

660 UNIVERSITY AVE. PALO ALTO, CA



PLANNING RESUBMITTAL #11
08.08.2025

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1. PROJECT INFORMATION / ZONING COMPLIANCE

ZONING: RM-20 MULTI-FAMILY RESIDENTIAL SUBDISTRICT

APNS:
511 BYRON ST (120-03-042)
680 UNIVERSITY AVE (120-03-043)
680 UNIVERSITY AVE/500 MIDDLEFIELD RD (120-03-044)

LAND USE (PER PAMC 18.13.030 TABLE 1):
MULTIPLE-FAMILY RESIDENTIAL

(E) LOT AREA & PARKING: 511 BYRON ST: 5,907± SF
680 UNIVERSITY AVE: 6,608± SF, 22 PARKING STALLS
680 UNIVERSITY AVE/500 MIDDLEFIELD RD: 10,011± SF, 7 STALLS
TOTAL SITE AREA: 22,526 ± SF, 29 STALLS

FAR & UNIT DENSITY ALLOWED (PAMC 18.13.040 TABLE 2): MAX FAR 0.5:1, MIN 11' / MAX 20 UNITS / ACRE
NON-RESIDENTIAL FAR PROPOSED: 8,972 SF / 22,526 SF = 0.398
RESIDENTIAL FAR PROPOSED: 80,746 SF / 22,526 SF = 3.587
TOTAL FAR PROPOSED: 89,718 SF / 22,526 SF = 3.985
RESIDENTIAL DENSITY PROPOSED: 70 UNITS / -0.5 ACRES (-10 UNITS ALLOWED)

PROPOSED PROJECT SEEKS TO EXCEED ALLOWABLE FAR & UNITS / ACRE

(E) BUILDING AREA: 511 BYRON AVE: -5,260 SF
680 UNIVERSITY AVE: -3,955 SF
TOTAL (E) (NON-RES.) OFFICE AREA: 9,216 SF (NET OFFICE AREA DECREASE OF 92 SF)

PROPOSED BUILDING AREA (SEE BUILDING CODE SUMMARY ON SHEET A0.2A FOR ADDITIONAL DETAIL):

NON-RESIDENTIAL AREA (OFFICE)
FIRST FLOOR (OFFICE + TRASH ROOM): 1,984 SF
TOTAL NON-RESIDENTIAL AREA: 1,984 SF

COMMON AREA (NON-RESIDENTIAL)
FIRST FLOOR (FITNESS CENTER): 1,829 SF
FIRST FLOOR (LEASING OFFICE, COWORKING SPACE, ETC.): 1,828 SF
FIRST FLOOR ACCESSORY (RES. TRASH, ELEC. RM, JAN. CLO., FIRE ACCESS, ETC.): 1,869 SF
RES. TRASH / ELEC. / BUILDING SERVICES ROOMS: 1,625 SF (325 SF PER RES. FLOOR @ 5 FLOORS)
STAIRS: 482 SF (482 SF @ GROUND FLOOR)
TOTAL COMMON AREA: 7,633 SF

RESIDENTIAL AREA (70 TOTAL UNITS)
FIRST FLOOR (RESIDENTIAL LOBBY, MAIL, LOUNGE, ETC.): 3,390 SF
SECOND FLOOR (16 UNITS): 11,745 SF
THIRD FLOOR (16 UNITS): 11,850 SF
FOURTH FLOOR (13 UNITS): 10,835 SF
FIFTH FLOOR (13 UNITS): 10,835 SF
SIXTH FLOOR (12 UNITS): 10,466 SF
TOTAL RESIDENTIAL AREA: 59,121 SF

ROOF AREA: 5,749 SF

PARKING AREA (78 TOTAL STALLS)
BELOW GRADE LEVEL P2 (51 STALLS): 17,401 SF
BELOW GRADE LEVEL P1 (27 STALLS): 19,180 SF
TOTAL PARKING AREA: 36,581 SF

TOTAL BUILDING AREA: 111,068 SF
OCCUPIED / FLOOR AREA ABOVE GRADE: 68,738 SF (EXCLUDES PARKING AND ROOF AREA)

SETBACKS (PAMC 18.13.040 TABLE 2): SEE A1.0 & A1.1B/C FOR EXISTING SETBACKS

- FRONT YARD (MIDDLEFIELD RD): 24' MIN. (PER ZONING MAP) REQUIRED / 25' PROPOSED
- STREET SIDE YARD (UNIVERSITY AVE, ARTERIAL ROADWAY): 16' MIN. REQUIRED OR 0-20' ON ARTERIAL ROADWAYS, PER ZONING MAP / 7' PROPOSED
- STREET REAR YARD (BYRON ST): 16' MIN. REQUIRED / 11' PROPOSED
- INTERIOR SIDE YARD (>70' LOT WIDTH): 10' MIN. / 26'-6" PROPOSED

SITE COVERAGE (PAMC 18.13.040 TABLE 2):
35% MAX + 5% COVERED PATIOS ALLOWED / 50.5% PROPOSED (11,382 SF / 22,526 SF)

PROPOSED PROJECT SEEKS TO EXCEED ALLOWABLE SITE COVERAGE

SITE OPEN SPACE (PAMC 18.13.040 TABLE 2): 35% MIN.
BUILDING COVERAGE AREA (L1 BUILDING AREA): 11,382 SF (50.5%)
GROUND LEVEL OPEN SPACE: 11,144 SF (49.5%)
UPPER LEVEL BALCONIES: 6,107 SF
TOTAL SITE OPEN SPACE: 17,251 SF ± PROPOSED

MIN REQUIRED USABLE OPEN SPACE: 10,500 SF FOR 70 UNITS (150 SF / UNIT)
MIN PRIVATE OPEN SPACE: 50 SF / UNIT (3,500 SF FOR 70 UNITS)
MIN COMMON OPEN SPACE: 75 SF / UNIT (5,250 SF FOR 70 UNITS)

PRIVATE OPEN SPACE PROVIDED (PRIVATE BALCONIES): 6,187 SF TOTAL (3,500 SF MIN. REQ.)
3,060 SF (51 UNITS PROV. W/ -60 SF BALCONIES: 18-STU, 25-1BR & 8-2BR)
1,980 SF (30 UNITS PROV. W/ -66 SF BALCONIES: 5-STU, 5-STU W/2 EA., 6-1BR W/2 EA. & 1-2BR W/2 EA.)
1,067 SF (2 UNITS PROVIDED WITH LARGER BALCONIES AT 4TH FLOOR)
COMMON OPEN SPACE PROVIDED (GROUND LEVEL GARDEN): 735 SF (5,250 SF MIN. REQ.)
TOTAL RESIDENTIAL OPEN SPACE PROVIDED: 6,842 SF PROPOSED (9,900 SF MIN. REQ.)
6,107 SF PRIVATE (3,500 SF MIN. REQ.) + 735 SF COMMON (5,250 SF MIN. REQ.)

PROPOSED PROJECT SEEKS TO PROVIDE LESS OPEN SPACE THAN REQUIRED.

BUILDING HEIGHT (PAMC 18.13.040 TABLE 2): 30' MAX ALLOWED
* 54'-11" +/- PROPOSED TO T.O. OCCUPIED FLOOR (ABOVE B.F.E.) / 56'-8 1/2" FROM GRADE
* 77'-11" +/- PROPOSED TO T.O. MECHANICAL SCREEN (ABOVE B.F.E.) / 79'-8 1/2" FROM GRADE
(6 STORIES, SEE A3 - SERIES ELEVATIONS & SECTIONS FOR MORE INFORMATION / DIMENSIONS)

PROPOSED PROJECT SEEKS TO EXCEED ALLOWABLE HEIGHT

DAYLIGHT PLANE REQUIREMENTS (PAMC 18.13.040 TABLE 2):
DAYLIGHT PLANE FOR SIDE & REAR LOT LINES FOR SITES ABUTTING RM-20, BEGINNING AT A HEIGHT OF 10' AT THE APPLICABLE LOT LINE AND INCREASING AT AN ANGLE OF 45 DEGREES UNTIL INTERSECTING THE HEIGHT LIMIT.

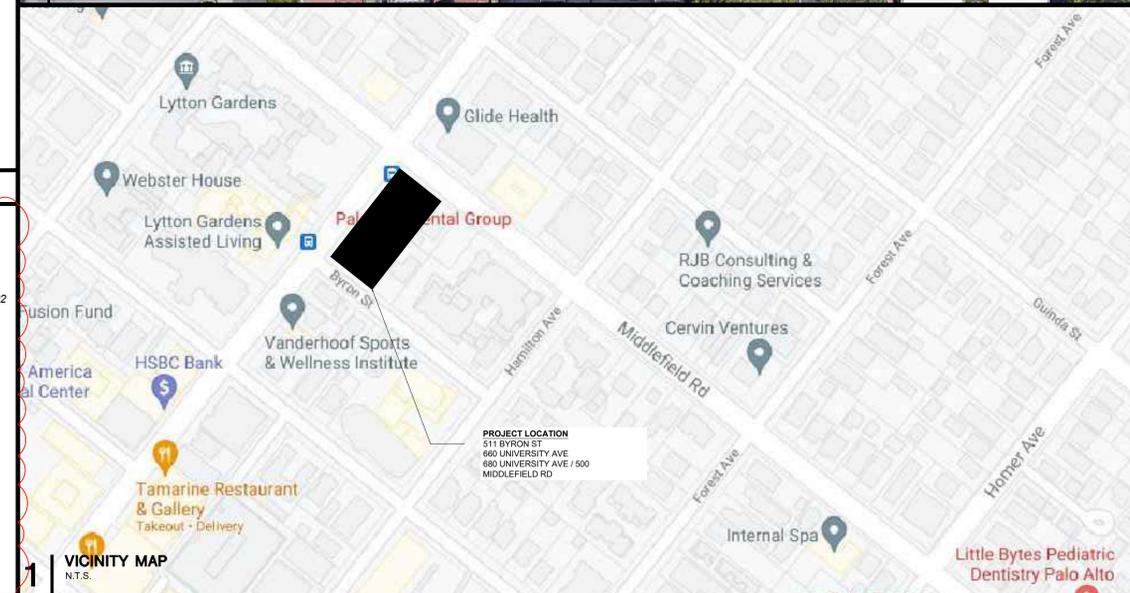
PROPOSED PROJECT SEEKS TO EXCEED DAYLIGHT PLANE REQUIREMENTS.

PROPOSED CONSTRUCTION TYPE: IIIA OVER IA (SEE A0.2A FOR MORE INFORMATION)

PROPOSED OCCUPANCIES: A (ACCESSORY), B, R-2, S-1, S-2 (SEE A0.2A-C FOR MORE INFORMATION)
ASSEMBLY AREA PROPOSED AS EXTERIOR TERRACE SPACE IS NOT A PART OF THE INTERIOR (OCCUPIED) FLOOR AREA.

SPRINKLER PROTECTION:

- INSTALL A NFPA 13 FIRE SPRINKLER, NFPA 14 STANDPIPE, NFPA 20 FIRE PUMP AND NFPA 72 FIRE ALARM SYSTEM.
- THIS BUILDING SHALL BE EVALUATED FOR AN EMERGENCY RESPONDER RADIO SYSTEM.



2. PROPOSED PARKING CALCULATIONS

ZONING PARKING REQUIRED / PROPOSED (PAMC 18.52.040 TABLE 1):		TOTAL REQ./PROPOSED STALLS (W/ 15% TDM REDUCTION)	
PROVIDED UNITS	REQ. STALLS	TOTAL REQ. STALLS	TOTAL REQ. STALLS
28 STUDIO UNITS	1 STALL / STUDIO UNIT	28 STALLS	24 STALLS
33 1BR UNITS	1 STALL / 1BR UNIT	33 STALLS	29 STALLS
9 2BR UNITS	2 STALLS / 2BR UNIT	18 STALLS	16 STALLS
UNASSIGNED ADA	2% OF UNITS	2 STALLS INCL. 1 VAN	2 STALLS INCL. 1 VAN
TOTAL: 70 UNITS		TOTAL: 81 STALLS	TOTAL: 79 STALLS (62 ACTUAL)

TOTAL NON-RES. (OFFICE) SF		TOTAL REQ./PROPOSED STALLS (W/ 15% TDM REDUCTION)	
REQ. STALLS	TOTAL REQ. STALLS	TOTAL REQ. STALLS	TOTAL REQ. STALLS
1,984 SF	1 STALL / 250 SF OFFICE	8 STALLS	7 STALLS (7 ACTUAL)
			(3 STD STALLS + 2 ACCESSIBLE + 2 UNDESIGNATED ACCESSIBLE)

TOTAL REQUIRED STALLS		89 STALLS REQUIRED		78 STALLS REQUIRED (W/ 13% TDM REDUCTION)	
ZONING PARKING BY LEVEL:					
LOCATION	PROVIDED STALLS				
BELOW GRADE LEVEL P2	51 STALLS (STD + ACCESS. + STACKERS + CODE ACCESS. AISLE)				
BELOW GRADE LEVEL P1	27 STALLS (STD + ACCESS. + CODE ACCESS. AISLE)				
TOTAL PROVIDED STALLS	78 STALLS PROPOSED (SEE DETAILS)				

P2 RESIDENTIAL (61 STALLS), 49 RESIDENTIAL EVSE OR EVSE OUTLET READY+ 2 ACCESS. AISLE (CODE)
49 TOTAL STALLS (NOT INCLUDING 3 EVSE ACCESSIBLE + 7 ACCESS AISLE (CODE) ON P1 LEVEL), RESIDENTIAL
* 23 STACKER LIFTS (46 STALLS), EVSE INSTALLED OR EVSE OUTLET READY
* 2 ACCESSIBLE STALLS (9'X18') WITH 8' LOADING, EVSE INSTALLED
* 1 STD STALL, EVSE OUTLET READY

2 CODE PROVIDED STALLS (ACCESS. W/ ACCESS AISLE = 2 STALLS PER PAMC 18.52.040(B)(8)), SEE NOTES ON A2.P2

P1 NON-RESIDENTIAL (OFFICE) + RESIDENTIAL (27 STALLS)
7 NON-RESIDENTIAL (OFFICE) + 13 RESIDENTIAL (STD + ADA) + 7 ACCESS. AISLE (CODE)
4 STD ACCESSIBLE STALLS (9' X 18' MIN. WITH MIN. 5' ACCESS AISLE)
* 1 STD ACCESSIBLE, NON-RESIDENTIAL (OFFICE)
* 1 UNDESIGNATED STD FUTURE EVSE ACCESSIBLE, NON-RESIDENTIAL (OFFICE)
* 2 STD EVSE ACCESSIBLE, RESIDENTIAL

3 VAN ACCESSIBLE STALLS (12' X 18' MIN. WITH 5' ACCESS AISLE)
* 1 VAN EVSE ACCESSIBLE, RESIDENTIAL
* 1 VAN ACCESSIBLE, NON-RESIDENTIAL (OFFICE)
* 1 UNDESIGNATED VAN EVSE ACCESSIBLE, NON-RESIDENTIAL (OFFICE)

13 STD 90-DEGREE STALLS (9' X 17.5' MIN.) W/ 24' DRIVE AISLE, NON-RESIDENTIAL (OFFICE) + RESIDENTIAL
* 1 STD FUTURE EVSE, NON-RESIDENTIAL (OFFICE)
* 2 STD (DESIGNATED FOR CAV), NON-RESIDENTIAL (OFFICE)
* 2 STD STALLS, EVSE INSTALLED OR OUTLET READY, RESIDENTIAL
* 2 PUZZLE LIFTS (8 STALLS), RESIDENTIAL

7 CODE PROVIDED STALLS (ACCESS. W/ ACCESS AISLE = 2 STALLS PER PAMC 18.52.040(B)(8), RESIDENTIAL, SEE NOTES ON A2.P1

3. EV / CAV / ACCESSIBLE PARKING COMPLIANCE (BUILDING)

ACCESSIBLE PARKING REQUIRED / PROVIDED (INCLUDED IN PROPOSED PARKING CALCULATIONS), SEE NOTES ON A2.P1 AND A2.P2 REGARDING 'CODE-PROVIDED' STALLS AT ACCESSIBLE AISLES:

2 ADA REQUIRED/PROVIDED FOR RESIDENTIAL (2% OF ASSIGNED PARKING PER CBC 1109A.3), INCL. 1 VAN ACCESS. STD @ 9'X18' + VAN @ 12'X18' WITH 5' AISLE BETWEEN

3 EVSE ACCESSIBLE REQUIRED / 5 STALLS PROVIDED, (1 IN 25 PER CBC 4.106.4.2.2)
9'X18' WITH 8' LOADING

1 ACCESSIBLE REQUIRED FOR NON-RES (OFFICE), 2 PROVIDED (FOR 1-25 TOTAL STALLS PER CBC 11B-208.2) INCL. MIN. 1 VAN (PER CBC 11B-208.2.4)
STD @ 9'X18' + VAN @ 12'X18' WITH 5' AISLE BETWEEN

DESIGNATED CAV PARKING REQUIRED / PROVIDED (INCLUDED IN PROPOSED PARKING CALCULATIONS):
2 CAV REQUIRED / PROVIDED (FOR 1-25 TOTAL NON-RES. (OFFICE) STALLS PER CGC TABLE A5.106.5.1.2)

EV PARKING REQUIRED / PROVIDED (INCLUDED IN PROPOSED PARKING CALCULATIONS):
2 EVSE NON-RES. (OFFICE) STALLS REQUIRED / 3 PROVIDED (FOR 0-9 TOTAL STALLS PER PAMC 16.14.430 / A5.106.5.3)

1 EVSE INSTALLED (5% OF 7 TOTAL STALLS PER PAMC 16.14.430), INCLUDING:
* 1 VAN EVSE ACCESSIBLE (FOR 1 TO 4 INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
STALL IS UNDESIGNATED PER CBC 11B-812.8.1

2 CONDUIT ONLY (FUTURE EV, REMAINING 20% OF 7 TOTAL STALLS), INCLUDING:
* 1 STD FUTURE EVSE
* 1 STD FUTURE EVSE ACCESSIBLE (FOR 5 TO 25 INSTALLED EVS PER CBC TABLE 11B-228.3.2.1)
STALL IS UNDESIGNATED PER CBC 11B-812.8.1

62 EVSE RESIDENTIAL STALLS (1 PER UNIT PER PAMC 16.14.420 / A4.106.8.2), NOT INCLUDING STD ACCESSIBLE
NOTE: 70 UNITS ARE PROPOSED, BUT ONLY 62 STALLS ARE PROVIDED PER TDM REDUCTION PROPOSED, THEREFORE ONLY 62 RESIDENTIAL EVSE STALLS ARE PROVIDED (TOTAL 100% OF RESIDENTIAL STALLS)

TOTAL NON-RES. (OFFICE) PARKING: 7 STALLS ACTUAL
(2 CAV + 1 UNDESIGNATED VAN ACCESSIBLE EVSE + 1 STD (NON EV) VAN ACCESSIBLE + 1 STD (NON EV) ACCESSIBLE + 1 STD FUTURE EVSE + 1 UNDESIGNATED STD FUTURE ACCESSIBLE EVSE)

TOTAL RESIDENTIAL PARKING: 62 STALLS ACTUAL
(3 STD EVSE + 54 STACKER EVSE + 5 EVSE ACCESSIBLE)

4. PROPOSED BIKE PARKING CALCULATIONS

BIKE PARKING REQUIRED (LEAST RESTRICTIVE IN GREY FOR REFERENCE ONLY) (PAMC 18.52.040 TABLE 1):
1/2,500 SF NON-RESIDENTIAL (OFFICE) (2 BIKES FOR 1,967 SF, 80% LONG-TERM + 20% SHORT-TERM) REQUIRED
1/UNIT RESIDENTIAL (70 BIKES FOR 70 UNITS, 100% LONG-TERM) REQUIRED
1/10 UNIT RESIDENTIAL GUEST (7 BIKES FOR 70 UNITS, 100% SHORT TERM) REQUIRED

(CGC)
SHORT-TERM (RACKS) FOR 5% OF PARKING TO BE PROVIDED PER CGC 5.106.4.1.1, A4.106.9.1
NON-RESIDENTIAL (OFFICE): 1 BIKES REQ. (5% OF 7 STALLS)
RESIDENTIAL: 4 BIKES REQ. (5% OF 62 STALLS)

LONG-TERM (LOCKERS OR SECURED ROOM) FOR 5% OF PARKING TO BE PROVIDED PER CGC 5.106.4.1.2, A4.106.9.2
OFFICE: 1 BIKES REQ. (5% OF 7 STALLS)
RESIDENTIAL: 35 BIKES REQ. (1 PER EVERY TWO UNITS)

BIKE PARKING PROVIDED:
SHORT-TERM (RACKS) BIKE PARKING PROVIDED: 10 BIKES / 5 DUAL RACKS (SEE L1.1):
* 4 RACKS (8 BIKES) RESIDENTIAL + 1 RACK (2 BIKES) NON-RESIDENTIAL (OFFICE)
LONG-TERM (SECURED ENCLOSURE) BIKE PARKING PROVIDED (SEE A2.P2, A2.P1, AND A2.1):
80 BIKES (70 MIN.) FOR RESIDENTIAL
8 BIKES NON-RESIDENTIAL (OFFICE)

5. RESIDENTIAL UNIT MIX INCLUDING BMR

OVERALL UNIT MIX, 70 TOTAL UNITS (28 STUDIOS, 33 1BR, 9 2BR)
(1 EMPLOYEE UNIT + 69 RENTABLE UNITS)

FLOOR	UNIT A1 (STUDIO)	UNIT A2 (STUDIO)	UNIT B (STUDIO)	UNIT C (1BR)	UNIT D (1BR)	UNIT E (2BR)	UNIT F1 (1BR)	UNIT F2 (2BR)	UNIT F3 (2BR)	UNIT G (STUDIO)	UNIT H1 (1BR)	UNIT H2 (1BR)	UNIT J (STUDIO)	TOTAL / FLOOR
SECOND	5	1	1	1	2	1	0	0	0	1	2	1	1	16
THIRD	5	1	1	1	2	1	0	0	0	1	2	2	0	16
FOURTH	2	1	0	1	1	1	1	1	0	1	2	2	0	13
FIFTH	2	1	0	1	1	1	1	1	0	1	2	2	0	13
SIXTH	1	1	0	1	1	1	0	1	1	1	2	2	0	12
TOTAL / UNIT	15	5	2	5	7	5	2	3	1	5	10	9	1	70

BMR UNIT MIX, 14 TOTAL UNITS (6 STUDIOS, 7 1BR, 1 2BR)
(20% OF TOTAL RENTABLE UNITS)

	INCOME LEVEL	UNIT A1 (STUDIO)	UNIT A2 (STUDIO)	UNIT C (1BR)	UNIT D (1BR)	UNIT E (2BR)	UNIT G (STUDIO)	UNIT H1 (1BR)	WEIGHTED VALUE	# OF UNITS	% OF ACTUAL	WEIGHTED (ACTUAL)
BELOW MARKET RATE UNITS (20%, 14 UNITS)	VERY LOW INCOME	1	0	0	1	0	0	0	1.9	2	2.86%	5.43%
	LOW INCOME	1	1	1	0	0	1	1	1.2	5	7.14%	8.57%
	MODERATE INCOME	2	0	1	2	1	0	1	0.6	7	10.00%	6.00%
										14	20.00%	20.00%

UNIT TYPOLOGY

- STUDIO: UNIT TYPE A1, A2, B, G (435 - 589 SF)
- 1-BEDROOM: UNIT TYPE C, D, F1, H1, H2 (517 - 878 SF)
- 2-BEDROOM: UNIT TYPE E1, F2, F3 (802 - 966 SF)

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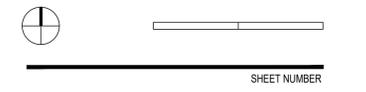
ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.25		PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

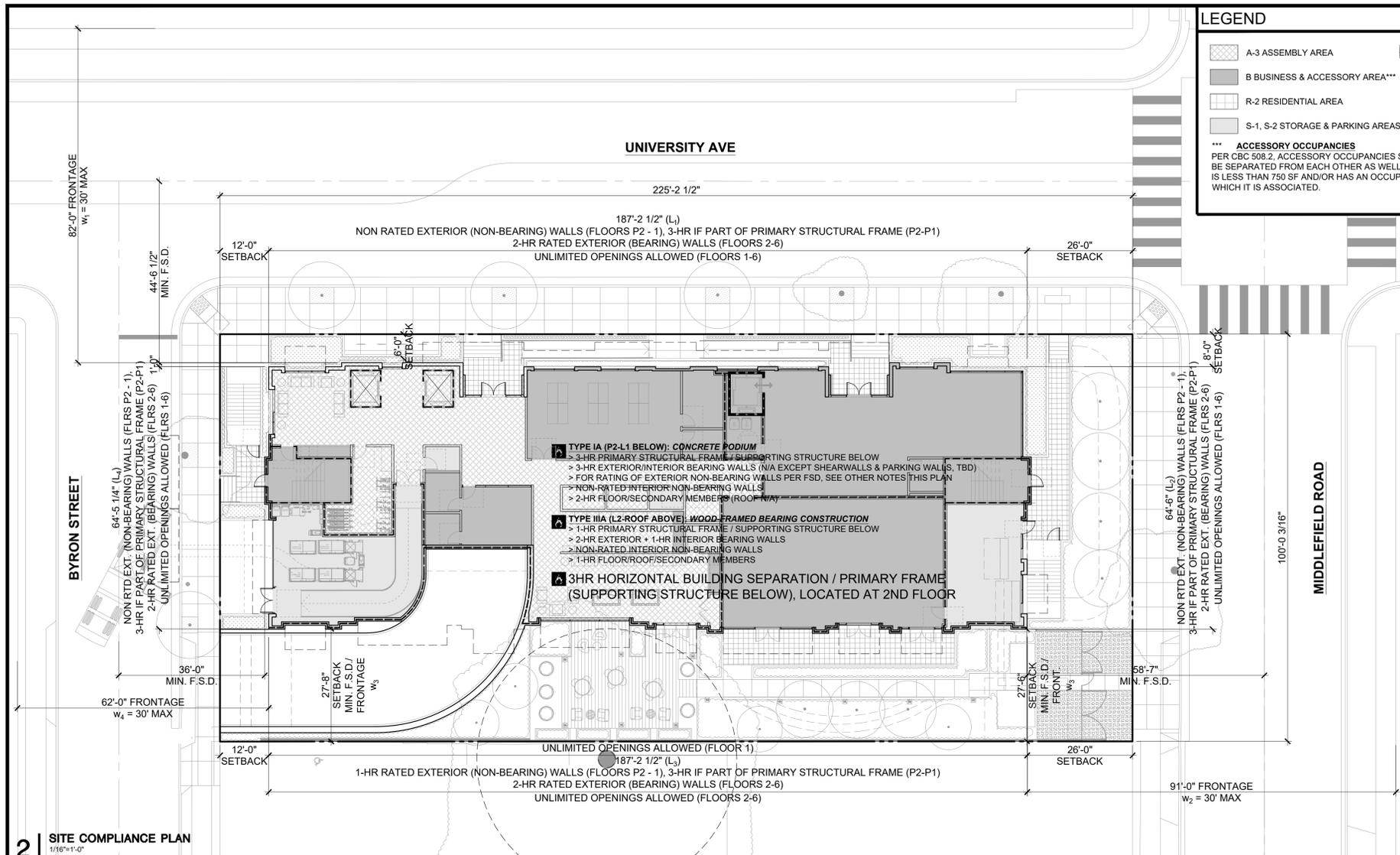
SHEET TITLE
PROJECT INFORMATION

SCALE
AS INDICATED



SHEET NUMBER

A0.1



LEGEND

- A-3 ASSEMBLY AREA
- B BUSINESS & ACCESSORY AREA**
- R-2 RESIDENTIAL AREA
- S-1, S-2 STORAGE & PARKING AREAS
- ACCESSORY OCCUPANCIES
- RATED BUILDING ELEMENT (AS NOTED)
- COMMON PATH OF EGRESS (CBC T 1006.2.1)
- EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2)
- EGRESS PATH OF TRAVEL
- ACCESSIBLE PATH OF TRAVEL (SEE 3-4)
- POINT OF DECISION (END OF COMMON PATH OF TRAVEL)

** ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED BUT ARE NOT REQUIRED TO BE SEPARATED (EXCEPT R-2 DWELLINGS ARE TO BE SEPARATED FROM EACH OTHER AS WELL AS CONTIGUOUS ACCESSORY SPACE, I.E. CORRIDORS). IN ADDITION, PER CBC 303.1.2, A ROOM OR SPACE THAT IS LESS THAN 750 SF AND/OR HAS AN OCCUPANT LOAD OF LESS THAN 50 SHALL BE CLASSIFIED AS B-OCCUPANCY OR AS A PART OF THAT OCCUPANCY WITH WHICH IT IS ASSOCIATED.

BUILDING CODE SUMMARY

BUILDING CODE: 2022 CALIFORNIA BUILDING CODE & ASSOCIATED

AREAS:	GROUP A	GROUP B	GROUP R-2	GROUP S-1	GROUP S-2	TOTAL SF
ROOF	0 SF	154 SF	0 SF	5,595 SF	0 SF	5,749 SF
6TH FLR	0 SF	0 SF	10,466 SF	325 SF	0 SF	10,791 SF
5TH FLR	0 SF	0 SF	10,835 SF	325 SF	0 SF	11,160 SF
4TH FLR	0 SF	0 SF	10,835 SF	325 SF	0 SF	11,160 SF
3RD FLR	0 SF	0 SF	11,890 SF	325 SF	0 SF	12,175 SF
2ND FLR	0 SF	0 SF	11,745 SF	325 SF	0 SF	12,070 SF
1ST FLR	5,234 SF	4,176 SF	0 SF	1,972 SF	0 SF	11,382 SF
LEVEL P1	0 SF	0 SF	0 SF	0 SF	19,180 SF	19,180 SF
LEVEL P2	0 SF	0 SF	0 SF	0 SF	17,401 SF	17,401 SF
TOTAL	5,234 SF	4,330 SF	55,731 SF	9,192 SF	36,581 SF	79,180 SF

GRAND TOTAL GROSS BUILDING AREA: 111,068 SF
 PLANNING BUILDING AREA (1ST FLOOR TO ROOF, EXCLUDES LEVELS P1-P2): 74,487 SF
 NO. OF STORIES: 6 (PLANNING), 6 STORY TYPE IIIA OVER 1 STORY TYPE IA (BUILDING)
 HEIGHT: 54'-11" +/- TO T.O. OCCUPIED FLOOR (ABOVE B.F.E.) / 56'-8 1/2" FROM GRADE
 SEE ALSO A3 - ELEV. & SECT. FOR MORE DETAIL

CONSTRUCTION TYPE: TYPE IIIA (L2-L6, ROOF), GROUPS A/B/R-2/S-1 OVER TYPE IA (P2-L1), GROUPS A/B/S-1/S-2 FULLY SPRINKLERED, SEPARATED OCCUPANCIES

RATING REQUIREMENTS (CBC TABLE 601):
 PRIMARY STRUCTURAL FRAME: 1 HR (TYPE IIIA) / 3 HR (TYPE IA)
 BEARING WALLS EXTERIOR: 2 HR (TYPE IIIA) / 3 HR (TYPE IA)
 BEARING WALLS INTERIOR: 1 HR (TYPE IIIA) / 3 HR (TYPE IA)
 NON-BEARING WALLS EXTERIOR: PER CBC TABLE 705.5
 NON-BEARING WALLS INTERIOR: 0 HR
 FLOOR CONSTRUCTION AND SECONDARY MEMBERS: 1 HR (TYPE IIIA) / 2 HR (TYPE IA)
 ROOF CONSTRUCTION AND SECONDARY MEMBERS: 1 HR (TYPE IIIA) / 1 1/2 HR (TYPE IA)

RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (CBC T 705.5):
 FSD < 5': 1-HR (GROUP A, B, R, S-2), 2-HR (GROUP S-1)
 5' < FSD < 10': 1-HR (GROUP A, B, R, S-2), 2-HR (GROUP S-1 TYPE IA), 1-HR (GROUP S-1 TYPE IIIA)
 10' < FSD < 30': 1-HR (GROUP A, B, R, S)
 30' < FSD: NON-RATED (ALL GROUPS)

ALLOWABLE OPENINGS IN EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (CBC T 705.8):
 EXTERIOR WALLS (15' < FSD < 20'): 75% MAX (SPRINKLERED)
 EXTERIOR WALLS (20' < FSD): NO LIMIT (SPRINKLERED)

ALLOWABLE PROJECTIONS FROM EXT. WALLS BASED ON FIRE SEPARATION DISTANCE (CBC T 705.2):
 5' < FSD: 40" MAX. (NON-COMBUSTIBLE) PROJECTIONS ALLOWED

2 SITE COMPLIANCE PLAN
1/16"=1'-0"

MIXED-OCCUPANCY, MULTISTORY BUILDING ANALYSIS
 PER CBC 506.2.2 EA, STORY OF A MIXED-OCCUPANCY BUILDING WITH MORE THAN ONE STORY ABOVE GRADE PLANE SHALL INDIVIDUALLY COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 508.1. FOR BUILDINGS WITH MORE THAN THREE STORIES ABOVE GRADE PLANE, THE TOTAL BUILDING AREA SHALL BE SUCH THAT THE AGGREGATE SUM OF THE RATIOS OF THE ACTUAL AREA OF EACH STORY DIVIDED BY THE ALLOWABLE AREA OF SUCH STORIES, DETERMINED IN ACCORDANCE WITH EQUATION S-3, SHALL NOT EXCEED THREE (OR TWO FOR BUILDINGS CONTAINING R OCCUPANCIES)

ALLOWABLE AREA / HEIGHT WITH INCREASES (TABLES 504.3, 504.4, 506.2)

- > OCCUPANCY A-2/A-3 (FIRST FLOOR)
 - ALLOWABLE HEIGHT PER TABLE 504.3 & 504.4: 65' / 4 STORIES, W/O AREA INCREASE, UNLIMITED (TYPE IA)
 - ALLOWABLE AREA PER TABLE 506.2: 21,000 SF WITH FRONTAGE INCREASE FACTOR OF .5 (TYPE IIIA), UNLIMITED (TYPE IA)
- > OCCUPANCY B (FIRST FLOOR)
 - ALLOWABLE HEIGHT PER TABLE 504.3 & 504.4: 85' / 6 STORIES, SPRINKLERED (TYPE IIIA), UNLIMITED (TYPE IA)
 - ALLOWABLE AREA PER TABLE 506.2: 85,500 SF WITH SPRINKLERS (TYPE IIIA), UNLIMITED (TYPE IA)
- > OCCUPANCY R-2 (SECOND TO SIXTH FLOORS)
 - ALLOWABLE HEIGHT PER TABLE 504.3 & 504.4: 85' / 5 STORIES, W/ HEIGHT INCREASE (TYPE IIIA)
 - ALLOWABLE AREA PER TABLE 506.2: 72,000 SF WITH FRONTAGE INCREASE FACTOR OF .5 (TYPE IIIA)
- > OCCUPANCY S-1, S-2
 - ALLOWABLE HEIGHT PER TABLE 504.3 & 504.4: 85' / 4 STORIES (TYPE IIIA), UNLIMITED (TYPE IA)
 - ALLOWABLE AREA PER TABLE 506.2: 136,500 SF WITH FRONTAGE INCREASE FACTOR OF .5 (TYPE IIIA), UNLIMITED (TYPE IA)

*** FRONTAGE (AREA) INCREASE OF .5 PER CBC TABLE 506.3.3 IS BASED ON OPEN SPACE OF 67% GREATER THAN 30 FEET, 20% 25-30 FEET, 13% 0-20 FEET WHICH PROVIDES FOR +7,000 SF (A-3), +14,250 SF (B), +19,500 SF (S-2), +12,000 SF (R-2) FOR TYPE IIIA.**

MIXED OCCUPANCY FLOOR RATIOS, SEPARATED PER CBC 508.4
 FIRST FLOOR: A-2/A-3, B, R-2, S-1 OCCUPANCIES, UNLIMITED (TYPE IA)
 SECOND FLOOR: R-2 OCC. / 12,070 SF ACTUAL / 72,000 SF ALLOWED = .168 (OK, < 1)
 THIRD FLOOR: R-2 OCC. / 12,175 SF ACTUAL / 72,000 SF ALLOWED = .169 (OK, < 1)
 FOURTH FLOOR: R-2 OCC. / 11,160 SF ACTUAL / 72,000 SF ALLOWED = .155 (OK, < 1)
 FIFTH FLOOR: R-2 OCC. / 11,160 SF ACTUAL / 72,000 SF ALLOWED = .155 (OK, < 1)
 SIXTH FLOOR: B OCC. / 10,791 SF ACTUAL / 72,000 SF ALLOWED = .150 (OK, < 1)
 ROOF: S-1 OCC. / 5,749 SF ACTUAL / 136,500 SF ALLOWED = 0.042 (OK, < 1)
BUILDING TOTAL = .839 (OK, < 2 ALLOWED)

OCCUPANCY SEPARATIONS
 HORIZONTAL BUILDING SEPARATION WILL BE PROVIDED AT THE SECOND FLOOR (3-HR SLAB + SUPPORT) PER CBC 510.2.

SPECIAL CONDITIONS - GROUP R-2 (CBC 420)
 DWELLING UNITS TO BE SEPARATED BY (1-HR) FIRE PARTITIONS (VERTICAL SEPARATION) & (1-HR) FLOORS (HORIZONTAL SEPARATION), SUPPORTED BY MIN. 1-HR RATED STRUCTURE/SUPPORT, TYP.

SPECIAL CONDITIONS - ELECTRICAL ROOMS (CALIFORNIA ELECTRICAL CODE)
 TO BE CONFIRMED BASED ON EQUIPMENT SPECIFIED AT TIME OF BUILDING PERMIT SUBMITTAL

REQUIRED SEPARATION OF OCCUPANCIES (HOURS) PER CBC TABLE 508.4
 A/B & R-2: 1-HR FIRE BARRIER
 A & S-1/S-2 AS WELL AS B & S-1: NO SEPARATION REQUIRED
 B & S-2 AS WELL AS R-2 & S-1/S-2: 1-HR FIRE BARRIER

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
CODE & EGRESS COMPLIANCE

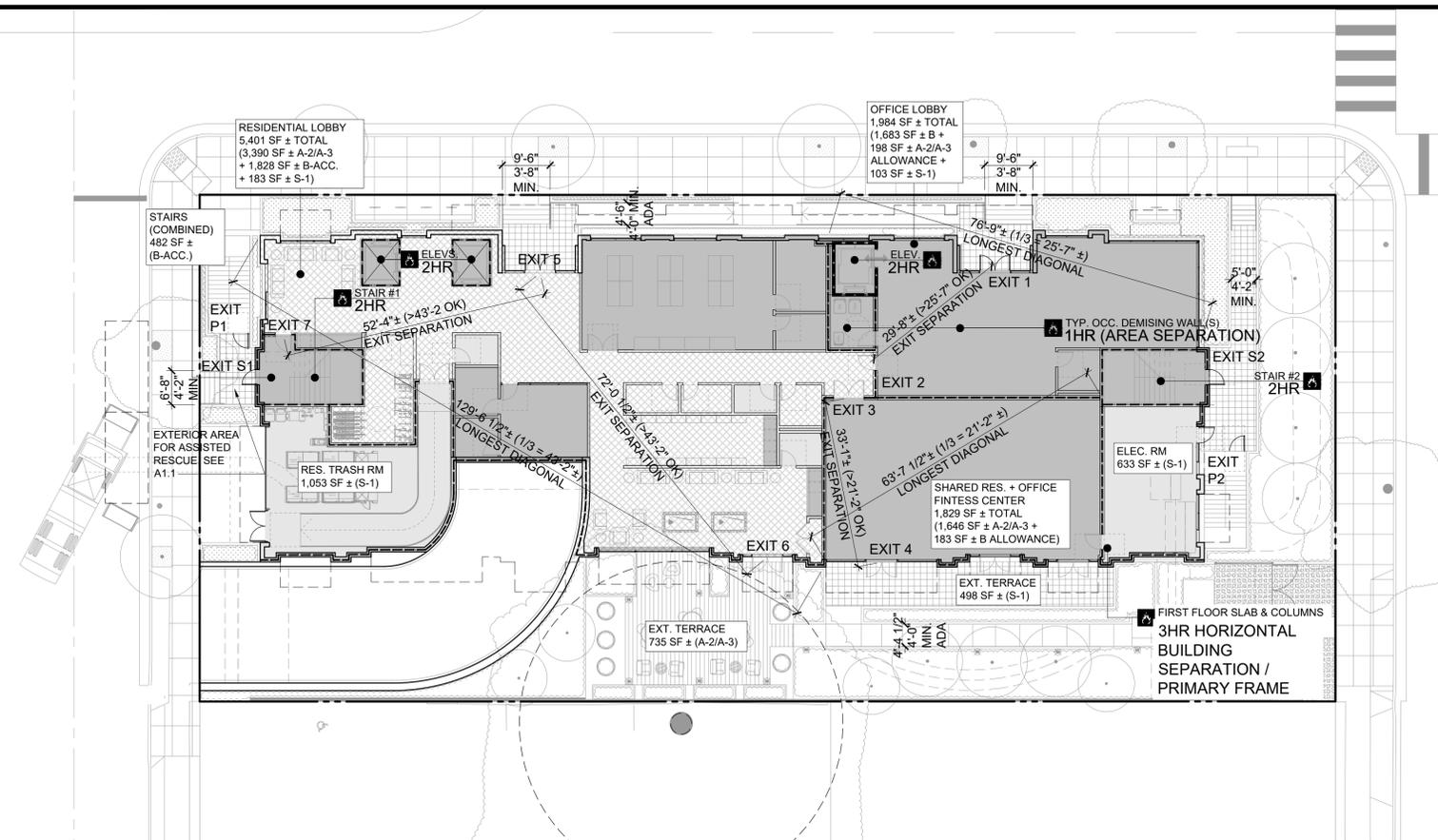
SCALE
1/16" = 1'-0"

PROJ. N TRUE N

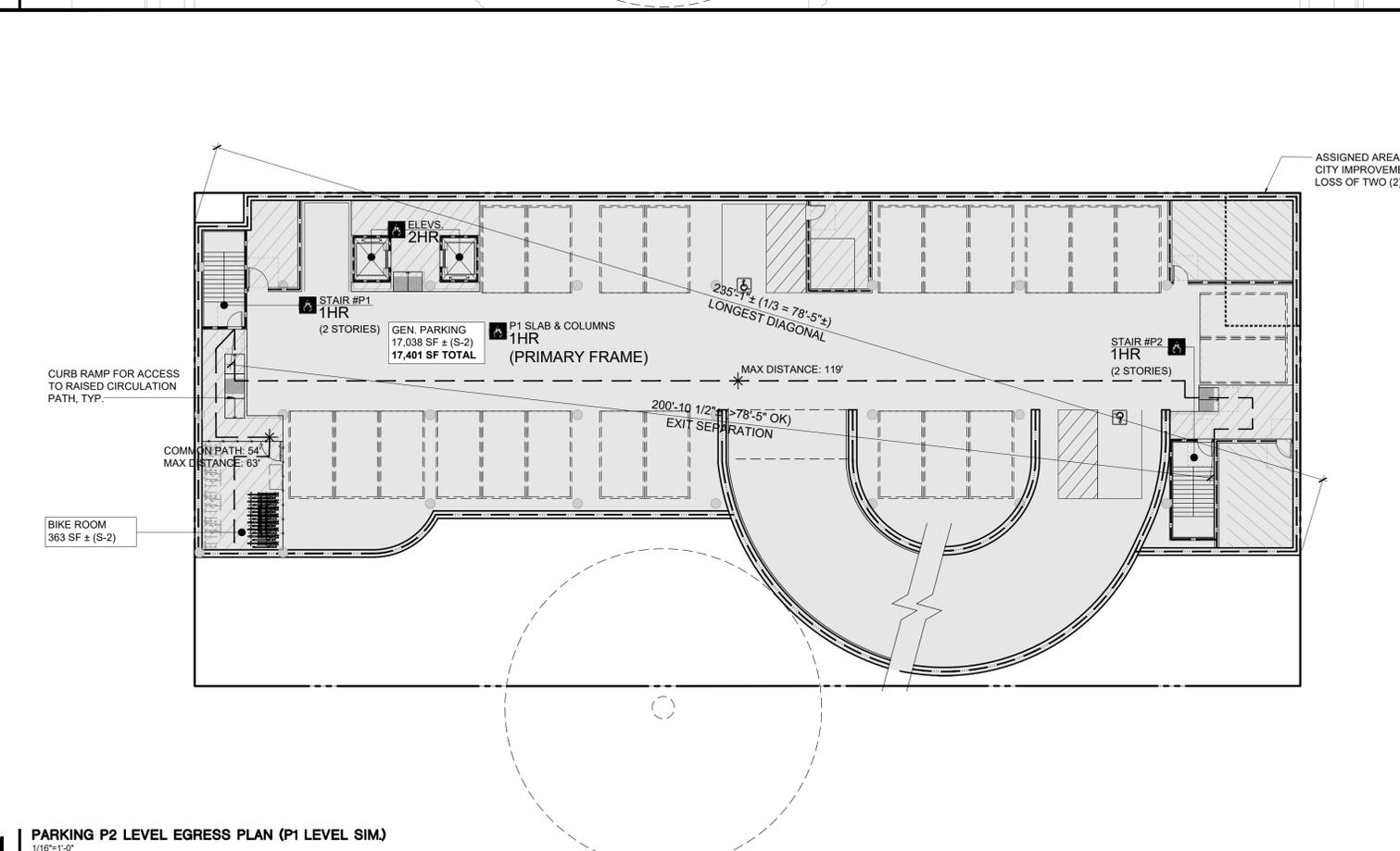
SHEET NUMBER

1 NOT USED
N.T.S.

A0.2A



2 FIRST FLOOR EGRESS PLAN
1/16"=1'-0"



1 PARKING P2 LEVEL EGRESS PLAN (P1 LEVEL SIM.)
1/16"=1'-0"

LEGEND

- A-3 ASSEMBLY AREA
 - B BUSINESS & ACCESSORY AREA***
 - R-2 RESIDENTIAL AREA
 - S-1, S-2 STORAGE & PARKING AREAS
 - RATED BUILDING ELEMENT (AS NOTED)
 - EGRESS PATH OF TRAVEL
 - ACCESSIBLE PATH OF TRAVEL (SEE 3-4)
 - POINT OF DECISION (END OF COMMON PATH OF TRAVEL)
- *** ACCESSORY OCCUPANCIES
PER CBC 508.2, ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED BUT ARE NOT REQUIRED TO BE SEPARATED (EXCEPT R-2 DWELLINGS ARE TO BE SEPARATED FROM EACH OTHER AS WELL AS CONTIGUOUS ACCESSORY SPACE, I.E. CORRIDORS). IN ADDITION, PER CBC 303.1.2, A ROOM OR SPACE THAT IS LESS THAN 750 SF AND/OR HAS AN OCCUPANT LOAD OF LESS THAN 50 SHALL BE CLASSIFIED AS B-OCCUPANCY OR AS A PART OF THAT OCCUPANCY WITH WHICH IT IS ASSOCIATED.
- NOTE 1: ELEVATORS TO BE PROVIDED WITH SMOKE DOORS OR A SMOKEPROOF LOBBY (TYP. ALL FLOORS EXCEPT FIRST FLOOR)
NOTE 2: (1) RESIDENTIAL ELEVATOR (SERVING FLOORS P2 THROUGH ROOF) TO BE PROVIDED WITH STAND-BY POWER PER CBC 1009.4.1 AS REQUIRED TO PROVIDE AN ACCESSIBLE MEANS OF EGRESS

TYP. PARKING LEVEL OCCUPANCY CALCULATIONS:
OCCUPANCY: GROUP S-2 (1 OCC / 200 SF)
AREA: 17,401 SF / 200 = 88 OCC.
(2 EXITS REQUIRED / PROVIDED)
PARKING EGRESS (DOOR) WIDTH: 88 X 0.2 = 17.6" MIN. REQUIRED
2 DOORS @ 32" MIN. CLR. EA. (64" TOTAL) PROVIDED
PARKING STAIR WIDTH: 88 X 0.3 = 26.4" MIN. REQUIRED
2 STAIRS @ 44" MIN. CLR. EA. (88" TOTAL) PROVIDED

FIRST FLOOR OCCUPANCY CALCULATIONS:
OFFICE OCCUPANCY (1,984 SF TOTAL), GROUPS A-2/A-3, S-1
OFFICE AREA (90% OF GROSS, 1,683 SF), GROUP B (1 OCC. / 150 SF)
SUB AREA: 1,683 SF / 150 = 11 OCC.
ASSEMBLY ALLOWANCE (10% OF GROSS) A-2, A-3 (1 OCC. / 15 SF)
SUB AREA: 198 SF / 15 = 14 OCC.
OFFICE TRASH ROOM (103 SF), GROUP S-1 (1 OCC. / 300 SF)
164 SF / 300 = 1 OCC.
20 TOTAL (INTERIOR) OFFICE OCCUPANTS (1 EXITS REQUIRED / 2 PROVIDED)
OFFICE EGRESS (DOOR) WIDTH: 20 X 0.2 = 4" MIN. REQ.
1 DOORS @ 64" MIN. CLR. + 1 DOOR @ 32" MIN CLR. (EXITS 1 & 2) (96" TOTAL) PROV.
OFFICE STAIR/RAMP WIDTH: 20 X 0.3 = 6" MIN. REQ.
2 PATHS (EXITS 1 & 2) @ 44" MIN. CLR. EA. (88" TOTAL) PROV.

SHARED RES. + OFFICE FITNESS CENTER OCCUPANCY (1,829 SF TOTAL INT. + 498 SF EXT.) GROUPS A-2/A-3, B
ASSEMBLY AREA (90% OF GROSS, 1 OCC. / 15 SF) GROUPS A-2, A-3
SUB AREA: 1,646 SF / 15 = 110 OCC. (2 EXITS REQ/PROV - EXITS 1 & 2)
OFFICE ALLOWANCE (10% OF GROSS, 1 OCC. / 150 SF) GROUP B
SUB AREA: 183 SF / 150 = 2 OCC. (1 EXIT REQUIRED / 2 PROVIDED)
EXT. TERRACE (498 SF) GROUP A-3 (1 OCC. / 15 SF). **TREATED AS ENCLOSED AREA**
498 SF / 15 = 34 OCC. (1 EXIT REQUIRED / PROVIDED)
146 TOTAL FITNESS CENTER OCCUPANTS (2 EXITS REQUIRED / PROVIDED)
FITNESS CENTER EGRESS (DOOR) WIDTH: 146 X 0.2 = 29.2" MIN. REQ.
2 DOORS (EXITS 3 & 4) @ 64" MIN. CLR. EA. (128" TOTAL) PROV.
FITNESS CENTER STAIR/RAMP WIDTH: 146 X 0.3 = 43.8" MIN. REQ.
2 PATHS (EXITS 3 & 4) @ 44" MIN. CLR. EA. (88" TOTAL) PROV.

RESIDENTIAL OCCUPANCY (5,401 SF TOTAL INT. + 735 SF EXT.), GROUPS A-2/A-3, B, S-1
LOBBY, LOUNGE, MAIL, ETC. (3,390 SF) GROUP A-2/A-3 (1 OCC. / 15 SF)
3,390 SF / 15 = 226 OCCUPANTS (3 EXITS REQ / PROV - EXITS 5, 6 & 7)
LEASING OFFICE, COWORKING SPACE, ETC. (1,828 SF) GROUP B (1 OCC. / 150 SF)
1,828 SF / 150 = 13 OCCUPANTS (1 EXIT REQ / 3 PROV)
JANITOR CLOSET, FIRE ACCESS, STORAGE (183 SF) GROUP S-1 (1 OCC. / 300 SF)
183 SF / 300 = 1 OCCUPANT
240 TOTAL RESIDENTIAL OCCUPANTS (3 EXITS REQUIRED / PROVIDED)
RESIDENTIAL EGRESS (DOOR) WIDTH: 240 X 0.2 = 48" MIN. REQ.
2 DOOR @ 64" MIN. CLR. + 1 DOOR @ 32" MIN. CLR. (EXITS 5, 6 & 7) (160" TOTAL) PROV.
RESIDENTIAL STAIR/RAMP WIDTH: 240 X 0.3 = 72" MIN. REQ.
1 PATH @ 44" MIN. CLR + 2 PATH AT 50" MIN. CLR (EXITS 5, 6 & 7) (144" TOTAL) PROV.
EXTERIOR GARDEN TERRACE (735 SF) GROUP A-3 (1 OCC. / 15 SF)
735 SF / 15 = 49 OCC. (1 EXIT REQUIRED / PROVIDED)

OCCUPANCIES EXCLUDED FROM OVERALL DUE TO DIRECT EXITS TO EXTERIOR
ELEC. RM + RES. TRASH RM (633 SF & 1,053 SF), GROUP S-1 (1 OCC. / 300 SF)
633 / 300 = 3 OCC., + 1,053 / 300 = 4 OCC., (1 EXIT REQ/PROV AT EACH ROOM)
STAIRS #1/2 (230 SF + 252 SF = 482 SF TOTAL) GROUP B-ACCESSORY (1 OCC. / 150 SF)
230 / 150 = 2 OCC., + 252 / 150 SF = 2 OCC., (1 EXIT REQ/PROV. AT EACH ROOM)
EXIT DOORS R1 / R2 & STAIR WIDTH (ABOVE / AT GRADE) BASED ON ROOF OCC. CALCS
EXT. DOOR WIDTH = 34" CLR EA, I.E. 38" DOOR (EXITS R1/R2 ONLY)
MIN. AT GRADE STAIR WIDTH = 50" (EXITS R1/R2 ONLY)

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
CODE & EGRESS COMPLIANCE

SCALE
1/16" = 1'-0"

PROJ. N TRUE N

SHEET NUMBER

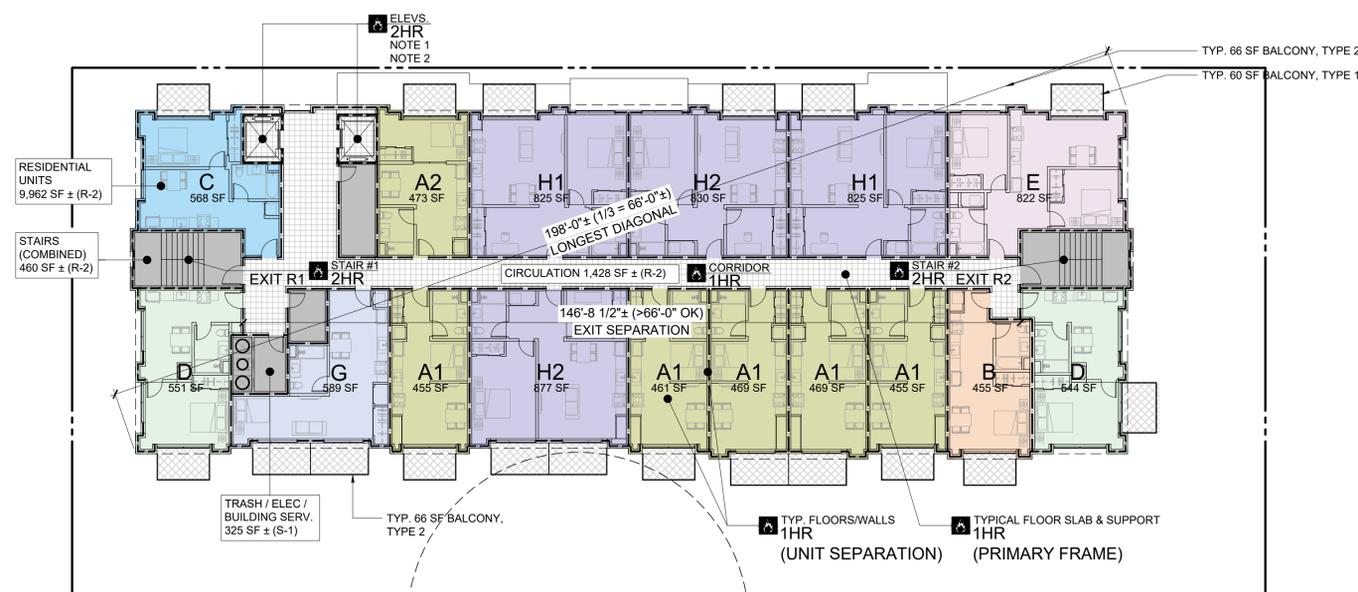


LEGEND

- A-3 ASSEMBLY AREA
- B BUSINESS & ACCESSORY AREA***
- R-2 RESIDENTIAL AREA
- S-1, S-2 STORAGE & PARKING AREAS
- RATED BUILDING ELEMENT (AS NOTED)
* COMMON PATH OF EGRESS (CBC T 1006.2.1)
A, M = 75' MAX. (SPRINKLERED)
B, S = 100' MAX. (SPRINKLERED)
** EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2)
A, M, R, S-1 = 250' MAX. (SPRINKLERED)
B = 300' MAX. (SPRINKLERED)
S-2 = 400' MAX. (SPRINKLERED)
- EGRESS PATH OF TRAVEL
- ACCESSIBLE PATH OF TRAVEL (SEE 3-4)
- POINT OF DECISION (END OF COMMON PATH OF TRAVEL)

*** ACCESSORY OCCUPANCIES PER CBC 508.2, ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED BUT ARE NOT REQUIRED TO BE SEPARATED (EXCEPT R-2 DWELLINGS ARE TO BE SEPARATED FROM EACH OTHER AS WELL AS CONTIGUOUS ACCESSORY SPACE, I.E. CORRIDORS). IN ADDITION, PER CBC 303.1.2, A ROOM OR SPACE THAT IS LESS THAN 750 SF AND/OR HAS AN OCCUPANT LOAD OF LESS THAN 50 SHALL BE CLASSIFIED AS B-OCCUPANCY OR AS A PART OF THAT OCCUPANCY WITH WHICH IT IS ASSOCIATED.

NOTE 1: ELEVATORS TO BE PROVIDED WITH SMOKE DOORS OR A SMOKEPROOF LOBBY (TYP. ALL FLOORS EXCEPT FIRST FLOOR)
NOTE 2: (1) RESIDENTIAL ELEVATOR (SERVING FLOORS P2 THROUGH ROOF) TO BE PROVIDED WITH STAND-BY POWER PER CBC 1009.4.1 AS REQUIRED TO PROVIDE AN ACCESSIBLE MEANS OF EGRESS



2 THIRD FLOOR EGRESS PLAN
1/16"=1'-0"

THIRD FLOOR RESIDENTIAL OCCUPANCY CALCULATIONS:
RESIDENTIAL OCCUPANCY (12,175 SF TOTAL), GROUPS R-2, S-1

CIRCULATION (1,428 SF) GROUP R-2 (1 OCC. / 200 SF)
1,428 / 200 = 8 OCC.

STORAGE (325 SF, ELEC. + TRASH + BUILDING SERVICES ROOMS), GROUP S-1 (1 OCC. / 300 SF)
325 / 300 = 2 OCC.

STAIRS (2 STAIRS @ 230 SF EA. = 460 SF TOTAL), GROUP R-2 (1 OCC. / 200 SF)
460 / 200 = 3 OCC.

16 RESIDENTIAL UNITS (9,962 SF), GROUP R-2 (1 OCC. / 200 SF)
9,962 / 200 = 50 OCC. (BY AREA) **USE SUB-CALC BELOW BY UNIT**

UNIT TYPE A1/A2 (461 - 473 SF) W/ BALCONY TYPE 1/2 (60 - 66 SF), TYP. OF 6
473 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. EA / 24 OCC. TOTAL

UNIT TYPE B (455 SF) W/ BALCONY TYPE 1, TYP. OF 1
455 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE C (568 SF) W/ BALCONY TYPE 1, TYP. OF 1
568 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE D (544 - 551 SF) W/ BALCONY TYPE 1, TYP. OF 2
551 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. / 8 OCC. TOTAL

UNIT TYPE E (822 SF) W/ BALCONY TYPE 1, TYP. OF 1
822 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE G (589 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
589 / 200 = 3 OCC. (INT) + 2 OCC. (EXT) = 5 OCC. TOTAL

UNIT TYPE H1/H2 (825 - 830 SF) W/ BALCONY TYPE 1, TYP. OF 3
830 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. EA / 18 OCC. TOTAL

UNIT TYPE H2 (877 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
877 / 200 = 5 OCC. (INT) + 2 OCC. (EXT) = 7 OCC. TOTAL

SUBTOTAL UNIT OCCUPANTS: 76

BALCONY CALCULATIONS, INCLUDED ABOVE (CALCULATED AT 1/200 SF AS ACCESSORY TO PRIVATE RES. AREA):
12 TYPE 1 BALCONIES 60 SF EA. / 200 = 1 OCC. EA.
6 TYPE 2 BALCONIES 66 SF EA. / 200 = 1 OCC. EA.

89 TOTAL RESIDENTIAL OCCUPANTS (2 EXITS REQUIRED / PROVIDED)

RESIDENTIAL EGRESS (DOOR) WIDTH: 89 X 0.2 = 17.8" MIN. REQ.
2 DOORS (EXITS S1 & S2) @ 32" MIN. CLR. EA. (64" TOTAL) PROV.

RESIDENTIAL STAIR WIDTH: 89 X 0.3 = 26.7" MIN. REQ.
2 STAIRS (EXITS S1 & S2) @ 50" MIN. CLR. EA. (100" TOTAL) PROV.

SECOND FLOOR RESIDENTIAL OCCUPANCY CALCULATIONS:
RESIDENTIAL OCCUPANCY (12,070 SF TOTAL), GROUPS R-2, S-1

CIRCULATION (1,428 SF) GROUP R-2 (1 OCC. / 200 SF)
1,428 / 200 = 8 OCC.

STORAGE (325 SF, ELEC. + TRASH + BUILDING SERVICES ROOMS), GROUP S-1 (1 OCC. / 300 SF)
325 / 300 = 2 OCC.

STAIRS (2 STAIRS @ 230 SF EA. = 460 SF TOTAL), GROUP R-2 (1 OCC. / 200 SF)
460 / 200 = 3 OCC.

16 RESIDENTIAL UNITS (9,857 SF), GROUP R-2 (1 OCC. / 200 SF)
9,857 / 200 = 50 OCC. (BY AREA) **USE SUB-CALC BELOW BY UNIT**

UNIT TYPE A1/A2 (450 - 469 SF) W/ BALCONY TYPE 1/2 (60 - 66 SF), TYP. OF 6
469 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. EA / 24 OCC. TOTAL

UNIT TYPE B (455 SF) W/ BALCONY TYPE 1, TYP. OF 1
455 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE C (568 SF) W/ BALCONY TYPE 1, TYP. OF 1
568 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE D (544 - 551 SF) W/ BALCONY TYPE 1, TYP. OF 2
551 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. / 8 OCC. TOTAL

UNIT TYPE E (822 SF) W/ BALCONY TYPE 1, TYP. OF 1
822 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE G (589 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
589 / 200 = 3 OCC. (INT) + 2 OCC. (EXT) = 5 OCC. TOTAL

UNIT TYPE H1 (820 SF) W/ BALCONY TYPE 1/2 (60 - 66 SF), TYP. OF 2
820 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. EA / 12 OCC. TOTAL

UNIT TYPE H2 (877 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
877 / 200 = 5 OCC. (INT) + 2 OCC. (EXT) = 7 OCC. TOTAL

UNIT TYPE J (709 SF) W/ BALCONY TYPE 2, TYP. OF 1
709 / 200 = 4 OCC. (INT) + 1 OCC. (EXT) = 5 OCC. TOTAL

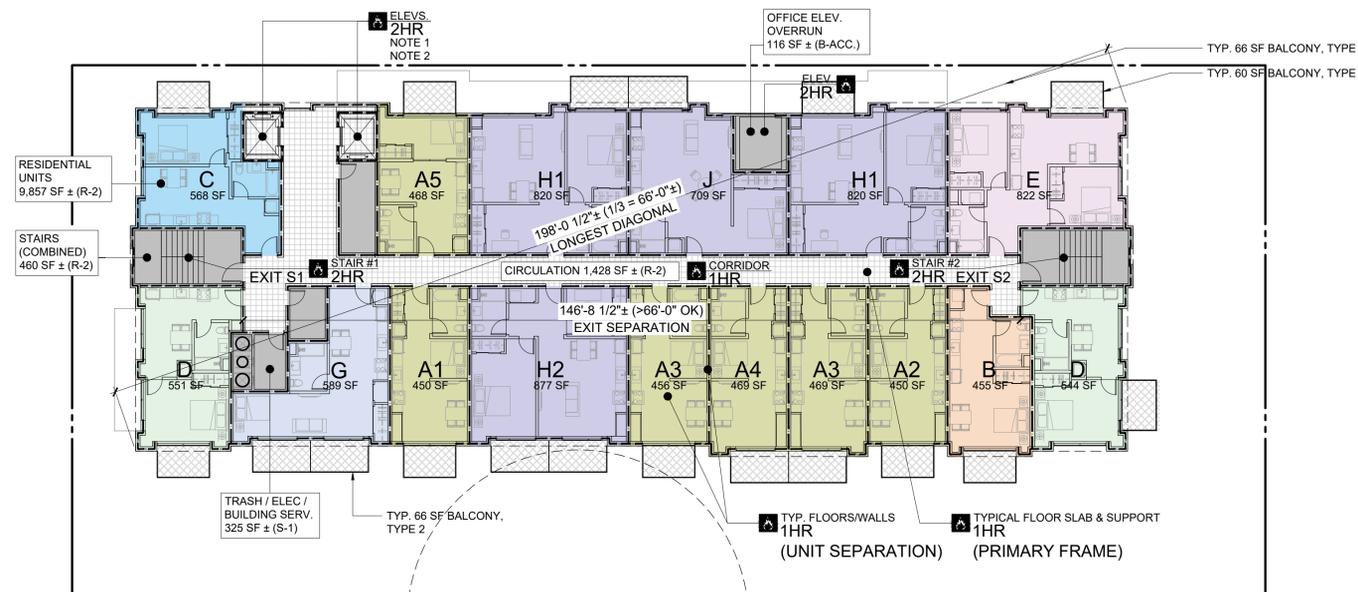
SUBTOTAL UNIT OCCUPANTS: 74

BALCONY CALCULATIONS, INCLUDED ABOVE (CALCULATED AT 1/200 SF AS ACCESSORY TO PRIVATE RES. AREA):
12 TYPE 1 BALCONIES 60 SF EA. / 200 = 1 OCC. EA.
6 TYPE 2 BALCONIES 66 SF EA. / 200 = 1 OCC. EA.

87 TOTAL RESIDENTIAL OCCUPANTS (2 EXITS REQUIRED / PROVIDED)

RESIDENTIAL EGRESS (DOOR) WIDTH: 87 X 0.2 = 17.4" MIN. REQ.
2 DOORS (EXITS S1 & S2) @ 32" MIN. CLR. EA. (64" TOTAL) PROV.

RESIDENTIAL STAIR WIDTH: 87 X 0.3 = 26.1" MIN. REQ.
2 STAIRS (EXITS S1 & S2) @ 50" MIN. CLR. EA. (100" TOTAL) PROV.



1 SECOND FLOOR EGRESS PLAN
1/16"=1'-0"

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
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	02.07.24	PLANNING RESUBMITTAL #7
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	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
CODE & EGRESS COMPLIANCE

SCALE
1/16" = 1'-0"

PROJ. N TRUE N

0 16' 32'

SHEET NUMBER

A0.2C

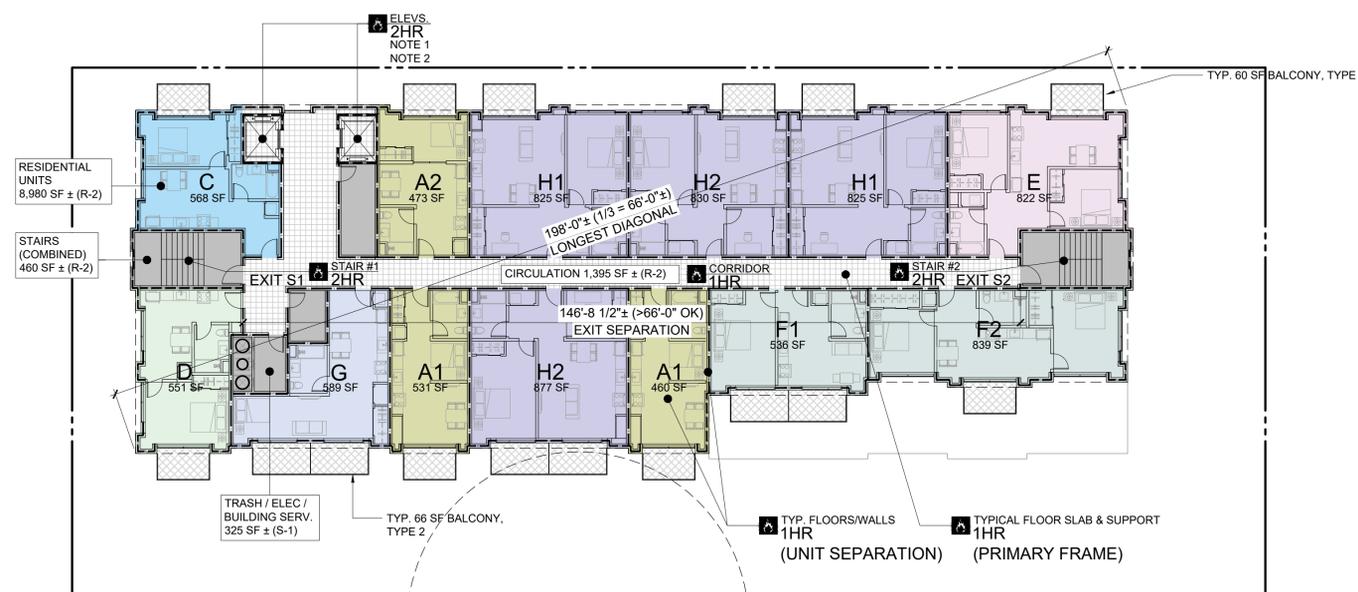


LEGEND

- A-3 ASSEMBLY AREA
- B BUSINESS & ACCESSORY AREA***
- R-2 RESIDENTIAL AREA
- S-1, S-2 STORAGE & PARKING AREAS
- RATED BUILDING ELEMENT (AS NOTED)
* COMMON PATH OF EGRESS (CBC T 1006.2.1)
A, M = 75' MAX. (SPRINKLERED)
B, S = 100' MAX. (SPRINKLERED)
** EXIT ACCESS TRAVEL DISTANCE (CBC T 1017.2)
A, M, R, S-1 = 250' MAX. (SPRINKLERED)
B = 300' MAX. (SPRINKLERED)
S-2 = 400' MAX. (SPRINKLERED)
- EGRESS PATH OF TRAVEL
- ACCESSIBLE PATH OF TRAVEL (SEE 3-4)
- POINT OF DECISION (END OF COMMON PATH OF TRAVEL)

*** ACCESSORY OCCUPANCIES
PER CBC 508.2, ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED BUT ARE NOT REQUIRED TO BE SEPARATED (EXCEPT R-2 DWELLINGS ARE TO BE SEPARATED FROM EACH OTHER AS WELL AS CONTIGUOUS ACCESSORY SPACE, I.E. CORRIDORS). IN ADDITION, PER CBC 303.1.2, A ROOM OR SPACE THAT IS LESS THAN 750 SF AND/OR HAS AN OCCUPANT LOAD OF LESS THAN 50 SHALL BE CLASSIFIED AS B-OCCUPANCY OR AS A PART OF THAT OCCUPANCY WITH WHICH IT IS ASSOCIATED.

NOTE 1: ELEVATORS TO BE PROVIDED WITH SMOKE DOORS OR A SMOKEPROOF LOBBY (TYP. ALL FLOORS EXCEPT FIRST FLOOR)
NOTE 2: (1) RESIDENTIAL ELEVATOR (SERVING FLOORS P2 THROUGH ROOF) TO BE PROVIDED WITH STAND-BY POWER PER CBC 1009.4.1 AS REQUIRED TO PROVIDE AN ACCESSIBLE MEANS OF EGRESS



2 FIFTH FLOOR EGRESS PLAN
1/16"=1'-0"

FOURTH FLOOR RESIDENTIAL OCCUPANCY CALCULATIONS: RESIDENTIAL OCC. (11,160 SF TOTAL), GROUPS R-2, S-1

CIRCULATION (1,395 SF) GROUP R-2 (1 OCC. / 200 SF)
1,395 / 200 = 7 OCC.

STAIRS (2 STAIRS @ 230 SF EA. = 460 SF TOTAL), GROUP R-2 (1 OCC. / 200 SF)
460 / 200 = 2 OCC.

13 RESIDENTIAL UNITS (8,980 SF), GROUP R-2 (1 OCC. / 200 SF)
8,980 / 200 = 45 OCC. (BY AREA) **USE SUB-CALC BELOW BY UNIT**

UNIT TYPE A1/A2 (455 - 473 SF) W/ BALCONY TYPE 1, TYP. OF 3
473 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. EA / 12 OCC. TOTAL

UNIT TYPE C (568 SF) W/ BALCONY TYPE 1, TYP. OF 1
568 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE D (551 SF) W/ BALCONY TYPE 1, TYP. OF 1
551 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE E (822 SF) W/ BALCONY TYPE 1, TYP. OF 1
822 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE F1 (581 SF) W/ UNIQUE BALCONY (380 SF), TYP. OF 1
581 / 200 = 3 OCC. (INT) + 2 OCC. (EXT) = 5 OCC. TOTAL

UNIT TYPE F2 (839 SF) W/ UNIQUE BALCONY (687 SF), TYP. OF 1
839 / 200 = 5 OCC. (INT) + 4 OCC. (EXT) = 9 OCC. TOTAL

UNIT TYPE G (589 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
589 / 200 = 3 OCC. (INT) + 2 OCC. (EXT) = 5 OCC. TOTAL

UNIT TYPE H1/H2 (825 - 830 SF) W/ BALCONY TYPE 1, TYP. OF 3
830 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. EA / 18 OCC. TOTAL

UNIT TYPE H2 (877 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
877 / 200 = 5 OCC. (INT) + 2 OCC. (EXT) = 7 OCC. TOTAL

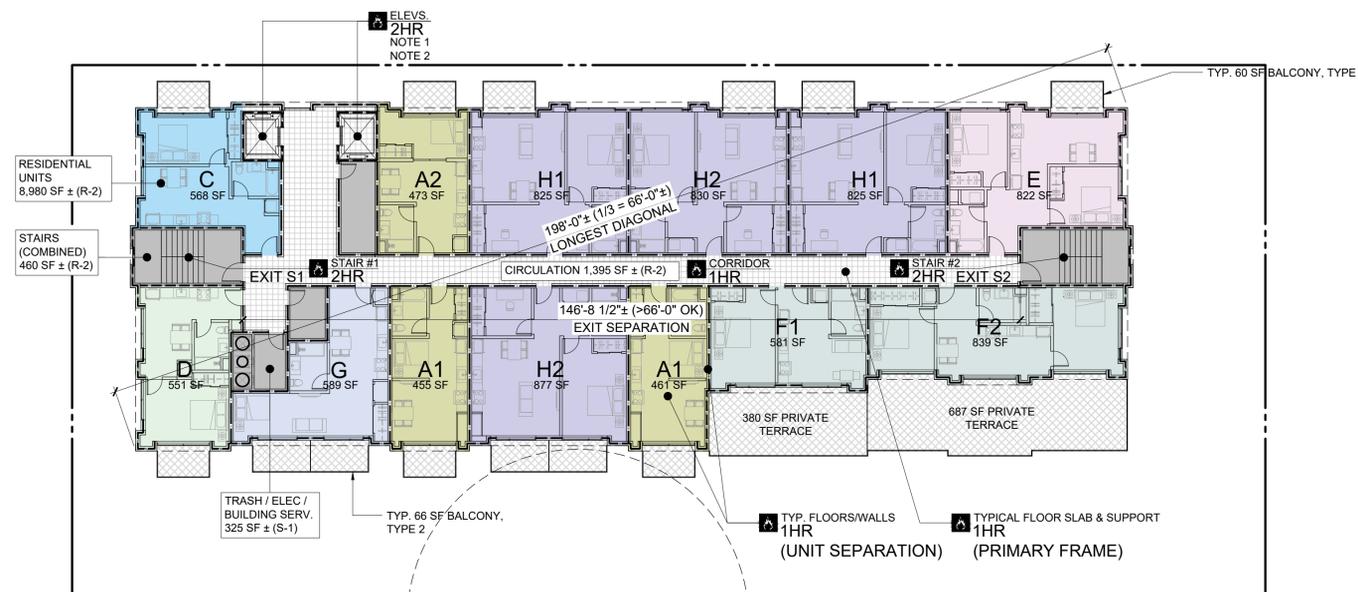
SUBTOTAL UNIT OCCUPANTS: 70

BALCONY CALCULATIONS, INCLUDED ABOVE (CALCULATED AT 1/200 SF AS ACCESSORY TO PRIVATE RES. AREA):
9 TYPE 1 BALCONIES 60 SF EA. / 200 = 1 OCC. EA.
4 TYPE 2 BALCONIES 66 SF EA. / 200 = 1 OCC. EA.
1 UNIT F1 BALCONY @ 380 SF / 200 = 2 OCC.
1 UNIT F2 BALCONY @ 687 SF / 200 = 4 OCC.

82 TOTAL RESIDENTIAL OCCUPANTS (2 EXITS REQUIRED / PROVIDED)

RESIDENTIAL EGRESS (DOOR) WIDTH: 82 X 0.2 = 16.4" MIN. REQ.
2 DOORS (EXITS S1 & S2) @ 32" MIN. CLR. EA. (64" TOTAL) PROV.

RESIDENTIAL STAIR WIDTH: 82 X 0.3 = 24.6" MIN. REQ.
2 STAIRS (EXITS S1 & S2) @ 50" MIN. CLR. EA. (100" TOTAL) PROV.



1 FOUTH FLOOR EGRESS PLAN
1/16"=1'-0"

FIFTH FLOOR RESIDENTIAL OCCUPANCY CALCULATIONS: RESIDENTIAL OCC. (11,160 SF TOTAL), GROUPS R-2, S-1

CIRCULATION (1,395 SF) GROUP R-2 (1 OCC. / 200 SF)
1,395 / 200 = 7 OCC.

STAIRS (2 STAIRS @ 230 SF EA. = 460 SF TOTAL), GROUP R-2 (1 OCC. / 200 SF)
460 / 200 = 3 OCC.

13 RESIDENTIAL UNITS (8,980 SF), GROUP R-2 (1 OCC. / 200 SF)
8,980 / 200 = 45 OCC. (BY AREA) **USE SUB-CALC BELOW BY UNIT**

UNIT TYPE A1/A2 (455 - 473 SF) W/ BALCONY TYPE 1, TYP. OF 3
473 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. EA / 12 OCC. TOTAL

UNIT TYPE C (568 SF) W/ BALCONY TYPE 1, TYP. OF 1
568 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE D (551 SF) W/ BALCONY TYPE 1, TYP. OF 1
551 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE E (822 SF) W/ BALCONY TYPE 1, TYP. OF 1
822 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE F1 (581 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
581 / 200 = 3 OCC. (INT) + 2 OCC. (EXT) = 5 OCC. TOTAL

UNIT TYPE F2 (839 SF) W/ BALCONY TYPE 1, TYP. OF 1
839 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE G (589 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
589 / 200 = 3 OCC. (INT) + 2 OCC. (EXT) = 5 OCC. TOTAL

UNIT TYPE H1/H2 (825 - 830 SF) W/ BALCONY TYPE 1, TYP. OF 3
830 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. EA / 18 OCC. TOTAL

UNIT TYPE H2 (877 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
877 / 200 = 5 OCC. (INT) + 2 OCC. (EXT) = 7 OCC. TOTAL

SUBTOTAL UNIT OCCUPANTS: 67

BALCONY CALCULATIONS, INCLUDED ABOVE (CALCULATED AT 1/200 SF AS ACCESSORY TO PRIVATE RES. AREA):
10 TYPE 1 BALCONIES 60 SF EA. / 200 = 1 OCC. EA.
6 TYPE 2 BALCONIES 66 SF EA. / 200 = 1 OCC. EA.

79 TOTAL RESIDENTIAL OCCUPANTS (2 EXITS REQUIRED / PROVIDED)

RESIDENTIAL EGRESS (DOOR) WIDTH: 79 X 0.2 = 15.8" MIN. REQ.
2 DOORS (EXITS S1 & S2) @ 32" MIN. CLR. EA. (64" TOTAL) PROV.

RESIDENTIAL STAIR WIDTH: 79 X 0.3 = 23.7" MIN. REQ.
2 STAIRS (EXITS S1 & S2) @ 50" MIN. CLR. EA. (100" TOTAL) PROV.

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
CODE & EGRESS COMPLIANCE

SCALE
1/16" = 1'-0"

SHEET NUMBER

A0.2D

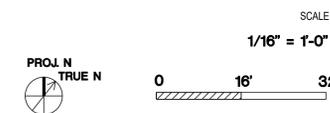


ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
09.30.24	01.17.25	PLANNING RESUBMITTAL #8
01.17.25	06.20.25	PLANNING RESUBMITTAL #9
06.20.25	08.08.25	PLANNING RESUBMITTAL #10
08.08.25		PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
CODE & EGRESS COMPLIANCE



SHEET NUMBER

A0.2E

LEGEND

- A-3 ASSEMBLY AREA
- B BUSINESS & ACCESSORY AREA***
- R-2 RESIDENTIAL AREA
- S-1, S-2 STORAGE & PARKING AREAS
- RATED BUILDING ELEMENT (AS NOTED)
- EGRESS PATH OF TRAVEL
- ACCESSIBLE PATH OF TRAVEL (SEE 3-4)
- POINT OF DECISION (END OF COMMON PATH OF TRAVEL)

*** ACCESSORY OCCUPANCIES
PER CBC 508.2, ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED BUT ARE NOT REQUIRED TO BE SEPARATED (EXCEPT R-2 DWELLINGS ARE TO BE SEPARATED FROM EACH OTHER AS WELL AS CONTIGUOUS ACCESSORY SPACE, I.E. CORRIDORS). IN ADDITION, PER CBC 303.1.2, A ROOM OR SPACE THAT IS LESS THAN 750 SF AND/OR HAS AN OCCUPANT LOAD OF LESS THAN 50 SHALL BE CLASSIFIED AS B-OCCUPANCY OR AS A PART OF THAT OCCUPANCY WITH WHICH IT IS ASSOCIATED.

NOTE 1: ELEVATORS TO BE PROVIDED WITH SMOKE DOORS OR A SMOKEPROOF LOBBY (TYP. ALL FLOORS EXCEPT FIRST FLOOR)
NOTE 2: (1) RESIDENTIAL ELEVATOR (SERVING FLOORS P2 THROUGH ROOF) TO BE PROVIDED WITH STAND-BY POWER PER CBC 1009.4.1 AS REQUIRED TO PROVIDE AN ACCESSIBLE MEANS OF EGRESS

SIXTH FLOOR RESIDENTIAL OCCUPANCY CALCULATIONS: RESIDENTIAL OCC. (10,837 SF TOTAL), GROUPS R-2, S-1

CIRCULATION (1,395 SF) GROUP R-2 (1 OCC. / 200 SF)
1,395 / 200 = 7 OCC.

STORAGE (325 SF, ELEC. + TRASH ROOMS), GROUP S-1 (1 OCC. / 300 SF)
325 / 300 = 2 OCC.

STAIRS (2 STAIRS @ 230 SF EA. = 460 SF TOTAL), GROUP R-2 (1 OCC. / 200 SF)
460 / 200 = 3 OCC.

12 RESIDENTIAL UNITS (8,866 SF), GROUP R-2 (1 OCC. / 200 SF)
8,866 / 200 = 45 OCC. (BY AREA) **USE SUB-CALC BELOW BY UNIT**

UNIT TYPE A1/A2 (435 - 468 SF) W/ BALCONY TYPE 1, TYP. OF 1
468 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. EA / 8 OCC. TOTAL

UNIT TYPE C (550 SF) W/ BALCONY TYPE 1, TYP. OF 1
550 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE D (495 SF) W/ BALCONY TYPE 1, TYP. OF 1
495 / 200 = 3 OCC. (INT) + 1 OCC. (EXT) = 4 OCC. TOTAL

UNIT TYPE E (822 SF) W/ BALCONY TYPE 1, TYP. OF 1
822 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE F2 (839 SF) W/ BALCONY TYPE 1, TYP. OF 1
839 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. TOTAL

UNIT TYPE F3 (1,012 SF) W/ BALCONY TYPE 1 + (2) BALCONY TYPE 2, TYP. OF 1
1,012 / 200 = 6 OCC. (INT) + 3 OCC. (EXT) = 9 OCC. TOTAL

UNIT TYPE G (589 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
589 / 200 = 3 OCC. (INT) + 2 OCC. (EXT) = 5 OCC. TOTAL

UNIT TYPE H1/H2 (820 - 825 SF) W/ BALCONY TYPE 1, TYP. OF 3
825 / 200 = 5 OCC. (INT) + 1 OCC. (EXT) = 6 OCC. EA / 18 OCC. TOTAL

UNIT TYPE H2 (877 SF) W/ (2) BALCONY TYPE 2, TYP. OF 1
877 / 200 = 5 OCC. (INT) + 2 OCC. (EXT) = 7 OCC. TOTAL

SUBTOTAL UNIT OCCUPANTS: 66

BALCONY CALCULATIONS, INCLUDED ABOVE (CALCULATED AT 1/200 SF AS ACCESSORY TO PRIVATE RES. AREA):
10 TYPE 1 BALCONIES 60 SF EA. / 200 = 1 OCC. EA.
6 TYPE 2 BALCONIES 66 SF EA. / 200 = 1 OCC. EA.

78 TOTAL RESIDENTIAL OCCUPANTS (2 EXITS REQUIRED / PROVIDED)

RESIDENTIAL EGRESS (DOOR) WIDTH: 78 X 0.2 = 15.6" MIN. REQ.
2 DOORS (EXITS S1 & S2) @ 32" MIN. CLR. EA. (64" TOTAL) PROV.

RESIDENTIAL STAIR WIDTH: 78 X 0.3 = 23.4" MIN. REQ.
2 STAIRS (EXITS S1 & S2) @ 50" MIN. CLR. EA. (100" TOTAL) PROV.

ROOF OCCUPANCY CALCULATIONS:
ROOF OCCUPANCY (5,749 SF TOTAL), GROUPS B-ACCESSORY, S-1

OFFICE ELEVATOR AREA (154 SF) GROUP B-ACCESSORY (1 OCC. / 150 SF)
154 SF / 150 = 2 OCC.

HEAT PUMPS (429 SF) GROUP S-1 (1 OCC. / 300 SF), TREATED AS ENCLOSED AREA
429 SF / 300 = 2 OCC.

PLUMBING EQUIPMENT RM. (434 SF) GROUP S-1 (1 OCC. / 300 SF), ENCLOSED AREA
434 SF / 300 = 2 OCC.

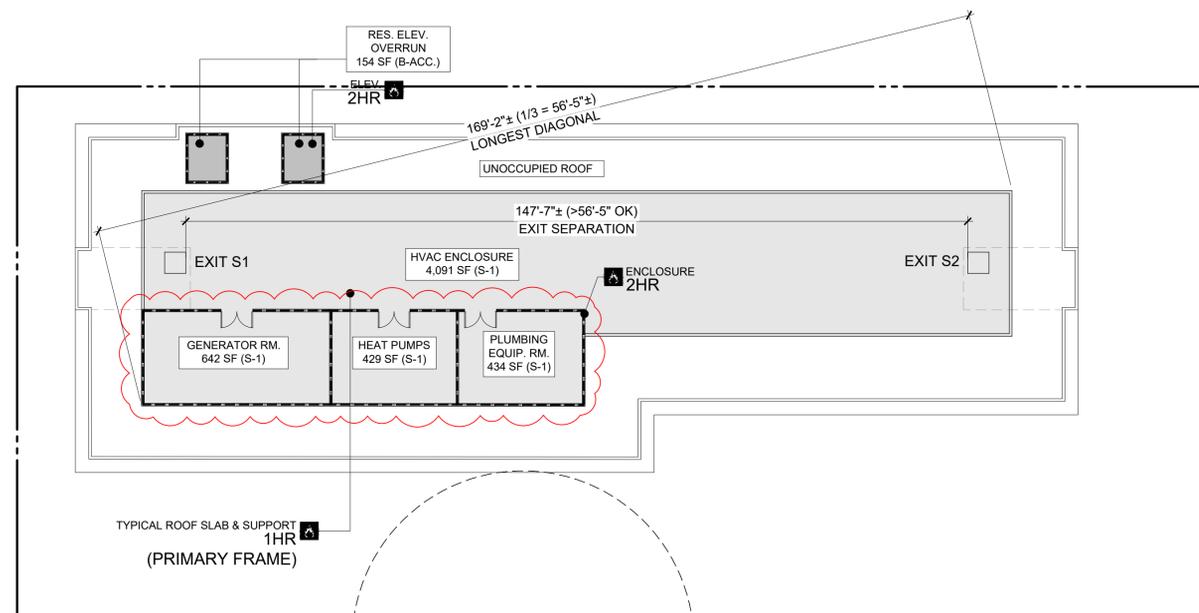
GENERATOR ROOM (642 SF) GROUP S-1 (1 OCC. / 300 SF), ENCLOSED AREA
642 / 300 = 3 OCC.

HVAC / ENCLOSURE AREA (4,091 SF) GROUP S-1 (1 OCC. / 300 SF)
4,091 SF / 300 = 14 OCC.

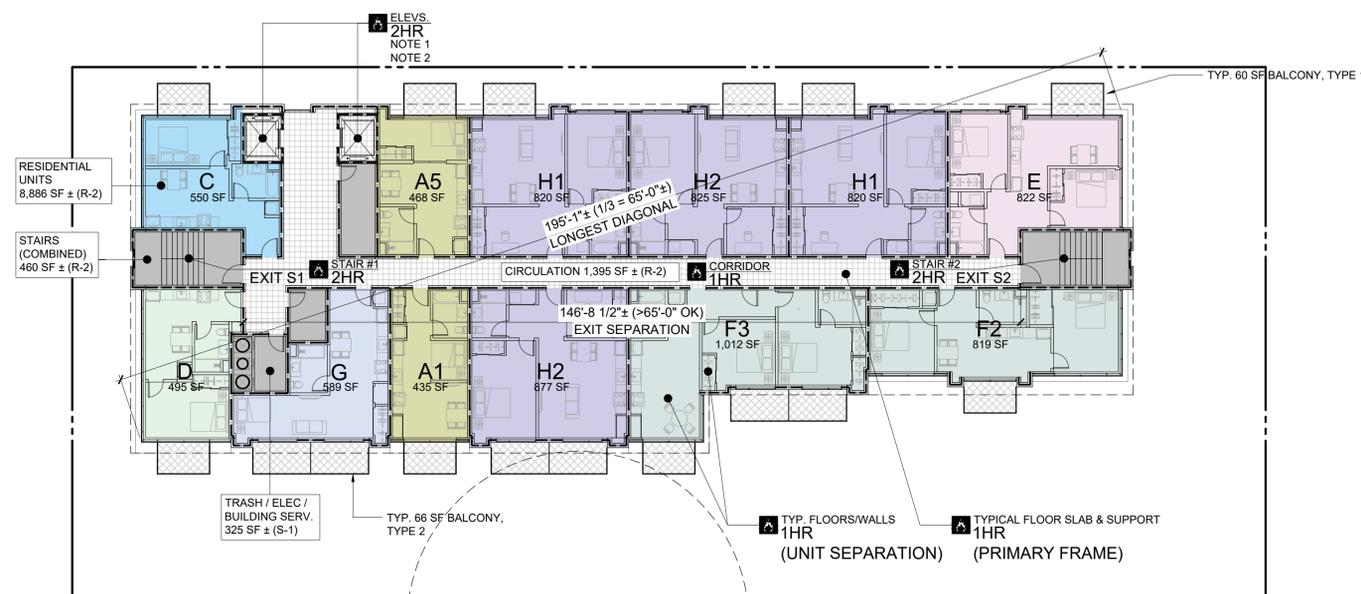
23 TOTAL OCCUPANTS (1 EXITS REQUIRED / 2 EXITS PROVIDED)

ROOF EGRESS (HATCH) WIDTH: 23 X 0.2 = 4.6" MIN. REQ.
2 HATCHES (EXITS S1 & S2) @ 48" MIN. CLR. EA. (96" TOTAL) PROV.

3 ROOF / TERRACE EGRESS PLAN
1/16"=1'-0"



2 SIXTH FLOOR EGRESS PLAN
1/16"=1'-0"

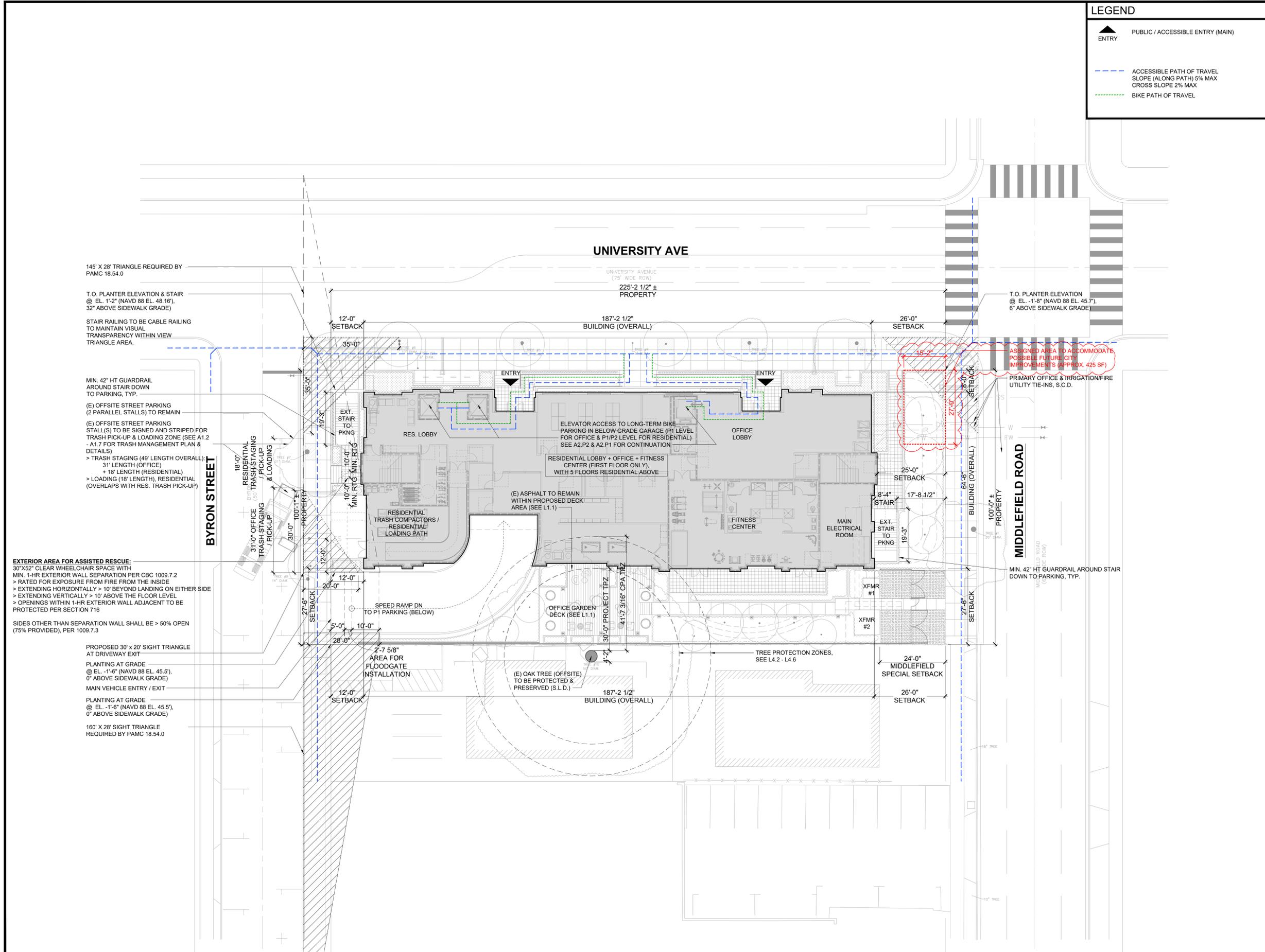




ARCHITECTS
KORTH SUNSERI HAGEY

LEGEND

- ENTRY PUBLIC / ACCESSIBLE ENTRY (MAIN)
- ACCESSIBLE PATH OF TRAVEL (ALONG PATH) 5% MAX CROSS SLOPE 2% MAX
- BIKE PATH OF TRAVEL



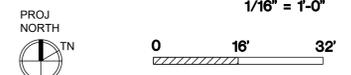
ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10
	08.08.25	PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

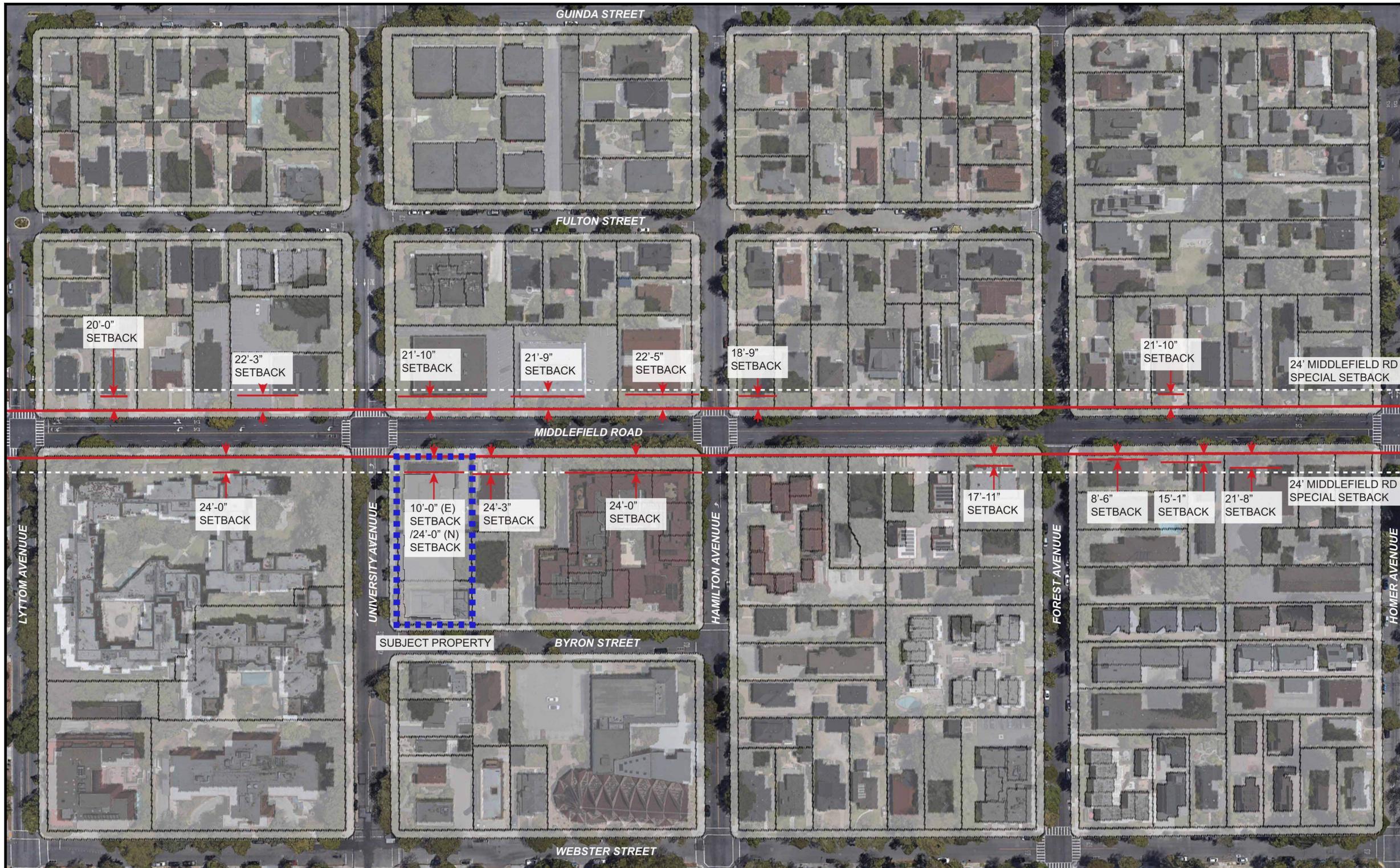
SHEET TITLE
**PROPOSED
SITE PLAN**

SCALE
1/16" = 1'-0"



SHEET NUMBER

A1.1A

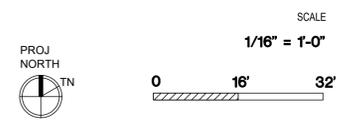


ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
OVERALL NEIGHBORHOOD
CONTEXT SITE PLAN

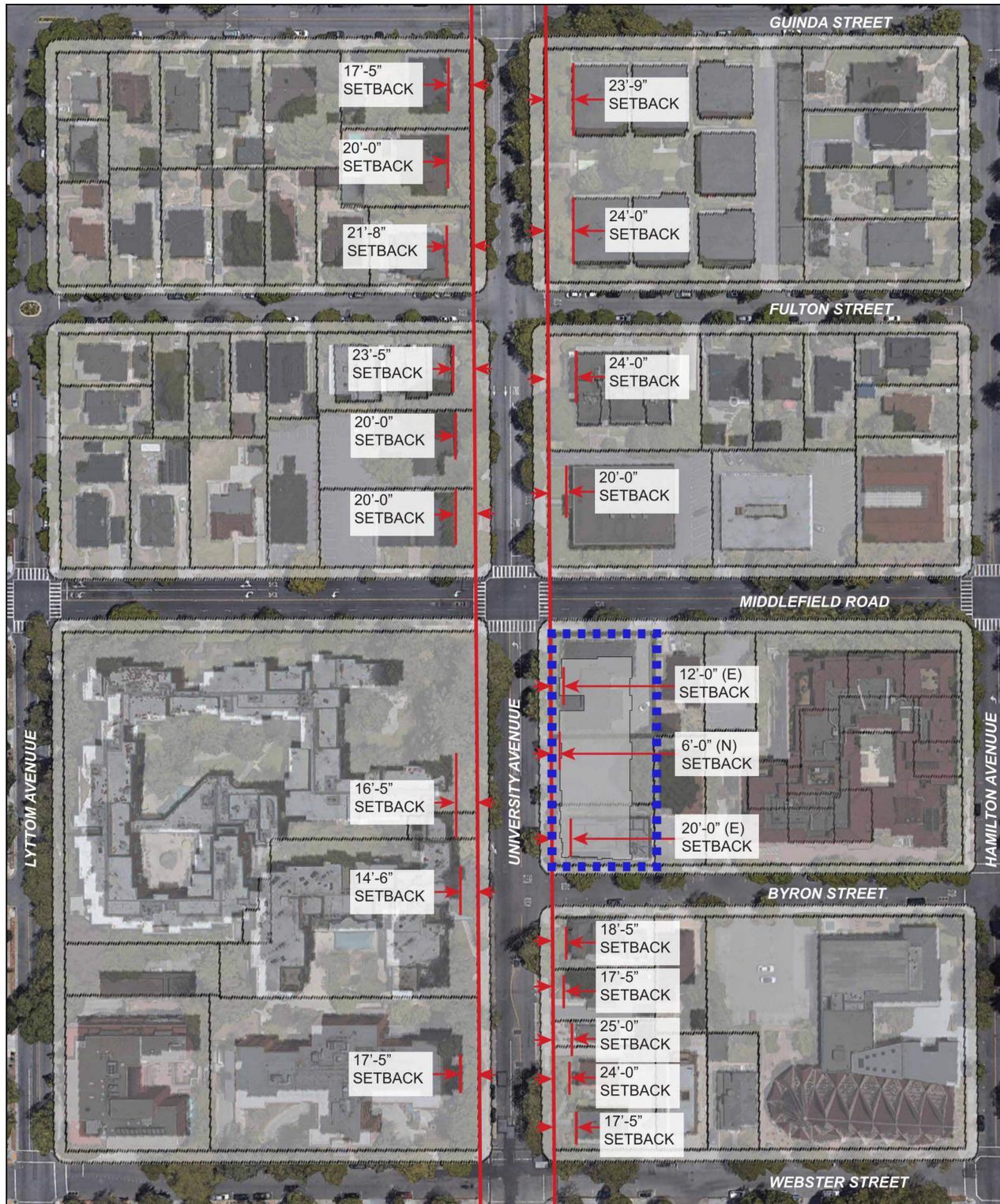


SHEET NUMBER

MIDDLEFIELD RD SETBACKS

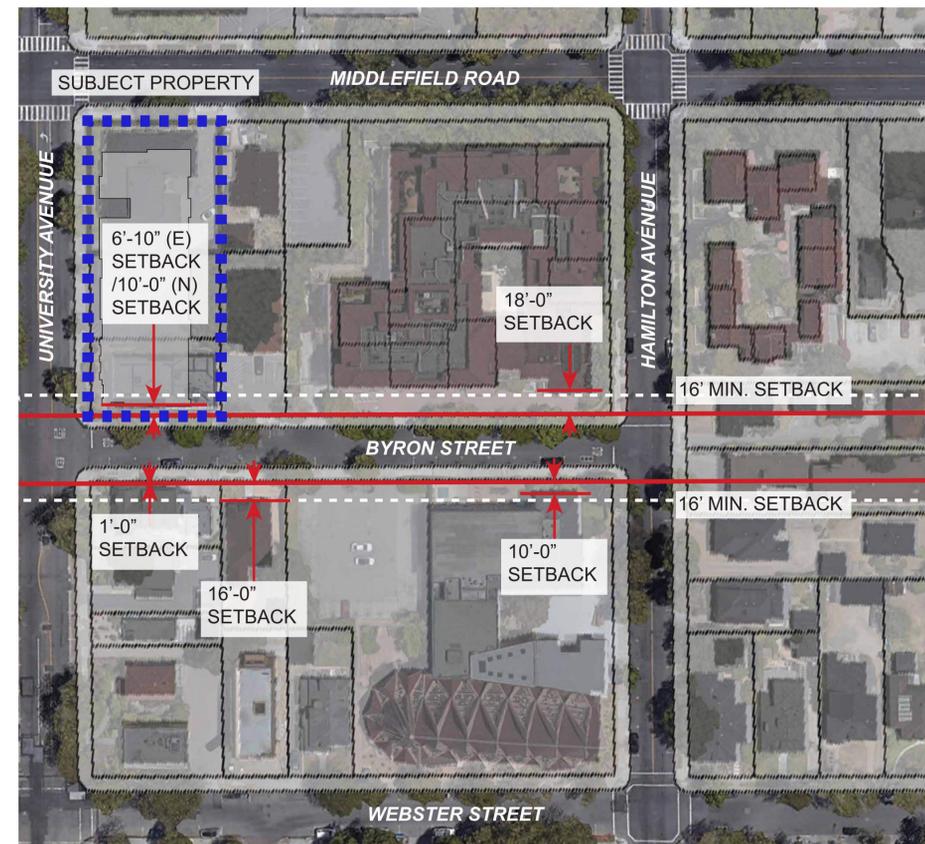
SETBACKS (PAMC 18.13.040 TABLE 2):
FRONT YARD (MIDDLEFIELD RD): 24' MIN. (PER ZONING MAP) REQUIRED / 25' PROPOSED
 STREET SIDE YARD (UNIVERSITY AVE, ARTERIAL ROADWAY):
 16' MIN. REQUIRED OR 0-20' ON ARTERIAL ROADWAYS, PER ZONING MAP / 7' PROPOSED
 STREET REAR YARD (BYRON ST): 16' MIN. REQUIRED / 11' PROPOSED
 INTERIOR SIDE YARD (>70' LOT WIDTH): 10' MIN. / 25'-6" PROPOSED

A1.1B



UNIVERSITY AVE SETBACKS

SETBACKS (PAMC 18.13.040 TABLE 2):
 FRONT YARD (MIDDLEFIELD RD): 24' MIN. (PER ZONING MAP) REQUIRED / 25' PROPOSED
 STREET SIDE YARD (UNIVERSITY AVE, ARTERIAL ROADWAY):
 16' MIN. REQUIRED OR 0-20' ON ARTERIAL ROADWAYS, PER ZONING MAP / 7' PROPOSED
 STREET REAR YARD (BYRON ST): 16' MIN. REQUIRED / 11' PROPOSED
 INTERIOR SIDE YARD (>70' LOT WIDTH): 10' MIN. / 25'-6' PROPOSED



BYRON ST SETBACKS

SETBACKS (PAMC 18.13.040 TABLE 2):
 FRONT YARD (MIDDLEFIELD RD): 24' MIN. (PER ZONING MAP) REQUIRED / 25' PROPOSED
 STREET SIDE YARD (UNIVERSITY AVE, ARTERIAL ROADWAY):
 16' MIN. REQUIRED OR 0-20' ON ARTERIAL ROADWAYS, PER ZONING MAP / 7' PROPOSED
 STREET REAR YARD (BYRON ST): 16' MIN. REQUIRED / 11' PROPOSED
 INTERIOR SIDE YARD (>70' LOT WIDTH): 10' MIN. / 25'-6' PROPOSED

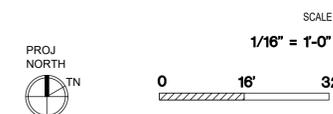


ARCHITECTS
 KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
 21003

SHEET TITLE
 OVERALL NEIGHBORHOOD
 CONTEXT SITE PLAN



SHEET NUMBER

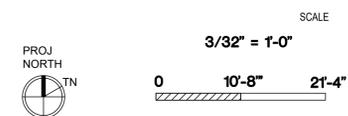


ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.2025		PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
BELOW GRADE PARKING LEVEL P1**

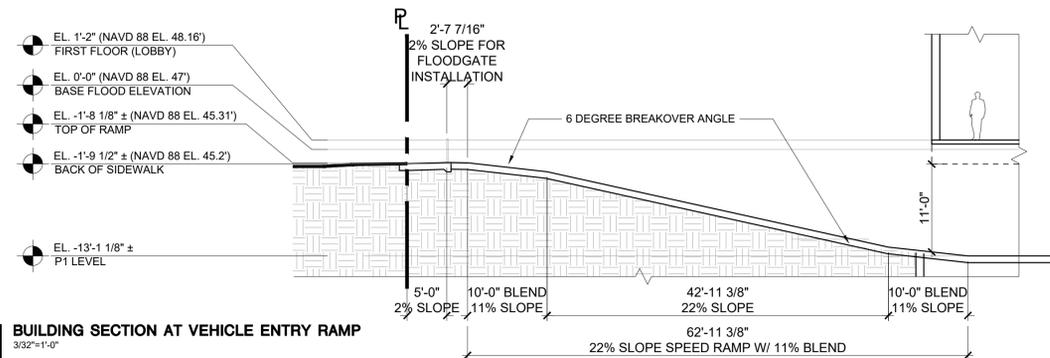


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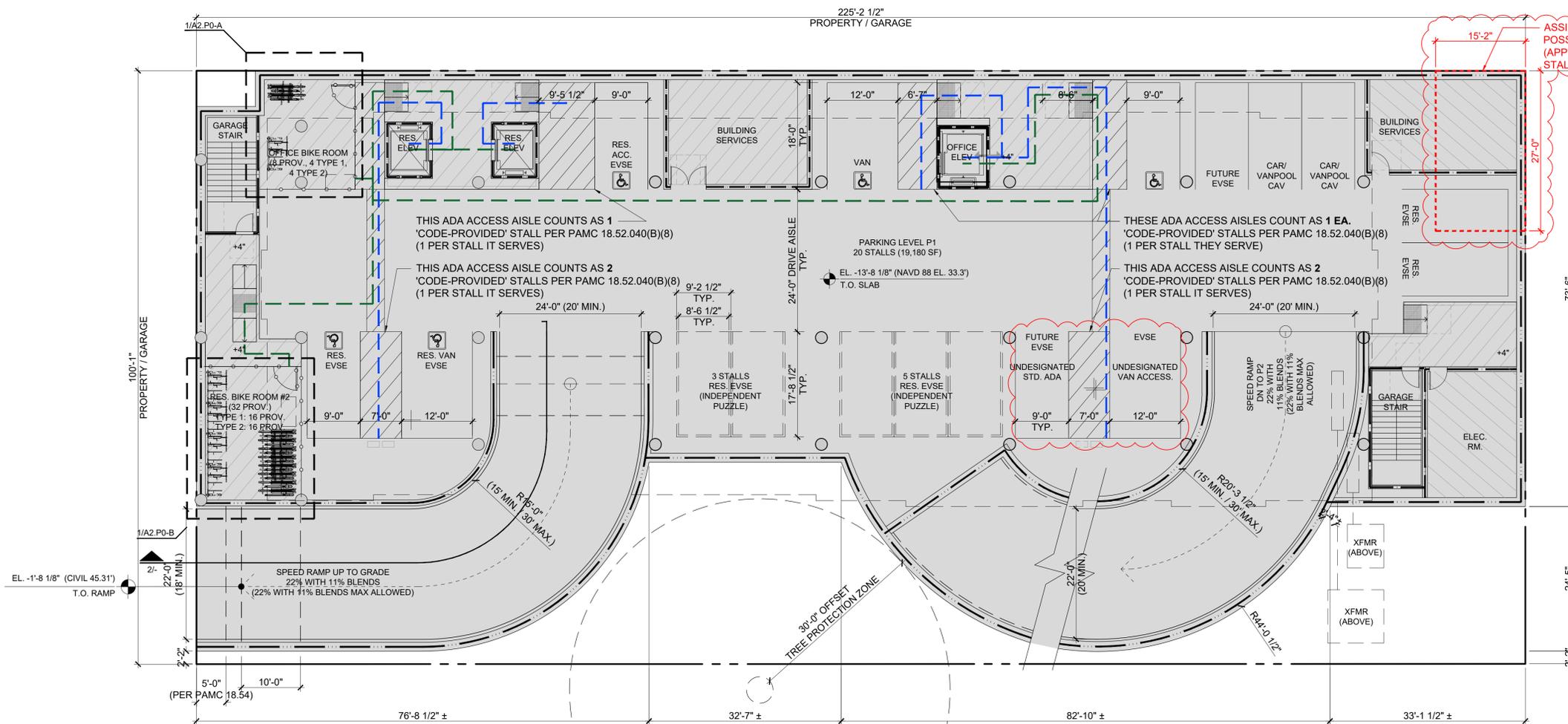
A2.P1

LEGEND

- PUBLIC / ACCESSIBLE ENTRY (MAIN)
- PUBLIC / ACCESSIBLE ACCESS (TO PARKING, AMENITIES, ETC.)
- ACCESSIBLE PATH OF TRAVEL (ALONG PATH) 5% MAX CROSS SLOPE 2% MAX
- BIKE PATH OF TRAVEL
- 1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 3-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION



2 BUILDING SECTION AT VEHICLE ENTRY RAMP
3/32"=1'-0"



15'-2" ASSIGNED AREA TO ACCOMMODATE POSSIBLE FUTURE CITY IMPROVEMENTS (APPROX. 425 SF), LOSS OF ONE (1) PARKING STALL AT P1 LEVEL

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 3" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

1 P1 FLOOR PLAN
3/32"=1'-0"

P1 PARKING (20 STALLS PROVIDED / 27 TOTAL PER CODE), 7 OFFICE + 13 RESIDENTIAL + 7 ADA AISLE
2 ACCESSIBLE STALLS REQUIRED / PROVIDED FOR RESIDENTIAL, INCL. 1 VAN ADA
1 RESIDENTIAL (EVSE OR EVSE OUTLET READY) STALL WITH 8' LOADING

1 ACCESSIBLE STALL REQUIRED / 2 PROVIDED FOR OFFICE, INCL. 1 VAN ADA

1 EVSE INSTALLED REQUIRED / 1 PROVIDED FOR OFFICE (5%), INCL. 1 UNDESIGNATED VAN ADA
2 FUTURE EVSE REQUIRED / PROVIDED FOR OFFICE (+20%), INCL. 1 UNDESIGNATED ADA

2 CAV REQUIRED / PROVIDED FOR OFFICE

10 EV CHARGING STALLS (1 EVSE-READY OUTLET OR EVSE INSTALLED / UNIT PER PAMC 16.14.420) FOR RESIDENTIAL
7 CODE PROVIDED STALLS (ADA ACCESS AISLES) FOR RESIDENTIAL

TOTAL OFFICE PARKING (P1 LEVEL): 7 STALLS
TOTAL RESIDENTIAL STALLS (P1 LEVEL): 13 STALLS
TOTAL RESIDENTIAL W/ CODE PROVIDED STALLS: 20 STALLS

SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301



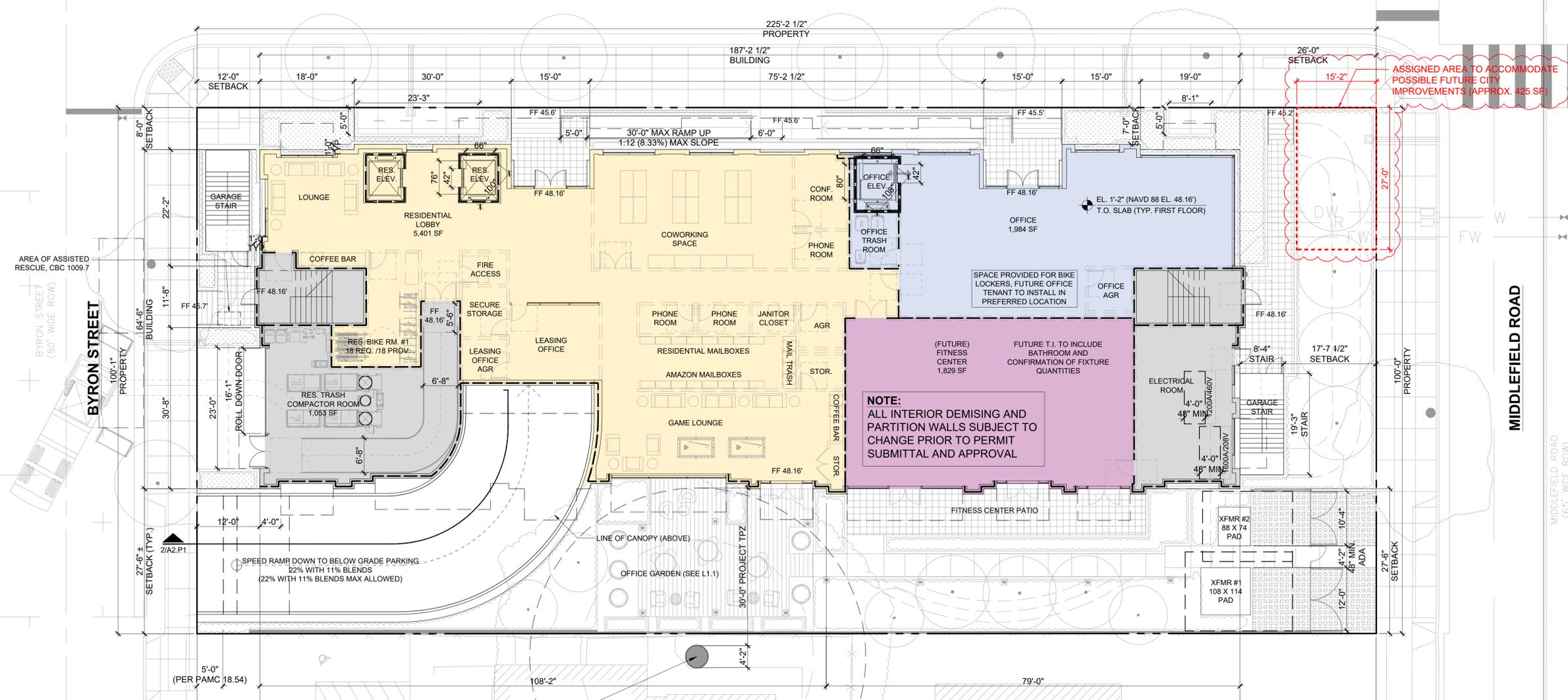
ARCHITECTS
KORTH SUNSERI HAGEY

LEGEND

- 1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

UNIVERSITY AVE

UNIVERSITY AVENUE
(75' WIDE ROW)



ASSIGNED AREA TO ACCOMMODATE POSSIBLE FUTURE CITY IMPROVEMENTS (APPROX. 425 SF)

NOTE:
ALL INTERIOR DEMISING AND PARTITION WALLS SUBJECT TO CHANGE PRIOR TO PERMIT SUBMITTAL AND APPROVAL

517 BYRON ST.:
EXISTING TREE TO REMAIN
(NOT A PART OF PROJECT SITE,
BUT TO BE PROTECTED AS A
PART OF THIS PROJECT)

LANDS OF HEIDARI
APN. 120-03-054
(PARCEL ONE)
(DN 21593134)
LOTS 61 & 62
(D MAPS 149)

LANDS OF CHENG & YI
APN. 120-03-045
(DN 20890120)
(LOTS 50 & 51)
(D MAPS 149)

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

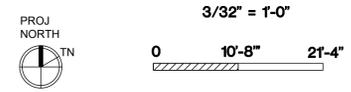
ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.25		PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
FIRST FLOOR**

SCALE
3/32" = 1'-0"



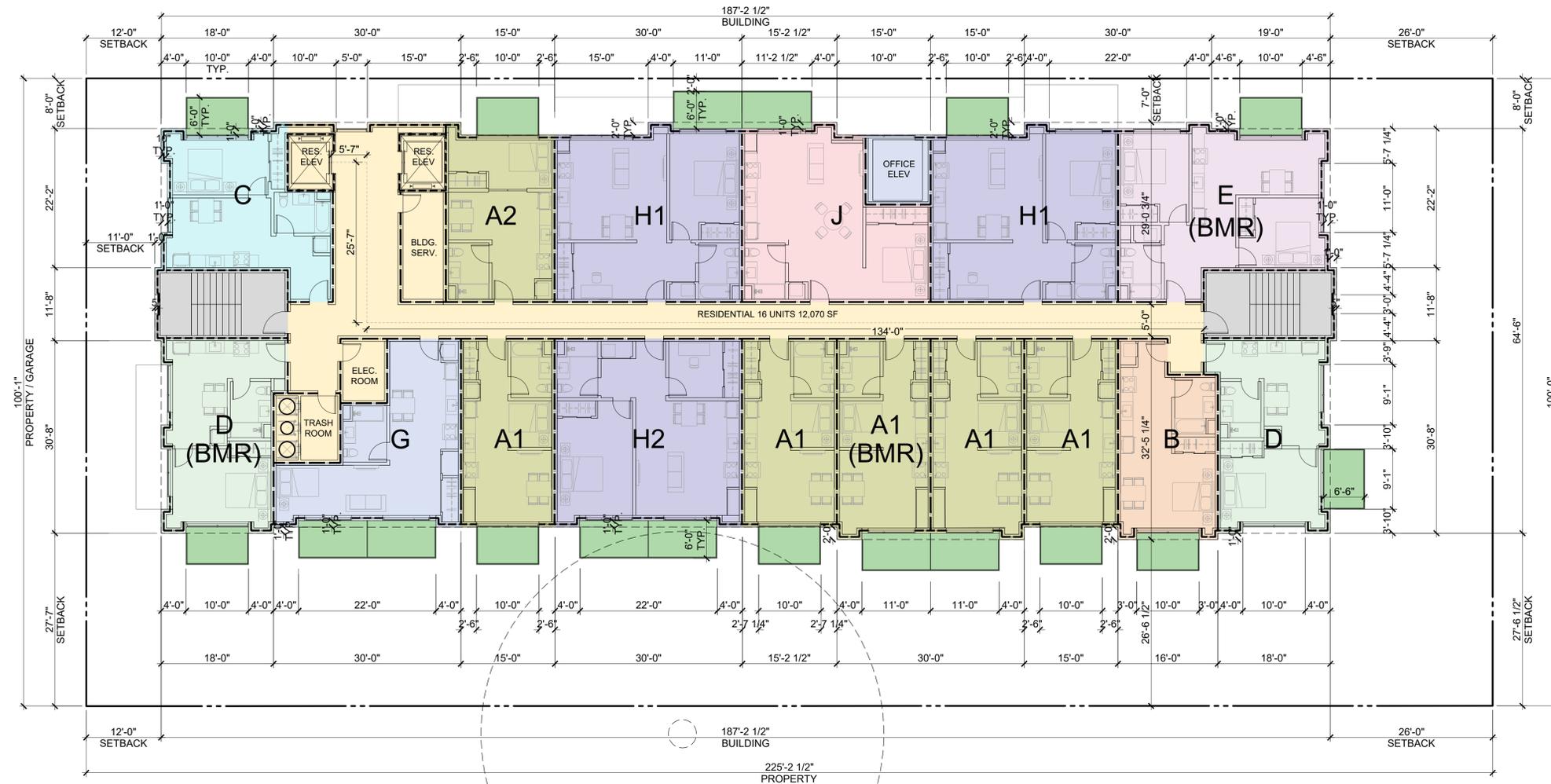
SHEET NUMBER

A2.1

LEGEND	
	1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
	2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

SMITH DEVELOPMENT

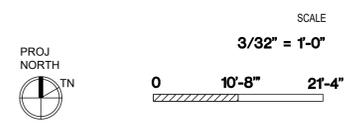
660 UNIVERSITY
PALO ALTO, CA 94301



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
SECOND FLOOR**



SHEET NUMBER

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

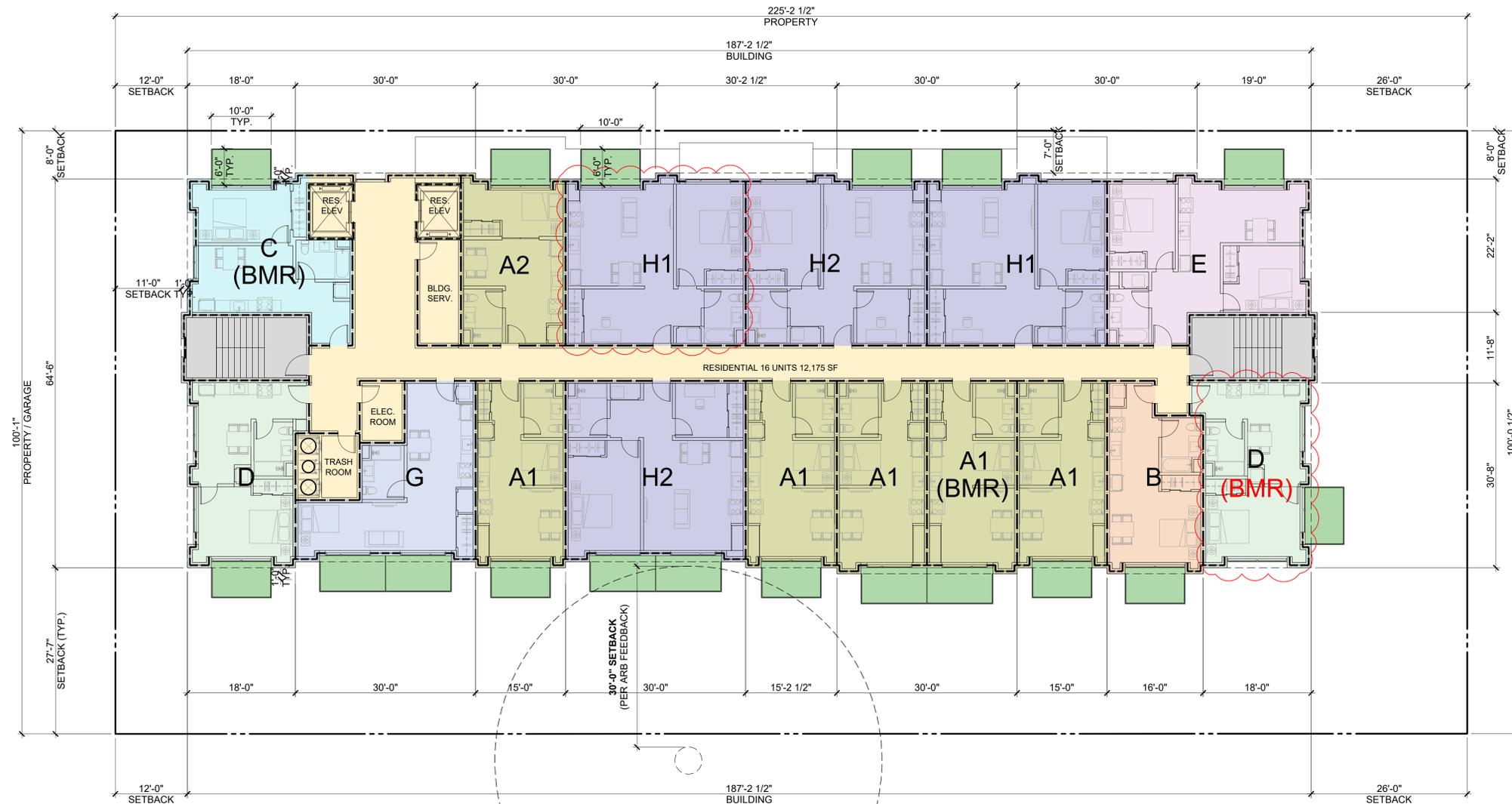
ALL UNITS, INCLUDING PRIVATE OUTDOOR BALCONIES / TERRACES WILL BE EITHER ACCESSIBLE OR ADAPTABLE INCLUDING KITCHEN AND AT LEAST ONE BATHROOM, PER CBC 11A. THIS INCLUDES DOORS, PATH OF TRAVEL, APPLIANCE / FIXTURE CLEARANCES AS WELL AS ANY OTHER LIFE-SAFETY REQUIREMENTS.

A2.2A

LEGEND	
	1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
	2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

SMITH DEVELOPMENT

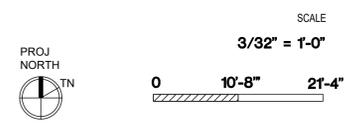
660 UNIVERSITY
PALO ALTO, CA 94301



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10
08.08.25		PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
THIRD FLOOR**



SCALE
3/32" = 1'-0"

SHEET NUMBER

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

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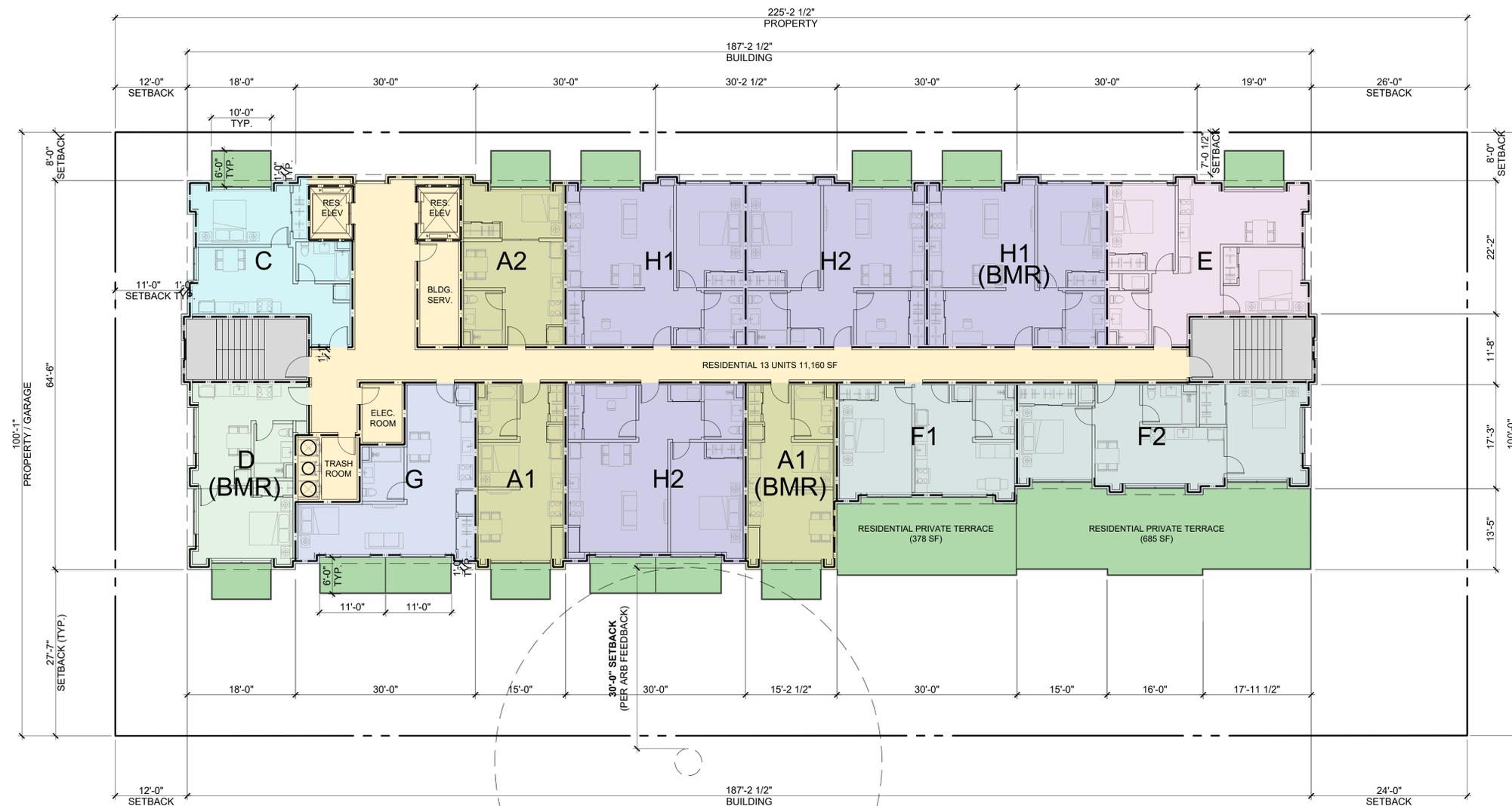
A2.2B



ARCHITECTS
KORTH SUNSERI HAGEY

LEGEND

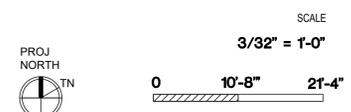
- 1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
FOURTH FLOOR**



SHEET NUMBER

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

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A2.3A

LEGEND

- 1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301

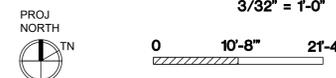


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
FIFTH FLOOR**

SCALE
3/32" = 1'-0"



SHEET NUMBER

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

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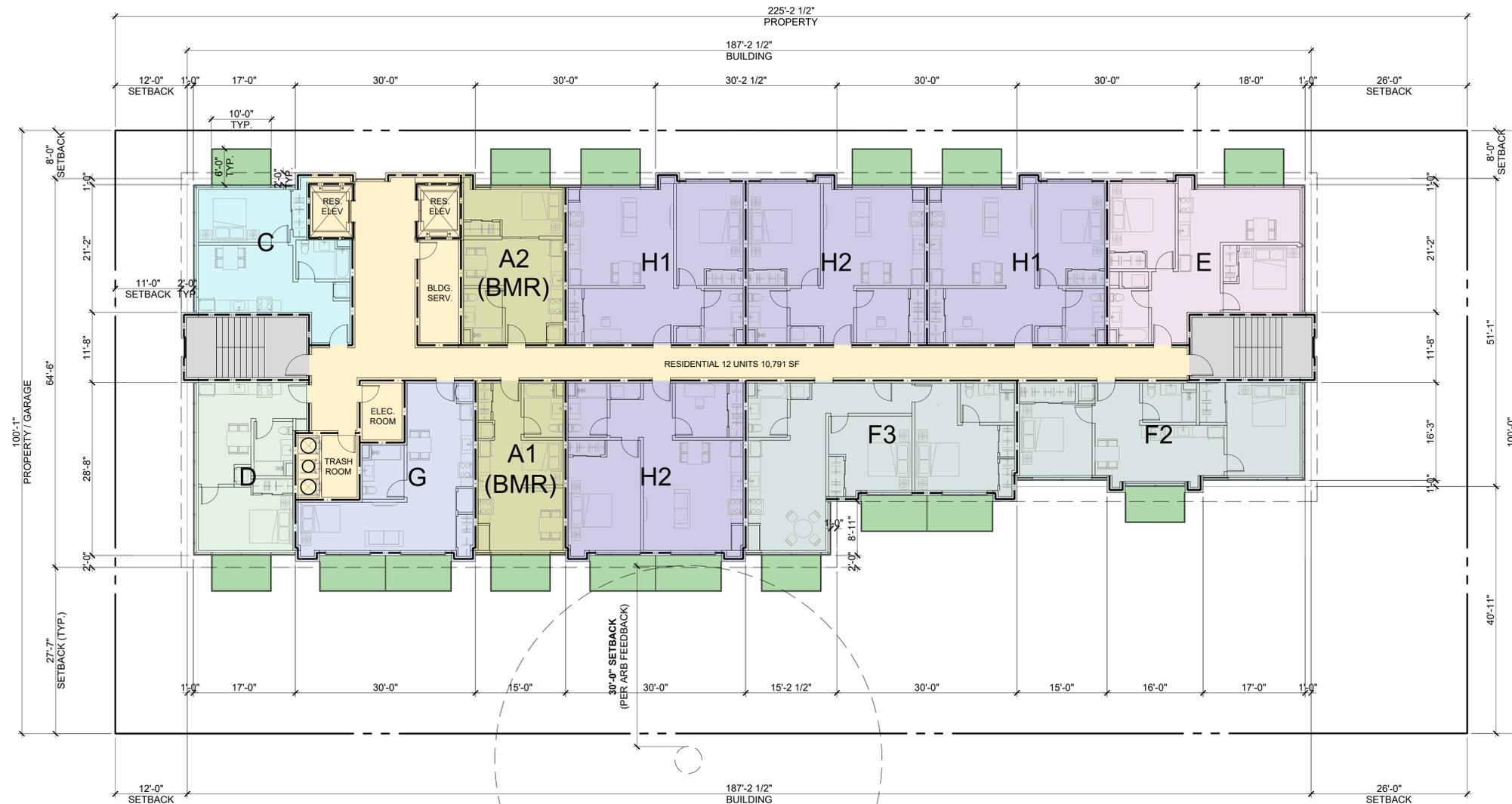
A2.3B

LEGEND

- 1-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION
- 2-HR RATED WALL, SEE A0.2A - C FOR MORE INFORMATION

SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301

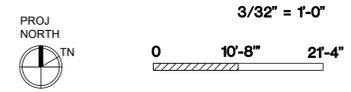


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
SIXTH FLOOR**

SCALE
3/32" = 1'-0"



SHEET NUMBER

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

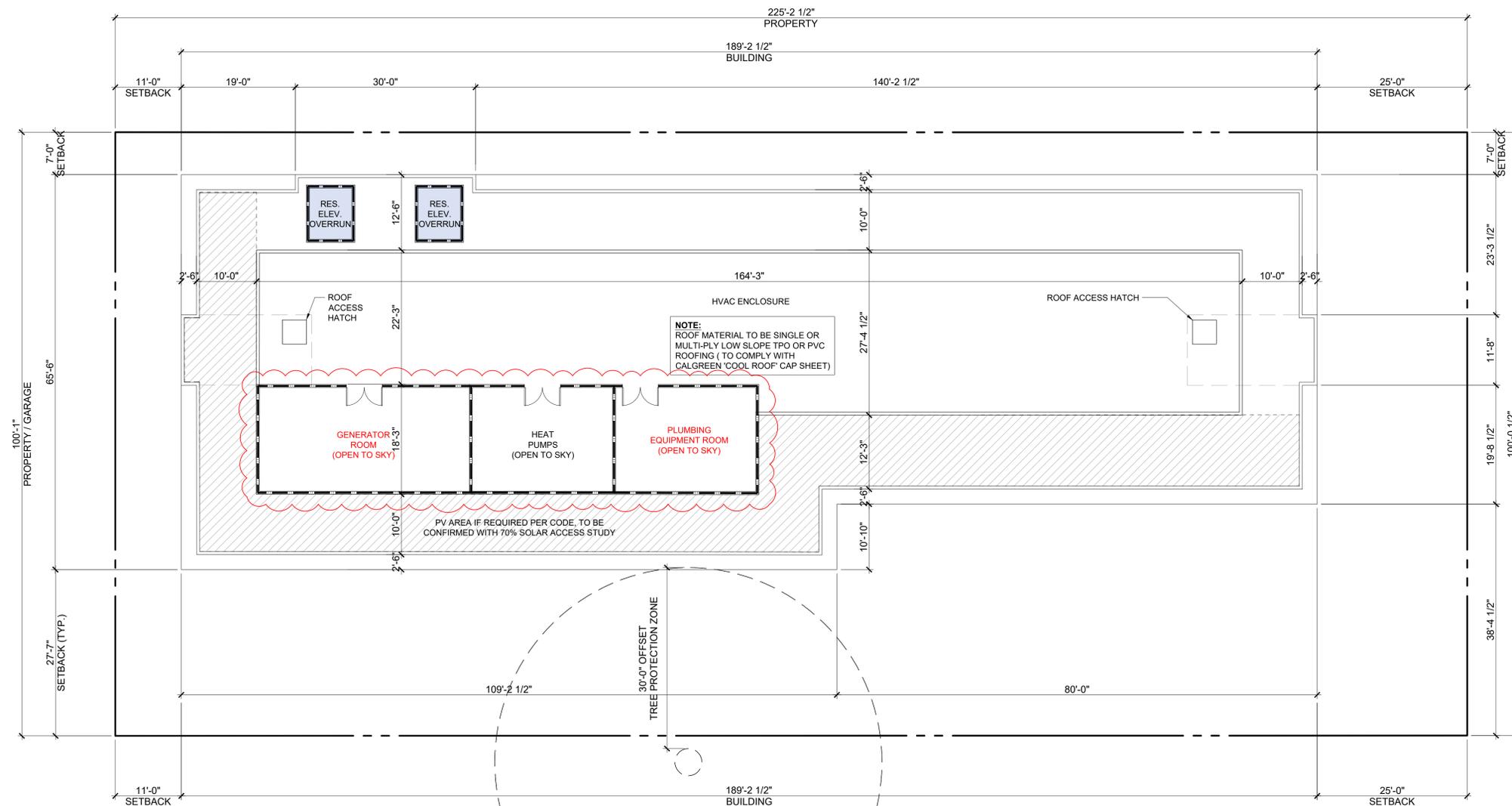
INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

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A2.3C



ARCHITECTS
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISION
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10
	08.08.25	PLANNING RESUBMITTAL #11

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED PLAN
ROOF**

SCALE

3/32" = 1'-0"



0 10'-8" 21'-4"

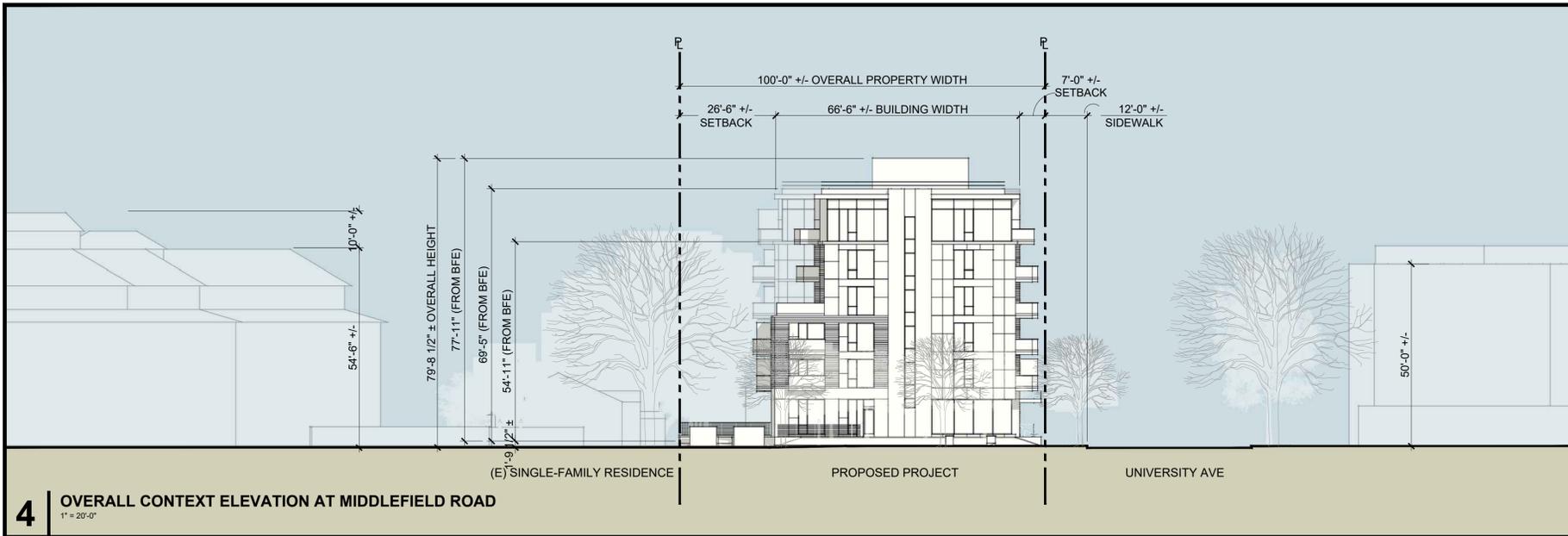
SHEET NUMBER

RESIDENTIAL ACCESSIBILITY
PORTIONS OF PARKING (P2 LEVEL PRIMARILY & RESIDENTIAL AREAS OF P1), FIRST FLOOR RESIDENTIAL AREA & FLOORS 2-4 AS WELL AS ROOF TERRACE TO COMPLY WITH CBC CHAPTER 11A, TYP. AN ACCESSIBLE ROUTE IS PROVIDED AT ALL LEVELS (P2 - ROOF) FOR BOTH INTERIOR & EXTERIOR COMMON-USE RESIDENTIAL AREAS, WITH CHANGES IN LEVEL NOT EXCEEDING 1/4" OR BEING PROVIDED WITH A SLOPED WALK NOT EXCEEDING 5%, A RAMP NOT EXCEEDING 8.33%, OR ELEVATOR(S) PER CBC 1111A. PARKING FACILITIES WILL COMPLY WITH CBC 1109A.

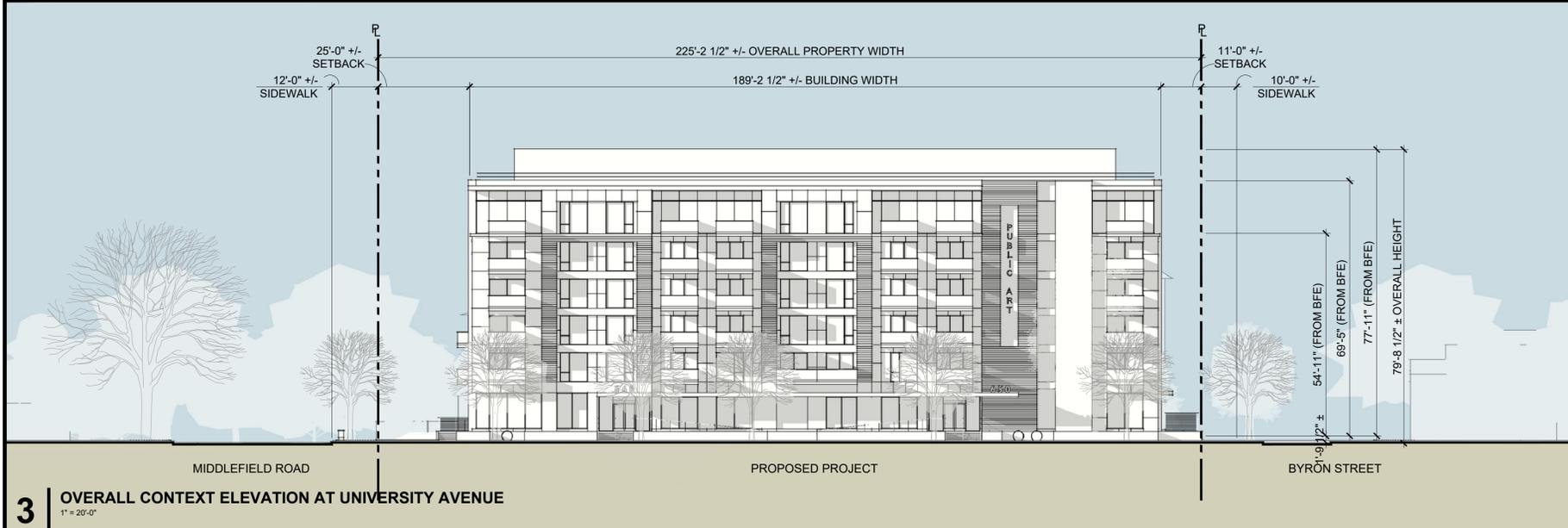
INTERIOR ACCESSIBLE ROUTES EXCEEDING 200 FT. SHALL COMPLY WITH CBC 1138A.1.2 / FIGURE 11A-1L.

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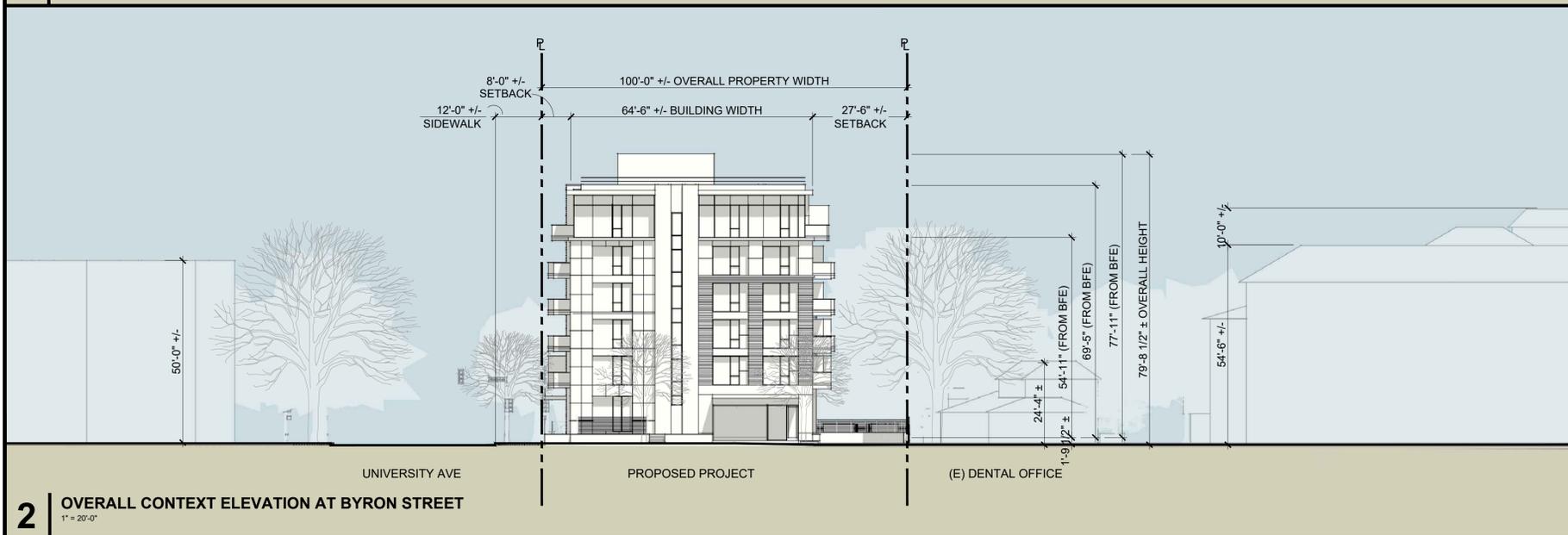
A2.4



4 OVERALL CONTEXT ELEVATION AT MIDDLEFIELD ROAD
1" = 20'-0"



3 OVERALL CONTEXT ELEVATION AT UNIVERSITY AVENUE
1" = 20'-0"



2 OVERALL CONTEXT ELEVATION AT BYRON STREET
1" = 20'-0"



1 KEY PLAN - PROPOSED SITE
1/64" = 1'-0"

ISSUES AND REVISIONS	
NO.	DESCRIPTION
12.01.21	PLANNING SUBMITTAL
05.13.22	PLANNING RESUBMITTAL #1
08.15.22	PLANNING RESUBMITTAL #2
11.02.22	PLANNING RESUBMITTAL #3
08.28.23	PLANNING RESUBMITTAL #4
10.31.23	PLANNING RESUBMITTAL #5
12.21.23	PLANNING RESUBMITTAL #6
02.07.24	PLANNING RESUBMITTAL #7
05.02.24	AD HOC REVISIONS
09.18.24	PLANNING RESUBMITTAL #8
01.17.25	PLANNING RESUBMITTAL #9
06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
**PROPOSED STREET ELEVATIONS
NEIGHBORHOOD CONTEXT**

SCALE
AS NOTED

PROJ. N
TRUE N

SHEET NUMBER

A3.0



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	12.01.21	PLANNING SUBMITTAL
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED ELEVATIONS

SCALE
AS NOTED

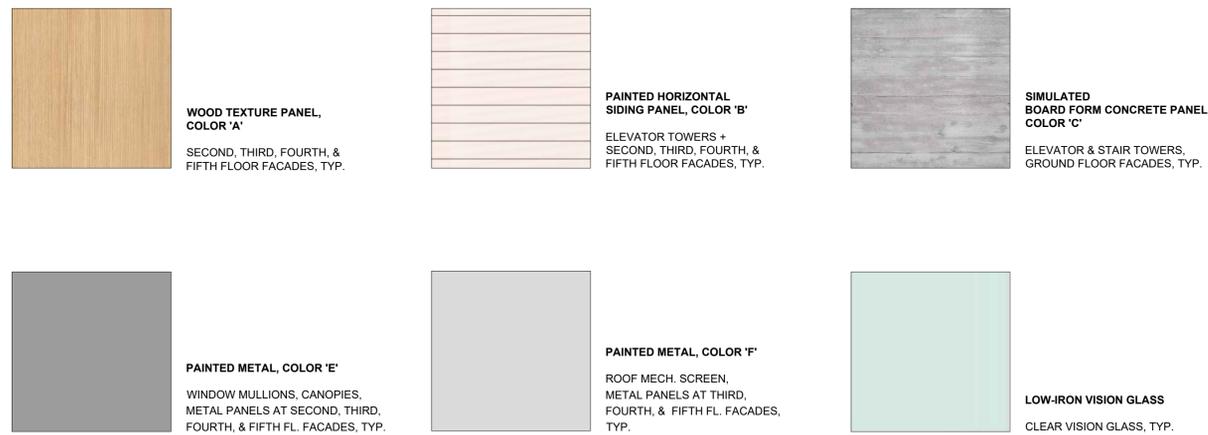


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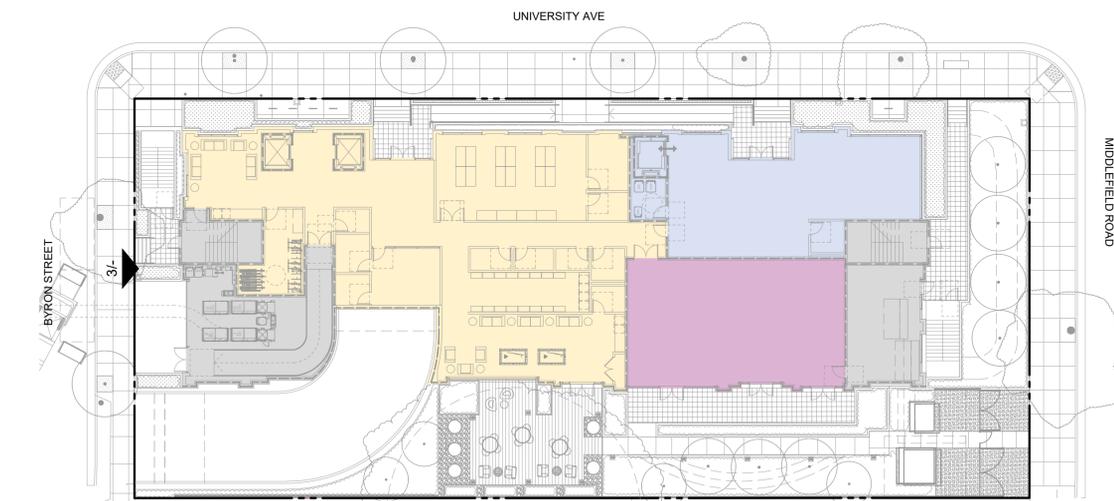
A3.1A



3 WEST ELEVATION (BYRON STREET)
3/32" = 1'-0"



2 MATERIAL SWATCHES
NO SCALE



1 KEY PLAN - PROPOSED SITE
3/128" = 1'-0"



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	12.01.21	PLANNING SUBMITTAL
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
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	05.02.24	AD HOC REVISIONS
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE

PROPOSED ELEVATIONS

SCALE

AS NOTED



SHEET NUMBER

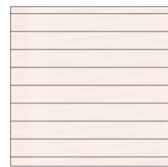
A3.1B



3 EAST ELEVATION
3/32" = 1'-0"



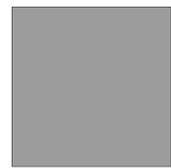
WOOD TEXTURE PANEL, COLOR 'A'
SECOND, THIRD, FOURTH, & FIFTH FLOOR FACADES, TYP.



PAINTED HORIZONTAL SIDING PANEL, COLOR 'B'
ELEVATOR TOWERS + SECOND, THIRD, FOURTH, & FIFTH FLOOR FACADES, TYP.



SIMULATED BOARD FORM CONCRETE PANEL, COLOR 'C'
ELEVATOR & STAIR TOWERS, GROUND FLOOR FACADES, TYP.



PAINTED METAL, COLOR 'E'
WINDOW MULLIONS, CANOPIES, METAL PANELS AT SECOND, THIRD, FOURTH, & FIFTH FL. FACADES, TYP.

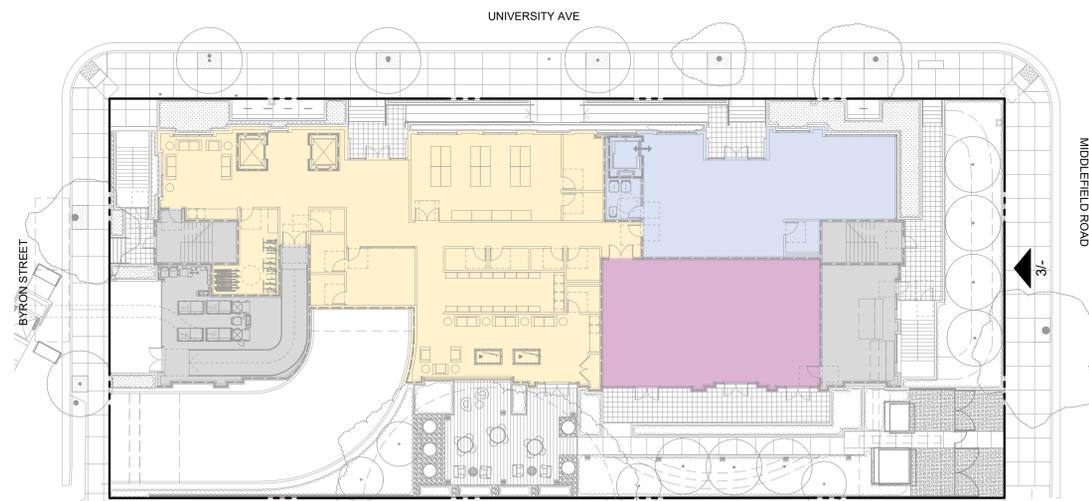


PAINTED METAL, COLOR 'F'
ROOF MECH. SCREEN, METAL PANELS AT THIRD, FOURTH, & FIFTH FL. FACADES, TYP.



LOW-IRON VISION GLASS
CLEAR VISION GLASS, TYP.

2 MATERIAL SWATCHES
NO SCALE



1 KEY PLAN - PROPOSED SITE
3/128" = 1'-0"



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
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12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
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09.18.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED ELEVATIONS

SCALE
AS NOTED



SHEET NUMBER

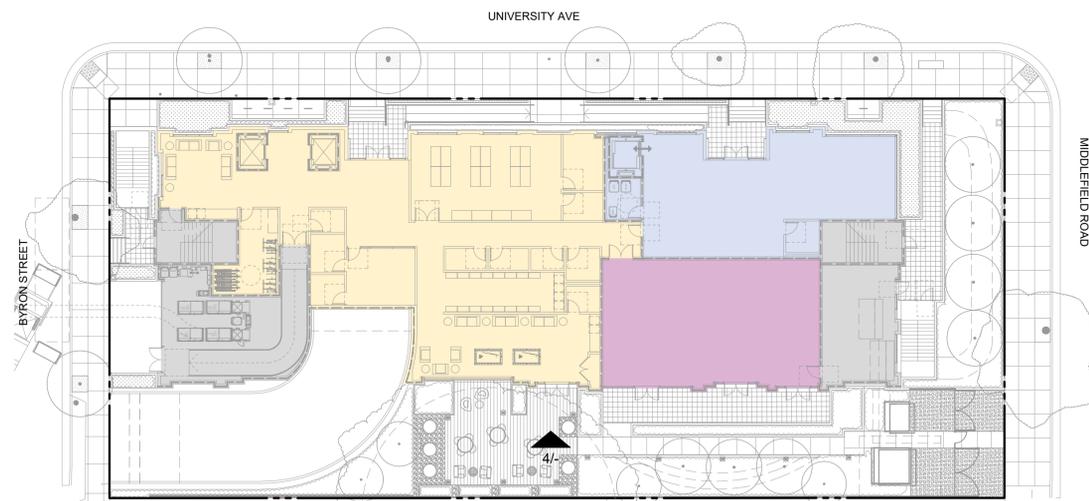
A3.2A



3 SOUTH ELEVATION
3/32" = 1'-0"



2 MATERIAL SWATCHES
NO SCALE



1 KEY PLAN - PROPOSED SITE
3/128" = 1'-0"

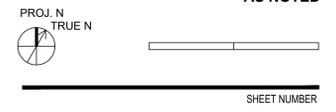


ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	12.01.21	PLANNING SUBMITTAL
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED ELEVATIONS

SCALE
AS NOTED

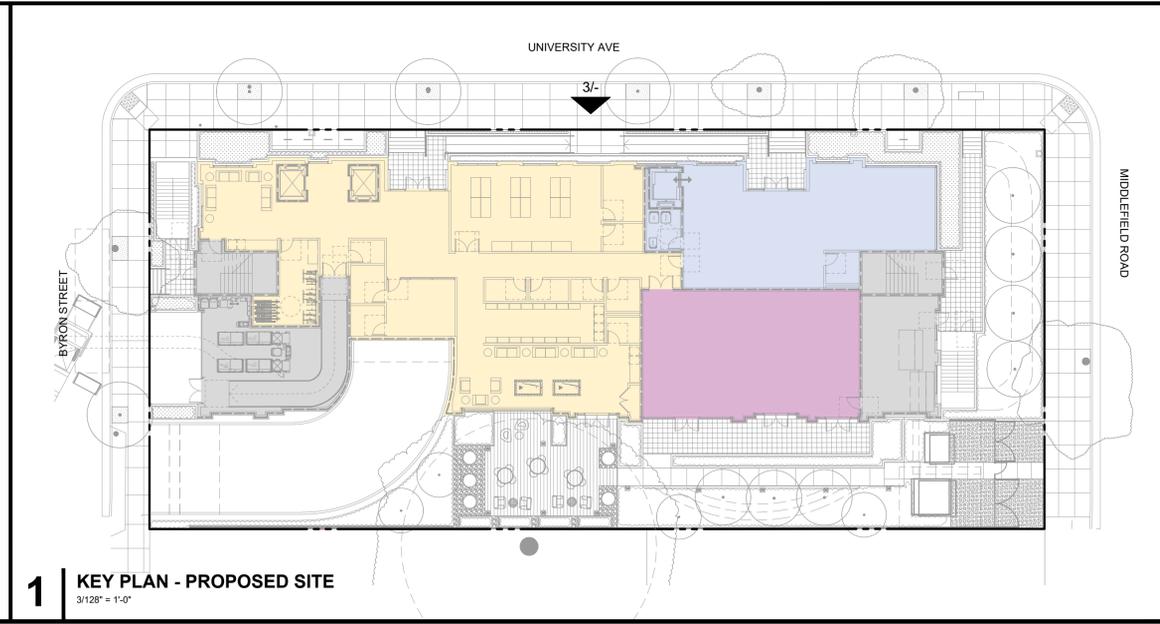
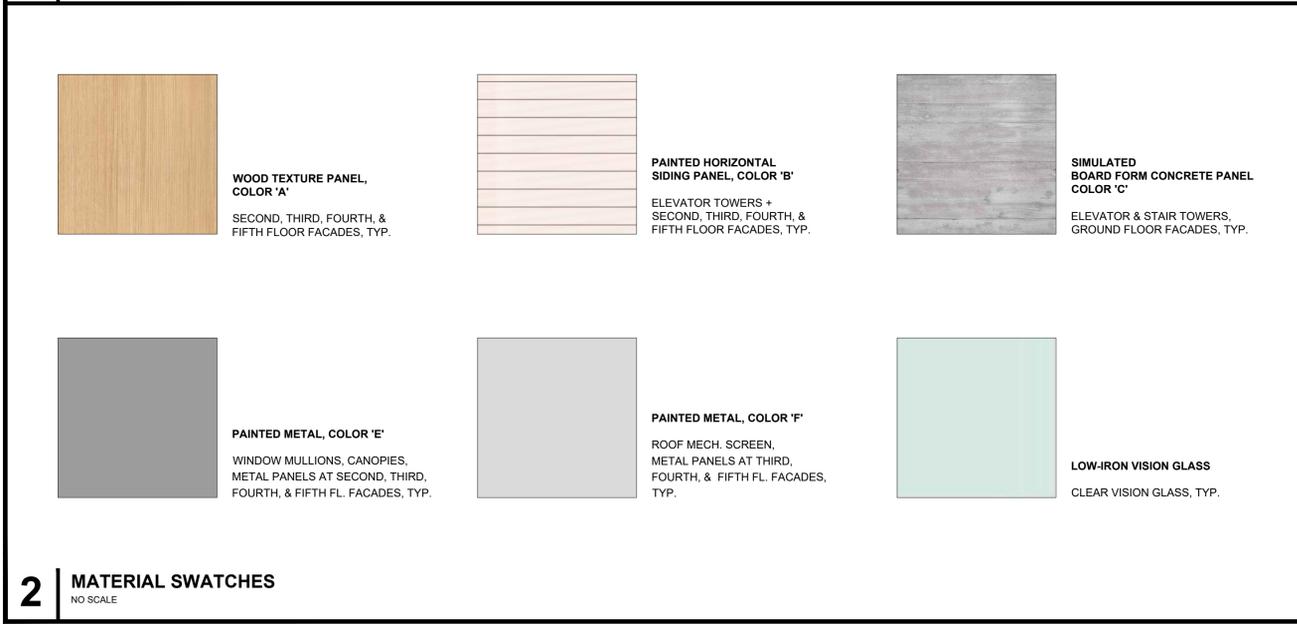


SHEET NUMBER

A3.2B



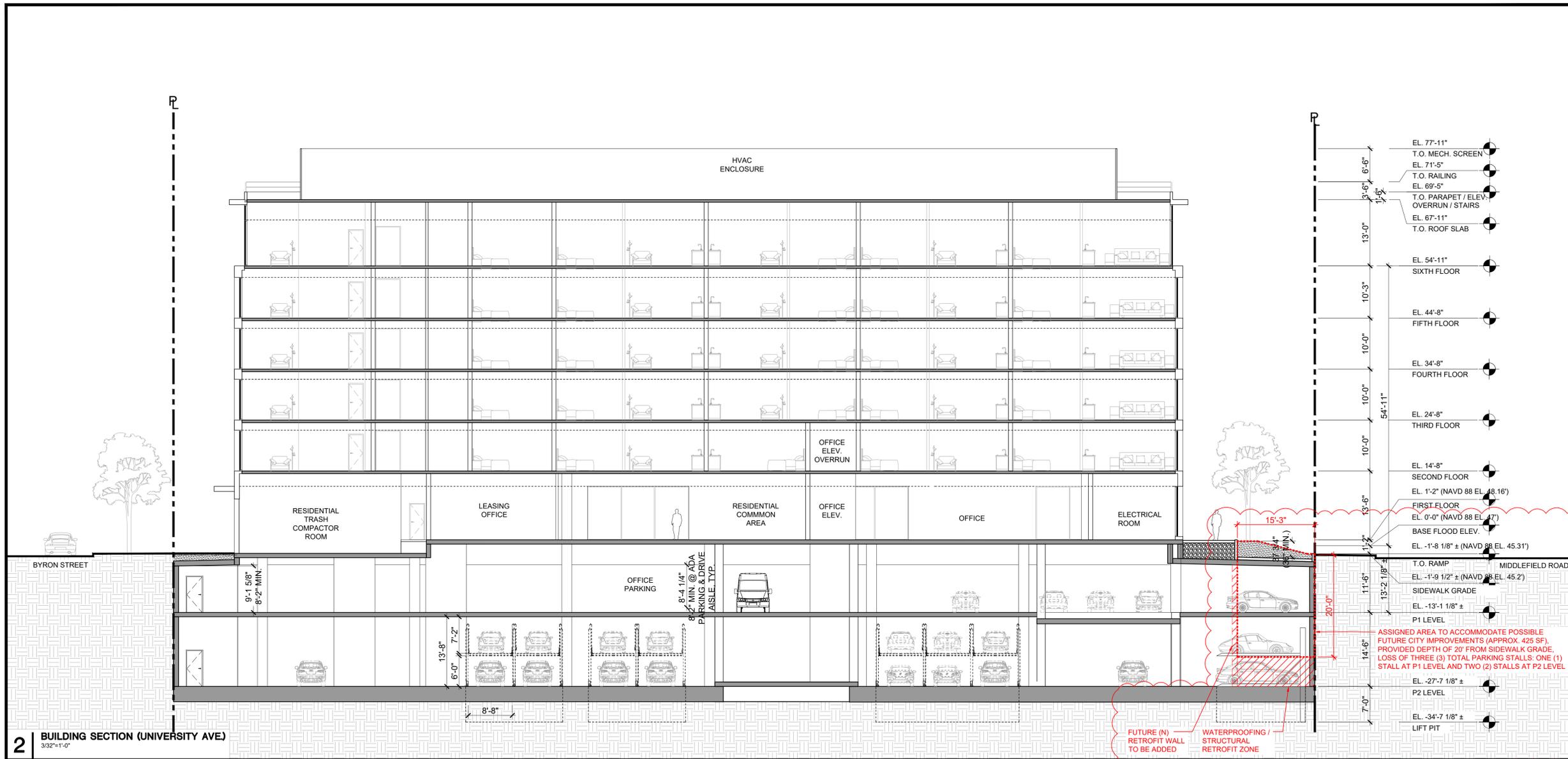
3 NORTH ELEVATION (UNIVERSITY AVE)
3/32" = 1'-0"



660 UNIVERSITY
PALO ALTO, CA 94301



ARCHITECTS
KORTH SUNSERI HAGEY

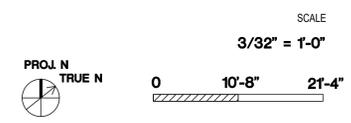


2 BUILDING SECTION (UNIVERSITY AVE)
3/32"=1'-0"

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	12.01.22	PLANNING SUBMITTAL
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.20.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10
	08.08.25	PLANNING RESUBMITTAL #11

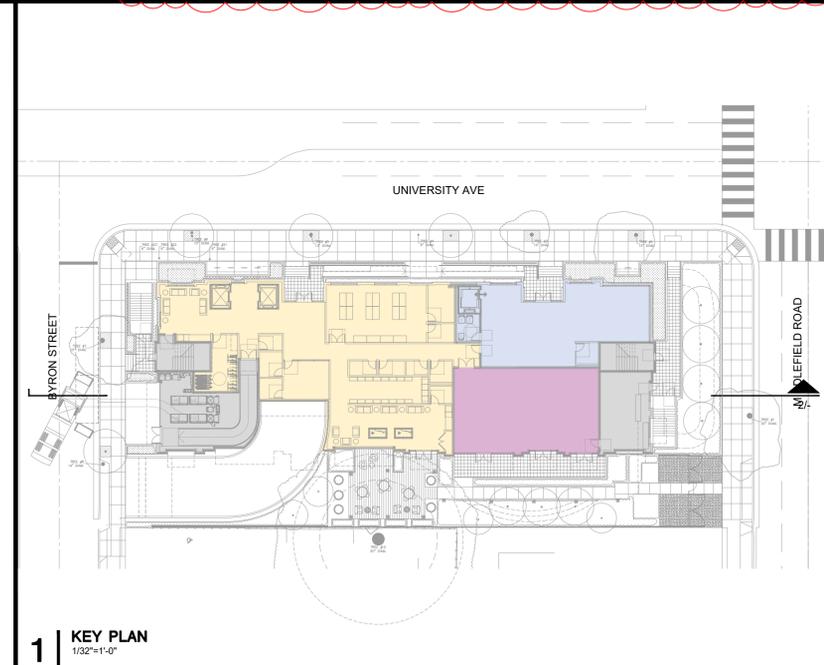
PROJECT NUMBER
21003

SHEET TITLE
BUILDING SECTIONS



SHEET NUMBER

A3.3A



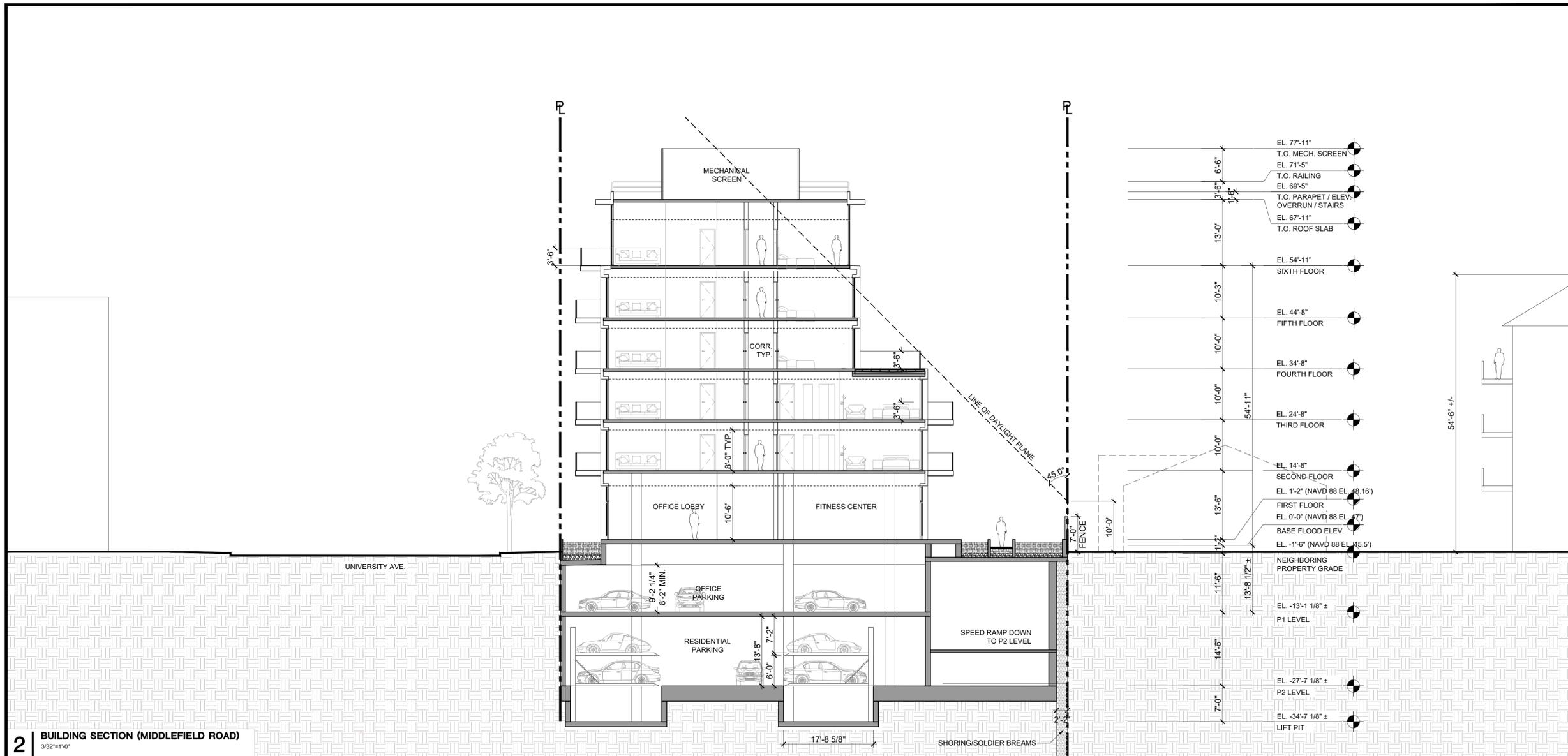
1 KEY PLAN
1/32"=1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

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ARCHITECTS
KORTH SUNSERI HAGEY

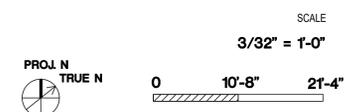


2 BUILDING SECTION (MIDDLEFIELD ROAD)
3/32"=1'-0"

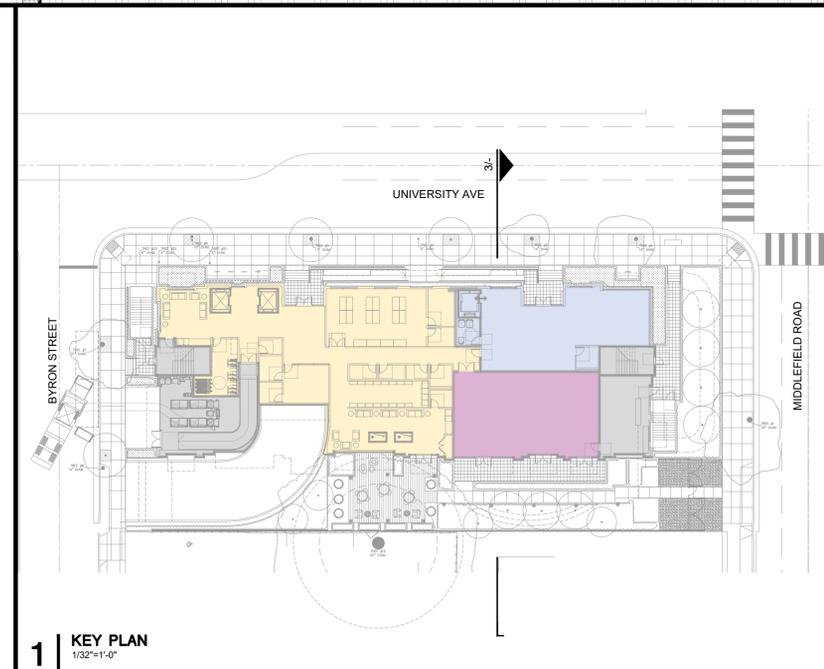
ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	12.01.22	PLANNING SUBMITTAL
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.20.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
BUILDING SECTIONS



SHEET NUMBER



1 KEY PLAN
1/32"=1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

A3.3B



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

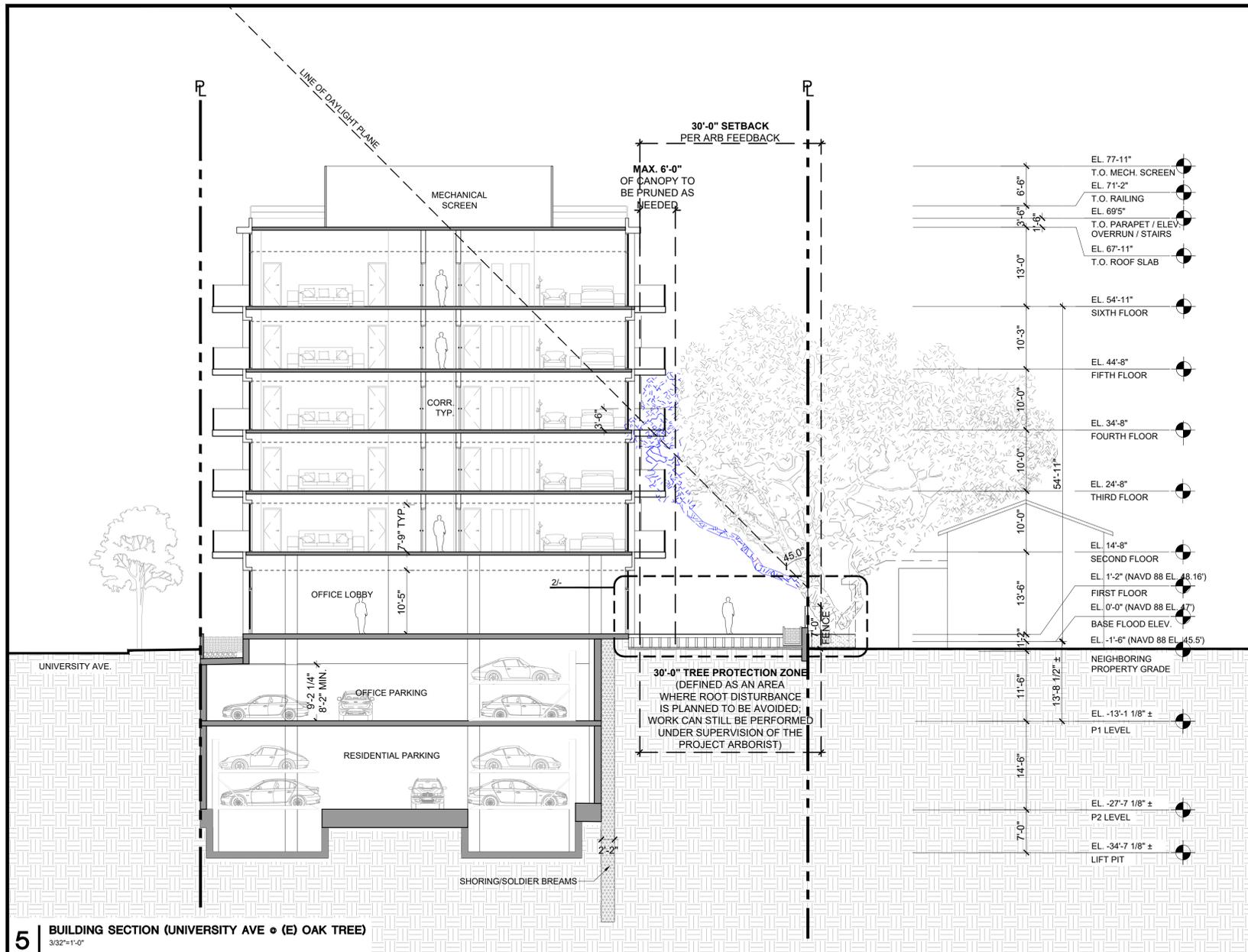
SHEET TITLE
BUILDING SECTION • (E) OAK TREE

SCALE
AS NOTED

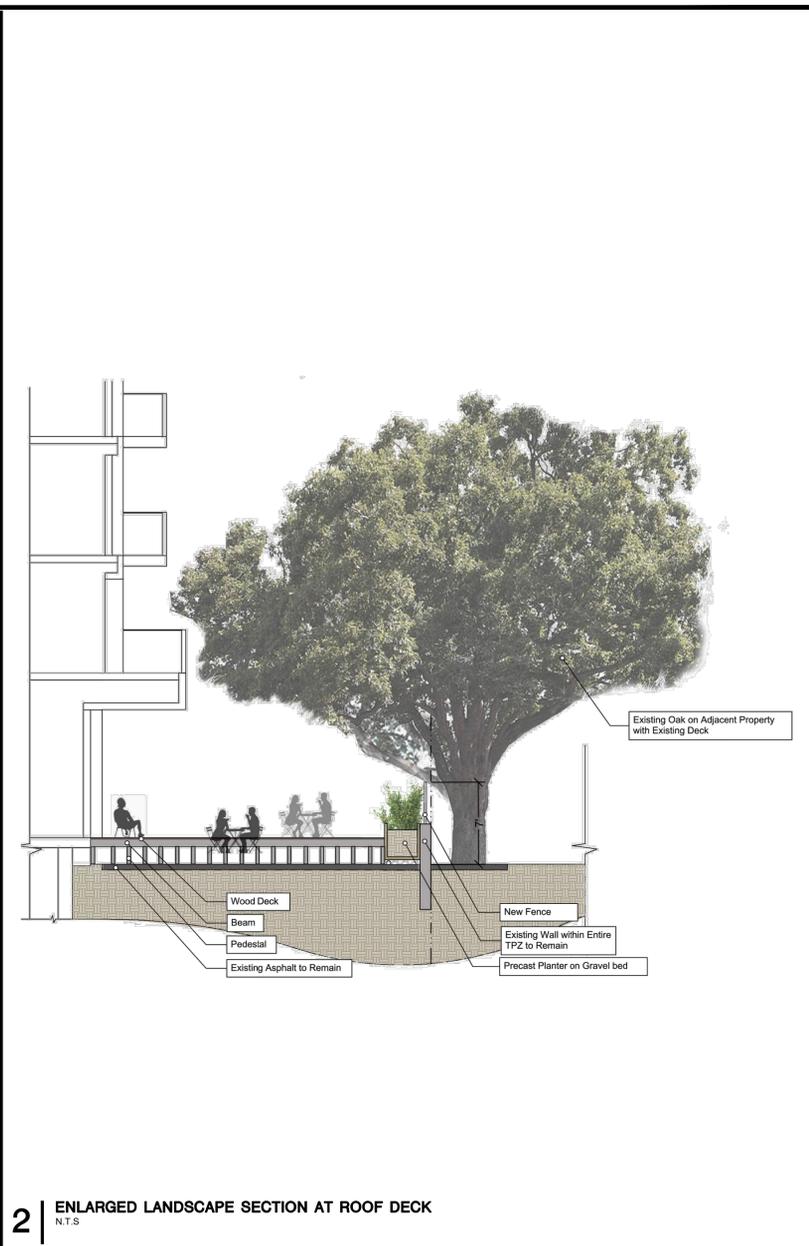
PROJ. N TRUE N
0 10'-8" 21'-4"

SHEET NUMBER

A3.3C



5 BUILDING SECTION (UNIVERSITY AVE • (E) OAK TREE)
3/32"=1'-0"



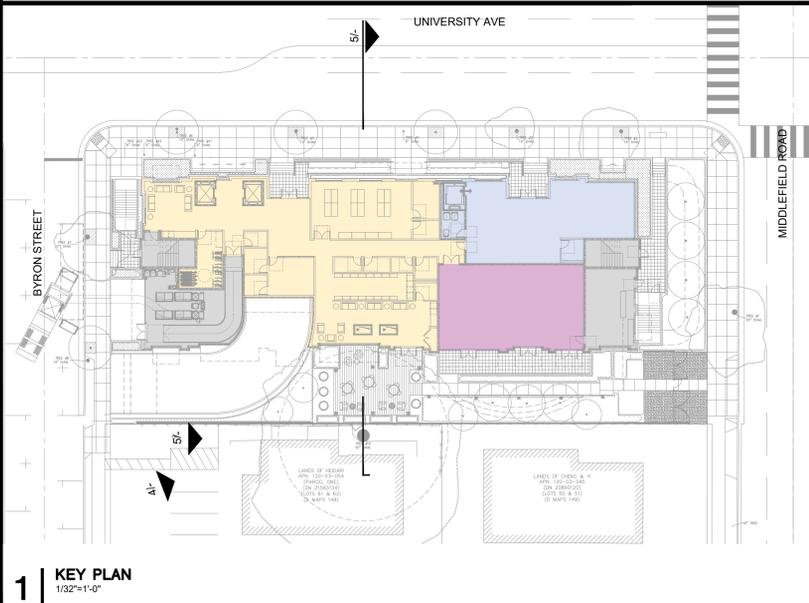
2 ENLARGED LANDSCAPE SECTION AT ROOF DECK
N.T.S.



4 VIEW OF OAK TREE LOOKING TOWARDS MIDDLEFIELD ROAD
N.T.S.



3 TREE GROWTH OVER 2.5 YEARS
N.T.S.



1 KEY PLAN
1/32"=1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT



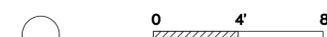
ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
ENLARGED ELEVATION

SCALE
1/4" = 1'-0"



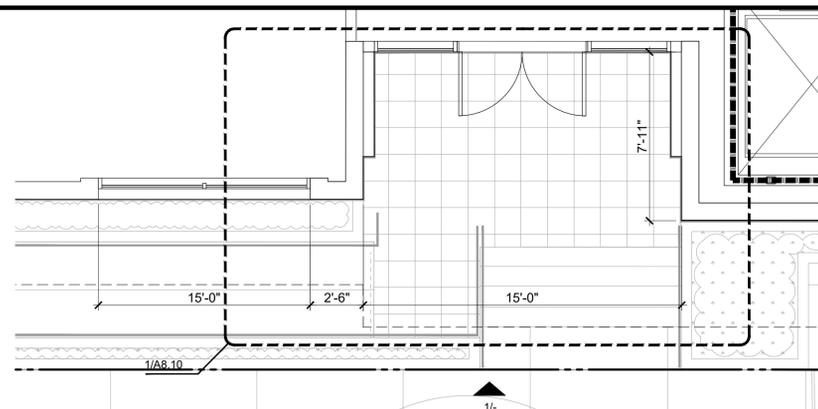
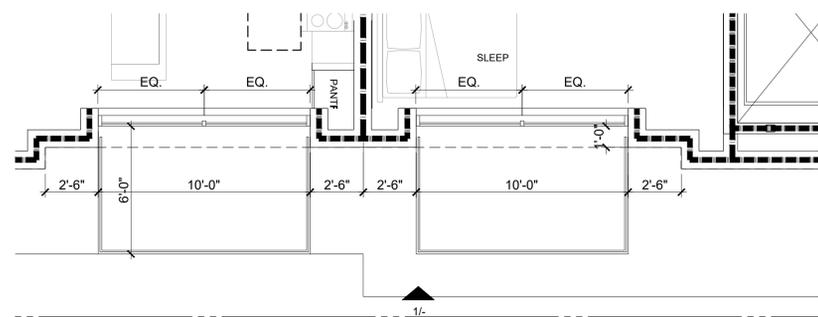
SHEET NUMBER

A4.0A

4 NOT USED
NTS

3 THIRD FLOOR PLAN
1/4"=1'-0"

2 FIRST FLOOR PLAN
1/4"=1'-0"



1 ELEVATION
1/4"=1'-0"

- PAINTED MECHANICAL SCREEN, COLOR 'F'
- PAINTED METAL RAILING, TYP. COLOR 'E'
- PAINTED METAL PARAPET, TYP. COLOR 'E'
- PAINTED METAL CANOPY, TYP. COLOR 'E'
- CLEAR VISION GLASS WITH SHADOWBOX BEYOND, TYP. AT LEVEL 6
- BIRD SAFE GLASS, TYP. AT LEVEL 6
- CLEAR VISION GLASS, TYP. AT LEVEL 1-6
- PAINTED METAL MULLION, COLOR 'E'
- WOOD TEXTURE PANEL, TYP. COLOR 'A'
- BIRD SAFE GLASS RAILING WITH RAIL AND SHOE, TYP. COLOR 'E', TYP. AT ALL BALCONIES
- PAINTED METAL PANEL, TYP. COLOR 'E'
- CLEAR VISION GLASS
- PAINTED METAL PANEL, TYP. COLOR 'F'
- PAINTED METAL PANEL, TYP. COLOR 'E'
- PAINTED METAL CANOPY, TYP. COLOR 'E'
- INTEGRAL COLOR BOARDFORM PRECAST, TYP. COLOR 'C'
- CLEAR VISION GLASS



- EL. 77'-11" T.O. MECH. SCREEN
- EL. 71'-5" T.O. RAILING
- EL. 69'-5" T.O. PARAPET / ELEV. OVERRUN / STAIRS
- EL. 67'-11" T.O. ROOF SLAB
- EL. 54'-11" SIXTH FLOOR
- EL. 44'-8" FIFTH FLOOR
- EL. 34'-5" FOURTH FLOOR
- EL. 24'-8" THIRD FLOOR
- EL. 14'-8" SECOND FLOOR
- EL. 1'-2" FIRST FLOOR
- EL. 0'-0" BASE FLOOD ELEV.
- EL. -1'-9 1/2" ± SIDEWALK GRADE



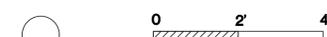
ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

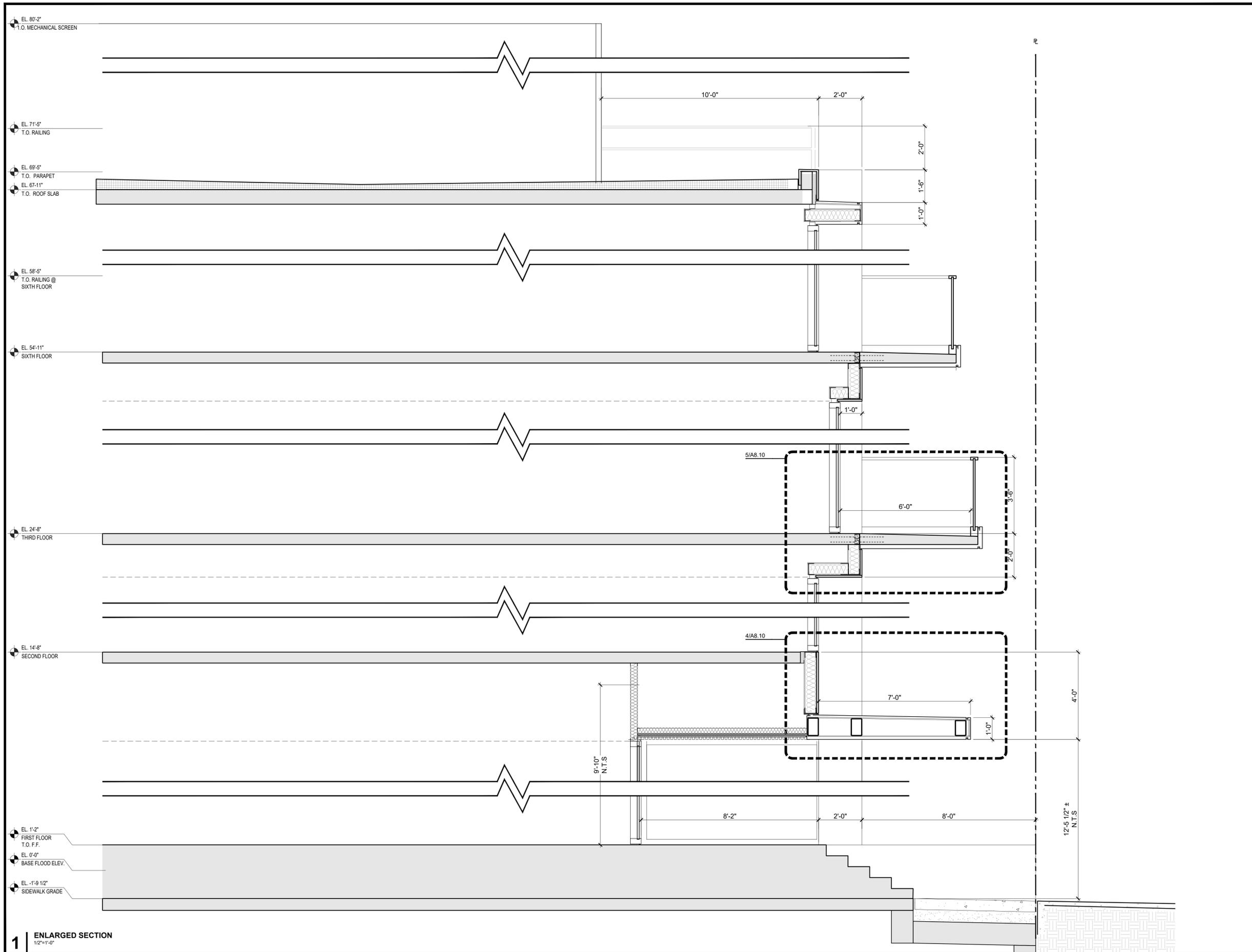
SHEET TITLE
ENLARGED SECTION

SCALE
1/4" = 1'-0"



SHEET NUMBER

A4.0B



1 ENLARGED SECTION
1/2"=1'-0"



ARCHITECTS
KORTH SUNSERI HAGEY

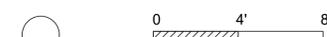
ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
ENLARGED ELEVATIONS

SCALE

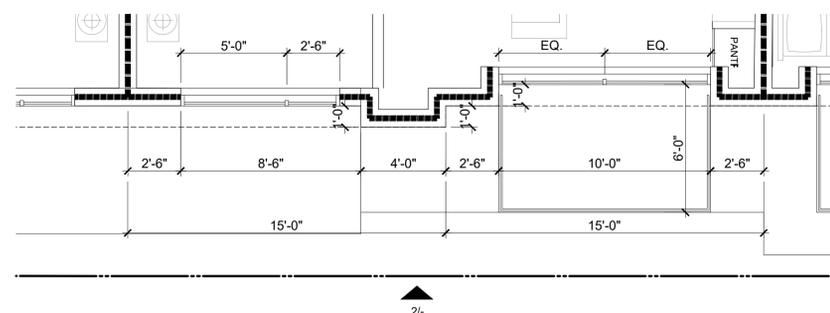
1/4" = 1'-0"



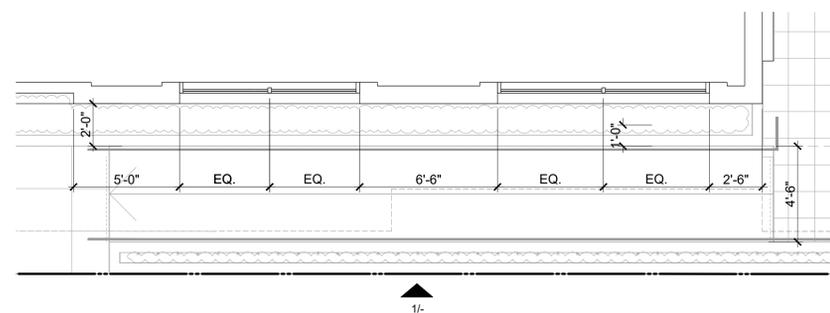
SHEET NUMBER

A4.1A

4 NOT USED
NTS



3 THIRD FLOOR PLAN
1/4"=1'-0"



2 FIRST FLOOR PLAN
1/4"=1'-0"

1 ELEVATION
1/4"=1'-0"

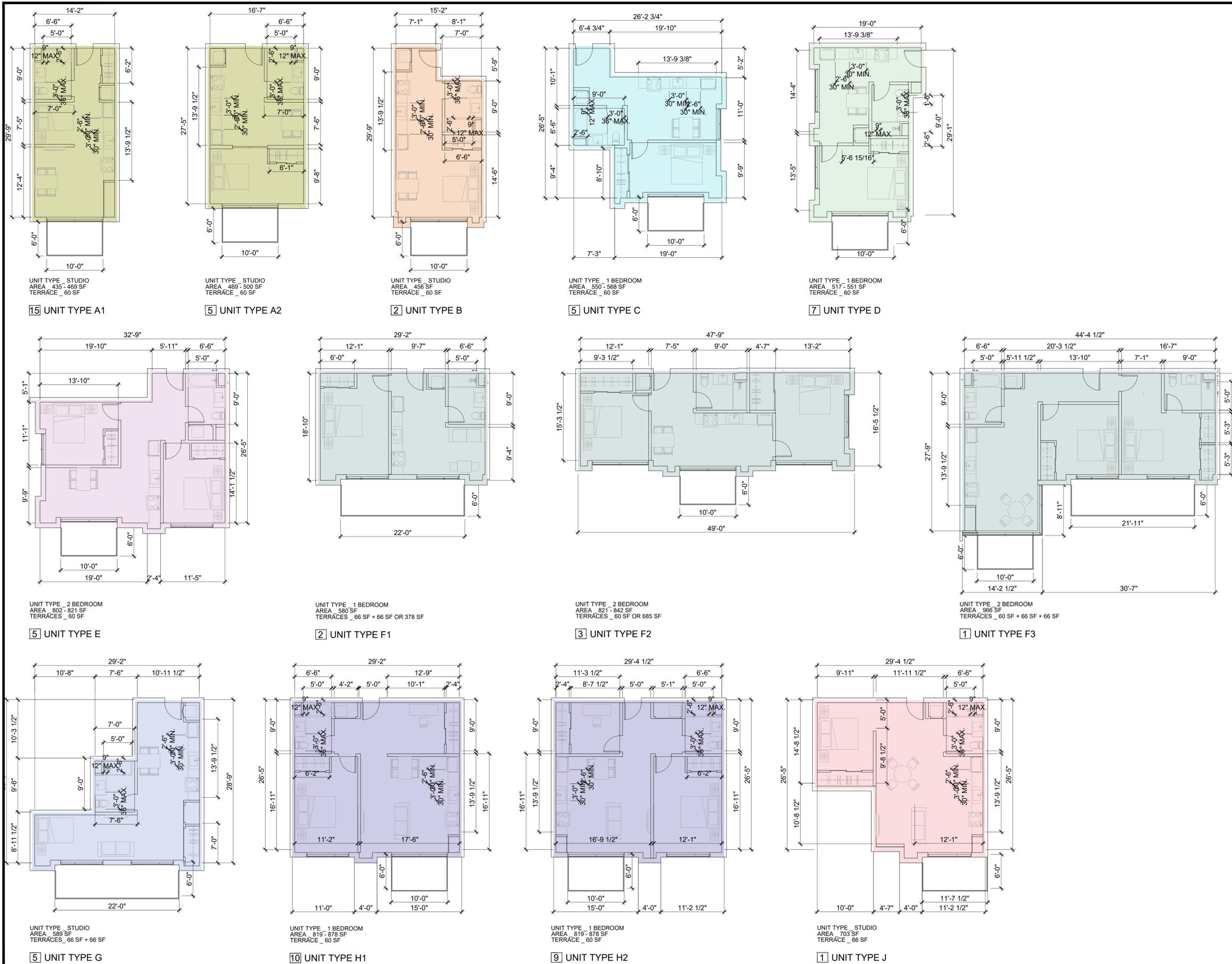
- PAINTED MECHANICAL SCREEN, COLOR 'F'
- PAINTED METAL RAILING, TYP. COLOR 'E'
- PAINTED METAL PARAPET, TYP. COLOR 'F'
- PAINTED METAL CANOPY, TYP. COLOR 'F'
- CLEAR VISION GLASS WITH SHADOWBOX BEYOND, TYP. AT LEVEL 6
- BIRD SAFE GLASS, TYP. AT LEVEL 6
- PAINTED METAL MULLION, COLOR 'E'
- PAINTED METAL PANEL, COLOR 'E'
- CLEAR VISION GLASS, TYP. AT LEVEL 1-6
- PAINTED METAL PANEL, COLOR 'F'
- PAINTED METAL MULLION, COLOR 'E'
- BIRD SAFE GLASS RAILING WITH RAIL AND SHOE, TYP. COLOR 'E', TYP. AT ALL BALCONIES
- PAINTED HORIZONTAL SIDING BOARD, TYP. COLOR 'A'
- WOOD TEXTURE PANEL, TYP. COLOR 'B'
- PROPOSED PUBLIC ART LOCATION
- CLEAR VISION GLASS



- EL. 77'-11" T.O. MECH. SCREEN
- EL. 71'-5" T.O. RAILING
- EL. 69'-5" T.O. PARAPET / ELEV. OVERRUN / STAIRS
- EL. 67'-11" T.O. ROOF SLAB
- EL. 54'-11" SIXTH FLOOR
- EL. 44'-8" FIFTH FLOOR
- EL. 34'-8" FOURTH FLOOR
- EL. 24'-8" THIRD FLOOR
- EL. 14'-8" SECOND FLOOR
- EL. 1'-2" FIRST FLOOR
- EL. 0'-0" BASE FLOOD ELEV.
- EL. -1'-9 1/2" ± SIDEWALK GRADE



ARCHITECTS
KORTH SUNSERI HAGEY



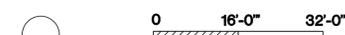
NOTES: SEE OVERALL PLANS (SHEETS A2.2A - A2.3) FOR ACTUAL BALCONY CONFIGURATION INCLUDED ON THIS SHEET ARE TYPICAL CONDITIONS ONLY NOT ALL UNITS ARE PROVIDED WITH A BALCONY

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	12.01.21	PLANNING SUBMITTAL
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.18.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PROPOSED UNIT PLANS

SCALE
1/8" = 1'-0"

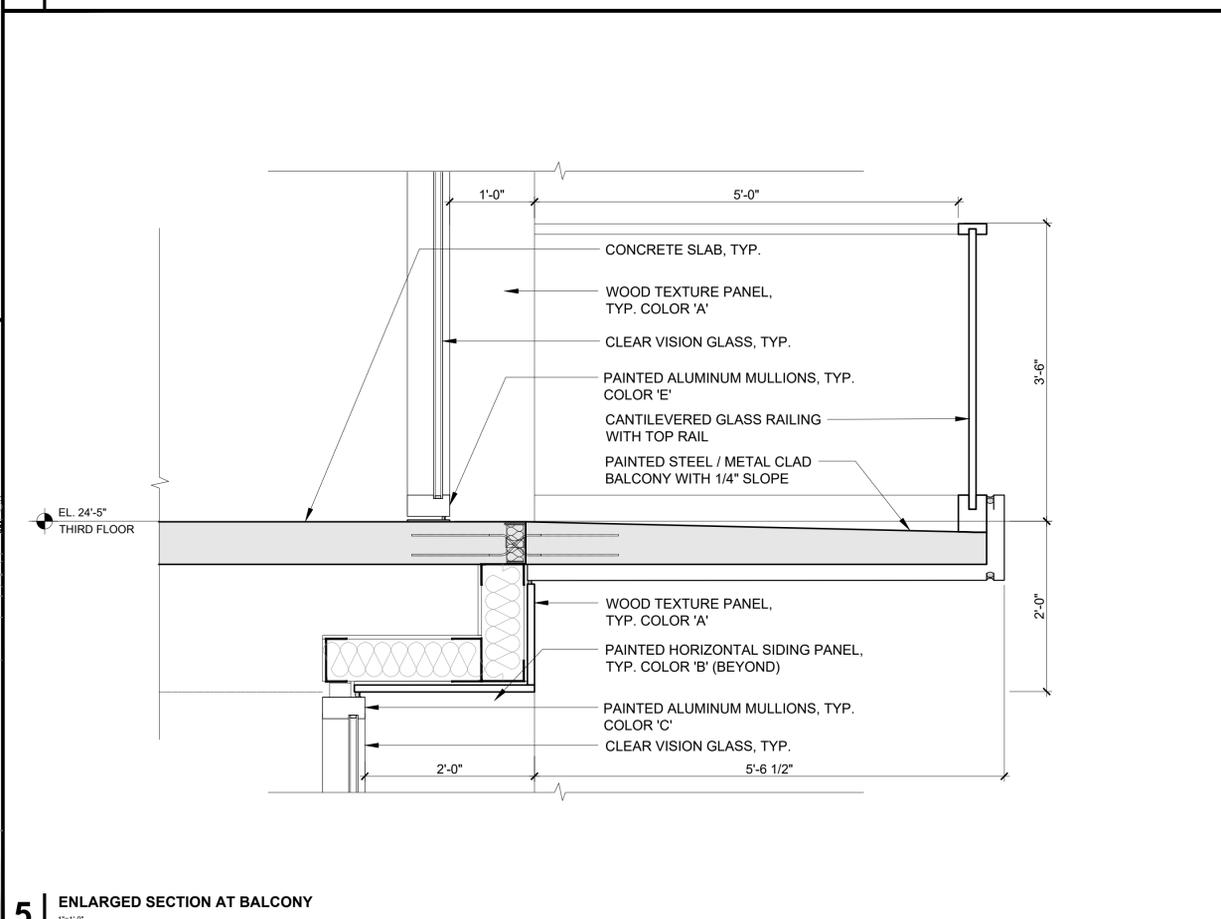
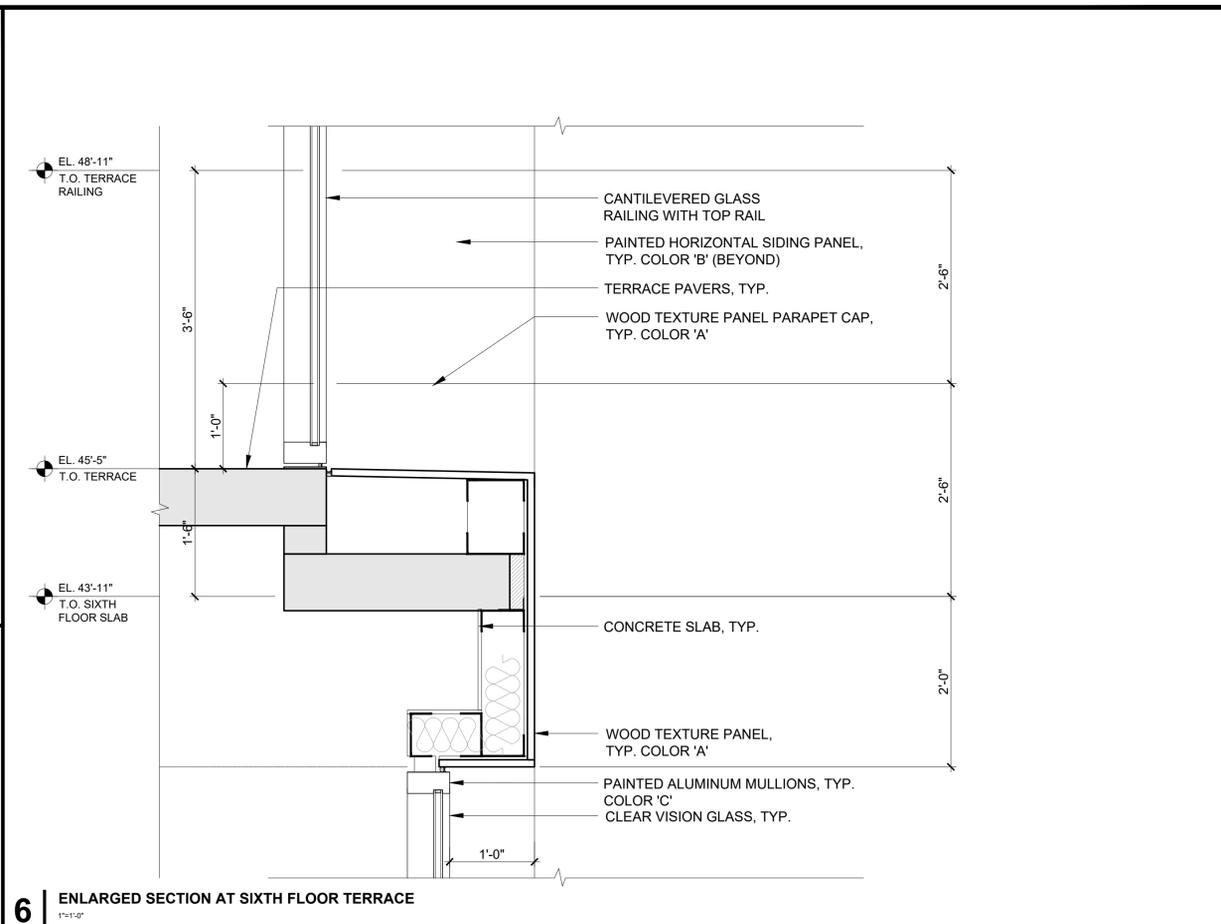
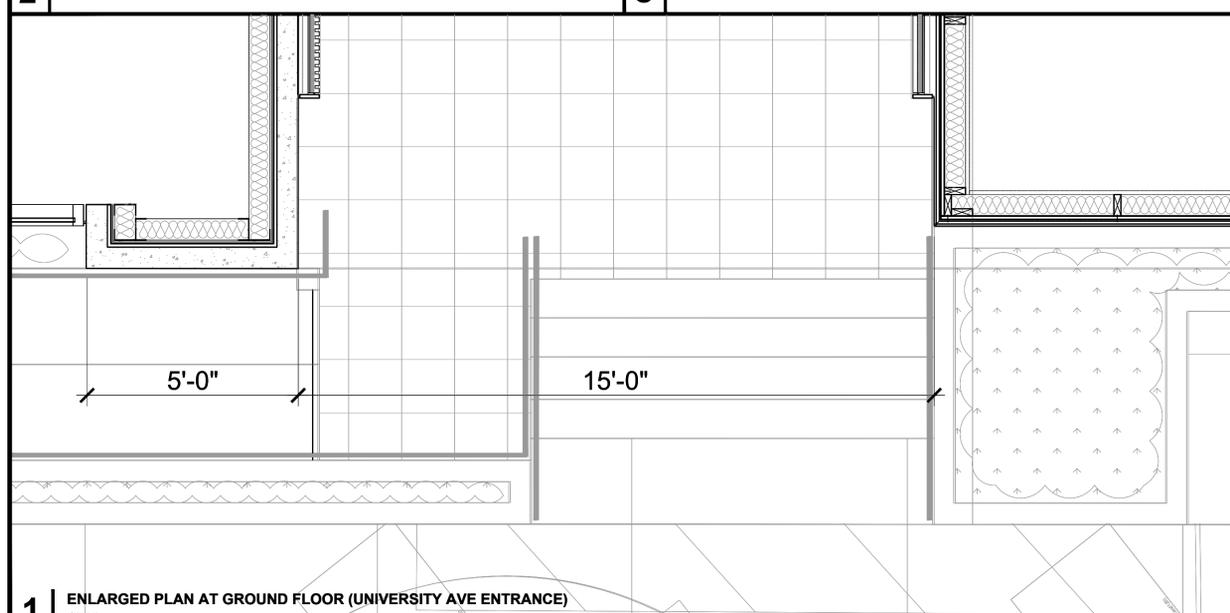
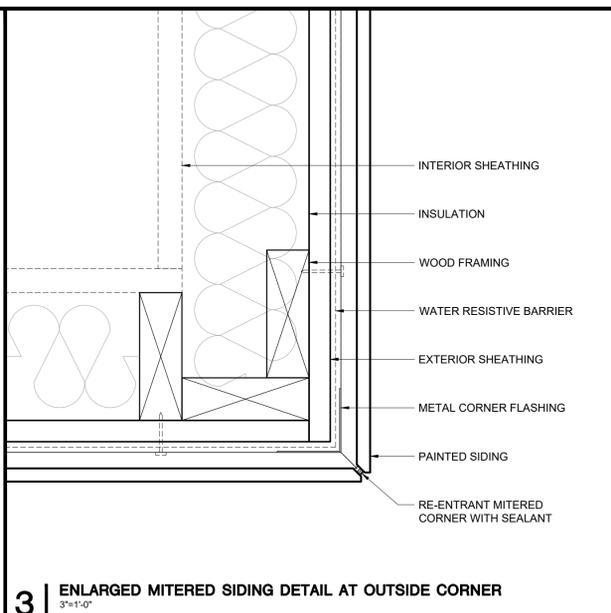
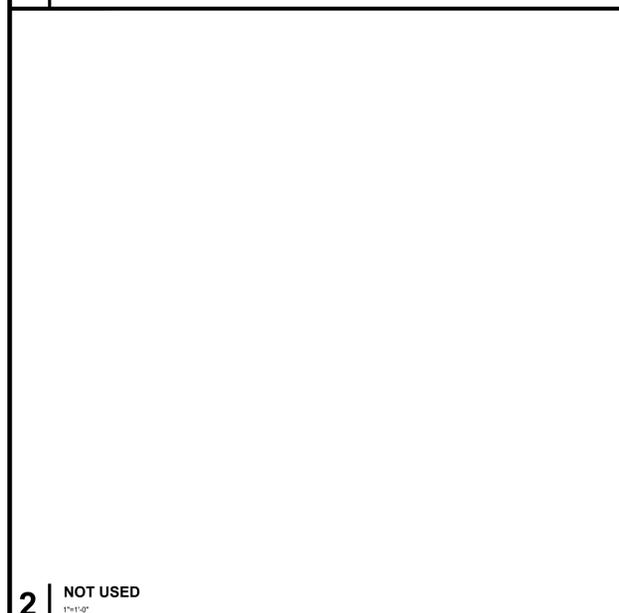
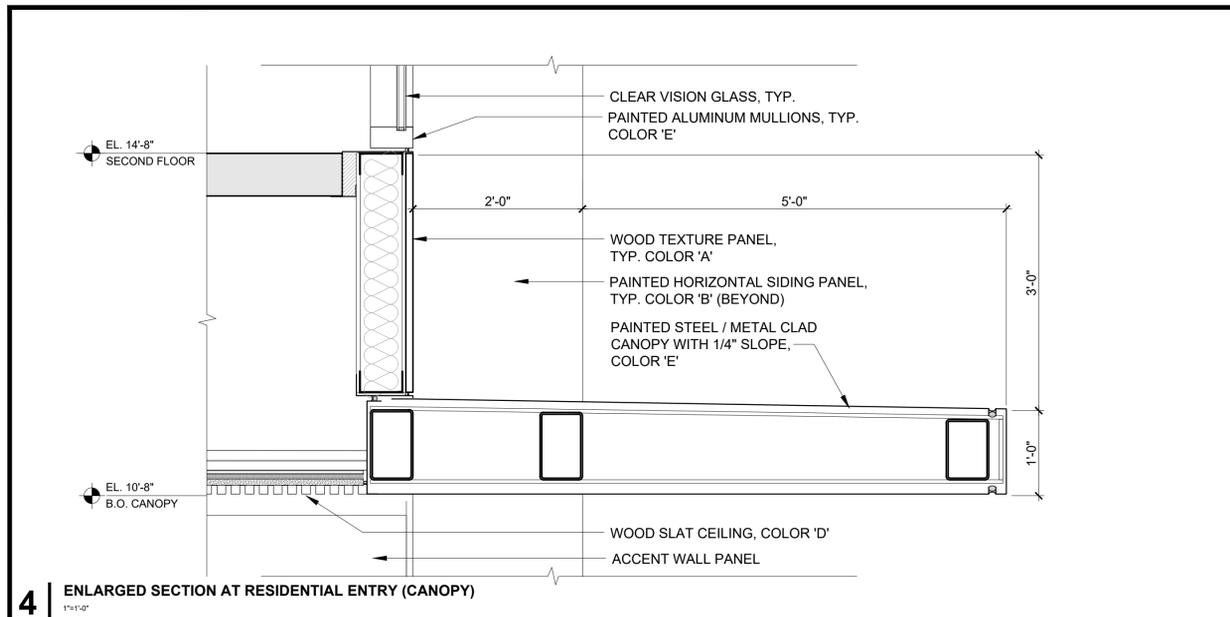


SHEET NUMBER

A5.1



ARCHITECTS
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9

PROJECT NUMBER
21003

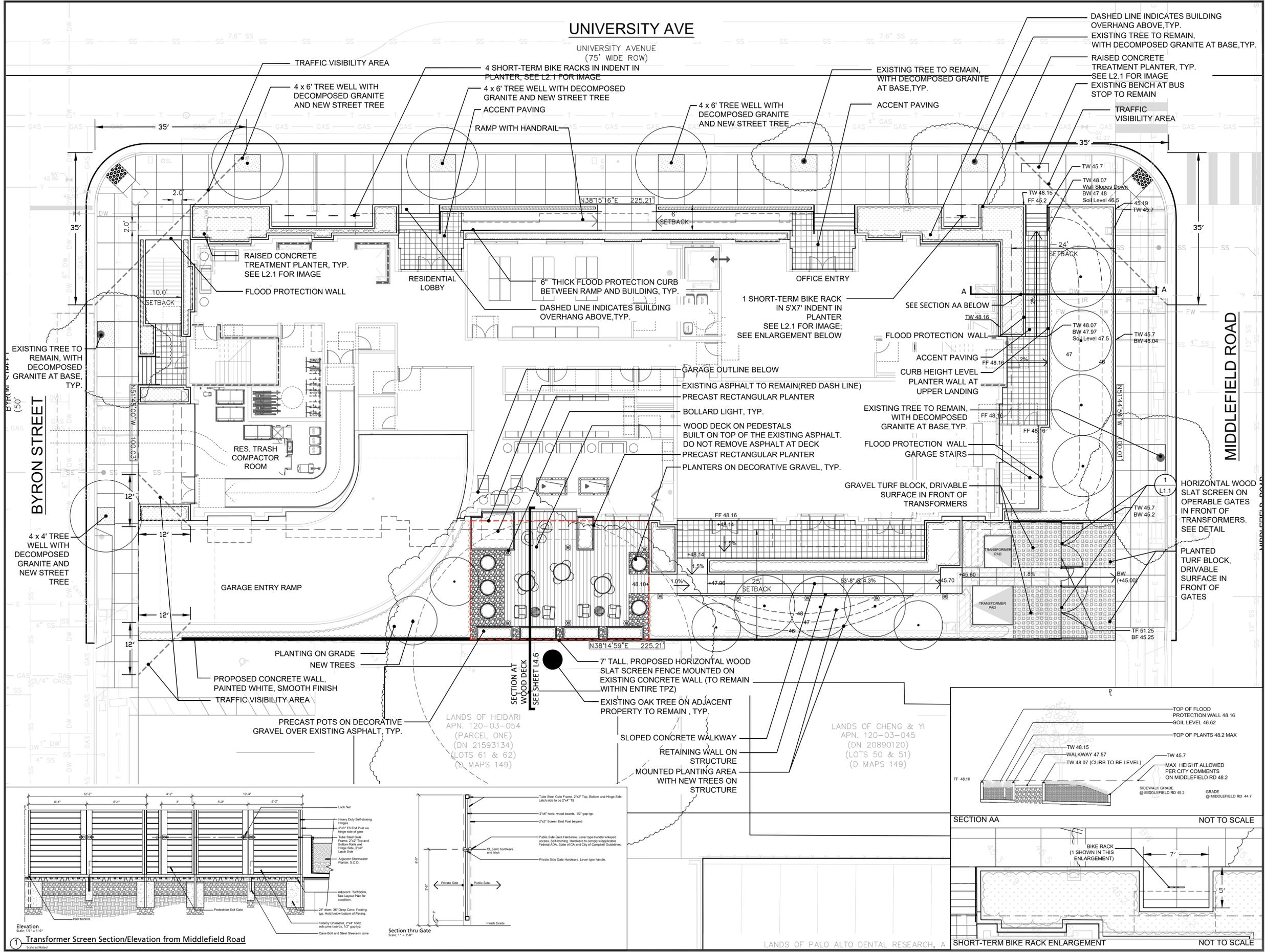
SHEET TITLE
ENLARGED DETAILS

SCALE
AS NOTED

SHEET NUMBER

UNIVERSITY AVE

UNIVERSITY AVENUE
(75' WIDE ROW)



SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301

THE Guzzardo Partnership, INC.
Landscape Architects | Land Planners
Pier 9, The Embarcadero, Suite 115
San Francisco, CA 94111 | www.tgp-inc.com

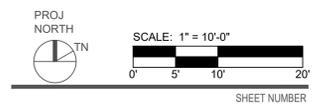
ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
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09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
LANDSCAPE PLAN - GROUND FLOOR

SCALE



L 1.1

Transformer Screen Section/Elevation from Middlefield Road
Scale as noted

Section thru Gate
Scale: 1" = 1'-0"

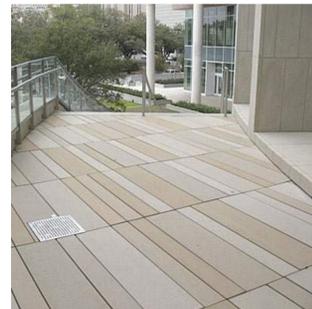
SECTION AA NOT TO SCALE

SHORT-TERM BIKE RACK ENLARGEMENT NOT TO SCALE

Site



Pedestrian Unit Paver Pattern



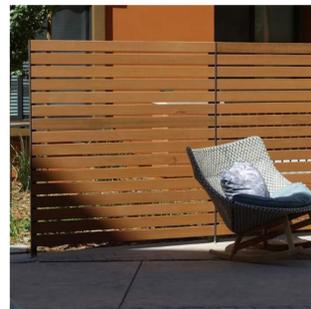
Pedestrian Accent Paving Color



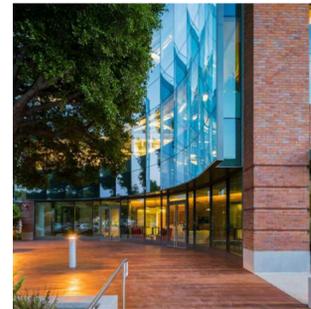
Open Wire Omega Fence near Public Rights of Way for Pedestrian and Vehicular Visibility-6' Height



Existing Concrete Foundation Wall (Along Property Line Near Large Coast Live Oak) to Remain



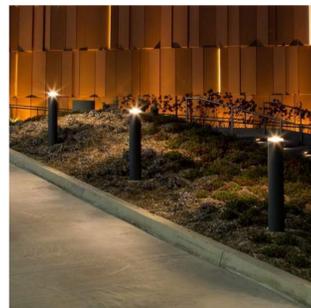
Horizontal Wood Slat Screen
Fence - 7' Height



Wood Deck on Grade



Welle Circular Bike Rack-Silver



Bollard Light



Bollard Light



Precast Planter on Decorative Gravel over Existing Asphalt



Precast Planter on Decorative Gravel over Existing Asphalt



Raised Concrete Treatment Planter
Height above grade varies in different site conditions.
See plans

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	12.01.21	PLANNING SUBMITTAL
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	08.15.22	PLANNING RESUBMITTAL #2
	11.02.22	PLANNING RESUBMITTAL #3
	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
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	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
LANDSCAPE IMAGERY

SCALE

SHEET NUMBER

PLANT PALETTE

TREES- all 36" box								
KEY	QTY	BOTANICAL NAME	COMMON NAME	COMMENTS/SPACING	WUCOLS	NOTES	HABITAT FORMING	
CER OCC	8	Cercis occidentalis	Western Redbud	24" o.c.	Low	California Native	Food	
PLA ACE	4	Platanus acerifolia "Columbia"	Columbia London Plane Tree	Standard	Medium	Regionally Appropriate		
ARB MAR	3	Arbutus 'Marina'	Marina Strawberry Tree	Multi	Low	Regionally Appropriate	Food	
SHRUBS, GROUNDCOVERS AND GRASSES --all 5 gallon size								
KEY	QTY	BOTANICAL NAME	COMMON NAME	COMMENTS/SPACING	WUCOLS	CALIFORNIA NATIVE		
AGV	15	Anigozanthos 'Gold Velvet'	Gold Kangaroo Paw	24" o.c.	Low	Regionally Appropriate	Food	
CAC	55	Carex californica	California Sedge	24" o.c.	Low	California Native		
ABU	17	Abutilon palmeri	Indian Mallow	36" o.c.	Low	California Native	Food	
IRD	71	Iris douglasiana	Pacific Coast Iris	12" o.c.	Low	Regionally Appropriate		
MUC	153	Muhlenbergia capillaris 'Regal Mist'	Pink Muhly Grass	24" o.c.	Low	California Native	Food	
LEU	5	Leucadendron 'Maui Sunset'	Maui Sunset Cone Bush	30" o.c.	Low	Regionally Appropriate	Food	
RSA	18	Ribes sanguineum	Red Flowering Currant	36" o.c.	Low	California Native	Food	
SAL	150	Salvia clevelandii 'Winfred Gillman'	Cleveland Sage	24" o.c.	Low	California Native	Food	
ACCENT SHRUBS, GRASSES AND PERENNIALS- all one gallon size								
CK	16	Calamagrostis x a 'Karl Foerster'	Feather Reed Grass	36" o.c.	Medium	California Native	Food	
SM	16	Senecio madraliscae	Blue Chalk Sticks	24" o.c.	VeryLow	Regionally Appropriate		
GROUNDCOVERS- all one gallon size								
SS	15	Sedum rupestre 'Angelina'	Angelina Stonecrop	24" o.c.	VeryLow	Regionally Appropriate		
STORMWATER TREATMENT PLANT								
CH	25	5 Gal	Chondropetalum tectorum	Small Cape Rush	36" o.c.	Low	Regionally Appropriate	Food
DB	18	5 Gal	Dietes iridioides	Fortnight Lily	24" o.c.	Low	Regionally Appropriate	
FC	106	5 Gal	Festuca californica	California Fescue	24" o.c.	Low	California Native	Food
JP	52	1 Gal	Juncus patens 'Elk Blue'	Elk Blue Gray Rush	24" o.c.	Low	California Native	
ME	120	1 Gal	Mahonia repens	Creeping Oregon Grape	24" o.c.	Low	California Native	Food
MR	30	1 Gal	Muhlenbergia rigens	Deer Grass	36" o.c.	Low	California Native	Food

- Notes:**
- Plants with low WUCOLS ratings are drought tolerant and regionally appropriate species. Plants noted are Native to California. Other plants, not in either of these two categories are well adapted to Palo Alto. Habitat forming column refers to food value of flowers or fruit for small animals, birds, butterflies and other insects in addition to shelter for some insects.
 - Do not use chemical fertilizers, pesticides, herbicides or commercial soil amendment. Use Organic Materials Review Institute (OMRI) materials and compost. Refer to the Bay-Friendly Landscape Guidelines: <http://www.stopwaste.org/resource/brochures/bay-friendly-landscape-guidelines-sustainable-practices-landscape-professional-for-guidance>
 - Avoid compacting soil in areas that will be unpaved. All planting areas to receive 3" layer of bark mulch.

The approximate total quantity of plants proposed is 1,212. Of these plants, 998 are native which totals 82% Native plantings.

Reference Evapotranspiration (ETo) 43.1 City of Palo Alto							
Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)†	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)‡
Regular Landscape Areas							
Low Water-Use Plants	0.30	Drip	0.81	0.37	3,125	1,156	30,897
Moderate Water-Use Plants	0.50	Drip	0.81	0.62	322	200	5,335
					(A)	(B)	
Totals					3,447	1,356	36,232
Special Landscape Areas							
Water Feature					77		
					(C)	(D)	
Totals					0	0	
						ETWU Total	36,232
						Maximum Allowed Water Allowance (MAWA)§	41,450

*Hydrozone #/Planting Description
 E.g
 1.) front lawn
 2.) low water use plantings
 3.) medium water use planting

†ETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

§MAWA (Annual Gallons Allowed) = (ETo) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas	
Total ETAF x Area (B)	1,356
Total Area (A)	3,447
Average ETAF	0.393353640

All Landscape Areas	
Total ETAF x Area (B+D)	1,356
Total Area (A+C)	3,447
Sitewide ETAF (B+D) ÷ (A+C)	0.393353640847113



Festuca californica



Helictotrichon sempervirens



Heteromeles arbutifolia



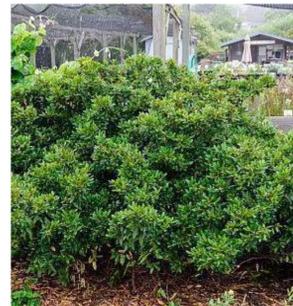
Lomandra 'Lime Turf'



Muhlenbergia rigens



Myrica californica



Rhamnus c. 'Mound San Bruno'



Salvia c. 'Winfred Gilman'



Stipa arundinacea



Syrinchium angustifolium



Calamagrostis acutiflora 'Stricta'



Anigozanthos 'Gold Velvet'



Syrinchium bellum



Mahonia repens

SMITH DEVELOPMENT

660 UNIVERSITY
PALO ALTO, CA 94301

THE Guzzardo Partnership, INC.
 Landscape Architects | Land Planners
 Pier 9, The Embarcadero, Suite 115
 San Francisco, CA 94111 | www.tgp-inc.com

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
	12.01.21	PLANNING SUBMITTAL
	05.13.22	PLANNING RESUBMITTAL #1
	08.15.22	PLANNING RESUBMITTAL #2
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	08.28.23	PLANNING RESUBMITTAL #4
	10.31.23	PLANNING RESUBMITTAL #5
	12.21.23	PLANNING RESUBMITTAL #6
	02.07.24	PLANNING RESUBMITTAL #7
	05.02.24	AD HOC REVISIONS
	09.30.24	PLANNING RESUBMITTAL #8
	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
PLANTING PALETTE & IMAGERY & WELO CALCULATIONS

SCALE

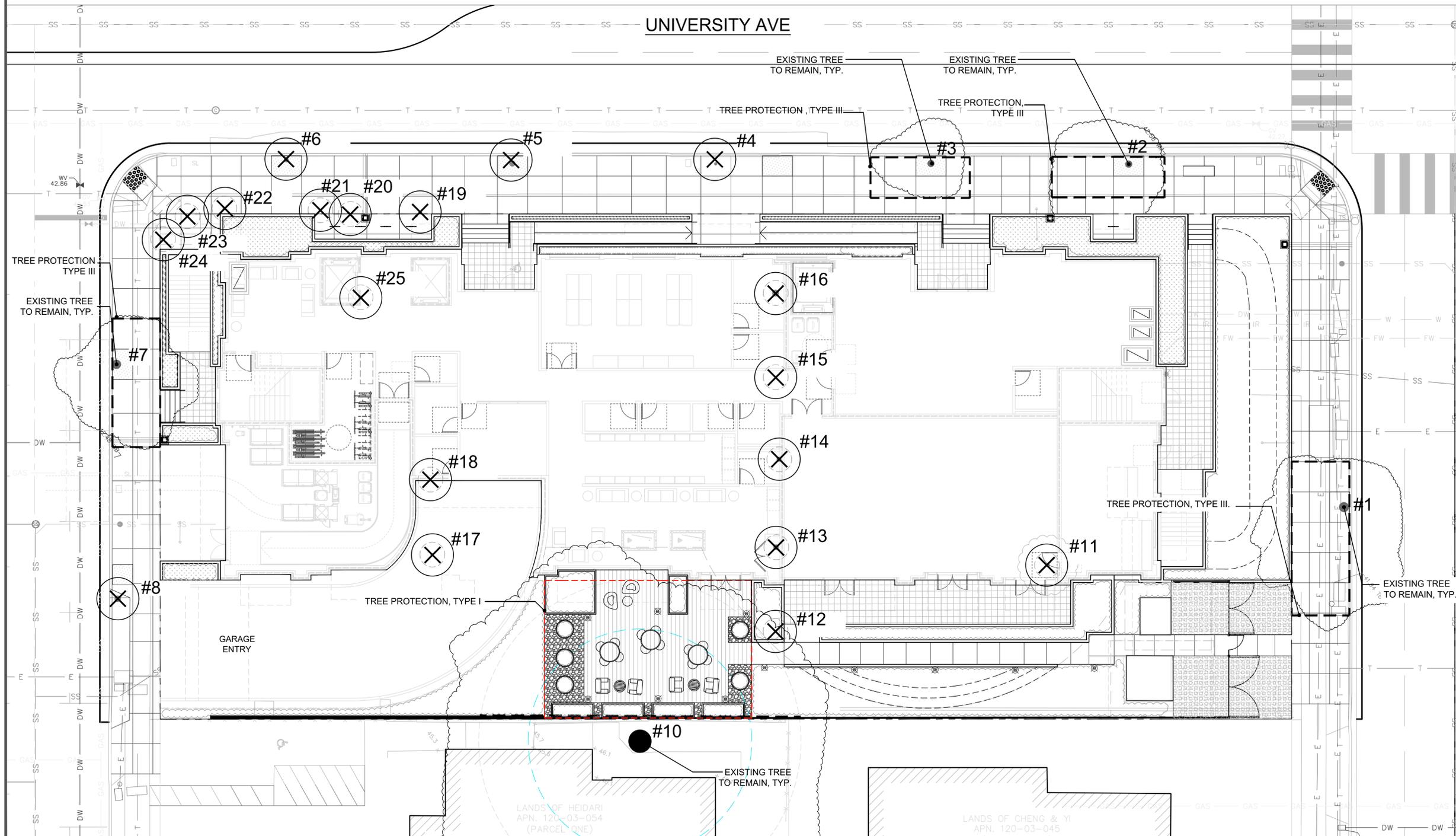
SHEET NUMBER

L 3.3

TREE DISPOSITION LEGEND

Total Existing Trees on Site	24
Disposition	Regulated Trees
Tree to be Preserved	0
Tree to be Preserved Off-Site	5
Total Trees Preserved	5
Removed, Poor Condition	3
Removed, Project Re-Design	16
Total Trees Removed	19
Total Proposed Trees	18
Total Trees on Future Site	23

Note:
 - See Arborist Report by Arbor Resources dated February 07, 2024 for specific information about existing trees. Contact project Arborist prior to performing any work within the Tree Protection Zones noted in the Arborist report and shown on this drawing as well.

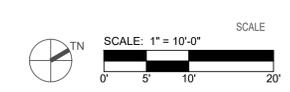


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12.01.21		PLANNING SUBMITTAL
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01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
TREE DISPOSITION PLAN - SITE



SHEET NUMBER

L 4.1

660 UNIVERSITY
PALO ALTO, CA 94301

THE Guzzardo Partnership, INC.
Landscape Architects | Land Planners
Pier 9, The Embarcadero, Suite 115
San Francisco, CA 94111 | www.tgp-inc.com

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT
CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 628-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS:
660 University Avenue

Are there Regulated trees on or adjacent to the property? **YES** (NO if no, proceed to Section 4)

Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.

1. Where are the trees? Check those that apply. **Plans must be submitted showing over 4" diameter trees.**

On the property
 On adjacent property overhanging the project site
 In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification Form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #665).

2. Are there any Protected or Designated Trees? **YES** (Check where applicable) **NO**

Protected Tree (s)
 Designated Tree (s)
 Over overhanging the property

3. Is there any activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? **YES** **NO**

If Yes, a **Tree Protection Report** must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, "Tree Protection, its Part of the Plan", per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? **YES** **NO**

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #665. <http://www.cityofpaloalto.org/trees/forms.html> (See also TTM - Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal or civil legal action.

Signature: Paul T. Lettieri Print: Paul T. Lettieri Date: 05/13/2022
(Prop. Owner or Agent)

FOR STAFF USE:
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. **YES** **NO**
(N/A if there are no protected trees, check here C)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. **YES** **NO**
(N/A if there are no street trees, check here C)

Regulated Trees - all Street trees - trees on public property; by Protected trees - Coast Live Oaks or Valley Oaks which are 11.8" in diameter or larger, Coast Redwoods which are 12" in diameter or larger, when measured 4' above natural grade, and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

** Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at http://www.cityofpaloalto.org/planning/community/tree_technical_manual.html

3.Plans/Plans/Books/Tree Protection Info/Tree Disclosure Statement Revised 09/06

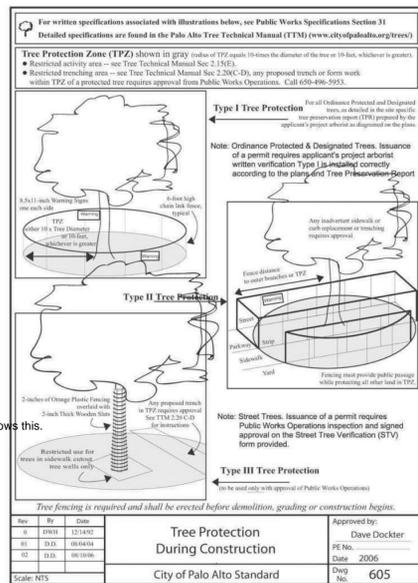


Table 2-2 Palo Alto Tree Technical Manual
ARBORIST INSPECTION SCHEDULE

All Checked Items Apply to this project:

- Inspection of Protective Tree Fencing.** The Street Tree Verification Form shall be signed by the City Arborist. For other Protected Trees, the project arborist shall provide a written statement with a photograph verifying that he has conducted a field inspection of the trees and that the protective tree fencing is in place prior to issuance of a demolition, grading, or building permit. (see Verification of Tree Protection, Section 1.39).
- Pre-Construction Meeting.** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading equipment operators, project arborist, City Arborist, and, if a city maintained irrigation system exists, the Parks Manager (Contact 650-496-6962).
- Inspection of Rough Grading.** The project arborist shall perform an inspection during the course of rough grading adjacent to the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 48 hours advance notice of such activity.
- Monthly Inspections.** The project arborist shall perform a monthly activity inspection to monitor and advise for conditions and tree health. The City Arborist shall be in receipt of the activity report during the first week of each calendar month or, immediately if there are any revisions to the approved plans or protection measures. Fax to (650) 329-2154. (see Monthly Inspection Report, Section 1.17).
- Special activity within the Tree Protection Zone.** Work in this area (TPZ - described in #7 below) requires the direct onsite supervision of the project arborist (see Trenching, Excavation and Equipment, TTM Section 2.20 C).
- Landscape Architect Inspection.** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The City shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- Other** (please describe)

---WARNING---
Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
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	01.17.25	PLANNING RESUBMITTAL #9
	06.20.25	PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
TREE DISPOSITION PLAN - SITE ARBORIST REPORT

SCALE

SHEET NUMBER

City of Palo Alto
250 Hamilton Avenue, Palo Alto, CA 94301

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Tree Technical Manual
To purchase the Tree Technical Manual
June, 2001 First Edition

View by section:

- Table of Contents (PDF, 879KB)
- Intent and Purpose (PDF, 1.05MB)
- Introduction - Use of Manual (PDF, 1.05MB)
- Section 1.0 - Definitions (PDF, 96KB)
- Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- Section 4.0 - Hazardous Trees (PDF, 165KB)
- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 464KB)

View ALL sections:
Tree Technical Manual - Full (PDF, 1.84MB)

APPENDICES
A. Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations
B. Tree City - USA
C. ISA Hazard Evaluation Form
D. List of Inherent Failure Patterns for Selected Species (Reference source)
E. ISA Tree Pruning Guidelines (PDF, 1.85MB)
F. Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)
G. Pruning Performance Standards, ANSI A300-1995 (Reference source)
H. Tree Planting Details, Diagram 504 & 505
I. Tree Disclosure Statement
J. Palo Alto Standard Tree Protection Instructions

PALO ALTO
STREET TREE PROTECTION INSTRUCTIONS
SECTION 31

31-1 General

a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state; and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. The **Tree Protection Zone (TPZ)** is a restricted area around the base of the tree with a radius of ten times the diameter of the tree trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail #65 - Illustration of situations described below.
b. Tree Technical Manual (TTM) Form (<http://www.cityofpaloalto.org/trees/>)
1. Trenching Remediation Zones (TTM, Section 2.20C) 2. Advance Reporting Process (TTM, Section 6.25) 3. Site Plan Requirements (TTM, Section 6.25) 4. Tree Disclosure Statement (TTM, Section 8.10) 5. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms/>)

31-3 Execution

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2 inches of orange plastic fencing from the ground to the first branch and overlaid with 2 inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. **Site, type and area to be fenced.** All trees to be protected shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of four (4) feet or at more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **"Warning" signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5 inches x 11 inches and clearly state in half inch tall letters "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."

f. **Barriers.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right-of-way require a Street Work Form from Public Works.

g. **During construction**

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly-owned trees that are damaged during the course of construction, pursuant to Section 8.10.040 of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
 - No storage of material, gravel, vehicles or equipment shall be permitted within the TPZ.
 - The ground under and around the tree canopy area shall not be altered.
 - Trees to be retained shall be irrigated, sealed and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWS, Section 31
Revised 08/06

City of Palo Alto
Tree Department
Public Works Operations
P.O. Box 10250 Palo Alto, CA 94303
650-496-5953 FAX: 650-852-8259
treeprotect@cityofpaloalto.org

Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____

APPLICANT'S NAME: _____

APPLICANT'S ADDRESS: _____

APPLICANT'S TELEPHONE & FAX NUMBERS: _____

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____

Inspected by: _____

Date of Inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant: _____

Subsequent inspection
Street trees at above address were found to be adequately protected: _____

Inspected by: _____

Date of Inspection: _____

Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.
6/10/06

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed) Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at www.cityofpaloalto.org/arb/forms

Special Tree Protection Instruction Sheet
City of Palo Alto



T-1

L 4.2

City of Palo Alto Tree Protection - It's Part of the Plan!

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ARBOR RESOURCES
professional consulting arborists and tree care

David L. Bably, Registered Consulting Arborist®
February 7, 2024

TREE PROTECTION REPORT

660 UNIVERSITY AVENUE
PALO ALTO, CALIFORNIA
(511 BYRON ST., 660 & 680 UNIVERSITY AVE.)

Submitted to:
Smith Development
682 Villa Street, Suite G
Mountain View, CA 94041

Prepared by:
David L. Bably
Registered Consulting Arborist® #299
Board Certified Master Arborist® #96-40018

Plan: December 20, 2023
Current: February 7, 2024

P.O. Box 25395, San Mateo, California 94402 • email: arborresources@earthlink.net
office: 650.454.3551 • cell: 650.274.3266 • license contractor #7926763

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1.0 INTRODUCTION

Smith Development is planning to construct a mid-rise, four-story building with two levels of underground parking on three properties along the southeast side of University Avenue, between Middlefield Road and Byron Street, the project is sited 660 University Avenue. Two existing buildings and a surface parking lot currently occupy the site and will be demolished. As part of their planning submission, Smith Development has retained me to prepare this Tree Protection Report, and specific tasks assigned to execute are as follows (this report serves to update my prior one, dated 12/20/23, prepared for this project):

- Visit the site on 1/16/21, 1/19/21 and 1/21/22 to identify 25 trees which have trunks located within the subject property, on adjoining properties within close proximity to the boundary, and along street frontages up to 50 feet from the boundary.
- Determine each tree's trunk diameter pursuant to the City of Palo Alto's (CPA) Tree Technical Manual and the Guide for Plant Appraisal, 10th Edition; all diameters measured inches and are rounded to the nearest whole number.
- Estimate each tree's height and average canopy spread (rounded to the nearest fifth).
- Ascertain each tree's health, structural integrity and form, and assign an overall condition rating (e.g. good, fair, poor or dead).
- Rate each tree's suitability for preservation (e.g. high, moderate or low).
- Obtain photographs on Exhibit C they represent those obtained in 2021.
- Assign numbers in a sequential pattern from #1 thru 25, and plot on the site map in Exhibit B (base map is a copy of the Topographic & Boundary Survey prepared by BREI, dated 01/17/15).
- Affix metal tags with corresponding, engraved numbers onto the trunks of onsite and street trees (i.e. all but #10).
- Identify which are defined by the PAMC as protected and/or street trees.
- Ascertain the potential tree disposition and potential impacts by reviewing [1] the Planning Residential #5 drawing set, dated 10/31/23, and [2] two landscape plans, dated 2/27/24, showing the proposed deck beneath #19's canopy.
- Provide design guidelines and protection measures to help avoid or mitigate potential impacts to retained trees, as well as conform with the CPA requirements.
- Prepare a written report presenting the above information, and submit via email as a PDF document.

1 The base property address include 511 Byron Street, 660 and 680 University Avenue.
2 Available for viewing at www.cityofpaloalto.org/online/PlanningResidentialApp/2023-04-04-04-04.
3 Authored by the Council of Tree & Landscape Appraisers, and published by the ISA.
4 660 University Avenue, Palo Alto, South Development Page 4 of 18
5 South Development

2.0 TREE DESCRIPTION

Twenty-five (25) trees of 11 various species were identified for this report. They are sequentially numbered as 1 thru 25, and the table below identifies their common names, assigned numbers, counts and overall percentages.

Table 1 - Tree Count and Composition

NAME	TREE NUMBER(S)	COUNT	% OF TOTAL
Chinese pistache	8	1	4%
Coast live oak	10	1	4%
Crape myrtle	19 thru 24	6	24%
European hollyherry	1	1	4%
Glossy privet	4 & 5	2	8%
London plane tree	2, 3 & 6	3	12%
Olive tree	11	1	4%
Purple Ribes locust	17 & 18	2	8%
Raywood ash	12 thru 16	5	20%
Southern magnolia	7 & 9	2	8%
Yew pine	25	1	4%
Total		25	100%

Specific information regarding each tree is presented within the table in Exhibit A. The tree's assigned numbers and approximate locations can be viewed on the site map in Exhibit B, and photographs are presented in Exhibit C.

660 University Avenue, Palo Alto, South Development Page 2 of 18
South Development

3.0 REGULATED TREES

The PAMC regulates specific types of trees on public and private property for the purpose of avoiding their removal or displacement without first being reviewed and permitted by the CPA. These categories within the status of regulated trees include protected trees (PAMC 8.10), street trees can be viewed on page xiii of the CPA's Tree Technical Manual.

One tree, #10, is defined as a protected tree due to being a coast live oak with a trunk diameter of 50 inches (the threshold for coast live oaks is having a trunk diameter of 51.5 inches at 54 inches above grade). Note that although a new and expanded definition for protected trees was recently codified by the CPA on 7/21/22, the prior definition, presented herein, applies to this project as the planning application precedes 7/21/22.

Trees #1 thru 9 are situated within the public right-of-way and defined as street trees.

The designated tree category applies to existing trees planted on a commercial or planned development site, for either designed tree landscape or to mitigate tree removal. This category can be enacted by the CPA and applied to any specific tree associated with a proposed development.

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4.0 SUITABILITY FOR TREE PRESERVATION

Each tree has been assigned either a high, moderate or low suitability for preservation rating as a means to consistently measure its health, structural integrity, anticipated life span, remaining life expectancy, location, size, particular species, tolerance to construction impacts, growing space, and safety to property and persons within striking distance. Descriptions of these ratings are presented below, and the high category comprises 1 tree (4%), the moderate category 15 (or 60%), and the low category 9 (or 36%).

High: Applies to #10.

This coast live oak appears healthy and structurally stable; has no obvious, significant health issues or structural defects; presents a good potential for contributing long-term to the site; and requires only periodic or regular care and monitoring to maintain its longevity and structural integrity.

Moderate: Applies to #1, 3, 7, 8, 11 and 17-25.

These trees contribute to the site, but at levels less than those assigned a high suitability; might have health and/or structural issues which may or may not be reasonably addressed and properly mitigated; and frequent care is typically required for their remaining lifespan.

Low: Applies to #4, 6, 9 and 12-16.

These trees have significant health and/or structural issues expected to worsen regardless of tree care measures employed (i.e. beyond liberty recovery). As a general guideline, they should be removed regardless of future site improvements, and any which are retained require frequent monitoring and care throughout their remaining lifespans to minimize risk to any persons or property within striking distance.

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5.0 IMPACT ANALYSIS

5.1 Tree Disposition Summary

My review of project plans reveals the following tree disposition:

- Remove (19 in total): #4, 6, 8 and 11-25.
- Retain (6 in total): #1, 3, 7, 8, 10, 17, and 18.

Table 2 below, and continued on the next page, summarizes each tree's proposed disposition, and lists their name, trunk diameter, canopy spread, and suitability for preservation.

Table 2 - Tree Disposition Table

TREE #	COMMON NAME	RETAIN	RMV	DIA (IN)	CAN (FT)	SUITABILITY FOR PRESERVATION
1	European hollyherry	X	-	20	40	Moderate
2	London plane tree	X	-	15	50	Moderate
3	London plane tree	X	-	14	40	Moderate
4	Glossy privet	-	X	8	15	Low
5	Glossy privet	-	X	13	20	Low
6	London plane tree	-	X	10	35	Low
7	Southern magnolia	X	-	21	35	Moderate
8	Chinese pistache	-	X	14	35	Moderate
9	Southern magnolia	X	-	20	35	Low
10	Coast live oak	X	-	50	50	High
11	Olive tree	-	X	8	10	Moderate
12	Raywood ash	-	X	2	10	Low
13	Raywood ash	-	X	12	15	Low
14	Raywood ash	-	X	11	20	Low
15	Raywood ash	-	X	8	15	Low
16	Raywood ash	-	X	15	20	Low
17	Purple Ribes locust	-	X	8	20	Moderate
18	Purple Ribes locust	-	X	9	20	Moderate

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5.2 Proposed Removals

The 19 trees proposed for removal include #4, 6, 8 and 11-25. Trees #4 thru 6 are street trees along University Avenue, and will be removed due to their poor condition and low suitability for preservation. Trees #8 and 9 are small privets with advanced and extensive decline and decay. Tree #6 is a London plane which has partially uprooted, leans toward the street, and opposite the lean, has formed a pronounced buttress root causing extensive and somewhat dramatic landscape damage. Removing #4 thru 6 provides the opportunity to significantly improve the future, long-term tree landscape and site/public safety.

Tree #8 is a street tree of moderate suitability for preservation, and requires removal to accommodate the future drive aisle off Byron Street.

Trees #11 thru 25 are located onsite and within the proposed building and parking garage footprint. Each represents a relatively small, non-native assigned either a low or moderate suitability for preservation.

For replacement sizes, amounts and species, refer to the CPA's recommendations.

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5.3 Retained Trees

Trees planned for retention include #1, 3, 7, 9 and 10. This section provides my analysis for these trees to impacts, to include all but #9, and discusses general recommendations to minimize described impacts.

Additional more detailed mitigation measures are presented within the next section of this report. They should be incorporated into project plans; carefully followed throughout the entire demolition, grading and construction stages; and are subject to revision upon reviewing my revised plans.

Trees #1 & 3

These street trees align the project site, and their protection zones can be regarded as being from their trunks up to the existing back of sidewalks and street curbs, and 10 feet in all other directions. Each tree will maintain an estimated 15- to 20-percent canopy loss to achieve building construction. Shading installation for the parking garage may require an additional 5- to 10-percent of additional canopy removal.

Overall, I find the trees will not be adversely impacted provided these items are followed: planting is judiciously performed through limited and highly-selective cuts by a California State licensed tree service company approved by the CPA, scaffolding is minimized in width, and materials are utilized, where needed, to avoid unnecessary limb removal; and the shading methodology is carefully studied and locations for drilling or driving piles are strategically placed to minimize canopy loss. Protection for these trees should include what the CPA defines as Type III Protection (aka trunk wrap), plus plywood to cover uprooted ground (i.e. plantings within their TPZ).

Tree #9

The architectural design substantially conforms to my recommendations provided in January 2021, which stipulates a minimum 30-foot setback from the oak's trunk to construct the future building and parking garage, and a minimum setback of 20 feet from the trunk for all ground disturbance beneath the existing asphalt surface.

The CPA's Tree Protection Zone (TPZ) standard is a radial distance from the trunk equal to 10 times its diameter, which for oak #9, identifies a TPZ of 41 feet from the trunk. The proposed project establishes the TPZ to be 30 feet from the trunk, which equates to a multiplier of 7 times the trunk diameter (and 11 feet inside). Information regarding anticipated impacts to the canopy and roots are discussed on the next page.

For replacement sizes, amounts and species, refer to the CPA's recommendations.

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5.4 Retained Trees

Existing features beneath its canopy and surrounding the trunk appear dated, and based on its generally healthy condition, I conclude the tree has adapted well to current site and growing conditions. Its base is buried by leaf debris, and is situated roughly 6 inches or less from a 2-foot tall wall. Northeast of its trunk is barren soil, surface roots, and a raised deck which runs 2 feet above grade and serves as a walkway. Towards the southwest, this walkway continues by nearly 30 feet from the trunk, mostly descending and serving as an ADA ramp leading to the neighbor's parking lot.

Tree #10 is located offsite in close proximity to the property boundary. Trees #11 thru 25 have trunks situated within the property.

Two (2) trees, #9 and 19, are not shown on the top survey used for Exhibit B. As such, consider their trunk locations represented in Exhibit B as being only roughly approximate locations and not surveyed by me.

Trees #1 & 9 are 11-12 are considered ornamentals and not native to the local region. Tree #10 is a coast live oak in native, and represents the largest, most viable tree inventoried for this project.

Tree #10 (Coast live oak)

Tree #10 is defined by the CPA as a protected tree (refer to Section 3.0 in this report for additional information). Its trunk diameter is 50 inches at 54 inches above soil grade, is around 60 feet tall, and has a mostly balanced canopy spreading nearly 90 feet across.

As part of the initial site study, Smith Development retained me in January 2021 to evaluate #10's condition, as well as provide development setbacks to adequately protect its root zone and canopy while achieving a reasonable assurance of survival, structural integrity and form. A summary of additional observations obtained on 1/16/21 follows (and confirmed to be the same on 12/12/23), and photos obtained on 1/16/21 then can be observed in Exhibit C (page C-5). Information regarding my recommended setbacks and review of potential impacts are presented in Section 5.0.

The oak appears viable and healthy, and exhibits no symptoms or signs of being infested or infested by harmful pathogens. Shows growth, color and density appear typical for a coast live oak, and woodshed has favorably closed off the vast majority of prior wounds.

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6.0 TREE PROTECTION MEASURES

Existing features beneath its canopy and surrounding the trunk appear dated, and based on its generally healthy condition, I conclude the tree has adapted well to current site and growing conditions. Its base is buried by leaf debris, and is situated roughly 6 inches or less from a 2-foot tall wall. Northeast of its trunk is barren soil, surface roots, and a raised deck which runs 2 feet above grade and serves as a walkway. Towards the southwest, this walkway continues by nearly 30 feet from the trunk, mostly descending and serving as an ADA ramp leading to the neighbor's parking lot.

Beneath the action of canopy overhanging the project site is an asphalt parking lot elevated above original grade by roughly 2 feet. There are no signs of roots forming cracks or mounds of the asphalt surface; however, given the dated age of the wall and surrounding features, I suspect roots are present, but highly limited in comparison to the more favorable root-growing conditions on the neighboring property. A parking lot median, particularly elevated as this one, is quite unsuitable for root growth, and the retaining wall footing also contributes towards deflecting root growth away from the lot.

Its structure also appears intact and stable, consisting of a main trunk dividing into five leaders at 10 feet high; their unions are favorably spaced apart, although visual and manual examination of the junction should occur once neighboring site access can be obtained to identify the presence of any defects, or lack thereof. The section of trunk and root collar buried by leaf debris should also be examined at that time.

The canopy is highly elevated above the parking lot, and appears to have been regularly pruned over its many years. The elevated canopy, however, does unfavorably displace limb and branch weight towards the canopy's edges, and potentially increases the possibility of limb and branch failure (although the regular maintenance provided certainly helps minimize this risk).

Review of Arborist Reports

Two arborist reports were provided to the project team by the CPA: one authored by Arborescens (dated 02/22/22), and the other by Walter Lewton Consulting Arborist, dated 12/12/22. Following my review, I maintain that my analysis and recommendations for this project, as presented herein, are accurate.

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ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
12.01.21		PLANNING SUBMITTAL
05.13.22		PLANNING RESUBMITTAL #1
08.15.22		PLANNING RESUBMITTAL #2
11.02.22		PLANNING RESUBMITTAL #3
08.28.23		PLANNING RESUBMITTAL #4
10.31.23		PLANNING RESUBMITTAL #5
12.21.23		PLANNING RESUBMITTAL #6
02.07.24		PLANNING RESUBMITTAL #7
05.02.24		AD HOC REVISIONS
09.30.24		PLANNING RESUBMITTAL #8
01.17.25		PLANNING RESUBMITTAL #9
06.20.25		PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SHEET TITLE
TREE DISPOSITION PLAN - SITE ARBORIST REPORT

SCALE

SHEET NUMBER



City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

SMITH DEVELOPMENT

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PALO ALTO, CA 94301

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Partnership, INC.**
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San Francisco, CA 94111 | www.tgp-inc.com

ARBOR RESOURCES

TREE INVENTORY TABLE

TREE ID	TREE NAME	TRUNK DIAMETER (IN.)	HEIGHT (FT)	CANOPY SPREAD (FT)	DBH CLASSIFICATION	HEIGHT CLASSIFICATION	SPREAD CLASSIFICATION	PROTECTION STATUS	REGULATED	
20	Cape ivy	3.3	10	5	60%	50%	50%	Full	Shadeless	X
21	Cape ivy	4	12	10	60%	50%	50%	Full	Shadeless	X
22	Cape ivy	4	12	10	60%	50%	50%	Full	Shadeless	X
23	Cape ivy	4	12	10	60%	50%	50%	Full	Shadeless	X
24	Cape ivy	4.3	12	10	60%	50%	50%	Full	Shadeless	X
25	Tree grass	4	10	10%	40%	30%	30%	Full	Shadeless	X

660 University Avenue, Palo Alto
Smith Development
February 7, 2024

**EXHIBIT B:
SITE MAP
(one sheet)**

660 University Avenue, Palo Alto
Smith Development
February 7, 2024

**EXHIBIT C:
PHOTOGRAPHS
(five sheets)**

Photo Index

Page C-1: Trees #1 thru 6
Page C-2: Trees #7 thru 9
Page C-3: Tree #10

Page C-4: Trees #11 thru 18
Page C-5: Trees #19 thru 25

660 University Avenue, Palo Alto
Smith Development
February 7, 2024

**EXHIBIT D:
PHOTOGRAPHS
(six sheets)**

660 University Avenue, Palo Alto
Smith Development
February 7, 2024

**EXHIBIT E:
PHOTOGRAPHS
(four sheets)**

660 University Avenue, Palo Alto
Smith Development
February 7, 2024

**EXHIBIT F:
PHOTOGRAPHS
(four sheets)**

660 University Avenue, Palo Alto
Smith Development
February 7, 2024

**EXHIBIT G:
PHOTOGRAPHS
(four sheets)**

660 University Avenue, Palo Alto
Smith Development
February 7, 2024

**EXHIBIT H:
PHOTOGRAPHS
(three sheets)**

660 University Avenue, Palo Alto
Smith Development
February 7, 2024

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PROJECT NUMBER
21003

SHEET TITLE
TREE DISPOSITION PLAN - SITE
ARBORIST REPORT

SCALE

SHEET NUMBER

T-2



All other tree-related reports shall be added to the space provided on this sheet (adding as needed).
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at www.cityofpaloalto.org/arb/forms

Special Tree Protection Instruction Sheet
City of Palo Alto



T-2

L 4.5

City of Palo Alto Tree Protection - It's Part of the Plan!

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San Francisco, CA 94111 | www.tgp-inc.com

David L. Babby, Registered Consulting Arborist® February 7, 2024

EXHIBIT D:

LANDSCAPE PLANS - DECK BENEATH TREE #10

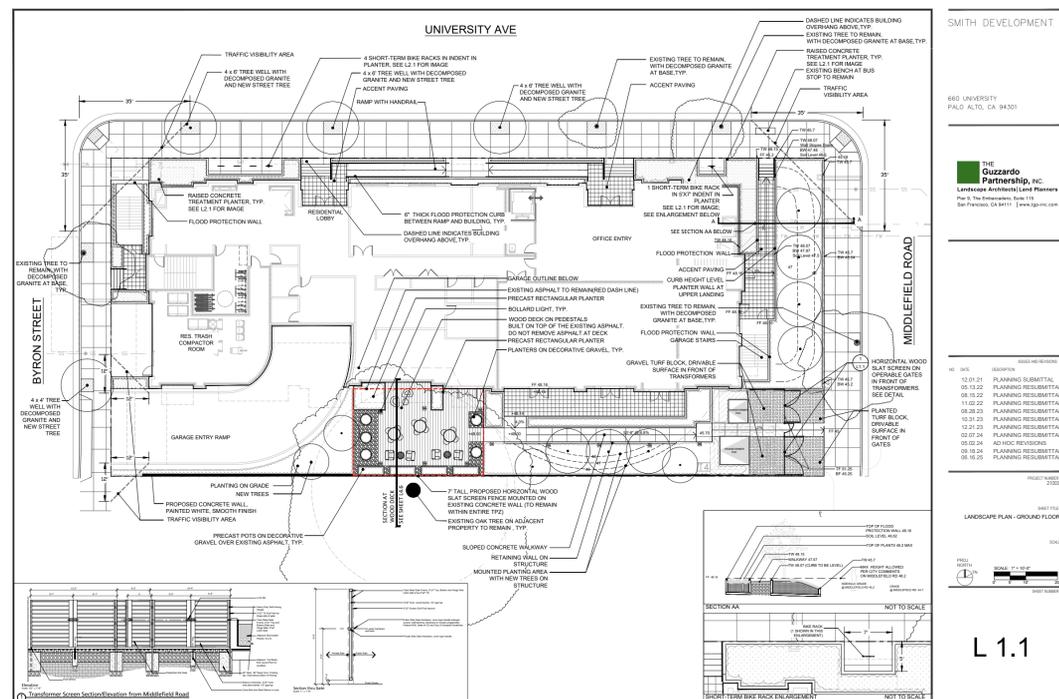
(two sheets)

Plan Index

Sheet L1.1 (one page)

Landscape Section at Wood Deck (one page)

660 University Avenue, Palo Alto
Smith Development



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NO. DATE DESCRIPTION

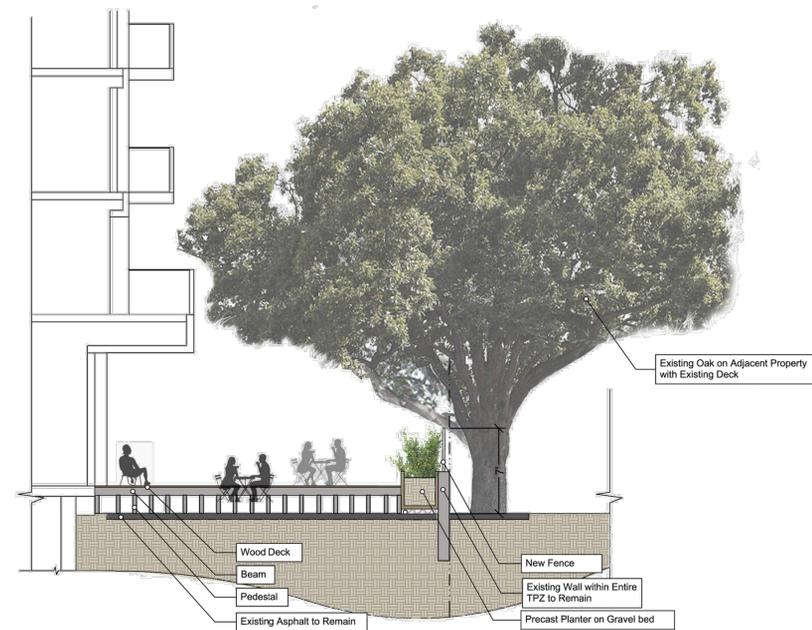
01 08/01/21 PLANNING SUBMITTAL #1
02 08/15/22 PLANNING RESUBMITTAL #2
03 11/02/22 PLANNING RESUBMITTAL #3
04 08/28/23 PLANNING RESUBMITTAL #4
05 10/31/23 PLANNING RESUBMITTAL #5
06 12/21/23 PLANNING RESUBMITTAL #6
07 02/07/24 PLANNING RESUBMITTAL #7
08 05/02/24 AD HOC REVISIONS
09 09/30/24 PLANNING RESUBMITTAL #8
10 01/17/25 PLANNING RESUBMITTAL #9
11 06/20/25 PLANNING RESUBMITTAL #10

PROJECT NUMBER
21003

SCALE

LANDSCAPE PLAN - GROUND FLOOR

L 1.1



Landscape Section at Wood Deck

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21003

SHEET TITLE
TREE DISPOSITION PLAN - SITE
ARBORIST REPORT

SCALE

SHEET NUMBER

L 4.6

T-2



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Special Tree Protection Instruction Sheet
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T-2