORTION OF THE CABINET ENCLOSING DOOR IN FRONT OF THE METER.

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ENGINEERING STANDARD
CLEARANCE FOR METER CABINET ENCLOSURES

CITY OF PALO ALTO CALIFORNIA

PURPOSE: THIS DRAWING PROVIDES INFORMATION ON THE INSTALLATION REQUIREMENTS, BOX TYPES, AND BOX SIZES ALLOWED FOR UNDERGROUND ELECTRIC UTILITY APPLICATION.

Box Manufacturer and Catalog Number	Inside Dimensions (Inches)	Length (A)	Width (B)	Depth (C)	Height (D)	Voltage	Maximum Wire Size (AWG or kcmil)	Maximum # of Spliced or Lapped Cables in Box	Maximum Conduit Size (Inches)	Maximum # of Conductors	Application
Quazite Corporation	N-9	17	10	12	10	Secondary	#2	8	2	4	Traffic Signs, Street Light, or Communications ONLY
PG1118	N-9	24	13	18	8	Secondary	#2	12	2	3	Pull box for secondary cables
PG1324	N-30	30	17	18	8	Secondary	4/0	12	2	3	Pull box for secondary cables
PG1730	N-36	36	24	30	8	Secondary	350	16 (2)	4	4	Pull box for secondary cables
PG2436	N-48	48	30	36	8	Secondary	750	24 (2)	4	6	Pull box for secondary cables
PG3048	N-48	48	30	36	8	Secondary	750	24 (2)	4	6	Pull box for secondary cables
444-LA-CPA	CPA-3536	60	36	42	6, 12	Secondary	750	24 (2)	4	6	Pull box for secondary cables
CPA-3546	CPA-3546	60	36	54	6, 12	Primary	350	12 (2)	4	4	Pull box for secondary cables
644-LA-CPA	PGE-466	68	42	39	Secondary	750	32 (2)	4	8	8	200 A primary cables, single phase only Under single phase transformer pads
CPA-4666	CPA-4666	78	48	60	Secondary	750	32 (4)	4	12	12	200 A primary cables, single phase only Under single phase transformer pads
38Y-510-LA-CPA	38Y-510-LA-CPA	120	60	84	Secondary	750	32	4	16	16	200 A primary cables, single phase only Under single phase transformer pads
38Y-612-LA-CPA	38Y-612-LA-CPA	144	72	84	Secondary	750	32	4	16	16	200 A primary cables, single phase only Under single phase transformer pads

LEGEND:
 ■ For Traffic Signal, Streetlight, or Communications ONLY
 ▲ For Use in Substations ONLY
 ♦ No more than 4-sets of maximum size (set = 4 conductors)
 ◆ No more than 5-sets of maximum size (set = 4 conductors)
 (1) No more than 1-set of maximum size (set = 4 conductors)
 (2) No more than 2-sets of maximum size (set = 4 conductors)
 (3) No more than 3-sets of maximum size (set = 4 conductors)
 (4) No more than 4-sets of maximum size (set = 4 conductors)

APPROVED 11/99 4
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ENGINEERING STANDARD
UNDERGROUND JUNCTION BOXES

CITY OF PALO ALTO CALIFORNIA

NOTES:

- NO OBSTRUCTIONS ARE PERMITTED WITHIN THE AREA AROUND THE METER. SEE DWG SR-MT-E-1012 FOR DETAILS.
- MAINTAIN A 30" WIDE X 36" DEEP CLEAR AND LEVEL WORKING SPACE IN FRONT OF THE ELECTRIC METER.
- THE WEATHERHEAD SHALL BE LOCATED NO MORE THAN 24" FROM THE SERVICE ATTACHMENT POINT AND BETWEEN 18" AND 48" ABOVE THE ROOF. 24" TO 30" IS RECOMMENDED. IF THE PERISCOPE EXTENDS MORE THAN 30" ABOVE THE ROOF IT SHALL BE BRACED AGAINST THE SERVICE CONDUCTOR PULL.
- THE POINT OF ATTACHMENT MAY BE EITHER ON THE BUILDING WALL NEAR THE UTILITY LINE OR ON A PERISCOPE FIXED TO THE BUILDING'S ROOF NOT MORE THAN 18 INCHES BACK OF THE ROOFLINE.
- THE POINT OF ATTACHMENT SHALL BE BETWEEN 12 AND 18 FEET ABOVE GRADE AND SAFELY ACCESSIBLE BY LADDER. WORKING SPACE FOR A LADDER EQUAL TO A DEPTH OF 1/4 THE HEIGHT OF THE LADDER TOP SUPPORT IS REQUIRED.
- BRACING SHALL BE TWO GALVANIZED STEEL BRACES (3/4" RIGID STEEL PIPE OR 1-1/4" X 1-1/4" X 1/8" STEEL ANGLE IRON MINIMUM) SECURELY BOLTED OR LAGGED TO THE FRAMEWORK WITH 3/8" X 3" LAG SCREWS WITH A 90° SPRING AND SECURED TO THE PERISCOPE NO MORE THAN 6" BELOW THE SERVICE POINT OF ATTACHMENT.
- ROOF CLEARANCES FOR THE SERVICE DROP MUST MEET THE REQUIREMENTS OF CEC ARTICLE 230.24.
- ONLY ELECTRICAL FACILITIES MAY BE ATTACHED TO THE ELECTRICAL WEATHERHEAD.
- ONLY THREADED PIPE COUPLINGS ARE ALLOWED (NO COMPRESSION COUPLINGS) AND BRACING IS REQUIRED BOTH ABOVE AND BELOW THE COUPLING.
- METER SOCKET CLEARANCE FROM THE GROUND SHALL BE MEASURED FROM THE FINAL GRADE.
- WHERE LOAD REQUIRES HEAVY SERVICE DROP CONDUCTORS, THE SERVICE DROP WILL BE 3 SINGLE CONDUCTORS INSTEAD OF CABLE AND 3 EYEOLTS OR INSULATED CLEAVES WILL BE REQUIRED.
- METER MOUNTING DEVICE SHALL HAVE A MAIN DISCONNECT IN THE SAME CABINET.
- FOR MORE DETAILED INFORMATION CONSULT CPA ELECTRIC SERVICE REQUIREMENTS MANUAL.
- UNLESS OTHERWISE NOTED, ALL SERVICE FACILITIES ARE THE RESPONSIBILITY OF THE CUSTOMER.
- SERVICE ENTRANCE CONDUIT AND CABLE MUST MEET CEC REQUIREMENTS.
- PER CEC ARTICLE 404.8(A) THE HIGHEST POINT OF THE BREAKER HANDLE CANNOT BE MORE THAN 79" ABOVE GRADE/FLOOR.
- SEE CPAU ENG STD DWG SR-MT-3-1035 FOR METER DETAILS ON METER INSTALLATIONS IN DRIVEWAYS.

RECOMMENDED SERVICE ENTRANCE CONDUCTOR

Service Voltage (Volts)	Main Service (Amps)	Customer's Minimum Conduit Size	Recommended Conductor Size
120/240 1-phase 3 wire	100/125	1 1/2" - 2"	1/0 2
120/208 1-phase 3 wire	200	2"	4/0 2/0
120/208 1-phase 3 wire	400 *	4"	750 500
120/208 1-phase 3 wire	200	2"	4/0 2/0

* Note: Class 320 (Residential only)

APPROVED 12/2006
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CHECKED BY *MOZ-Signet*

ENGINEERING STANDARD
TYPICAL OVERHEAD SERVICE INSTALLATION

CITY OF PALO ALTO CALIFORNIA

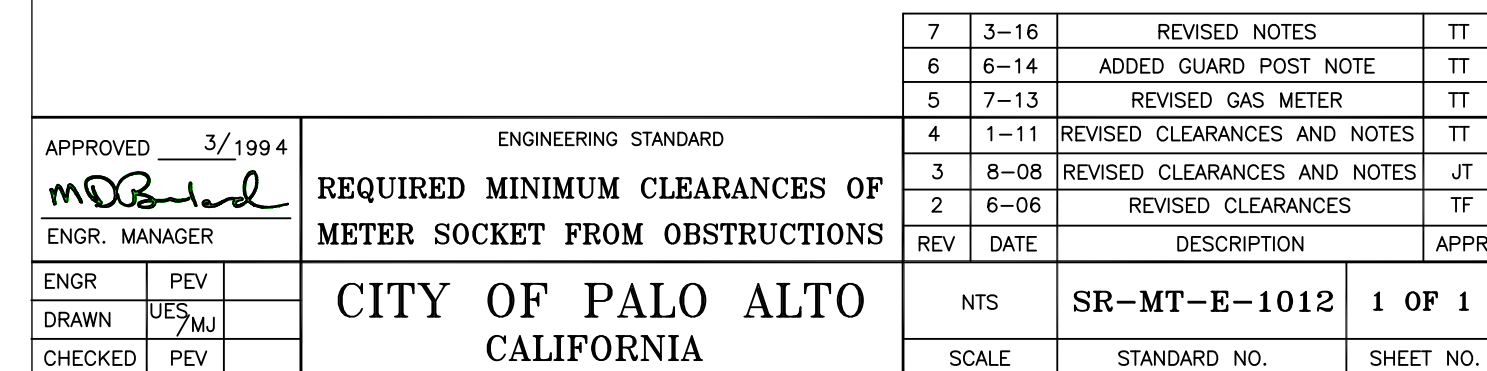
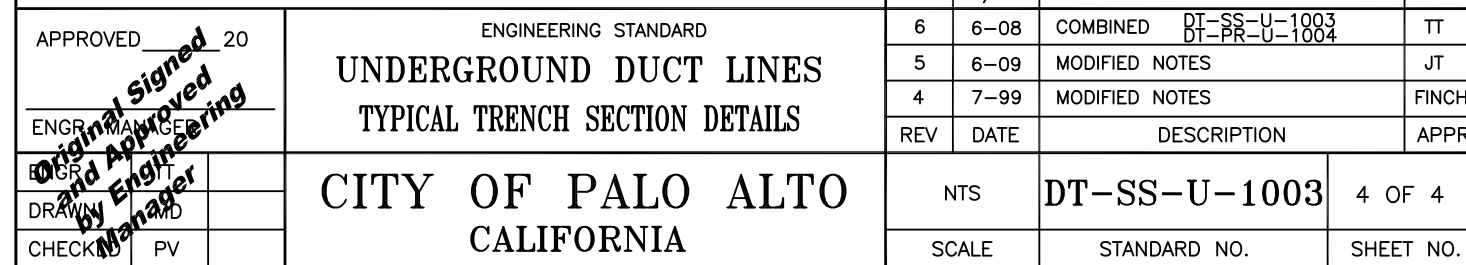
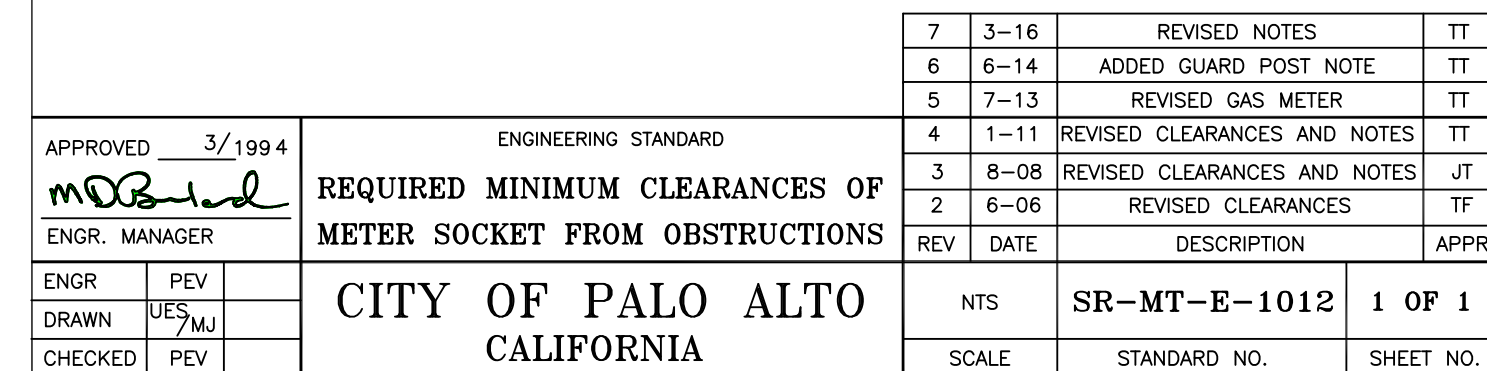
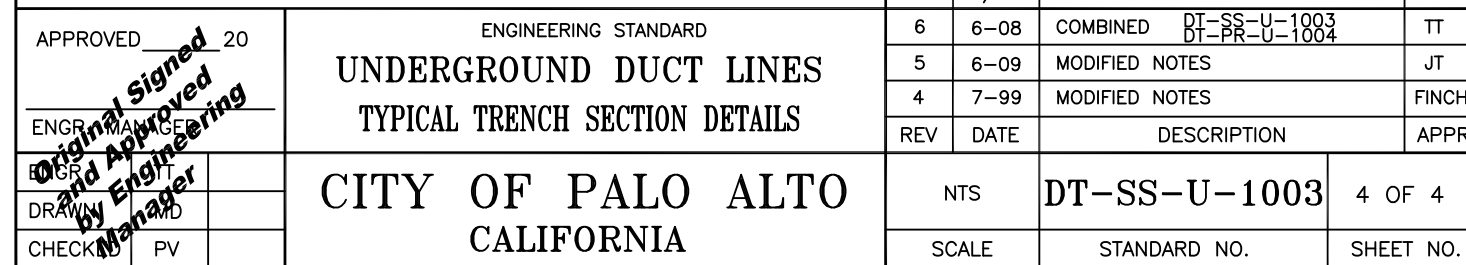
DEPARTMENT STAMPS:



GEMINI - PALO ALTO HOUSING

date	Issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
08.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm

CPAU STANDARDS
CPAU-1



					Compliance Path Verification						
					Plan Check	Rough GB Inspection I/R # 152	Final Inspection I/R # 153				
							Part 1	Part 1	Part 2	Part 2	
					CORR	INITIAL	CORR	INITIAL	CORR	INITIAL	
4.1 Planning and Design											
Mandatory	Mandatory				Storm water drainage and retention during construction (less than one acre)	4.106.2	X				
	Tier 2 Mand.				Topsoil protection - Tier 2 requirements	PAMC 16.14.070/ A4.106.2.3	X				
	Mandatory				Grading and paving	4.106.3	X				
	Tier 2 Mand.				Water permeable surfaces for 30% - Tier 2 requirements	A4.106.4	X				
	Tier 2 Mand.				Cool roof for reduction of heat island effect -Tier 2 requirements	PAMC 16.14.070/ A4.106.5	X				
	Tier 2 Mand.				Electric vehicle (EV) charging for residential structures (Locally amended)	PAMC 16.14.420/ A4.106.8	X				
	Mandatory				EV Charging: New single family residences	PAMC 16.14.420/ A4.106.8.1	X				
	Mandatory				EV Charging: New multi-family residential structures	PAMC 16.14.420/ A4.106.8.2	X				
	Mandatory				EV Charging: New Hotels	PAMC 16.14.420/ A4.106.8.3	X				
	Mandatory				Bicycle Parking [MF] (locally amended)When an addition or change of use results in increased parking	PAMC 18.54.060/ A4.106.9	X				
Electives (choose 4)	Elective				Site selection	A4.103.1	X				
	Elective				Community connectivity	A4.103.2	X				
	Elective				Supervision and education by a Special Inspector (Locally amended)	PAMC 16.14.090/ A4.104.1	X				
	Elective				Deconstruction (Locally amended; Mandatory on or after July 1, 2020)	PAMC 16.14.130/ A4.105.1	X				
	Elective				Reuse of existing materials (Locally amended)	PAMC 16.14.130/ A4.105.2	X				
	Elective				Soil analysis	A4.106.2.1	X				
	Elective				Soil protection	A4.106.2.2	X				
	Elective				Landscape design	A4.106.3	X				
	Elective				Vegetated roof	A4.106.6	X				
	Elective				Reduction of heat island effect for nonroof areas	A4.106.7	X				
Elective				Light pollution reduction (Locally amended)	PAMC 16.14.170/ A4.106.10	X					
Elective				Innovative concepts and local environmental conditions	A4.108.1	X					
PAMC 16.17 Energy Reach Code											
Mandatory	Effective April 1, 2020: All-Electric Design with performance approach specified within the 2019 California Energy Code shall be used to demonstrate the energy budget calculated for the proposed design building is no greater than the energy budget calculated for the Standard Design Building. Exception: Detached newly constructed Accessory Dwelling Units, ADU's				PAMC 16.17.110/ 2016 Title 24, Part 6	X					
4.3 Water Efficiency and Conservation											
Mandatory	Mandatory				Indoor Water Use: Water closets (1.28 gpf)	4.303.1.1	X				
	Mandatory				Indoor Water Use: Urinals (Wall Mounted) 0.125 gpf, all others 0.5 gpf)	4.303.1.2	X				
	Mandatory				Indoor Water Use: Single showerhead (1.8 gpm at 80 psi)	4.303.1.3.1	X				
	Mandatory				Indoor Water Use: Multiple showerheads serving one shower (1.8 gpm at 80 psi)	4.303.1.3.2	X				
	Mandatory				Indoor Water Use: Residential lavatory faucets (1.2 gpm at 60 psi)	4.303.1.4.1	X				
	Mandatory				Indoor Water Use: (MF) Lavatory faucets in common and public use areas (0.5 gpm at 60 psi)	4.303.1.4.2	X				
	Mandatory				Indoor Water Use: Metering faucets (0.2 gallons per cycle)	4.303.1.4.3	X				
	Mandatory				Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi)	4.303.1.4.4	X				
	Mandatory				Indoor Water Use: Standards for plumbing fixtures and fittings (Meet 2019 Plumbing Code)	4.303.2	X				
	Mandatory				Outdoor potable water use in landscape areas (MWELC)	4.304.1	X				
Electives (choose 3)	Mandatory				Recycled water supply systems [N]	4.304.1	X				
	Tier 2 Mand.				Recycled water for landscape irrigation (MF only)[AA] (when landscape >1,000 sq. ft)	PAMC 16.14.230/ A4.305.3	X				
	Elective				Kitchen faucets (1.5 gpm at 60 psi)	A4.303.1	X				
	Elective				Alternate water sources for nonpotable applications	A4.303.2	X				
	Elective				Appliances	A4.303.3	X				
	Elective				Nonwater supplied urinals and waterless toilets	A4.303.4	X				
	Elective				Hot water recirculation systems	A4.303.5	X				
	Elective				Rainwater catchment systems	A4.304.1	X				
	Elective				Potable water elimination	A4.304.2	X				
	Elective				Irrigation metering device (locally amended)	PAMC 16.14.220/ A4.304.3	X				
Elective (choose 4)	Elective				Graywater (Locally amended; Whole house graywater system counts as 3 electives)	PAMC 16.14.230/ A4.305.1	X				
	Elective				Recycled water piping (Locally amended)	PAMC 16.14.230/ A4.305.2	X				
	Elective				Recycled water for landscape irrigation (Locally amended)	PAMC 16.14.230/ A4.305.3	X				
	Elective				Innovative concepts and local environmental conditions	A4.306.1	X				
	4.4 Material Conservation and Resource Efficiency										
	Mandatory	Tier 2 Mand.				Recycled content - 15% - Tier 2 requirements	PAMC 16.1				
		Mandatory				Rodent proofing fill annular spaces around pipes, cables, conduits or other openings to protect against rodents					
		Mandatory				Enhanced construction waste reduction (80% Diversion w/ job valuation >\$25,000 or meet state standards of 65%)	PAMC 1				
Mandatory				Construction waste management plan in Green Halo							
Mandatory				Waste management company							
Mandatory				Operation and maintenance manual provided to the building owner							
Mandatory				Recycling by occupants (≥ 5 multi-family units)							
Elective				Reduction in cement use - 25%	PAMC 16						
Elective				Efficient framing techniques - Lumber size							
Elective				Efficient framing techniques - Dimensions and layouts	A4.404.2	X					
Electives (choose 4)	Elective				Efficient framing techniques - Building systems	A4.404.3	X				
	Elective				Efficient framing techniques - Pre-cut materials and details	A4.404.4	X				
	Elective				Prefinished building materials	A4.405.1	X				
	Elective				Concrete floors	A4.405.2	X				
	Elective				Use of building materials from rapidly renewable sources	A4.405.4	X				
	Elective				Drainage around foundations	A4.407.1	X				
	Elective				Roof drainage	A4.407.2	X				
	Elective				Flashing details	A4.407.3	X				
	Elective				Material protection	A4.407.4	X				
	Elective				Door protection	A4.407.6	X				
Electives (choose 4)	Elective				Roof overhangs	A4.407.7	X				
	Elective				Innovative concepts and local environmental conditions	A4.411.1	X				

					Compliance Path Verification								
					Plan Check		Rough GB Inspection I/R # 152		Final Inspection I/R # 153				
					CORR	INITIAL	CORR	INITIAL	Part 1	Part 1	Part 2	Part 2	
					CORR	INITIAL	CORR	INITIAL	CORR	INITIAL	CORR	INITIAL	
4.5 Environmental Quality					Code Section	Y	Plan Sheet, Spec or Attachment Reference						
Mandatory	Mandatory	Fireplaces shall be direct-vent sealed combustion type (all-electric on or after April 1, 2020)	4.503.1	X									
		Covering of duct openings, protection of mechanical equipment during construction	4.504.1	X									
	Mandatory	Adhesives, sealants and caulks - Table 4.504.1 and 4.504.2 for VOC limits	4.504.2.1	X									
	Mandatory	Paints and coatings - Table 4.504.3 for VOC limits	4.504.2.2	X									
	Mandatory	Aerosol paints and coatings	4.504.2.3	X									
	Mandatory	Verification - documentation to verify complaint VOC limit on finish materials	4.504.2.4	X									
	Mandatory	Carpet systems compliant with VOC limits	4.504.3	X									
	Mandatory	Carpet cushion	4.504.3.1	X									
	Mandatory	Carpet systems: Carpet adhesive - Table 4.504.1 for VOC limits	4.504.3.2	X									
	Tier 2 Mand.	Resilient flooring systems for 100% - Tier 2 requirements	PAMC 16.14.070/ A4.504.2	X									
Elective (1)	Mandatory	Composite wood products	4.504.5	X									
	Mandatory	Concrete slab foundations - vapor retarder required	4.505.2	X									
	Mandatory	Capillary break for slab-on-grade foundations	4.505.2.1	X									
	Mandatory	Moisture content of building materials ≤ 19% for wall and floor framing	4.505.3	X									
	Mandatory	Bathroom exhaust fans (when required) shall be provided with the following:	4.506.1	X									
		1. ENERGY STAR fans ducted to outside of building.		X									
		2. Humidity controlled OR functioning as a component of a whole-house ventilation system		X									
	Mandatory	3. Humidity controls with manual or automatic means of adjustment for relative humidity range of ≤ 50% to 80% max		X									
		Heating and air conditioning system design	4.507.2	X									
	Mandatory	Indoor Air Quality Management Plan	PAMC 16.14.410	X									
Elective (1)	Elective	Compliance with formaldehyde limits	PAMC 16.14.250/ A4.504.1	X									
	Elective	Thermal insulation	PAMC 16.14.270/ A4.504.5	X									
	Elective	Construction filters [HR]	A4.506.2	X									
	Elective	Direct-vent appliances	A4.506.3	X									
Elective (1)	Elective	Innovative concepts and local environmental conditions.	A4.509.1	X									

Legend:

Y - Yes; the measure is in the scope of work
N - No; the measure is not in the scope of work
PAMC - Palo Alto Municipal Code; locally amended
[N] - New Construction
[MF] - Multi-family dwellings
[AA] - Additions and alterations
[HR] - High-rise building

ADU Exception:

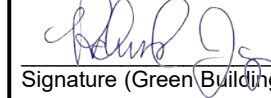
Free standing detached Accessory Dwelling Units of new construction shall meet the following:
1. California Green Building Standards Code Mandatory plus Tier 2 prerequisite requirements.
2. No Planning and Design electives.
3. Two (2) Water Efficiency and Conservation electives.
4. Two (2) Material Conservation and Resource Efficiency electives.
5. One (1) Environmental Quality elective.

The [Green Building Survey](#) is a required project submittal. The survey can be found at the following [link](#). The online survey shall be completed and a Green Building Survey Report will be sent in an email. Include a copy of the survey report on a separate page in this plan set. Please indicate the reference page here _____.

Special Inspector Acknowledgement

The project will be verified by a
RESIDENTIAL GREEN BUILDING SPECIAL INSPECTOR

I have reviewed the project plans and specifications, and they are in conformance with the CALGreen mandatory and elective measures claimed. I have reviewed and understand the after-construction requirements below.


Signature (Green Building Special Inspector)

Richard Yang
Print Name

richard@jbrycilc.com
Phone or Email

6/7/2021
Date

Certified Energy Analyst Acknowledgement

The project will be verified by a
CERTIFIED ENERGY ANALYST

**REQUIREMENT EFFECTIVE
ON APRIL 1, 2020**

The Certificate of Compliance shall be prepared and signed by a Certified Energy Analyst and the energy budget for the Proposed Design shall be no greater than the Standard Design Building.

I am a Certified Energy Analyst with the California Association of Building Energy Consultants as of the date of submission of a Certificate of Compliance as required under Section 10-103 of the Building Energy Efficiency Standards for Residential and Non-Residential Buildings.


Signature (Certified Energy Analyst)

Samantha Cobb
Print Name

samantha@wadeenergy.com
Phone or Email

03/14/2022
Date

SECTION TO BE COMPLETED AFTER CONSTRUCTION

After construction is complete submit the following at the City Development Center to schedule your final inspection:

- ☐ Construction debris receipts from an approved facility using Green Halo.
☐ If HERS testing was required per the homes energy report, attach the completed forms.
☐ If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Types) rerun the report and attach it.


I certify that:

-

PLANT_LEGEND

TREES	SIZE	QTY	WATER USE	SPECIES
Arbutus 'Marina' Strawberry Tree	24"box	4	Low	Native
Eriobotrya japonica Loquat	24"box	1	Low	Non Native
Pistacia chinensis Chinese Pistache	24"box	2	Low	Non Native
Podocarpus gracilior Fern Pine	24"box	4	Low	Non Native
SHRUBS	SIZE	QTY		
Achillea millefolium 'Paprika' Red Yarrow	1 gal	10	Low	Native
Buxus microphylla japonica 'Green Beauty' Boxwood 'G.B'	1 gal	8	Low	Non- Native
Deschampsia cespitosa Tussock Grass	5 gal	6	Low	Native
Rhamnus californica 'Eve Case' Dwarf Cali. Coffeeberry	5 gal.	8	Low	Native
GROUND COVERS	SIZE	QTY		
Arctostaphylos uva-ursi Kinnikinnick	1 gal.	10	Low	Native

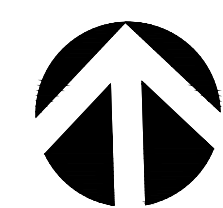
LIGHTING_SCHEDULE

<u>SYMBOL</u>	<u>MODEL/DESCRIPTION</u>	<u>QTY</u>
	FX Luminaire CA - 3LED Path Light	10

1. The contractor shall locate and verify the existence of all utilities prior to starting work.
2. The plant material locations are diagrammatic and subject to change in the field as directed by the Landscape Architect.
3. All plant material shall conform to the guidelines established by the current American Standard of Nursery Stock, published by The American Association of Nurserymen.
4. The plant count is for contractor's convenience. In case of discrepancy, the plan shall govern.
5. All trees to be staked plumb unless otherwise noted.
6. The landscape contractor shall guarantee all trees for a period of one year and all shrubs for a period of six months. Protect existing trees and shrubs as necessary.
7. All planted areas and plant pits shall be free from rocks and debris greater than 2" in diameter.
8. Apply a 3" Layer of BROWN Pro-Chip recycled wood mulch over all planted areas. Verify mulch distributor sources w/landscape architect if necessary.
9. Trees shall be standard single trunk, not multi-trunked, and a minimum size of **24" Box**.

- 1.) Tree planting- prior to in-ground installation, urban Forestry inspection/approval required for tree stock.Planting conditions and irrigation adequacy. Contact (650) 496-5953
- 2.) Planting preparation- tree pit shall be dug at least twice the Diameter of the root ball. Dig soil to at least 30-inches deep, Backfilled with a quality topsoil, and dressing w/ 2-inches of Wood or bark mulch on top of the rootball keeping clear of The trunk by 1-inch.
- 3.) Irrigation and tree planting in the right of way requires a street Work permit per cpa public works standards
- 4.) All tree protection and inspection schedule measures, design recommendations, watering and construction scheduling shall be implemented in full by owner and contractor, as stated on sheet T-1, in the tree protection report, and the Approved plans.
- 5.) Utility trenching shall not occur within the tpz of protected trees. Contractor shall be responsible for ensuring that no trenching occurs within the tpz of the protected trees by contractors, city crews or final landscape workers.
- 6.) Pruning restrictions - no pruning or clearance cutting of branches is permitted
On city trees. Contractor shall obtain a public tree permit from urban forestry (650-496-5953) for any work on public trees.

Karl J. Hülke



SCALE 1/8" = 1'-0"

0 8 16 24 32

A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas.

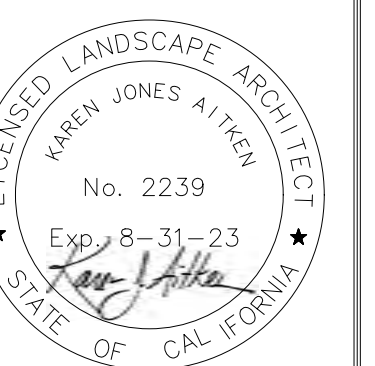
Refer to L-3 for Planting Details

REVISIONS	BY

ATIKEN ASSOCIATES
LANDSCAPE ARCHITECTS

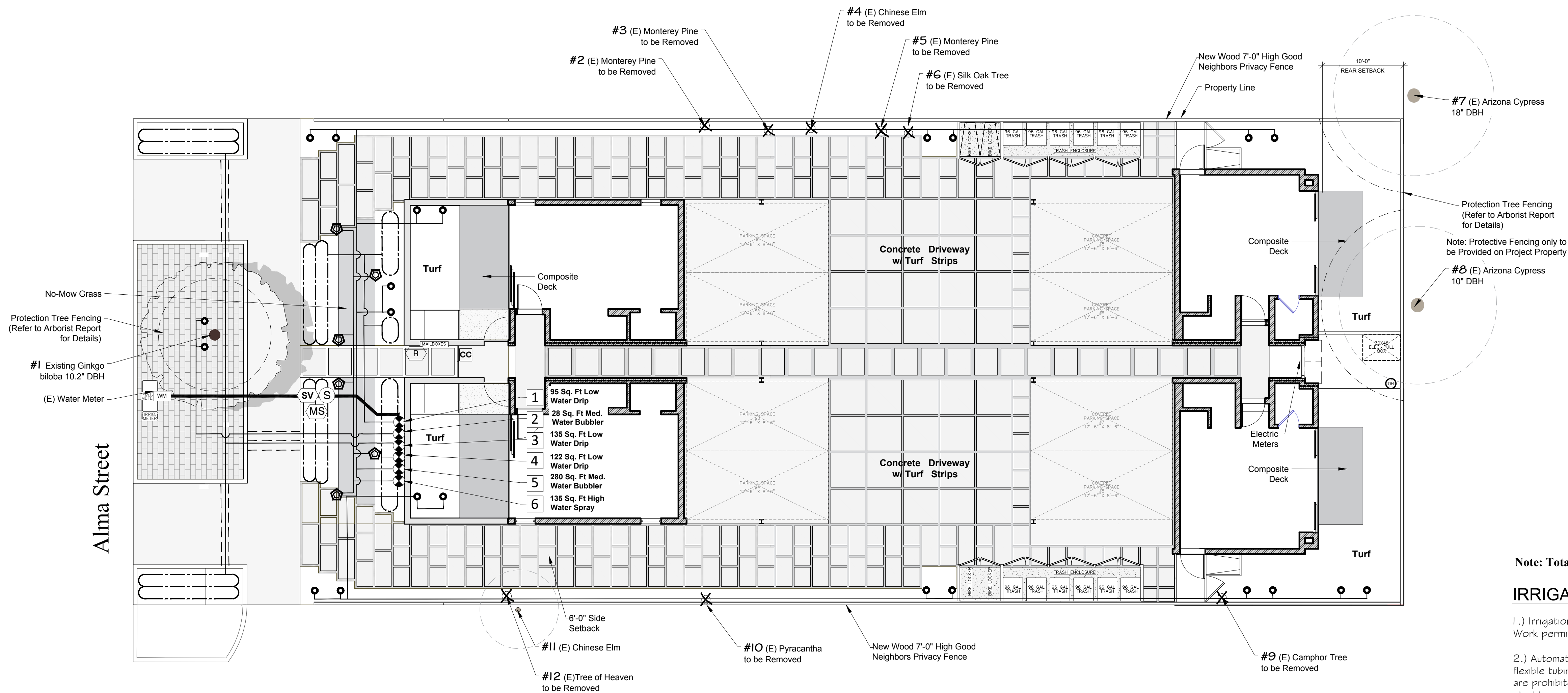
8262 Rancho Real Gilroy, CA 95020
Calif. Reg. #2239 (408) 842-0245
karen@kaa.design

GEMINI - PALO ALTO
2609 - 2617 Alma Street, Palo Alto, CA.
PLANTING & LIGHTING PLAN



B GEMINI-PALO ALTO

C-1

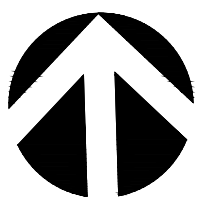


IRRIGATION_LEGEND		
SYMBOL	MANUFACTURER/MODEL	QTY
	1300 Series Bubblers:	
	-1 Bubbler per 15 Gallon Tree	
	-2 Bubbler per 24" Box Tree	
	-3 Bubbler per 36" Box Tree	
	Area to Receive Dripline	
	Rain Bird XFS-06-12	
	Rainbird 1800 series 6" Spray Head	
	w/ Rainbird Valve PEB	
SYMBOL MANUFACTURER/MODEL QTY		
	Rain Bird DVF (DRIP)	
	Rain Bird ESP4-SMTE with (3) ESP-SM6	
	Master Shutoff Valve behind P.O.C	
	Irrigation Lateral Line: PVC Schedule 40	
	Irrigation Mainline: PVC Schedule 40	
	Rainbird RSD Series Rain Shut Off	
	Rainbird SMRT-Y Soil Moisture Sensor	
	Rainbird Flow Sensor FS-200-P	
	Note: Provide a clear, unobstructed distance of at least 10x the pipe's diameter upstream of the sensor and at least 5x the pipe's diameter downstream of the sensor	
	HYDROZONE NUMBER	
	WATER USE AND TYPE	
	1 LOW WATER DRIP	

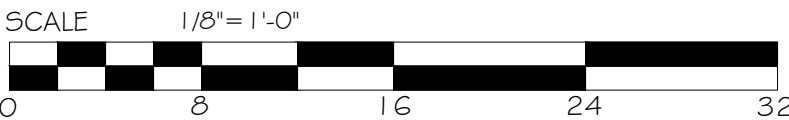
Note: Total irrigated Landscape Area = 684 Sq.Ft.

IRRIGATION NOTES

- 1.) Irrigation and tree planting in the right of way requires a street Work permit per CPA public works standards
- 2.) Automatic irrigation shall be provided for each tree. Two bubbler heads mounted on flexible tubing placed at the edge of the root ball. Bubblers mounted inside an aeration tube are prohibited. the tree irrigation system shall be connected to a separate Valve from other shrubbery and ground cover, pursuant to the city's Landscape water efficiency standards.



NORTH



*NOTES (E)= Existing
P.A.= Planting Area

Refer to L-3 for Water Calculation & Irrigation Details

REVISIONS

BY

AITKEN ASSOCIATES

LANDSCAPE ARCHITECTS

8262 Rancho Real Gilroy, CA 95020

Calif. Reg. #2239 (408) 842-0245

karen@kaa.design

GEMINI - PALO ALTO

2609 - 2617 Alma Street, Palo Alto, CA.

IRRIGATION PLAN



DATE 01-06-2022

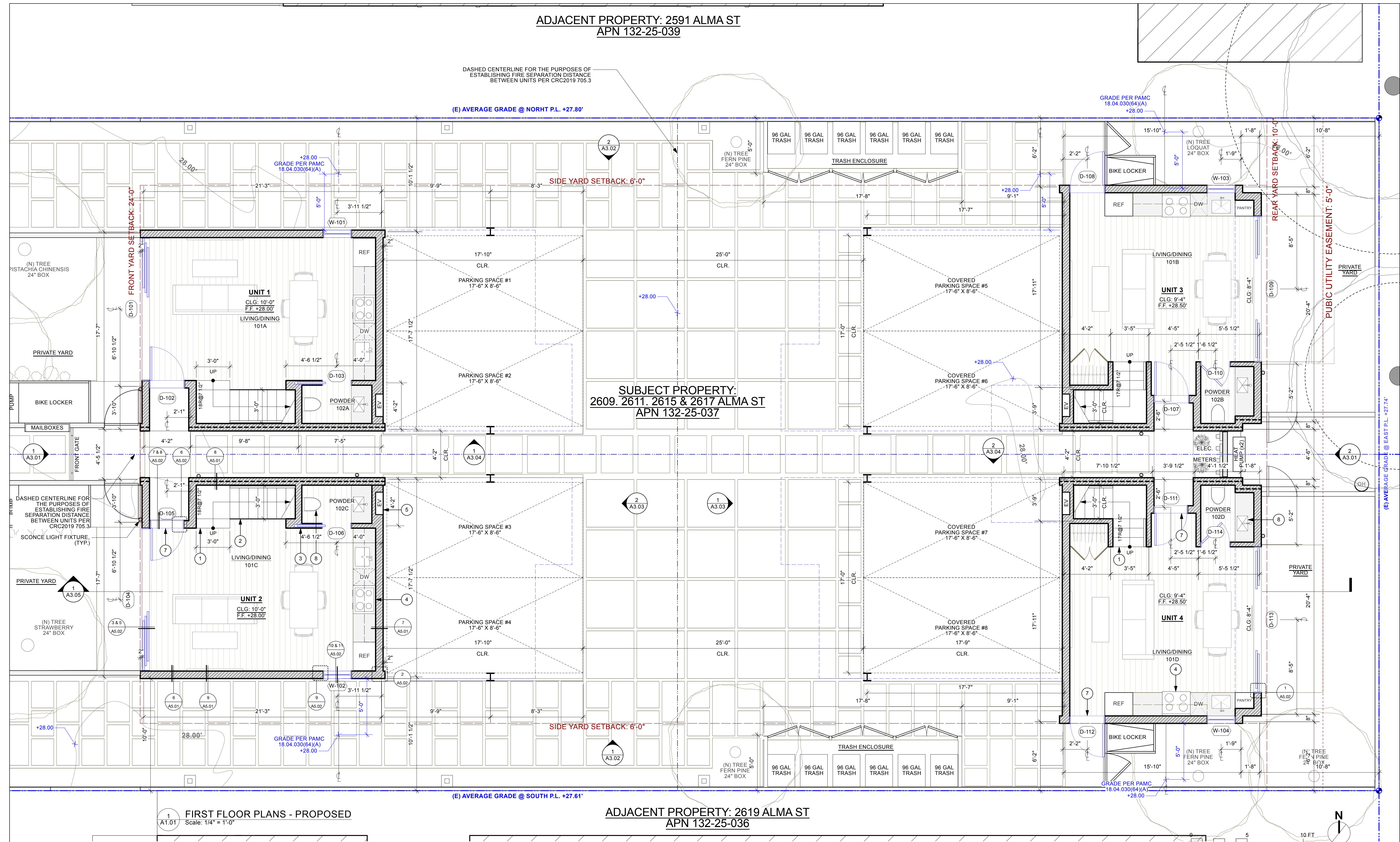
SCALE 1/8" = 1'-0"

DRAWN AD - EM

JOB GEMINI-PALO ALTO

L-2

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm



1 (N) INTERIOR STAIR WITH CLOSED RISER- INTERIOR STAIR: WIDTH MIN. 3'-0" PER C2019 SEC.R317.7.1 - MAX. RISER 7 3/4" MIN. TREAD 10" PER C2019 SEC.R317.7.5 - 3/4" NOSINGS ON ANY CLOSED-RISER TREADS <11" PER C2019 SEC.R317.7.5.3 - 1" FLOOR MIN. TO TOP OF RISER. HANDRAILS TO BE CONTINUOUS FROM ONE RAIL TO THE OTHER TO ONE SIDE ONLY TO HEIGHT MIN. 2'-0" & MAX. 3'-2" ABOVE STAIR NOSINGS PER C2019 SEC.R317.7.8.1 - HANDRAIL TO BE CONTINUOUS FOR FULL LENGTH OF FLIGHT, FROM POINT DIRECTLY ABOVE TOP RISER TO POINT DIRECTLY ABOVE BOTTOM RISER, AND FROM JEWEL POWER OR DEPTH TERMINAL TO STAIR RISE PER C2019 SEC.R317.7.8.4 - TOP & BOTTOM LANDING WIDTH/DEPTH MIN. EQUAL TO STAIR WIDTH PER C2019 SEC.R317.7.8

2 GUARDRAIL @ 42" AFF, GUARDS SHALL NOT ALLOW PASSAGE OF 4" DIA. SPHERE, AS PER CBC2019 SEC. 1015.3

3 ENCLOSED SPACE UNDER STAIR - MIN. 5/8" TYPE-X GYP. BD. APPLIED TO CEILING BELOW STAIRS

4 (N) KITCHEN FIXTURES, FITTINGS, FINISHES & SERVICES AS SHOWN - PROVIDE DOMESTIC RANGE HOOD & VENT TO EXTERIOR PER CRC2019 - ENVIRONMENTAL AIR DUCTS TO TERMINATE MIN. 36" FROM PROPERTY-LINE OR ANY BUILDING OPENING PER CMC2019 SEC.502.2.1

5 EV CHARGING STATION PER CGBSC 2019 SEC. 4.106.4

PROVIDE LISTED RACEWAY TO ACCOMMODATE A DEDICATED 20/240 VOLT BRANCH CIRCUIT FOR AN EV CHARGER. RACEWAY SHALL NOT BE LESS THAN NOMINAL 1" INSIDE DIAMETER. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED ENCLOSURE IN CLOSE PROXIMITY TO THE EV CHARGER. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO NOT LESS THAN 40 AMP MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.

6 (N) EMERGENCY ESCAPE AND RESCUE WINDOW - MIN. OPENABLE WIDTH 20" - MIN. OPENABLE HEIGHT 24" - MIN. OPENABLE AREA 5.7 SQ. FT. - MAX. SILL HEIGHT 44" AS PER CRC 2019 SEC R310.2 (TYP. ALL BEDROOMS)

7 (N) EGRESS DOOR, SIDE HINGED, MIN. CLEAR WIDTH 32", CLEAR HEIGHT 78" PER CRC2019 SEC.R311.2 - LEVEL LANDING @ EACH SIDE OF DOOR, MIN. SAME CLEAR WIDTH OF DOOR & MIN 36" IN DIRECTION OF TRAVEL PER CRC2019 SEC.R311.3 - MAX. INTERIOR THRESHOLD 1 1/2", MAX. EXTERIOR STEP 7 3/4", DOOR NOT TO SWING OVER STEP.

8 BATHROOM FIXTURES, FITTINGS, FINISHES & SERVICES - PLUMBING FIXTURES TO BE VENTED TO ROOF. TYP. ALL WC CISTERNS MAX. FLOW RATE 1.28 GPF. SHOWER HEADS MAX. 1.8 GPM. LAVATORY FAUCETS MAX. FLOW RATE 1.2 GPM. KITCHEN FAUCETS MAX. FLOW RATE 1.8 GPM TYP. PROVIDE MECHANICAL VENTILATION PER CRC2019 SEC.R303.3 - ENVIRONMENTAL AIR DUCTS TO TERMINATE MIN. 36" FROM PROPERTY LINE OR 12" FROM ADJACENT PROPERTY LINE. PROVIDE 12" MIN. CLEAR SPACE FROM CENTER TO ANY SIDE WALL OR OBSTRUCTION, & 24" CLEAR SPACE FROM ALL WC CISTERNS PER CPC2019 402.5 - PROVIDE TEMPERED GLAZING AT SHOWERS AND TUBS PER CRC2019 SEC.R308.4, (TYP.)

9 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEAD AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2 (TYP.)

10 DRYER, VENTED TO ROOF. PROVIDE MIN. 100 SQ. IN. CLEAR AREA FOR AIR INTAKE - PROVIDE MIN. 4" DIA METAL VENTILATION DUCT FOR CLOTHES DRYER, EITHER PER MANUFACTURER'S WRITTEN INSTRUCTIONS OR PER CMC2016 SEC.504.2.1 (COMBINED HORIZONTAL & VERTICAL LENGTH MAX. 14', INCLUDING 2 90-DEG ELBOWS - DEDUCT 2' PER ADDITIONAL 90-DEG ELBOW) - ENVIRONMENTAL AIR DUCT TO TERMINATE MIN. 3' FROM ANY PROPERTY-LINE OR OPENING INTO THE BUILDING PER CMC2016 SEC.504.2.1

11 SINGLE-PLY MEMBRANE ROOF - MIN. SLOPE 1/4:12 TO DRAIN CONNECTED TO CITY SEWER

COOL ROOF FOR REDUCTION OF HEAT ISLAND EFFECT, TYP. (2019)
CAL-GREEN BLDG STANDARDS DIVISION A 4.106.5) ROOFING MATERIALS
SHALL HAVE A MINIMUM 3 YEAR AGED SOLAR REFLECTANCE EQUAL TO OR
GREATER THAN THE VALUES SPECIFIED IN TABLES A4.106.5.1(2) (WHICH
STATES: FOR ROOF SLOPE $\geq 2:12$, CLIMATE ZONE 4, MIN. 3-YEAR AGED
SOLAR REFLECTANCE IS 0.23 AND THERMAL EMITTANCE IS 0.85, SRI=20)
AND A4.106.5.1(4) (WHICH STATES: FOR ROOF SLOPE $\geq 2:12$, CLIMATE ZONE
4, MIN. 3-YEAR AGED SOLAR REFLECTANCE IS 0.23 AND THERMAL
EMITTANCE IS 0.75, SRI=20)

DEPARTMENT STAMPS:

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
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08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm

DASHED CENTERLINE FOR THE PURPOSES OF
ESTABLISHING FIRE SEPARATION DISTANCE
BETWEEN UNITS PER CRC2019 705.3

SIDE YARD SETBACK: 6'-0"

SECOND FLOOR PLANS - PROPOSED

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GUARDRAIL @ 42" AFF, GUARDS SHALL NOT ALLOW PASSAGE OF 4" DIA. SPHERE, AS PER CBC2019 SEC. 1015.3

ENCLOSED SPACE UNDER STAIR - MIN. 5/8" TYPE-X GYP. BD. APPLIED TO CEILING
BELOW STAIRS

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EV CHARGING STATION PER CGBSC 2019 SEC. 4.106.4

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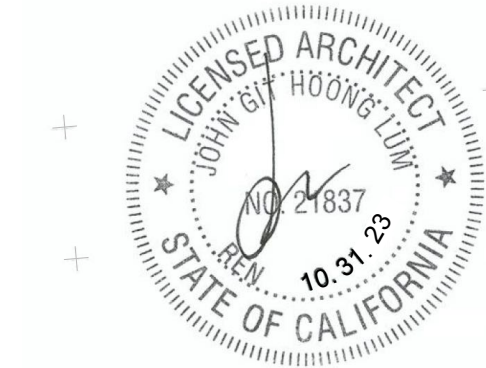
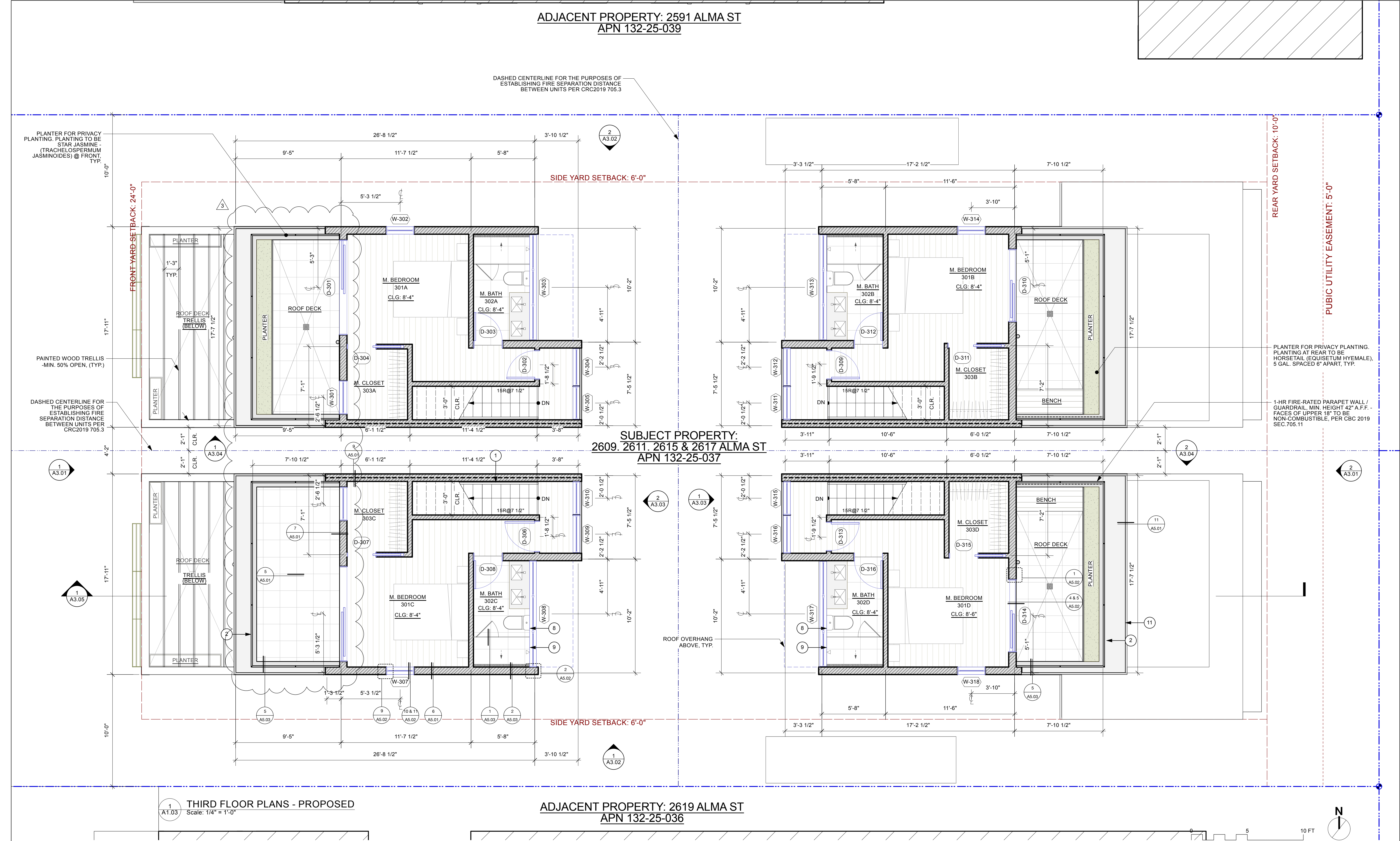
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4, MIN. 3-YEAR AGED SOLAR REFLECTANCE IS 0.23 AND THERMAL
EMITTANCE IS 0.75, SRI=20)

DEPARTMENT STAMPS:

Filename: GEMINI Planning Rev3 220419h 3 vwx

filename: GEMINI_Planning Rev3_220419b_3.wxw



GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 480
Burlingame, CA 94010

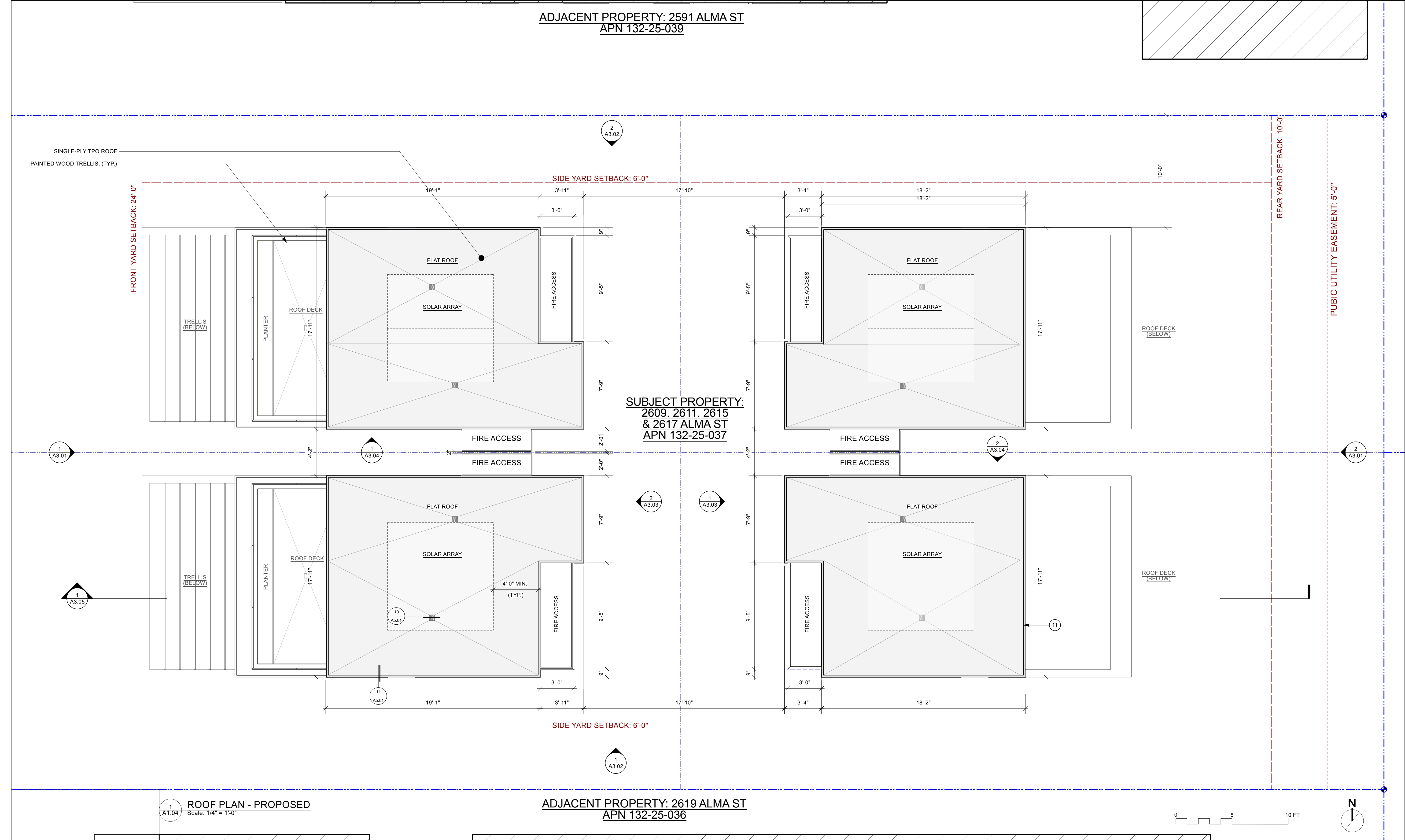
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08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm
04.19.22	Major AR - Rev.3.	hm

3RD FLR PLANS - PROPOSED

A1.03

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.558.8550 FAX 415.558.8554

filename: GEMINI_Planning Rev3_220419b_3.wxw



KEYNOTES

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GEMINI - PALO ALTO HOUSING

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client:

Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 480
Burlingame, CA 94010

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.558.8550 FAX 415.558.8554

ROOF PLANS

A1.04

filename: GEMINI_Planning Rev3_220419b_3.wxw



1
A3.01
EXTERIOR ELEVATION - WEST - UNITS 1 & 2
Scale: 1/4" = 1'-0"



2
A3.01
EXTERIOR ELEVATION - EAST - UNITS 3 & 4
Scale: 1/4" = 1'-0"

DEPARTMENT STAMPS:

John Lum Architecture



GEMINI - PALO ALTO HOUSING

2609, 2611, 2615, & 2617 Alma St
Palo Alto, CA 94306

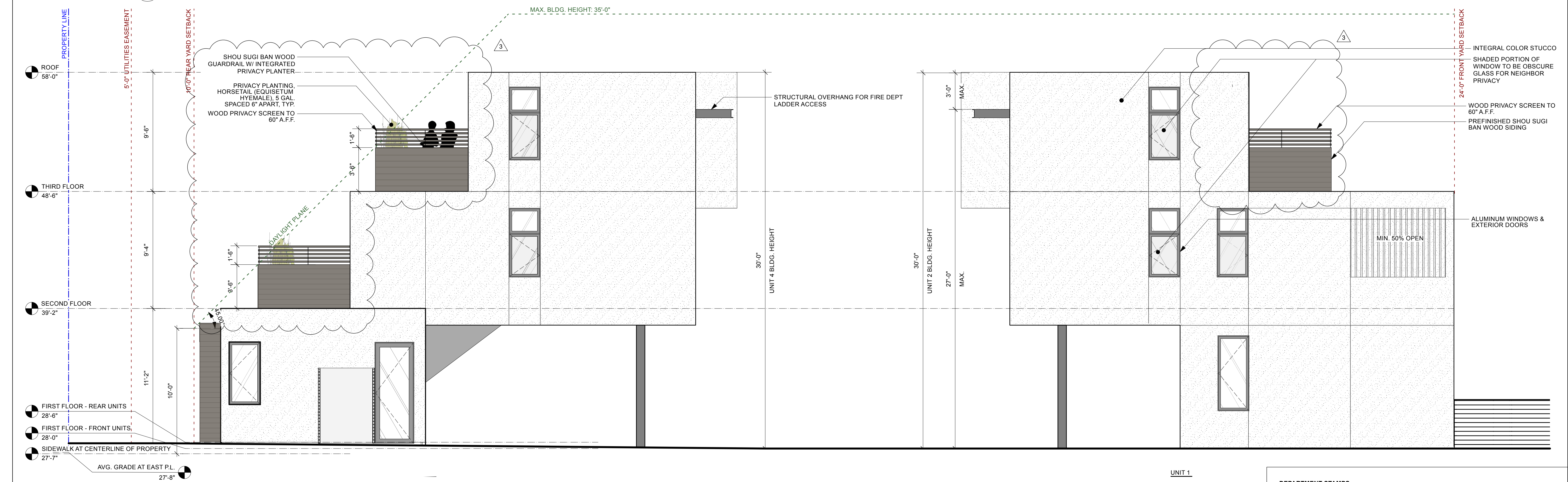
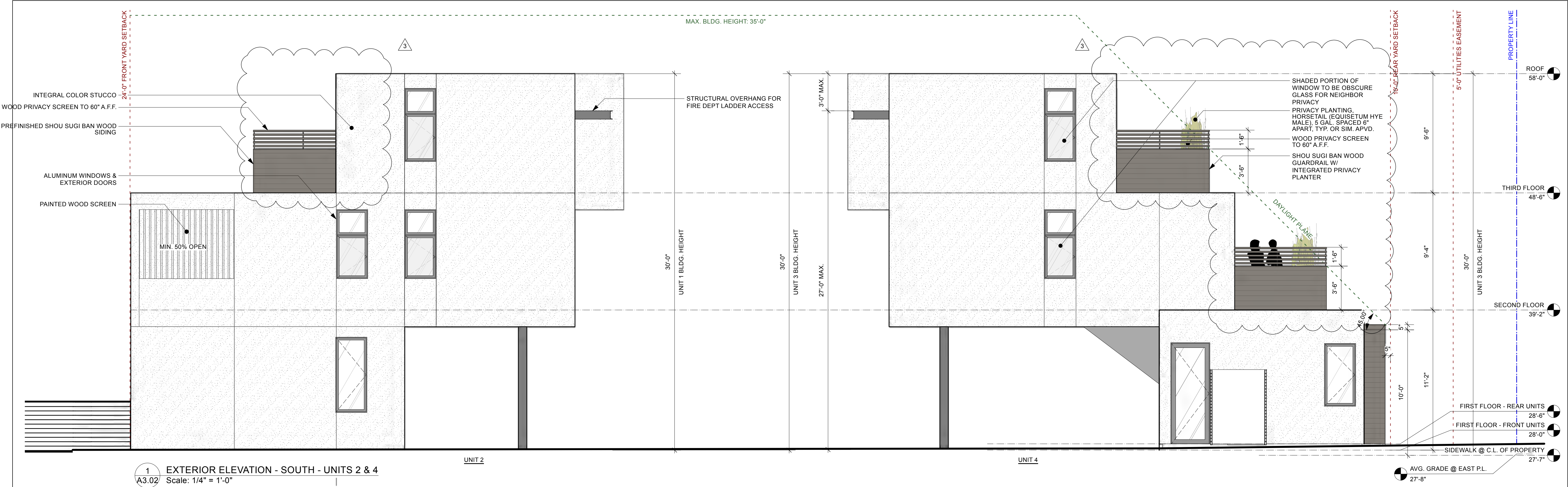
JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.9554

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway Suite 480
Burlingame, CA 94010

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm
04.19.22	Major AR - Rev.3	hm

EXTERIOR ELEVATIONS

A3.01



0 5 10 FT

DEPARTMENT STAMPS:

1
A3.02
EXTERIOR ELEVATION - SOUTH - UNITS 2 & 4
Scale: 1/4" = 1'-0"

2
A3.02
EXTERIOR ELEVATION - NORTH - UNITS 1 & 3
Scale: 1/4" = 1'-0"

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm
04.19.22	Major AR - Rev.3	hm

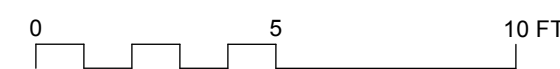
filename: GEMINI_Planning Rev3_220419b_3.wxw



1
A3.03
EXTERIOR ELEVATION - WEST - UNITS 3 & 4
Scale: 1/4" = 1'-0"



2
A3.03
EXTERIOR ELEVATION - EAST - UNITS 1 & 2
Scale: 1/4" = 1'-0"



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08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm

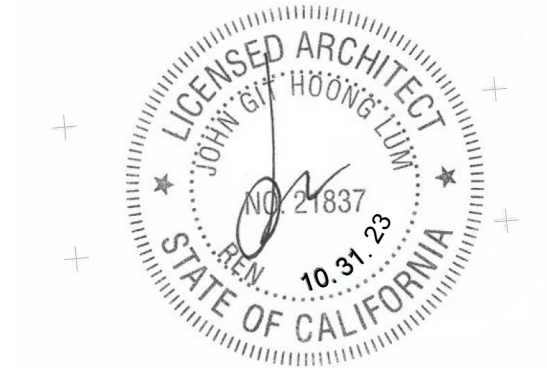
EXTERIOR ELEVATIONS

A3.03

GEMINI - PALO ALTO HOUSING

2609, 2811, 2615, & 2617 Alma St
Palo Alto, CA 94306

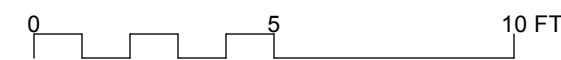
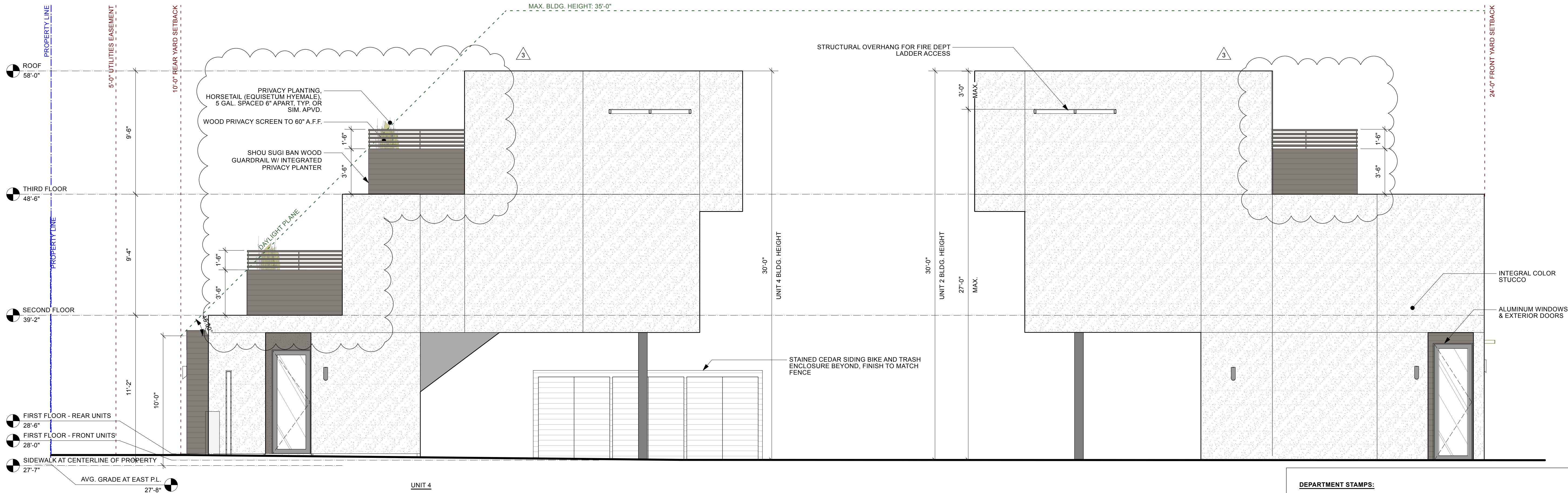
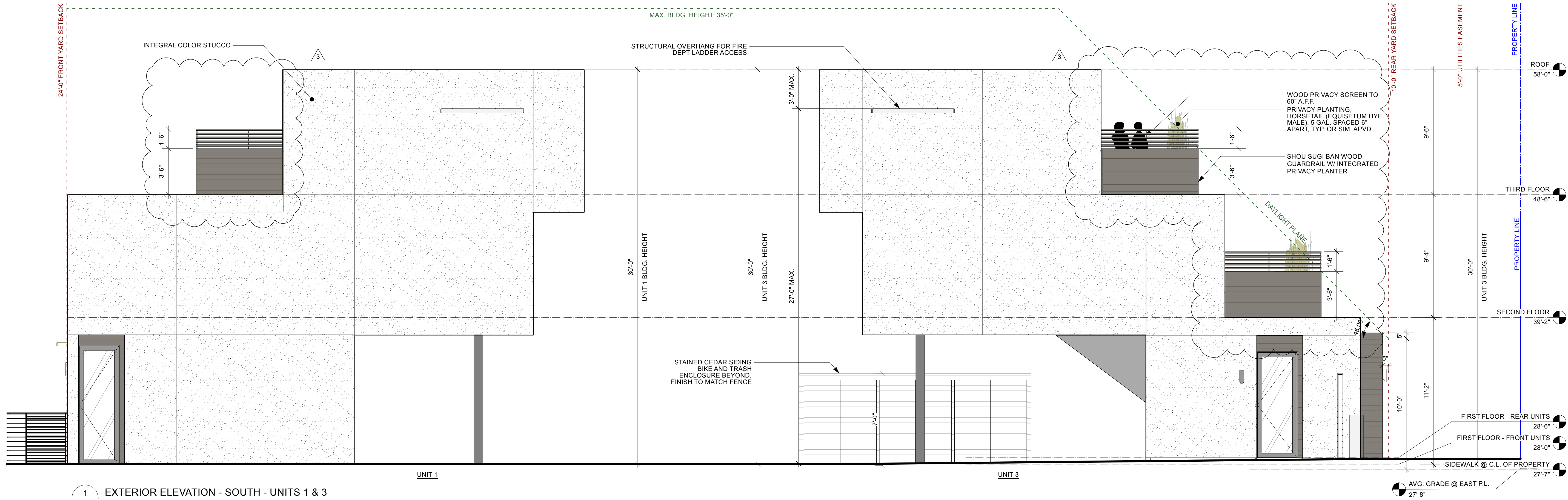
client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 480
Burlingame, CA 94010



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filename: GEMINI_Planning Rev3_220419b_3.wxw



DEPARTMENT STAMPS:

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06.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm
04.19.22	Major AR - Rev.3	hm

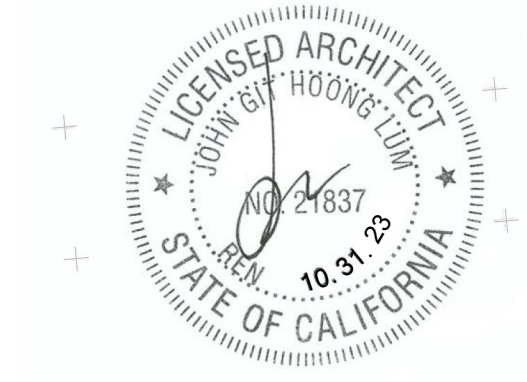
EXTERIOR ELEVATIONS

A3.04

GEMINI - PALO ALTO HOUSING

2606, 2811, 2615, & 2617 Alma St.
Palo Alto, CA 94306

client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 480
Burlingame, CA 94010



LUM

JOHN LUM ARCHITECTURE
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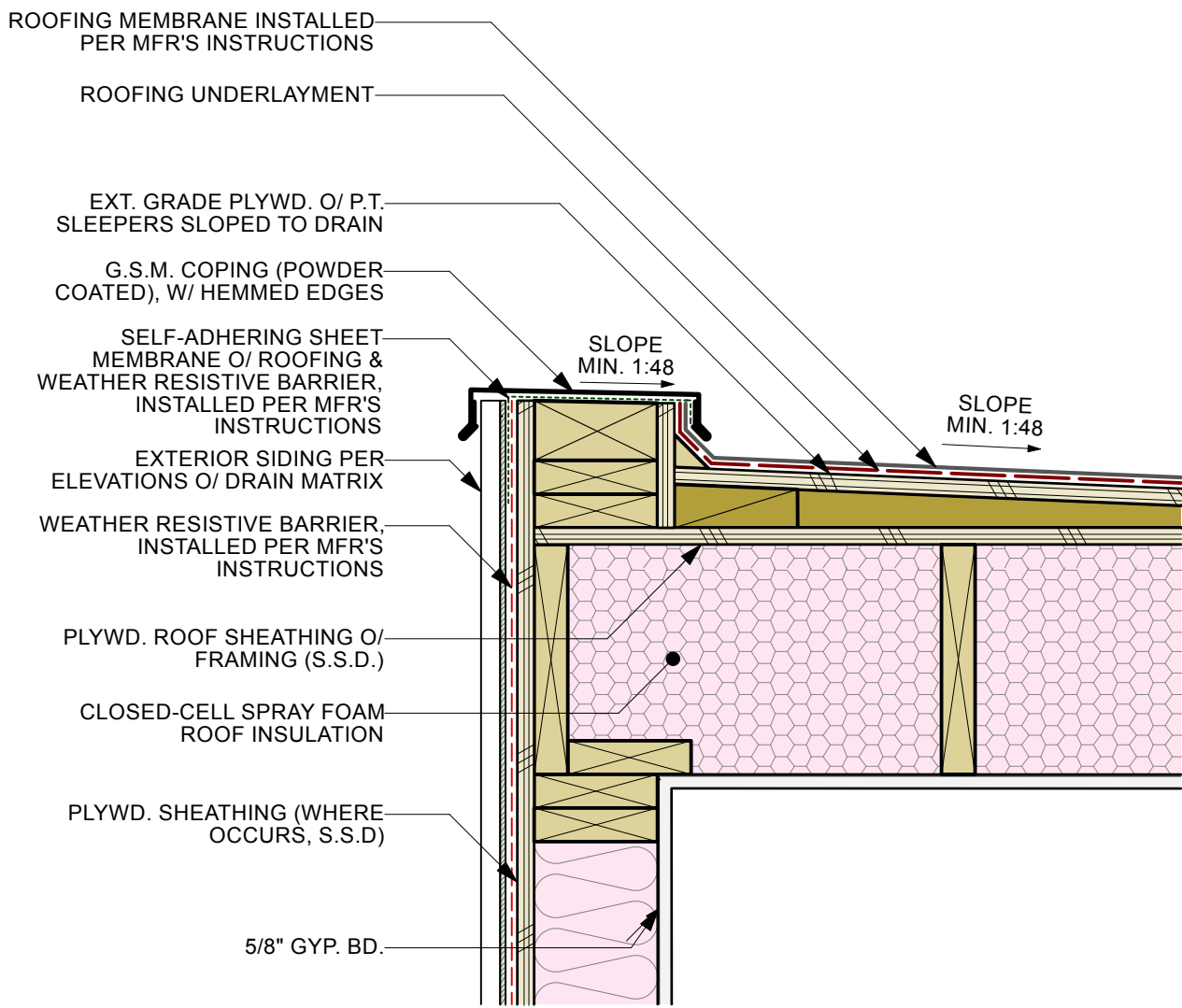
client: Gemini Development One Palo Alto LLC
1350 Bayshore Highway, Suite 480
Burlingame, CA 94010

DEPARTMENT STAMPS:

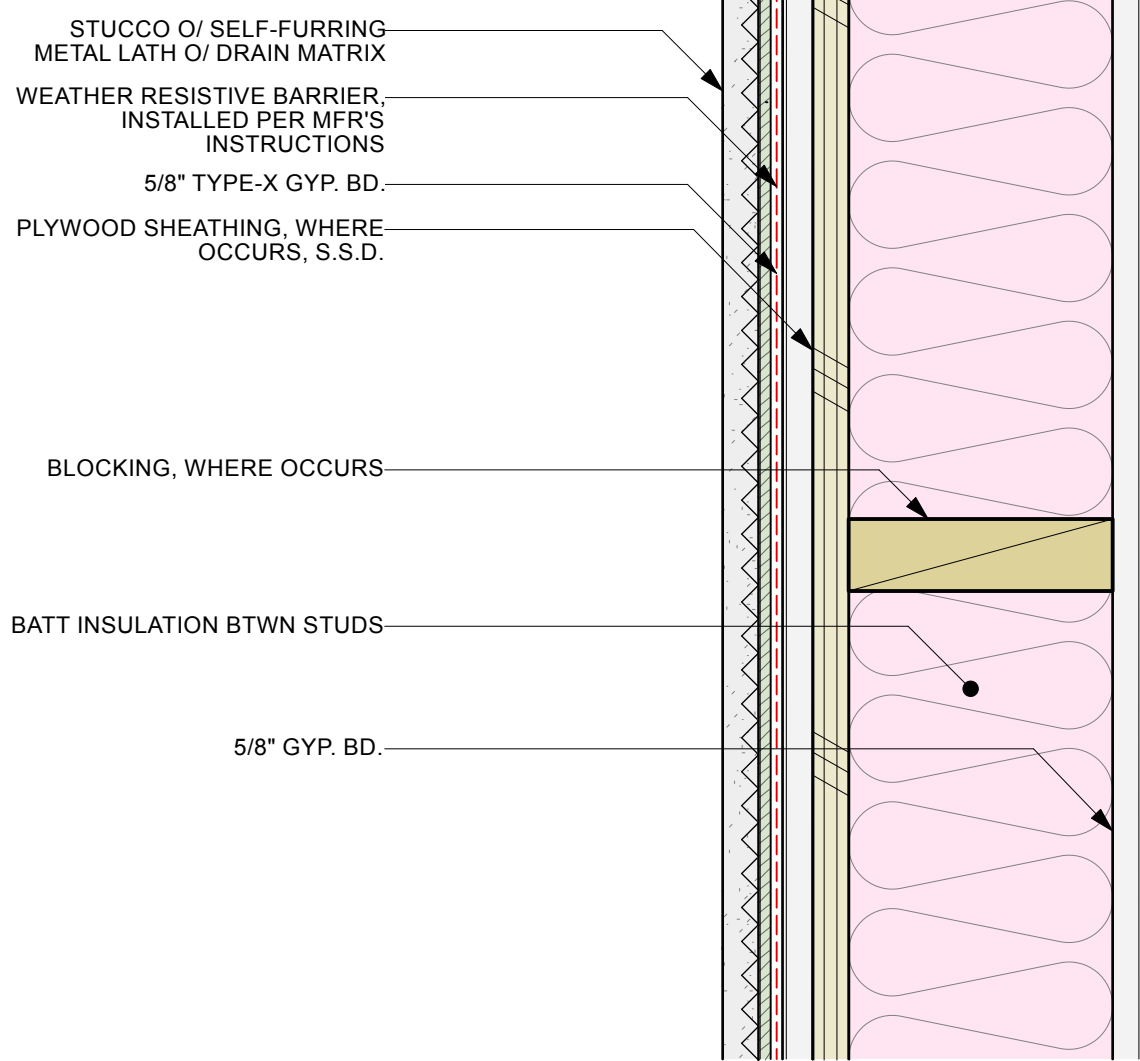
A3.05



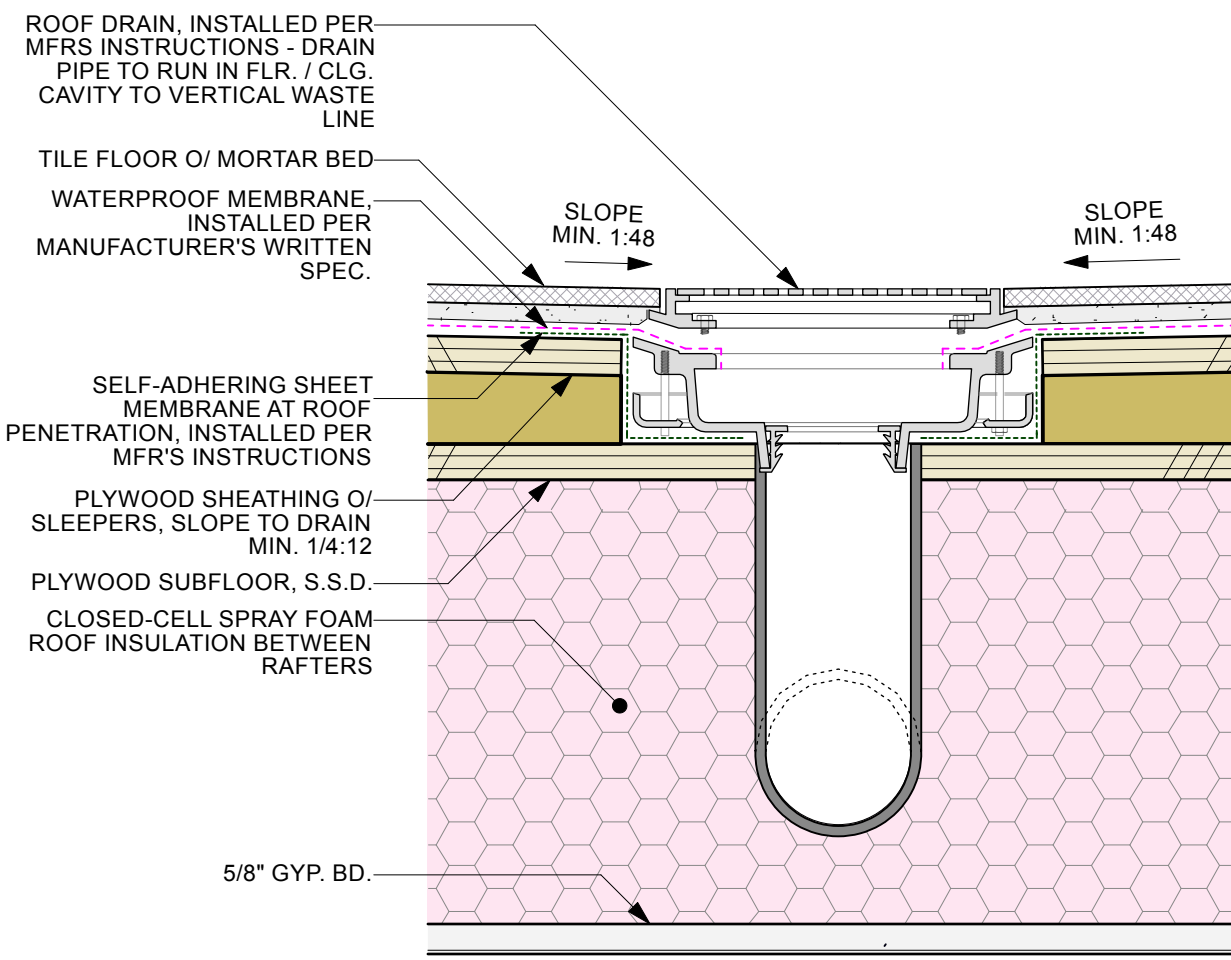
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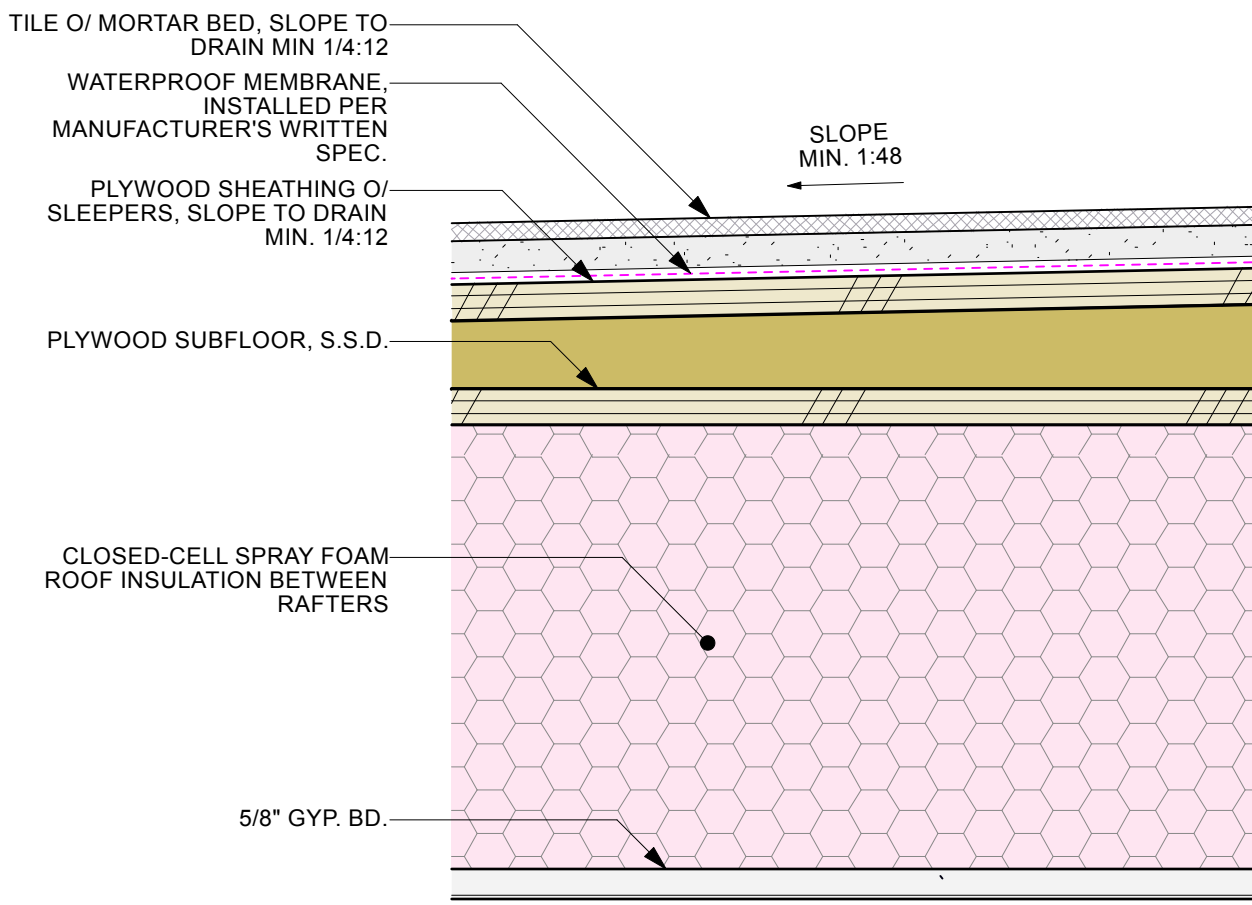
11 TYP. SECTION DTL. @ FLAT ROOF AT CURB
Scale: 1 1/2" = 1'-0"



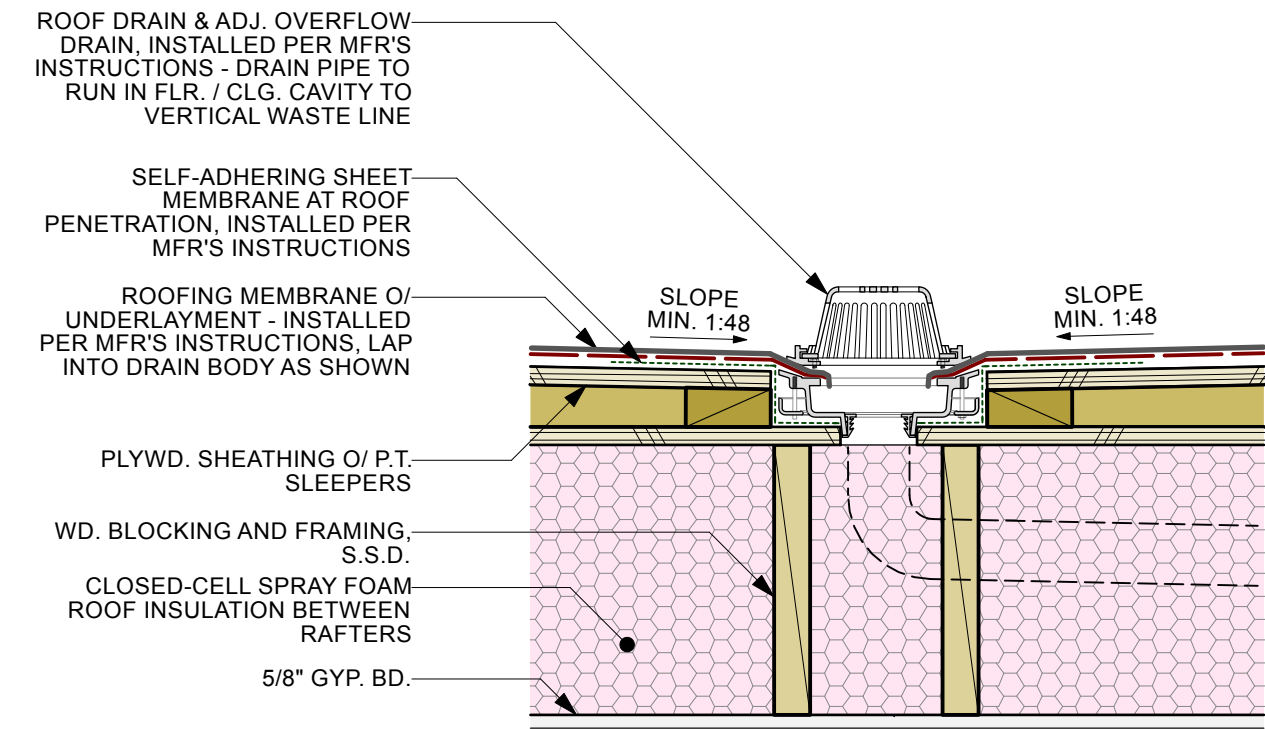
8 SECTION DTL. @ TYP. 1-HR FIRE-RATED EXTERIOR WALL - STUCCO
Scale: 3" = 1'-0"



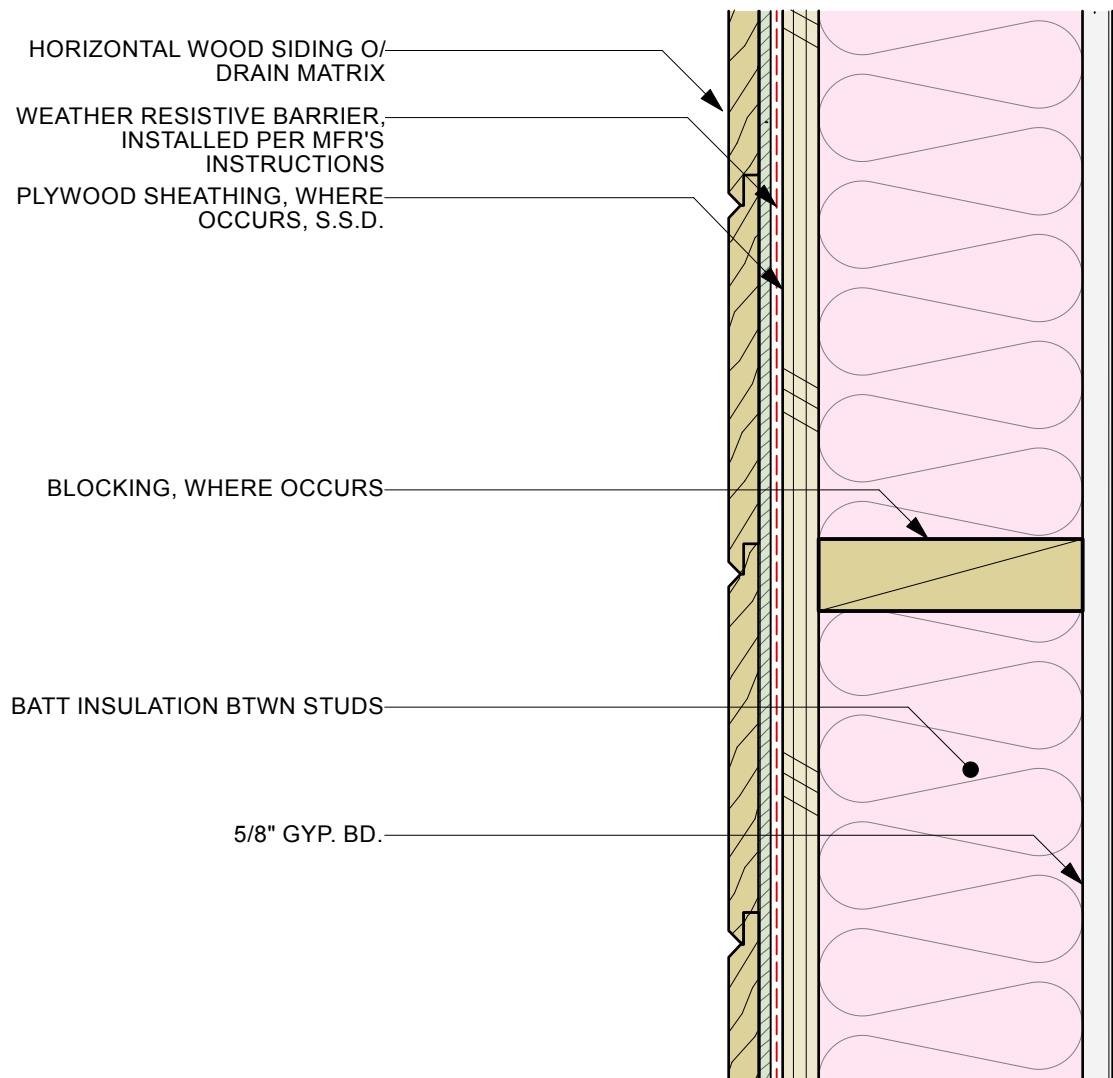
5 SECTION DTL. @ TYP. ROOF DECK DRAIN
Scale: 3" = 1'-0"



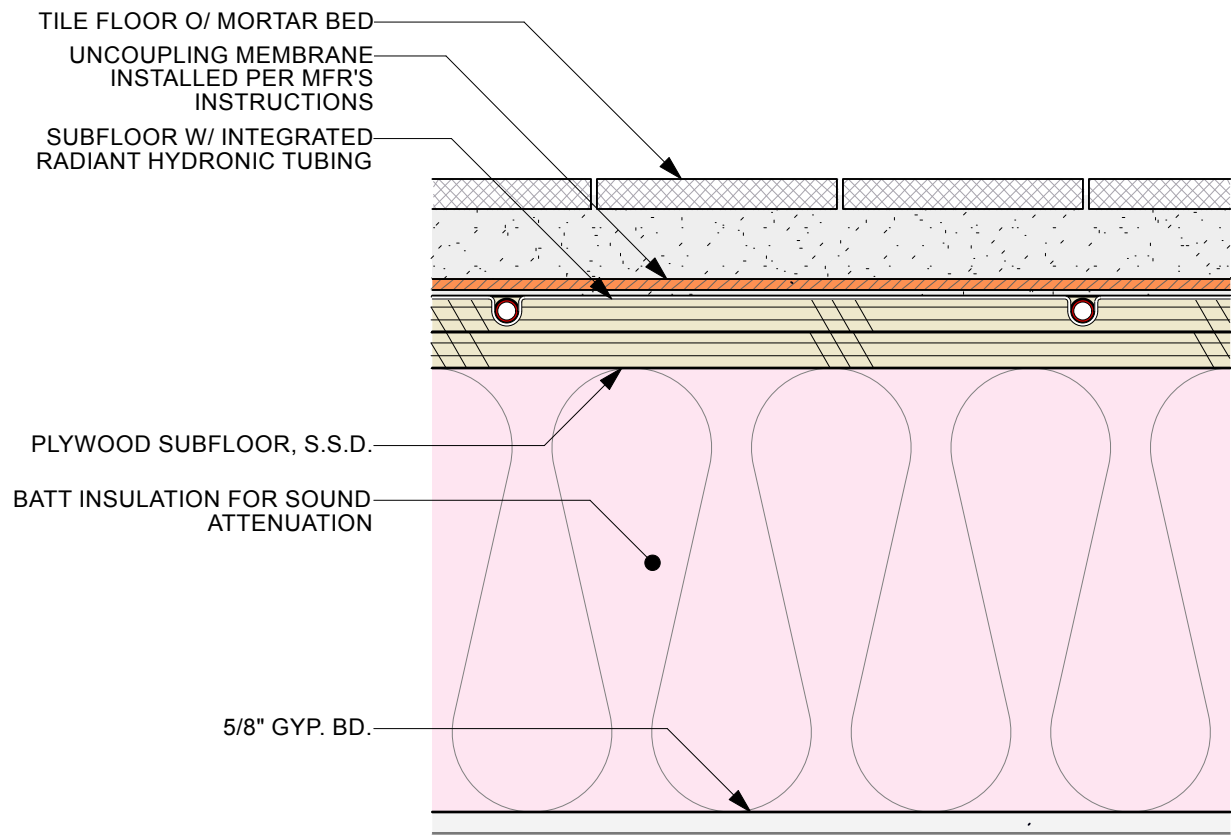
2 SECTION DTL. @ TYP. ROOF DECK
Scale: 3" = 1'-0"



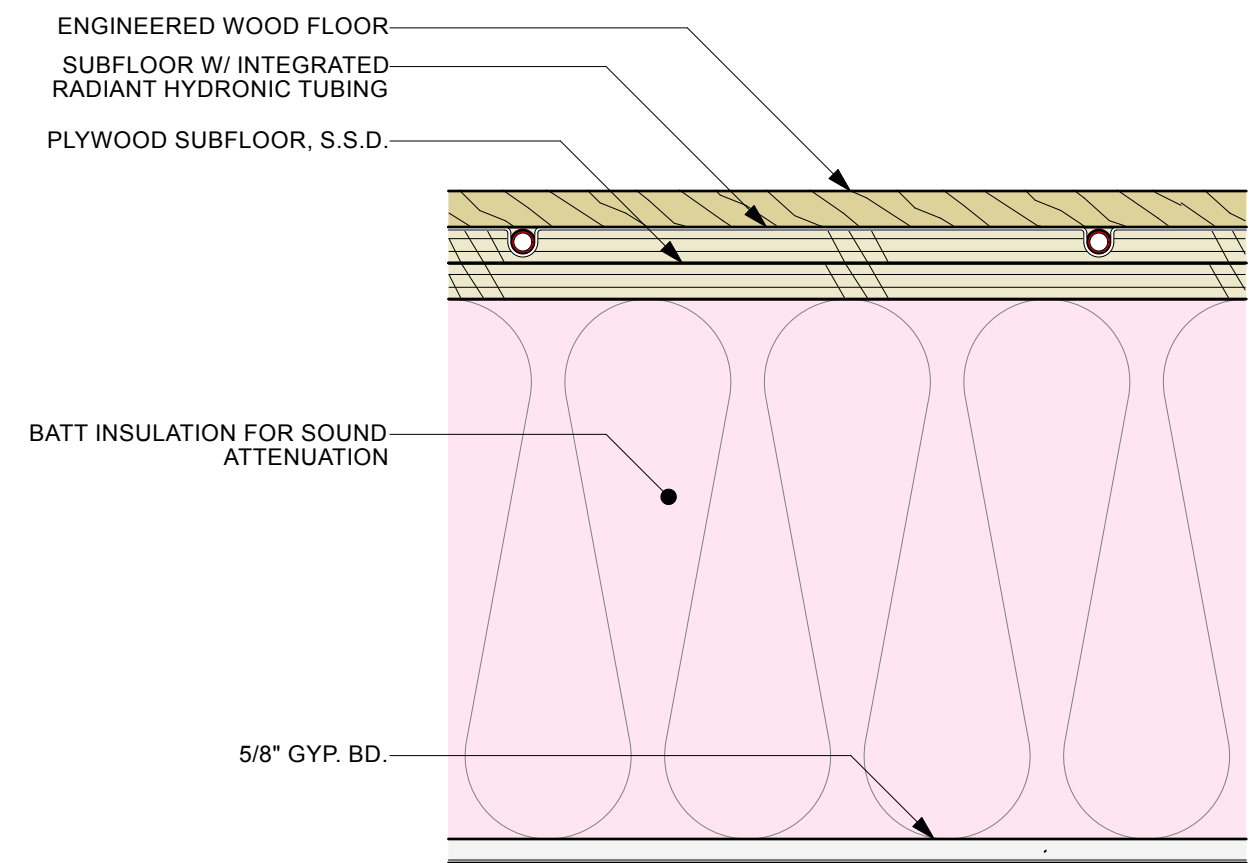
10 TYP. SECTION DTL. @ FLAT ROOF DRAIN
Scale: 1 1/2" = 1'-0"



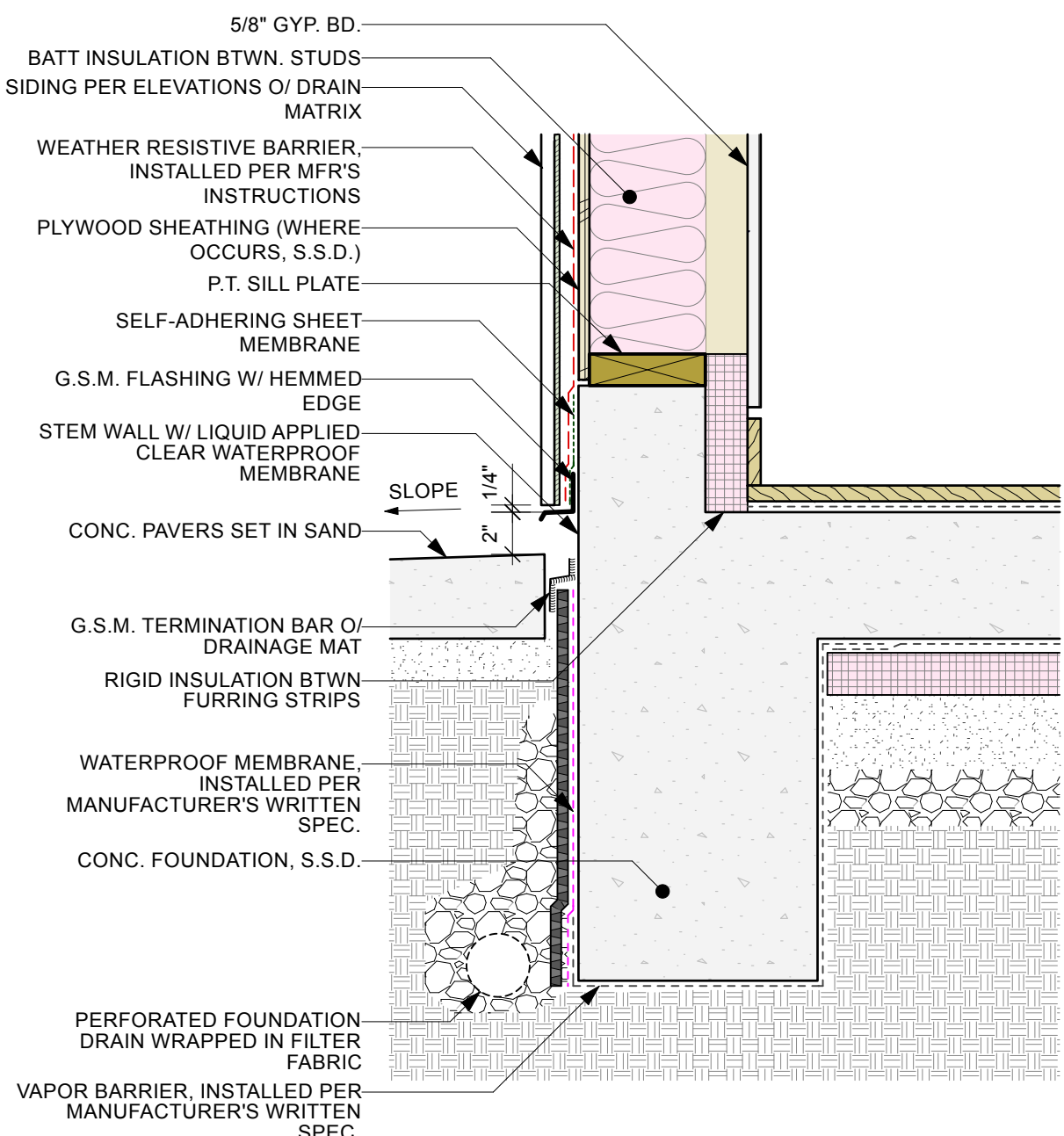
7 SECTION DTL. @ TYP. EXTERIOR WALL - WOOD
Scale: 3" = 1'-0"



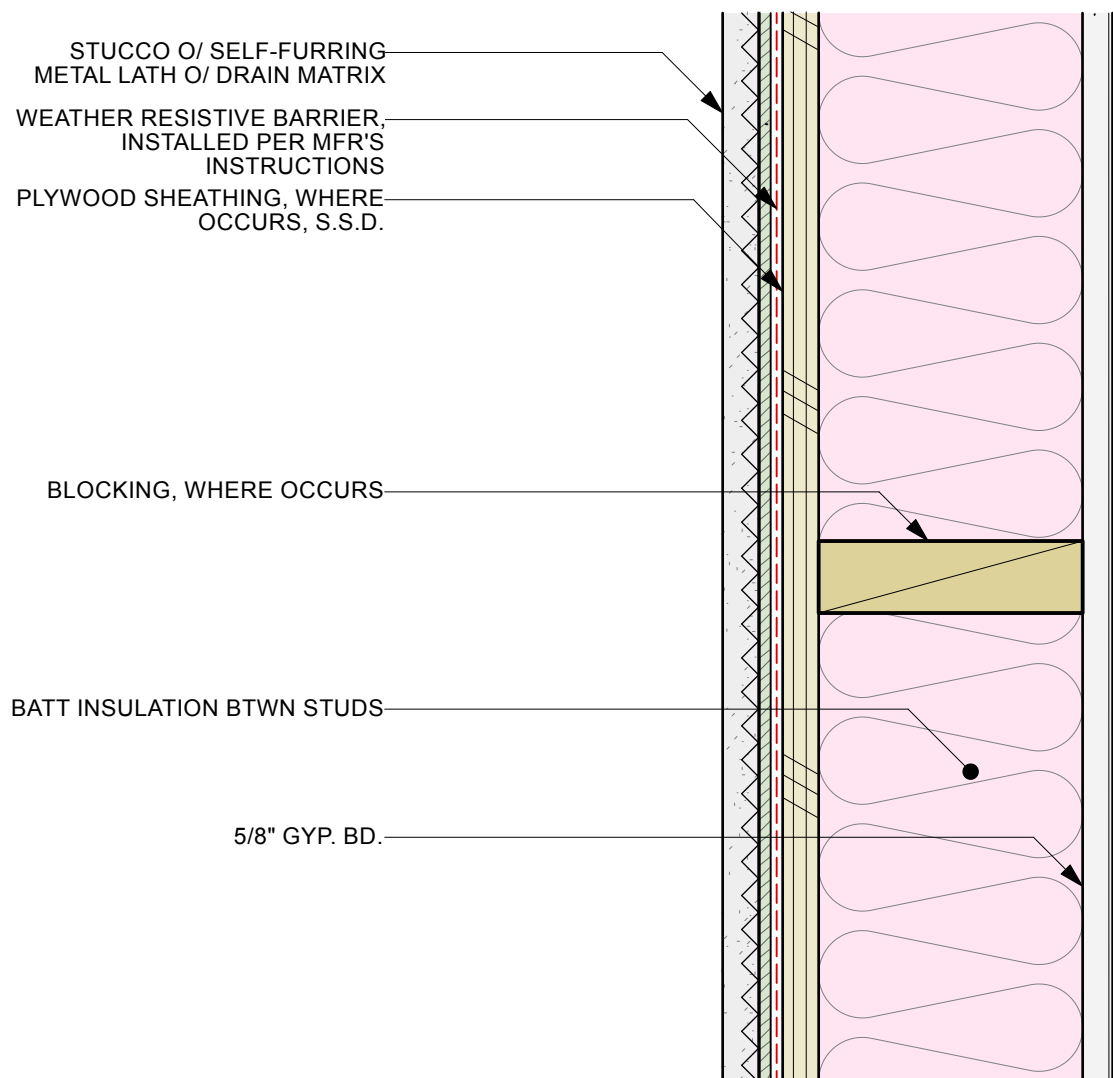
4 SECTION DTL. @ TYP. FRAMED FLOOR - TILE
Scale: 3" = 1'-0"



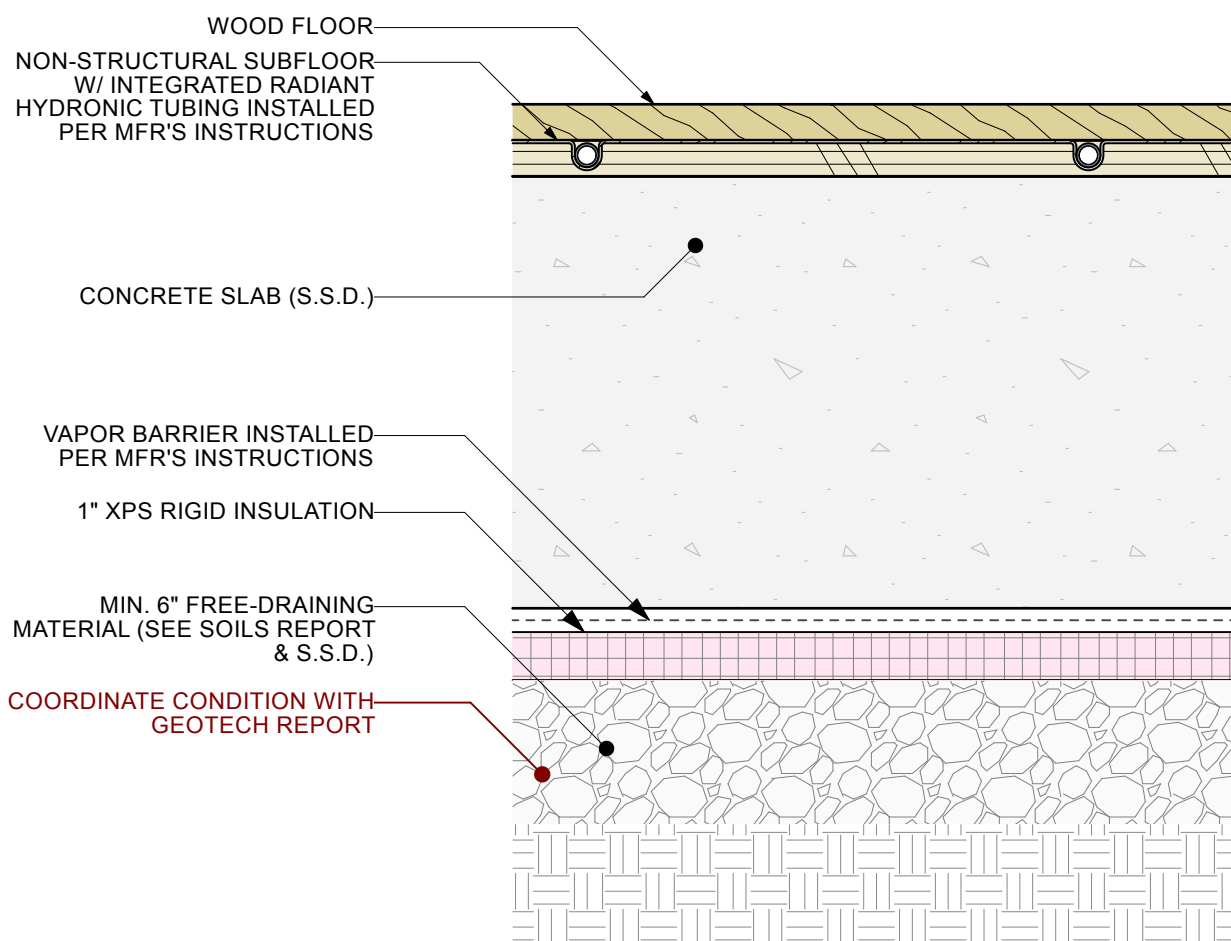
1 PLAN DTL. @ TYP. FRAMED FLOOR - WOOD
Scale: 3" = 1'-0"



9 TYP. SECTION DTL. @ FOUNDATION
Scale: 1 1/2" = 1'-0"



6 SECTION DTL. @ TYP. EXTERIOR WALL - STUCCO
Scale: 3" = 1'-0"



3 SECTION DTL. @ TYP. WOOD FLOOR O/ CONCRETE
Scale: 3" = 1'-0"

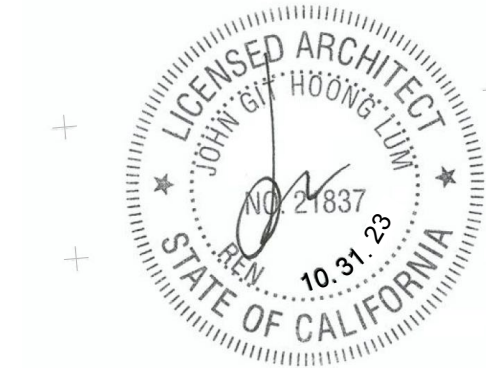
DEPARTMENT STAMPS:

GEMINI - PALO ALTO HOUSING

2600, 2811, 2815, & 2817 Alma St.
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client:

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1350 Bayshore Highway, Suite 480
Burlingame, CA 94010



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DETAILS

A5.01

date	issues / revisions	by
05.17.21	SB-330 Pre App Submittal	rm
08.07.21	Major AR Submittal	rm
08.31.21	Major AR - Rev.1	rm
01.06.22	Major AR - Rev.2	hm