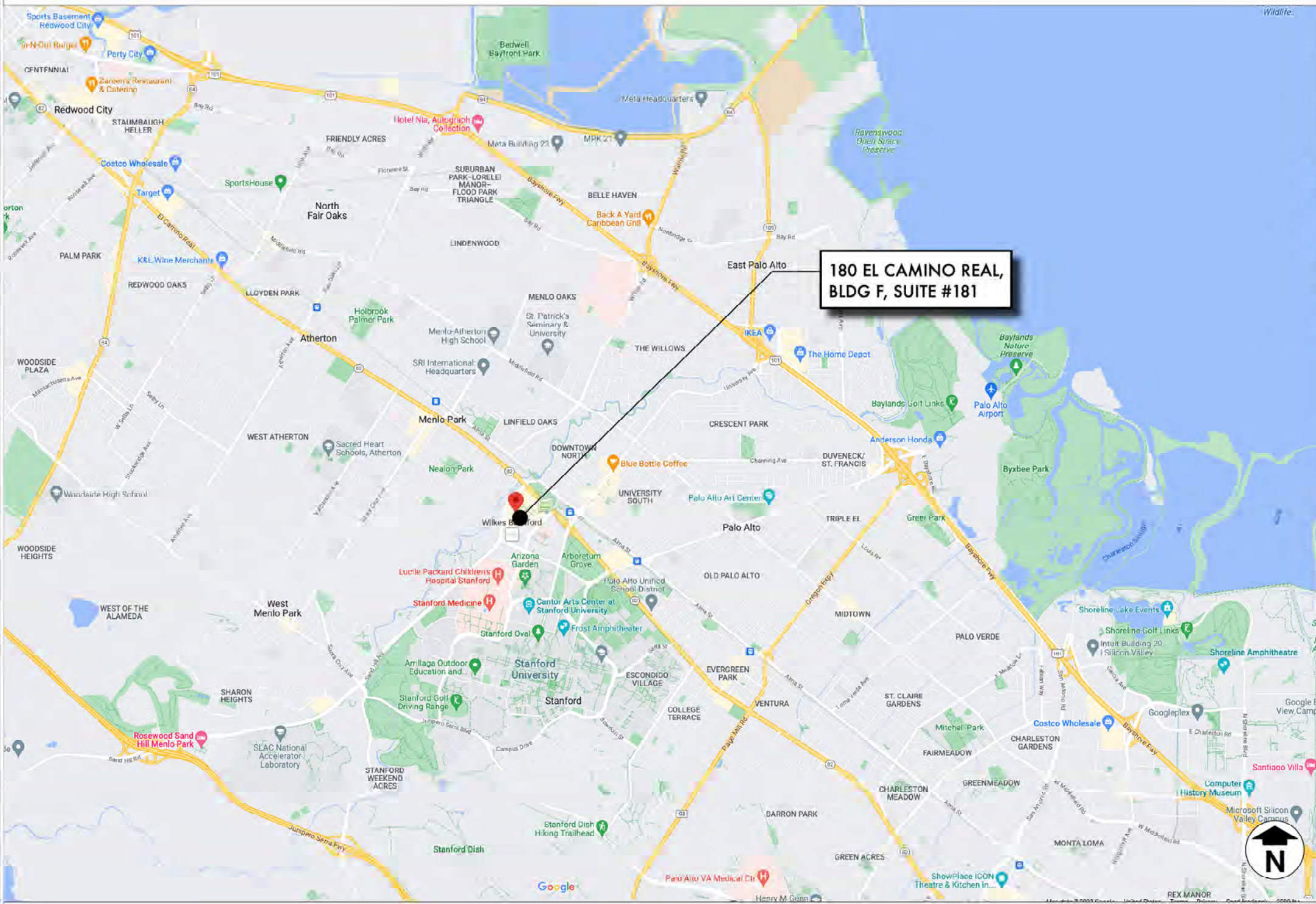




PLANNING REVIEW

180 EL CAMINO REAL, BLDG D, SUITE #136B
STORE NO. TBD,
LEVEL: GROUND LEVEL
PALO ALTO, CA 94304

Vicinity Map



Site Plan



Project Data/Codes

APPLICABLE CODES (INCLUDING CITY OF SAN MATEO CODE AMENDMENTS):
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE (CFC)
NFPA 13 "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS" (2022)
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
PALO ALTO MANICIPLE CODE

CONSTRUCTION TYPE: TYPE II-B
OCCUPANCY GROUP: A-2
FIRE SPRINKLERS: YES, FULLY SPRINKLERED
ALLOWABLE HEIGHT: 2 LEVELS - 55 FEET
ACTUAL HEIGHT: 1 LEVELS - 29'-7"
ALLOWABLE AREA: 9,500 SF
ACTUAL AREA: 3,106 SF

Scope of Work

INTERIOR REMODEL OF EXISTING RESTAURANT. SELECTED NEW SEATING, EQUIPMENT AND MILLWORK. DEMO OF SELECTED NON LOAD BEARING PARTITIONS. NEW NON RATED INTERIOR PARTITION. NEW FINISHES. MINIMAL NEW LIGHTING. NEW ADDED BAR. PLUMBING & MECHANICAL SCOPE IN THE KITCHEN.

EXTERIOR UPGRADE, INCLUDES: NEW FINISHES, NEW AWNING, NEW SIGNAGE, NEW EXTERIOR ENCLOSURE FOR THE SEATING AREA WITH PLANTERS, NEW LIGHTING & FURNITURE. REPLACEMENT OF THE EXISTING EXTERIOR LIGHT FIXTURES WITH NEW.

EXCLUSIONS: NO CHANGE TO OCCUPANT LOAD. NO CHANGE TO BUILDING ENVELOPE. NO CHANGES TO THE PARKING. NO CHANGES TO THE BUILDING HEIGHT. NO NEW PLANTING

General Notes

- ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES.
- GENERAL CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES.
- NOT USED
- FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED BY GENERAL CONTRACTOR AND INCLUDED IN CONTRACT.
- GENERAL CONTRACTOR SHALL MAKE NO REVISIONS, ALTERATIONS OR CHANGES TO THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND/OR OWNERS REPRESENTATIVE. NO ADDITIONAL COSTS FROM THE GENERAL CONTRACTOR SHALL BE CONSIDERED AND THE WORK MAY BE REQUIRED TO BE REMOVED WITHOUT SUCH APPROVAL BY ARCHITECT.
- GENERAL CONTRACTOR SHALL PROVIDE THE BUILDING OFFICIAL WITH A CERTIFICATE OF CONSTRUCTION COMPLIANCE WITH ENERGY CONSERVATION STANDARDS UPON FINAL BUILDING DEPARTMENT INSPECTIONS (WHERE REQUIRED).
- GENERAL CONTRACTOR SHALL PREPARE THE FLOOR LEVEL AND SMOOTH AND PROVIDE FOR THE FILLING OF ALL FLOOR DRAINS, FLOOR SINKS OR OTHER SUCH DEPRESSIONS, CRACKS OR IRREGULARITIES IN FLOOR SLAB.
- GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL TRADES AS REQUIRED BY CODE. LOCATIONS TO BE APPROVED BY ARCHITECT AND/OR OWNERS REPRESENTATIVE PRIOR TO EXECUTION OF WORK.
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE AND BE RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, SELECTING FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATING HIS/HER WORK WITH ALL OTHER TRADES AND PERFORMING HIS/HER WORK IN A SAFE, COMPLETE, AND SATISFACTORY MANNER.
- ALL WALL DIMENSIONS ARE F.O.F. TO F.O.F. , U.O.N.
- PROVIDE BLOCKING AT WALLS WHERE REQUIRED FOR SUPPORT OF SHELVING.
- ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.
- FIRE SPRINKLER DESIGN SHALL BE SUBMITTED UNDER SEPARATE PERMIT DIRECTLY TO THE CITY OF PALO ALTO FIRE DEPARTMENT.
- SPECIFY ON THE PLANS THAT STORAGE IN STOCK/STORAGE ROOMS SHALL BE MAINTAINED 18 INCHES OR MORE BELOW SPRINKLER HEAD DEFLECTORS, A 3-INCH RED STRIPE SHALL BE MARKED ALONG ALL WALLS WITHIN STOCK/STORAGE ROOMS AT THE MAXIMUM STORAGE HEIGHT, AND THE STRIPE SHALL BE LABELED, "NO STORAGE ABOVE THIS LINE" IN WHITE LETTERS A MINIMUM OF ONCE ON EACH WALL.
- LANDLORD STRONGLY RECOMMENDS THAT THE TENANT CONTRACTS WITH THE MALL'S BARRICADE VENDOR TO SUPPLY AND INSTALL THE BARRICADE SYSTEM. BARRICADE SHOULD BE 12" HIGH WITH TELESCOPING RODS AND SCRIM SHEETS FROM 12' HEIGHT TO TOP OF STOREFRONT. BARRICADE WILL REQUIRE A DEFERRED PERMIT SUBMITTAL/APPROVAL BY THE CITY OF PALO ALTO

Symbols Legend

	NORTH ARROW		CEILING FINISH		FIRE EXTINGUISHER, 2A10BC MINIMUM
	DRAWING TITLE SCALE:		CEILING TAG		FLOOR DRAIN
	ELEVATION NUMBER		DOOR TAG		J BOX
	EXTERIOR ELEVATION TAG		WINDOW TAG		WALL RECEPTACLE
	INTERIOR ELEVATION TAG		WALL TAG		
	SHEET NUMBER		FINISH TAG		
	ELEVATION NUMBER		SHEET KEY NOTE		
	DETAIL NUMBER		STRUCTURAL GRID		
	DETAIL REFERENCE		ELEVATION TAG		
	LEASE LINE		REVISION TAG		

Project Directory

OWNER:
BACK OF THE HOUSE INC.
SAN FRANCISCO, CA
TEL: 415.652.4012
CONTACT: HANNAH WALBRIDGE
EMAIL: HANNAH@BACKOFTHEHOUSEINC.COM

ARCHITECT:
CROME ARCHITECTURE
905 FOURTH STREET
SAN RAFAEL, CA 94901
TEL: 415.453.0700
FAX: 415.453.0785
CONTACT: MAX CROME
EMAIL: MAX@CROMEARCHITECTURE.COM

Drawing Index

ARCHITECTURAL	
A0.0	COVER SHEET
A0.3	CAL GREENS
A1.0	EXISTING/DEMOLITION FLOOR PLAN
A1.1	PROPOSED PLAN
A2.0	RCP DEMO
A2.1	PROPOSED RCP
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS & DETAILS
A5.0	INTERIOR DIGITAL MATERIAL BOARD
A5.1	EXTERIOR DIGITAL MATERIAL BOARD

SIMON GENERAL COMMENTS:

- PLANS REVIEWED AND APPROVED BY LANDLORD'S TENANT COORDINATOR MUST BE PRESENT ON THE JOB SITE AND BE ACCOMPANIED BY PLANS APPROVED FOR BUILDING PERMIT. ANY PROPOSED DEVIATION FROM THE LANDLORD APPROVED PLANS MUST BE NUMBERED AND CLOUD ON THE PLANS, AND THEN RESUBMITTED BY THE TENANT TO THE LANDLORD FOR RE-APPROVAL PRIOR TO ANY CONSTRUCTION CHANGES TAKING PLACE IN THE FIELD.
- TENANT'S GC IS REQUIRED TO CHECK IN WITH LANDLORD'S ON SITE PROPERTY MANAGER PRIOR TO THE START OF TENANT CONSTRUCTION. CONTACT MALL MANAGEMENT OFFICE.
- CONTACT PROPERTY MANAGEMENT FOR CONSTRUCTION BARRICADE REQUIREMENTS, INCLUDING BARRICADE GRAPHICS.
- TENANT'S GC IS RESPONSIBLE TO COMPLY WITH ALL MALL RULES AND REGULATIONS AND AS INSTRUCTED ON SITE BY MALL MANAGEMENT.
- ANY DAMAGE TO LANDLORD'S PROPERTY DURING TENANT DEMOLITION OR CONSTRUCTION (MALL FLOORING, BULKHEAD, NEUTRAL PIERS, ETC.) WILL BE REPAIRED PER MALL SPECIFICATIONS, AT TENANT'S EXPENSE.
- ANY LANDLORD EQUIPMENT, COMPONENT, AND / OR SERVICE FEEDING OTHER TENANT(S) THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. TENANT SHALL INSTALL ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS. ACCESS PANELS SHALL BE LABELED TO PROPERLY IDENTIFY SYSTEM, COORDINATE WITH MALL OPERATIONS.
- ALL LANDLORD COMMENTS FROM PREVIOUS REVIEW(S) ARE TO BE INCORPORATED INTO THE FINAL SET OF APPROVED DRAWINGS AND ARE TO BE ADHERED TO IN THE FIELD.
- ALL LANDLORD COMMENTS ON THIS SET OF DRAWINGS SHALL APPLY TO THE ENTIRE DOCUMENT SET, EVEN IF NOT REPEATED ON EVERY SHEET IN DRAWING SET.
- THE RE-USE OF ANY EXISTING CONSTRUCTION, FINISHES, EQUIPMENT, OR ELECTRICAL, PLUMBING OR HVAC SYSTEMS CURRENTLY IN THE SPACE IS CONDITIONAL UPON IT BEING APPROPRIATE FOR RE-USE. ANY EXISTING CONDITION OR EQUIPMENT TO BE RE-USED MUST BE RESTORED TO LIKE NEW CONDITIONS. THE LANDLORD MAKES NO WARRANTY ON THE RE-USE OF ANY EXISTING CONDITION IN THE SPACE.
- IF AT ANY POINT A FAILURE, UPGRADES, AND / OR IMPROVEMENTS TO EXISTING SYSTEMS OCCUR, IT IS THE SOLE RESPONSIBILITY OF THE TENANT TO REPAIR OR REPLACE, AT TENANT EXPENSE.
- LANDLORD AND TENANT RESPONSIBILITIES ARE AS DEFINED IN LEASE AGREEMENT.
- LANDLORD STRONGLY PREFERS USE OF ENERGY STAR PRODUCTS AND/OR EQUIPMENT WHENEVER POSSIBLE DURING TENANT BUILD OUT, WHICH CAN REDUCE ENERGY CONSUMPTION.

SUBMITTAL
PLANNING REVIEW 2/26/24

COVER SHEET

SHEET NUMBER

A0.0



2022 NONRESIDENTIAL GREEN BUILDING APPLICATION CALGREEN MANDATORY

Version 01/23

GB-1

MANDATORY

Application: This sheet shall be used for nonresidential projects that do not trigger Tier 1 or Tier 2 requirements and include: Tenant improvements, renovations or alterations with a permit value of \$200,000 or more.

5.1 Planning and Design	Code Section	Y	N	Plan Sheet, Spec or Attachment Reference	Compliance Path Verification					
					Plan Check		Rough GB Inspection IVR # 152		Final Inspection IVR # 153	
					CORR	INITIAL	CORR	INITIAL	CORR	INITIAL
Mandatory	Storm water pollution prevention for projects that disturb < 1 acre of land			PAMC 16.14.290/ 5.106.1						
Mandatory	Local storm water pollution prevention			PAMC 16.14.290/ 5.106.1.1						
Mandatory	Best management practices			5.106.1.2						
Mandatory	Bicycle parking for (Additions or alterations which add nine or less visitor vehicular parking spaces exempt)			PAMC 16.54.060/ 5.106.4/ 5.106.4.1.3						
Mandatory	Short term bicycle parking			5.106.4.1.1						
Mandatory	Long term bicycle parking			5.106.4.1.2						
Mandatory	Grading and paving (exception for additions and alterations not altering the drainage path)			5.106.10						
5.3 Water Efficiency and Conservation										
Mandatory	Meters, separate submeters or metering devices shall be installed as follows:			5.303.1						
Mandatory	Excess consumption (Submeters for additions that consume over 1,000 gal/ day)			5.303.1.2						
Mandatory	Indoor Water Use: Water closets (shall not exceed 1.28 gallons per flush)			5.303.3.1						
Mandatory	Indoor Water Use: Wall-mounted urinals (0.125gpf)			5.303.3.2.1						
Mandatory	Indoor Water Use: Floor-mounted urinals (0.5 gpf)			5.303.3.2.2						
Mandatory	Indoor Water Use: Single showerhead (1.8 gpm at 80 psi)			5.303.3.3.1						
Mandatory	Indoor Water Use: Multiple showerheads serving one shower (flow rate of 1.8 gpm at 80 psi)			5.303.3.3.2						
Mandatory	Indoor Water Use: Nonresidential lavatory faucets (0.5 gpm at 60 psi)			5.303.3.4.1						
Mandatory	Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi)			5.303.3.4.2						
Mandatory	Indoor Water Use: Wash fountains (1.8 gpm at 60 psi)			5.303.3.4.3						
Mandatory	Indoor Water Use: Metering faucets (0.2 gallons/ cycle)			5.303.3.4.4						
Mandatory	Indoor Water Use: Metering faucets for wash fountains (0.2 gallons/ cycle)			5.303.3.4.5						
Mandatory	Commercial kitchen equipment			5.303.4						
Mandatory	Food Waste Disposers			5.303.4.1						
Mandatory	Indoor Water Use: Areas of additions or alteration			5.303.5						
Mandatory	Indoor Water Use: Standards for plumbing fixtures and fittings (2022 California Plumbing Code)			5.303.6						
Mandatory	Outdoor potable water use in landscape areas (MWELO)			Title 23, Chapter 2.7/ 5.304.1						
Mandatory	Invasive species prohibited			PAMC 16.14.330 Section 5.304.2						
Mandatory	Non-residential enhanced water budget			PAMC 16.14.340 Section 5.306						
Mandatory	Cooling Tower Water Use (locally amended)			PAMC 16.14.350 Section 5.307						
5.4 Material Conservation and Resource Efficiency										
Mandatory	Weather protection			5.407.1						
Mandatory	Moisture control: Sprinklers			5.407.2.1						
Mandatory	Moisture control: Entries and openings			5.407.2.2						
Mandatory	Moisture control: Exterior door protection			5.407.2.2.1						
Mandatory	Moisture control: Flashing			5.407.2.2.2						
Mandatory	Construction waste management			5.408.1						
Mandatory	Construction waste management plan			5.408.1.1						
Mandatory	Waste management company			5.408.1.2						
Mandatory	Waste stream reduction alternative			5.408.1.3						
Mandatory	Documentation: Construction waste management plan, waste management company, waste stream reduction alternative			5.408.1.4						
Mandatory	Universal waste (AA)			5.408.2						
Mandatory	Excavated soil and land clearing debris (100% reuse or recycle)			5.408.3						
Mandatory	Enhanced construction waste reduction (80% Diversion w/ job valuation >\$25,000 or meet state standards of 65%)			PAMC 16.14.410 Section A5.408						
Mandatory	Recycling by occupants (with exceptions)			5.410.1						
Mandatory	Recycling by occupants: Additions (with exceptions)			5.410.1.1						
Mandatory	Testing and adjusting for new buildings < 10,000 SF or new systems that serve additions or alterations <i>[N]</i> <i>[AA]</i>			5.410.4						
Mandatory	Testing and adjusting for systems: Renewable energy, landscape irrigation, and water reuse			5.410.4.2						
Mandatory	Testing and adjusting: Procedures			5.410.4.3						
Mandatory	Testing and adjusting: HVAC balancing			5.410.4.3.1						
Mandatory	Testing, adjusting and balancing: Reporting for HVAC balancing			5.410.4.4						
Mandatory	Operation and maintenance (O&M) manual			5.410.4.5						
Mandatory	Inspection and reports			5.410.4.5.1						
Mandatory	Performance reviews – Energy (projects over 10,000 square feet)			PAMC 16.14.370 Section 5.410.4.7						
Mandatory	Performance reviews – Water (sites > 1 acre)			PAMC 16.14.380 Section 5.410.4.8						

5.5 Environmental Quality	Code Section	Y	N	Plan Sheet, Spec or Attachment Reference	Compliance Path Verification					
					Plan Check		Rough GB Inspection IVR # 152		Final Inspection IVR # 153	
					CORR	INITIAL	CORR	INITIAL	CORR	INITIAL
Mandatory	Fireplaces			5.503.1						
Mandatory	Temporary ventilation (MERV 8)			5.504.1						
Mandatory	Covering of duct openings and protection of mechanical equipment during construction			5.504.3						
Mandatory	Adhesives, sealants and caulks: Comply with VOC limits (Table 5.504.4.1 and 5.504.4.2 for VOC limits)			5.504.4.1						
Mandatory	Paints and Coatings: Comply with VOC Limits (Table 5.504.4.3)			5.504.4.3						
Mandatory	Aerosol paints and coatings			5.504.4.3.1						
Mandatory	Carpet systems: Carpet adhesive (Table 5.504.4.1 for VOC limits)			5.504.4.4.2						
Mandatory	Composite wood products: Formaldehyde limits (Table 5.504.4.5)			5.504.4.5						
Mandatory	Composite wood products: Documentation			5.504.4.5.3						
Mandatory	Resilient flooring systems			5.504.4.6						
Mandatory	Resilient flooring verification of compliance			5.504.4.6.1						
Mandatory	Filters: Labeling (MERV 13, with exceptions)			5.504.5.3						
Mandatory	Environmental tobacco smoke (ETS) control			5.504.7						
Mandatory	Indoor moisture control			5.505.1						
Mandatory	Outside air delivery (For Indoor Air Quality)			5.506.1						
Mandatory	Carbon dioxide (CO2) monitoring (For Indoor Air Quality)			5.506.2						
Mandatory	Indoor Air Quality Management Plan			PAMC 16.14.390						
Mandatory	Acoustical control (STC Values per ASTM E90 and ASTM E413)			5.507.4						
Mandatory	Exterior noise transmission, prescriptive method (with exceptions)			5.507.4.1						
Mandatory	Noise exposure where noise contours are not readily available			5.507.4.1.1						
Mandatory	Exterior noise transmission, performance method			5.507.4.2						
Mandatory	Site features			5.507.4.2.1						
Mandatory	Documentation of compliance			5.507.4.2.2						
Mandatory	Interior sound transmission (with note)			5.507.4.3						
Mandatory	Ozone depletion and greenhouse gas reductions			5.508.1						
Mandatory	Chlorofluorocarbons (CFC's)			5.508.1.1						
Mandatory	Halons			5.508.1.2						
Mandatory	Supermarket refrigerant leak reduction			5.508.2						
Mandatory	Refrigerant piping			5.508.2.1						
Mandatory	Refrigerant piping valves			5.508.2.2						
Mandatory	Refrigerant piping access valves			5.508.2.2.2						
Mandatory	Refrigerated service case			5.508.2.3						
Mandatory	Refrigerant receivers			5.508.2.4						
Mandatory	Pressure testing			5.508.2.5						
Mandatory	Evacuation (after pressure testing)			5.508.2.6						

Legend:

Y - Yes; the measure is in the scope of work

N - No; the measure is not in the scope of work

PAMC - Palo Alto Municipal Code; locally amended

[N] - New Construction

[MF] - Multi-family dwellings

[AA] - Additions and alterations

[HR] - High-rise building

The [Green Building Survey](#) is a required project submittal. The survey can be found at the following [link](#). The online survey shall be completed and a Green Building Survey Report will be sent in an email. Include a copy of the survey report on a separate page in this plan set. Please indicate the reference page here _____.

The ENERGY STAR Portfolio Manager profile is a required project submittal and can be created at the following [link](#). The Portfolio Manager profile shall be opened and a screenshot shall be included on a separate page in this plan set. Please indicate the reference page here _____.

For more information on energy benchmarking, please visit City of Palo Alto Utilities "Benchmarking Your Building" webpage [here](#).

Special Inspector Acknowledgement

The project will be verified by a
COMMERCIAL GREEN BUILDING SPECIAL INSPECTOR

I have reviewed the project plans and specifications, and they are in conformance with the CALGreen mandatory and elective measures claimed. I have reviewed and understand the after-construction requirements below.

Signature (Green Building Special Inspector) _____

Print Name _____

Phone or Email _____

Date _____

SECTION TO BE COMPLETED AFTER CONSTRUCTION

After construction is complete submit the following at the City Development Center to schedule your final inspection:

- ☐ Construction debris receipts from an approved facility using Green Halo.
- ☐ If HERS testing was required per the homes energy report, attach the completed forms.
- ☐ If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Types) rerun the report and attach it.
- ☐ Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment.

I certify that:

☐ CALGreen inspections were performed throughout construction.

☐ The home has met the CALGreen measures as claimed on this sheet. Those required for landscaping may be excluded from this confirmation if verified within 6 months of final inspection.

☐ Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment.

Signature (Green Building Special Inspector) _____

Sign only after project is complete

Print Name _____

Date _____

CITY STAMPS ONLY

Project Address:

2022 CALIFORNIA GREEN BUILDING CODE- MANDATORY CHECKLIST

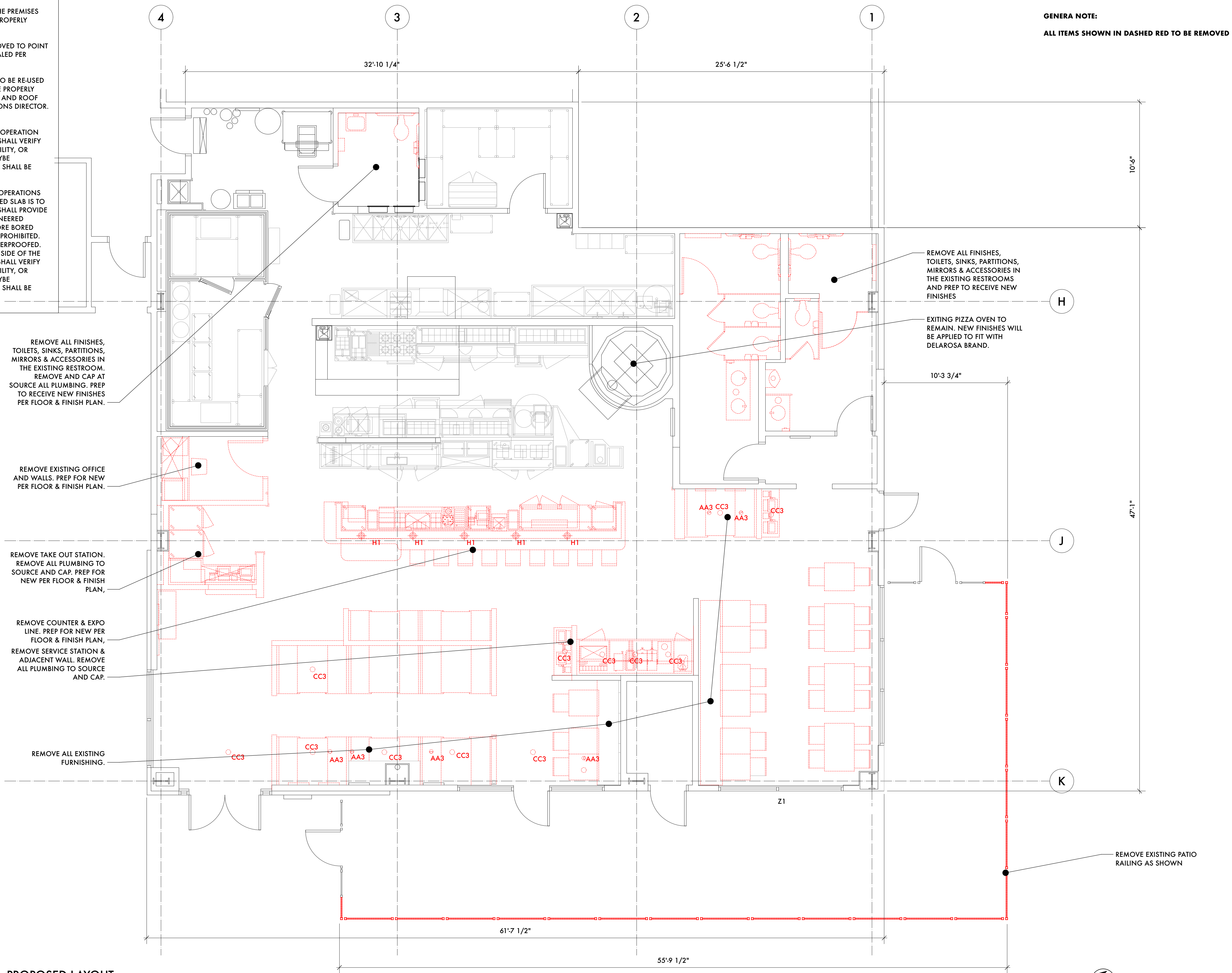


• CONTRACTORS SHALL FIELD VERIFY ALL FIELD CONDITIONS PRIOR TO THE START OF ANY CONSTRUCTION. BE ADVISED THAT ALL CHANGES AND MODIFICATION TO THE LANDLORD'S APPROVED DRAWINGS SHALL BE RESUBMITTED TO LANDLORD FOR RE-APPROVAL. ANY CONSTRUCTION COMPLETED WITH OUT LANDLORD APPROVAL SHALL BE CORRECTED AS APPROVED BY LANDLORD AT TENANT'S EXPENSE.

• ALL ABOVE GROUND UTILITY LINES NOT TO BE RE-USED MUST BE REMOVED TO POINT OF ORIGIN. ALL UNDER SLAB UTILITY LINES TO BE CUT, CAPPED AND SEALED PER CODE.

• **SLAB REQUIREMENTS:**
SLAB ON GRADE: TENANT'S GENERAL CONTRACTOR SHALL ADVISE THE OPERATION TEAM PRIOR TO ANY SLAB MODIFICATIONS OR REMOVAL. TENANT GC SHALL VERIFY THAT WORK SHALL NOT CONFLICT WITH ANY EXISTING STRUCTURAL, UTILITY, OR OTHER UNDER-SLAB CONDITION. (NONDESTRUCTIVE VERIFICATION MAYBE REQUIRED.) ANY DAMAGE OR DOWNTIME CAUSED BY TENANT'S WORK SHALL BE REPAIRED AND REIMBURSED AT TENANT'S EXPENSE.

ELEVATED SLABS: TENANT'S GENERAL CONTRACTOR SHALL ADVISE THE OPERATIONS TEAM PRIOR TO ANY SLAB MODIFICATION OR REMOVAL. IF ANY ELEVATED SLAB IS TO BE MODIFIED IN ANYWAY (DRILLED, CORED, OR PENETRATED), TENANT SHALL PROVIDE STAMPED AND CERTIFIED DRAWINGS BY A LICENSED STRUCTURAL ENGINEER CERTIFIED IN THE LOCAL JURISDICTION. ALL PENETRATIONS SHALL BE CORE BORED ONLY. SAW CUTTING, JACK HAMMERING, AND TRENCHING IS STRICTLY PROHIBITED. ALL PENETRATIONS SHALL BE SLEEVED, SEALED, FIRE STOPPED, AND WATERPROOFED. ALL PENETRATIONS SHALL BE IDENTIFIED BY A TAG ON EITHER SIDE OF THE SLAB, AND BE LABELED WITH THE REQUIRED NAPA RATING. TENANT GC SHALL VERIFY THAT WORK SHALL NOT CONFLICT WITH ANY EXISTING STRUCTURAL, UTILITY, OR OTHER UNDER-SLAB CONDITION. (NONDESTRUCTIVE VERIFICATION MAYBE REQUIRED.) ANY DAMAGE OR DOWNTIME CAUSED BY TENANT'S WORK SHALL BE REPAIRED AND REIMBURSED AT TENANT'S EXPENSE.



1 PROPOSED LAYOUT
Scale: 1/4" = 1'-0"

delarosa

DELAROSA
180 EL CAMINO REAL,
BLDG D,
SUITE #136B
PALO ALTO, CA 94304



905 4th Street
San Rafael
California
94901
† 415 453 0700

CROME Architecture

SUBMITTAL
PLANNING REVIEW 2/26/24

EXISTING/DEMO
FLOOR PLAN

SHEET NUMBER

A1.0

LL PLAN COMMENTS:
• ALL FLOORING TRANSITIONS MUST BE SMOOTH AND FLUSH. THE USE OF PLASTIC, VINYL, OR RUBBER TRANSITIONS STRIPS IS STRICTLY PROHIBITED. TENANTS MUST UTILIZE A HARD SURFACE TRANSITION.

• TENANT IS REQUIRED TO INSTALL A WATERPROOF MEMBRANE IN ALL WET AREAS (RESTROOMS, KITCHENS, FOOD SERVICES, ETC...) OF THE SPACE. TENANT SHALL USE A 30 MIL POLYETHYLENE CLEAVAGE MEMBRANE (EQUAL TO NOBLESEAL TS) INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND ANSI A108. MEMBRANE MUST BE EXTENDED UP THE WALL A MINIMUM OF 6" OR EQUAL TO THE HEIGHT OF THE FLOOR BASE.

• NO RUBBER OR VINYL BASE IS PERMITTED IN THE SALES AREA OF THE PREMISES.

• GC TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE SPACE. FAILURE TO PROPERLY FIELD VERIFY EXISTING CONDITIONS DOES NOT RELIEVE THE TENANT OF ANY EXPENSES OR RESPONSIBILITIES RESULTING FROM THAT FAILURE.

• NOTHING IS PERMITTED TO BE ATTACHED TO, SUSPENDED FROM, OR PENETRATE LANDLORD'S STRUCTURE, FLOOR DECK, OR ROOF DECK. YOU MAY ATTACH, NON-DESTRUCTIVELY, TO OR SUSPEND FROM THE TOP CHORD OF THE JOIST OR THE STRUCTURAL STEEL WHICH EXISTS ABOVE THE TENANT SPACE. WHEN ATTACHING TO LANDLORD'S STRUCTURE, **DO NOT DRILL, WELD, SCREW, OR SHOOT** INTO STRUCTURE. ALTERNATIVE METHODS OF ATTACHMENT ONLY, NOTHING TO DAMAGE LANDLORD'S BASE BUILDING STRUCTURE. TENANT SHALL PROVIDE SIGNED AND SEALED STRUCTURAL DRAWINGS, BY A STRUCTURAL ENGINEER WITH LEGALLY ACTIVE REGISTRATION AS INDICATED BY ALL JURISDICTIONAL REQUIREMENTS, FOR ALL STRUCTURAL MODIFICATIONS FOR LANDLORD RECORDS.

• ANY LANDLORD EQUIPMENT, COMPONENT, AND / OR SERVICE FEEDING OTHER TENANT(S) THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. TENANT SHALL INSTALL ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS. ACCESS PANELS SHALL BE LABEL TO PROPERLY IDENTIFY SYSTEM, COORDINATE WITH MALL OPERATIONS.

• ALL REAR ENTRIES MUST HAVE A DOORBELL FOR DELIVERIES.

• ALL CONCRETE PATCHING MUST BE LEVEL WITH THE EXISTING CONCRETE FLOOR.

• TENANT IS REQUIRED TO INSTALL A WATERPROOF MEMBRANE IN ALL WET AREAS (RESTROOMS, KITCHENS, FOOD SERVICES, ETC...) OF THE SPACE. TENANT SHALL USE A 30 MIL POLYETHYLENE CLEAVAGE MEMBRANE (EQUAL TO NOBLESEAL TS) INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND ANSI A108. MEMBRANE MUST BE EXTENDED UP THE WALL A MINIMUM OF 4" OR EQUAL TO THE HEIGHT OF THE FLOOR BASE.

DISPLAY FIXTURES, RACKS, SHELVING, AND STORAGE UNIT REQUIREMENTS:

• TENANT SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND USE OF ANY DISPLAY OR STORAGE SYSTEM(S) WITHIN THE PREMISE INCLUDING ALL COMPLIANCE WITH APPLICABLE BUILDING CODES, FIRE CODES AND THE REQUIREMENTS OF ANY INSURANCE RATING BUREAUS. IF ANYTHING DONE, OMITTED TO BE DONE OR SUFFERED TO BE DONE BY TENANT IN, UPON OR ABOUT THE PREMISES IN REGARD TO SUCH DISPLAY OR STORAGE SYSTEM(S) SHALL RESULT IN A FIRE CODE VIOLATION(S) AND THE TENANT FAILS TO TAKE CORRECTIVE ACTION AND / OR PAY THE ASSOCIATED FINE, REGARDLESS OF WHETHER ASSESSED AGAINST TENANT OR LANDLORD, WITHIN THE PRESCRIBED TIME PERIOD, THEN TENANT SHALL BE LIABLE FOR ALL COSTS AND EXPENSES RESULTING FROM SUCH VIOLATION(S) AND LANDLORD SHALL HAVE THE RIGHT TO CORRECT ANY SUCH CONDITION(S) AT TENANT'S EXPENSE.

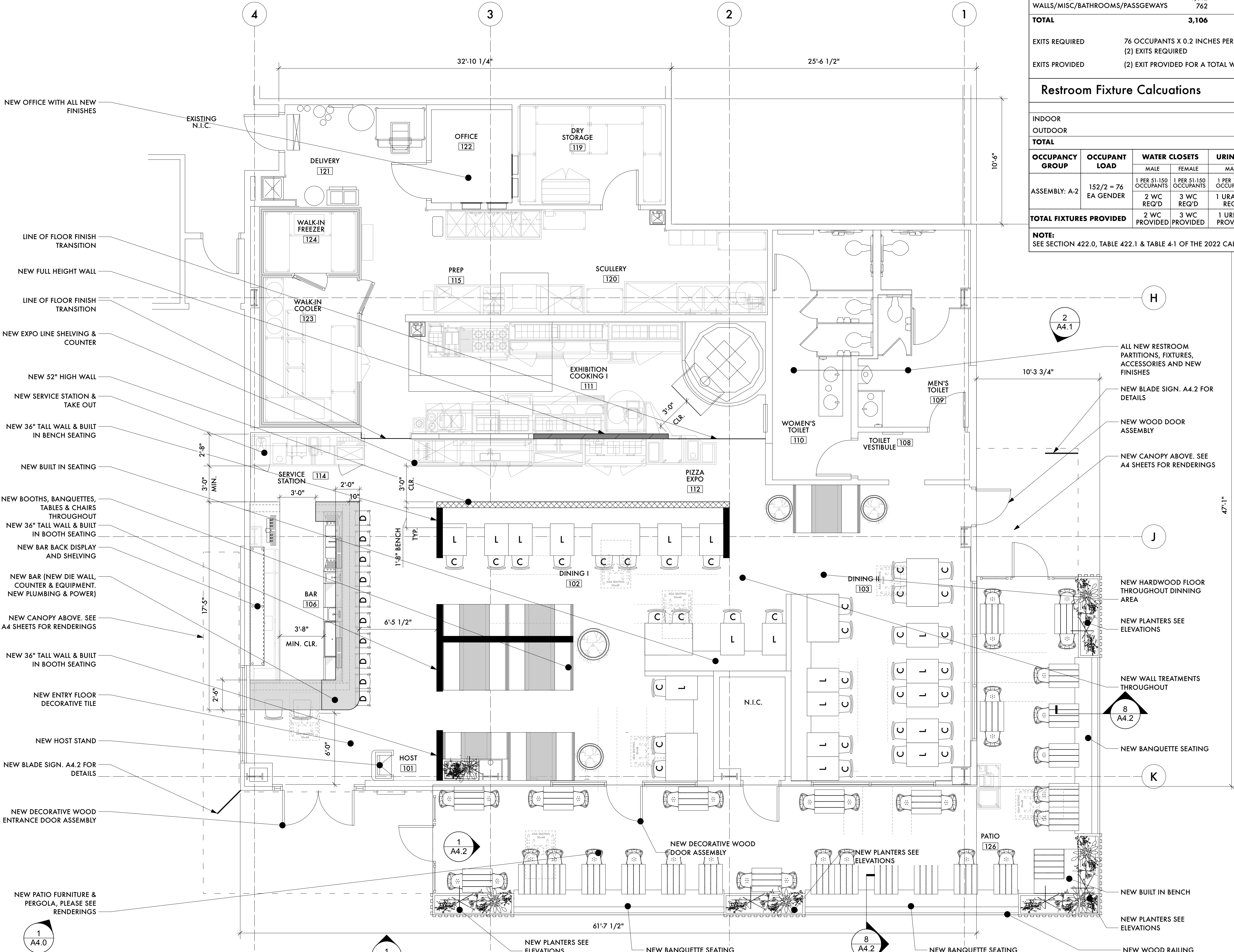
• TENANT DISPLAY FIXTURES IN THE RETAIL SPACE AND RACK / SHELVING / STORAGE UNITS IN THE STOCKROOM SHALL BE DESIGNED TO PROVIDE ADEQUATE CLEARANCE FOR THE AUTOMATIC (FIRE) SPRINKLER SYSTEM. NO DISPLAYS OR STORAGE SHOULD EXCEED 12FT AND CEILINGS MUST BE INSTALLED TO PROVIDE A MINIMUM OF 18" OF CLEARANCE BETWEEN THE TOP OF THE STORAGE SYSTEM AND SPRINKLER DEFLECTORS.

• TENANT DISPLAYS OR STORAGE HIGHER THAN 12'-0" ARE CLASSIFIED AS "HIGH PILED STORAGE", WHICH REQUIRES HIGH HAZARDOUS AUTOMATIC (FIRE) SPRINKLER PROTECTION DESIGNED PER FM GLOBAL LOSS PREVENTION DATA SHEET AND NFPA REQUIREMENTS FOR THE STORAGE OF "GROUP A PLASTIC" COMMODITIES. HIGH PILED STORAGE ALSO REQUIRES A MINIMUM OF 36" OF CLEARANCE BETWEEN THE TOP OF STORAGE AND SPRINKLER DEFLECTORS.

• TENANT MOBILE / COMPACT STORAGE SYSTEMS SHALL BE CONSTRUCTED OF WIRE MESH SHELVES. HOWEVER, IF CONSTRUCTED WITH SOLID SHELVES (WOOD OR STEEL), THE UNITS SHALL BE INSTALLED WITH A MINIMUM OF A 3" SPACER TO PROVIDE SPACE BETWEEN UNITS AT MAXIMUM 5'-0" INTERVALS.

• TENANT'S ARCHITECT AND GENERAL CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION TO THE MALL REQUIRED SPRINKLER CONTRACTOR REGARDING STOCK / STORAGE AREA:
* TYPE OF STORAGE SYSTEM(S). (INCLUDING DETAILS OF THE STORAGE SYSTEM(S)).
* TYPE OF SHELVING. (WIRE MESH / SOLID WOOD / SOLID STEEL, ETC.) O TYPE OF COMMODITIES. (PLASTICS, AEROSOLS, CLOTHING, ETC)
* ELEVATION OF HIGHEST SHELF / CEILING HEIGHT.

• LANDLORD STRONGLY PREFERS USE OF ENERGY STAR PRODUCTS AND/OR EQUIPMENT WHENEVER POSSIBLE DURING TENANT BUILD OUT, WHICH CAN REDUCE ENERGY CONSUMPTION.



PROPOSED LAYOUT
Scale: 1/4" = 1'-0"

Occupancy Loads / Square Footage

	S.F.	Load	Factor	Occupants
DINNING	913	15		61
BAR SEATING	209" LINEAR (160)	24"		9
STORAGE	259	300		1
FOOD PREP/ STORAGE	1,012	200		5
WALLS/MISC/BATHROOMS/PASSGEWAYS	762	NA		0
TOTAL	3,106			76
EXITS REQUIRED	76 OCCUPANTS X 0.2 INCHES PER OCCUPANT = 15.2 INCHES (2) EXITS REQUIRED			
EXITS PROVIDED	(2) EXIT PROVIDED FOR A TOTAL WIDTH OF 96 INCHES			

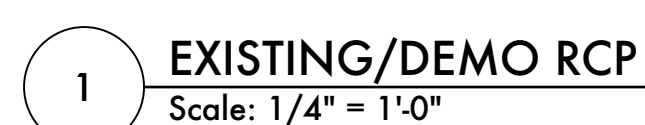
Restroom Fixture Calculations

	Occupants
INDOOR	76
OUTDOOR	76
TOTAL	152

OCCUPANCY GROUP	OCCUPANT LOAD	WATER CLOSETS		URINALS	LAVATORIES	
		MALE	FEMALE	MALE	MALE	FEMALE
ASSEMBLY: A-2	152/2 = 76 EA GENDER	1 PER 51-150 OCCUPANTS	1 PER 51-150 OCCUPANTS	1 PER 1-200 OCCUPANTS	1 PER 1-150 OCCUPANTS	1 PER 1-150 OCCUPANTS
		2 WC REQ'D	3 WC REQ'D	1 URINAL REQ'D	1 LAV REQ'D	1 LAV REQ'D
		TOTAL FIXTURES PROVIDED		2 WC PROVIDED	3 WC PROVIDED	1 URINAL PROVIDED

NOTE:
SEE SECTION 422.0, TABLE 422.1 & TABLE 4-1 OF THE 2022 CALIFORNIA PLUMBING CODE.





REFLECTED CEILING PLAN COMMENTS:

- IF NOT ALREADY EXISTING, TENANT MUST PROVIDE A SEALED PARTITION ABOVE THE STOREFRONT TO SEPARATE THE COMMON AREA CEILING FROM THE TENANT'S SPACE. (SHALL BE RATED IF REQUIRED BY CODE AND ALL PENETRATION SHALL COMPLY AND BE LABELED WITH THE REQUIRED NFPA RATING.)

- NOTHING IS PERMITTED TO BE ATTACHED TO, SUSPENDED FROM, OR PENETRATE LANDLORD'S STRUCTURE, FLOOR DECK, OR ROOF DECK. YOU MAY ATTACH, NON-DESTRUCTIVELY, TO OR SUSPEND FROM THE TOP CHORD OF THE JOIST OR THE STRUCTURAL STEEL WHICH EXISTS ABOVE THE TENANT SPACE. WHEN ATTACHING TO LANDLORD'S STRUCTURE, DO NOT DRILL, WELD, SCREW, OR SHOOT INTO STRUCTURE. ALTERNATIVE METHODS OF ATTACHMENT ONLY, NOTHING TO DAMAGE LANDLORD'S BASE BUILDING STRUCTURE. TENANT SHALL PROVIDE SIGNED AND SEALED STRUCTURAL DRAWINGS, BY A STRUCTURAL ENGINEER WITH LEGALLY ACTIVE REGISTRATION AS INDICATED BY ALL JURISDICTIONAL REQUIREMENTS, FOR ALL STRUCTURAL MODIFICATIONS FOR LANDLORD RECORDS.

- ANY LANDLORD EQUIPMENT, COMPONENT, AND / OR SERVICE FEEDING OTHER TENANT(S) THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. TENANT SHALL INSTALL ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS. ACCESS PANELS SHALL BE LABEL TO PROPERLY IDENTIFY SYSTEM, COORDINATE WITH MALL OPERATIONS.

- SIMON REQUIRES ALL TENANTS TO USE LANDLORD'S REQUIRED CONTRACTOR FOR ALL SPRINKLER WORK. REFER TO SPRINKLER COMMENTS FOR FURTHER REQUIREMENTS.

SECURITY CAMERA COMMENTS:

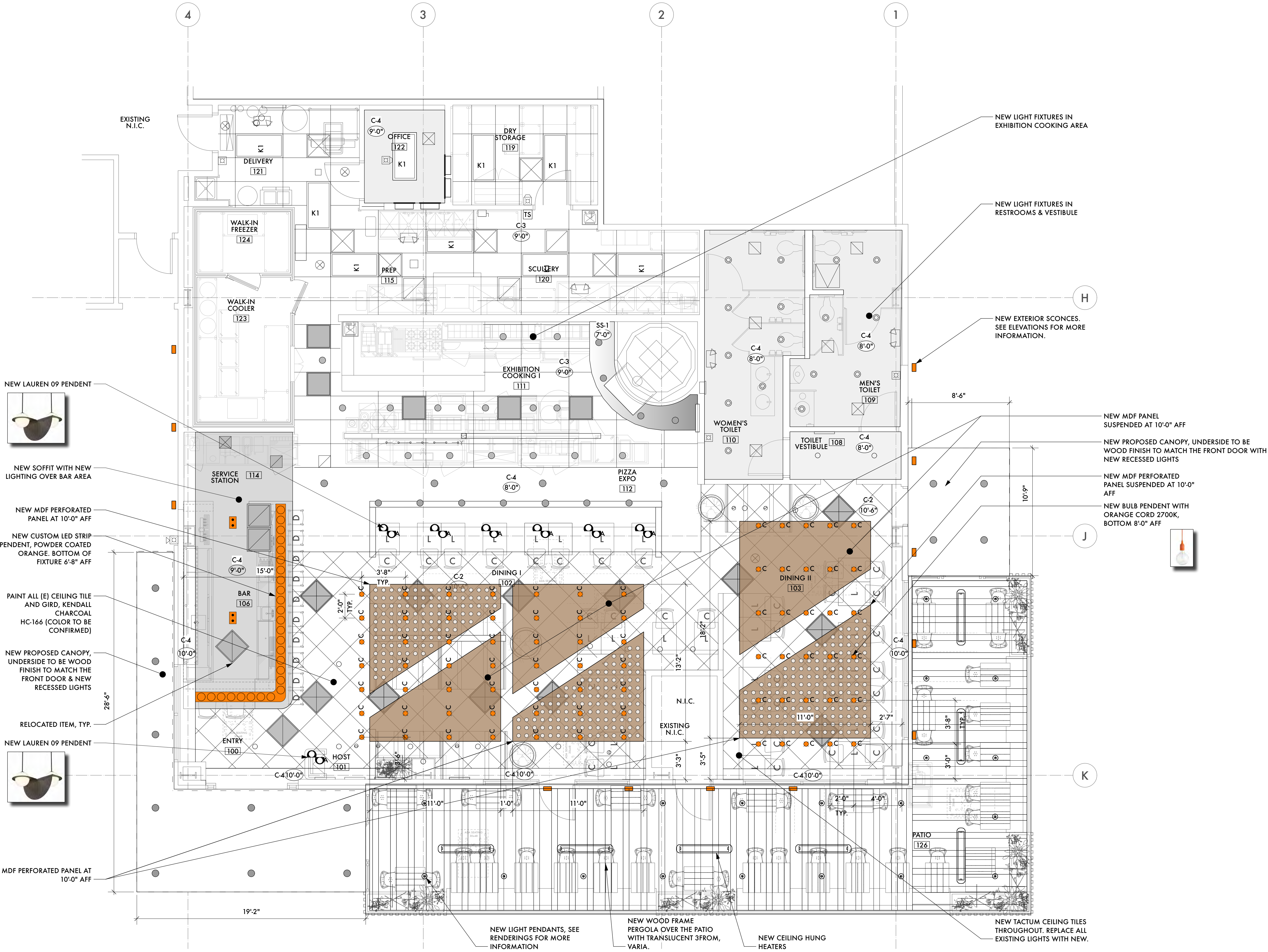
- SECURITY EQUIPMENT MUST BE INSTALLED WITHIN THE PREMISES; CAMERAS AND/OR SECURITY EQUIPMENT ARE NOT PERMITTED ON THE EXTERIOR OF THE PREMISES UNLESS APPROVED IN WRITING BY LANDLORD. HOWEVER, IN CASES WHERE LANDLORD APPROVES EXTERIOR CAMERAS OR EQUIPMENT, THE CAMERAS OR EQUIPMENT SHOULD BE POSITIONED AS TO LIMIT VIEWING AREA AND SHALL CAPTURE IMAGES OF THE TENANT'S DOORWAYS ONLY AND SHALL NOT CAPTURE IMAGES OUTSIDE OF THE PREMISES. IN CASES WHERE A TENANT MAY HAVE AN APPROVED PATIO AREA, ALL CAMERAS OR EQUIPMENT SHALL BE INSTALLED AND OPERATED SO AS TO CAPTURE ONLY THE APPROVED PATIO AND NO COMMON AREA.

- ALL EQUIPMENT, INSTALLATION METHODS AND LOCATIONS MUST BE APPROVED BY LANDLORD IN WRITING PRIOR TO INSTALLATION.

- NO SIGNAL SHALL BE EMITTED OUTSIDE THE PREMISES.

- ABSOLUTELY NO DISTRIBUTION, ELECTRONICALLY OR OTHERWISE, OF CAPTURED IMAGE OR VIDEO TO ANY THIRD PARTY OTHER THAN LANDLORD UPON REQUEST.

- SECURITY CAMERAS, VISION PANELS, OR "BUBBLES" SHALL NOT BE VISIBLE TO PUBLIC VIEW IN THE DESIGN CONTROL ZONE OR ON PATIOS FROM THE COMMON AREA.



NEW SOFFIT WITH NEW LIGHTING OVER BAR AREA

NEW MDF PERFORATED PANEL AT 10'-0" AFF

NEW CUSTOM LED STRIP PENDENT, POWDER COATED ORANGE. BOTTOM OF FIXTURE 6'-8" AFF

PAINT ALL (E) CEILING TILE AND GIRD, KENDALL CHARCOAL HC-166 (COLOR TO BE CONFIRMED)

NEW PROPOSED CANOPY, UNDERSIDE TO BE WOOD FINISH TO MATCH THE FRONT DOOR & NEW RECESSED LIGHTS

RELOCATED ITEM, TYP.



MDF PERFORATED PANEL AT 10'-0" AFF

PROPOSED RCP
Scale: 1/4" = 1'-0"

NEW LIGHT FIXTURES IN EXHIBITION COOKING AREA

NEW LIGHT FIXTURES IN RESTROOMS & VESTIBULE

NEW EXTERIOR SCONCES. SEE ELEVATIONS FOR MORE INFORMATION.

NEW MDF PANEL SUSPENDED AT 10'-0" AFF

NEW PROPOSED CANOPY, UNDERSIDE TO BE WOOD FINISH TO MATCH THE FRONT DOOR WITH NEW RECESSED LIGHTS

NEW MDF PERFORATED PANEL SUSPENDED AT 10'-0" AFF

NEW BULB PENDENT WITH ORANGE CORD 2700K, BOTTOM 8'-0" AFF

NEW LIGHT PENDANTS, SEE RENDERINGS FOR MORE INFORMATION

NEW WOOD FRAME PERGOLA OVER THE PATIO WITH TRANSLUCENT 3FROM, VARIA.

NEW CEILING HUNG HEATERS

NEW TACTUM CEILING TILES THROUGHOUT. REPLACE ALL EXISTING LIGHTS WITH NEW.

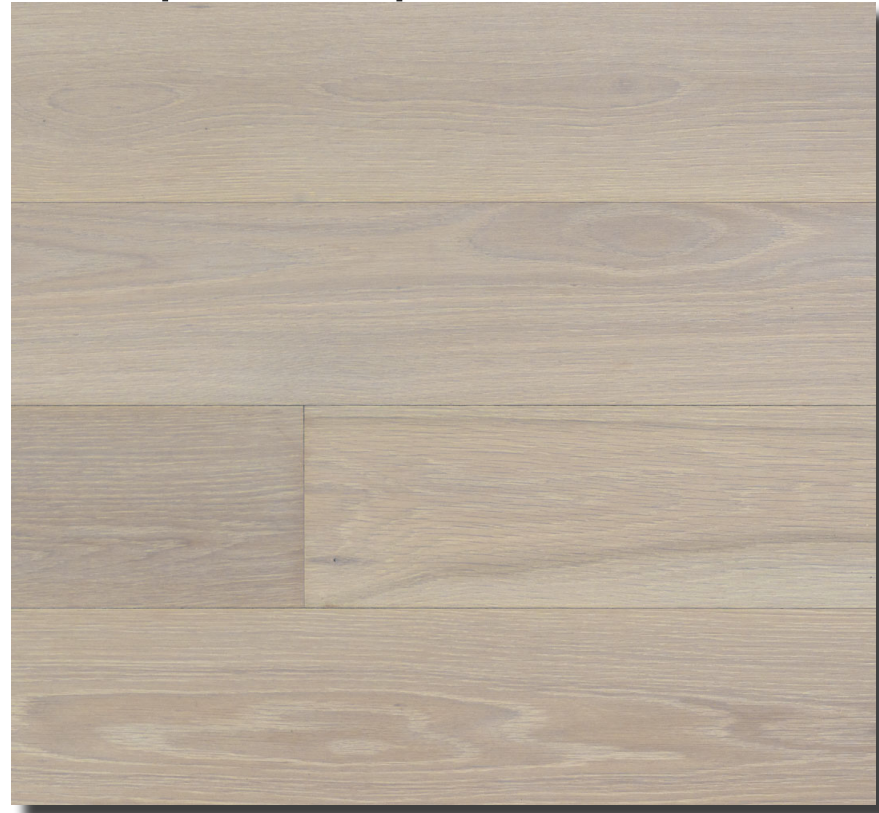




1 FRONT ISO
Scale: N.T.S.



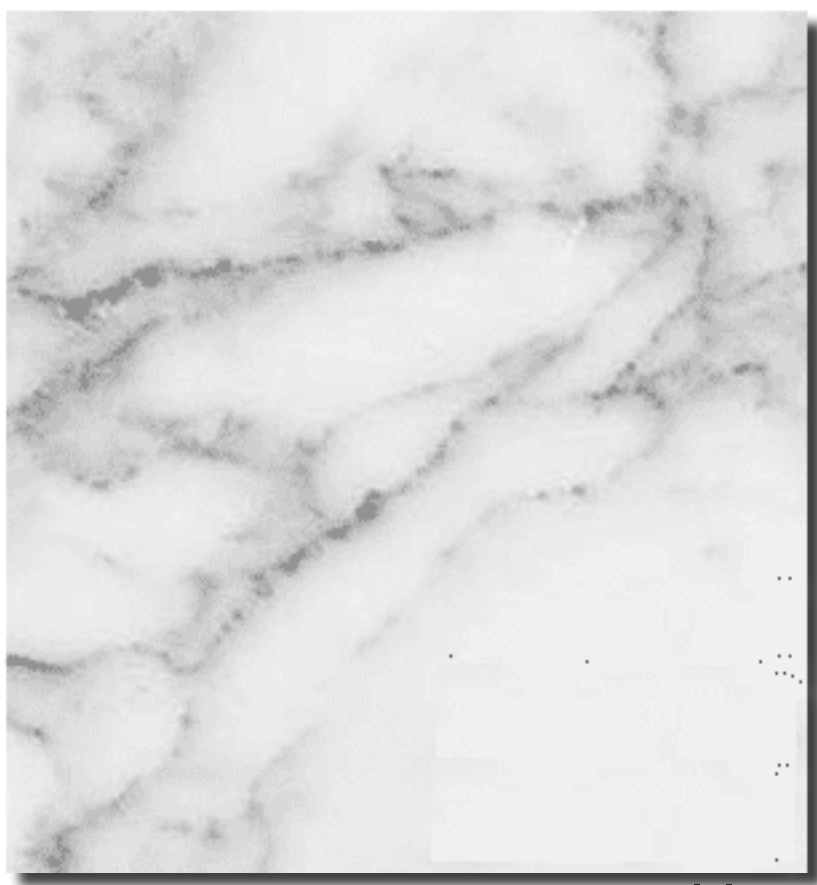
Bar top, tabletops - white oak



Flooring - white oak planks



Front bar & Cookline -
4x4 white wall tile



Expo counter - Carrera marble



Cabinetry, server station - grey
washed stained wood



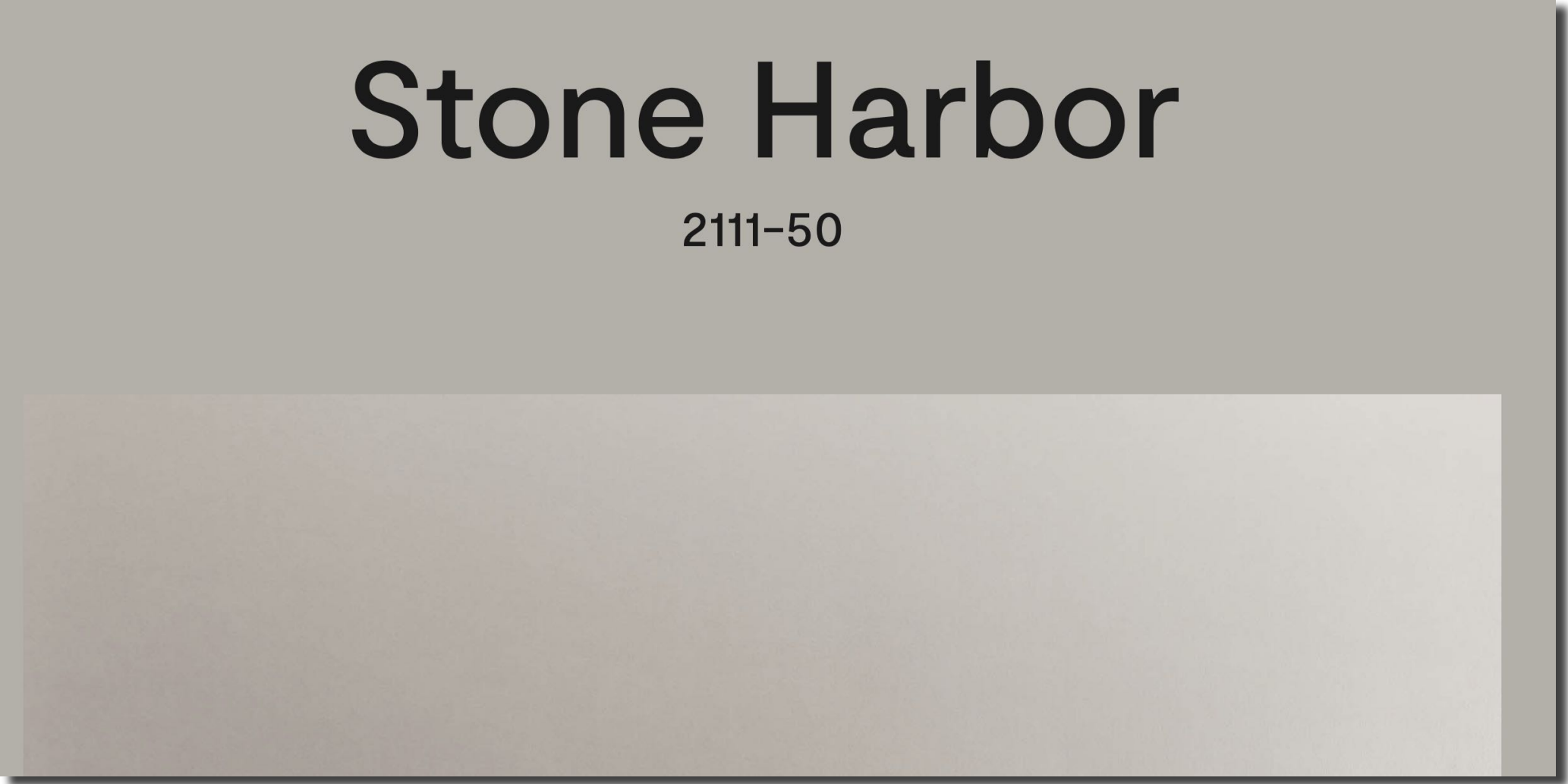
Back bar - 1" black
steel tube and glass
shelving



Bar reference image



Dinning room image for reference



Stone Harbor
2111-50



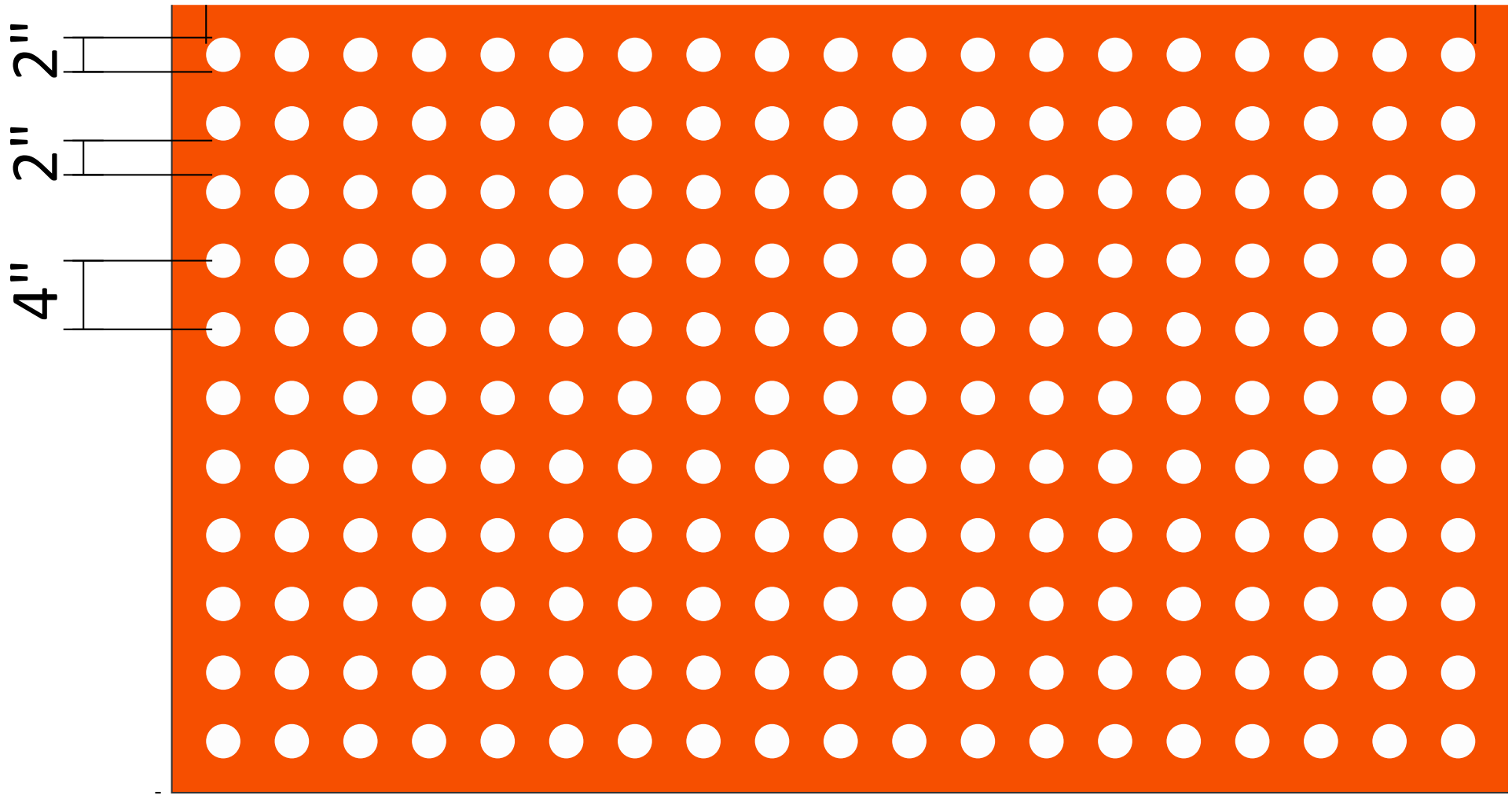
Chantilly Lace
OC-65



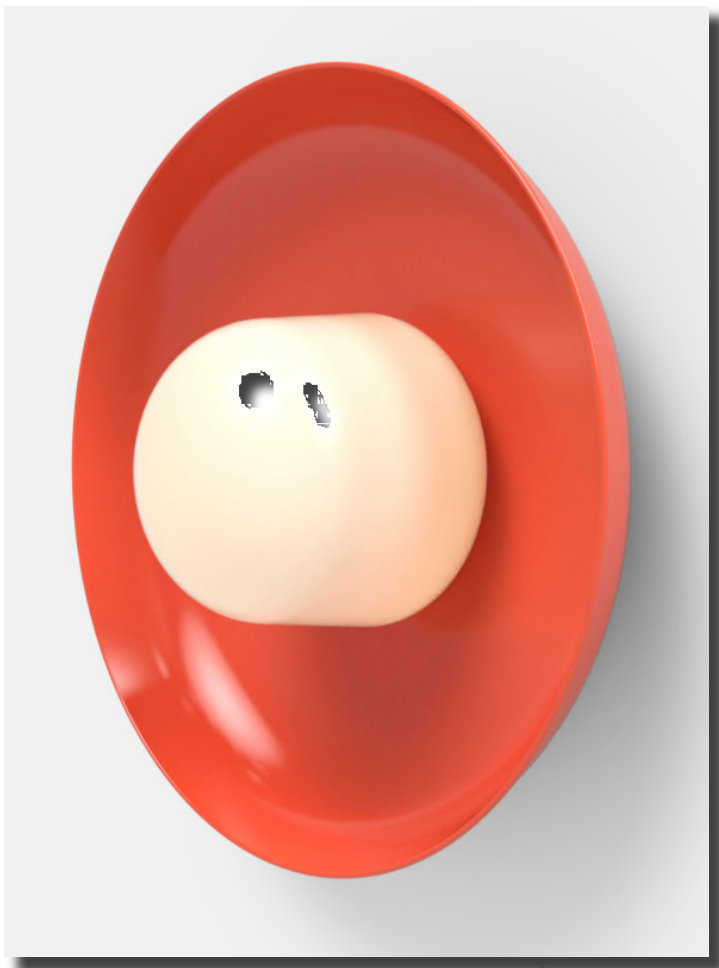
Grey Base/ Wall Tile: Fireclay 2.5"x8" Brick in Rocky Mountains



Nord Cement Hex Porcelain Wall Tile



PERFORATED ALUM. PANELS
NON-LIT .080 ALUM. FACE PTD. TO
MATCH PMS 172C ORANGE, W/ 2"
PERFORATED HOLES



RBW Hoist Sconce with
a medium shade and
large glass diffuser at
the entry doors



RBW Pastille 1 Disc on the
wall above



Teak tables



White tolux chairs