

660 UNIVERSITY AVE.

PALO ALTO, CA



PLANNING RESUBMITTAL #11
08.08.2025

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SHEET INDEX:

PLAN 1

ARCHITECTURAL
A0.1 PROJECT INFORMATION
A0.2A - E CODE COMPLIANCE & EGRESS
A0.3 EXISTING SITE PHOTOS

A1.0 EXISTING SITE PLAN
A1.1A PROPOSED SITE PLAN
A1.1B - C OVERALL NEIGHBORHOOD
CONTEXT SITE PLAN

A2.P2 PARKING LEVEL P2 PLAN
A2.P1 PARKING LEVEL P1 PLAN
A2.1 FIRST FLOOR PLAN
A2.2A SECOND FLOOR PLAN
A2.2B THIRD FLOOR PLAN
A2.3A FOURTH FLOOR PLAN
A2.3B FIFTH FLOOR PLAN
A2.3C SIXTH FLOOR PLAN
A2.4 ROOF PLAN

A3.0 CONTEXT ELEVATIONS
A3.1A WEST (BYRON ST) BUILDING
ELEVATION
A3.1B EAST (MIDDLEFIELD RD) BUILDING
ELEVATION
A3.2A SOUTH BUILDING ELEVATION
A3.2B NORTH (UNIVERSITY AVE)
BUILDING ELEVATION
A3.3A OVERALL BUILDING SECTION
A3.3B OVERALL BUILDING SECTION
A3.3C @ (E) OAK

A4.0A ENLARGED PLANS & ELEVATION
A4.0B ENLARGED SECTION
A4.1A ENLARGED PLANS & ELEVATION

A5.1 ENLARGED UNIT PLANS
A8.10 ENL. EXTERIOR DETAILS

LANDSCAPE
L1.1 LANDSCAPE PLAN - GROUND FLOOR
L1.1A LANDSCAPE PLAN - GROUND FLOOR
COLORED
L2.1 LANDSCAPE IMAGERY
L3.1 PLANTING PLAN - SITE
L3.3 PLANTING PALETTE IMAGERY & WEL
L4.1 TREE DISPOSITION PLAN - SITE
L4.2 - 6 TREE PROTECTION PLAN
SITE ARBORIST REPORT

PLAN 2

CIVIL
SD1.0 EXISTING CONDITIONS & DEMO PLAN
SD2.0 SITE PLAN
SD3.0 GRADING PLAN
SD4.0 UTILITY PLAN
SD5.0 STORMWATER MANAGEMENT PLAN
SD6.0 SECTIONS
SD7.0 DETAILS
SD7.1 DETAILS

JOINT TRENCH
JT-1 JOINT TRENCH TITLE SHEET
JT-2 JOINT TRENCH INTENT

TRASH MANAGEMENT
TR0.1 OVERALL SITE PLAN
TR0.2 STAGING & BIN PATH
TR1.0 TRASH ROOM COLLECTION DTLS
TR2.0 CHUTE DETAILS
TR3.1-4 TRASH MANAGEMENT PLAN

ELECTRICAL
E0.1 SITE PHOTOMETRIC PLAN
E0.2A - C LIGHT FIXTURE CUT SHEETS

BIKE PARKING
A2.P0-A LONG TERM BIKE STORAGE,
PARKING LEVEL P1
A2.P0-B LONG TERM BIKE STORAGE,
PARKING LEVEL P1 & P2
A2.P0-C PARKING LIFT CUT SHEETS,
PARKING LEVEL P2

RENDERINGS
R1 RENDERING PERSPECTIVE
R2 RENDERING PERSPECTIVE
R3 RENDERING PERSPECTIVE
R4 RENDERING PERSPECTIVE

1. PROJECT INFORMATION / ZONING COMPLIANCE

ZONING: RM-20 MULTI-FAMILY RESIDENTIAL SUBDISTRICT	
APNS: 511 BYRON ST (120-03-042) 660 UNIVERSITY AVE (120-03-043) 680 UNIVERSITY AVE/500 MIDDLEFIELD RD (120-03-044)	
LAND USE (PER PAMC 18.13.030 TABLE 1): MULTIPLE-FAMILY RESIDENTIAL	
(E) LOT AREA & PARKING: 511 BYRON ST: 5,907± SF 660 UNIVERSITY AVE: 6,608± SF, 22 PARKING STALLS 680 UNIVERSITY AVE/500 MIDDLEFIELD RD: 10,011± SF, 7 STALLS TOTAL SITE AREA: 22,526 ± SF, 29 STALLS	
FAR & UNIT DENSITY ALLOWED (PAMC 18.13.040 TABLE 2): MAX FAR 0.5:1, MIN 11 / MAX 20 UNITS / ACRE NON-RESIDENTIAL FAR PROPOSED: 8,972 SF / 22,526 SF = 0.398 RESIDENTIAL FAR PROPOSED: 60,746 SF / 22,526 SF = 2.697 TOTAL FAR PROPOSED: 69,718 SF / 22,526 SF = 3.1 RESIDENTIAL DENSITY PROPOSED: 70 UNITS / -0.5 ACRES (~10 UNITS ALLOWED)	
PROPOSED PROJECT SEEKS TO EXCEED ALLOWABLE FAR & UNITS / ACRE	
(E) BUILDING AREA: 511 BYRON AVE: ~5,260 SF 680 UNIVERSITY AVE: ~3,955 SF TOTAL (E) (NON-RES.) OFFICE AREA: 9,216 SF (NET OFFICE AREA DECREASE OF 92 SF)	
PROPOSED BUILDING AREA (SEE BUILDING CODE SUMMAR Y ON SHEET A0.2A FOR ADDITIONAL DETAIL):	
NON-RESIDENTIAL AREA (OFFICE) FIRST FLOOR (OFFICE + TRASH ROOM): 1,984 SF TOTAL NON-RESIDENTIAL AREA: 1,984 SF	
COMMON AREA (NON-RESIDENTIAL) FIRST FLOOR (FITNESS CENTER): 1,829 SF FIRST FLOOR (LEASING OFFICE, COWORKING SPACE, ETC.): 1,828 SF FIRST FLOOR ACCESSORY (RES. TRASH, ELEC. RM, JAN. CLO., FIRE ACCESS, ETC.): 1,869 SF RES. TRASH / ELEC. / BUILDING SERVICES ROOMS: 1,625 SF (325 SF PER RES. FLOOR @ 5 FLOORS) STAIRS: 482 SF (482 SF @ GROUND FLOOR) TOTAL COMMON AREA: 7,633 SF	
RESIDENTIAL AREA (70 TOTAL UNITS) FIRST FLOOR (RESIDENTIAL LOBBY, MAIL, LOUNGE, ETC.): 3,390 SF SECOND FLOOR (16 UNITS): 11,745 SF THIRD FLOOR (16 UNITS): 11,850 SF FOURTH FLOOR (13 UNITS): 10,835 SF FIFTH FLOOR (13 UNITS): 10,835 SF SIXTH FLOOR (12 UNITS): 10,466 SF TOTAL RESIDENTIAL AREA: 59,121 SF	
ROOF AREA: 5,749 SF	
PARKING AREA (78 TOTAL STALLS) BELOW GRADE LEVEL P2 (51 STALLS): 17,401 SF BELOW GRADE LEVEL P1 (27 STALLS): 19,180 SF TOTAL PARKING AREA: 36,581 SF	
TOTAL BUILDING AREA: 111,068 SF OCCUPIED / FLOOR AREA ABOVE GRADE: 68,738 SF (EXCLUDES PARKING AND ROOF AREA)	
SETBACKS (PAMC 18.13.040 TABLE 2): SEE A1.0 & A1.1B/C FOR EXISTING SETBACKS - FRONT YARD (MIDDLEFIELD RD): 24' MIN. (PER ZONING MAP) REQUIRED / 25' PROPOSED - STREET SIDE YARD (UNIVERSITY AVE, ARTERIAL ROADWAY): 16' MIN. REQUIRED OR 1/20' ON ARTERIAL ROADWAYS, PER ZONING MAP / 7' PROPOSED - STREET REAR YARD (BYRON ST): 16' MIN. REQUIRED / 11' PROPOSED - INTERIOR SIDE YARD (>70' LOT WIDTH): 10' MIN. / 26'-6" PROPOSED	
SITE COVERAGE (PAMC 18.13.040 TABLE 2): 35% MAX + 5% COVERED PATIOS ALLOWED / 50.5% PROPOSED (11,382 SF / 22,526 SF)	
PROPOSED PROJECT SEEKS TO EXCEED ALLOWABLE SITE COVERAGE	
SITE OPEN SPACE (PAMC 18.13.040 TABLE 2): 35% MIN. BUILDING COVERAGE AREA (L1 BUILDING AREA): 11,382 SF (50.5%) GROUND LEVEL OPEN SPACE: 11,144 SF (49.5%) UPPER LEVEL BALCONIES: 6,107 SF TOTAL SITE OPEN SPACE: 17,251 SF ± PROPOSED	
MIN REQUIRED USABLE OPEN SPACE: 10,500 SF FOR 70 UNITS (150 SF / UNIT) MIN PRIVATE OPEN SPACE: 50 SF / UNIT (3,500 SF FOR 70 UNITS) MIN COMMON OPEN SPACE: 75 SF / UNIT (5,250 SF FOR 70 UNITS)	
PRIVATE OPEN SPACE PROVIDED (PRIVATE BALCONIES): 6,187 SF TOTAL (3,500 SF MIN. REQ.) 3,060 SF (51 UNITS PROV. W/ ~60 SF BALCONIES: 16-STU, 25-1BR & 8-2BR) 1,980 SF (30 UNITS PROV. W/ ~66 SF BALCONIES: 5-STU, 5-STU W/2 EA., 6-1BR W/2 EA. & 1-2BR W/2 EA.) 1,067 SF (2 UNITS PROVIDED WITH LARGER BALCONIES AT 4TH FLOOR) COMMON OPEN SPACE PROVIDED (GROUND LEVEL GARDEN): 735 SF (5,250 SF MIN.) TOTAL RESIDENTIAL OPEN SPACE PROVIDED: 6,842 SF PROPOSED (9,900 SF MIN. REQ.) 6,107 SF PRIVATE (3,500 SF MIN. REQ.) + 735 SF COMMON (5,250 SF MIN. REQ.)	
PROPOSED PROJECT SEEKS TO PROVIDE LESS OPEN SPACE THAN REQUIRED.	
BUILDING HEIGHT (PAMC 18.13.040 TABLE 2): 30' MAX ALLOWED * 54'-11" +/- PROPOSED TO T.O. OCCUPIED FLOOR (ABOVE B.F.E.) / 56'-8 1/2" FROM GRADE * 77'-11" +/- PROPOSED TO T.O. MECHANICAL SCREEN (ABOVE B.F.E.) / 79'-8 1/2" FROM GRADE (6 STORIES, SEE A3 - SERIES ELEVATIONS & SECTIONS FOR MORE INFORMATION / DIMENSIONS)	
PROPOSED PROJECT SEEKS TO EXCEED ALLOWABLE HEIGHT	
DAYLIGHT PLANE REQUIREMENTS (PAMC 18.13.040 TABLE 2): DAYLIGHT PLANE FOR SIDE & REAR LOT LINES FOR SITES ABUTTING RM-20, BEGINNING AT A HEIGHT OF 10' AT THE APPLICABLE LOT LINE AND INCREASING AT AN ANGLE OF 45 DEGREES UNTIL INTERSECTING THE HEIGHT LIMIT.	
PROPOSED PROJECT SEEKS TO EXCEED DAYLIGHT PLANE REQUIREMENTS.	
PROPOSED CONSTRUCTION TYPE: IIIA OVER IA (SEE A0.2A FOR MORE INFORMATION)	
PROPOSED OCCUPANCIES: A (ACCESSORY), B, R-2, S-1, S-2 (SEE A0.2A-C FOR MORE INFORMATION) ASSEMBLY AREA PROPOSED AS EXTERIOR TERRACE SPACE IS NOT A PART OF THE INTERIOR (OCCUPIED) FLOOR AREA	
SPRINKLER PROTECTION: 1. INSTALL A NFPA 13 FIRE SPRINKLER, NFPA 14 STANDPIPE, NFPA 20 FIRE PUMP AND NFPA 72 FIRE ALARM SYSTEM. 2. THIS BUILDING SHALL BE EVALUATED FOR AN EMERGENCY RESPONDER RADIO SYSTEM.	

2. PROPOSED PARKING CALCULATIONS

ZONING PARKING REQUIRED / PROPOSED (PAMC 18.52.040 TABLE 1):		TOTAL REQ./PROPOSED STALLS (W/ 13% TDM REDUCTION)	
PROVIDED UNITS	REQ. STALLS	TOTAL REQ. STALLS	
28 STUDIO UNITS	1 STALL / STUDIO UNIT	28 STALLS	24 STALLS
33 1BR UNITS	1 STALL / 1BR UNIT	33 STALLS	29 STALLS
9 2BR UNITS	2 STALLS / 2BR UNIT	18 STALLS	16 STALLS
UNASSIGNED ADA	2% OF UNITS	2 STALLS INCL. 1 VAN	2 STALLS INCL. 1 VAN
TOTAL: 70 UNITS		TOTAL: 81 STALLS	TOTAL: 71 STALLS (62 ACTUAL) (57 ASSIGNED + 5 ACCESSIBLE + 9 CODE PROVIDED)
TOTAL NON-RES. (OFFICE) SF 1,984 SF		REQ. STALLS 1 STALL / 250 SF OFFICE	TOTAL REQ. STALLS 8 STALLS
TOTAL REQUIRED STALLS		88 STALLS REQUIRED	78 STALLS REQUIRED (W/ 13% TDM REDUCTION)
ZONING PARKING BY LEVEL:		PROVIDED STALLS	
LOCATION		51 STALLS (STD + ACCESS. + STACKERS + CODE ACCESS. AISLE)	
BELOW GRADE LEVEL P2		27 STALLS (STD + ACCESS. + CODE ACCESS. AISLE)	
BELOW GRADE LEVEL P1			
TOTAL PROVIDED STALLS		78 STALLS PROPOSED (SEE DETAILS)	
P2 RESIDENTIAL (51 STALLS), 49 RESIDENTIAL EVSE OR EVSE OUTLET READY+ 2 ACCESS. AISLE (CODE) 49 TOTAL STALLS (NOT INCLUDING 3 EVSE ACCESSIBLE + 7 ACCESS AISLE (CODE) ON P1 LEVEL), RESIDENTIAL * 23 STACKER LIFTS (46 STALLS), EVSE INSTALLED OR EVSE OUTLET READY * 2 ACCESSIBLE STALLS (9'X18") WITH 8' LOADING, EVSE INSTALLED * 1 STD STALL, EVSE OUTLET READY		2 CODE PROVIDED STALLS (ACCESS. W/ ACCESS AISLE = 2 STALLS PER PAMC 18.52.040(B)(8)). SEE NOTES ON A2.P2	
P1 NON-RESIDENTIAL (OFFICE) + RESIDENTIAL (27 STALLS) 7 NON-RESIDENTIAL (OFFICE) + 13 RESIDENTIAL (STD + ADA) + 7 ACCESS. AISLE (CODE) 4 STD ACCESSIBLE STALLS (9' X 18" MIN. WITH MIN. 5' ACCESS AISLE) * 1 STD ACCESSIBLE, NON-RESIDENTIAL (OFFICE) * 1 UNDESIGNATED STD FUTURE EVSE ACCESSIBLE, NON-RESIDENTIAL (OFFICE) * 2 STD EVSE ACCESSIBLE, RESIDENTIAL		3 VAN ACCESSIBLE STALLS (12' X 18" MIN. WITH 5' ACCESS AISLE) * 1 VAN EVSE ACCESSIBLE, RESIDENTIAL * 1 VAN ACCESSIBLE, NON-RESIDENTIAL (OFFICE) * 1 UNDESIGNATED VAN EVSE ACCESSIBLE, NON-RESIDENTIAL (OFFICE)	
13 STD 90-DEGREE STALLS (9' X 17.5' MIN.) W/ 24' DRIVE AISLE, NON-RESIDENTIAL (OFFICE) + RESIDENTIAL * 1 STD FUTURE EVSE, NON-RESIDENTIAL (OFFICE) * 2 STD (DESIGNATED FOR CAV), NON-RESIDENTIAL (OFFICE) * 2 STD STALLS, EVSE INSTALLED OR OUTLET READY, RESIDENTIAL * 2 PUZZLE LIFTS (8 STALLS), RESIDENTIAL		7 CODE PROVIDED STALLS (ACCESS. W/ ACCESS AISLE = 2 STALLS PER PAMC 18.52.040(B)(8)), RESIDENTIAL, SEE NOTES ON A2.P1	

3. EV / CAV / ACCESSIBLE PARKING COMPLIANCE (BUILDING)

ACCESSIBLE PARKING REQUIRED / PROVIDED (INCLUDED IN PROPOSED PARKING CALCULATIONS), SEE NOTES ON A2.P1 AND A2.P2 REGARDING 'CODE-PROVIDED' STALLS AT ACCESSIBLE AISLES: 2 ADA REQUIRED/PROVIDED FOR RESIDENTIAL (2% OF ASSIGNED PARKING PER CBC 1109A.3), INCL. 1 VAN ACCESS. STD @ 9'X18" + VAN @ 12'X18" WITH 5' AISLE BETWEEN 3 EVSE ACCESSIBLE REQUIRED / 5 STALLS PROVIDED, (1 IN 25 PER CBC 4.106.4.2.2) 9'X18" WITH 8' LOADING	
1 ACCESSIBLE REQUIRED FOR NON-RES (OFFICE), 2 PROVIDED (FOR 1-25 TOTAL STALLS PER CBC 11B-208.2) INCL. MIN. 1 VAN (PER CBC 11B-208.2.4) STD @ 9'X18" + VAN @ 12'X18" WITH 5' AISLE BETWEEN	
DESIGNATED CAV PARKING REQUIRED / PROVIDED (INCLUDED IN PROPOSED PARKING CALCULATIONS): 2 CAV REQUIRED / PROVIDED (FOR 1-25 TOTAL NON-RES. (OFFICE) STALLS PER CGC TABLE A5.106.5.1.2)	
EV PARKING REQUIRED / PROVIDED (INCLUDED IN PROPOSED PARKING CALCULATIONS): 2 EVSE NON-RES. (OFFICE) STALLS REQUIRED / 3 PROVIDED (FOR 0-9 TOTAL STALLS PER PAMC 16.14.430 / A5.106.5.3)	
1 EVSE INSTALLED (5% OF 7 TOTAL STALLS PER PAMC 16.14.430), INCLUDING: * 1 STD FUTURE EVSE * 1 STD FUTURE EVSE ACCESSIBLE (FOR 5 TO 25 INSTALLED EVS PER CBC TABLE 11B-228.3.2.1) STALL IS UNDESIGNATED PER CBC 11B-812.8.1	
2 CONDUIT ONLY (FUTURE EV, REMAINING 20% OF 7 TOTAL STALLS), INCLUDING: * 1 STD FUTURE EVSE * 1 STD FUTURE EVSE ACCESSIBLE (FOR 5 TO 25 INSTALLED EVS PER CBC TABLE 11B-228.3.2.1) STALL IS UNDESIGNATED PER CBC 11B-812.8.1	
62 EVSE RESIDENTIAL STALLS (1 PER UNIT PER PAMC 16.14.420 / A4.106.8.2), NOT INCLUDING STD ACCESSIBLE NOTE: 70 UNITS ARE PROPOSED, BUT ONLY 62 STALLS ARE PROVIDED PER TDM REDUCTION PROPOSED, THEREFORE ONLY 62 RESIDENTIAL EVSE STALLS ARE PROVIDED (TOTAL 100% OF RESIDENTIAL STALLS)	
TOTAL NON-RES. (OFFICE) PARKING: 7 STALLS ACTUAL (2 CAV + 1 UNDESIGNATED VAN ACCESSIBLE EVSE + 1 STD (NON EV) VAN ACCESSIBLE + 1 STD (NON EV) ACCESSIBLE + 1 STD FUTURE EVSE + 1 UNDESIGNATED STD FUTURE ACCESSIBLE EVSE)	
TOTAL RESIDENTIAL PARKING: 62 STALLS ACTUAL (3 STD EVSE + 54 STACKER EVSE + 5 EVSE ACCESSIBLE)	

4. PROPOSED BIKE PARKING CALCULATIONS

BIKE PARKING REQUIRED (LEAST RESTRICTIVE IN GREY FOR REFERENCE ONLY) (PAMC 18.52.040 TABLE 1): 112,500 SF NON-RESIDENTIAL (OFFICE) (2 BIKES FOR 1,967 SF, 80% LONG-TERM + 20% SHORT-TERM) REQUIRED 1/UNIT RESIDENTIAL (70 BIKES FOR 70 UNITS, 100% LONG-TERM) REQUIRED 1/10 UNIT RESIDENTIAL GUEST (7 BIKES FOR 70 UNITS, 100% SHORT TERM) REQUIRED	
(CGC) SHORT-TERM (RACKS) FOR 5% OF PARKING TO BE PROVIDED PER CGC 5.106.4.1.1, A4.106.9.1 NON-RESIDENTIAL (OFFICE): 1 BIKES REQ. (5% OF 7 STALLS) RESIDENTIAL: 4 BIKES REQ. (5% OF 62 STALLS)	
LONG-TERM (LOCKERS OR SECURED ROOM) FOR 5% OF PARKING TO BE PROVIDED PER CGC 5.106.4.1.2, A4.106.9.2 OFFICE: 1 BIKES REQ. (5% OF 7 STALLS) RESIDENTIAL: 35 BIKES REQ. (1 PER EVERY TWO UNITS)	
BIKE PARKING PROVIDED: SHORT-TERM (RACKS) BIKE PARKING PROVIDED: 10 BIKES / 5 DUAL RACKS (SEE L1.1): * 4 RACKS (8 BIKES) RESIDENTIAL + 1 RACK (2 BIKES) NON-RESIDENTIAL (OFFICE) LONG-TERM (SECURED ENCLOSURE) BIKE PARKING PROVIDED (SEE A2.P2, A2.P1, AND A2.A1): 80 BIKES (70 MIN.) FOR RESIDENTIAL 8 BIKES NON-RESIDENTIAL (OFFICE)	



5. RESIDENTIAL UNIT MIX INCLUDING BMR

OVERALL UNIT MIX, 70 TOTAL UNITS (28 STUDIOS, 33 1BR, 9 2BR)														
(1 EMPLOYEE UNIT + 69 RENTABLE UNITS)														
FLOOR	UNIT A1 (STUDIO)	UNIT A2 (STUDIO)	UNIT B (STUDIO)	UNIT C (1BR)	UNIT D (1BR)	UNIT E (2BR)	UNIT F1 (1BR)	UNIT F2 (2BR)	UNIT F3 (2BR)	UNIT G (STUDIO)	UNIT H1 (1BR)	UNIT H2 (1BR)	UNIT J (STUDIO)	TOTAL / FLOOR
SECOND	5	1	1	1	2	1	0	0	0	1	2	1	1	16
THIRD	5	1	1	1	2	1	0	0	0	1	2	2	0	16
FOURTH	2	1	0	1	1	1	1	1	0	1	2	2	0	13
FIFTH	2	1	0	1	1	1	1	1	0	1	2	2	0	13
SIXTH	1	1	0	1	1	1	0	1	1	1	2	2	0	12
TOTAL / UNIT	15	5	2	5	7	5	2	3	1	5	10	9	1	70

BMR UNIT MIX, 14 TOTAL UNITS (6 STUDIOS, 7 1BR, 1 2BR)												
(20% OF TOTAL RENTABLE UNITS)												
	INCOME LEVEL	UNIT A1 (STUDIO)	UNIT A2 (STUDIO)	UNIT C (1BR)	UNIT D (1BR)	UNIT E (2BR)	UNIT G (STUDIO)	UNIT H1 (1BR)	WEIGHTED VALUE	# OF UNITS	% OF ACTUAL	WEIGHTED (ACTUAL)
BELOW MARKET RATE UNITS (20%, 14 UNITS)	VERY LOW INCOME	1	0	0	1	0	0	0	1.9	2	2.86%	5.43%
	LOW INCOME	1	1	1	0	0	1	1	1.2	5	7.14%	8.57%
	MODERATE INCOME	2	0	1	2	1	0	1	0.6	7	10.00%	6.00%
										14	20.00%	20.00%
UNIT TYPOLOGY	STUDIO: UNIT TYPE A1, A2, B, G (435 - 589 SF)											
	1-BEDROOM: UNIT TYPE C, D, F1, H1, H2 (517 - 878 SF)											
	2-BEDROOM: UNIT TYPE E1, F2, F3 (802 - 966 SF)											

SMITH DEVELOPMENT

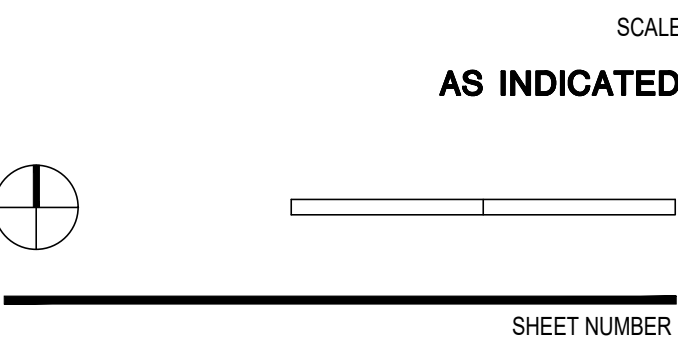
660 UNIVERSITY
PALO ALTO, CA 94301



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10
	08.08.25	PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
PROJECT INFORMATION



A0.1



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE

CODE & EGRESS COMPLIANCE

SCALE

1/16" = 1'-0"



0 16' 32'

SHEET NUMBER

A0.2B

LEGEND

- A-3 ASSEMBLY AREA
- B BUSINESS & ACCESSORY AREA***
- R-2 RESIDENTIAL AREA
- S-1, S-2 STORAGE & PARKING AREAS
- RATED BUILDING ELEMENT (AS NOTED)
- * COMMON PATH OF EGRESS (CBC T 1006.2.1)
A, M = 75' MAX. (SPRINKLERED)
B, S = 100' MAX. (SPRINKLERED)
- ** EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2)
A, M, R, S-1 = 250' MAX. (SPRINKLERED)
B = 300' MAX. (SPRINKLERED)
S-2 = 400' MAX. (SPRINKLERED)
- EGRESS PATH OF TRAVEL
- ACCESSIBLE PATH OF TRAVEL (SEE 3/-)
- POINT OF DECISION
(END OF COMMON PATH OF TRAVEL)

*** ACCESSORY OCCUPANCIES

PER CBC 508.2, ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED BUT ARE NOT REQUIRED TO BE SEPARATED (EXCEPT R-2 DWELLINGS ARE TO BE SEPARATED FROM EACH OTHER AS WELL AS CONTIGUOUS ACCESSORY SPACE, I.E. CORRIDORS). IN ADDITION, PER CBC 303.1.2, A ROOM OR SPACE THAT IS LESS THAN 750 SF AND/OR HAS AN OCCUPANT LOAD OF LESS THAN 50 SHALL BE CLASSIFIED AS B-OCCUPANCY OR AS A PART OF THAT OCCUPANCY WITH WHICH IT IS ASSOCIATED.

NOTE 1: ELEVATORS TO BE PROVIDED WITH SMOKE DOORS OR A SMOKEPROOF LOBBY (TYP. ALL FLOORS EXCEPT FIRST FLOOR)
NOTE 2: (1) RESIDENTIAL ELEVATOR (SERVING FLOORS P2 THROUGH ROOF) TO BE PROVIDED WITH STAND-BY POWER PER CBC 1009.4.1 AS REQUIRED TO PROVIDE AN ACCESSIBLE MEANS OF EGRESS

TYP. PARKING LEVEL OCCUPANCY CALCULATIONS:

OCCUPANCY: GROUP S-2 (1 OCC. / 200 SF)
AREA: 17,401 SF. / 200 = **88 OCC.**
(2 EXITS REQUIRED / PROVIDED)

PARKING EGRESS (DOOR) WIDTH: 88 X 0.2 = 17.6' MIN. REQUIRED
2 DOORS @ 32" MIN. CLR. EA. (64" TOTAL) PROVIDED

PARKING STAIR WIDTH: 88 X 0.3 = 26.4' MIN. REQUIRED
2 STAIRS @ 44" MIN. CLR. EA. (88" TOTAL) PROVIDED

FIRST FLOOR OCCUPANCY CALCULATIONS:

OFFICE OCCUPANCY (1,984 SF TOTAL), GROUPS A-2/A-3, S-1

OFFICE AREA (90% OF GROSS, 1,683 SF), GROUP B (1 OCC. / 150 SF)
SUB AREA: 1,683 SF. / 150 = **5 OCC.**

ASSEMBLY ALLOWANCE (10% OF GROSS) A-2, A-3 (1 OCC. / 15 SF)
SUB AREA: 198 SF. / 15 = **14 OCC.**

OFFICE TRASH ROOM (103 SF), GROUP S-1 (1 OCC. / 300 SF)
164 SF. / 300 = **1 OCC.**

20 TOTAL (INTERIOR) OFFICE OCCUPANTS (1 EXITS REQUIRED / 2 PROVIDED)

OFFICE EGRESS (DOOR) WIDTH: 20 X 0.2 = 4' MIN. REQ.
1 DOORS @ 64" MIN. CLR. + 1 DOOR @ 32" MIN. CLR. (EXITS 1 & 2) (96" TOTAL) PROV.

OFFICE STAIR/RAMP WIDTH: 20 X 0.3 = 6' MIN. REQ.
2 PATHS (EXITS 1 & 2) @ 44" MIN. CLR. EA. (88" TOTAL) PROV.

SHARED RES. + OFFICE FITNESS CENTER OCCUPANCY (1,829 SF TOTAL INT. + 498 SF EXT.) GROUPS A-2/A-3, B

ASSEMBLY AREA (90% OF GROSS, 1 OCC. / 15 SF) GROUPS A-2, A-3
SUB AREA: 1,646 SF. / 15 = **110 OCC.** (2 EXITS REQ/PROV - EXITS 1 & 2)

OFFICE ALLOWANCE (10% OF GROSS, 1 OCC. / 150 SF) GROUP B
SUB AREA: 183 SF. / 150 = **2 OCC.** (1 EXIT REQUIRED / 2 PROVIDED)

EXT. TERRACE (498 SF) GROUP A-3 (1 OCC. / 15 SF), **TREATED AS ENCLOSED AREA**
498 SF / 15 = **34 OCC.** (1 EXIT REQUIRED / PROVIDED)

146 TOTAL FITNESS CENTER OCCUPANTS (2 EXITS REQUIRED / PROVIDED)

FITNESS CENTER EGRESS (DOOR) WIDTH: 146 X 0.2 = 29.2' MIN. REQ.
2 DOORS (EXITS 3 & 4) @ 64" MIN. CLR. EA. (128" TOTAL) PROV.

FITNESS CENTER STAIR/RAMP WIDTH: 146 X 0.3 = 43.8' MIN. REQ.
2 PATHS (EXITS 3 & 4) @ 44" MIN. CLR. EA. (88" TOTAL) PROV.

RESIDENTIAL OCCUPANCY (5,401 SF TOTAL INT. + 735 SF EXT.), GROUPS A-2/A-3, B, S-1

LOBBY/LOUNGE, MAIL, ETC. (3,390 SF) GROUP A-2/A-3 (1 OCC. / 15 SF)
3,390 SF / 15 = **226 OCCUPANTS** (3 EXITS REQ. / PROV - EXITS 5, 6 & 7)

LEASING OFFICE, COWORKING SPACE, ETC. (1,828 SF) GROUP B (1 OCC. / 150 SF)
1,828 SF / 150 = **13 OCCUPANTS** (1 EXIT REQ. / 3 PROV)

JANITOR CLOSET, FIRE ACCESS, STORAGE (183 SF) GROUP S-1 (1 OCC. / 300 SF)
183 SF / 300 = **1 OCCUPANT**

240 TOTAL RESIDENTIAL OCCUPANTS (3 EXITS REQUIRED / PROVIDED)

RESIDENTIAL EGRESS (DOOR) WIDTH: 240 X 0.2 = 48" MIN. REQ.
2 DOOR @ 64" MIN. CLR. + 1 DOOR @ 32" MIN. CLR. (EXITS 5, 6 & 7) (160" TOTAL) PROV.

RESIDENTIAL STAIR/RAMP WIDTH: 240 X 0.3 = 72" MIN. REQ.
1 PATH @ 44" MIN. CLR. + 2 PATH @ 50" MIN. CLR. (EXITS 5, 6 & 7) (144" TOTAL) PROV.

EXTERIOR GARDEN TERRACE (735 SF) GROUP A-3 (1 OCC. / 15 SF)
735 SF / 15 = **49 OCC.** (1 EXIT REQUIRED / PROVIDED)

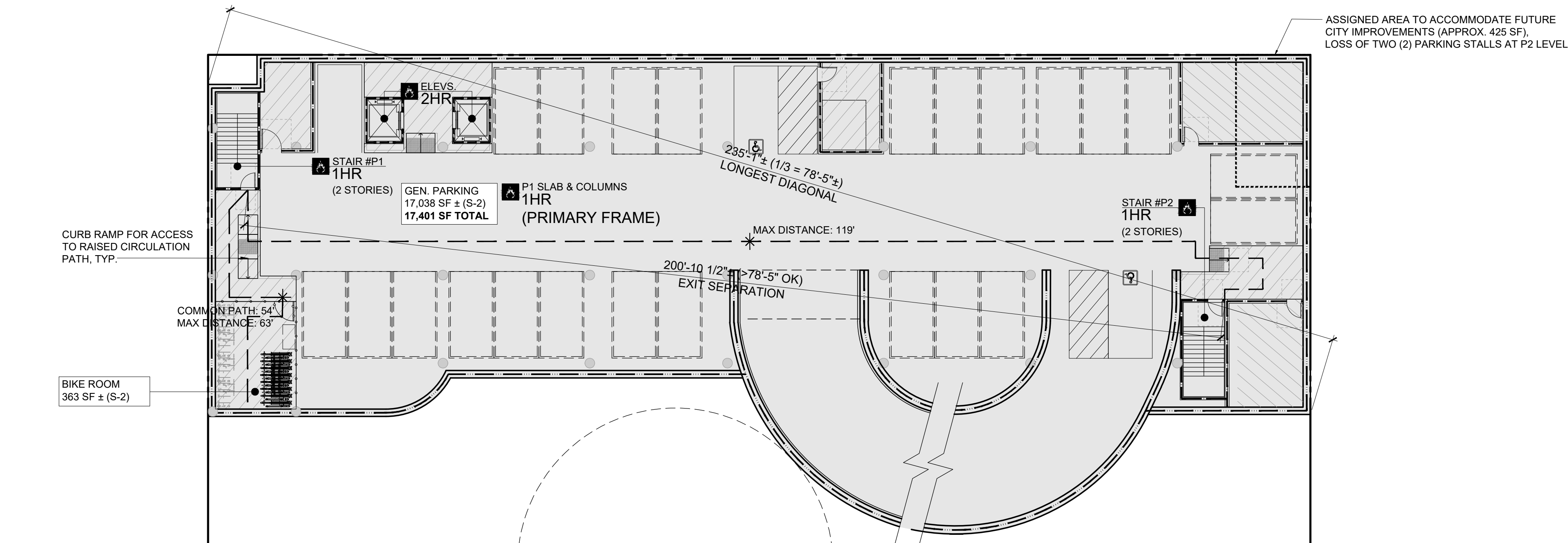
OCCUPANCIES EXCLUDED FROM OVERALL DUE TO DIRECT EXITS TO EXTERIOR
ELEC. RM + RES. TRASH RM (633 SF & 1,053 SF), GROUP S-1 (1 OCC. / 300 SF)
633 / 300 = **3 OCC.** + 1,053 / 300 = **4 OCC.**, (1 EXIT REQ/PROV AT EACH ROOM)

STAIRS #1/2 (230 SF + 252 SF = 482 SF TOTAL) GROUP B-ACCESSORY (1 OCC. / 150 SF)
230 / 150 = **2 OCC.** + 252 / 150 SF = **2 OCC.**, (1 EXIT REQ/PROV. AT EACH ROOM)

EXIT DOORS R1 / R2 & STAIR WIDTH (ABOVE / AT GRADE) BASED ON ROOF OCC. CALCS
EXT. DOOR WIDTH = 34" CLR. EA, I.E. 38" DOOR (EXITS R1/R2 ONLY)
MIN. AT GRADE STAIR WIDTH = 50" (EXITS R1/R2 ONLY)

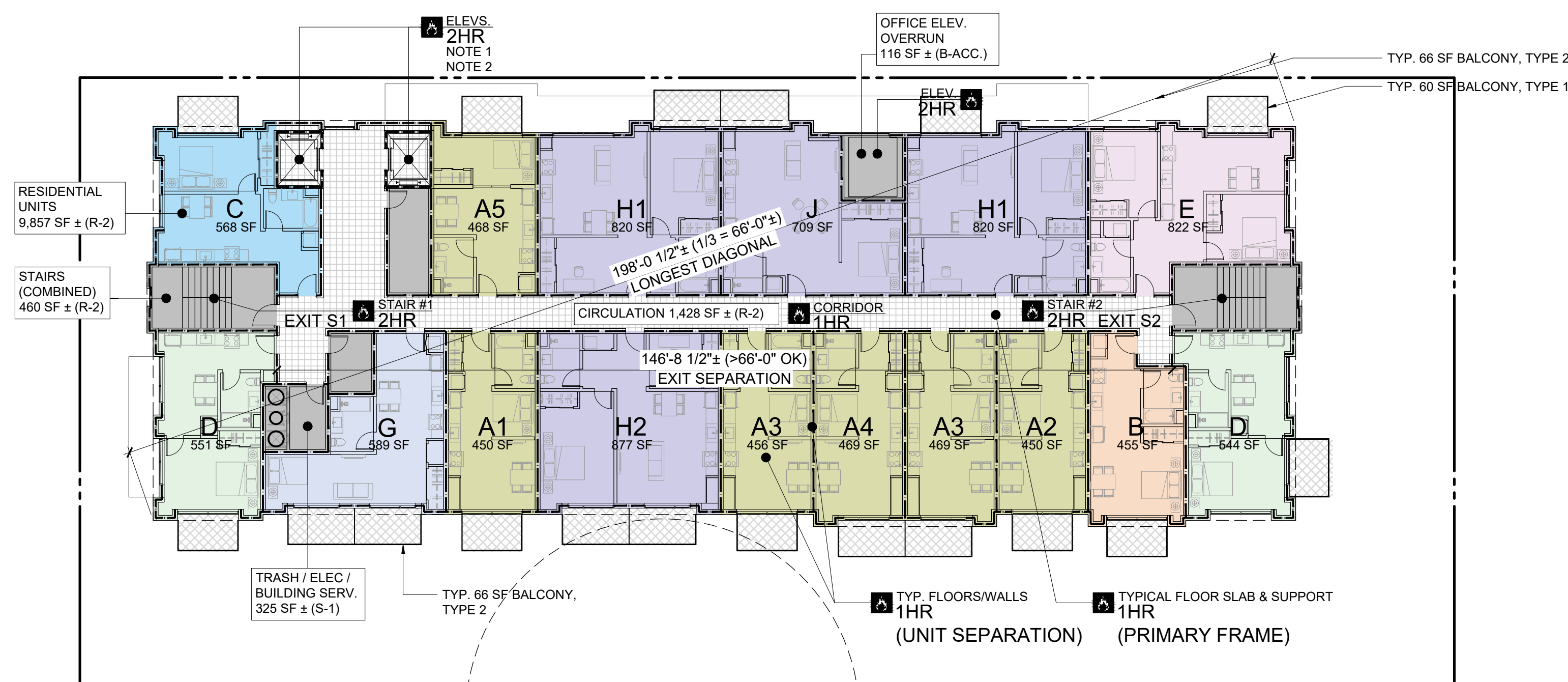
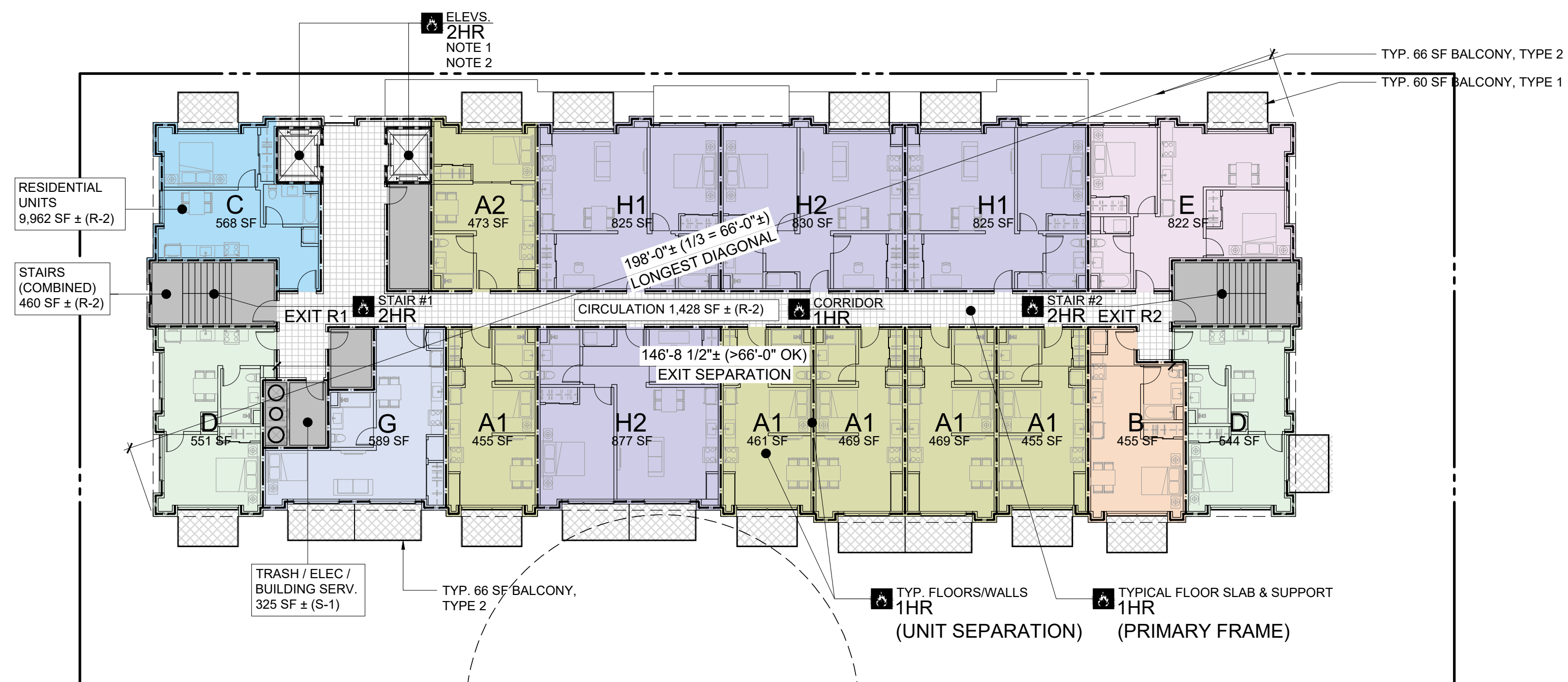
2 FIRST FLOOR EGRESS PLAN

1/16"=1'-0"



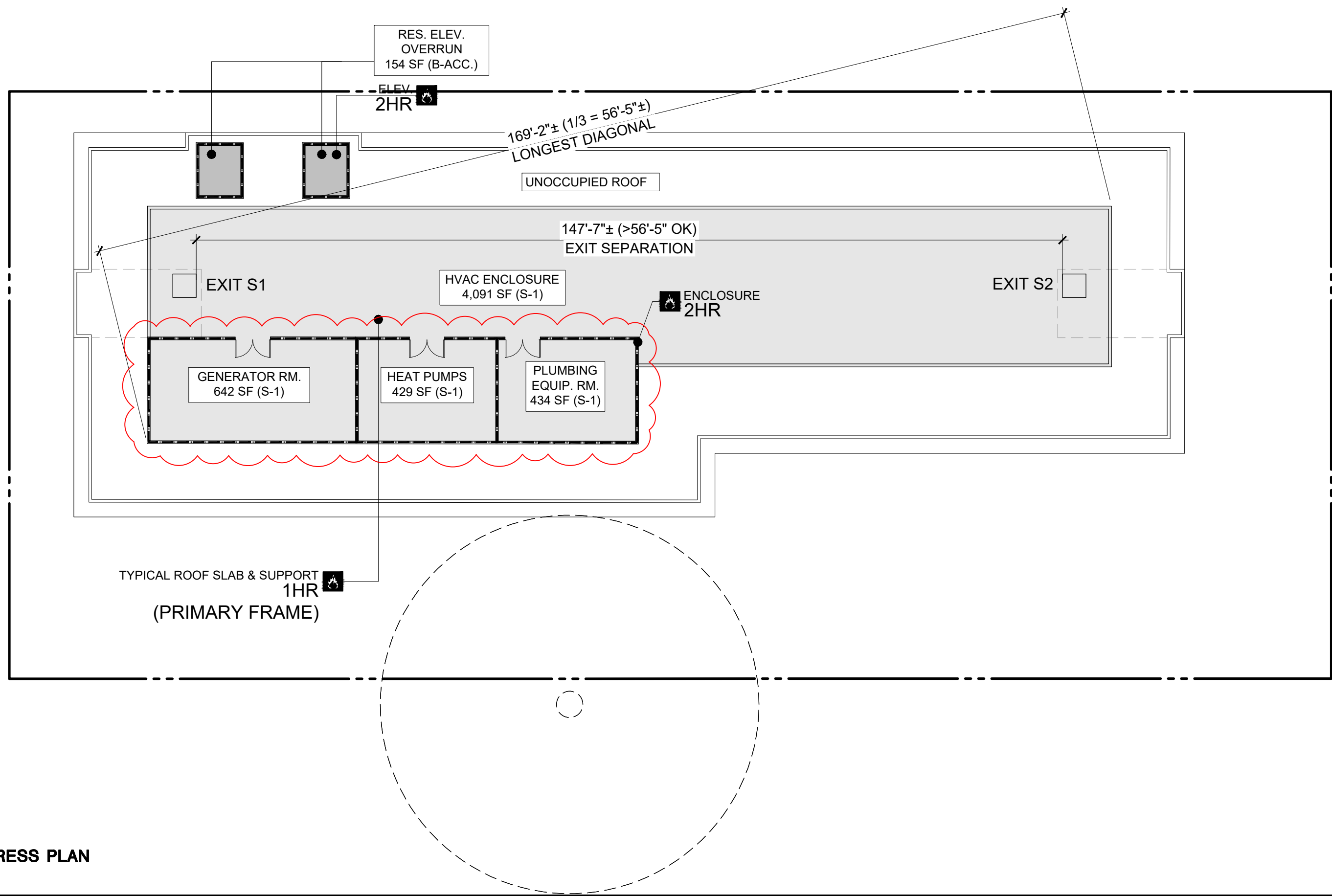
1 PARKING P2 LEVEL EGRESS PLAN (P1 LEVEL SIM.)

1/16"=1'-0"



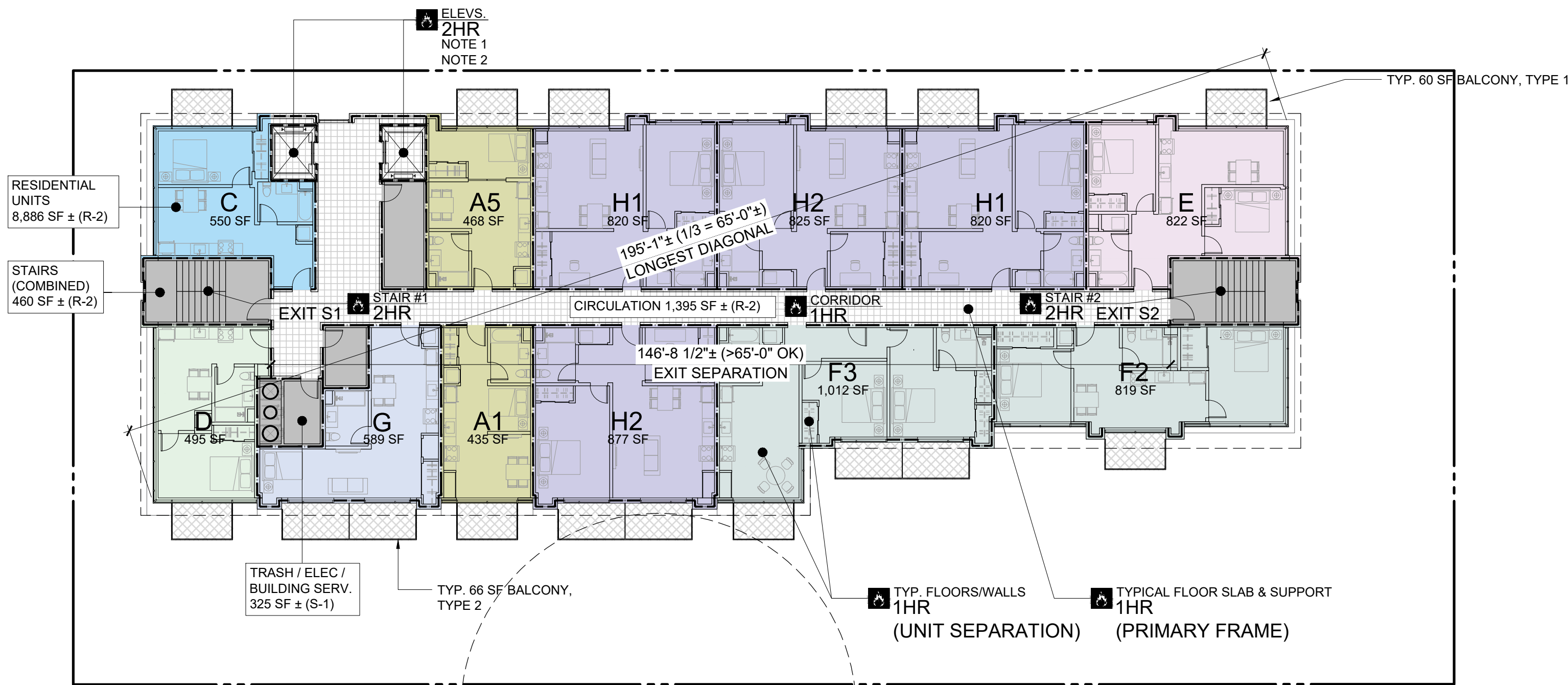
3

ROOF / TERRACE EGRESS PLAN
1/16"=1'-0"



2

SIXTH FLOOR EGRESS PLAN
1/16"=1'-0"



LEGEND

- A-3 ASSEMBLY AREA
B BUSINESS & ACCESSORY AREA***
R-2 RESIDENTIAL AREA
S-1, S-2 STORAGE & PARKING AREAS
- RATED BUILDING ELEMENT (AS NOTED)
* COMMON PATH OF EGRESS (CBC T 1006.2.1)
A, M = 75' MAX. (SPRINKLERED)
B, S = 100' MAX. (SPRINKLERED)
** EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2)
A, M, R, S-1 = 250' MAX. (SPRINKLERED)
B = 300' MAX. (SPRINKLERED)
S-2 = 400' MAX. (SPRINKLERED)
- EGRESS PATH OF TRAVEL
ACCESSIBLE PATH OF TRAVEL (SEE 3-)
POINT OF DECISION (END OF COMMON PATH OF TRAVEL)

*** ACCESSORY OCCUPANCIES
PER CBC 508.2, ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED BUT ARE NOT REQUIRED TO BE SEPARATED (EXCEPT R-2 DWELLINGS ARE TO BE SEPARATED FROM EACH OTHER AS WELL AS CONTIGUOUS ACCESSORY SPACE, I.E. CORRIDORS). IN ADDITION, PER CBC 303.1.2, A ROOM OR SPACE THAT IS LESS THAN 750 SF AND/OR HAS AN OCCUPANT LOAD OF LESS THAN 50 SHALL BE CLASSIFIED AS B-OCCUPANCY OR AS A PART OF THAT OCCUPANCY WITH WHICH IT IS ASSOCIATED.

NOTE 1: ELEVATORS TO BE PROVIDED WITH SMOKE DOORS OR A SMOKEPROOF LOBBY (TYP. ALL FLOORS EXCEPT FIRST FLOOR)
NOTE 2: (1) RESIDENTIAL ELEVATOR (SERVING FLOORS P2 THROUGH ROOF) TO BE PROVIDED WITH STAND-BY POWER PER CBC 1009.4.1 AS REQUIRED TO PROVIDE AN ACCESSIBLE MEANS OF EGRESS

SIXTH FLOOR RESIDENTIAL OCCUPANCY CALCULATIONS: RESIDENTIAL OCC. (10,837 SF TOTAL), GROUPS R-2, S-1

CIRCULATION (1,395 SF) GROUP R-2 (1 OCC. / 200 SF)
1,395 / 200 = 7 OCC.

STORAGE (325 SF, ELEC. + TRASH ROOMS), GROUP S-1 (1 OCC. / 300 SF)
325 / 300 = 2 OCC.

STAIRS (2 STAIRS @ 230 SF EA. = 460 SF TOTAL), GROUP R-2 (1 OCC. / 200 SF)
460 / 200 = 3 OCC.

12 RESIDENTIAL UNITS (8,866 SF), GROUP R-2 (1 OCC. / 200 SF)
8,866 / 200 = 45 OCC. (BY AREA) **USE SUB-CALC BELOW BY UNIT**

UNIT TYPE A1/A2 (435 - 468 SF) W/ BALCONY TYPE 1, TYP. OF 1
468 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. EA / 8 OCC. TOTAL

UNIT TYPE C (550 SF) W/ BALCONY TYPE 1, TYP. OF 1
550 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE D (495 SF) W/ BALCONY TYPE 1, TYP. OF 1
495 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE E (822 SF) W/ BALCONY TYPE 1, TYP. OF 1
822 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE F2 (839 SF) W/ BALCONY TYPE 1, TYP. OF 1
839 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE F3 (1,012 SF) W/ BALCONY TYPE 1 + (2) BALCONY TYPE 2, TYP. OF 1
1,012 / 200 = 6 OCC. (INT) + 3 OCC. (EXT) = 9 OCC. TOTAL

UNIT TYPE G (589 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
589 / 200 = 3 OCC. (INT) + 2 OCC. (EXT) = 5 OCC. TOTAL

UNIT TYPE H1/H2 (820 - 825 SF) W/ BALCONY TYPE 1, TYP. OF 3
825 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. EA / 18 OCC. TOTAL

UNIT TYPE H2 (877 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
877 / 200 = 5 OCC. (INT) + 2 OCC. (EXT) = 7 OCC. TOTAL

SUBTOTAL UNIT OCCUPANTS: 66

BALCONY CALCULATIONS, INCLUDED ABOVE (CALCULATED AT 1/200 SF AS ACCESSORY TO PRIVATE RES. AREA):
10 TYPE 1 BALCONIES 60 SF EA. / 200 = 1 OCC. EA.
6 TYPE 2 BALCONIES 66 SF EA. / 200 = 1 OCC. EA.

78 TOTAL RESIDENTIAL OCCUPANTS (2 EXITS REQUIRED / PROVIDED)

RESIDENTIAL EGRESS (DOOR) WIDTH: 78 X 0.2 = 15.6" MIN. REQ.
2 DOORS (EXITS S1 & S2) @ 32" MIN. CLR. EA. (64" TOTAL) PROV.

RESIDENTIAL STAIR WIDTH: 78 X 0.3 = 23.4" MIN. REQ.
2 STAIRS (EXITS S1 & S2) @ 50" MIN. CLR. EA. (100" TOTAL) PROV.

ROOF OCCUPANCY CALCULATIONS:
ROOF OCCUPANCY (5,749 SF TOTAL), GROUPS B-ACCESSORY, S-1

OFFICE ELEVATOR AREA (154 SF) GROUP B-ACCESSORY (1 OCC. / 150 SF)
154 SF / 150 = 2 OCC.

HEAT PUMPS (429 SF) GROUP S-1 (1 OCC. / 300 SF), TREATED AS ENCLOSED AREA
429 SF / 300 = 2 OCC.

PLUMBING EQUIPMENT RM. (434 SF) GROUP S-1 (1 OCC. / 300 SF), ENCLOSED AREA
434 SF / 300 = 2 OCC.

GENERATOR ROOM (642 SF) GROUP S-1 (1 OCC. / 300 SF), ENCLOSED AREA
642 / 300 = 3 OCC.

HVAC / ENCLOSURE AREA (4,091 SF) GROUP S-1 (1 OCC. / 300 SF)
4,091 SF / 300 = 14 OCC.

23 TOTAL OCCUPANTS (1 EXITS REQUIRED / 2 EXITS PROVIDED)

ROOF EGRESS (HATCH) WIDTH: 23 X 0.2 = 4.6" MIN. REQ.
2 HATCHES (EXITS S1 & S2) @ 48" MIN. CLR. EA. (96" TOTAL) PROV.

SMITH DEVELOPMENT

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PALO ALTO, CA 94301

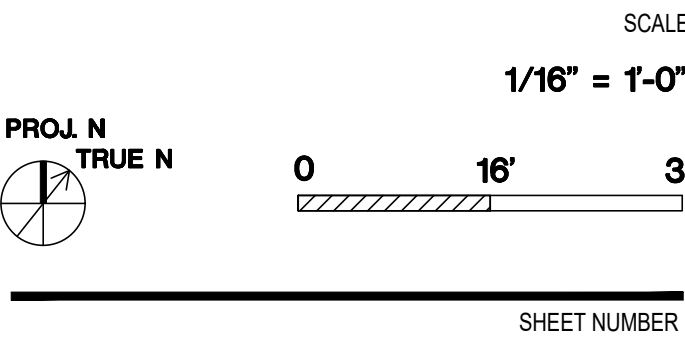


ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.25		PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

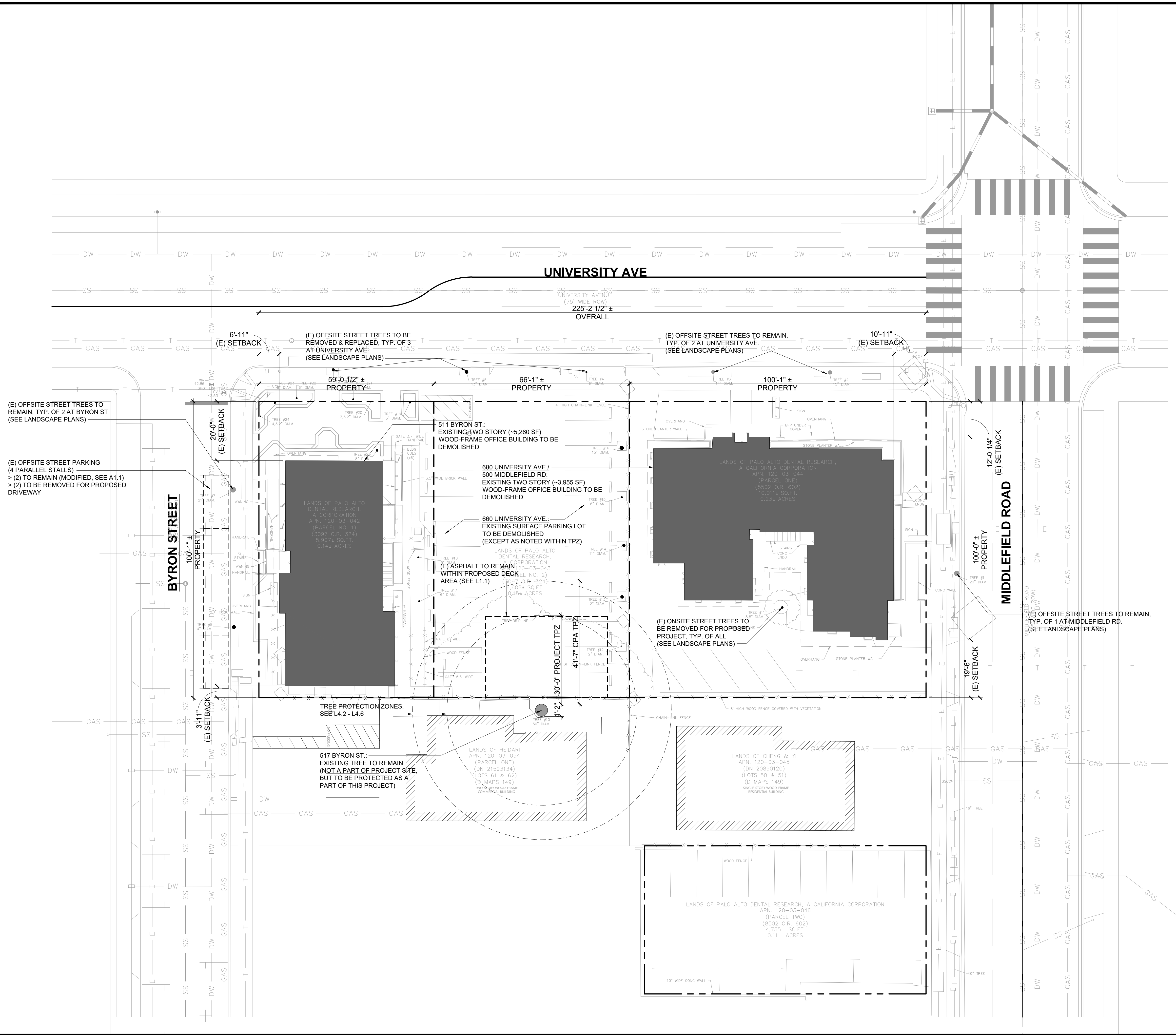
SHEET TITLE
CODE & EGRESS COMPLIANCE



A0.2E



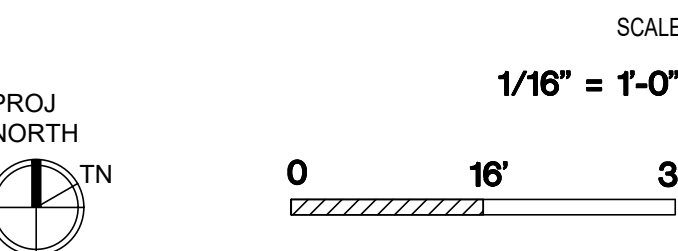
ARCHITECTS
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9

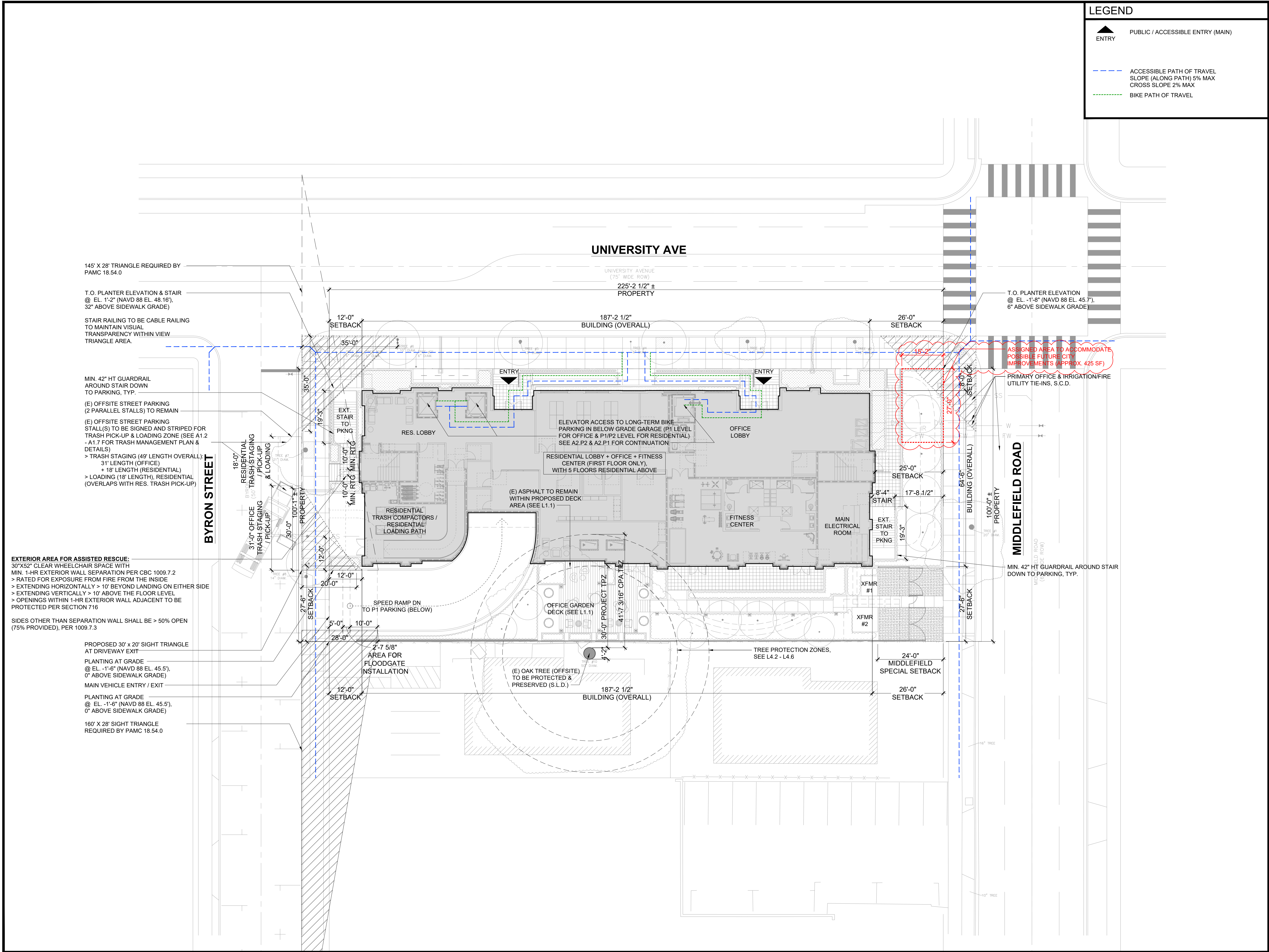
PROJECT NUMBER
21003

SHEET TITLE
EXISTING
SITE PLAN



SHEET NUMBER

A1.0



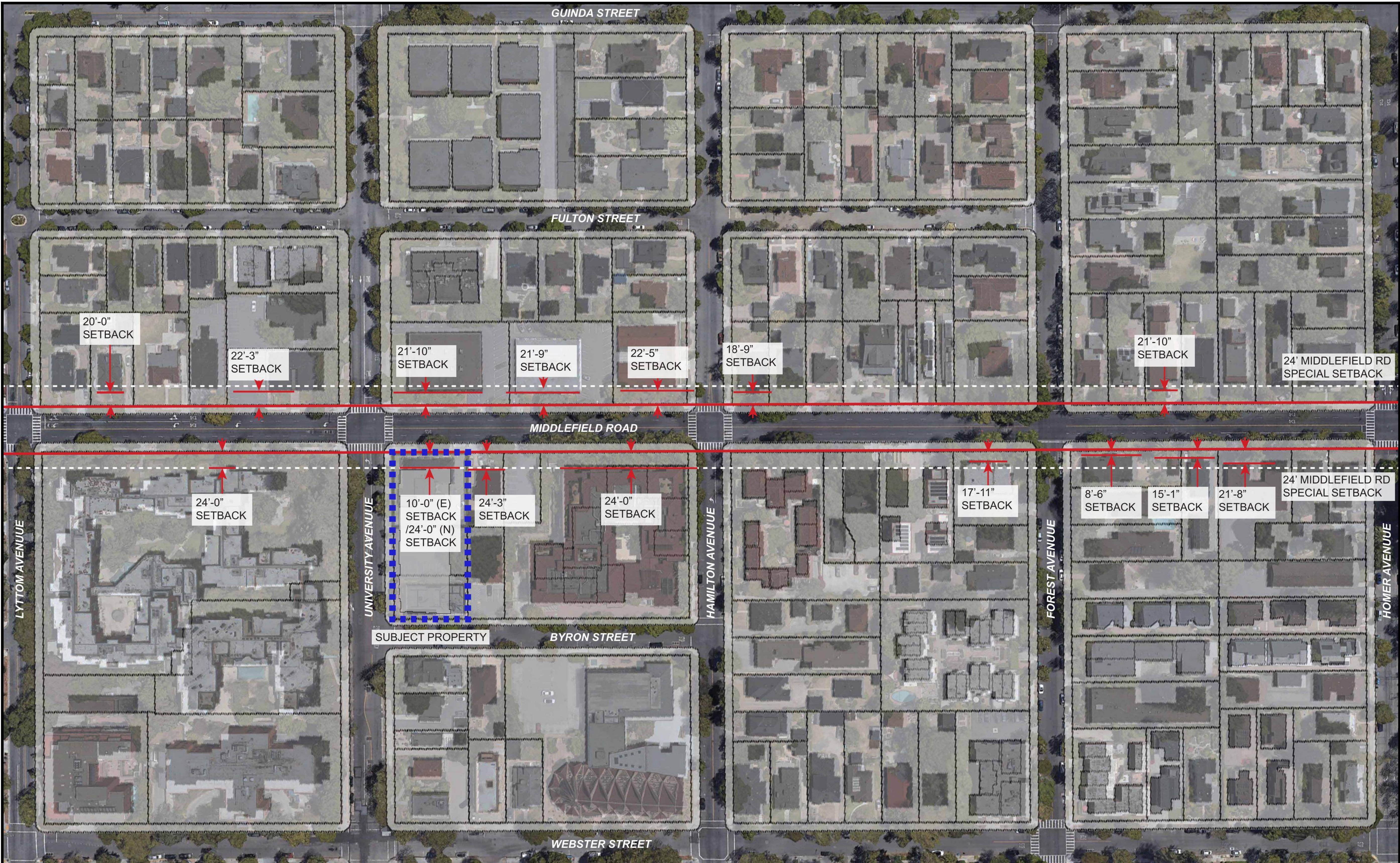
SMITH DEVELOPMENT

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ARCHITECTS
KORTH SUNSERI HAGEY

A1.1A



MIDDLEFIELD RD SETBACKS

SETBACKS (PAMC 18.13.040 TABLE 2):
FRONT YARD (MIDDLEFIELD RD): 24' MIN. (PER ZONING MAP) REQUIRED / 25' PROPOSED

STREET SIDE YARD (UNIVERSITY AVE, ARTERIAL ROADWAY):
16' MIN. REQUIRED OR 0-20' ON ARTERIAL ROADWAYS, PER ZONING MAP / 7' PROPOSED

STREET REAR YARD (BYRON ST): 16' MIN. REQUIRED / 11' PROPOSED

INTERIOR SIDE YARD (>70' LOT WIDTH): 10' MIN. / 25'-6' PROPOSED

SMITH DEVELOPMENT

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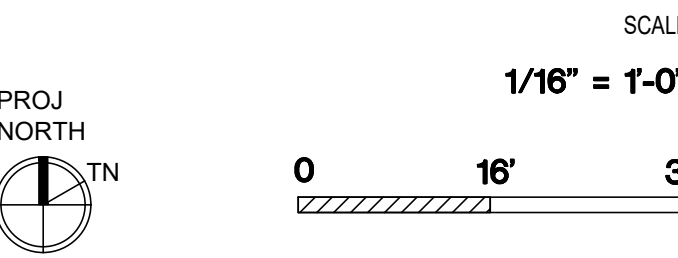


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ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

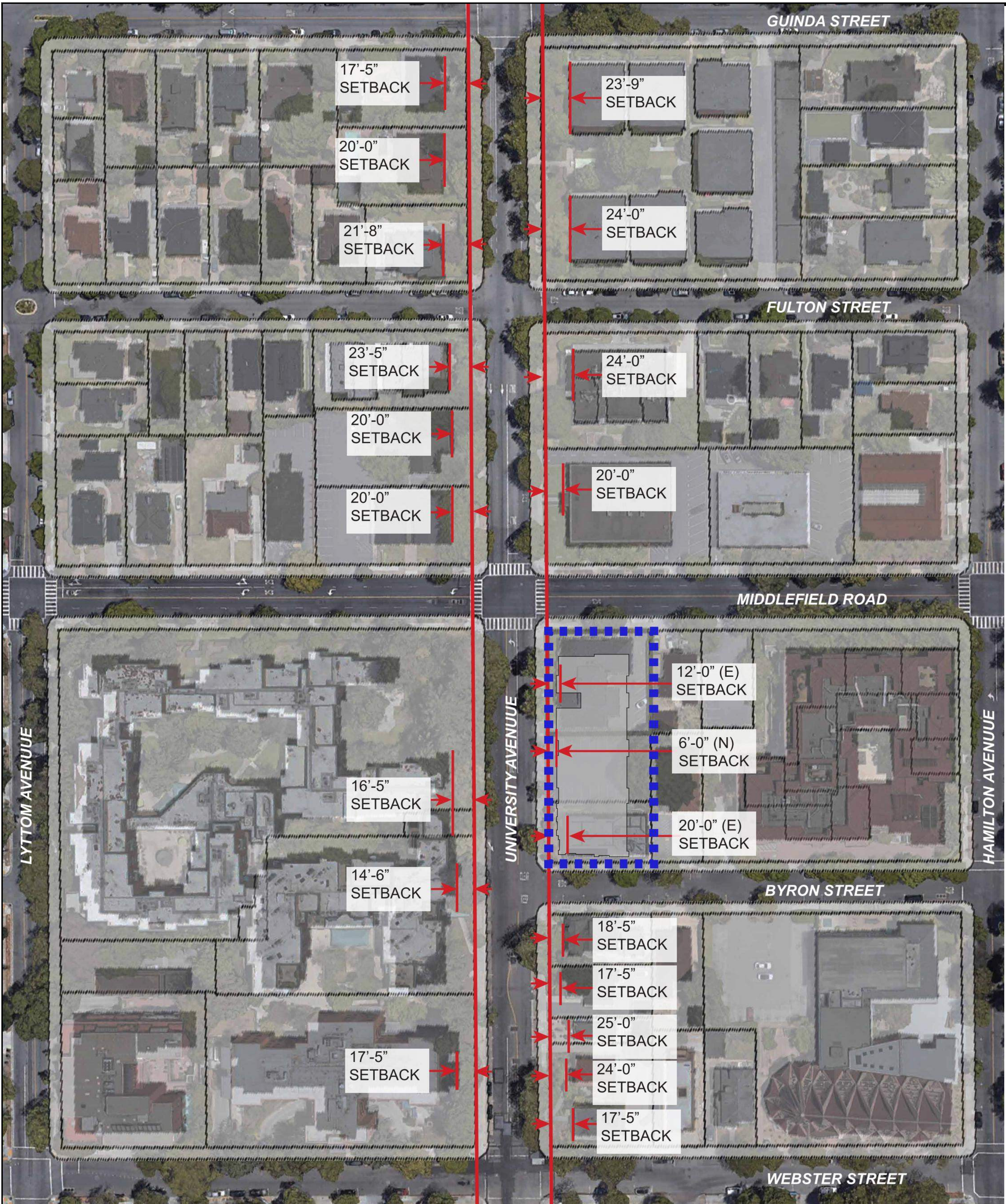
PROJECT NUMBER
21003

SHEET TITLE
OVERALL NEIGHBORHOOD
CONTEXT SITE PLAN



SHEET NUMBER

A1.1B



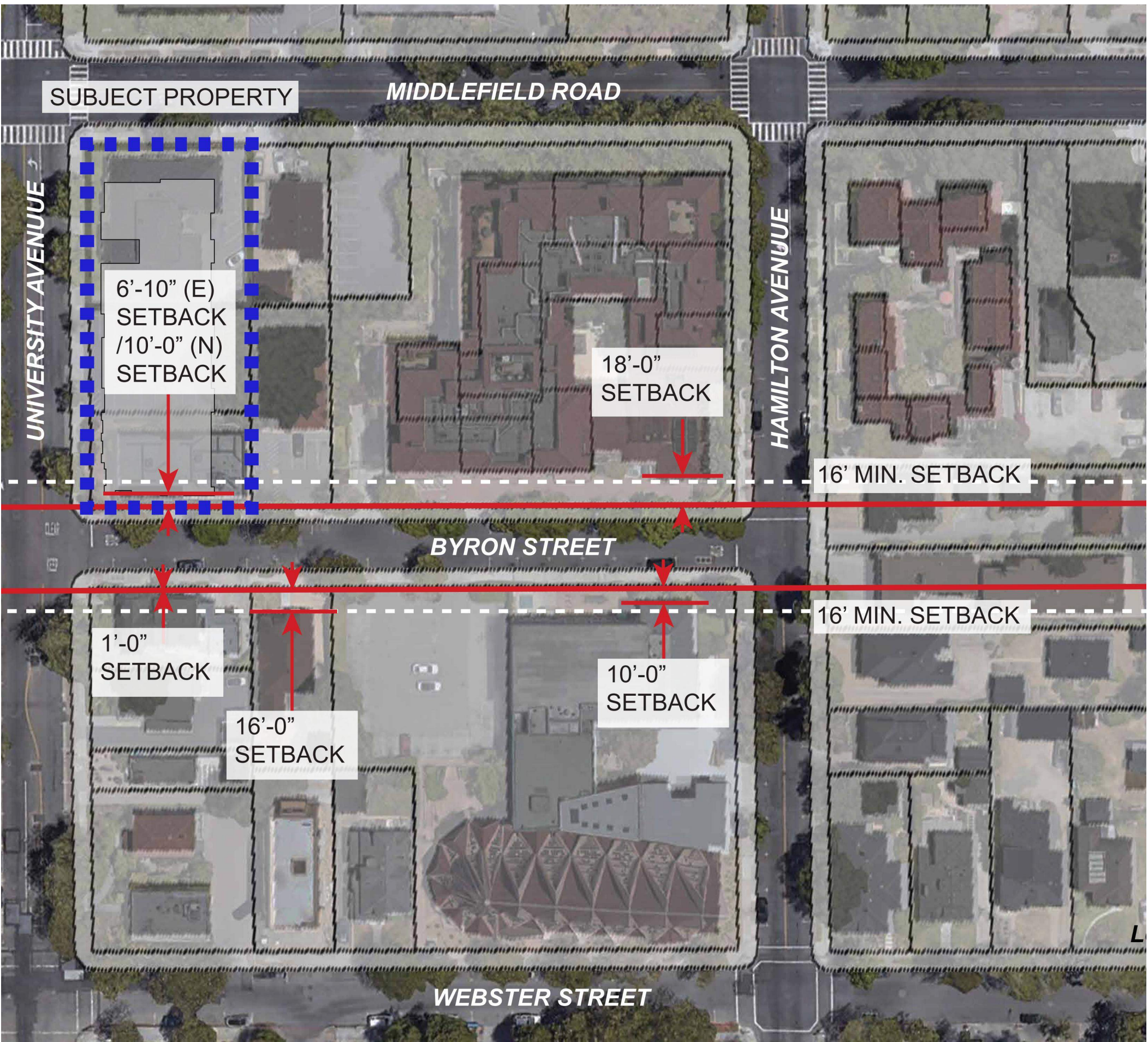
UNIVERSITY AVE SETBACKS

SETBACKS (PAMC 18.13.040 TABLE 2):
FRONT YARD (MIDDLEFIELD RD): 24' MIN. (PER ZONING MAP) REQUIRED / 25' PROPOSED

STREET SIDE YARD (UNIVERSITY AVE, ARTERIAL ROADWAY):
16' MIN. REQUIRED OR 0-20' ON ARTERIAL ROADWAYS, PER ZONING MAP / 7' PROPOSED

STREET REAR YARD (BYRON ST): 16' MIN. REQUIRED / 11' PROPOSED

INTERIOR SIDE YARD (>70' LOT WIDTH): 10' MIN. / 25'-6' PROPOSED



BYRON ST SETBACKS

SETBACKS (PAMC 18.13.040 TABLE 2):
FRONT YARD (MIDDLEFIELD RD): 24' MIN. (PER ZONING MAP) REQUIRED / 25' PROPOSED

STREET SIDE YARD (UNIVERSITY AVE, ARTERIAL ROADWAY):
16' MIN. REQUIRED OR 0-20' ON ARTERIAL ROADWAYS, PER ZONING MAP / 7' PROPOSED

STREET REAR YARD (BYRON ST): 16' MIN. REQUIRED / 11' PROPOSED

INTERIOR SIDE YARD (>70' LOT WIDTH): 10' MIN. / 25'-6' PROPOSED

SMITH DEVELOPMENT

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PALO ALTO, CA 94301

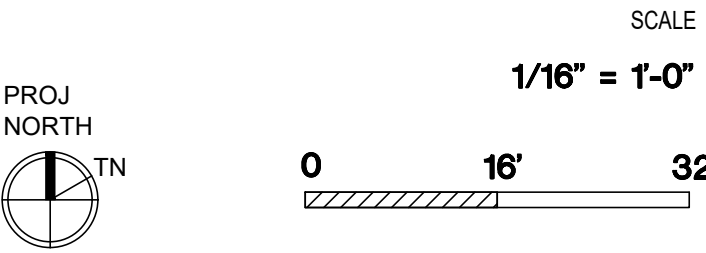


ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

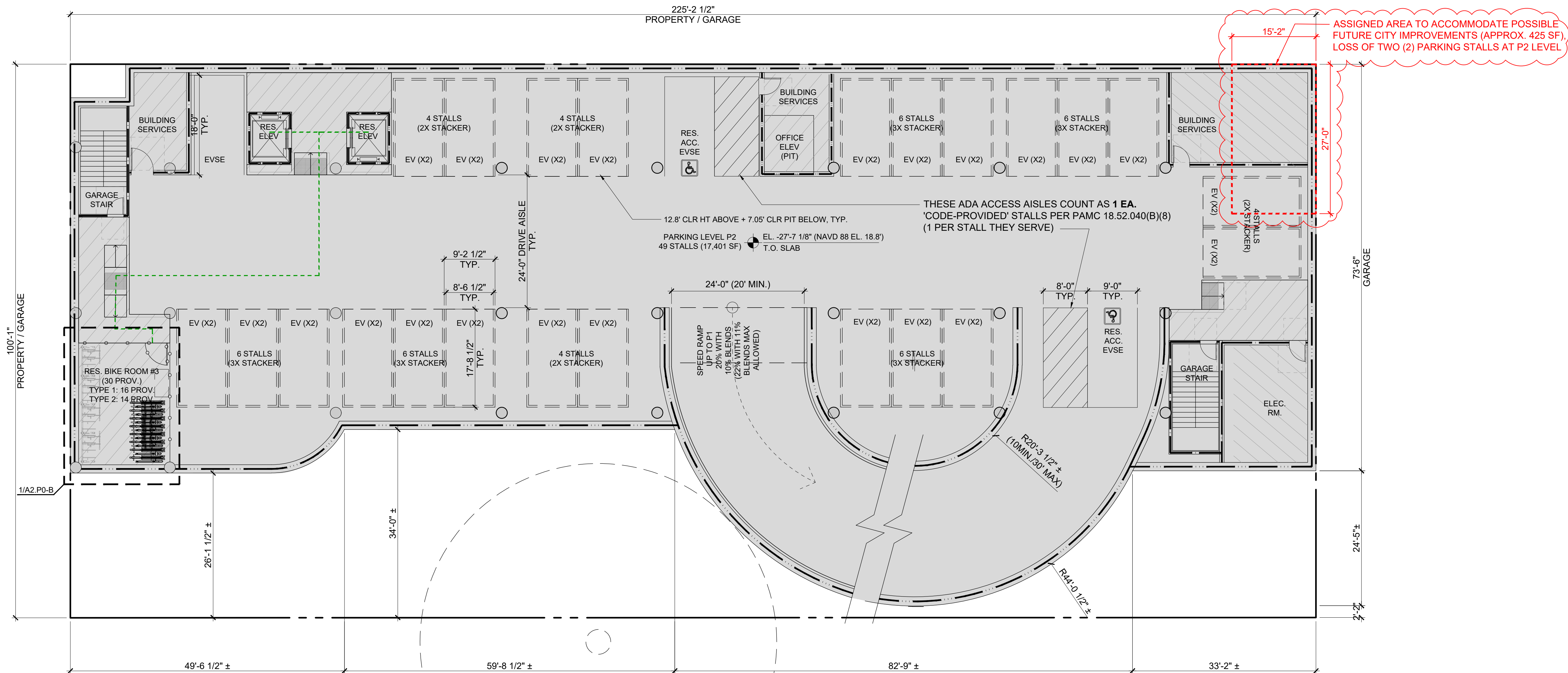
PROJECT NUMBER
21003

SHEET TITLE
OVERALL NEIGHBORHOOD
CONTEXT SITE PLAN



SHEET NUMBER

A1.1C



LEGEND

- ENTRY PUBLIC / ACCESSIBLE ENTRY (MAIN)
- ACCESS PUBLIC / ACCESSIBLE ACCESS (TO PARKING, AMENITIES, ETC.)
- ACCESSIBLE PATH OF TRAVEL SLOPE (ALONG PATH) 5% MAX CROSS SLOPE 2% MAX
- BIKE PATH OF TRAVEL
- 1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 3-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

SMITH DEVELOPMENT

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PALO ALTO, CA 94301



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.2025		PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE

PROPOSED PLAN
BELOW GRADE PARKING LEVEL P2

SCALE

3/32" = 1'-0"



0 10'-8" 21'-4"

SHEET NUMBER

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 3/8" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

P2 RESIDENTIAL (49 STALLS PROVIDED / 51 TOTAL PER CODE), 49 RESIDENTIAL + 2 ADA AISLE (NOT INCL. 20 ON P1 LEVEL)

49 RESIDENTIAL STALLS (ALL TO BE EVSE INSTALLED OR EVSE OUTLET READY)

* 23 STACKER LIFTS (46 STALLS), 12.8' CLR HT + 7.05' CLR PIT

* 2 RES. ACCESSIBLE EVSE STALLS WITH 8' LOADING

* 1 RESIDENTIAL (EVSE OUTLET READY) STD. STALL

2 CODE PROVIDED STALLS (ADA ACCESS AISLES)

RESIDENTIAL PARKING REQUIREMENTS (FOR REF), PER CBC 11A:

2 ACCESSIBLE STALLS REQ. (2% OF TOTAL UNITS OR STALLS, WHICHEVER IS GREATER)

* 1 STD ADA (9' X 18') + 1 VAN ADA (12' X 18'), WITH 5' ACCESS AISLE, @ P1 LEVEL

62 EV CHARGING STALLS (1 EVSE-READY OUTLET OR EVSE INSTALLED / UNIT PER PAMC 16.14.420),

INCLUDING 3 WITH 8' LOADING (1 / 25 STALLS PER CGC 4.106.4.2.2), 2 @ P2 LEVEL + 1 @ P1 LEVEL

TOTAL RESIDENTIAL STALLS PROPOSED (P2 LEVEL): 51 (49 ASSIGNED + 2 UNASSIGNED ADA + 2 CODE PROVIDED) STALLS INCLUDING 20 STALLS AT P1 LEVEL

P2 FLOOR PLAN

3/32"=1'-0"

EL. 1'-2" (NAVD 88 EL. 48.16')
FIRST FLOOR (LOBBY)
EL. 0'-0" (NAVD 88 EL. 47')
BASE FLOOD ELEVATION
EL. -1'-8 1/8" ± (NAVD 88 EL. 45.31')
TOP OF RAMP
EL. -1'-9 1/2" ± (NAVD 88 EL. 45.2')
BACK OF SIDEWALK
EL. -13'-1 1/8" ±
P1 LEVEL

2'-7 7/16"
2% SLOPE FOR
FLOODGATE
INSTALLATION

6 DEGREE BREAKOVER ANGLE

5'-0" 2% SLOPE
10'-0" BLEND 11% SLOPE
42'-11 3/8" 22% SLOPE
10'-0" BLEND 11% SLOPE
62'-11 3/8" 22% SLOPE SPEED RAMP W/ 11% BLEND

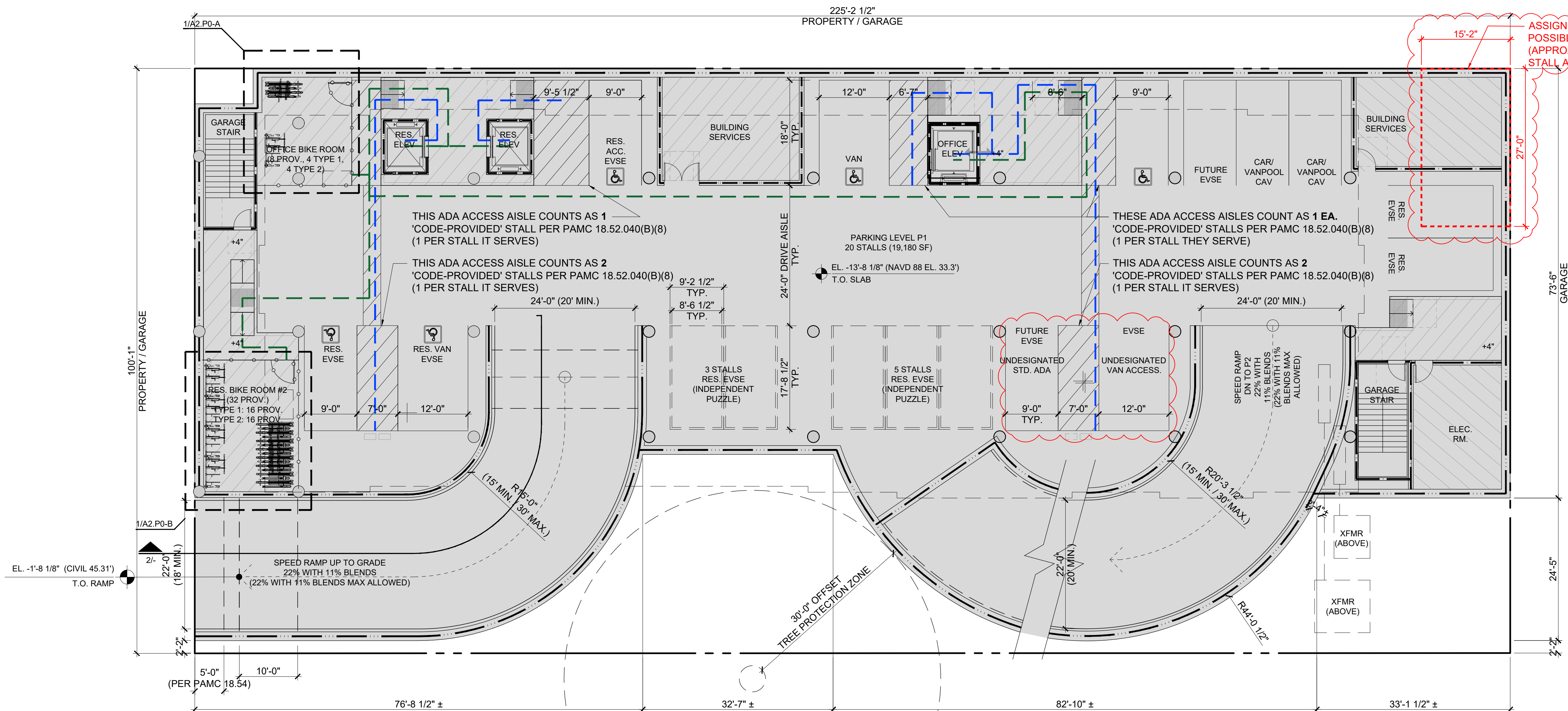
LEGEND

- ENTRY PUBLIC / ACCESSIBLE ENTRY (MAIN)
- ACCESS PUBLIC / ACCESSIBLE ACCESS (TO PARKING, AMENITIES, ETC.)
- ACCESSIBLE PATH OF TRAVEL SLOPE (ALONG PATH) 5% MAX CROSS SLOPE 2% MAX
- BIKE PATH OF TRAVEL
- 1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 3-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

2

BUILDING SECTION AT VEHICLE ENTRY RAMP

3/32"=1'-0"



RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 3" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

P1 FLOOR PLAN

3/32"=1'-0"

P1 PARKING (20 STALLS PROVIDED / 27 TOTAL PER CODE), 7 OFFICE + 13 RESIDENTIAL + 7 ADA AISLE
2 ACCESSIBLE STALLS REQUIRED / PROVIDED FOR RESIDENTIAL, INCL. 1 VAN ADA
1 RESIDENTIAL (EVSE OR EVSE OUTLET READY) STALL WITH 8' LOADING

1 ACCESSIBLE STALL REQUIRED / 2 PROVIDED FOR OFFICE, INCL. 1 VAN ADA

1 EVSE INSTALLED REQUIRED / 1 PROVIDED FOR OFFICE (5%), INCL. 1 UNDESIGNATED VAN ADA
2 FUTURE EVSE REQUIRED / PROVIDED FOR OFFICE (+20%), INCL. 1 UNDESIGNATED ADA

2 CAV REQUIRED / PROVIDED FOR OFFICE

10 EV CHARGING STALLS (1 EVSE-READY OUTLET OR EVSE INSTALLED / UNIT PER PAMC 16.14.420) FOR RESIDENTIAL
7 CODE PROVIDED STALLS (ADA ACCESS AISLES) FOR RESIDENTIAL

TOTAL OFFICE PARKING (P1 LEVEL): 7 STALLS
TOTAL RESIDENTIAL STALLS (P1 LEVEL): 13 STALLS
TOTAL RESIDENTIAL W/ CODE PROVIDED STALLS: 20 STALLS

SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.2025		PLANNING RESUBMITTAL #11

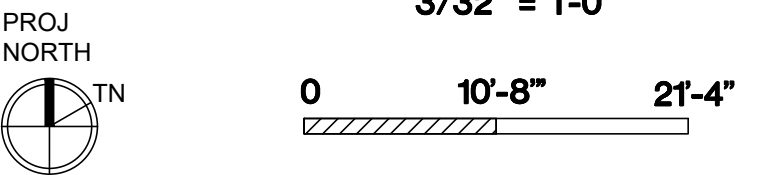
PROJECT NUMBER
21003

SHEET TITLE

**PROPOSED PLAN
BELOW GRADE PARKING LEVEL P1**

SCALE

3/32" = 1'-0"



SHEET NUMBER

A2.P1

UNIVERSITY AVE

UNIVERSITY AVENUE
(75' WIDE ROW)

LEGEND

- 1-HR RATED WALL, SEE A0.2A - C
FOR MORE INFORMATION
- 2-HR RATED WALL, SEE A0.2A - C
FOR MORE INFORMATION

SMITH DEVELOPMENT

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PALO ALTO, CA 94301



ARCHITECTS
KORTH SUNSERI HAGEY

ASSIGNED AREA TO ACCOMMODATE
POSSIBLE FUTURE CITY
IMPROVEMENTS (APPROX. 425 SF)

NOTE:
ALL INTERIOR DEMISING AND
PARTITION WALLS SUBJECT TO
CHANGE PRIOR TO PERMIT
SUBMITTAL AND APPROVAL

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING $\frac{1}{4}$ " OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.25		PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED PLAN
FIRST FLOOR

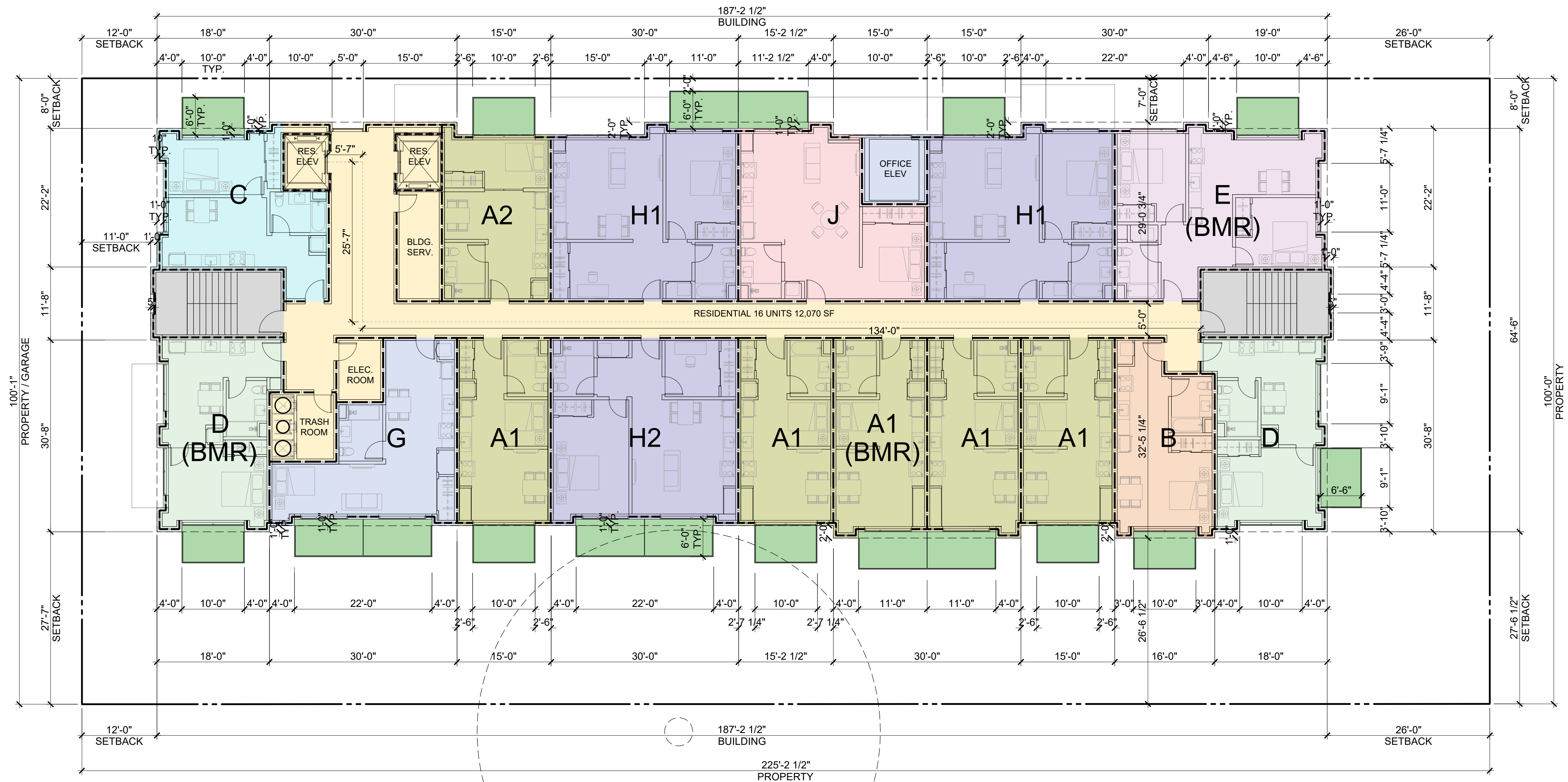
SCALE
 $\frac{3}{32}" = 1'-0"$



0 10'-8" 21'-4"

SHEET NUMBER

A2.1



LEGEND	
	1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
	2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

SMITH DEVELOPMENT

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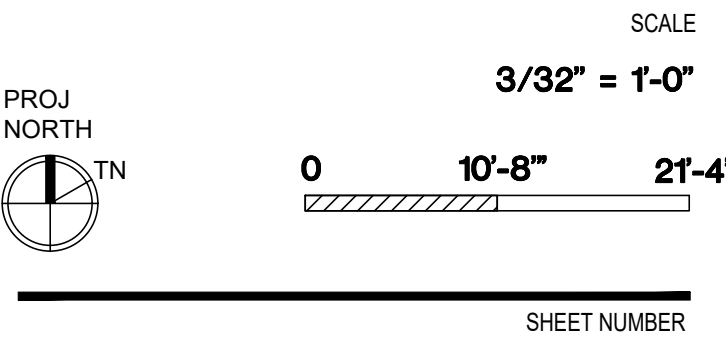


ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED PLAN
SECOND FLOOR



RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

A2.2A



RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING $\frac{1}{4}$ " OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

LEGEND	
	1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
	2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

SMITH DEVELOPMENT

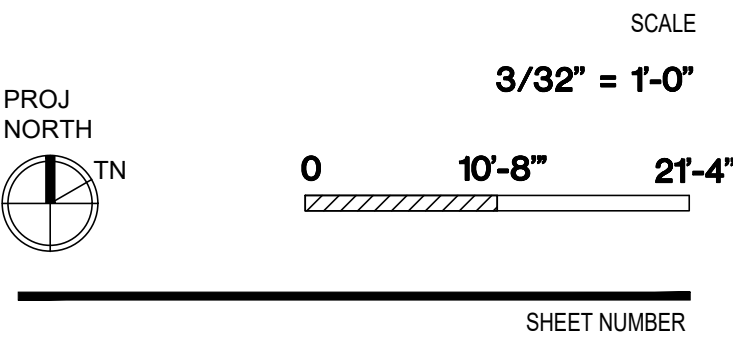
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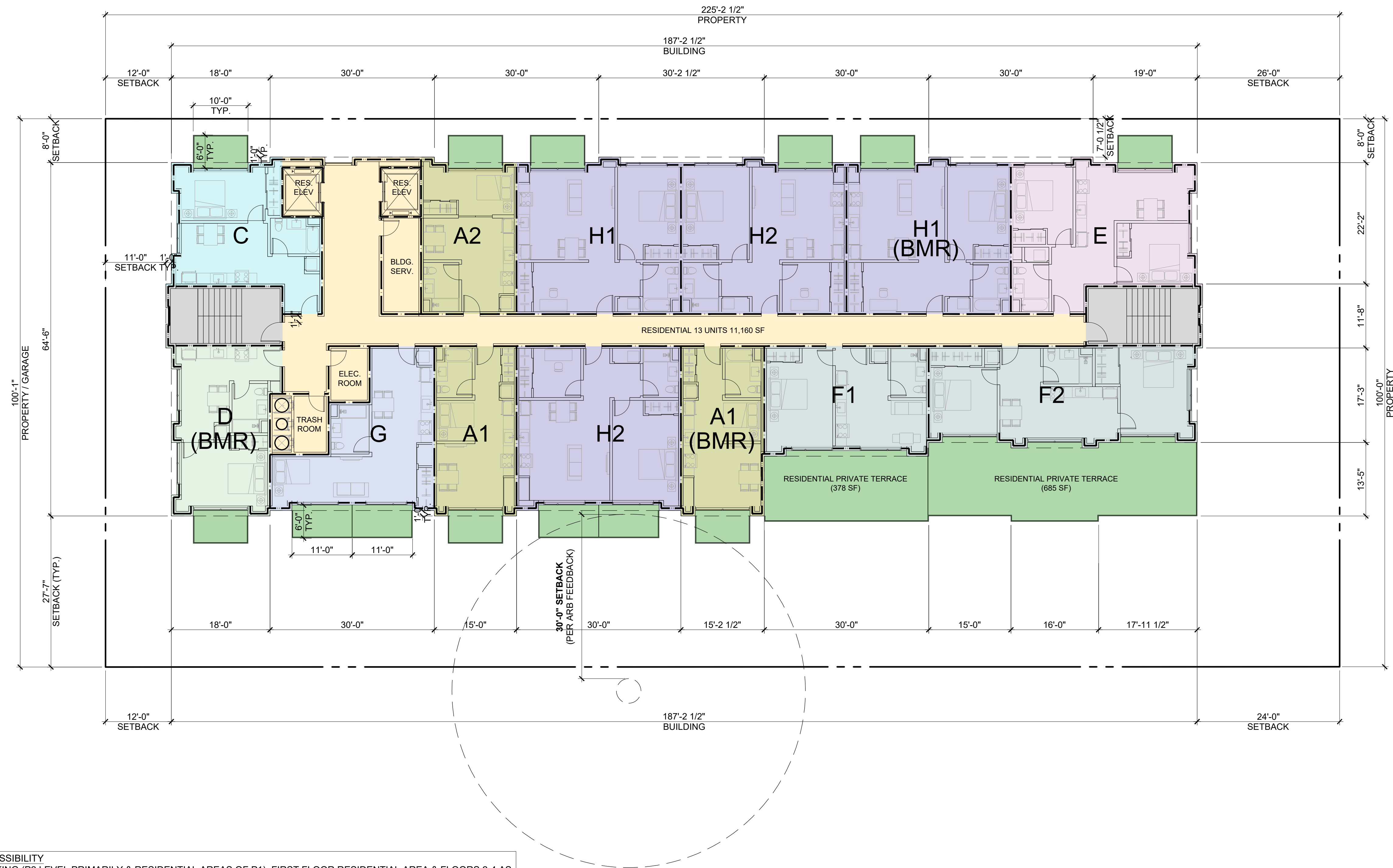
ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10
	08.08.25	PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
THIRD FLOOR**



A2.2B



LEGEND	
	1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
	2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

SMITH DEVELOPMENT

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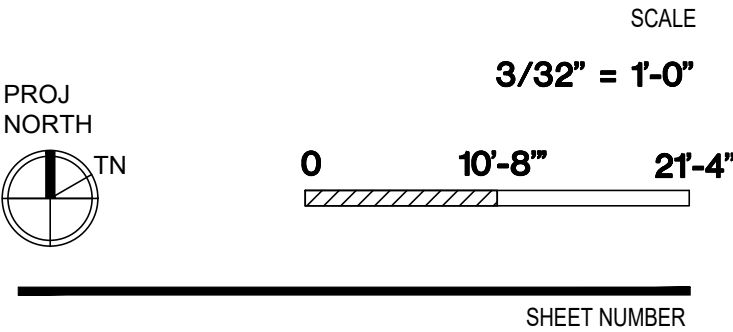


ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED PLAN
FOURTH FLOOR



A2.3A



LEGEND	
	1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
	2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

SMITH DEVELOPMENT

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PALO ALTO, CA 94301



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
FIFTH FLOOR**

PROJ
NORTH

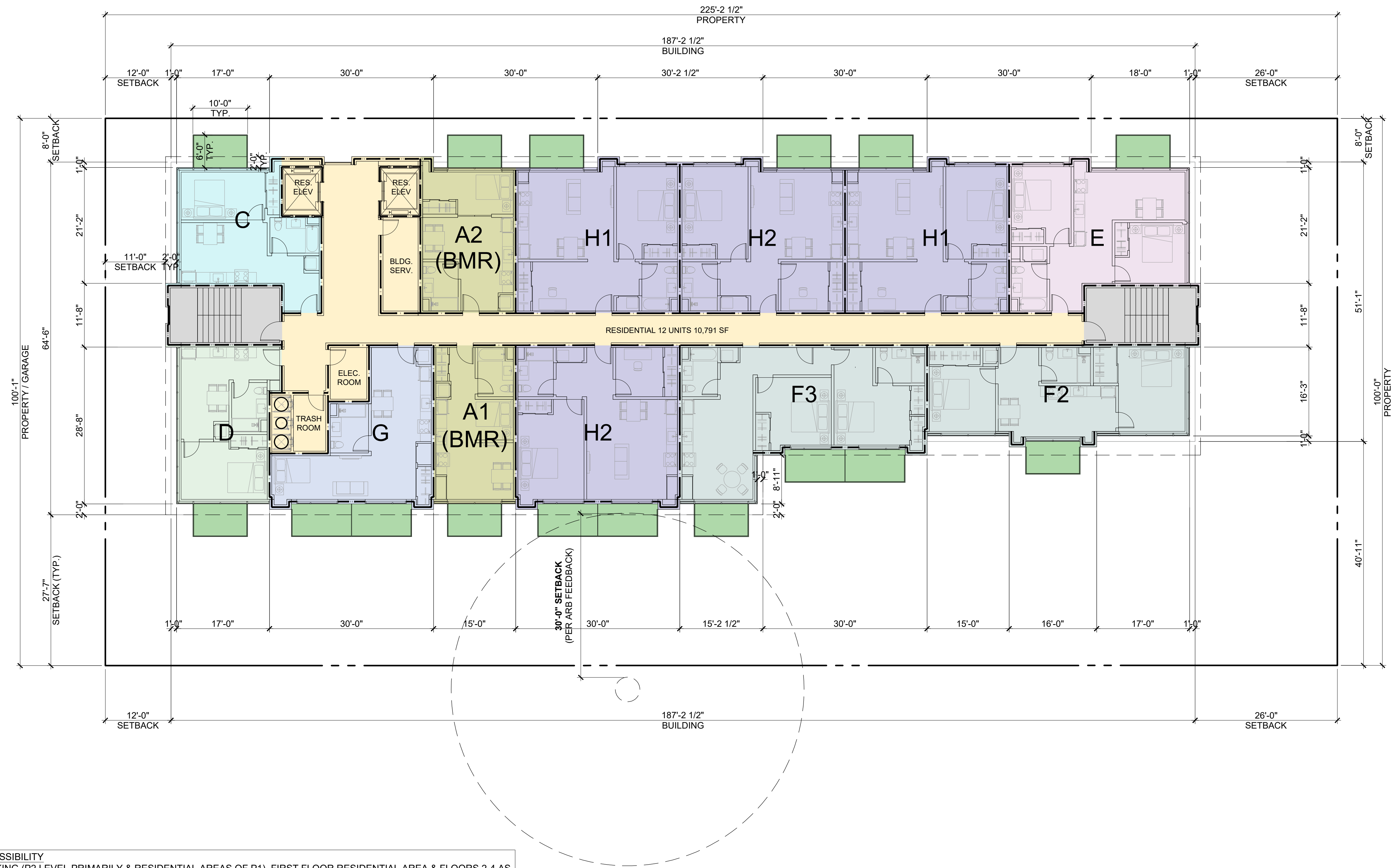
SCALE

3/32" = 1'-0"

0 10'-8" 21'-4"

SHEET NUMBER

A2.3B



LEGEND	
	1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
	2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING $\frac{1}{4}$ " OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

SMITH DEVELOPMENT

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PALO ALTO, CA 94301



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED PLAN
SIXTH FLOOR

SCALE
3/32" = 1'-0"



0 10'-8" 21'-4"

SHEET NUMBER

A2.3C



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISION
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10
	08.08.25	PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED PLAN
ROOF

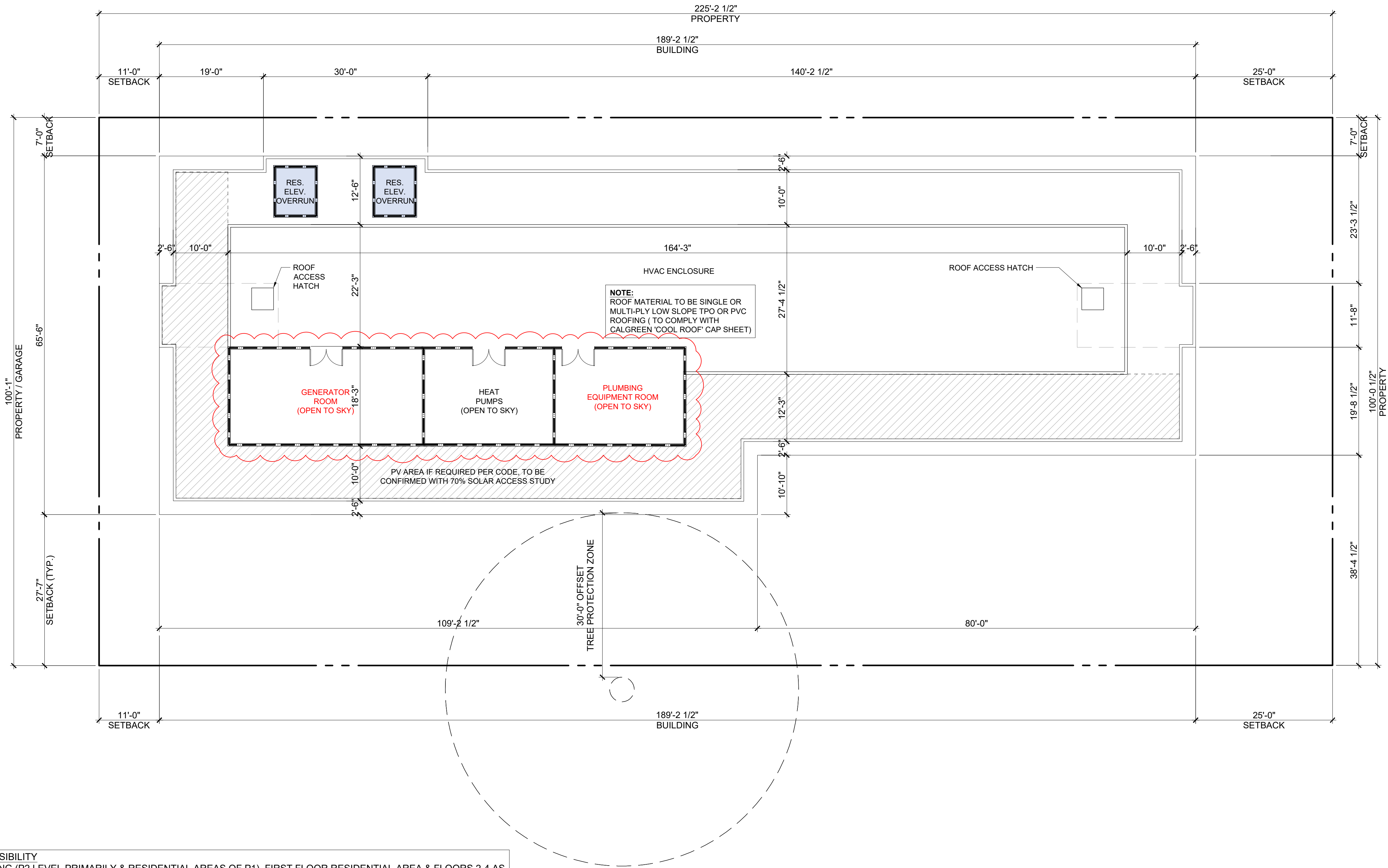
SCALE
3/32" = 1'-0"



0 10'-8" 21'-4"

SHEET NUMBER

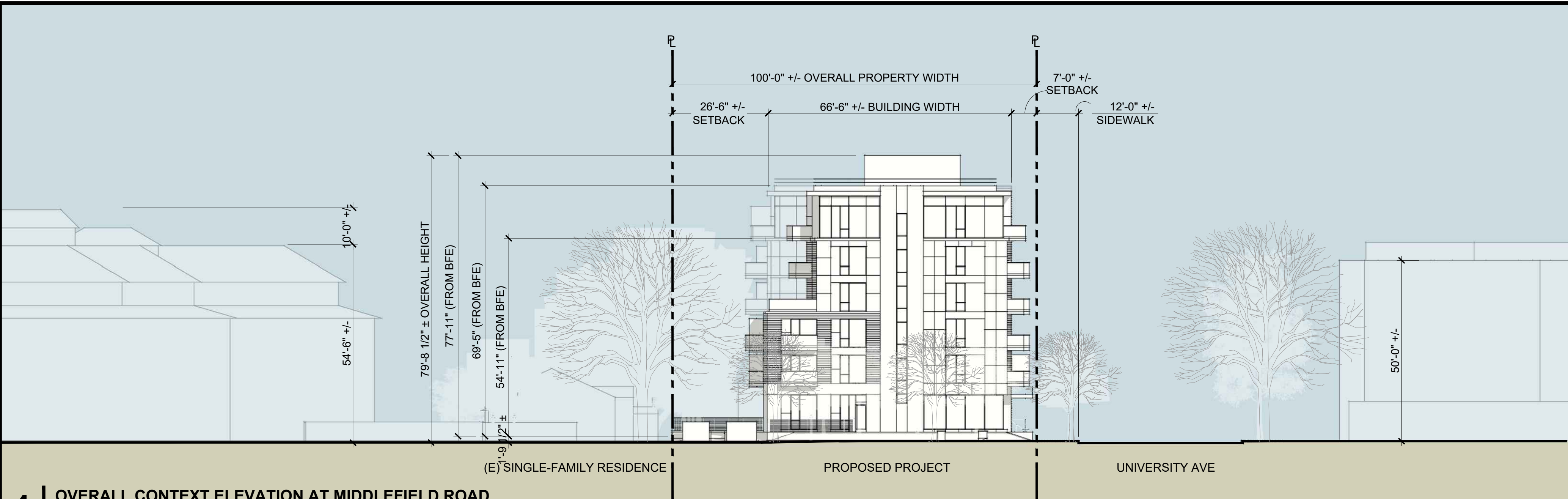
A2.4



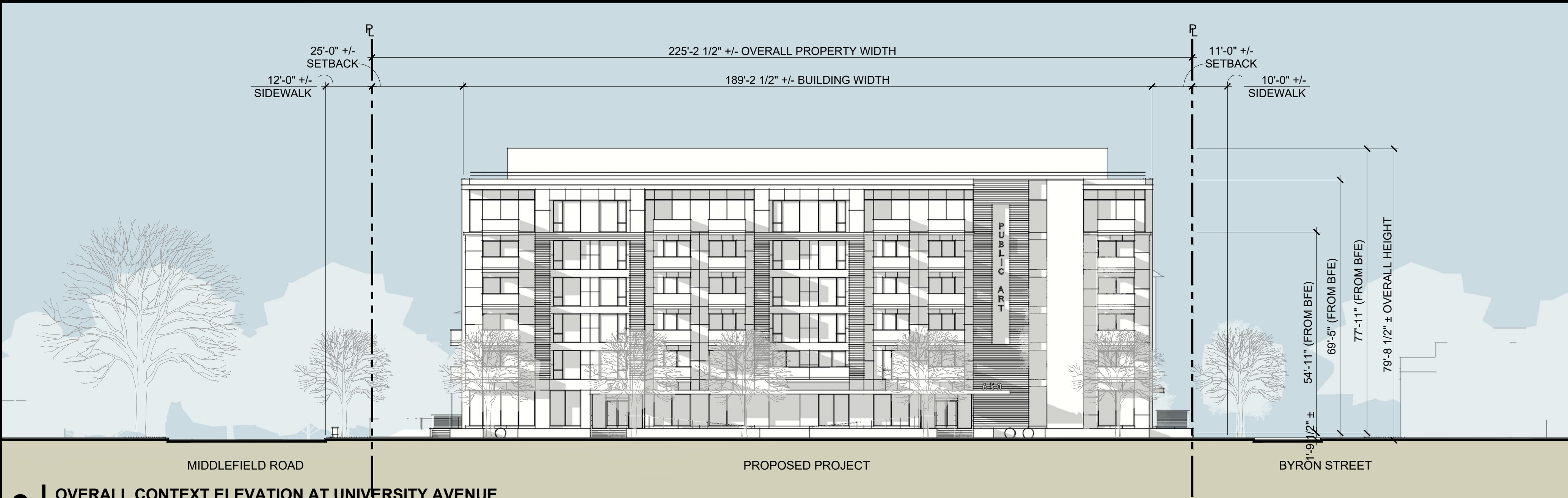
RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

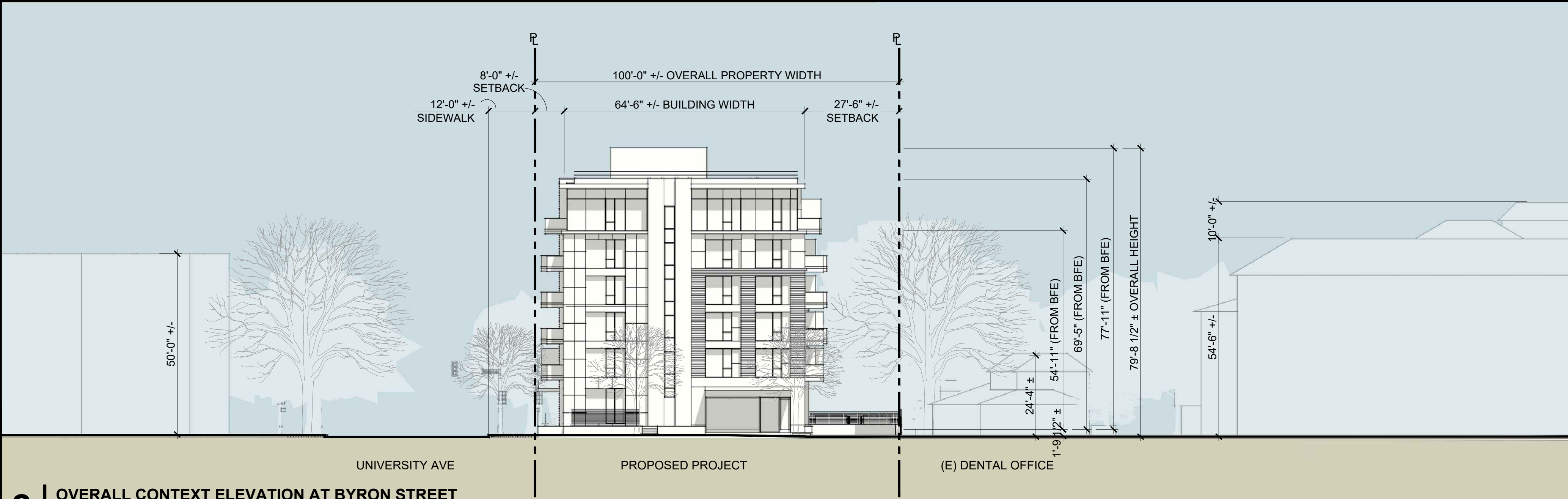
ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.



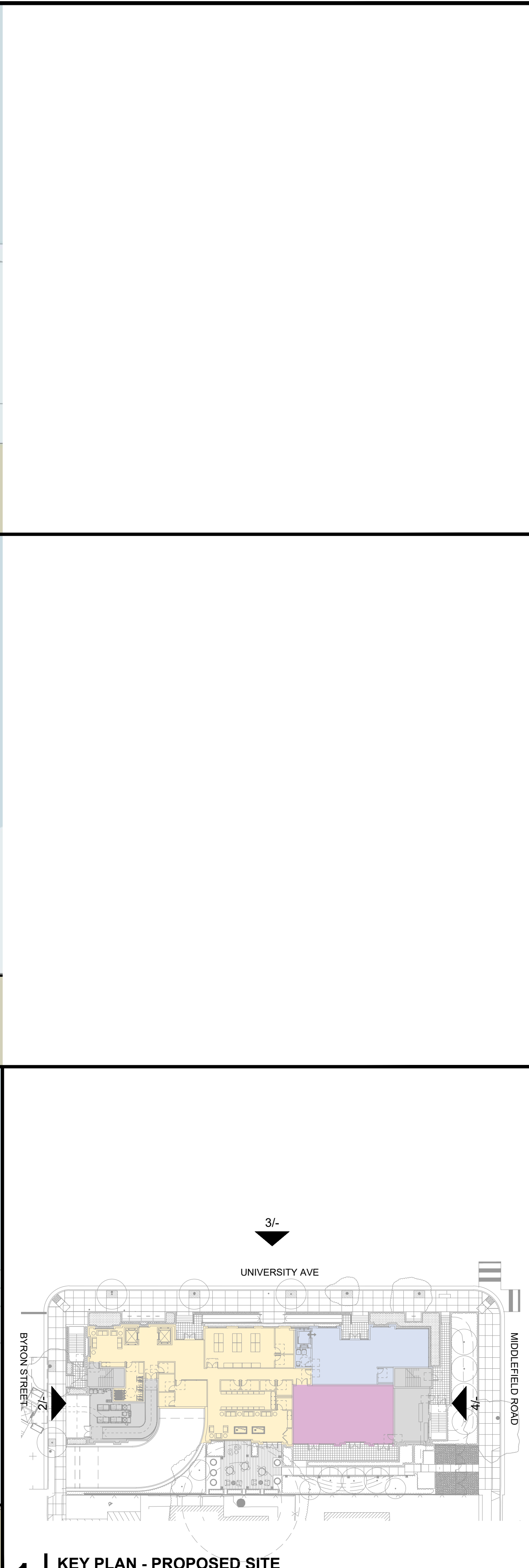
4 OVERALL CONTEXT ELEVATION AT MIDDLEFIELD ROAD
1" = 20'-0"



3 OVERALL CONTEXT ELEVATION AT UNIVERSITY AVENUE
1" = 20'-0"



2 OVERALL CONTEXT ELEVATION AT BYRON STREET
1" = 20'-0"



1 KEY PLAN - PROPOSED SITE
1/64" = 1'-0"

SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE

PROPOSED STREET ELEVATIONS
NEIGHBORHOOD CONTEXT

SCALE

AS NOTED



SHEET NUMBER

A3.0



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
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02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED ELEVATIONS

SCALE
AS NOTED

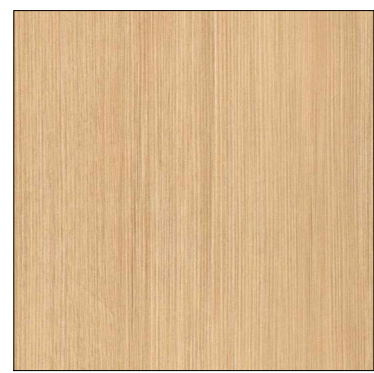


SHEET NUMBER

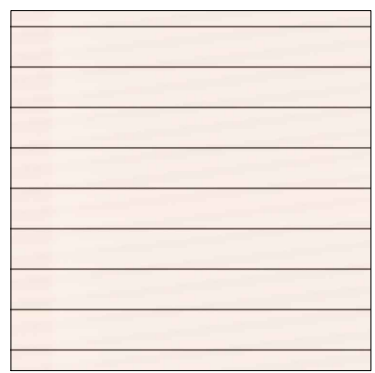
A3.1A



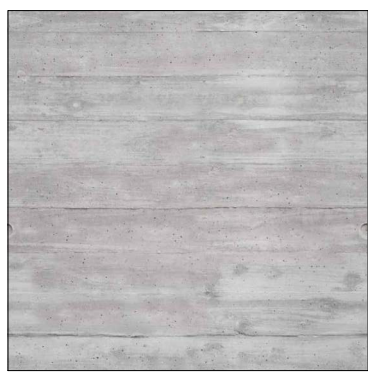
3 WEST ELEVATION (BYRON STREET)
3/32" = 1'-0"



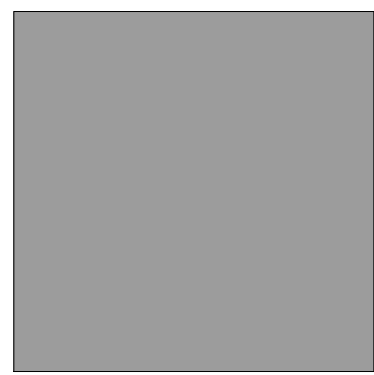
WOOD TEXTURE PANEL, COLOR 'A'
SECOND, THIRD, FOURTH, & FIFTH FLOOR FACADES, TYP.



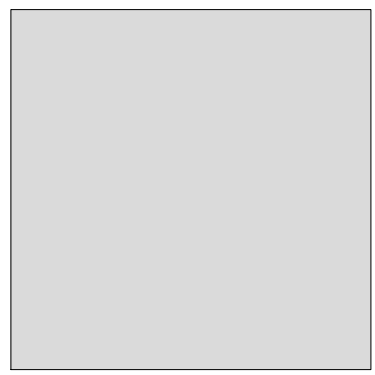
PAINTED HORIZONTAL SIDING PANEL, COLOR 'B'
ELEVATOR TOWERS + SECOND, THIRD, FOURTH, & FIFTH FLOOR FACADES, TYP.



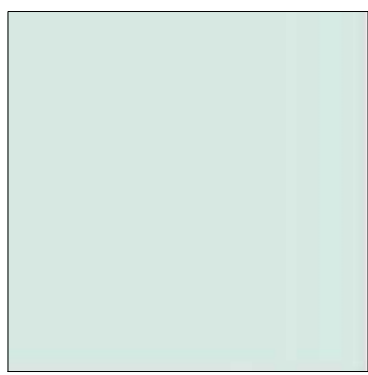
SIMULATED BOARD FORM CONCRETE PANEL COLOR 'C'
ELEVATOR & STAIR TOWERS, GROUND FLOOR FACADES, TYP.



PAINTED METAL, COLOR 'E'
WINDOW MULLIONS, CANOPIES, METAL PANELS AT SECOND, THIRD, FOURTH, & FIFTH FL. FACADES, TYP.

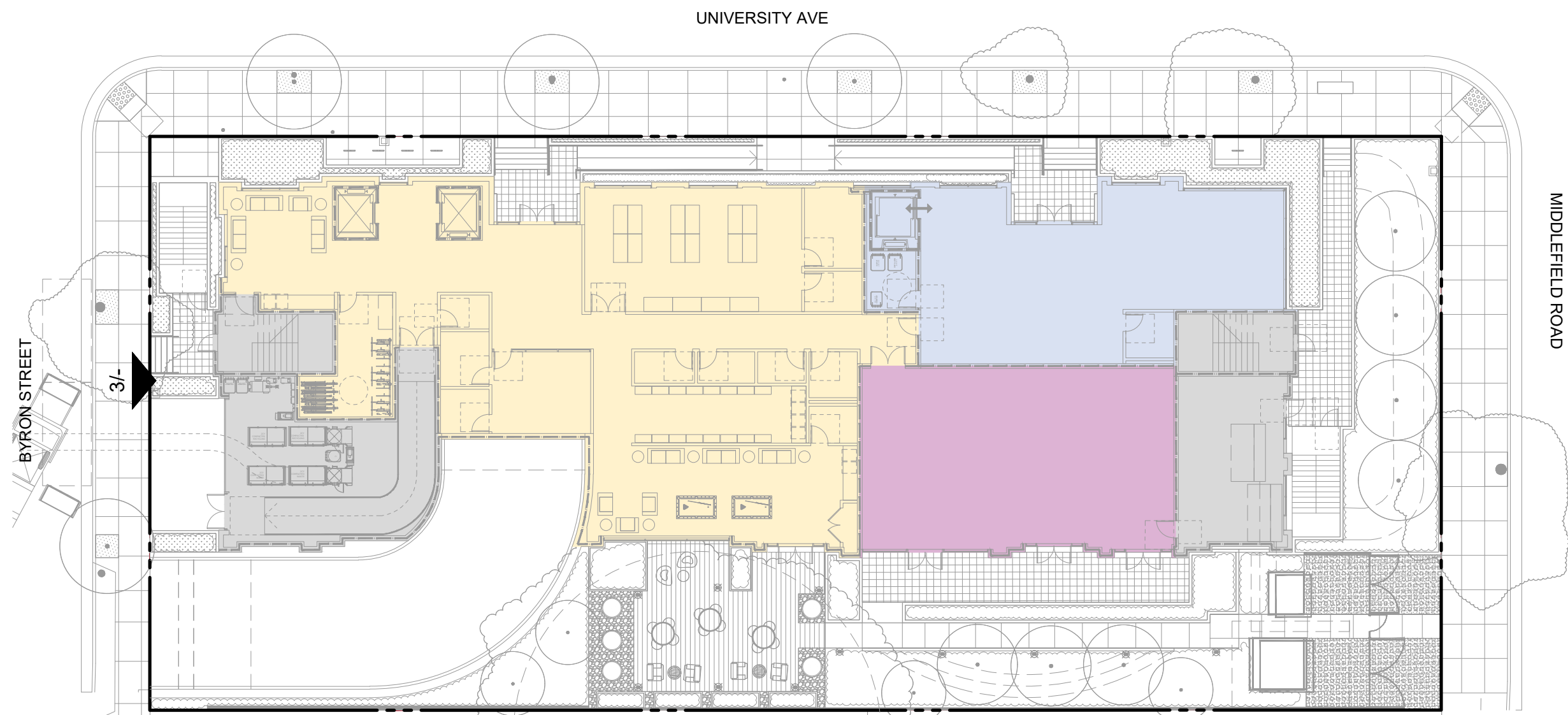


PAINTED METAL, COLOR 'F'
ROOF MECH. SCREEN, METAL PANELS AT THIRD, FOURTH, & FIFTH FL. FACADES, TYP.



LOW-IRON VISION GLASS
CLEAR VISION GLASS, TYP.

2 MATERIAL SWATCHES
NO SCALE



1 KEY PLAN - PROPOSED SITE
3/128" = 1'-0"



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	12.01.21	PLANNING SUBMITTAL
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
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	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED ELEVATIONS

SCALE
AS NOTED

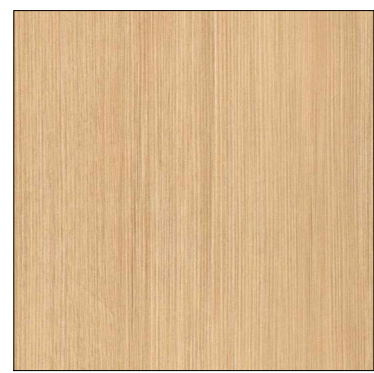


SHEET NUMBER

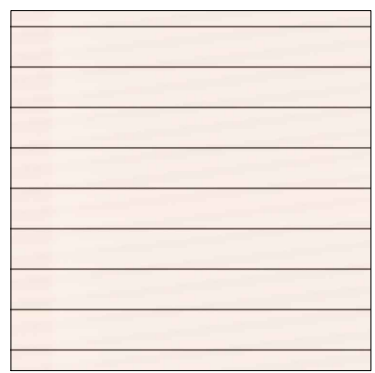
A3.1B



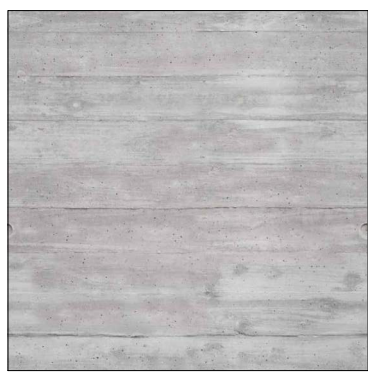
3 EAST ELEVATION
3/32" = 1'-0"



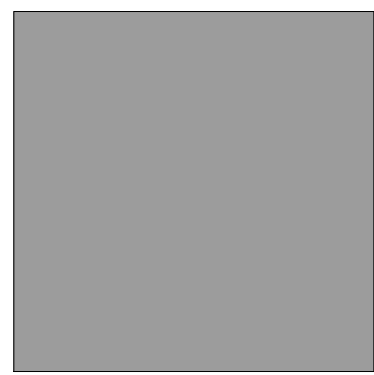
WOOD TEXTURE PANEL, COLOR 'A'
SECOND, THIRD, FOURTH, & FIFTH FLOOR FACADES, TYP.



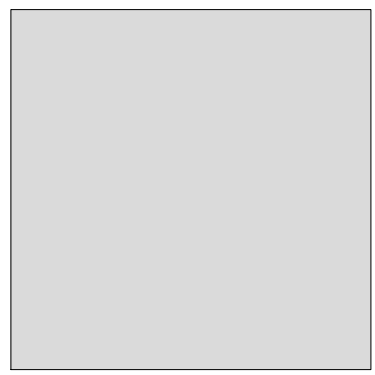
PAINTED HORIZONTAL SIDING PANEL, COLOR 'B'
ELEVATOR TOWERS + SECOND, THIRD, FOURTH, & FIFTH FLOOR FACADES, TYP.



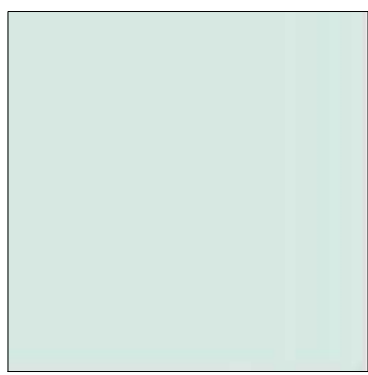
SIMULATED BOARD FORM CONCRETE PANEL COLOR 'C'
ELEVATOR & STAIR TOWERS, GROUND FLOOR FACADES, TYP.



PAINTED METAL, COLOR 'E'
WINDOW MULLIONS, CANOPIES, METAL PANELS AT SECOND, THIRD, FOURTH, & FIFTH FL. FACADES, TYP.

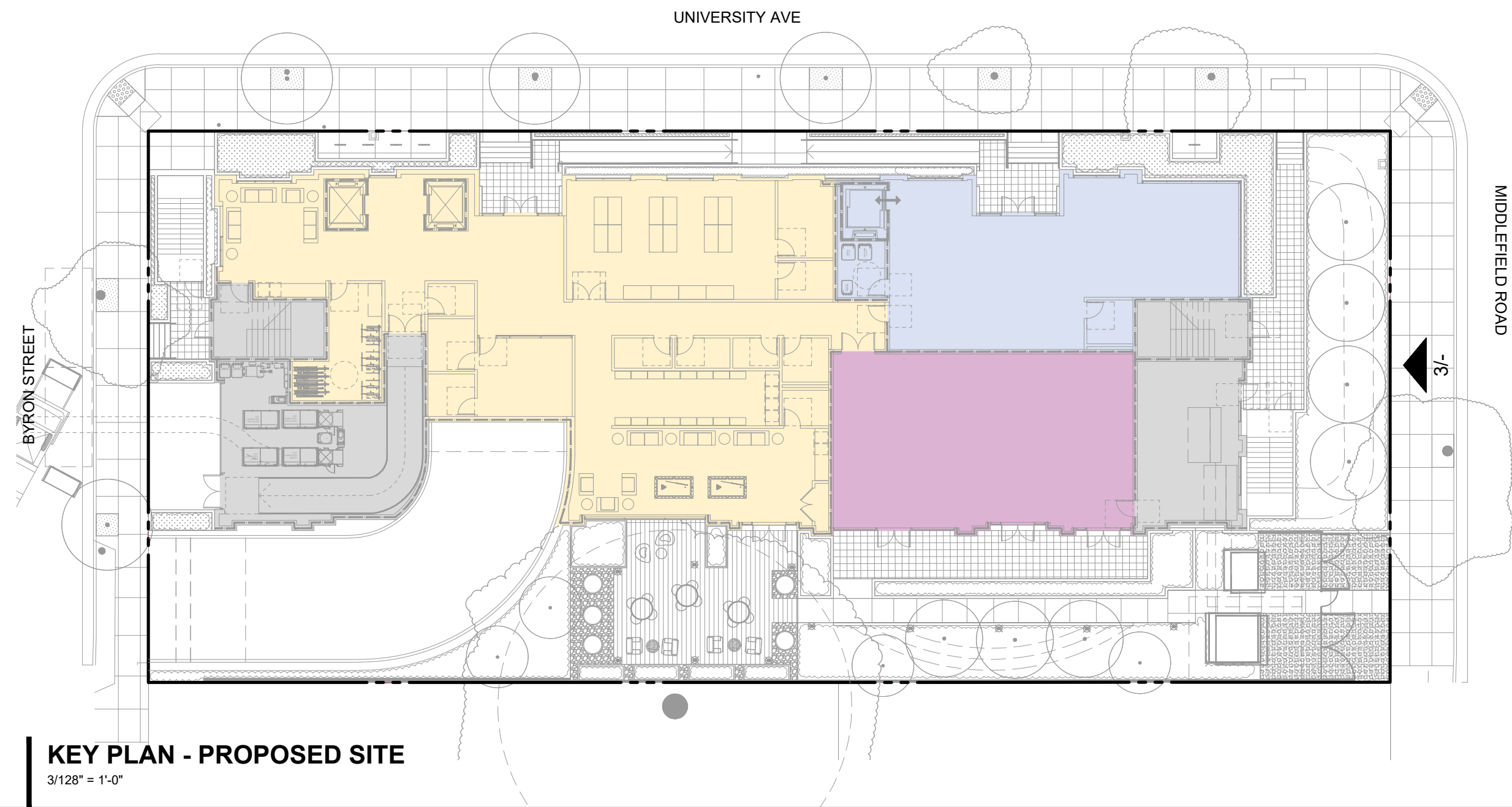


PAINTED METAL, COLOR 'F'
ROOF MECH. SCREEN, METAL PANELS AT THIRD, FOURTH, & FIFTH FL. FACADES, TYP.



LOW-IRON VISION GLASS
CLEAR VISION GLASS, TYP.

2 MATERIAL SWATCHES
NO SCALE



1 KEY PLAN - PROPOSED SITE
3/128" = 1'-0"



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED ELEVATIONS

SCALE
AS NOTED

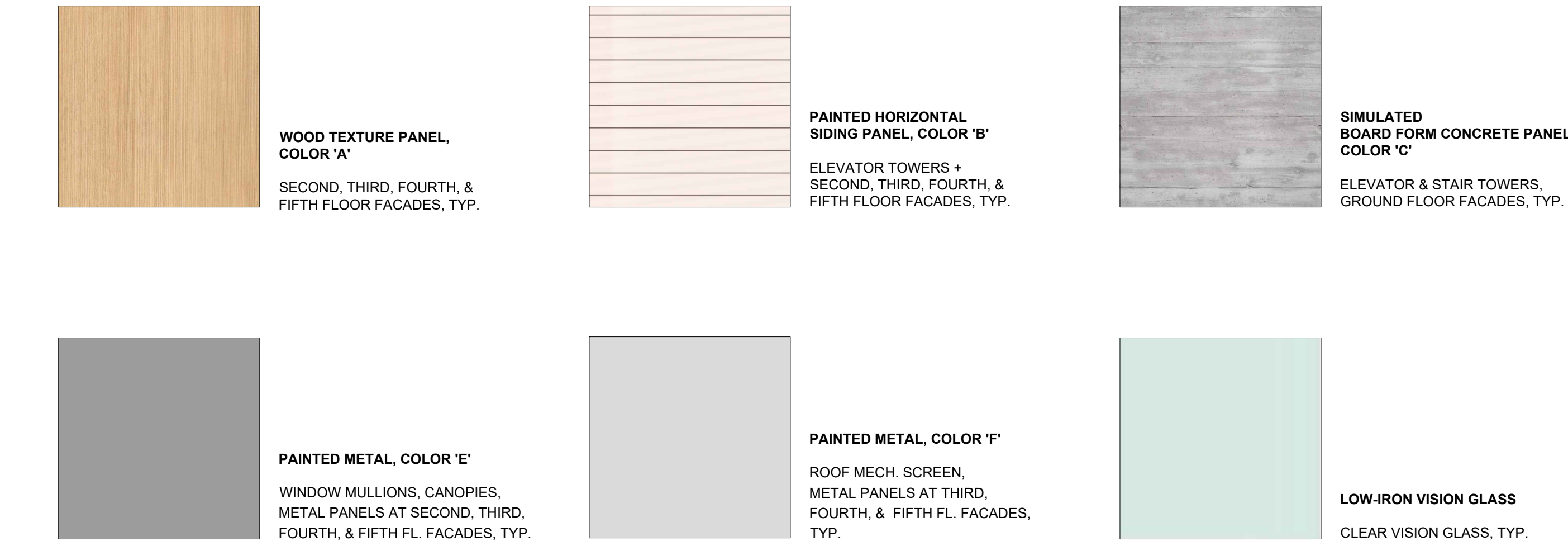


SHEET NUMBER

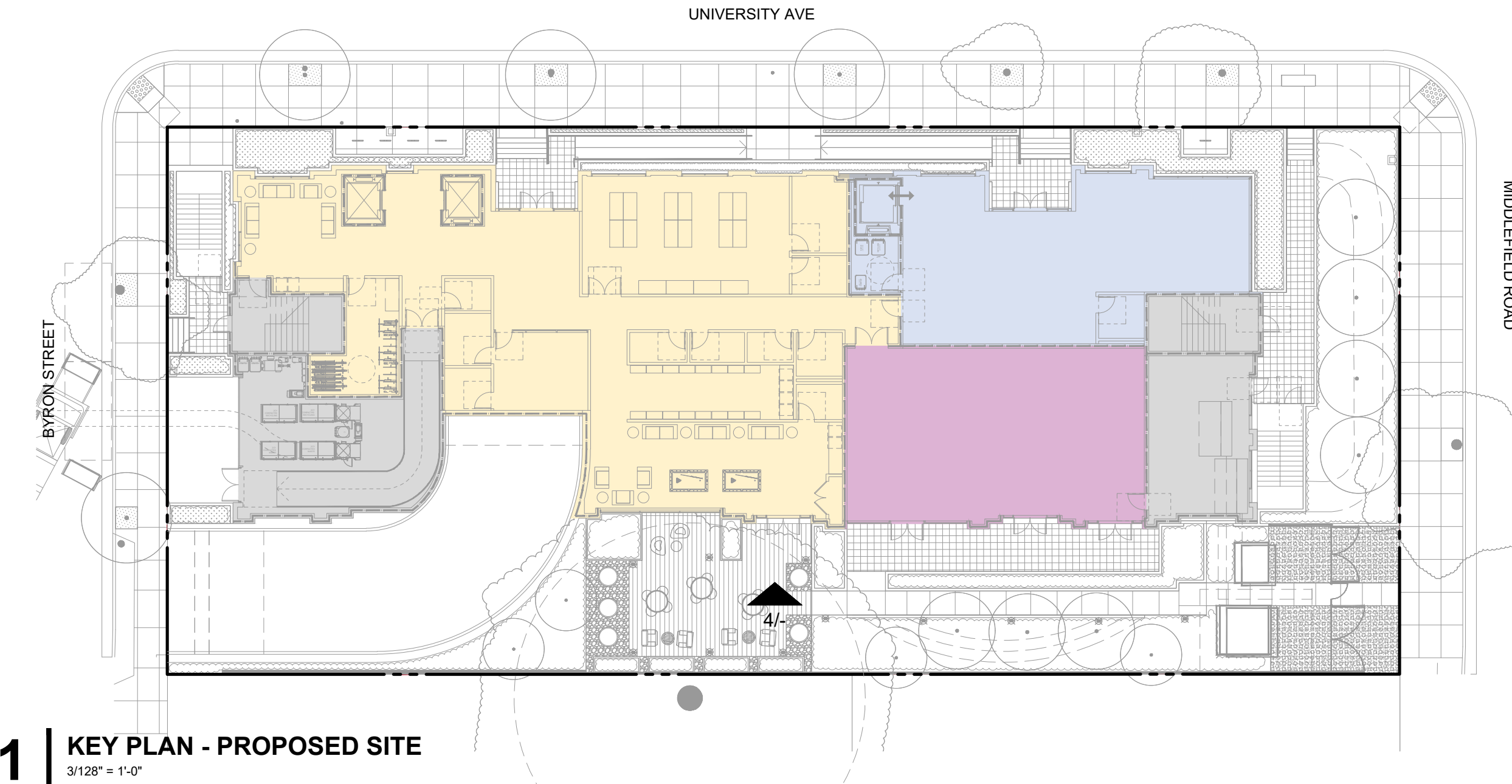
A3.2A



3 | SOUTH ELEVATION
3/32" = 1'-0"



2 | MATERIAL SWATCHES
NO SCALE



1 | KEY PLAN - PROPOSED SITE
3/128" = 1'-0"



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED ELEVATIONS

SCALE
AS NOTED

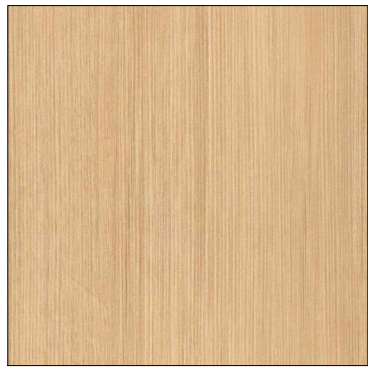


SHEET NUMBER

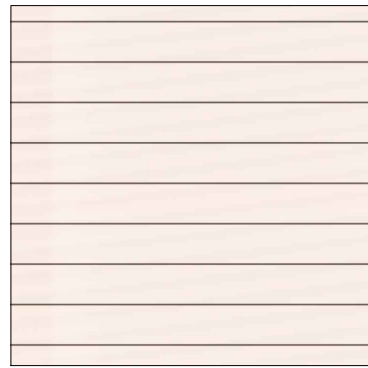
A3.2B



3 NORTH ELEVATION (UNIVERSITY AVE)
3/32" = 1'-0"



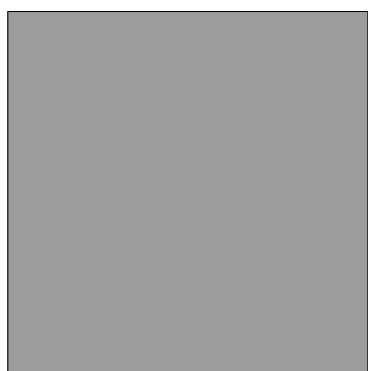
WOOD TEXTURE PANEL,
COLOR 'A'
SECOND, THIRD, FOURTH, &
FIFTH FLOOR FACADES, TYP.



PAINTED HORIZONTAL
SIDING PANEL, COLOR 'B'
ELEVATOR TOWERS +
SECOND, THIRD, FOURTH, &
FIFTH FLOOR FACADES, TYP.



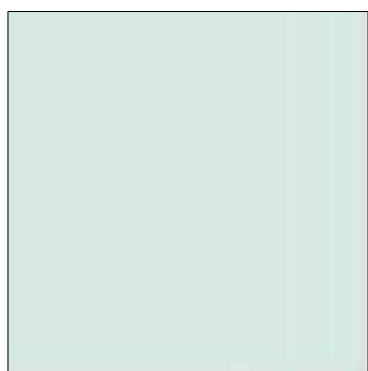
SIMULATED
BOARD FORM CONCRETE PANEL
COLOR 'C'
ELEVATOR & STAIR TOWERS,
GROUND FLOOR FACADES, TYP.



PAINTED METAL, COLOR 'E'
WINDOW MULLIONS, CANOPIES,
METAL PANELS AT SECOND, THIRD,
FOURTH, & FIFTH FL. FACADES, TYP.

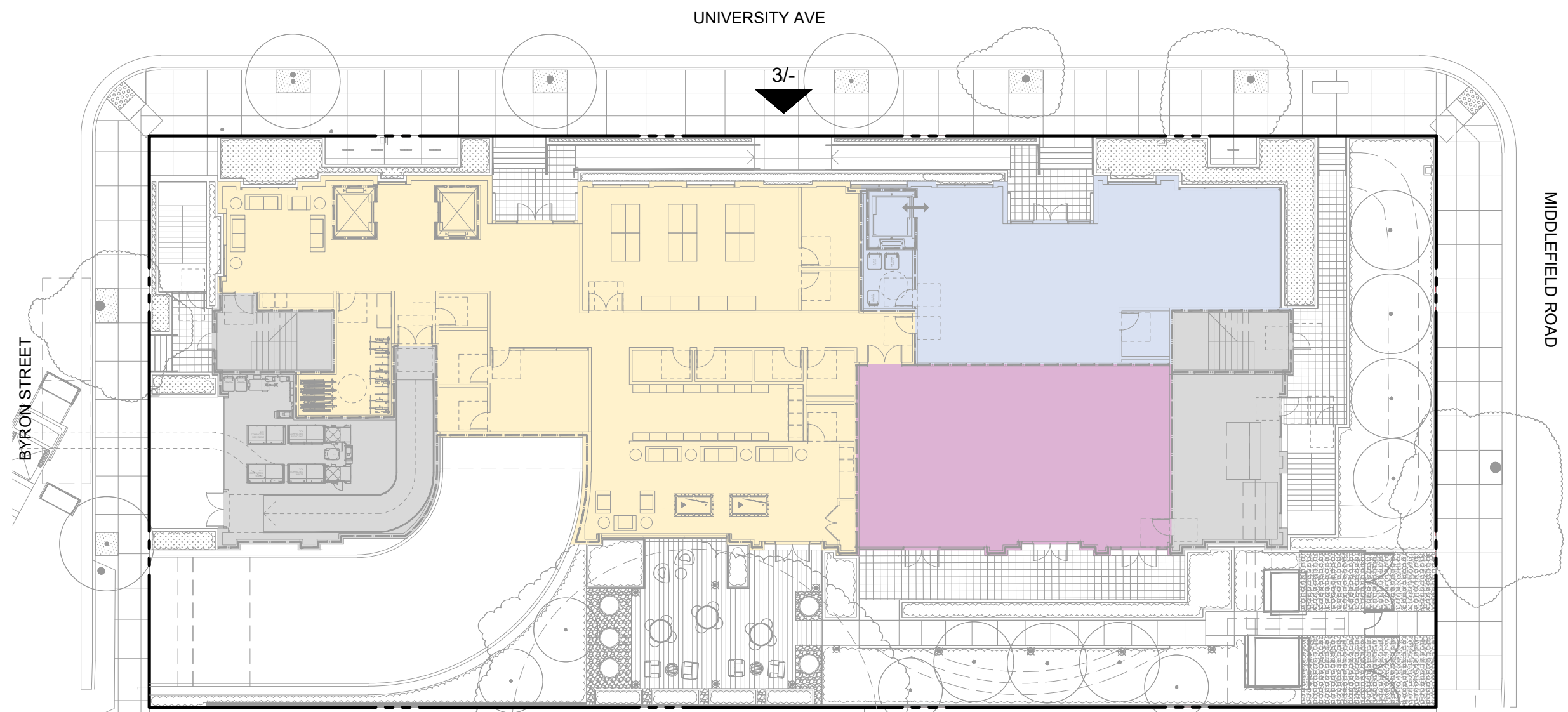


PAINTED METAL, COLOR 'F'
ROOF MECH. SCREEN,
METAL PANELS AT THIRD,
FOURTH, & FIFTH FL. FACADES,
TYP.



LOW-IRON VISION GLASS
CLEAR VISION GLASS, TYP.

2 MATERIAL SWATCHES
NO SCALE



1 KEY PLAN - PROPOSED SITE
3/128" = 1'-0"

660 UNIVERSITY
PALO ALTO, CA 94301



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.22		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.20.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.25		PLANNING RESUBMITTAL #11

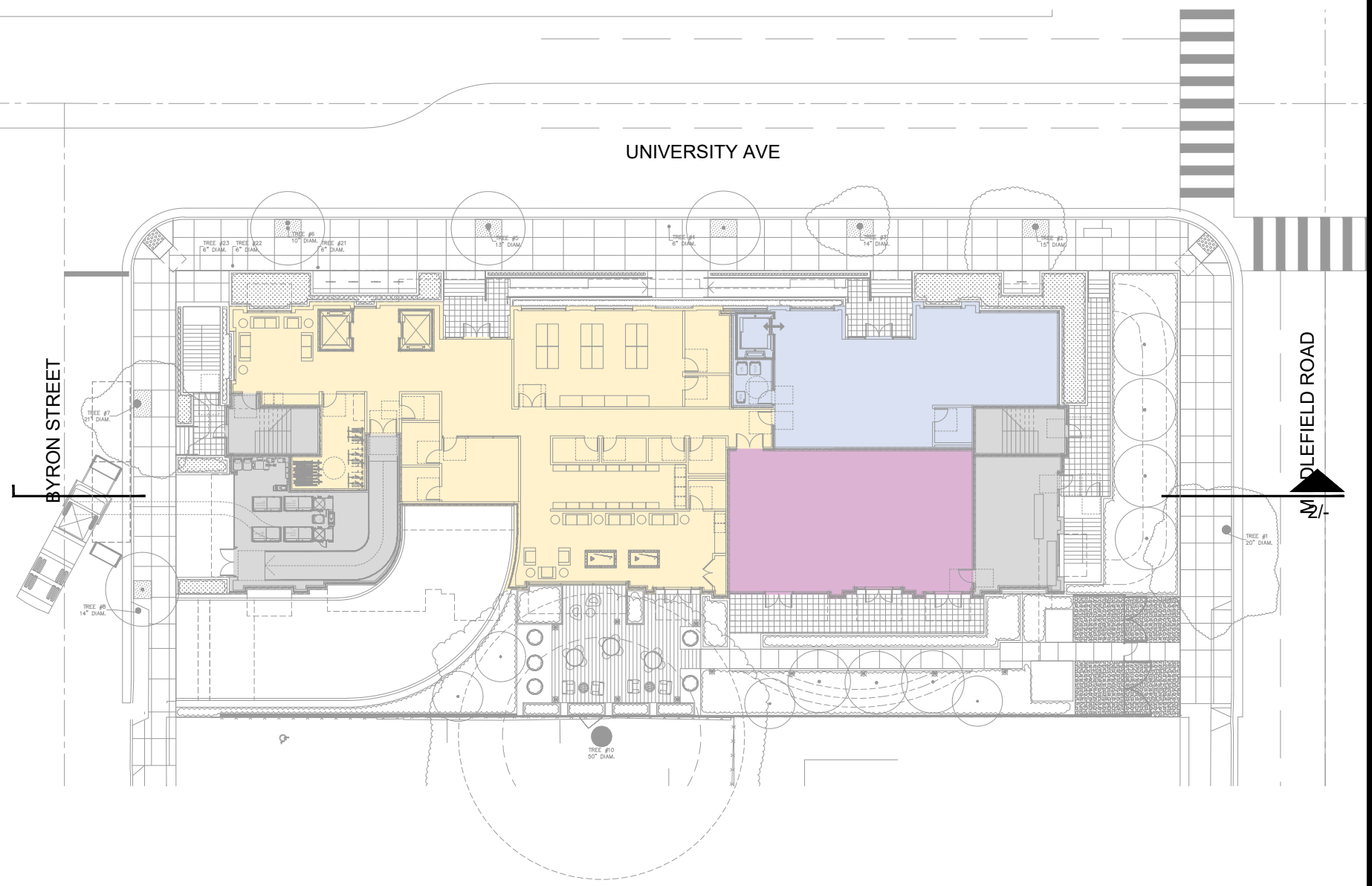
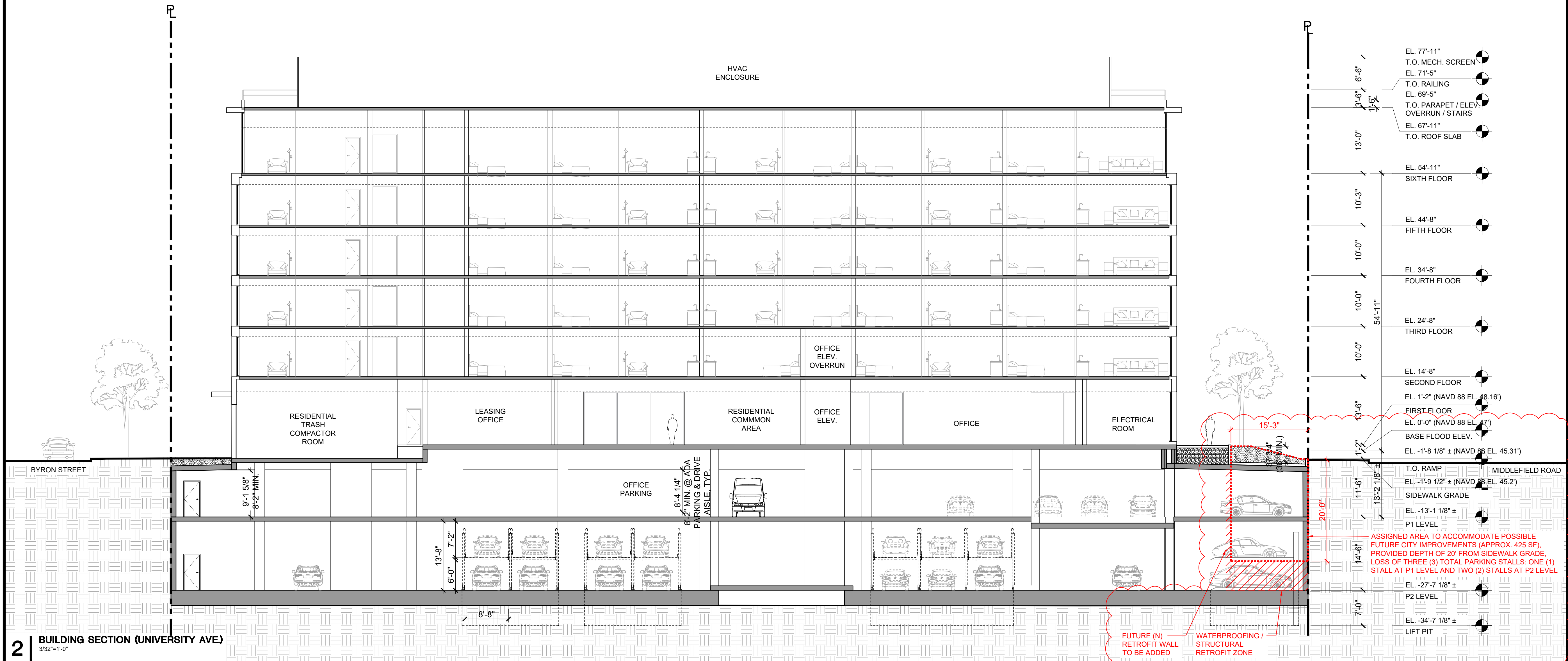
PROJECT NUMBER
21003

SHEET TITLE
BUILDING SECTIONS

SCALE
3/32" = 1'-0"
PROJ. N TRUE N
0 10'-8" 21'-4"

SHEET NUMBER

A3.3A



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ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.22		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.20.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
BUILDING SECTIONS

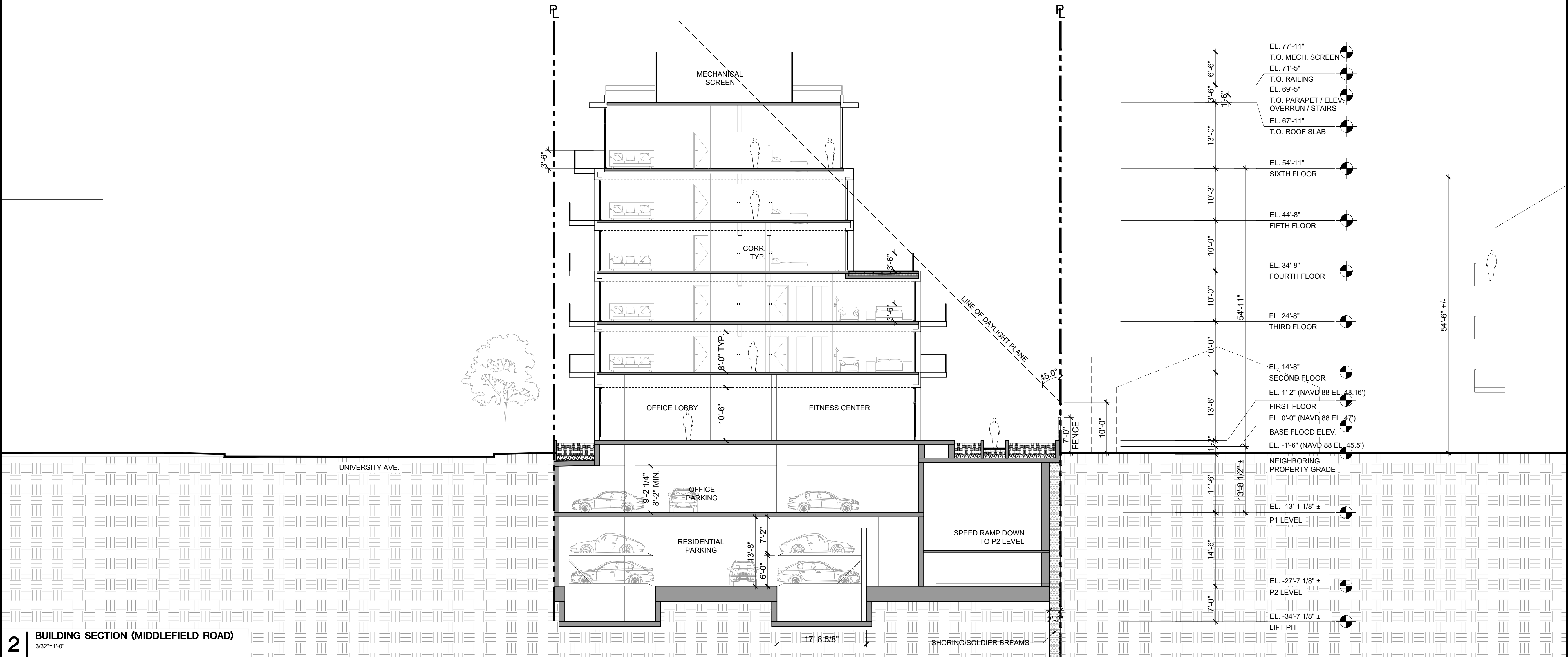
SCALE
3/32" = 1'-0"

PROJ. N
TRUE N

0 10'-8" 21'-4"

SHEET NUMBER

A3.3B



2 BUILDING SECTION (MIDDLEFIELD ROAD)
3/32"=1'-0"

1 KEY PLAN
1/32"=1'-0"

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PALO ALTO, CA 94301



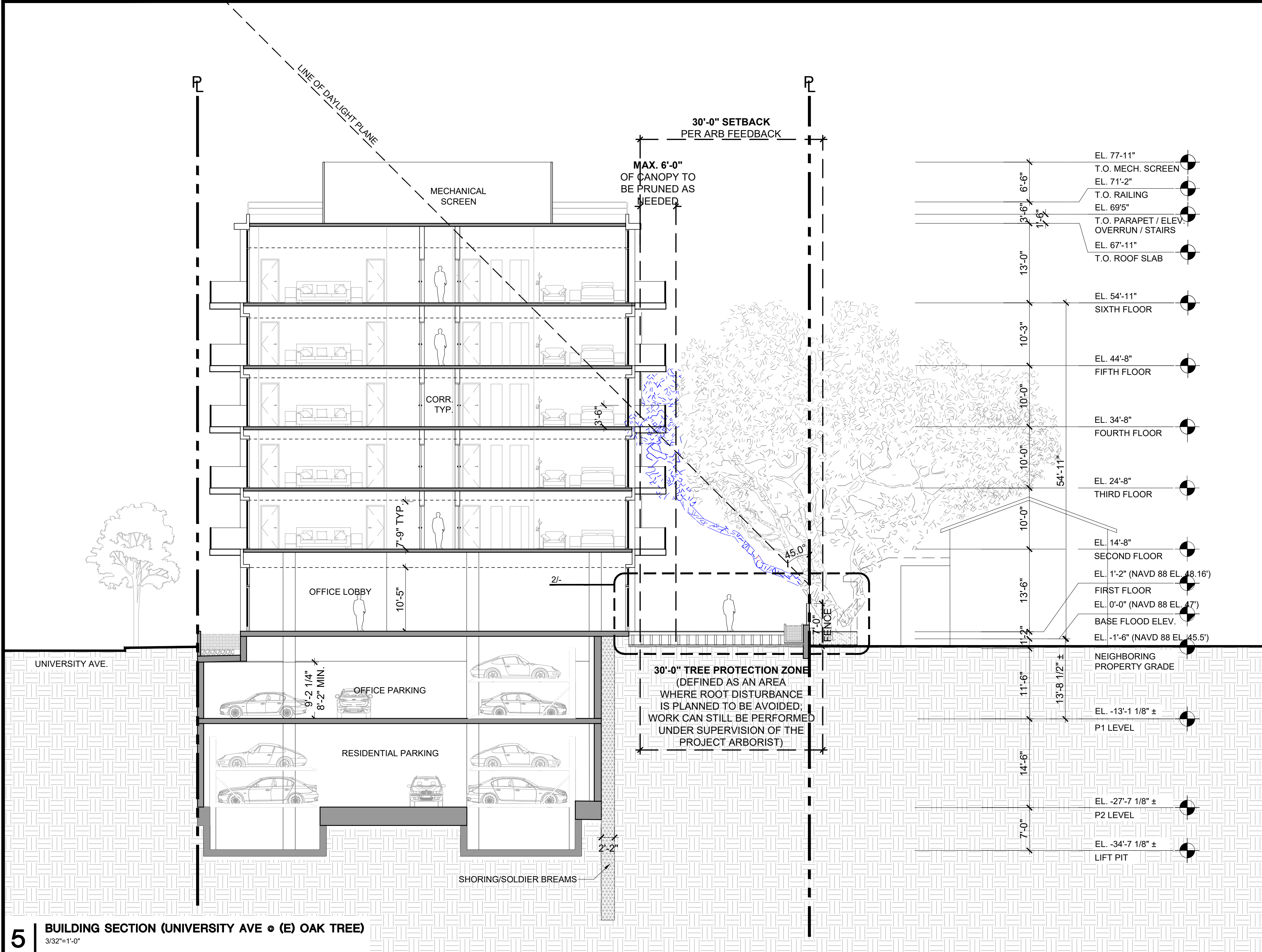
ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

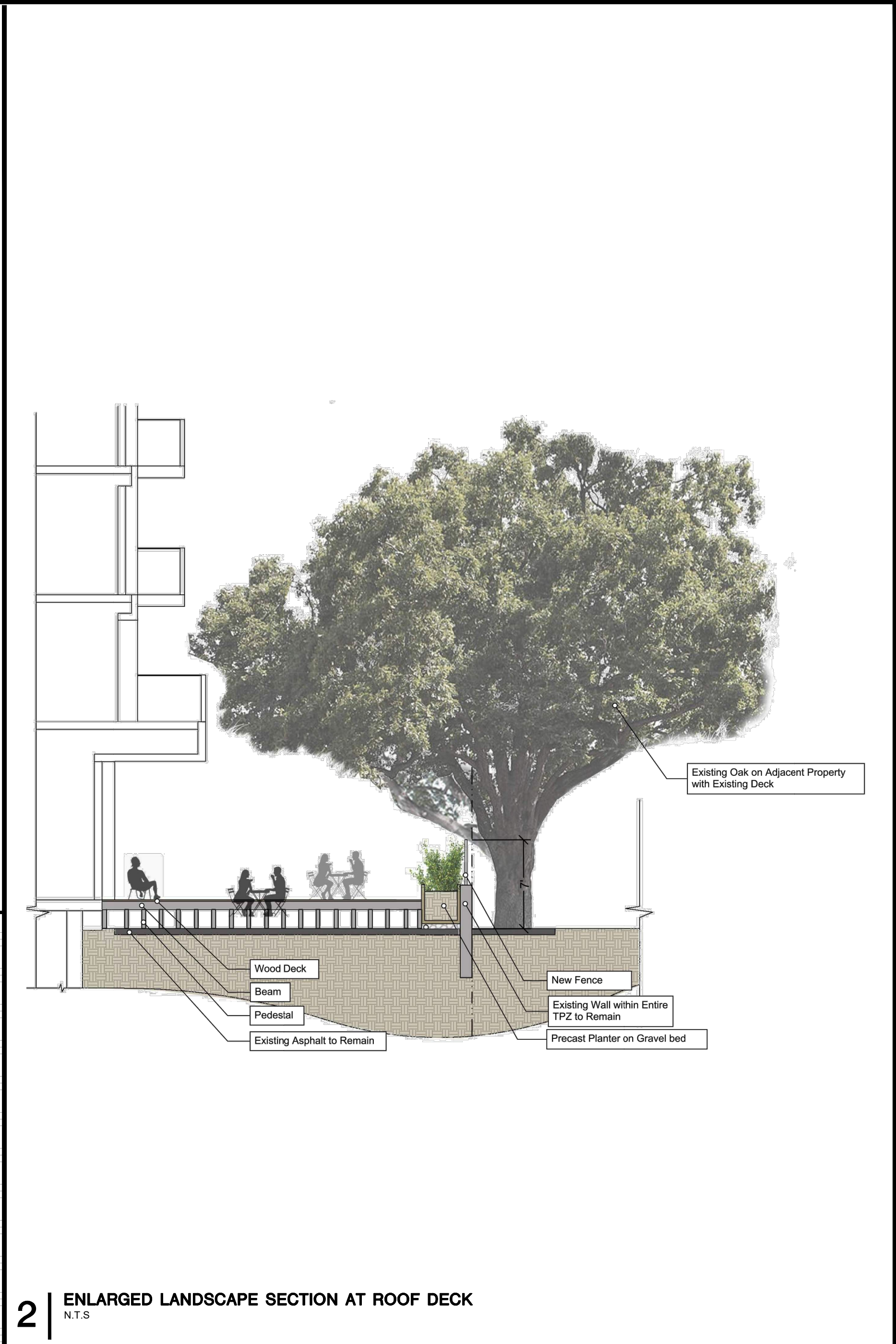
SHEET TITLE
BUILDING SECTION • (E) OAK TREE

SCALE
AS NOTED
PROJ. N TRUE N
0 10'-8" 21'-4"
SHEET NUMBER

A3.3C



5 BUILDING SECTION (UNIVERSITY AVE • (E) OAK TREE)
3/32"=1'-0"



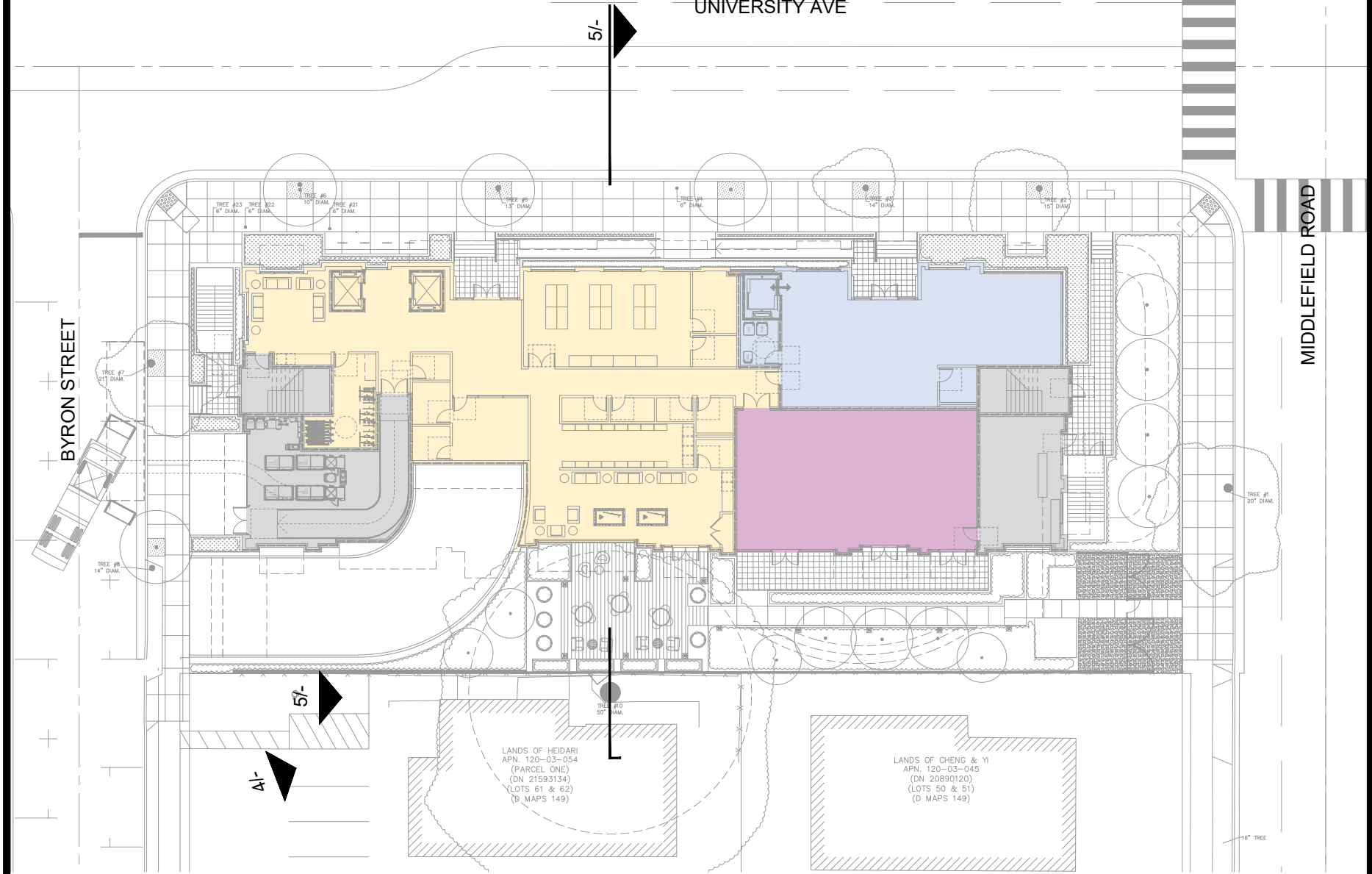
2 ENLARGED LANDSCAPE SECTION AT ROOF DECK
N.T.S.



4 VIEW OF OAK TREE LOOKING TOWARDS MIDDLEFIELD ROAD
N.T.S.

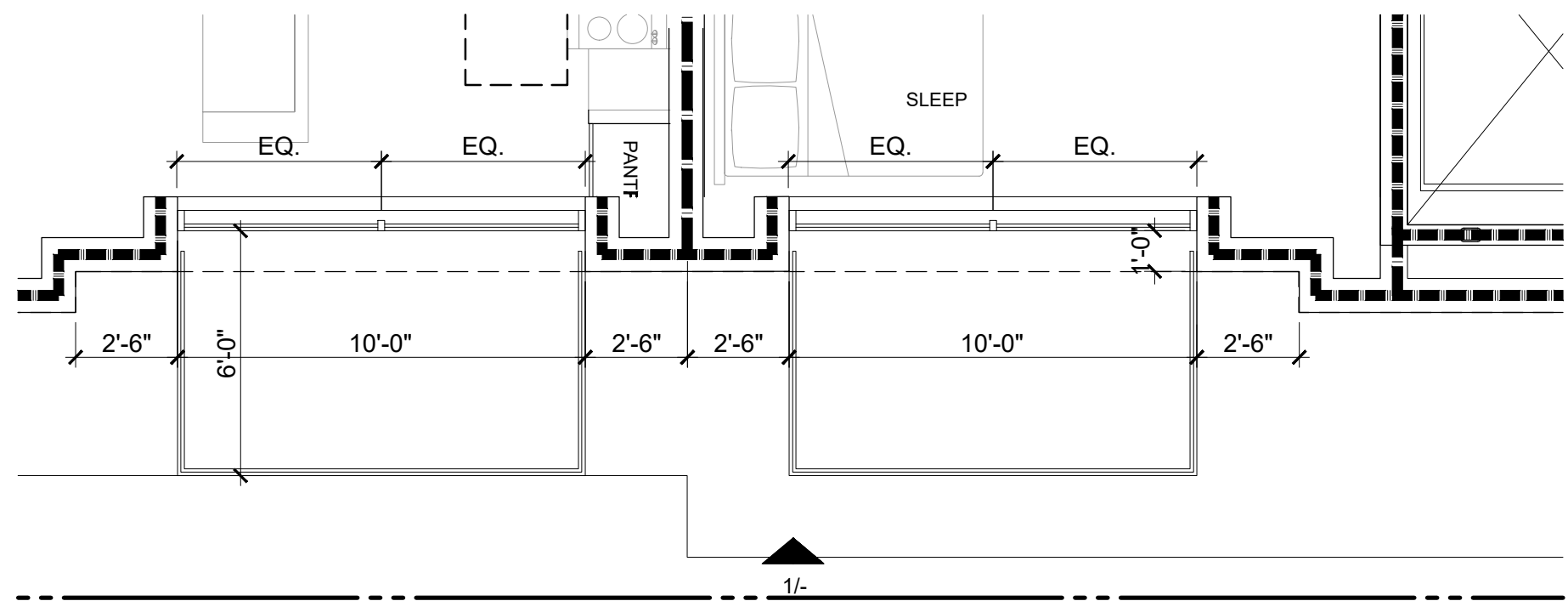


3 TREE GROWTH OVER 2.5 YEARS
N.T.S.

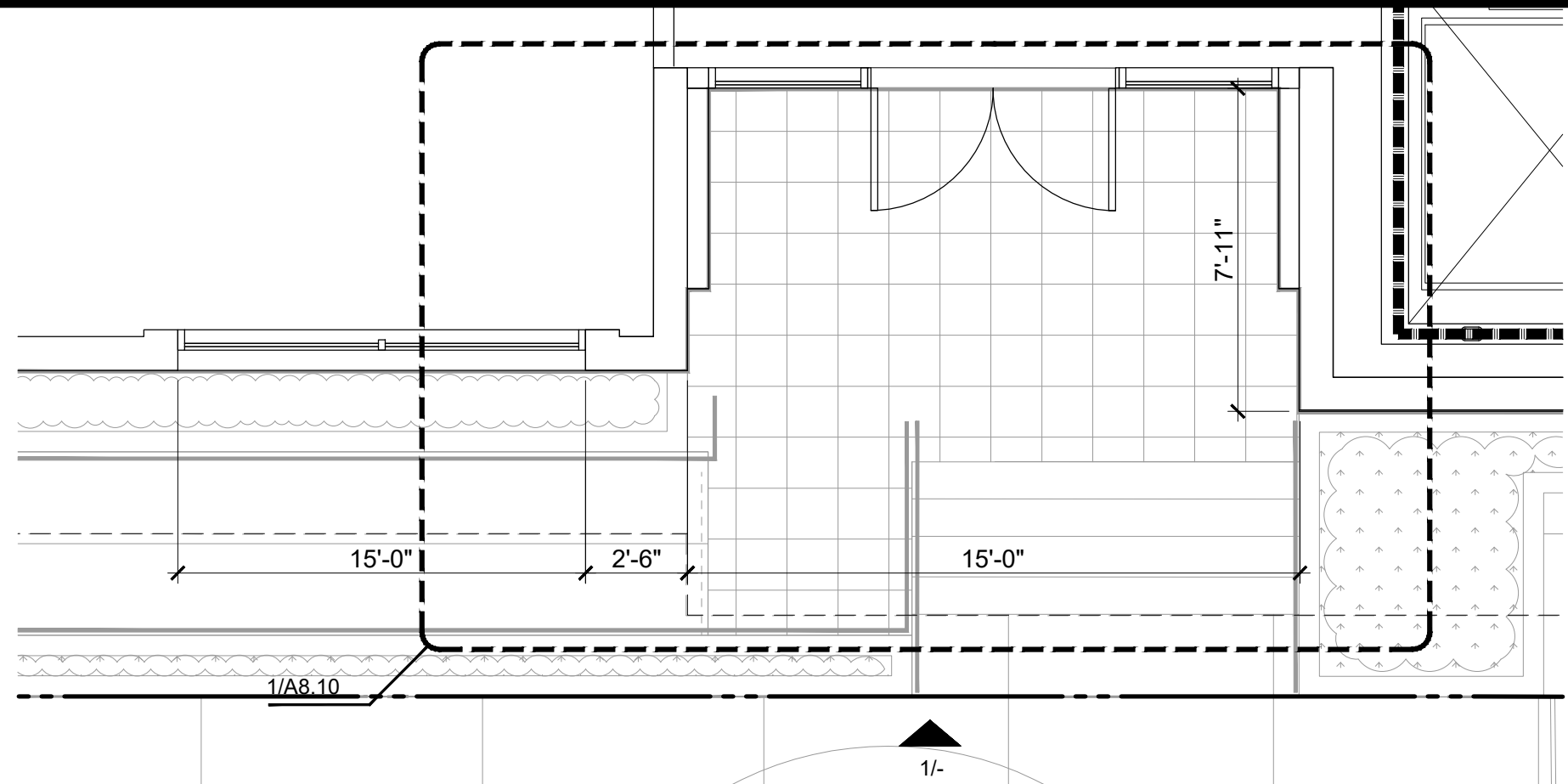


1 KEY PLAN
1/32"=1'-0"

4 NOT USED
NTS



3 THIRD FLOOR PLAN
1/4"=1'-0"



2 FIRST FLOOR PLAN
1/4"=1'-0"

1 ELEVATION
1/4"=1'-0"

PAINTED MECHANICAL
SCREEN, COLOR 'F'

PAINTED METAL RAILING, TYP.
COLOR 'E'

PAINTED METAL PARAPET,
TYP. COLOR 'E'
PAINTED METAL CANOPY,
TYP. COLOR 'E'

CLEAR VISION GLASS WITH
SHADOWBOX BEYOND,
TYP. AT LEVEL 6

BIRD SAFE GLASS,
TYP. AT LEVEL 6

CLEAR VISION GLASS,
TYP. AT LEVEL 1-6

PAINTED METAL MULLION,
COLOR 'E'
WOOD TEXTURE PANEL, TYP.
COLOR 'A'

BIRD SAFE GLASS RAILING
WITH RAIL AND SHOE, TYP.
COLOR 'E', TYP. AT ALL
BALCONIES

PAINTED METAL PANEL, TYP.
COLOR 'E'

CLEAR VISION GLASS

PAINTED METAL PANEL, TYP.
COLOR 'F'

PAINTED METAL PANEL, TYP.
COLOR 'E'

PAINTED METAL CANOPY, TYP.
COLOR 'E'

INTEGRAL COLOR
BOARDFORM PRECAST, TYP.
COLOR 'C'

CLEAR VISION GLASS

EL. 77'-11"
T.O. MECH.
SCREEN

EL. 71'-5"
T.O. RAILING

EL. 69'-5"
T.O. PARAPET/
ELEV. OVERRUN /
STAIRS

EL. 67'-11"
T.O. ROOF SLAB

EL. 54'-11"
SIXTH FLOOR

EL. 44'-8"
FIFTH FLOOR

EL. 34'-8"
FOURTH FLOOR

EL. 24'-8"
THIRD FLOOR

EL. 14'-8"
SECOND FLOOR

EL. 1'-2"
FIRST FLOOR

EL. 0'-0"
BASE FLOOD ELEV.

EL. -1'-9 1/2" ±
SIDEWALK GRADE

SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
ENLARGED ELEVATION

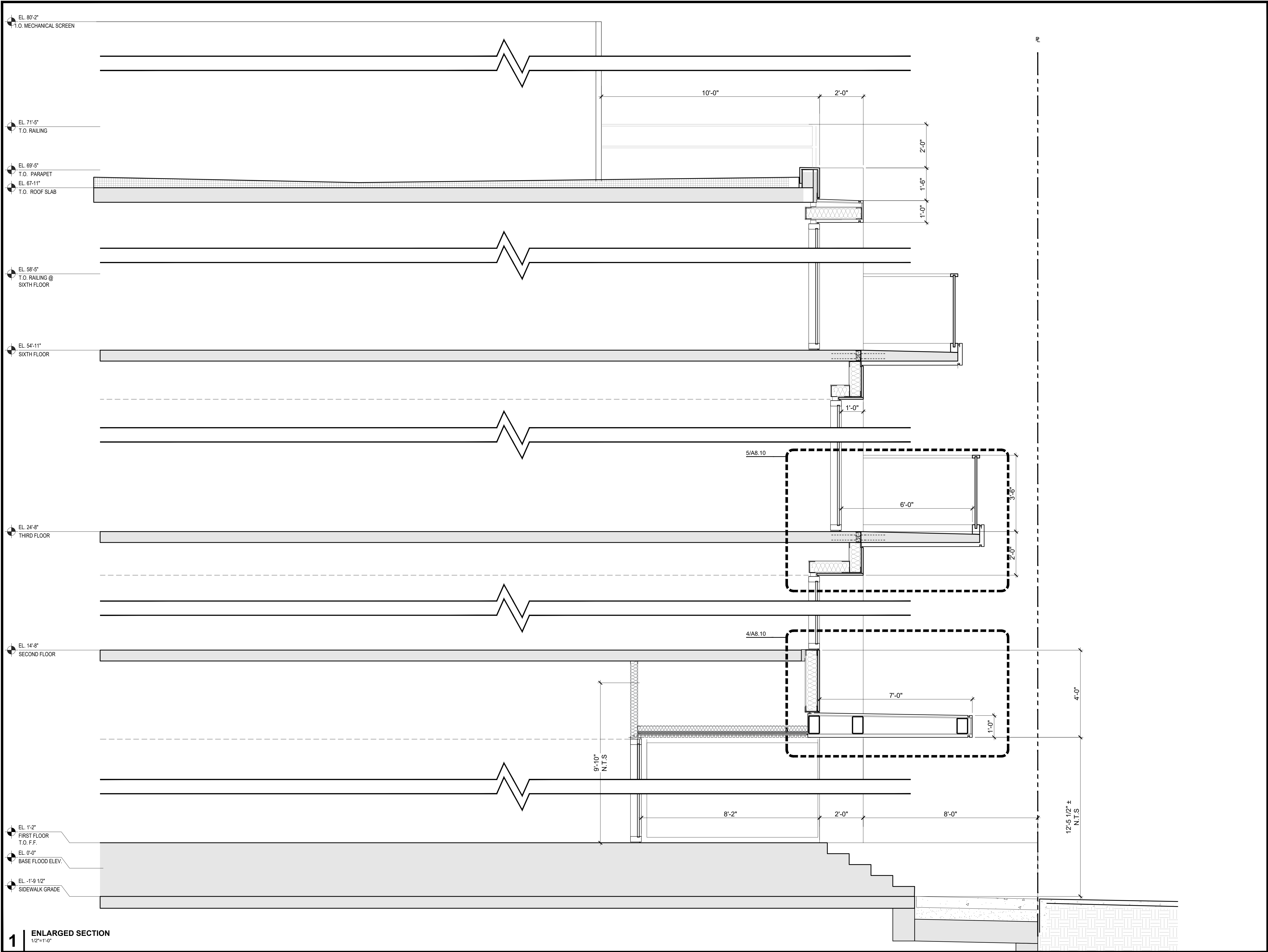
SCALE

1/4" = 1'-0"



SHEET NUMBER

A4.0A



SMITH DEVELOPMENT

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PALO ALTO, CA 94301



ARCHITECTS
KORTH SUNSERI HAGEY

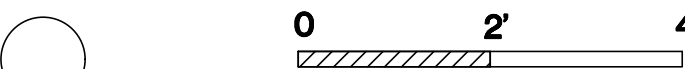
ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION

05.13.22	PLANNING RESUBMITTAL #1
08.15.22	PLANNING RESUBMITTAL #2
11.02.22	PLANNING RESUBMITTAL #3
08.28.23	PLANNING RESUBMITTAL #4
10.31.23	PLANNING RESUBMITTAL #5
12.21.23	PLANNING RESUBMITTAL #6
02.07.24	PLANNING RESUBMITTAL #7
09.18.24	PLANNING RESUBMITTAL #8
01.17.25	PLANNING RESUBMITTAL #9
06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
ENLARGED SECTION

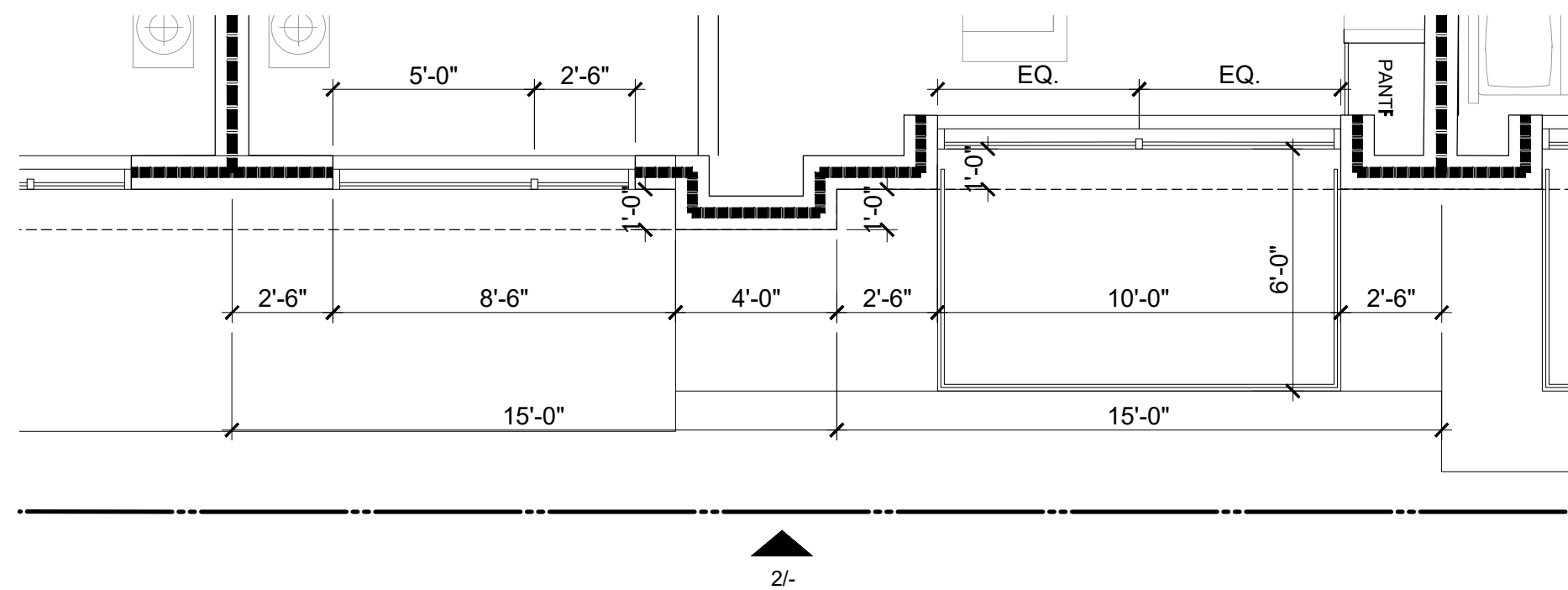
SCALE
1/4" = 1'-0"



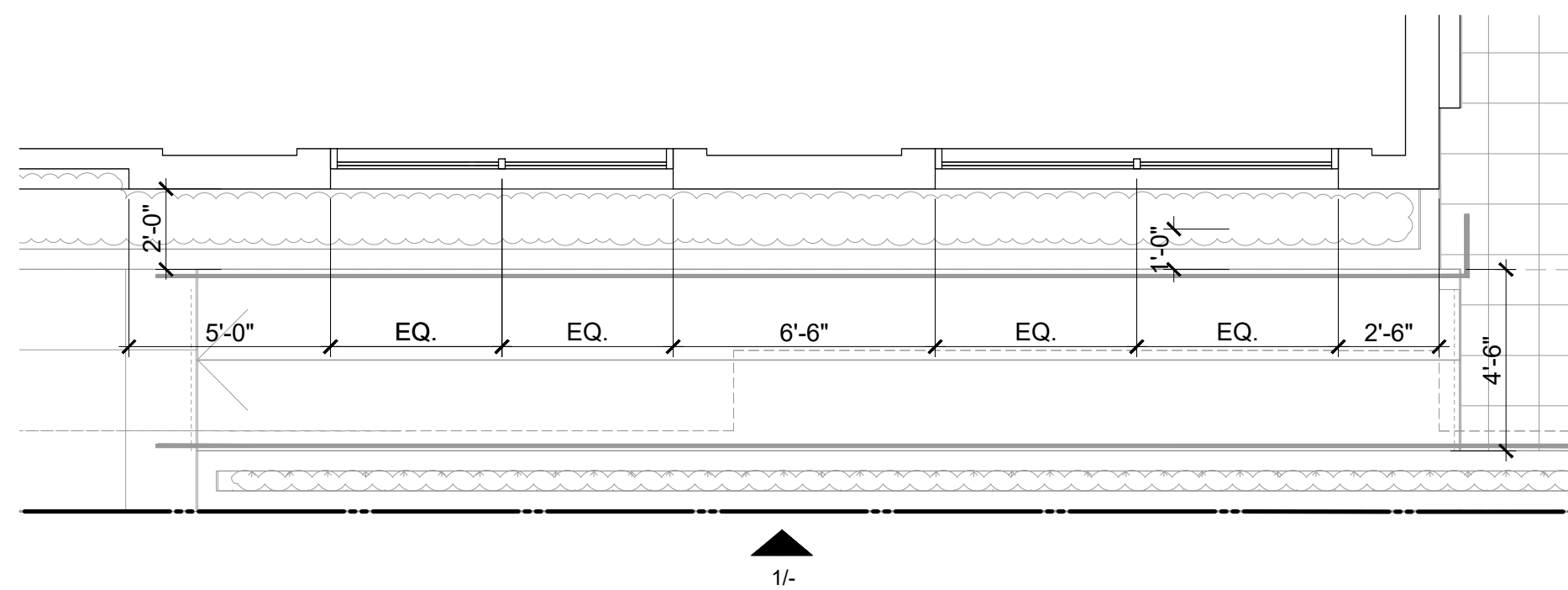
SHEET NUMBER

A4.0B

4 NOT USED
NTS



3 THIRD FLOOR PLAN
1/4"=1'-0"



2 FIRST FLOOR PLAN
1/4"=1'-0"

1 ELEVATION
1/4"=1'-0"

PAINTED MECHANICAL
SCREEN, COLOR 'F'

PAINTED METAIL RAILING, TYP.
COLOR 'E'

PAINTED METAL PARAPET,
TYP. COLOR 'F'
PAINTED METAL CANOPY,
TYP. COLOR 'F'

CLEAR VISION GLASS WITH
SHADOWBOX BEYOND,
TYP. AT LEVEL 6

BIRD SAFE GLASS,
TYP. AT LEVEL 6

PAINTED METAL MULLION,
COLOR 'E'

PAINTED METAL PANEL,
COLOR 'E'

CLEAR VISION GLASS,
TYP. AT LEVEL 1-6

PAINTED METAL PANEL,
COLOR 'F'

PAINTED METAL MULLION,
COLOR 'E'

BIRD SAFE GLASS RAILING
WITH RAIL AND SHOE, TYP.
COLOR 'E', TYP. AT ALL
BALCONIES

PAINTED HORIZONTAL SIDING
BOARD, TYP. COLOR 'A'

WOOD TEXTURE PANEL, TYP.
COLOR 'B'

PROPOSED PUBLIC ART
LOCATION

CLEAR VISION GLASS

EL. 77'-11"
T.O. MECH.
SCREEN

EL. 71'-5"
T.O. RAILING

EL. 69'-5"
T.O. PARAPET /
ELEV. OVERRUN /
STAIRS

EL. 67'-11"
T.O. ROOF SLAB

EL. 54'-11"
SIXTH FLOOR

EL. 44'-8"
FIFTH FLOOR

EL. 34'-8"
FOURTH FLOOR

EL. 24'-8"
THIRD FLOOR

EL. 14'-8"
SECOND FLOOR

EL. 1'-2"
FIRST FLOOR

EL. 0'-0"
BASE FLOOD ELEV.

EL. -1'-9 1/2" ±
SIDEWALK GRADE

SMITH DEVELOPMENT

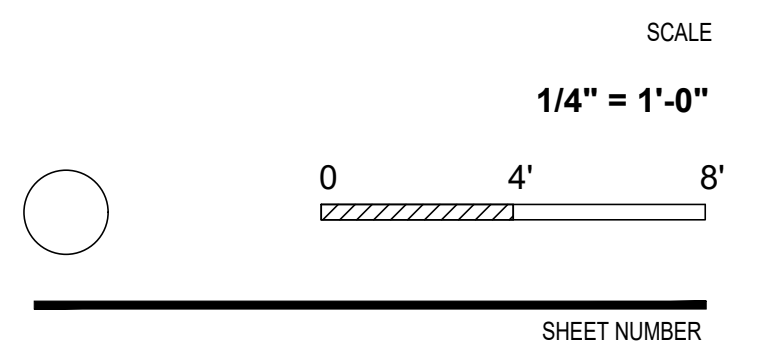
660 UNIVERSITY
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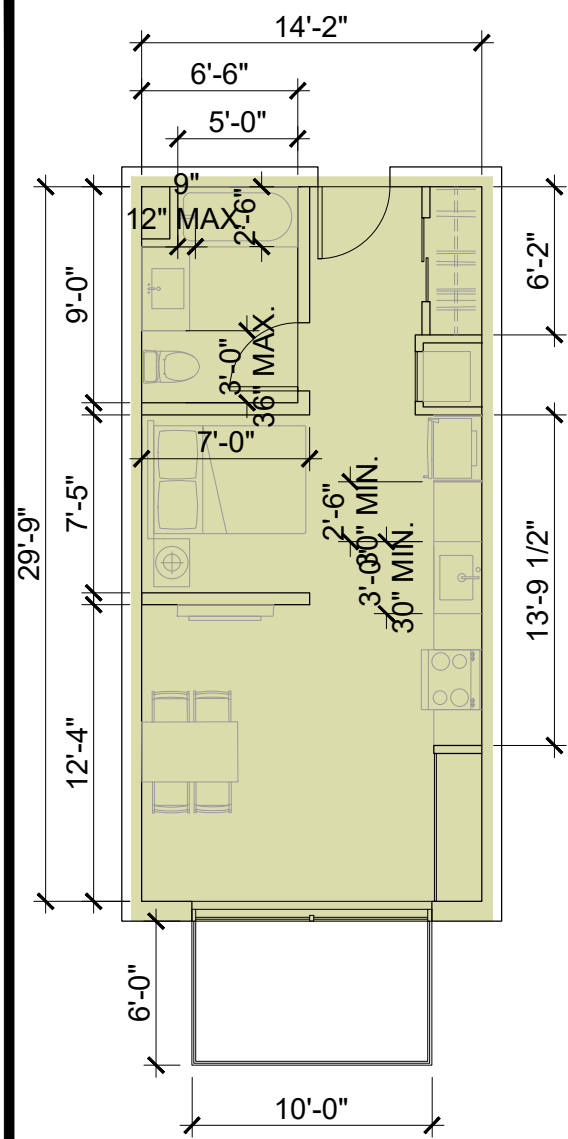
ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
ENLARGED ELEVATIONS

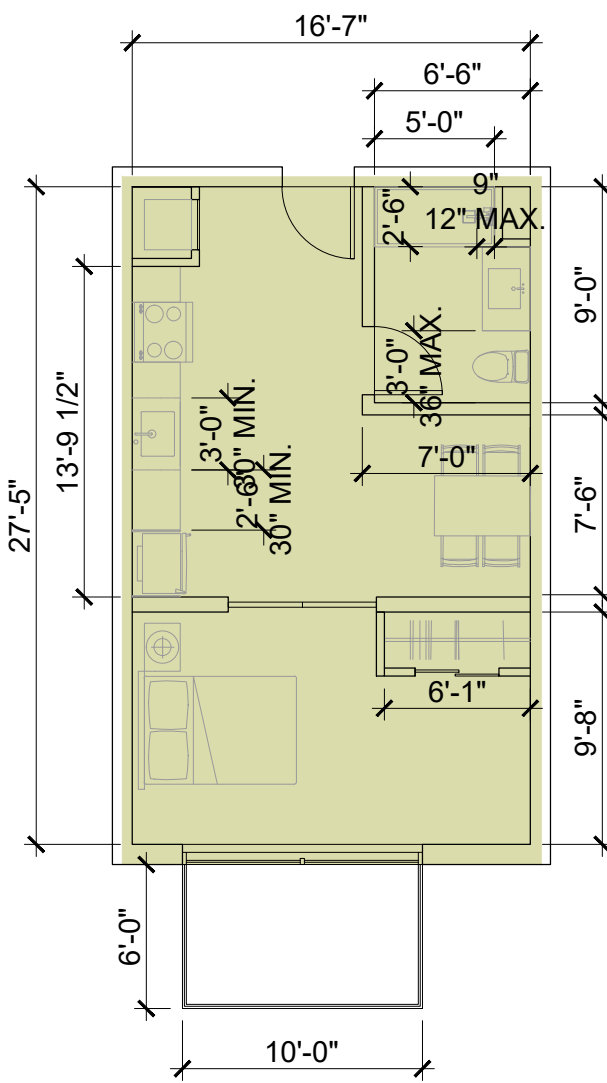


A4.1A



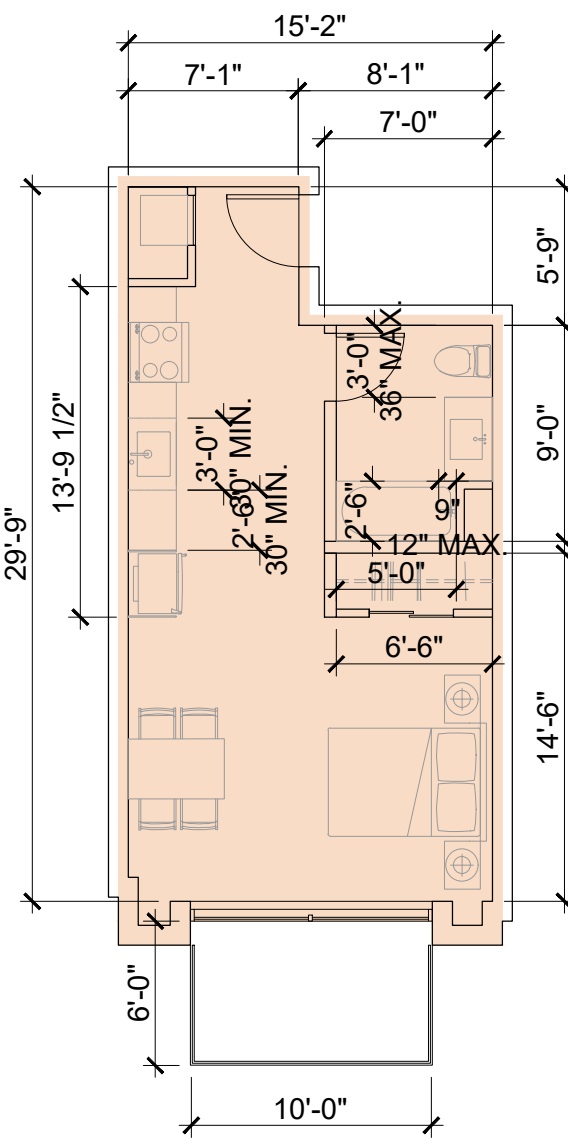
UNIT TYPE _ STUDIO
AREA _ 435'-469' SF
TERRACE _ 60 SF

15 UNIT TYPE A1



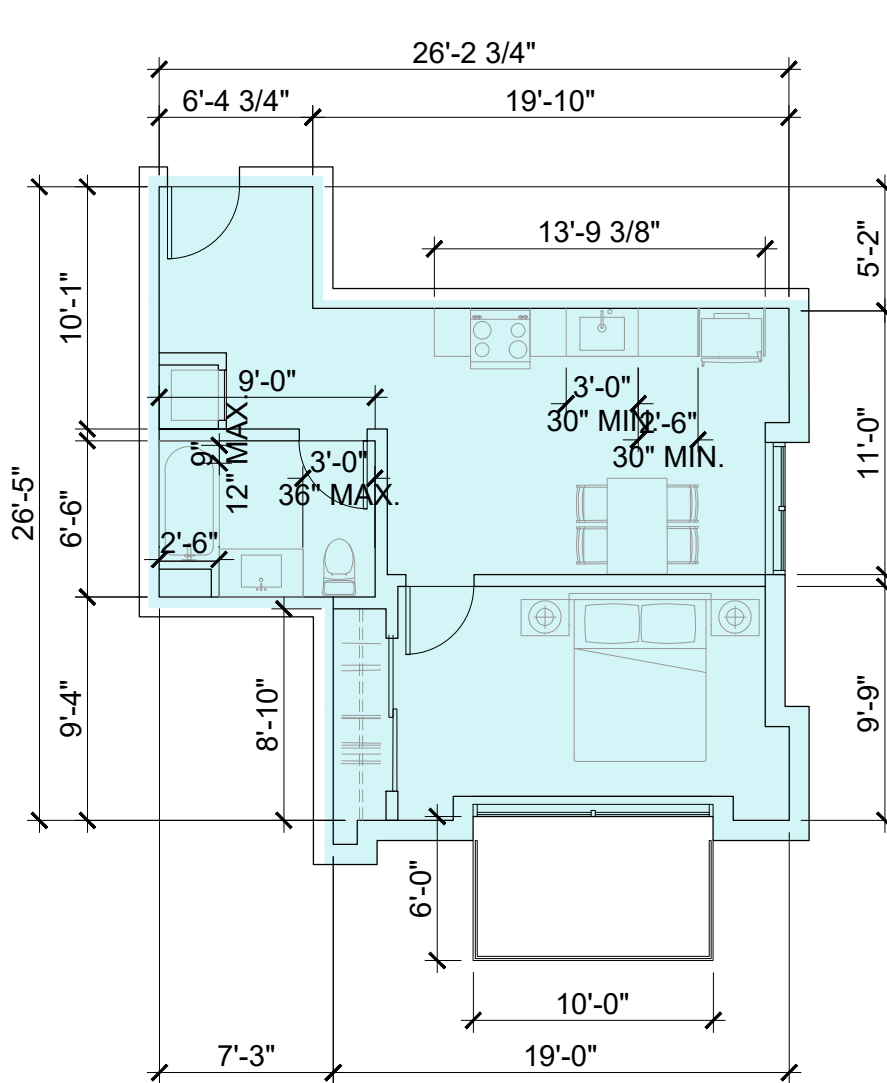
UNIT TYPE _ STUDIO
AREA _ 469'-500' SF
TERRACE _ 60 SF

15 UNIT TYPE A2



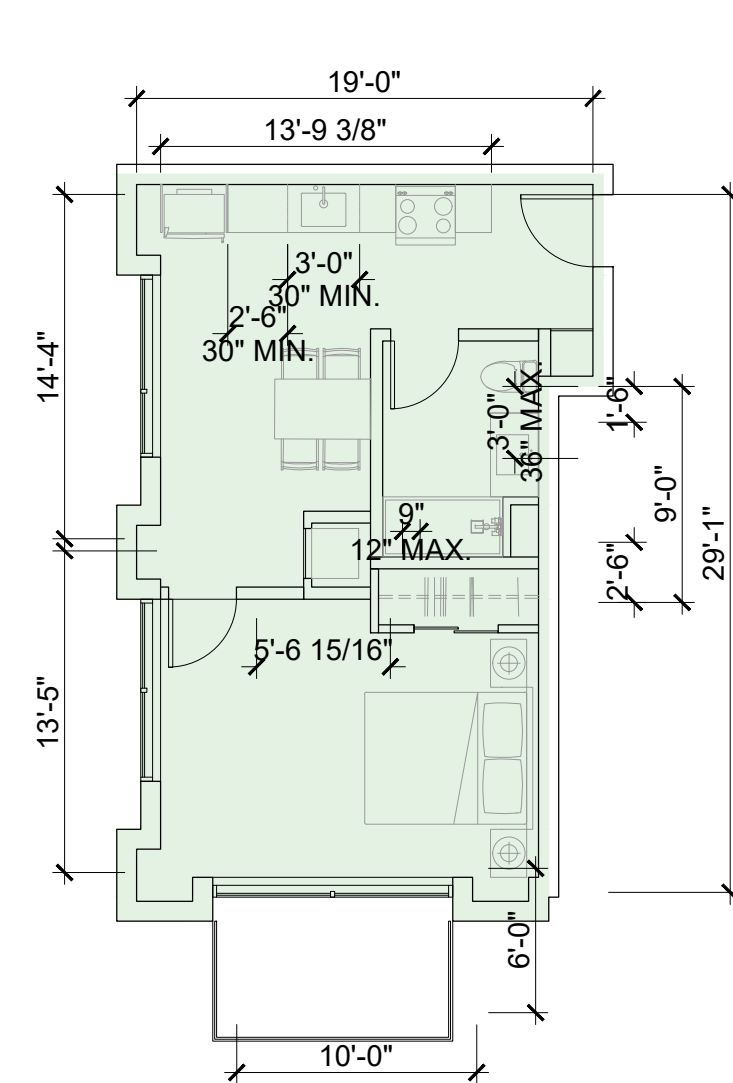
UNIT TYPE _ STUDIO
AREA _ 456' SF
TERRACE _ 60 SF

2 UNIT TYPE B



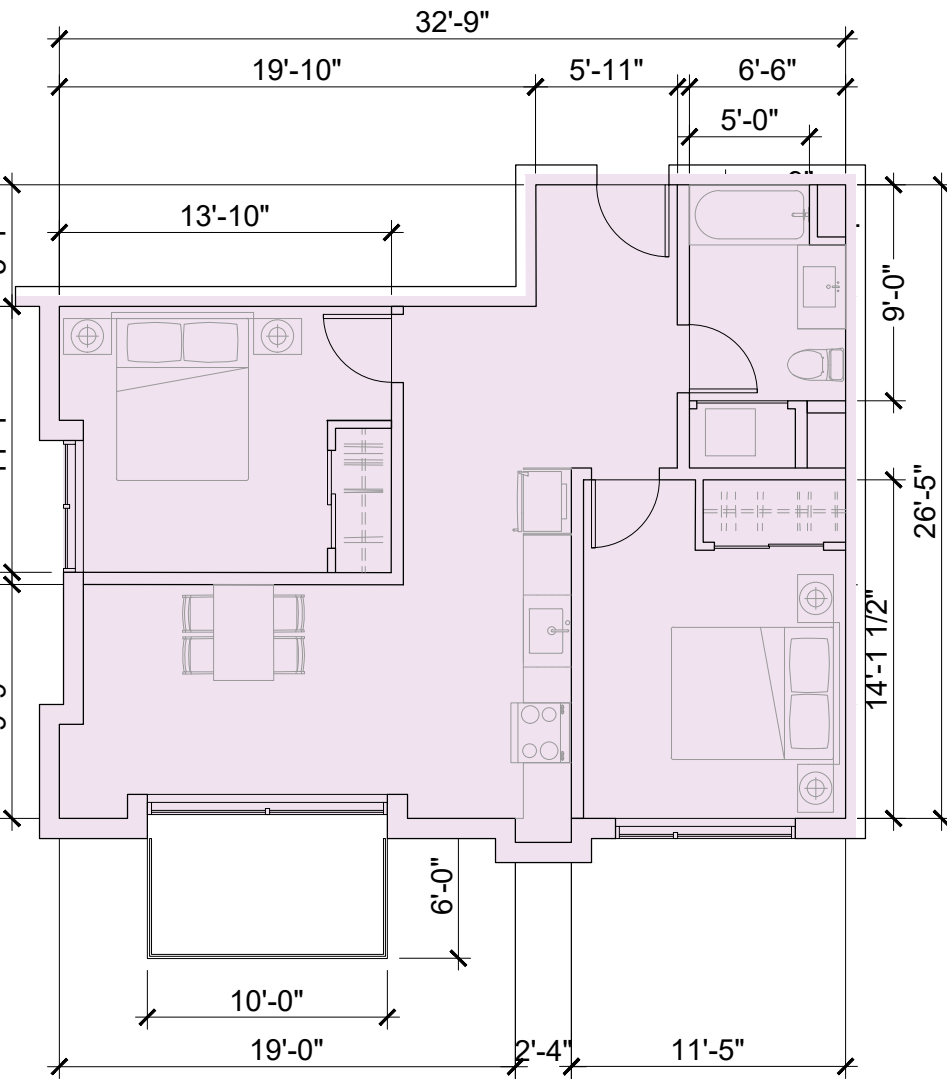
UNIT TYPE _ 1 BEDROOM
AREA _ 550'-568' SF
TERRACE _ 60 SF

5 UNIT TYPE C



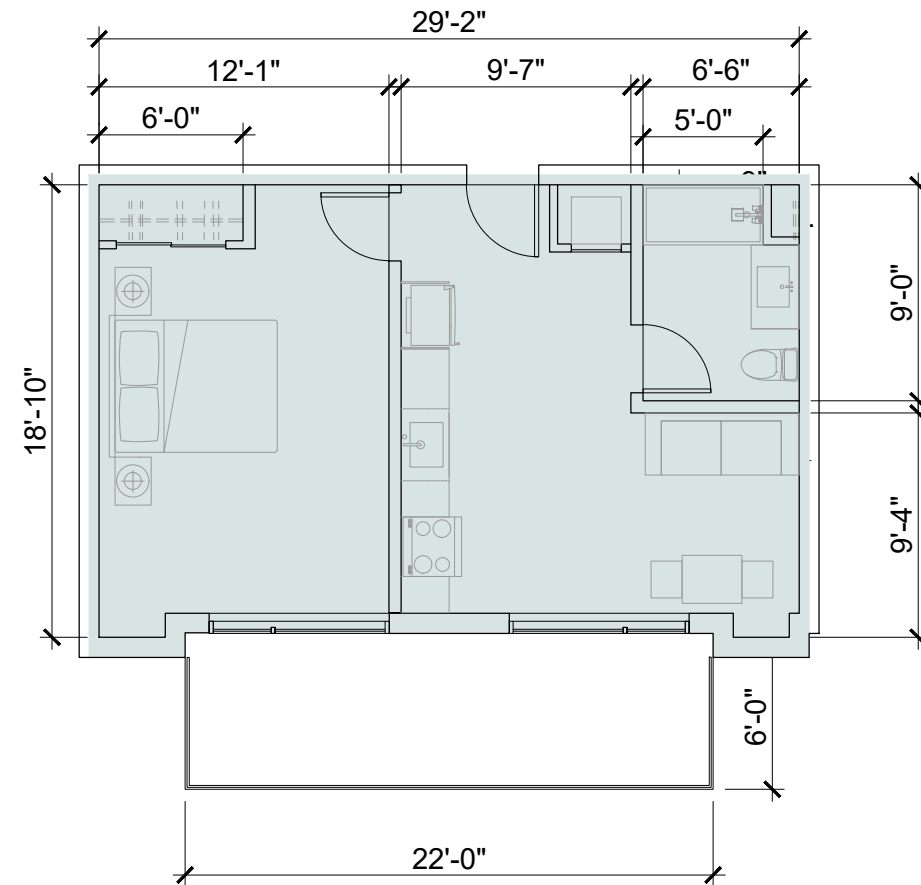
UNIT TYPE _ 1 BEDROOM
AREA _ 517'-551' SF
TERRACE _ 60 SF

7 UNIT TYPE D



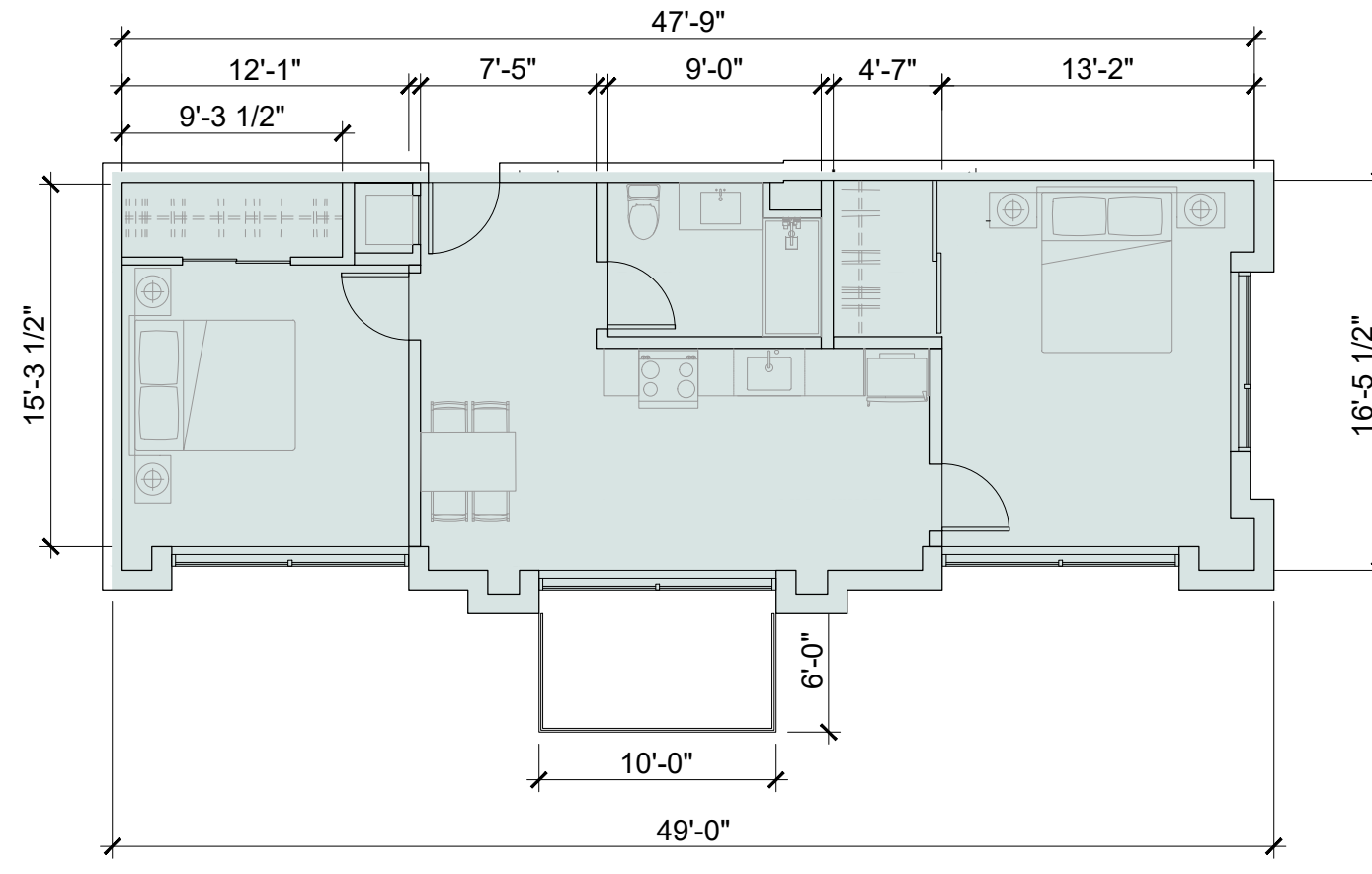
UNIT TYPE _ 2 BEDROOM
AREA _ 802'-821' SF
TERRACES _ 60 SF

5 UNIT TYPE E



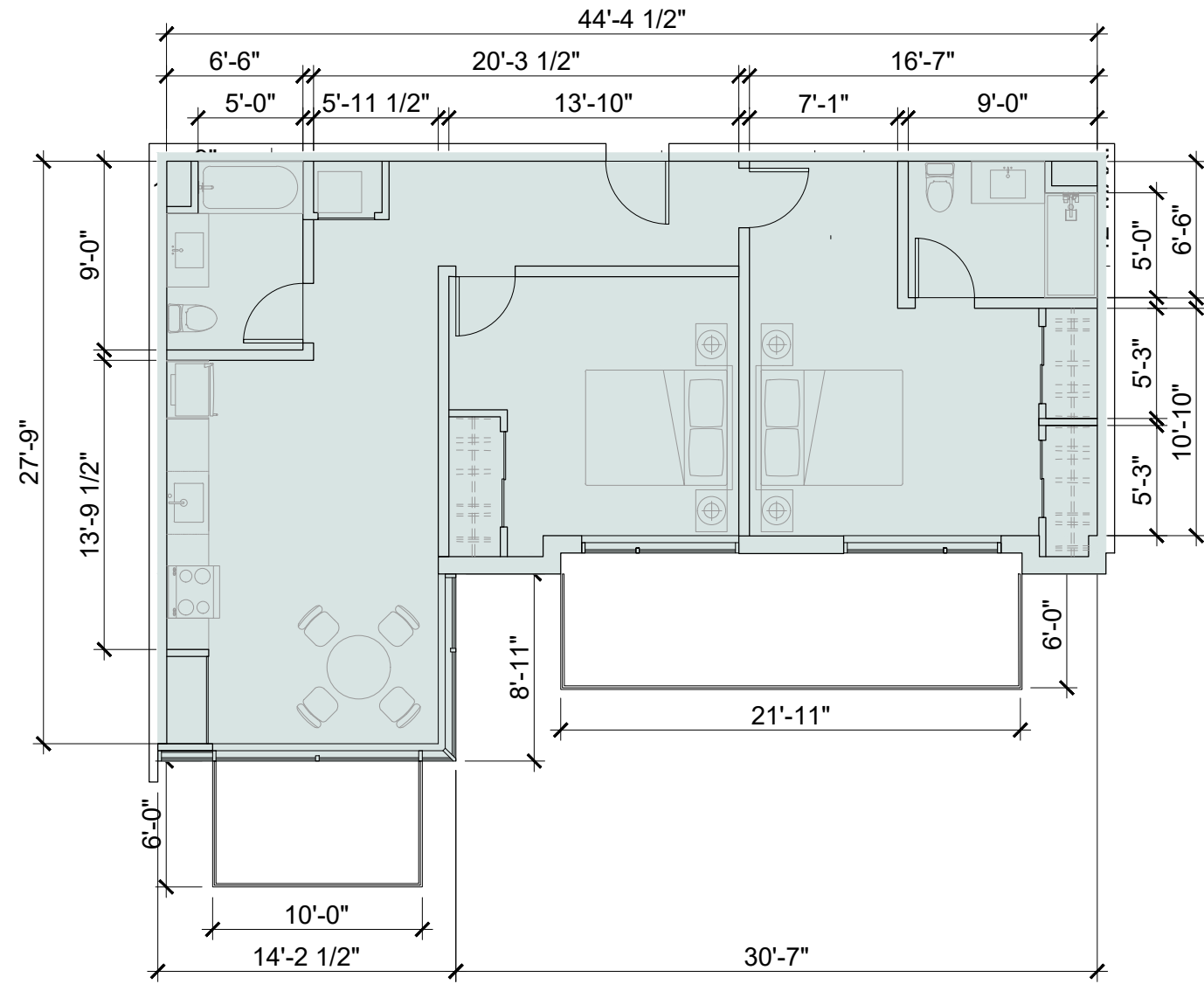
UNIT TYPE _ 1 BEDROOM
AREA _ 580' SF
TERRACES _ 66 SF + 66 SF OR 378 SF

2 UNIT TYPE F1



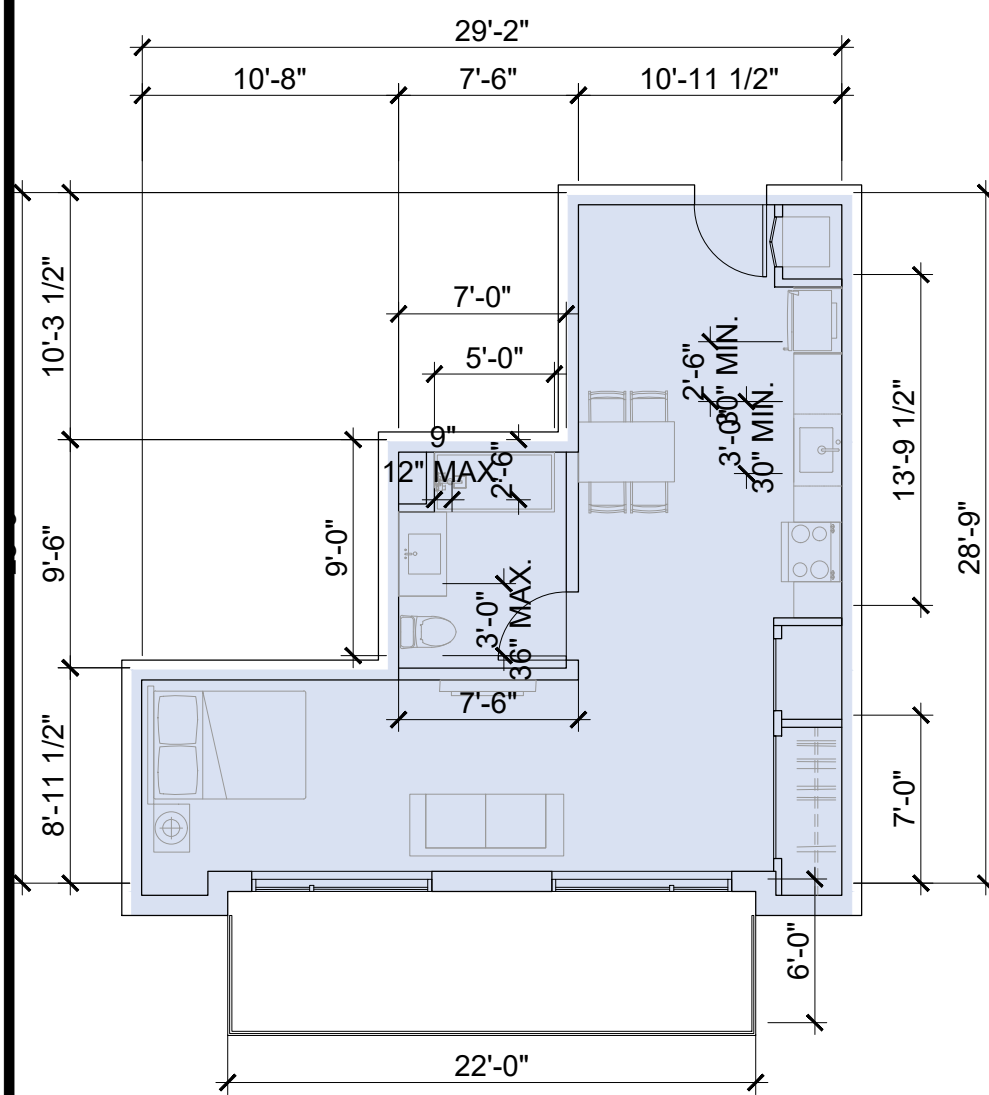
UNIT TYPE _ 2 BEDROOM
AREA _ 821'-842' SF
TERRACES _ 60 SF OR 685 SF

3 UNIT TYPE F2



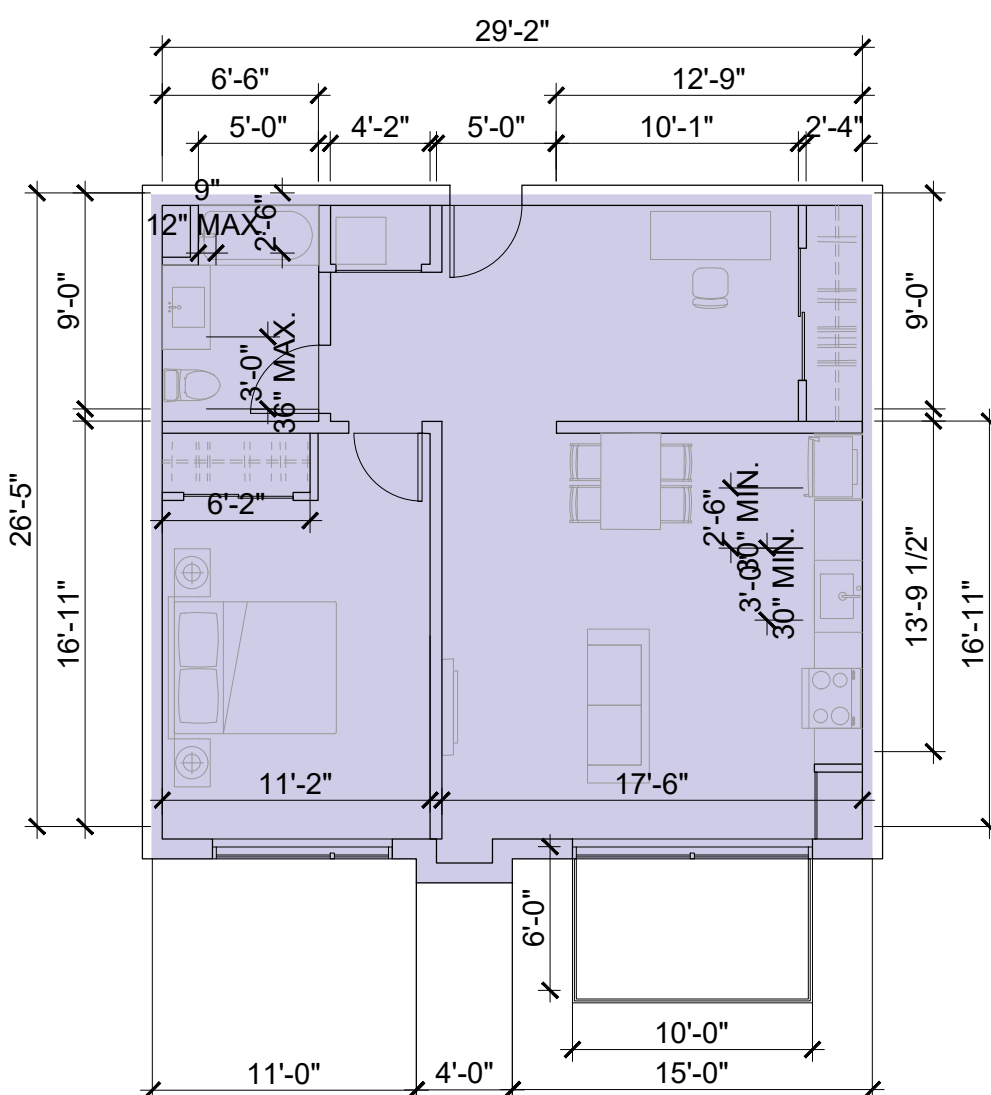
UNIT TYPE _ 2 BEDROOM
AREA _ 966' SF
TERRACES _ 60 SF + 66 SF + 66 SF

1 UNIT TYPE F3



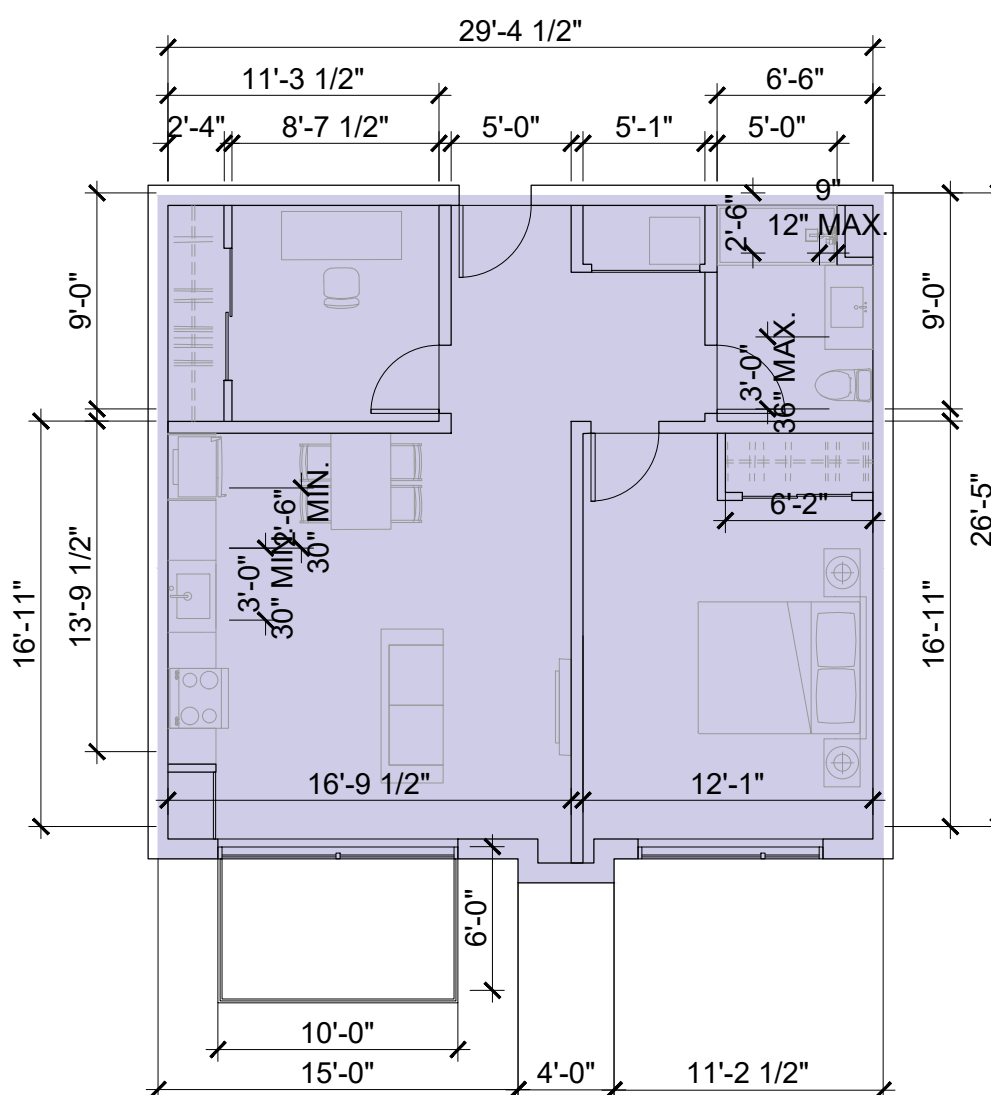
UNIT TYPE _ STUDIO
AREA _ 569' SF
TERRACES _ 66 SF + 66 SF

5 UNIT TYPE G



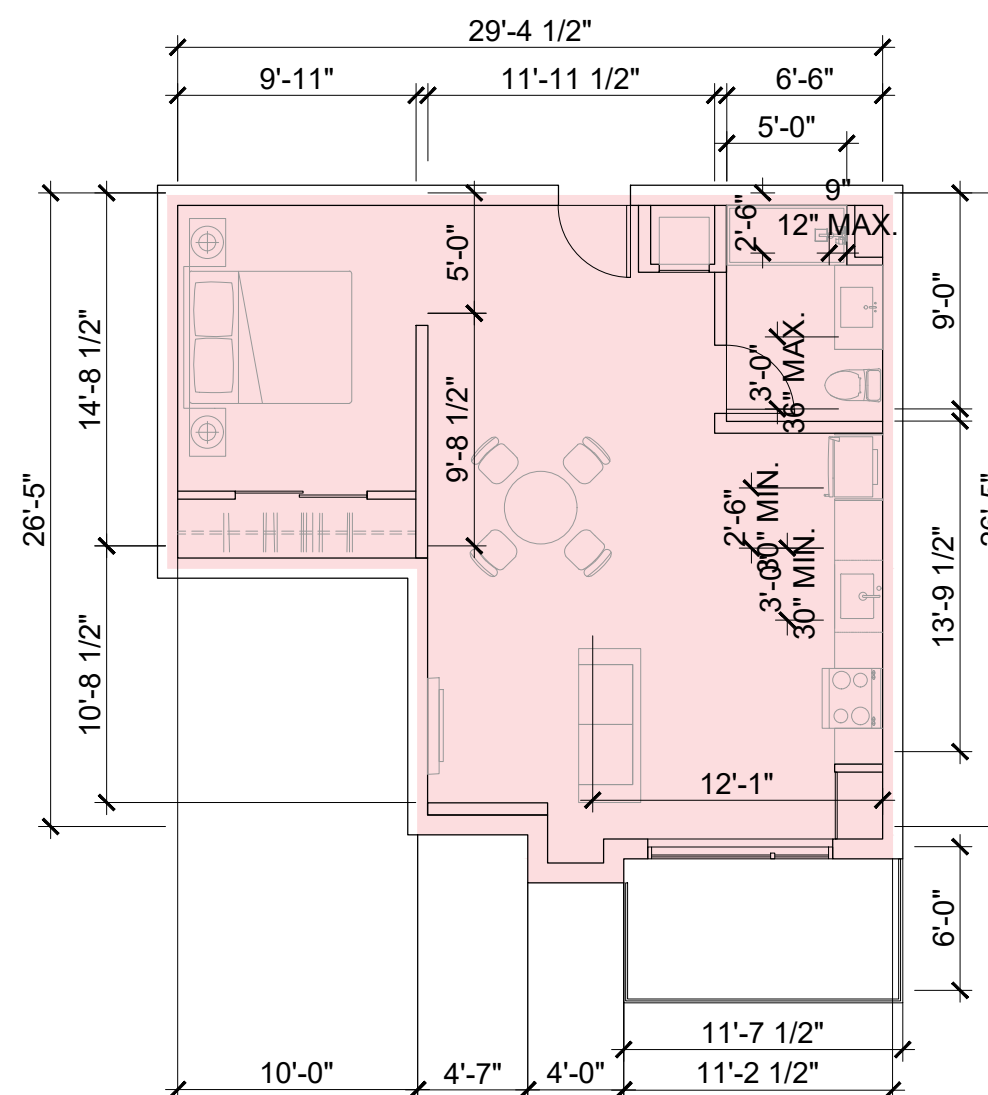
UNIT TYPE _ 1 BEDROOM
AREA _ 819'-878' SF
TERRACE _ 60 SF

10 UNIT TYPE H1



UNIT TYPE _ 1 BEDROOM
AREA _ 819'-878' SF
TERRACE _ 60 SF

9 UNIT TYPE H2



UNIT TYPE _ STUDIO
AREA _ 803' SF
TERRACE _ 66 SF

1 UNIT TYPE J

NOTES: SEE OVERALL PLANS (SHEETS A2.2A - A2.3) FOR ACTUAL BALCONY CONFIGURATION INCLUDED ON THIS SHEET ARE TYPICAL CONDITIONS ONLY NOT ALL UNITS ARE PROVIDED WITH A BALCONY

SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301



ARCHITECTS
KORTH SUNSERI HAGEY

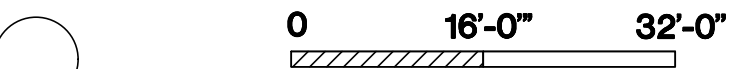
ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED UNIT PLANS

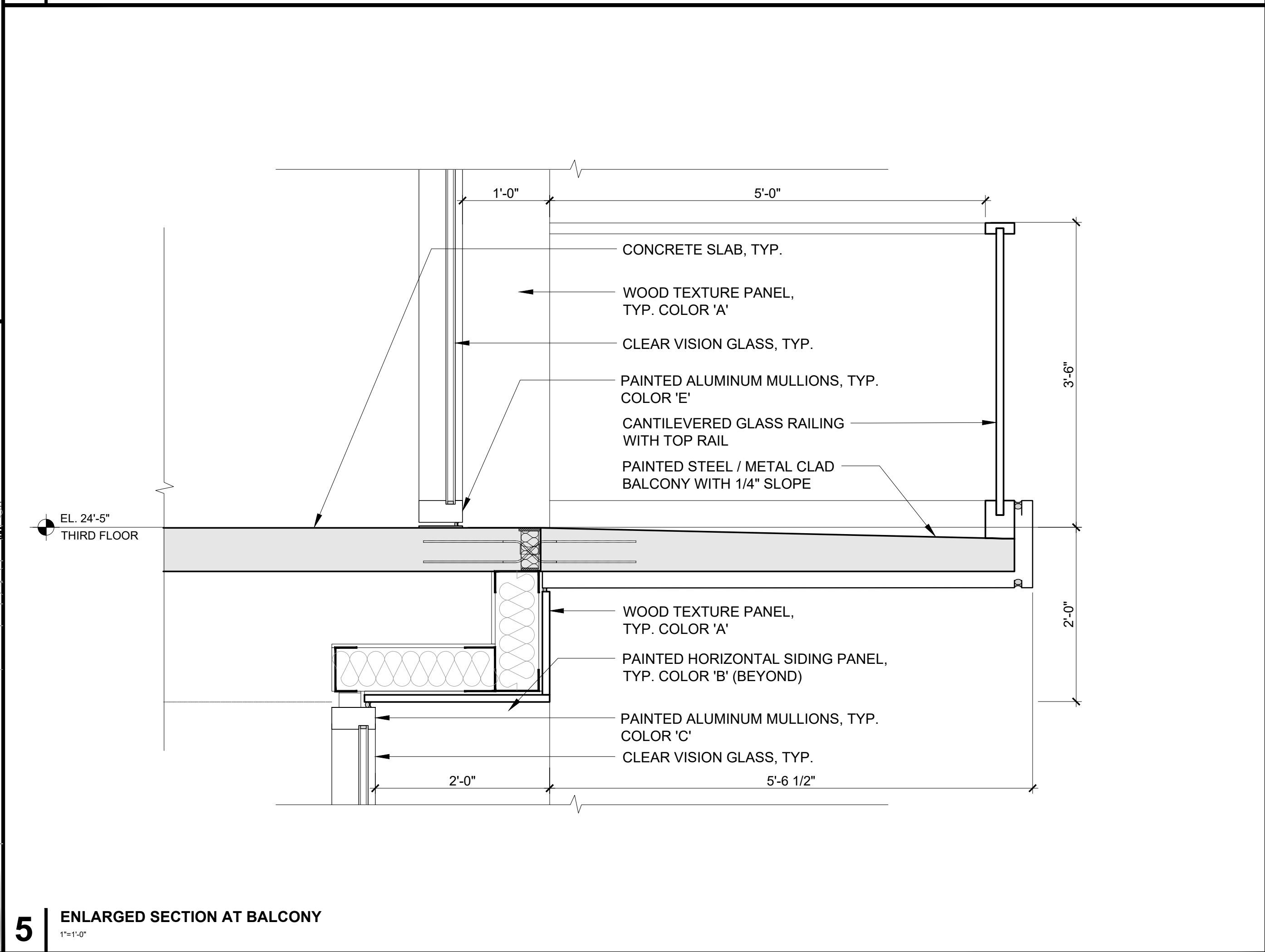
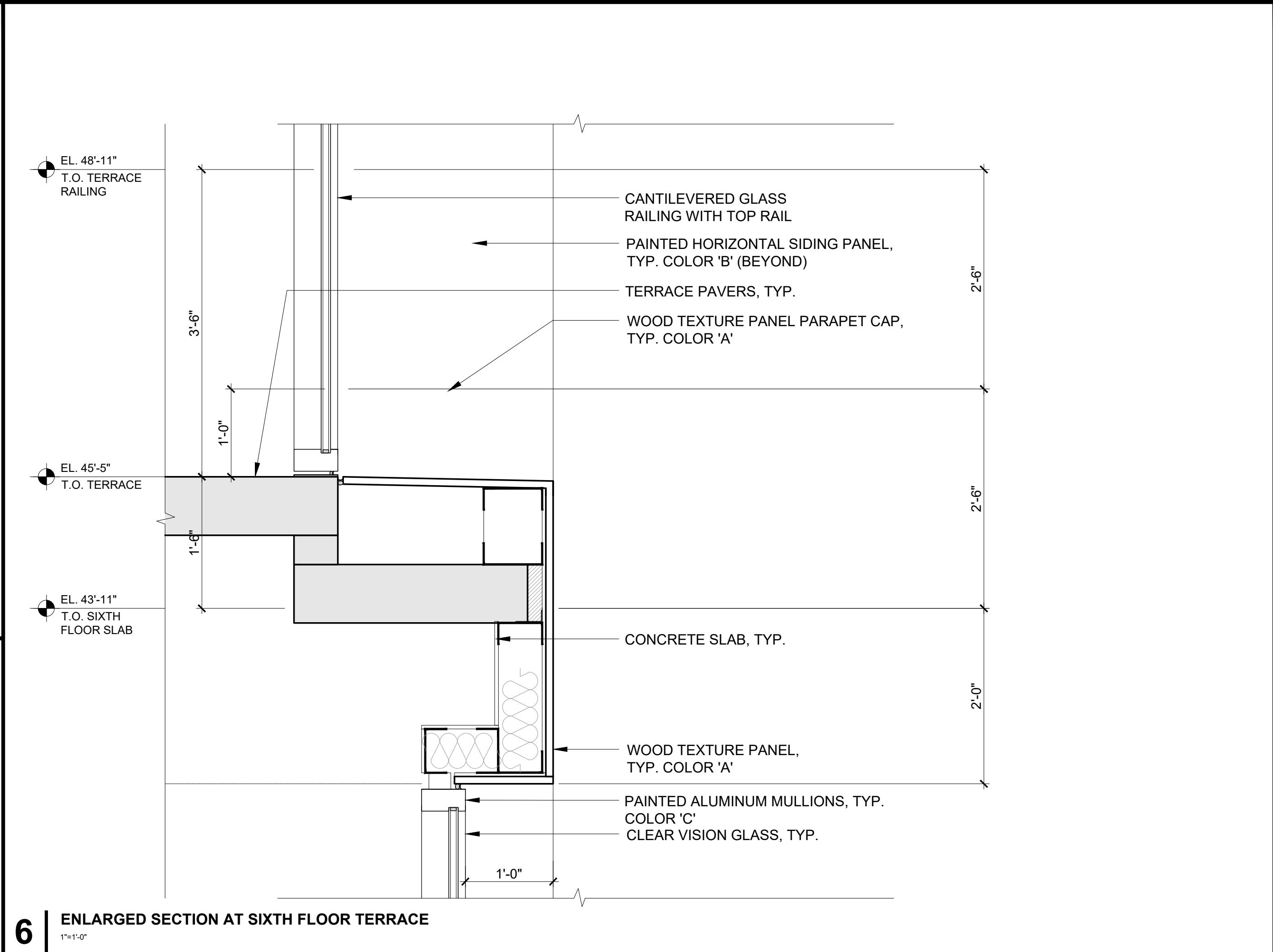
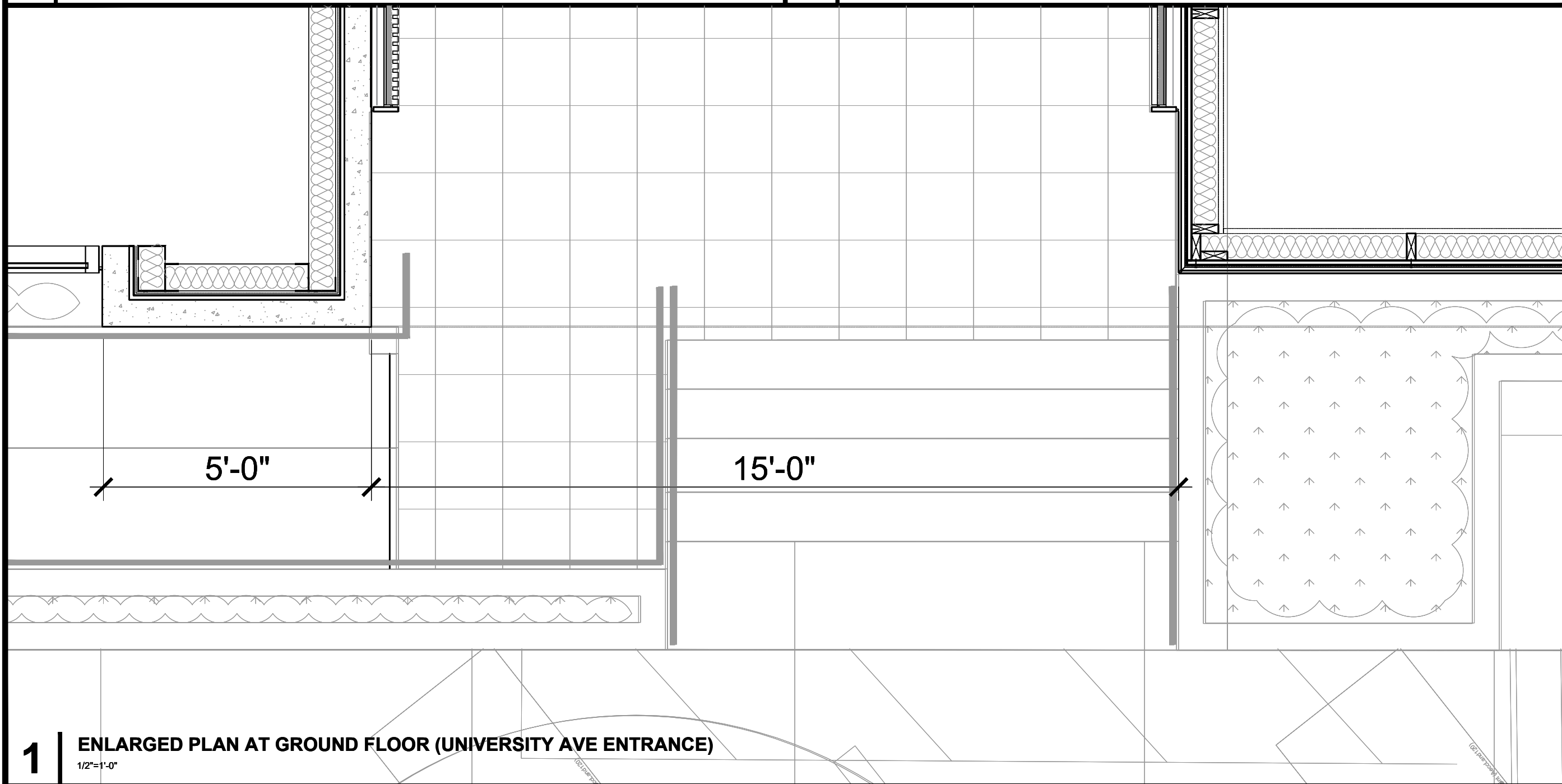
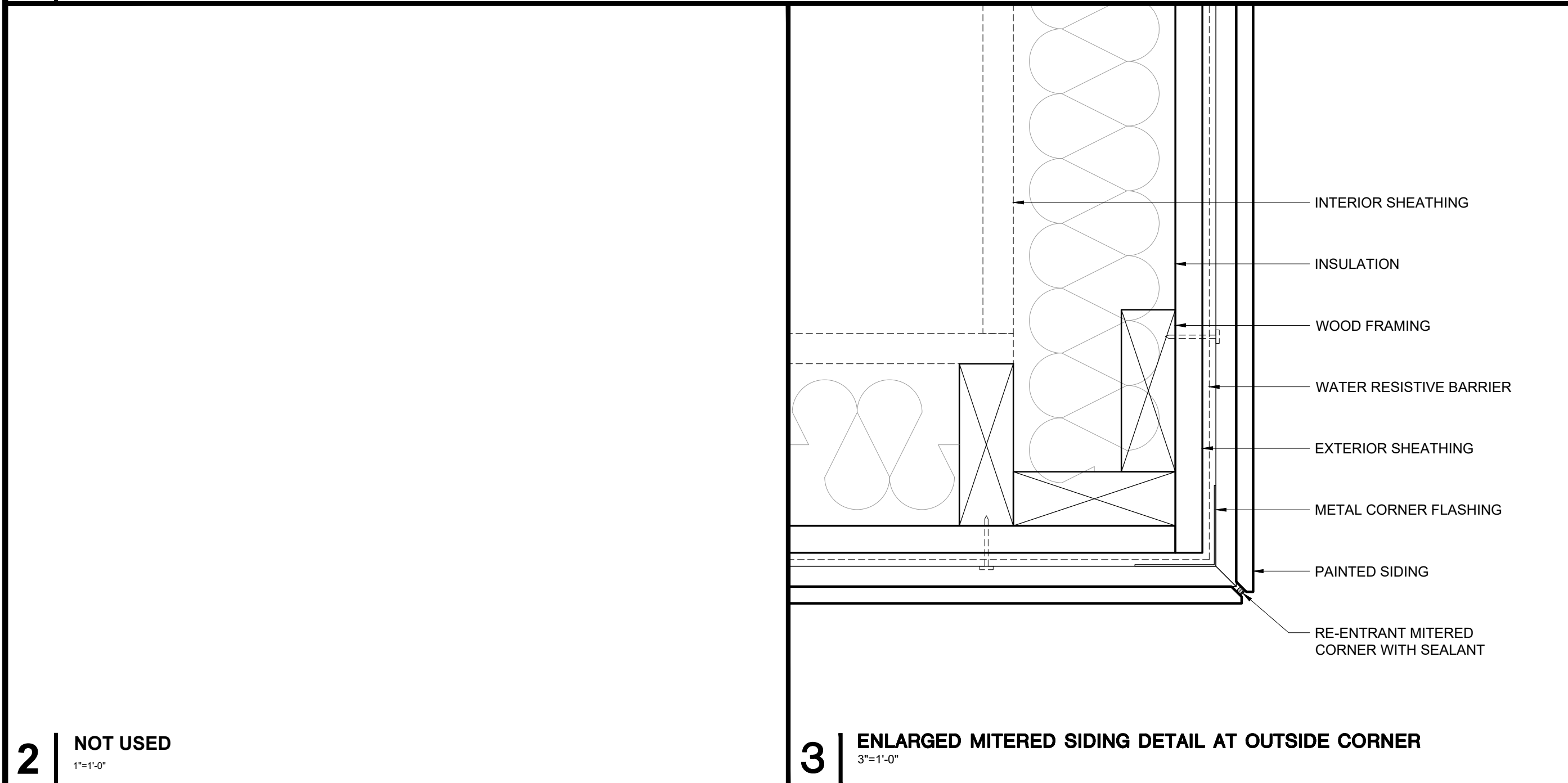
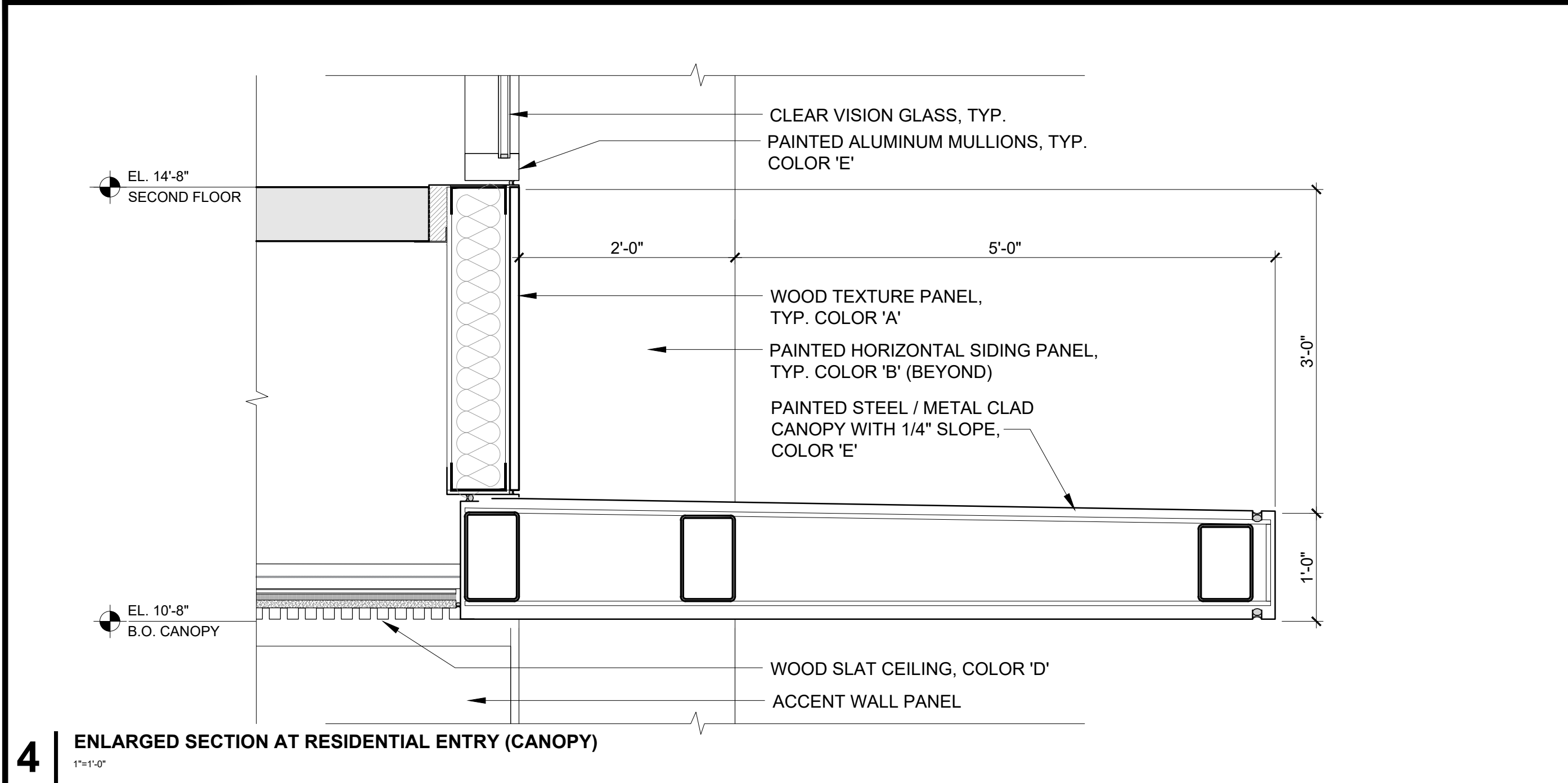
SCALE

1/8" = 1'-0"



SHEET NUMBER

A5.1



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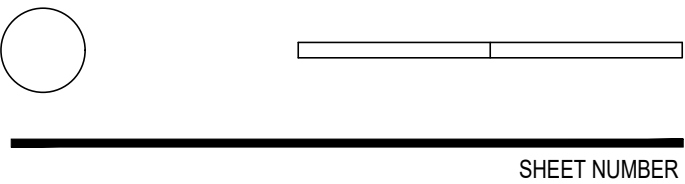
ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
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09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9

PROJECT NUMBER
21003

SHEET TITLE
ENLARGED DETAILS

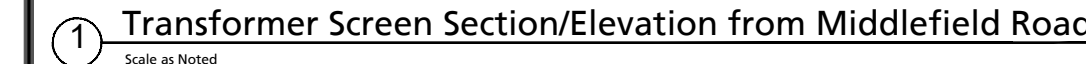
SCALE
AS NOTED



SHEET NUMBER

A8.10

UNIVERSITY AVENUE
(75' WIDE ROW)



L 1.1

Site



Pedestrian Unit Paver Pattern



Pedestrian Accent Paving Color



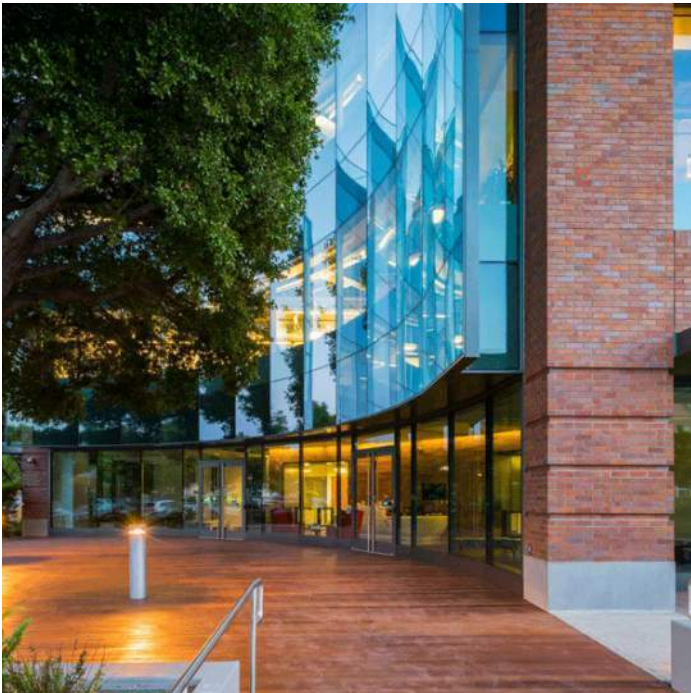
Open Wire Omega Fence near Public Rights of Way for Pedestrian and Vehicular Visibility-6' Height



Existing Concrete Foundation Wall (Along Property Line Near Large Coast Live Oak) to Remain



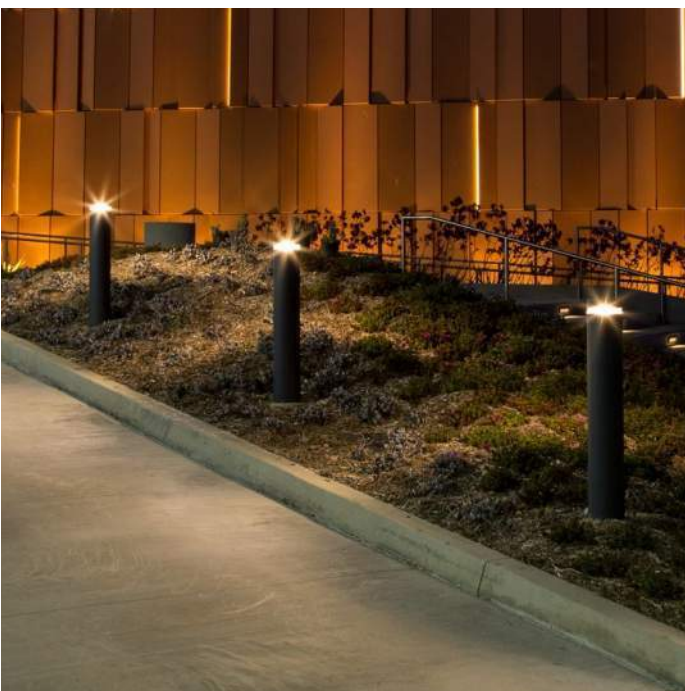
Horizontal Wood Slat Screen Fence - 7' Height



Wood Deck on Grade



Welle Circular Bike Rack-Silver



Bollard Light



Bollard Light



Precast Planter on Decorative Gravel over Existing Asphalt



Precast Planter on Decorative Gravel over Existing Asphalt



Raised Concrete Treatment Planter
Height above grade varies in different site conditions.
See plans

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THE
Guzzardo
Partnership, INC.
Landscape Architects| Land Planners
Pier 9, The Embarcadero, Suite 115
San Francisco, CA 94111 | www.tgp-inc.com

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06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
LANDSCAPE IMAGERY

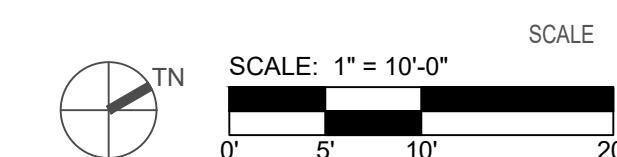
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SHEET NUMBER

ISSUES AND REVISIONS	
NO.	DATE DESCRIPTION
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	06.20.25 PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PLANTING PLAN - SITE



SHEET NUMBER

L 3.1

PLANT PALETTE

TREES- all 36" box							HABITAT	
KEY	QTY	BOTANICAL NAME	COMMON NAME	COMMENTS/SPACING	WUCOLS	NOTES	FORMING	
CER OCC	8	Cercis occidentalis	Western Redbud	Standard	Low	California Native	Food	
PLA ACE	4	Platanus acerifolia "Columbia"	Columbia London Plane Tree	Standard	Medium	Regionally Appropriate		
ARB MAR	3	Arbutus 'Marina'	Marina Strawberry Tree	Multi	Low	Regionally Appropriate	Food	
SHRUBS, GROUNDCOVERS AND GRASSES --all 5 gallon size								
KEY	QTY	BOTANICAL NAME	COMMON NAME	COMMENTS/SPACING	WUCOLS	CALIFORNIA NATIVE		
AGV	15	Anigozanthos 'Gold Velvet'	Gold Kangaroo Paw	24" o.c.	Low	Regionally Appropriate	Food	
CAC	55	Carex californica	California Sedge	24" o.c.	Low	California Native		
ABU	17	Abutilon palmeri	Indian Mallow	36" o.c.	Low	California Native	Food	
IRD	71	Iris douglasiana	Pacific Coast Iris	12" o.c.	Low	Regionally Appropriate		
MUC	153	Muhlenbergia capillaris 'Regal Mist'	Pink Muhly Grass	24" o.c.	Low	California Native	Food	
LEU	5	Leucadendron 'Maui Sunset'	Maui Sunset Cone Bush	30" o.c.	Low	Regionally Appropriate	Food	
RSA	18	Ribes sanguineum	Red Flowering Currant	36" o.c.	Low	California Native	Food	
SAL	150	Salvia clevelandii 'Winfred Gillman'	Cleveland Sage	24" o.c.	Low	California Native	Food	
ACCENT SHRUBS, GRASSES AND PERENNIALS- all one gallon size								
CK	16	Calamagrostis x a. 'Karl Foerster'	Feather Reed Grass	36" o.c.	Medium	California Native	Food	
SM	16	Senecio madraliscae	Blue Chalk Sticks	24" o.c.	VeryLow	Regionally Appropriate		
GROUNDCOVERS- all one gallon size								
SS	15	Sedum rupestre 'Angelina'	Angelina Stonecrop	24" o.c.	VeryLow	Regionally Appropriate		
STORMWATER TREATMENT PLANT								
CH	25	5 Gal	Chondropetalum tectorum	Small Cape Rush	36" o.c.	Low	Regionally Appropriate	Food
DB	18	5 Gal	Dietes irioides	Fortnight Lily	24" o.c.	Low	Regionally Appropriate	
FC	106	5 Gal	Festuca californica	California Fescue	24" o.c.	Low	California Native	Food
JP	52	1 Gal	Juncus patens 'Elk Blue'	Elk Blue Gray Rush	24" o.c.	Low	California Native	
ME	120	1 Gal	Mahonia repens	Creeping Oregon Grape	24" o.c.	Low	California Native	Food
MR	30	1 Gal	Muhlenbergia rigens	Deer Grass	36" o.c.	Low	California Native	Food

- Notes:**
- Plants with low WUCOLS ratings are drought tolerant and regionally appropriate species. Plants noted are Native to California. Other plants, not in either of these two categories are well adapted to Palo Alto. Habitat forming column refers to food value of flowers or fruit for small animals, birds, butterflies and other insects in addition to shelter for some insects.
 - Do not use chemical fertilizers, pesticides, herbicides or commercial soil amendment. Use Organic Materials Review Institute (OMRI) materials and compost. Refer to the Bay-Friendly Landscape Guidelines: <http://www.stopwaste.org/resource/brochures/bay-friendly-landscape-guidelines-sustainable-practices-landscape-professional-for-guidance>
 - Avoid compacting soil in areas that will be unpaved. All planting areas to receive 3" layer of bark mulch.

The approximate total quantity of plants proposed is 1,212. Of these plants, 998 are native which totals 82% Native plantings.

Reference Evapotranspiration (ETo)			43.1	City of Palo Alto			
Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
Regular Landscape Areas							
Low Water-Use Plants	0.30	Drip	0.81	0.37	3,125	1,156	30,897
Moderate Water- Use Plants	0.50	Drip	0.81	0.62	322	200	5,335
					(A)	(B)	
				Totals	3,447	1,356	36,232
Special Landscape Areas							
Water Feature					77		
					(C)	(D)	
				Totals	0	0	
						ETWU Total	36,232
							41,450
Maximum Allowed Water Allowance (MAWA)*							

Hydrozone #/Planting Description
E.g
1.) front lawn
2.) low water use plantings
3.) medium water use planting

Irrigation Method
overhead spray
or drip

Irrigation Efficiency
0.75 for spray head
0.81 for drip

ETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre- inches per acre per year to gallons per square foot per year.

MAWA (Annual Gallons Allowed) = (ETo) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas

Total ETAF x Area (B)	1,356
Total Area (A)	3,447
Average ETAF	0.393353640

All Landscape Areas

Total ETAF x Area (B+D)	1,356
Total Area (A+C)	3,447
Sitewide ETAF (B+D) ÷ (A+C)	0.393353640847113



Festuca californica



Helictotrichon sempervirens



Heteromeles arbutifolia



Lomandra 'Lime Turf'



Muhlenbergia rigens



Myrica californica



Rhamnus c. 'Mound San Bruno'



Salvia c. 'Winifred Gilman'



Stipa arundinacea



Sisyrinchium angustifolium



Calamagrostis acutiflora 'Stricta'



Anigozanthos 'Gold Velvet'



Sisyrinchium bellum



Mahonia repens

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PROJECT NUMBER
21003

SHEET TITLE
PLANTING PALETTE & IMAGERY &
WELO CALCULATIONS

SCALE

SHEET NUMBER

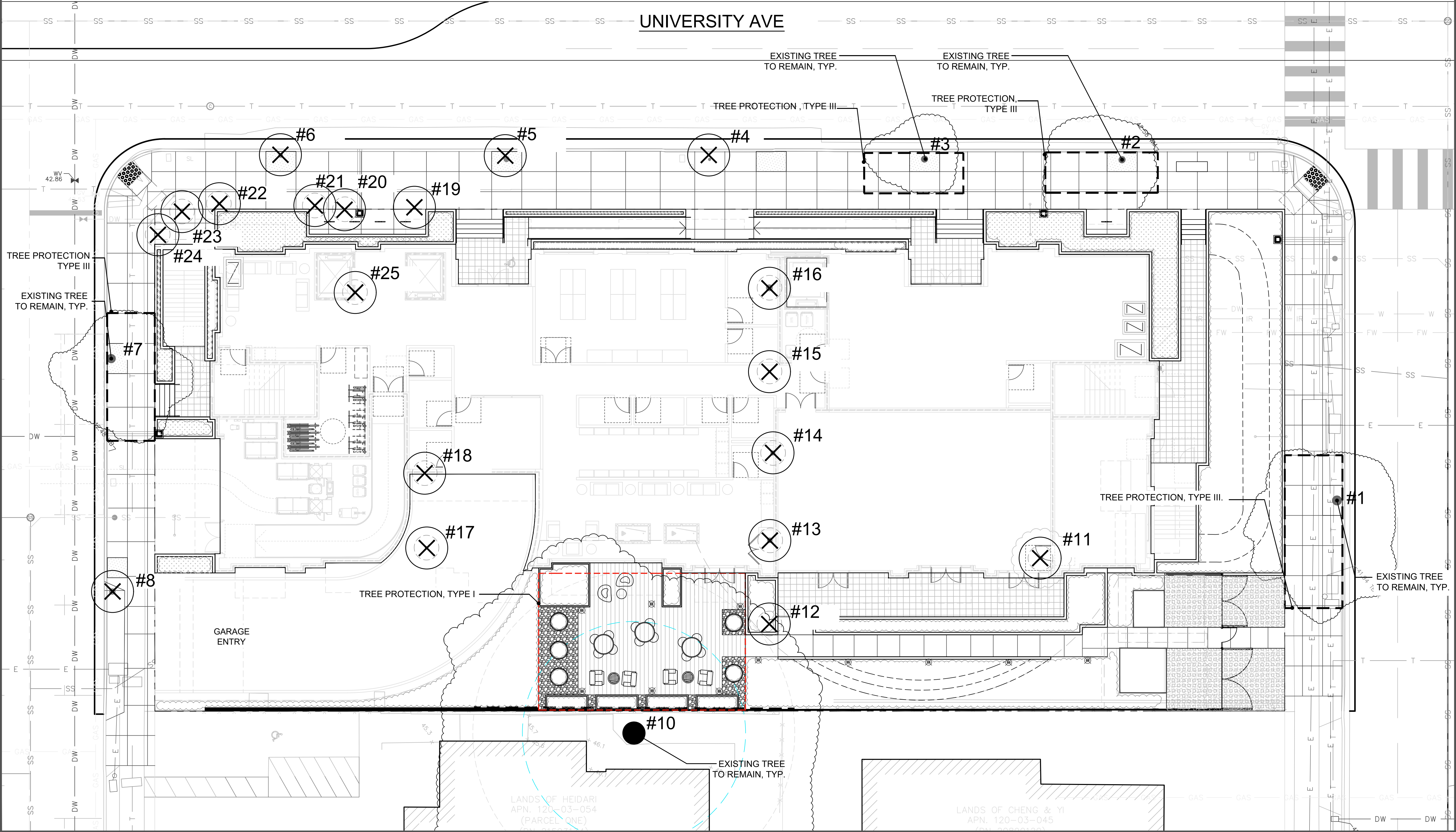
L 3.3

TREE DISPOSITION LEGEND

Total Existing Trees on Site	24
Disposition	Regulated Trees
Tree to be Preserved	0
Tree to be Preserved Off-Site	5
Total Trees Preserved	5
Removed, Poor Condition	3
Removed, Project Re-Design	16
Total Trees Removed	19
Total Proposed Trees	18
Total Trees on Future Site	23

Note:
- See Arborist Report by Arbor Resources dated February 07, 2024 for specific information about existing trees. Contact project Arborist prior to performing any work within the Tree Protection Zones noted in the Arborist report and shown on this drawing as well.

UNIVERSITY AVE



SMITH DEVELOPMENT

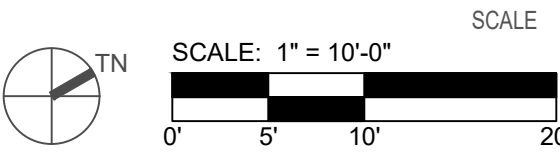
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06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
TREE DISPOSITION PLAN - SITE



SHEET NUMBER

L 4.1

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City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT
CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 660 University Avenue

Are there Regulated trees on or adjacent to the property? **YES** (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. Plans must be submitted showing over 4" diameter trees.
☐ On the property
☒ On adjacent property overhanging the project site
☒ In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? **YES** (Check where applicable) **NO**
☒ Protected Tree (s)
☐ Designated Tree (s)
☒ Overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? **YES** **NO**
If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, Tree Protection, in Part of the Plan, per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? **YES** **NO**

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and arborist plan shows this. dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605. <http://www.cityofpaloalto.org/trees/forms.html> (See also TTM - Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: Paul T. Lettieri Print: Paul T. Lettieri Date: 05/13/2022
(Prop. Owner or Agent)

FOR STAFF USE:
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. **YES** **NO**
(N/A if there are no protected trees, check here C)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. **YES** **NO**
(N/A if there are no street trees, check here C)

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.8" in diameter or larger; Coast Redwoods which are 12" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/trees-technical-manual.html>

5.Plans/Plans/Arb/Tree Protection Info/Tree Disclosure Statement Revised 08/06

For written specifications associated with illustrations below, see Public Works Specifications Section 31
Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/)

Tree Protection Zone (TPZ) shown in gray (radius of TPZ equals 10 times the diameter of the tree or 10-foot, whichever is greater).
• Restricted activity area - see Tree Technical Manual Sec 2.15E).
• Restricted trenching area - see Tree Technical Manual Sec 2.20C-D, any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.

Type I Tree Protection
Tree all Ordinance Protected and Designated trees, as defined in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as designated on the plans.
Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plan and Tree Preservation Report.

Type II Tree Protection
Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.

Type III Tree Protection
Tree to be used only with approval of Public Works Operations.

Tree fencing is required and shall be erected before demolition, grading or construction begins.

Rev	By	Date
1	DB	12/14/02
2	DB	06/04/04
3	DB	06/16/06

Tree Protection During Construction
City of Palo Alto Standard

Approved by: Dave Dockter
PE No. _____
Date: 2006
Drawn by: _____
No. 605

**PALO ALTO
STREET TREE PROTECTION INSTRUCTIONS
-SECTION 31-**

31-1 General
a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents
a. Detail #65 - Illustration of situations described below.
b. Tree Technical Manual (TTM) Form (<http://www.cityofpaloalto.org/trees/>)
1. Trenching Restriction Zones (TTM, Section 2.20C) 2. Adjacent Property Fencing (TTM, Section 3.0) 3. Site Plan Requirements (TTM, Section 3.2) 4. Tree Disclosure Statement (TTM, Appendix A) 5. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms/>)

31-3 Execution
a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.
b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2 inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.
d. **Size, type and area to be fenced.** All trees to be protected shall be protected with an (6) foot high chain link fence. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2'-0" or as more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.
e. **Warning signs.** A warning sign shall be weather proof and prominently displayed on each face at 20-foot intervals. The sign shall be minimum 8.5 inches x 11 inches and clearly state in half inch tall letters "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."
f. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavation within the public right-of-way requires a Street Tree Form from Public Works.
g. **During construction**
1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.
2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.6.01(b) of the Palo Alto Municipal Code.
3. The following tree preservation measures apply to all trees to be retained:
a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
b. The ground under and around the tree canopy area shall not be altered.
c. Trees to be retained shall be irrigated, sealed and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWS, Section 31
Revised 08/06

Table 2-2 Palo Alto Tree Technical Manual

ARBORIST INSPECTION SCHEDULE

All Checked Items Apply to this project:

- ☒ **Inspection of Protective Tree Fencing.** The Street Tree Verification Form shall be signed by the City Arborist. For other Protected Trees, the project arborist shall provide a written statement with a photograph verifying that he has conducted a field inspection of the trees and that the protective tree fencing is in place prior to issuance of a demolition, grading, or building permit. (see Verification of Tree Protection, Section 1.39).
- ☐ **Pre-Construction Meeting.** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading equipment operators, project arborist, City Arborist, and, if a city maintained irrigation system exists, the Parks Manager (Contact 650-496-6962).
- ☐ **Inspection of Rough Grading.** The project arborist shall perform an inspection during the course of rough grading adjacent to the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 48 hours advance notice of such activity.
- ☐ **Monthly Inspections.** The project arborist shall perform a monthly activity inspection to monitor and advise for conditions and tree health. The City Arborist shall be in receipt of the activity report during the first week of each calendar month or, immediately if there are any revisions to the approved plans or protection measures. Fax to (650) 329-2154. (see Monthly Inspection Report, Section 1.17).
- ☐ **Special activity within the Tree Protection Zone.** Work in this area (TPZ - described in #7 below) requires the direct onsite supervision of the project arborist (see Trenching, Excavation and Equipment, TTM Section 2.20 C).
- ☐ **Landscape Architect Inspection.** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The City shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- ☐ **Other** (please describe) _____

**City of Palo Alto
Tree Department**
Public Works Operations
1000 Bldg 1000 Palo Alto, CA 94303
650-496-5953 FAX: 650-852-6289
treeprotection@cityofpaloalto.org

**Verification of
Street Tree Protection**

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____
APPLICANT'S NAME: _____
APPLICANT'S ADDRESS: _____
APPLICANT'S TELEPHONE & FAX NUMBERS: _____
This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____
* If NO, go to #2 below

Inspected by: _____
Date of Inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____
Indicate how the required modifications were communicated to the applicant: _____

Subsequent inspection
Street trees at above address were found to be adequately protected: _____
* If NO, indicate in "Notes" below the disposition of case.
Inspected by: _____
Date of Inspection: _____

Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.
6/2/06

ISSUES AND REVISIONS			
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	01.17.25	PLANNING RESUBMITTAL #9	
	06.20.25	PLANNING RESUBMITTAL #10	

PROJECT NUMBER
21003

SHEET TITLE
TREE DISPOSITION PLAN - SITE
ARBORIST REPORT

SCALE

SHEET NUMBER

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
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Special Tree Protection Instruction Sheet
City of Palo Alto



T-1

L 4.2

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities.

unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

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Guzzardo
Partnership, INC.**
Landscape Architects | Land Planners
Pier 9, The Embarcadero, Suite 115
San Francisco, CA 94111 | www.tgp-inc.com

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City of Palo Alto
Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

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SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301

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TREE DISPOSITION PLAN - SITE
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SCALE

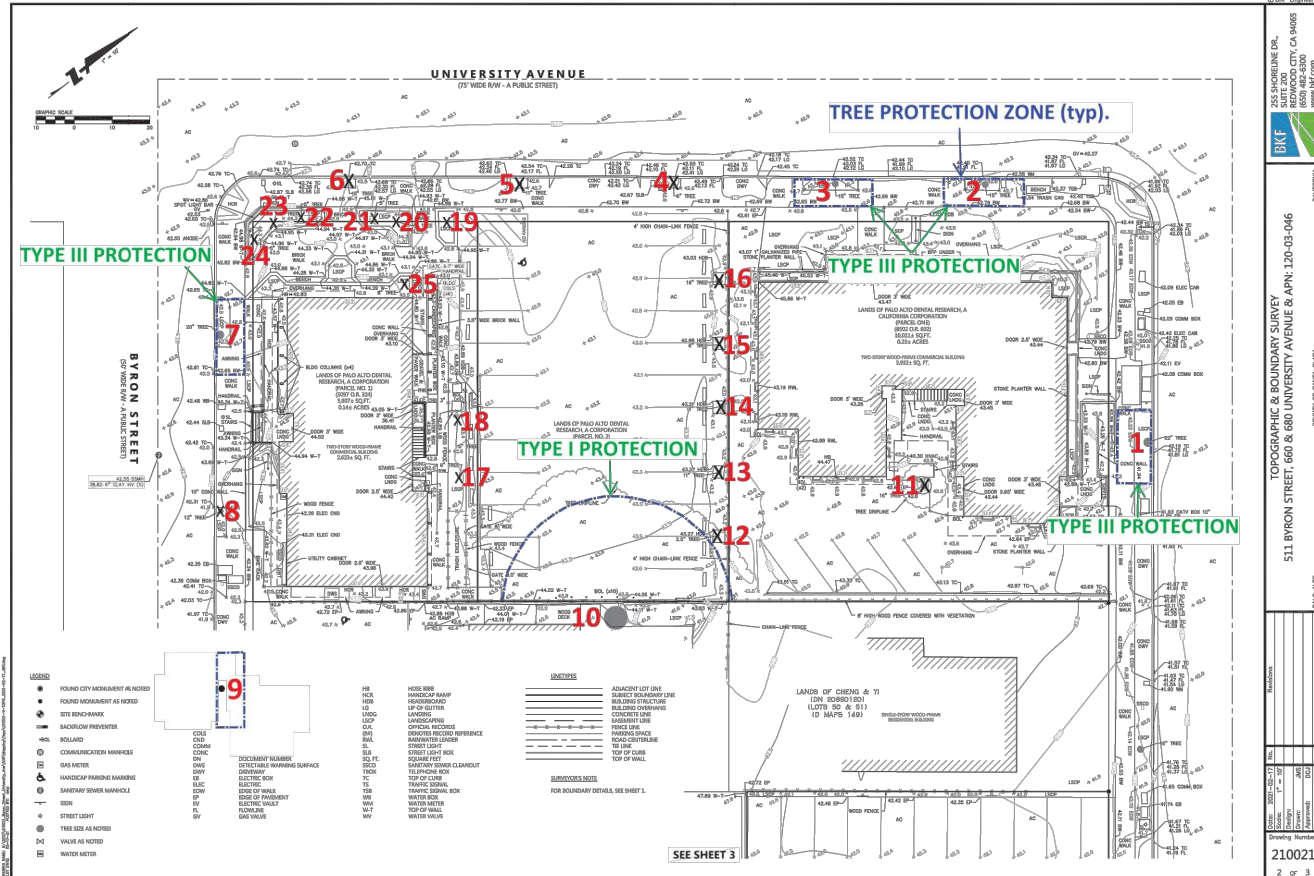
SHEET NUMBER

TREE INVENTORY TABLE											
TREE/PLANT NO.	TREE NAME	Tree Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Health Condition	Root Condition	Soil Condition	Structural Defects	Special Considerations	Proposed Tree Removal	Notes
20	Cape ivy (Lagerstroemia indica)	5.5	10	5	60%	40%	50%	Fair	Moderate	X	-
Comments: Within a 2' raised planter. Densestem. Multiple trunks emerge at grade. Canopy is asymmetrical.											
21	Cape ivy (Lagerstroemia indica)	6	12	10	60%	40%	50%	Fair	Moderate	X	-
Comments: Within a 2' raised planter. Densestem. Multiple trunks emerge at grade. Canopy is slightly asymmetrical.											
22	Cape ivy (Lagerstroemia indica)	6	12	10	60%	40%	50%	Fair	Moderate	X	-
Comments: Within a 2' raised planter. Densestem. Multiple trunks emerge at grade. Canopy is slightly asymmetrical. A low limb of #6 is on top of its canopy.											
23	Cape ivy (Lagerstroemia indica)	6	12	10	60%	40%	50%	Fair	Moderate	X	-
Comments: Within a 2' raised planter. Densestem. Multiple trunks emerge at grade. Canopy is slightly asymmetrical.											
24	Cape ivy (Lagerstroemia indica)	4.5	12	10	60%	40%	50%	Fair	Moderate	X	-
Comments: Within a 2' raised planter. Densestem. Multiple trunks emerge at grade. Canopy is asymmetrical.											
25	Tree pit (Ficus religiosa)	8	10	10	70%	40%	50%	Poor	Moderate	X	-
Comments: Adjacent to building. Shrub form and shaped into a cube. Trunk bifurcates at 7' high.											

David L. Babby, Registered Consulting Arborist®
February 7, 2024

EXHIBIT B:
SITE MAP
(one sheet)

660 University Avenue, Palo Alto
Smith Development



David L. Babby, Registered Consulting Arborist®
February 7, 2024

EXHIBIT C:
PHOTOGRAPHS
(five sheets)

Photo Index
Page C-1: Trees #1 thru 6
Page C-2: Trees #7 thru 9
Page C-3: Tree #10
Page C-4: Trees #11 thru 18
Page C-5: Trees #19 thru 25

660 University Avenue, Palo Alto
Smith Development



T-2



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Special Tree Protection Instruction Sheet
City of Palo Alto



T-2

L 4.5

City of Palo Alto
Tree Protection - It's Part of the Plan!

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David L. Babby, Registered Consulting Arborist® February 7, 2024

EXHIBIT D:

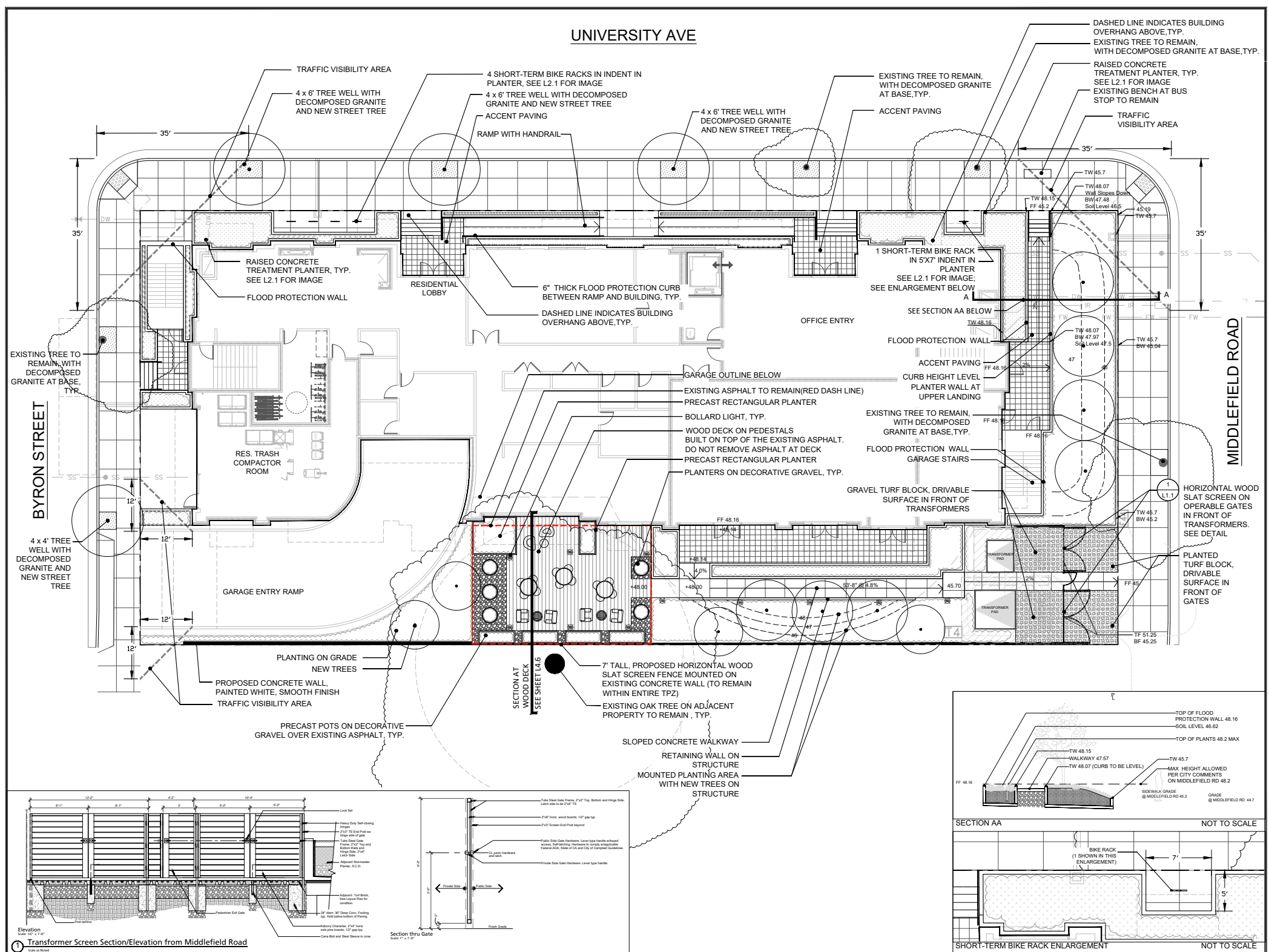
LANDSCAPE PLANS - DECK BENEATH TREE #10
(two sheets)

Plan Index

Sheet L1.1 (one page)

Landscape Section at Wood Deck (one page)

660 University Avenue, Palo Alto
Smith Development



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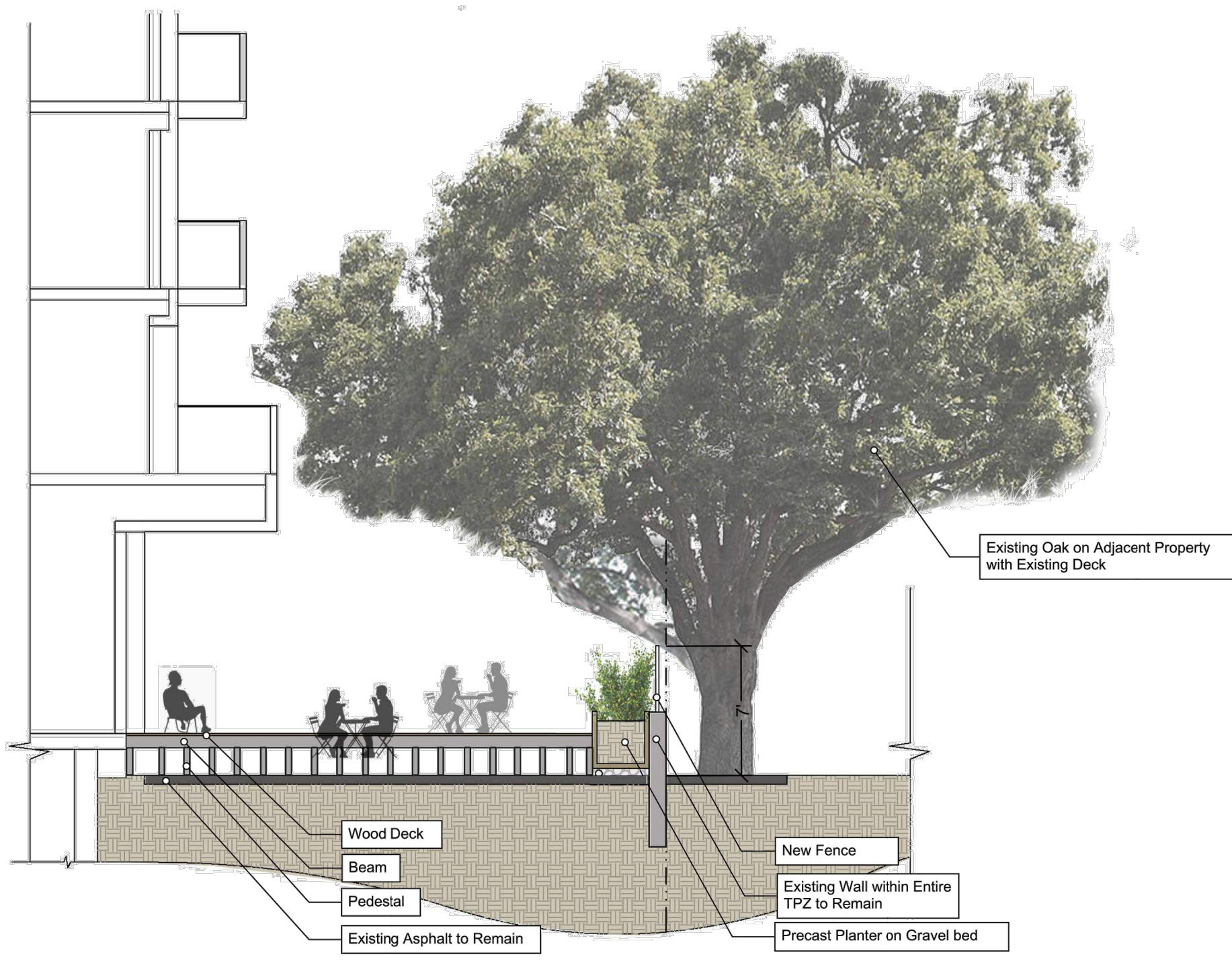
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LANDSCAPE PLAN - GROUND FLOOR

SCALE
1\"/>

L 1.1



Landscape Section at Wood Deck

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T-2

L 4.6