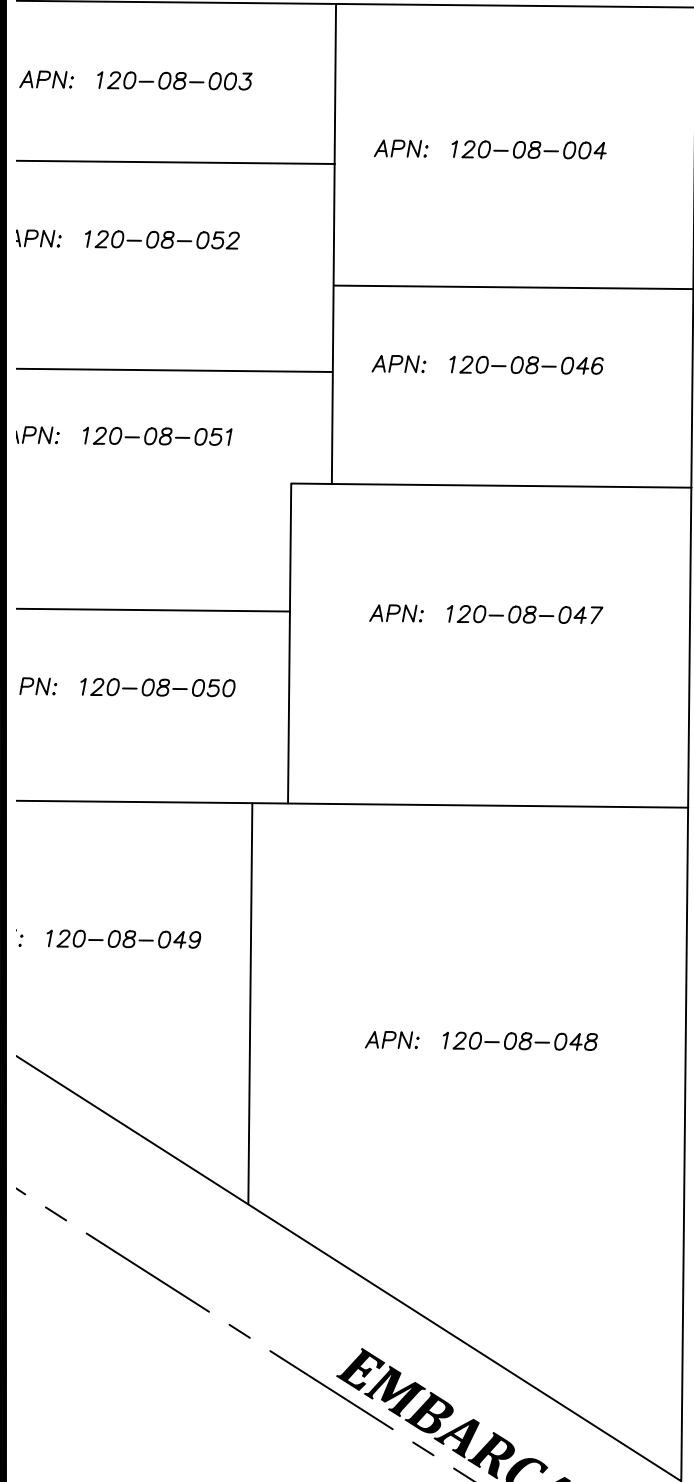


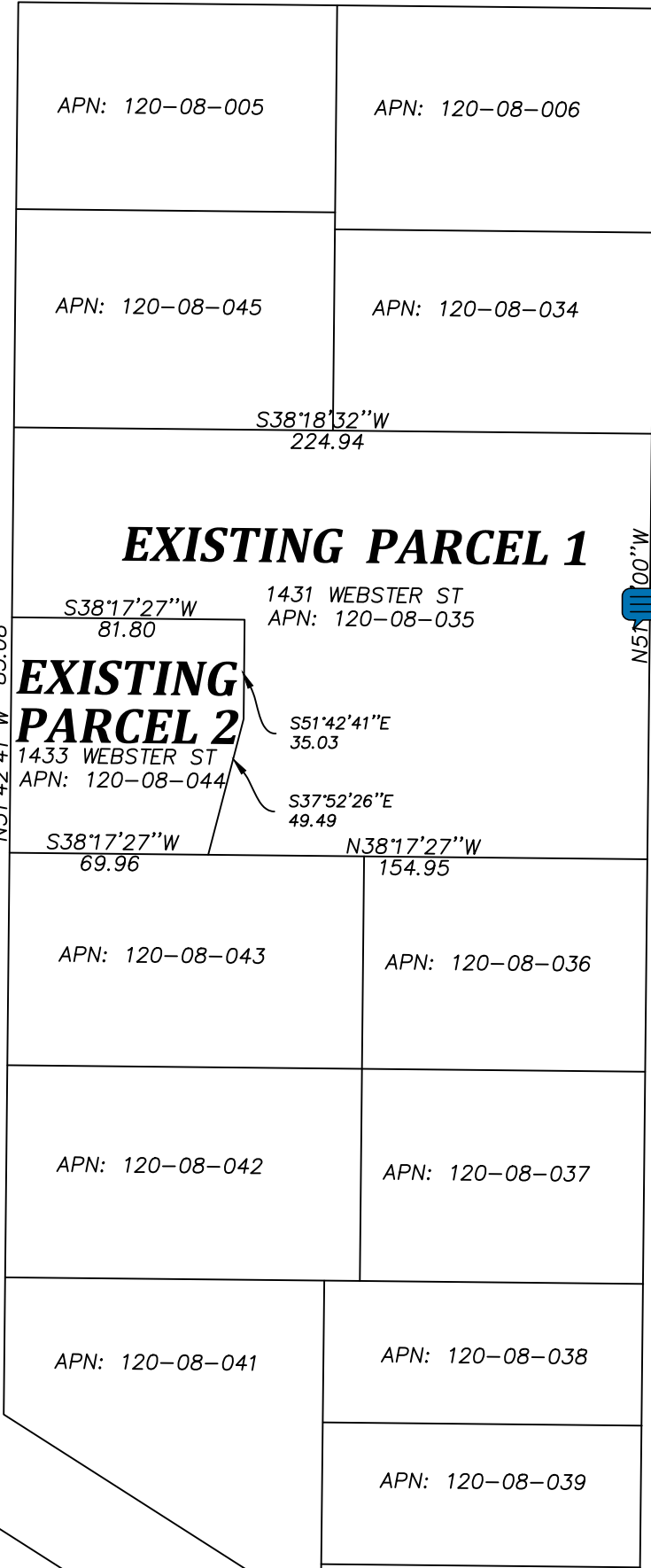
FOUR-LOT PRELIMINARY PARCEL MAP

EXISTING PARCEL SITE PLAN

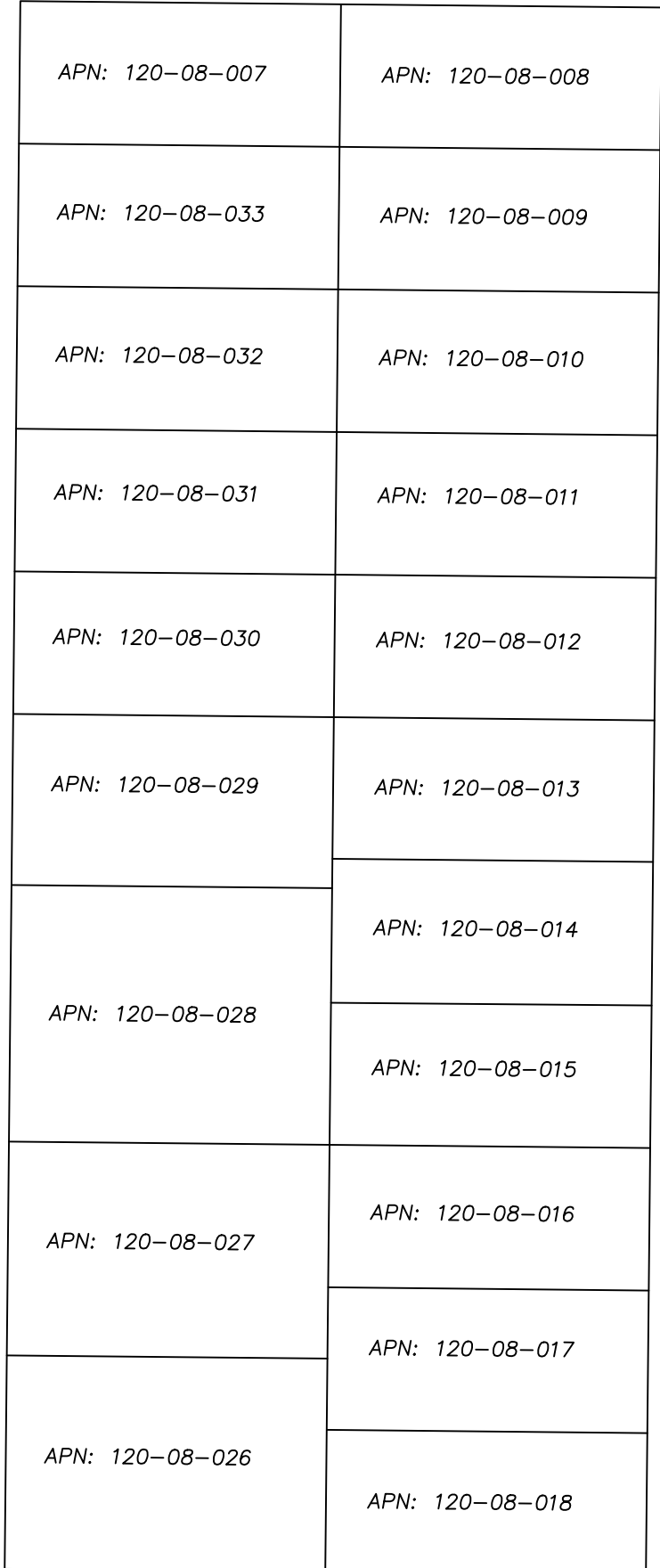
KELLOGG AVENUE



WEBSTER STREET



BYRON STREET



MIDDLEFIELD ROAD

ZONING

R-1, CITY OF PALO ALTO

BASIS OF ELEVATION

NAVD 88 DATUM

SITE BENCHMARK

OPUS GPS NAVD DATUM (NAVD 88 COMPUTED USING GEOD18) SET CUT CROSS IN WEBSTER STREET
ELEVATION = 30.93'

BASIS OF BEARINGS

BYRON ST. TAKEN AS SOUTH 51°42'00" EAST
PER 962M50

FLOOD ZONE DESIGNATION

THE SUBJECT PROPERTY IS DETERMINED TO BE
LOCATED IN FLOOD ZONE X

EXISTING PARCEL	
LANDS OF KROGDAHL	
DOC#25501130	
PARCEL 1	27,247 FT ²
PARCEL 2	6,512 FT ²
TOTAL	33,759 FT ²

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY
DIRECTION AND IS BASED UPON A FIELD SURVEY IN
CONFORMANCE WITH THE REQUIREMENTS OF THE
SUBDIVISION MAP ACT AND LOCAL ORDINANCES AT THE
REQUEST OF WEBSTER REAL, LLC IN NOVEMBER 2024



GENERAL INFORMATION

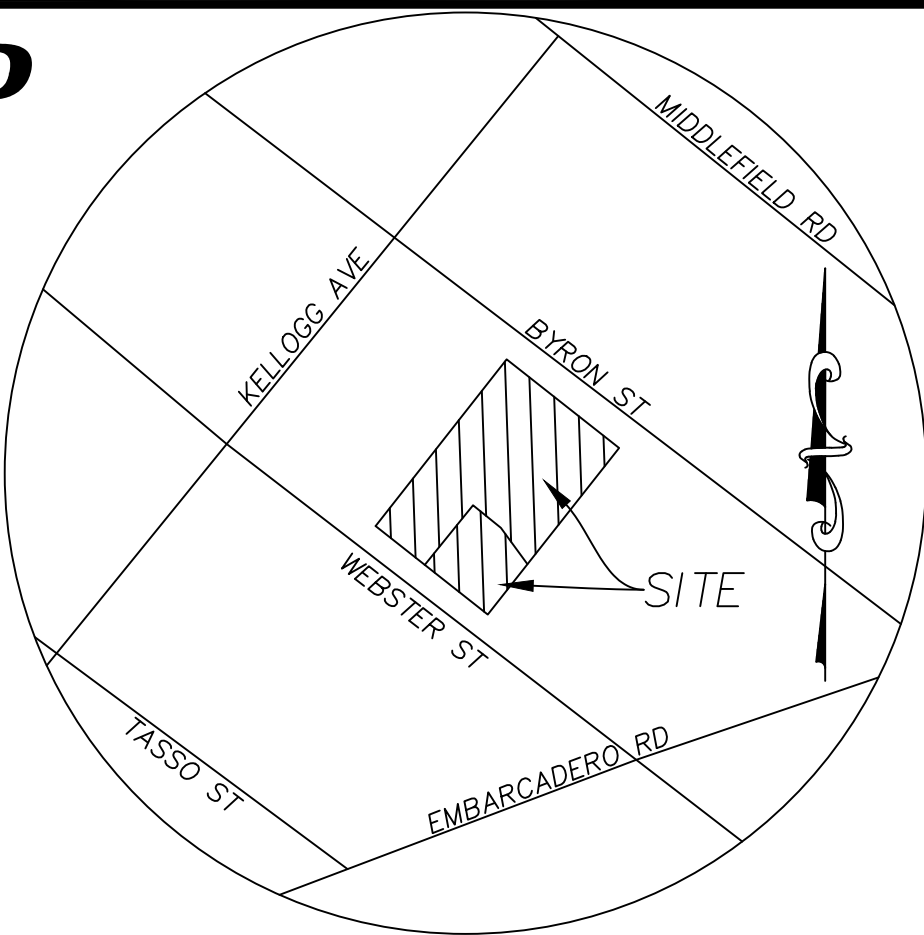
- EXISTING APN: 120-08-044 & 120-08-035
- EXISTING ZONING: R-1
- EXISTING USE: (5) SINGLE FAMILY RESIDENCE
- PROPOSED USE: (5) SINGLE FAMILY RESIDENCES
- EXISTING BUILDINGS: KEEP EXISTING RESIDENCE
- EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL SINGLE FAMILY (R-1)
- WATER PROVIDER: CITY OF PALO ALTO
- FIRE PROTECTION: CITY OF PALO ALTO
- SANITARY SEWER: CITY OF PALO ALTO
- POWER & GAS: PG&E
- TELEPHONE: AT&T
- FLOOD ZONE: X

NOTES

- ALL DISTANCES SHOWN HEREON ARE IN FEET &
DECIMALS THEREOF
- NO CHANGES TO EXISTING ZONING PROPOSED

SHEET INDEX

- PMAP-1 EXISTING PARCEL SITE PLAN
PMAP-2 PROPOSED PARCELS SITE PLAN
PMAP-3 EXISTING TOPOGRAPHIC OVERALL SITE PLAN
PMAP-4 EXISTING TOPOGRAPHIC SITE PLAN
PMAP-5 EXISTING TOPOGRAPHIC SITE PLAN
PMAP-6 EXISTING TOPOGRAPHIC SITE PLAN
PMAP-7 EXISTING TOPOGRAPHIC SITE PLAN
PMAP-8 PROPOSED IMPROVEMENTS SITE PLAN
PMAP-9 IMPERVIOUS AREAS EXHIBIT
A0.3 EXISTING SITE PHOTOS
T-1 SPECIAL TREE PROTECTION INSTRUCTION SHEET SET
T-2 SPECIAL TREE PROTECTION SHEET SET



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SCALE	1" = 60'
DATE	03-05-2025
JOB#	5565
APN	120-08-035 120-08-044

FOUR-PARCEL
PRELIMINARY PARCEL MAP
1431 & 1433 WEBSTER ST
PALO ALTO, CA 94301

SANTA CLARA COUNTY



DATE	07/30/2025	10/16/2025
REVISIONS	NO. 25PLN-00880	NO. 25PLN-00880
#	#1	#2

SHEET NUMBER

PMAP-1

1 OF 9

LEGAL DESCRIPTION

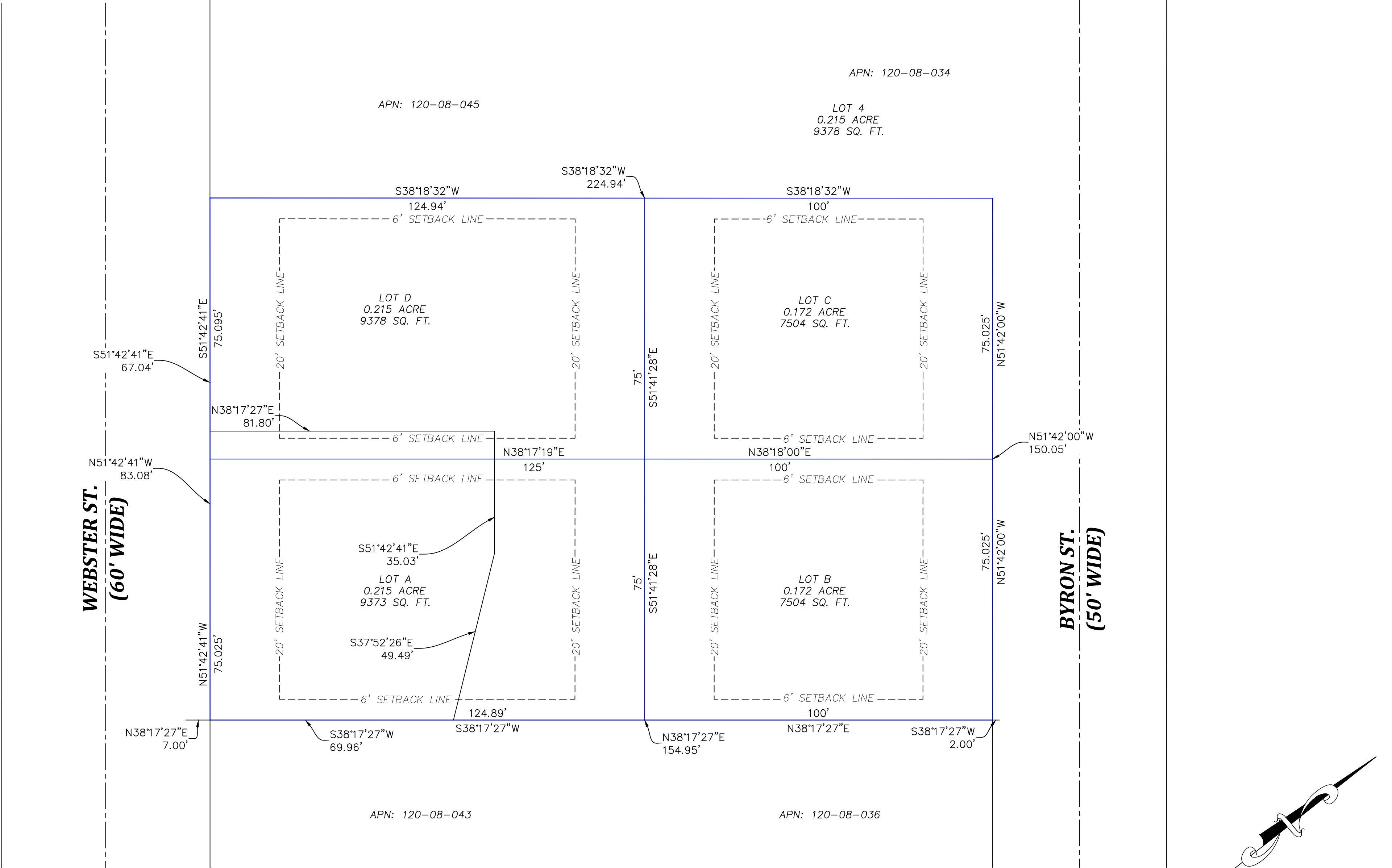
THE FOLLOWING DESCRIBED PROPERTY IN THE CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA:

PARCEL ONE:
ALL OF LOT 7, 14, 15 AND 16 AND PORTION OF LOTS 5 AND 6, BLOCK 100, AS SHOWN ON THE MAP OF THE SUBDIVISION OF BLOCK 100, FILED SEPTEMBER 29, 1910, BOOK N OF MAPS, PAGE 9, SANTA CLARA COUNTY RECORDS, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF LOT 5, BLOCK 100, DISTANT THEREON NORTH 38° 15' EAST, 70 FEET FROM THE SOUTHERNMOST CORNER OF SAID LOT 5, IN THE NORTHEASTERLY LINE OF WEBSTER STREET, AS SAID LOT, BLOCK AND STREET ARE SHOWN ON THE MAP ABOVE REFERRED TO; THENCE FROM SAID POINT OF BEGINNING NORTH 38° 15' EAST, ALONG THE SOUTHEASTERLY LINE OF LOTS 5 AND 16 OF SAID BLOCK 100, 155 FEET TO THE EASTERNMOST CORNER OF SAID LOT 16 IN THE SOUTHWESTERLY LINE OF BYRON STREET, AS SAID STREET IS SHOWN ON THE MAP ABOVE REFERRED TO; THENCE NORTH 51° 45' WEST ALONG SAID SOUTHWESTERLY LINE OF BYRON STREET, 150 FEET TO THE NORTHERNMOST CORNER OF LOT 14 OF SAID BLOCK 100; THENCE SOUTH 38° 15' WEST, ALONG THE NORTHWESTERLY LINES OF LOTS 14 AND 7 OF SAID BLOCK 100, 225 FEET TO THE WESTERNMOST CORNER OF SAID LOT 7 IN THE SAID NORTHEASTERLY LINE OF WEBSTER STREET; THENCE SOUTH 51° 45' EAST, ALONG SAID LAST MENTIONED LINE 67 FEET TO A POINT DISTANT THEREON NORTH 51° 45' WEST, 83 FEET FROM THE SAID SOUTHERNMOST CORNER OF SAID LOT 5 HEREINABOVE REFERRED TO; THENCE NORTH 38° 15' EAST, AND PARALLEL WITH THE SAID SOUTHEASTERLY LINE OF LOT 5, 82 FEET; THENCE SOUTH 51° 45' EAST, AND PARALLEL WITH THE SAID NORTHEASTERLY LINE OF WEBSTER STREET, 35 FEET; THENCE SOUTH 37° 42' 50" EAST, 49.48 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:
PORTION OF LOTS 5 AND 6, BLOCK 100, AS SHOWN ON THE MAP OF THE SUBDIVISION OF BLOCK 100, FILED SEPTEMBER 29, 1910 IN BOOK N OF MAPS, PAGE 9, SANTA CLARA COUNTY RECORDS, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF LOT 5, BLOCK 100, DISTANT THEREON NORTH 38 DEGREES 15' EAST, 70 FEET FROM THE SOUTHERNMOST CORNER OF SAID LOT 5 IN THE NORTHEASTERLY LINE OF WEBSTER STREET, AS SAID LOT, BLOCK AND STREET ARE SHOWN ON THE MAP ABOVE REFERRED TO; THENCE FROM SAID POINT OF BEGINNING, SOUTH 38 DEGREES 15' WEST, ALONG SAID SOUTHEASTERLY LINE OF LOT 5, 70 FEET TO THE SAID SOUTHERNMOST CORNER OF LOT 5; THENCE NORTH 51 DEGREES 45' WEST, ALONG SAID NORTHEASTERLY LINE OF WEBSTER STREET, 83 FEET; THENCE NORTH 38 DEGREES 15' EAST, AND PARALLEL WITH THE SAID SOUTHEASTERLY LINE OF LOT 5, 82 FEET; THENCE SOUTH 51 DEGREES 45' EAST, AND PARALLEL WITH THE SAID NORTHEASTERLY LINE OF WEBSTER STREET, 35 FEET; THENCE SOUTH 37 DEGREES 42' 50" EAST, 49.48 FEET TO THE POINT OF BEGINNING.

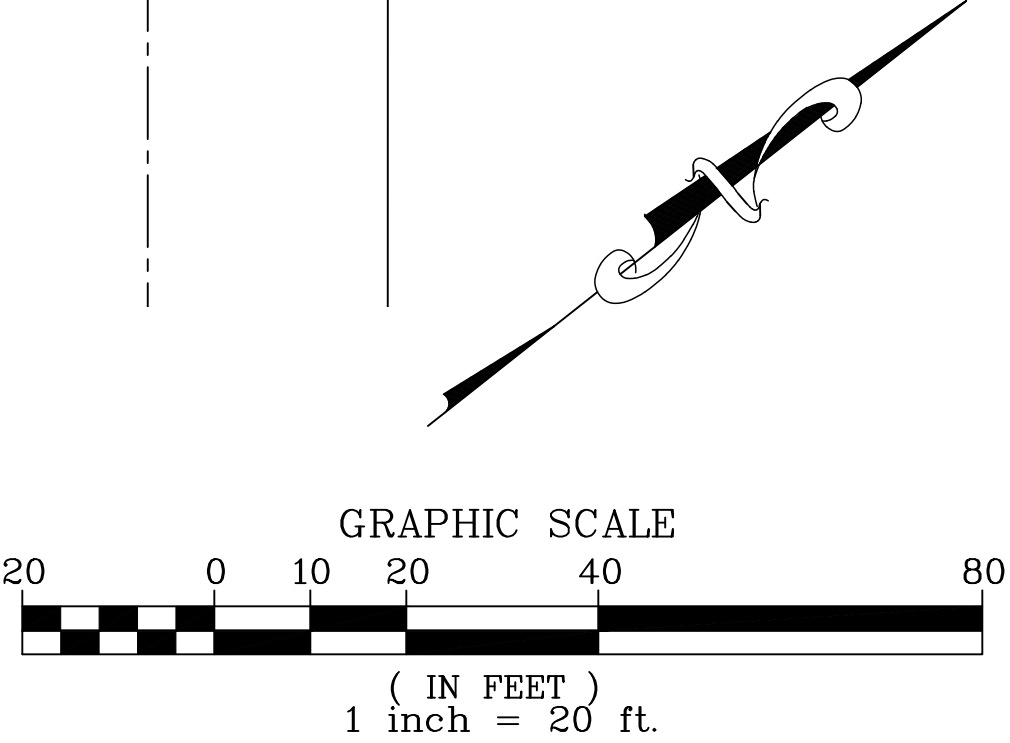
FOUR-LOT PRELIMINARY PARCEL MAP

PROPOSED PARCELS SITE PLAN



PROPOSED PARCELS				
	LOT A	LOT B	LOT C	LOT D
LOT AREA FT ²	9,373 FT ²	7,504 FT ²	7,504 FT ²	9,378 FT ²
LOT AREA ACRES	0.215 ACRE	0.172 ACRE	0.172 ACRE	0.215 ACRE
% OF EXISTING	27.76%	22.23%	22.23%	27.78%

LINETYPE LEGEND	
	EXISTING BOUNDARY LINE
	PROPOSED BOUNDARY LINE
	SETBACK LINE
	EXISTING CENTER LINE OF ROAD



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SCALE	1" = 20'
DATE	03-05-2025
JOB#	5565
APN	120-08-035 120-08-044

**FOUR-PARCEL
PRELIMINARY PARCEL MAP**
1431 & 1433 WEBSTER ST
PALO ALTO, CA 94301
SANTA CLARA COUNTY



REVISIONS	DATE
#1	NO. 25PLN-00880 07/30/2025
#2	NO. 25PLN-00880 10/16/2025

SHEET NUMBER
PMAP-2
2 OF 9

FOUR-LOT PRELIMINARY PARCEL MAP

EXISTING TOPOGRAPHIC OVERALL SITE PLAN

EXISTING

WM

WATER METER OR WATER VALVE BOX

FIRE HYDRANT

TREE – TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT,
WE ARE NOT ARBORISTS OR DENDROLOGISTS

TREE WITH MULTIPLE TRUNKS

TREE DRIP LINE POINTS TOWARDS TREE
TRUNKS. TREE DRIP LINES ABOVE
PROPERTY LOCATED AS SHOWN.

± 25.34
TC

TOP OF CURB

FENCE

OVERHEAD WIRES

POWER POLE

± 12.34

SPOT ELEVATION

SSCO
8.14

SANITARY SEWER CLEAN OUT

UTILITY BOX—TYPE AS NOTED SIZE AS DRAWN

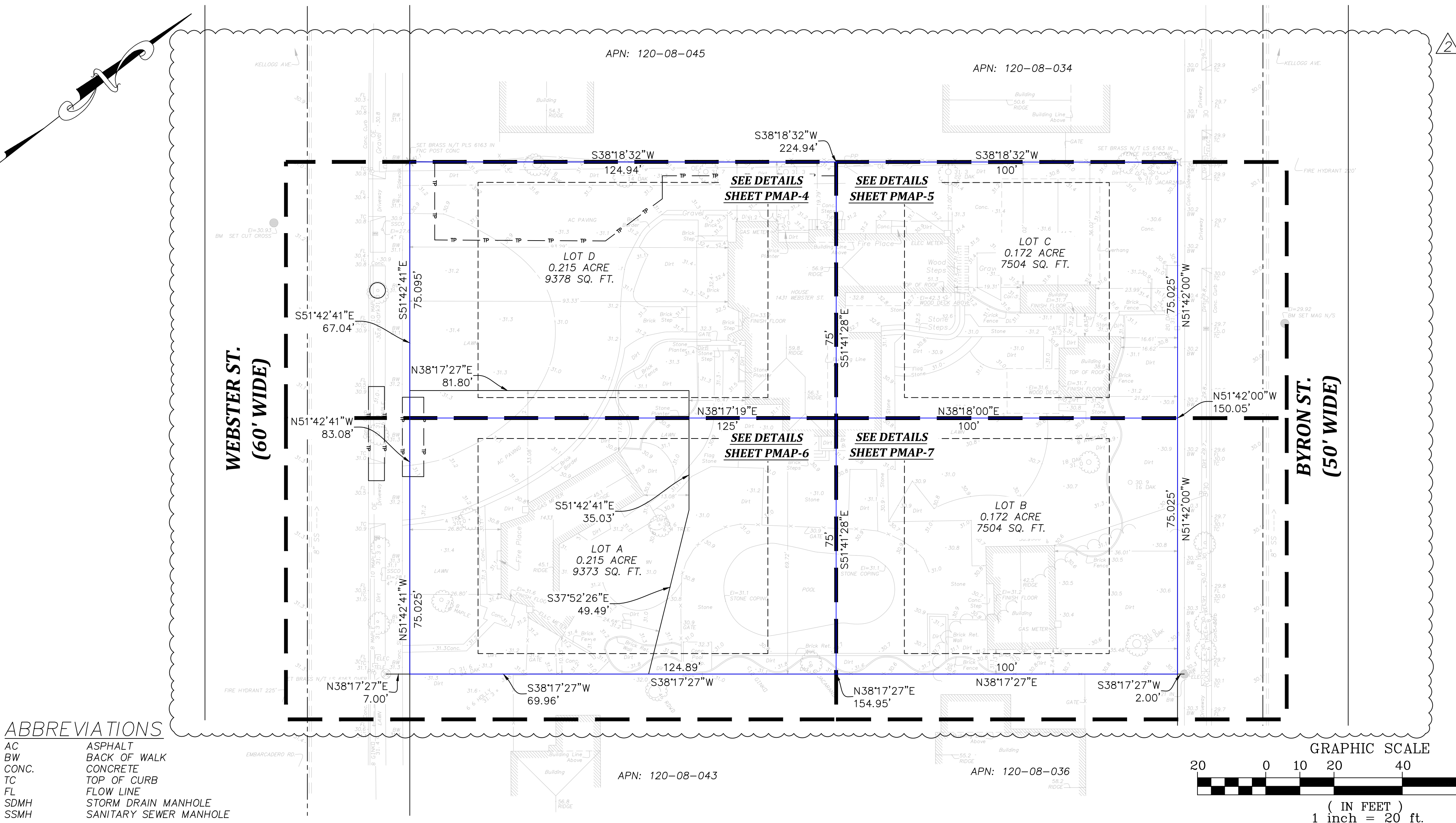
IRRIGATION VALVE BOX

SIGN

POLE ANCHOR

LINETYPE LEGEND

	EXISTING BOUNDARY LINE
	PROPOSED BOUNDARY LINE
	SETBACK LINE
	EXISTING CENTER LINE OF ROAD
	TREE PROTECTION FENCE LINE



ABBREVIATIONS

AC	ASPHALT
BW	BACK OF WALK
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE

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DATE	03-05-2025
JOB#	5565
APN	120-08-035

FOUR-PARCEL

PRELIMINARY PARCEL MAP

1431 & 1433 WEBSTER ST

PALO ALTO, CA 94301

SANTA CLARA COUNTY

LICENSED PROFESSIONAL ENGINEER

WILLIAM JAY HAMMOND

C 89275

Civil

STATE OF CALIFORNIA

REVISIONS	DATE
#1	NO.25PLN-00880 07/30/2025
#2	NO.25PLN-00880 10/16/2025

SHEET NUMBER

PMAP-3

3 OF 9

FOUR-LOT PRELIMINARY PARCEL MAP

EXISTING TOPOGRAPHIC SITE PLAN

EXISTING

- WM

WATER METER OR WATER VALVE BOX
- FIRE HYDRANT
- TREE – TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT,
WE ARE NOT ARBORISTS OR DENDROLOGISTS
- TREE WITH MULTIPLE TRUNKS
- TREE DRIP LINE POINTS TOWARDS TREE
TRUNKS. TREE DRIP LINES ABOVE
PROPERTY LOCATED AS SHOWN.

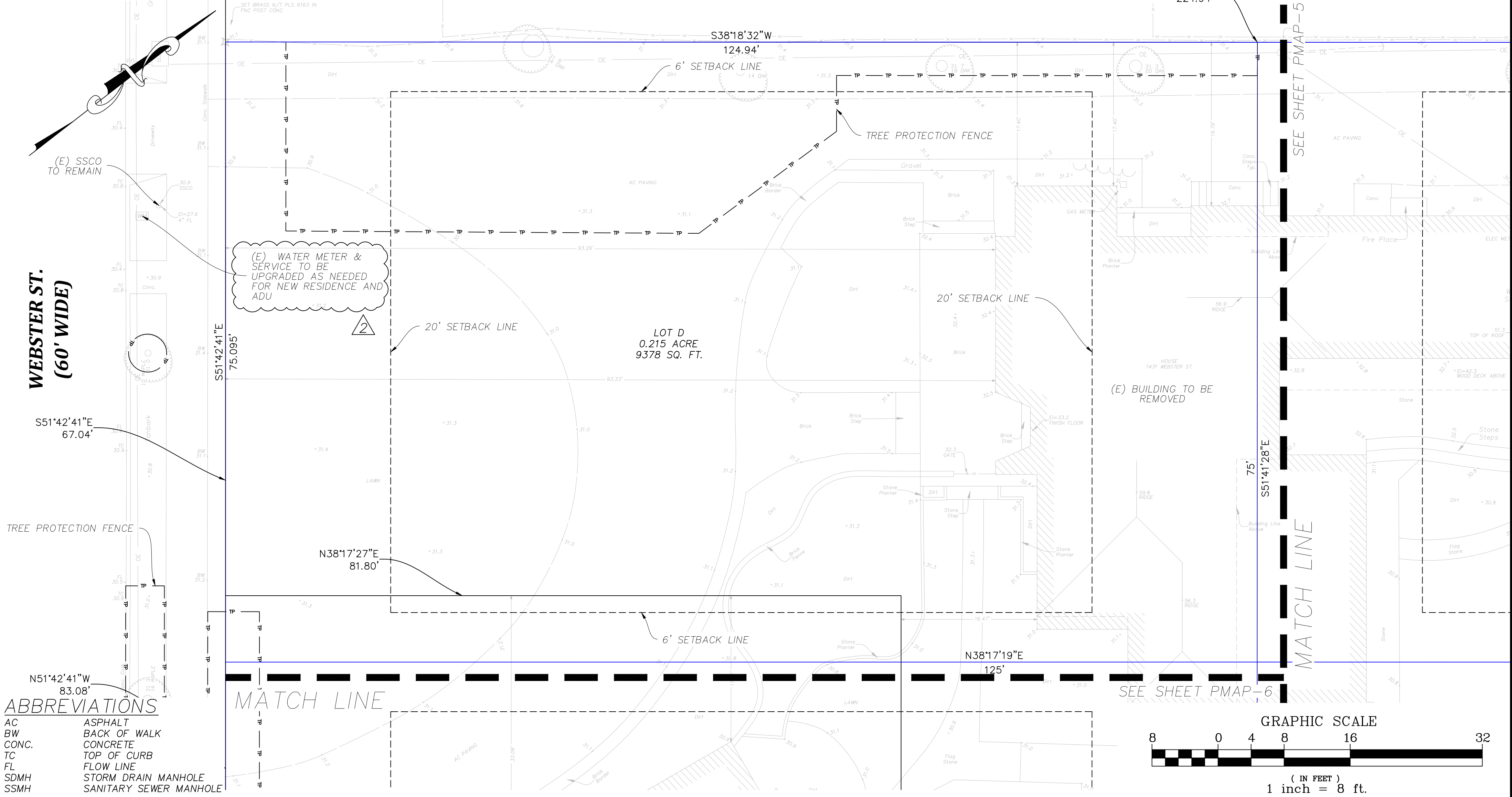
- ± 25.34
TC

TOP OF CURB
- FENCE
- OVERHEAD WIRES
- POWER POLE
- ± 12.34

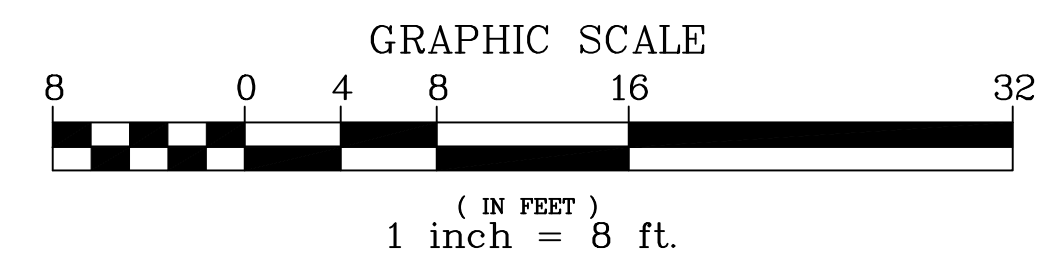
SPOT ELEVATION
- SSCO
- ELEC
- SANITARY SEWER CLEAN OUT
- UTILITY BOX—TYPE AS NOTED SIZE AS DRAWN
- IRRIGATION VALVE BOX
- SIGN
- POLE ANCHOR

LINETYPE LEGEND

- EXISTING BOUNDARY LINE
- PROPOSED BOUNDARY LINE
- SETBACK LINE
- EXISTING CENTER LINE OF ROAD
- TREE PROTECTION FENCE LINE



- #### ABBREVIATIONS
- | | |
|-------|------------------------|
| AC | ASPHALT |
| BW | BACK OF WALK |
| CONC. | CONCRETE |
| TC | TOP OF CURB |
| FL | FLOW LINE |
| SDMH | STORM DRAIN MANHOLE |
| SSMH | SANITARY SEWER MANHOLE |



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SCALE	1" = 8'
DATE	03-05-2025
JOB#	5565
APN	120-08-035 120-08-044

FOUR-PARCEL
PRELIMINARY PARCEL MAP
1431 & 1433 WEBSTER ST
PALO ALTO, CA 94301
SANTA CLARA COUNTY

WILLIAM JAY HAMMOND
C89275
CIVIL
STATE OF CALIFORNIA

DATE	07/30/2025
REVISIONS	NO.25PLN-00880
#	#1
#	#2

SHEET NUMBER
PMAP-4
4 OF 9

FOUR-LOT PRELIMINARY PARCEL MAP

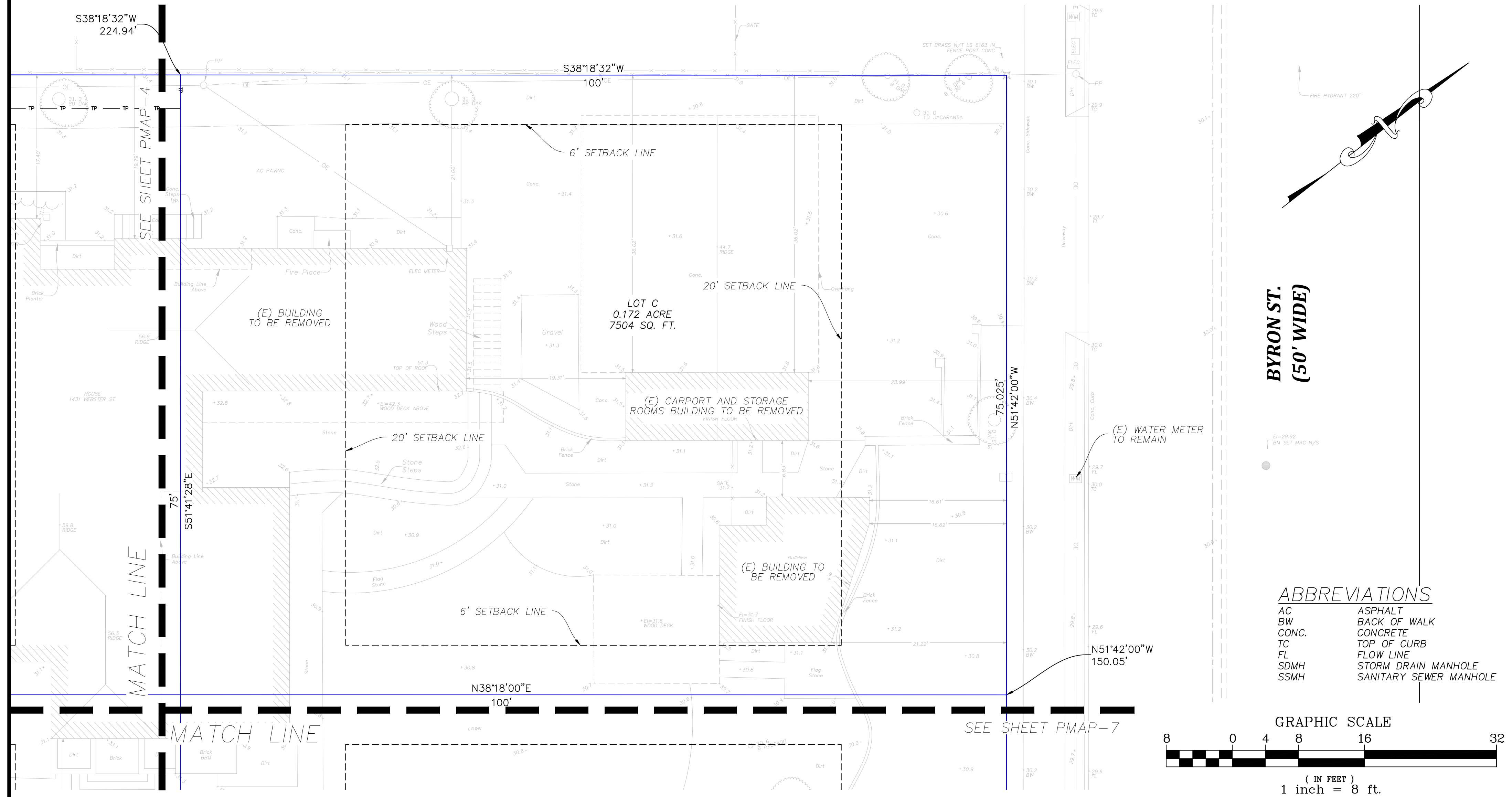
EXISTING TOPOGRAPHIC SITE PLAN

EXISTING

	WATER METER OR WATER VALVE BOX		TOP OF CURB		SANITARY SEWER CLEAN OUT
	FIRE HYDRANT		FENCE		UTILITY BOX—TYPE AS NOTED SIZE AS DRAWN
	TREE — TRUNK DIAMETER IN INCHES TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS		OVERHEAD WIRES		IRRIGATION VALVE BOX
	TREE WITH MULTIPLE TRUNKS		POWER POLE		SIGN
	TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.		SPOT ELEVATION		POLE ANCHOR

LINETYPE LEGEND

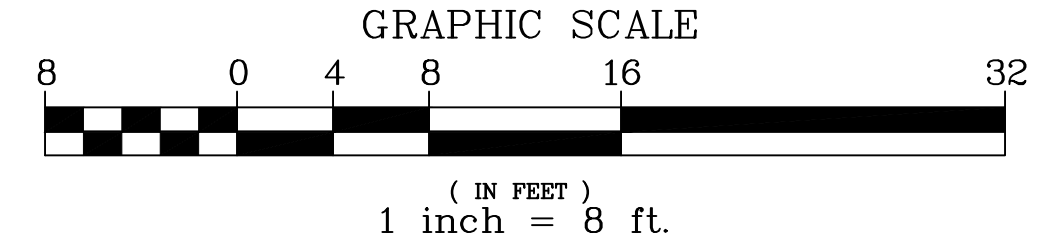
	EXISTING BOUNDARY LINE
	PROPOSED BOUNDARY LINE
	SETBACK LINE
	EXISTING CENTER LINE OF ROAD
	TREE PROTECTION FENCE LINE



BYRON ST.
(50' WIDE)

ABBREVIATIONS

AC	ASPHALT
BW	BACK OF WALK
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE



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FOUR-PARCEL
PRELIMINARY PARCEL MAP
1431 & 1433 WEBSTER ST
PALO ALTO, CA 94301
SANTA CLARA COUNTY



DATE	07/30/2025
REVISIONS	
#	#1
	#2

SHEET NUMBER
PMAP-5
5 OF 9

FOUR-LOT PRELIMINARY PARCEL MAP

EXISTING TOPOGRAPHIC SITE PLAN

ABBREVIATIONS	
AC	ASPHALT
BW	BACK OF WALK
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE

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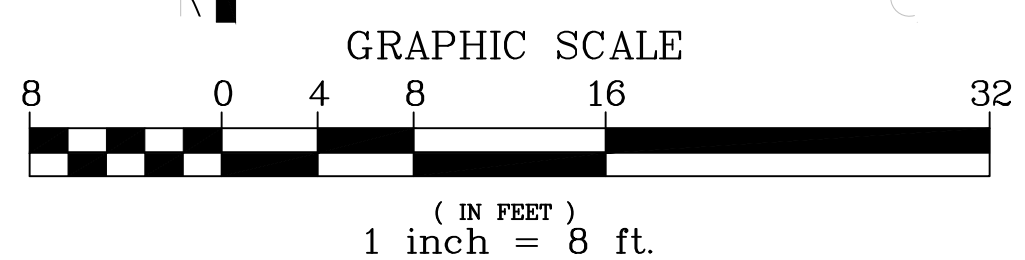
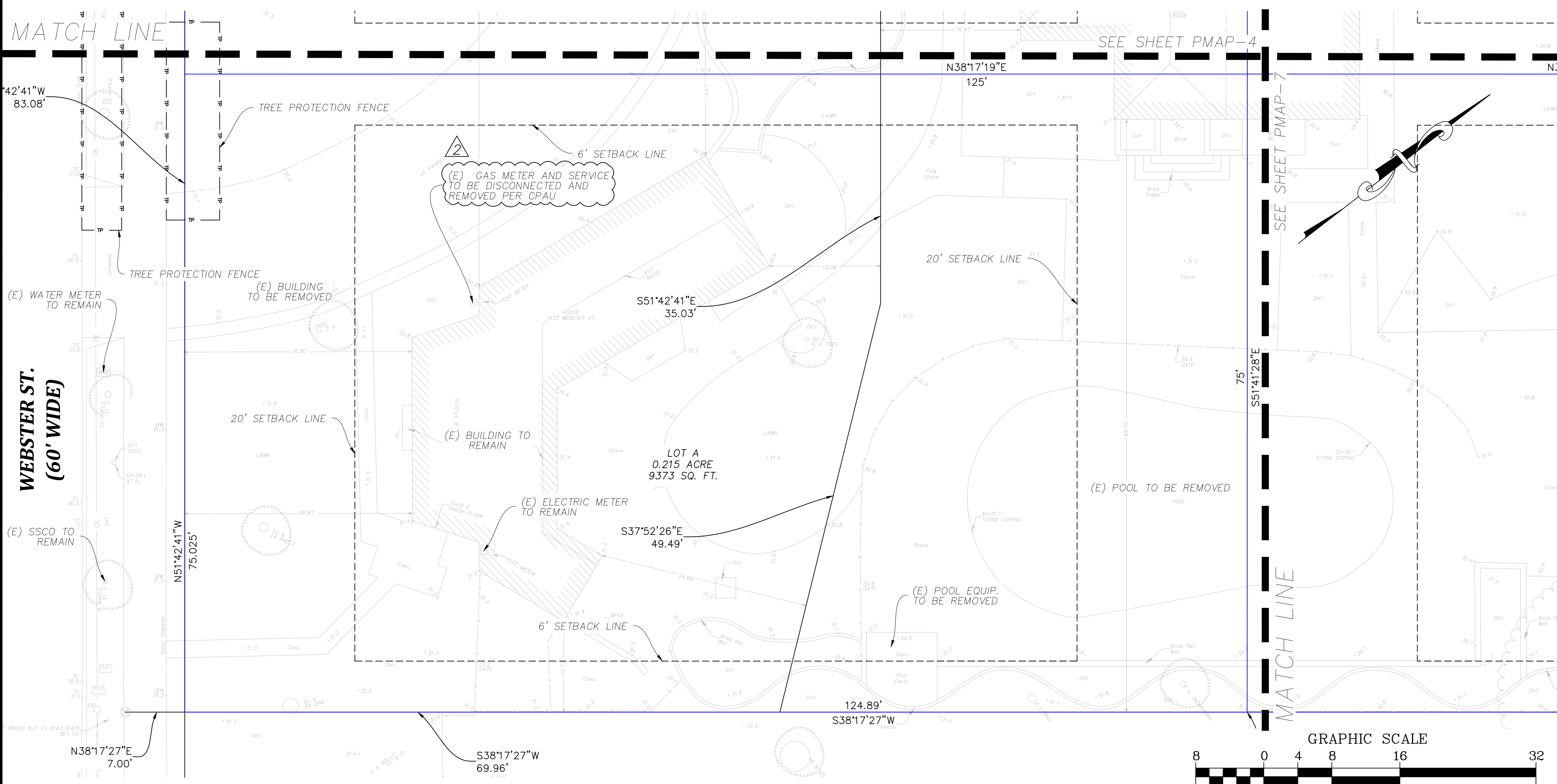
wade@whlandsurveyor.com

EXISTING

	WATER METER OR WATER VALVE BOX		TOP OF CURB		SANITARY SEWER CLEAN OUT
	FIRE HYDRANT		FENCE		UTILITY BOX—TYPE AS NOTED SIZE AS DRAWN
	TREE — TRUNK DIAMETER IN INCHES TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS		OVERHEAD WIRES		IRRIGATION VALVE BOX
	TREE WITH MULTIPLE TRUNKS		POWER POLE		SIGN
	TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.		SPOT ELEVATION		POLE ANCHOR

LINETYPE LEGEND

	EXISTING BOUNDARY LINE
	PROPOSED BOUNDARY LINE
	SETBACK LINE
	EXISTING CENTER LINE OF ROAD
	TREE PROTECTION FENCE LINE



SCALE	1" = 8'
DATE	03-05-2025
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FOUR-PARCEL
PRELIMINARY PARCEL MAP
1431 & 1433 WEBSTER ST
PALO ALTO, CA 94301
SANTA CLARA COUNTY



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#2	NO.25PLN-00880	10/16/2025

SHEET NUMBER
PMAP-6
6 OF 9

FOUR-LOT PRELIMINARY PARCEL MAP

EXISTING TOPOGRAPHIC SITE PLAN

EXISTING

WM

WATER METER OR WATER VALVE BOX

FIRE HYDRANT

TREE – TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT,
WE ARE NOT ARBORISTS OR DENDROLOGISTS

TREE WITH MULTIPLE TRUNKS

TREE DRIP LINE POINTS TOWARDS TREE
TRUNKS. TREE DRIP LINES ABOVE
PROPERTY LOCATED AS SHOWN.

± 25.34
TC

TOP OF CURB

FENCE

OVERHEAD WIRES

POWER POLE

± 12.34

SPOT ELEVATION

SSCO

ELEC

IRRIGATION VALVE BOX

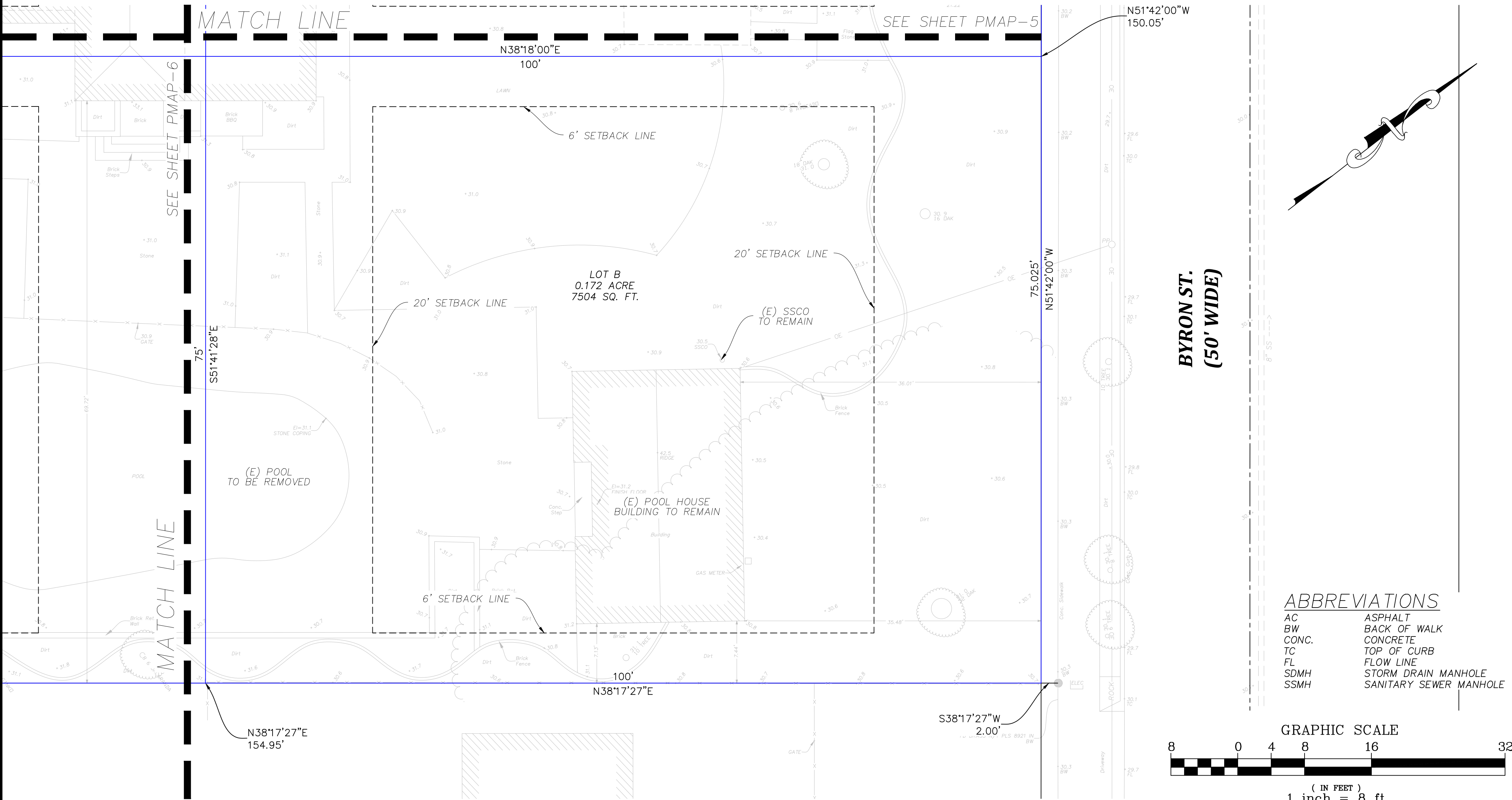
SIGN

POLE ANCHOR

SANITARY SEWER CLEAN OUT

UTILITY BOX—TYPE AS NOTED SIZE AS DRAWN

LINETYPE LEGEND

 EXISTING BOUNDARY LINE
 PROPOSED BOUNDARY LINE
 SETBACK LINE
 EXISTING CENTER LINE OF ROAD


BYRON ST.
(50' WIDE)

ABBREVIATIONS	
AC	ASPHALT
BW	BACK OF WALK
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE

GRAPHIC SCALE

(IN FEET)
1 inch = 8 ft.

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FOUR-PARCEL
PRELIMINARY PARCEL MAP

1431 & 1433 WEBSTER ST
PALO ALTO, CA 94301

SANTA CLARA COUNTY

LICENSED PROFESSIONAL ENGINEER

WILLIAM JAY HAMMOND

C 89275

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CIVIL

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DATE	REVISIONS	#
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10/16/2025	NO.25PLN-00880	#2

SHEET NUMBER

PMAP-7

7 OF 9

FOUR-LOT PRELIMINARY PARCEL MAP
PROPOSED TOPOGRAPHIC SITE PLAN

EXISTING

- WM WATER METER OR WATER VALVE BOX
- FIRE HYDRANT
- TREE - TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT,
WE ARE NOT ARBORISTS OR DENDROLOGISTS
- TREE WITH MULTIPLE TRUNKS
- TREE DRIP LINE POINTS TOWARDS TREE
TRUNKS. TREE DRIP LINES ABOVE
PROPERTY LOCATED AS SHOWN.

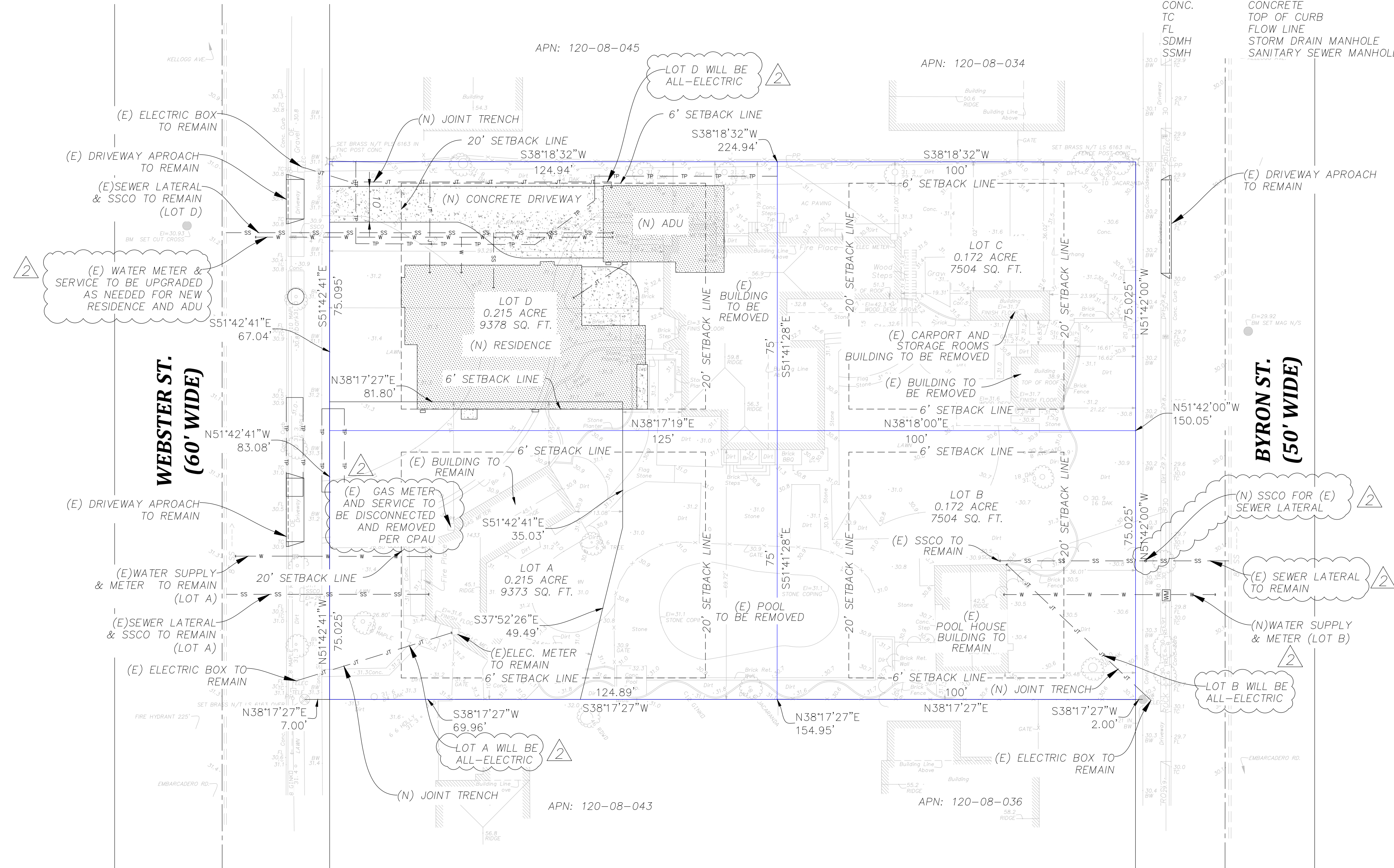
- +25.34 TC TOP OF CURB
- SSCO 8.14 SANITARY SEWER CLEAN OUT
- ELEC UTILITY BOX-TYPE AS NOTED SIZE AS DRAWN
- IRRIGATION VALVE BOX
- SIGN
- POLE ANCHOR

LINETYPE LEGEND

- EXISTING BOUNDARY LINE
- PROPOSED BOUNDARY LINE
- SETBACK LINE
- JOINT TRENCH LINE
- SEWER LINE
- WATER LINE
- TREE PROTECTION FENCE LINE

ABBREVIATIONS

- AC ASPHALT
- BW BACK OF WALK
- CONC. CONCRETE
- TC TOP OF CURB
- FL FLOW LINE
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE



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SCALE 1" = 20'	DATE 03-05-2025	JOB# 5565	APN 120-08-035
			120-08-035

FOUR-PARCEL
PRELIMINARY PARCEL MAP
1431 & 1433 WEBSTER ST
PALO ALTO, CA 94301
SANTA CLARA COUNTY

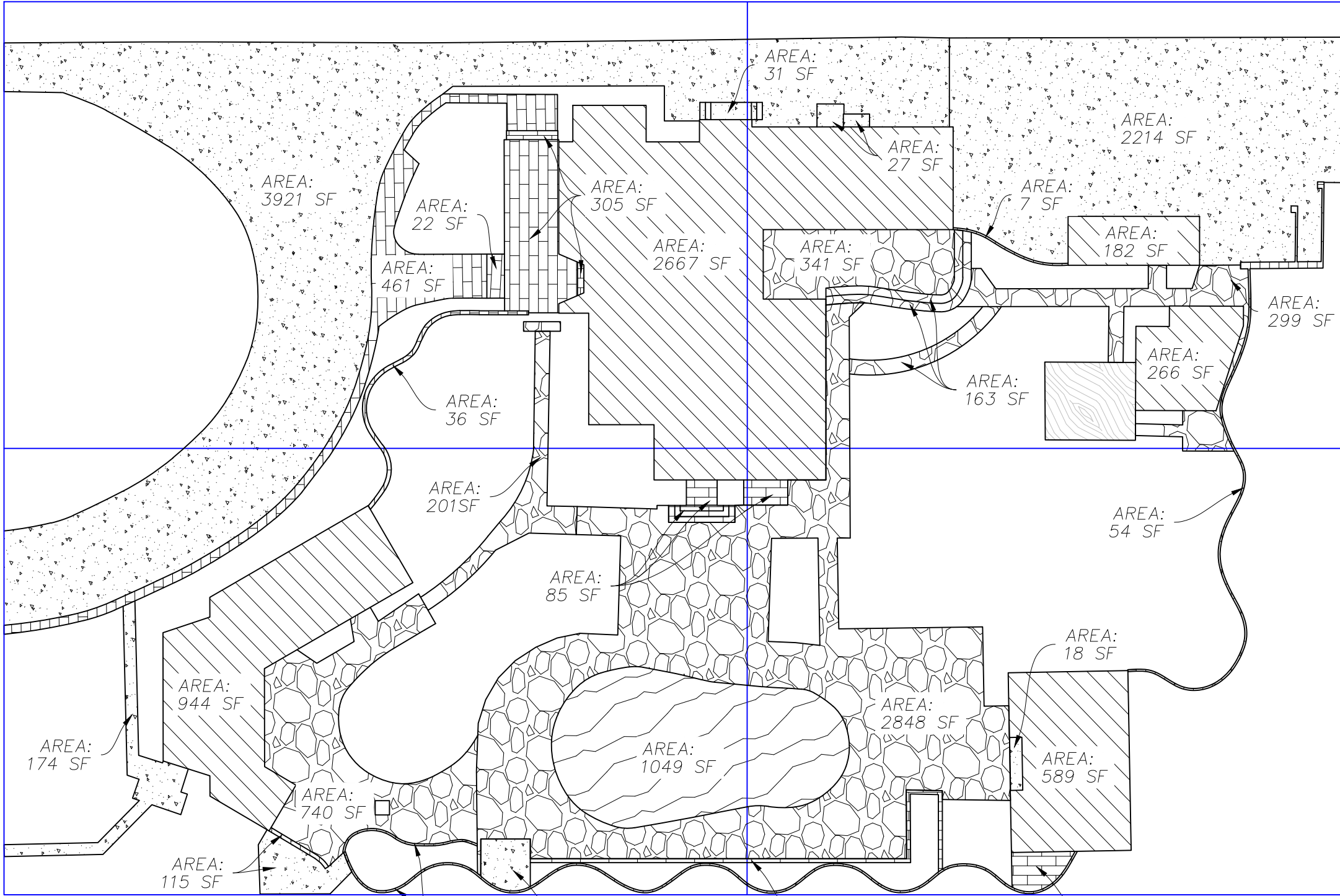


REVISIONS	DATE
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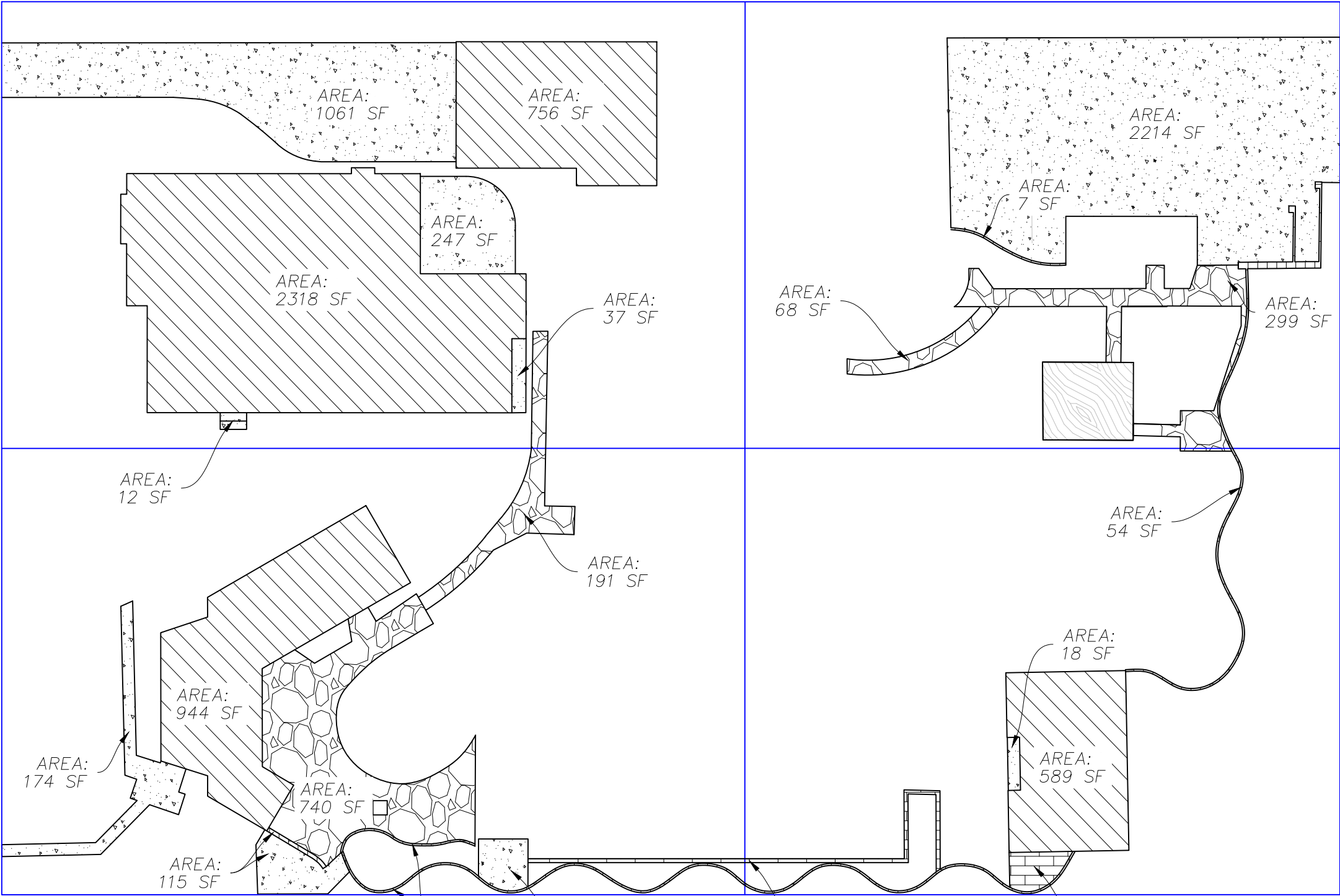
SHEET NUMBER
PMAP-8
8 OF 9

FOUR-LOT PRELIMINARY PARCEL MAP

IMPERVIOUS AREAS EXHIBIT



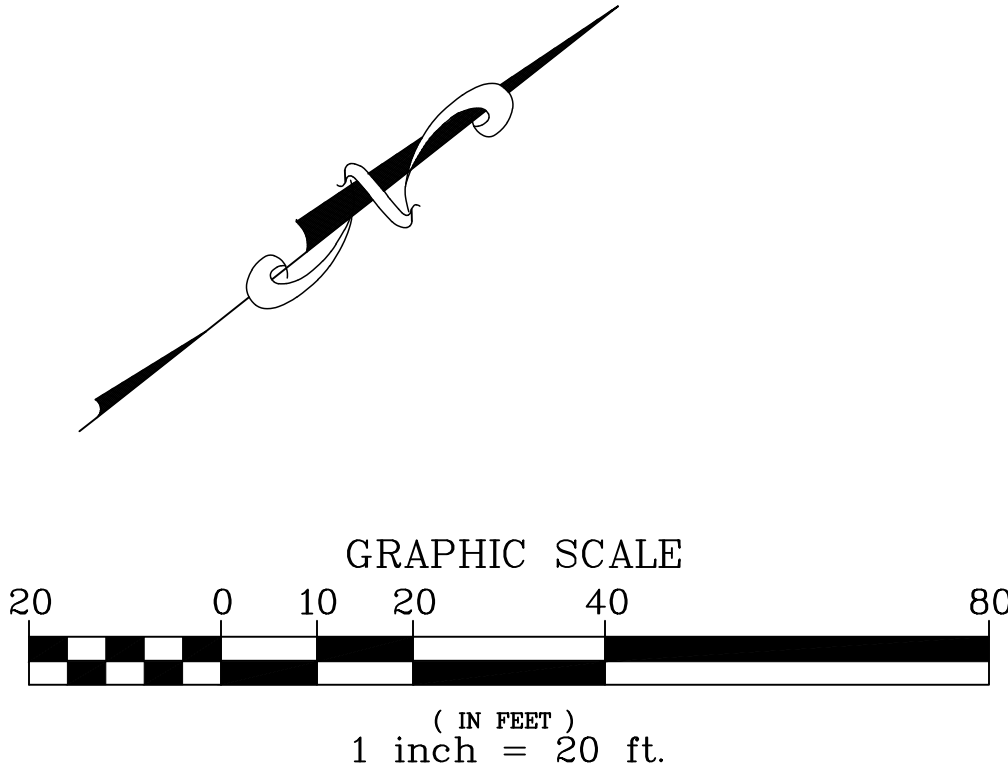
PRE-CONSTRUCTION



POST-CONSTRUCTION

HATCH LEGEND

- CONCRETE
- BUILDING/SHED
- STONE
- BRICK
- WOOD (NOT COUNTED AS IMPERVIOUS)
- POOL



IMPERVIOUS SURFACE AREAS	
TOTAL PROPERTY AREA	33,758 FT ²
IMPERVIOUS AREA	
PRE-CONSTRUCTION	17,997 FT ²
POST-CONSTRUCTION	10,082 FT ²
NET CHANGE	-7,915 FT ²

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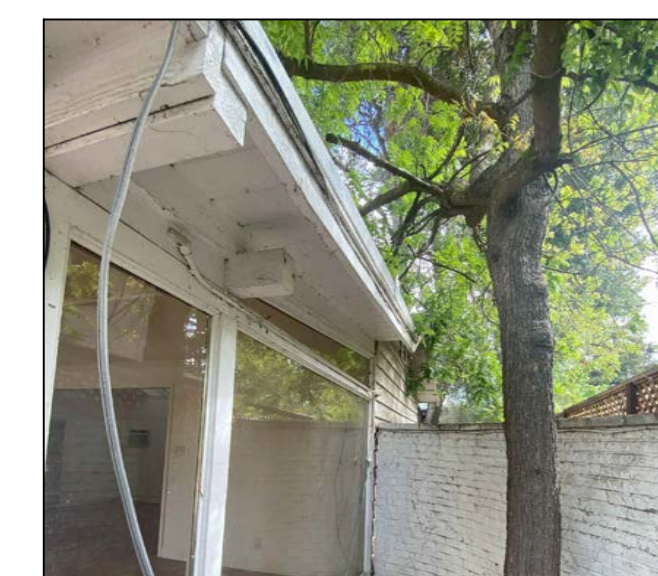
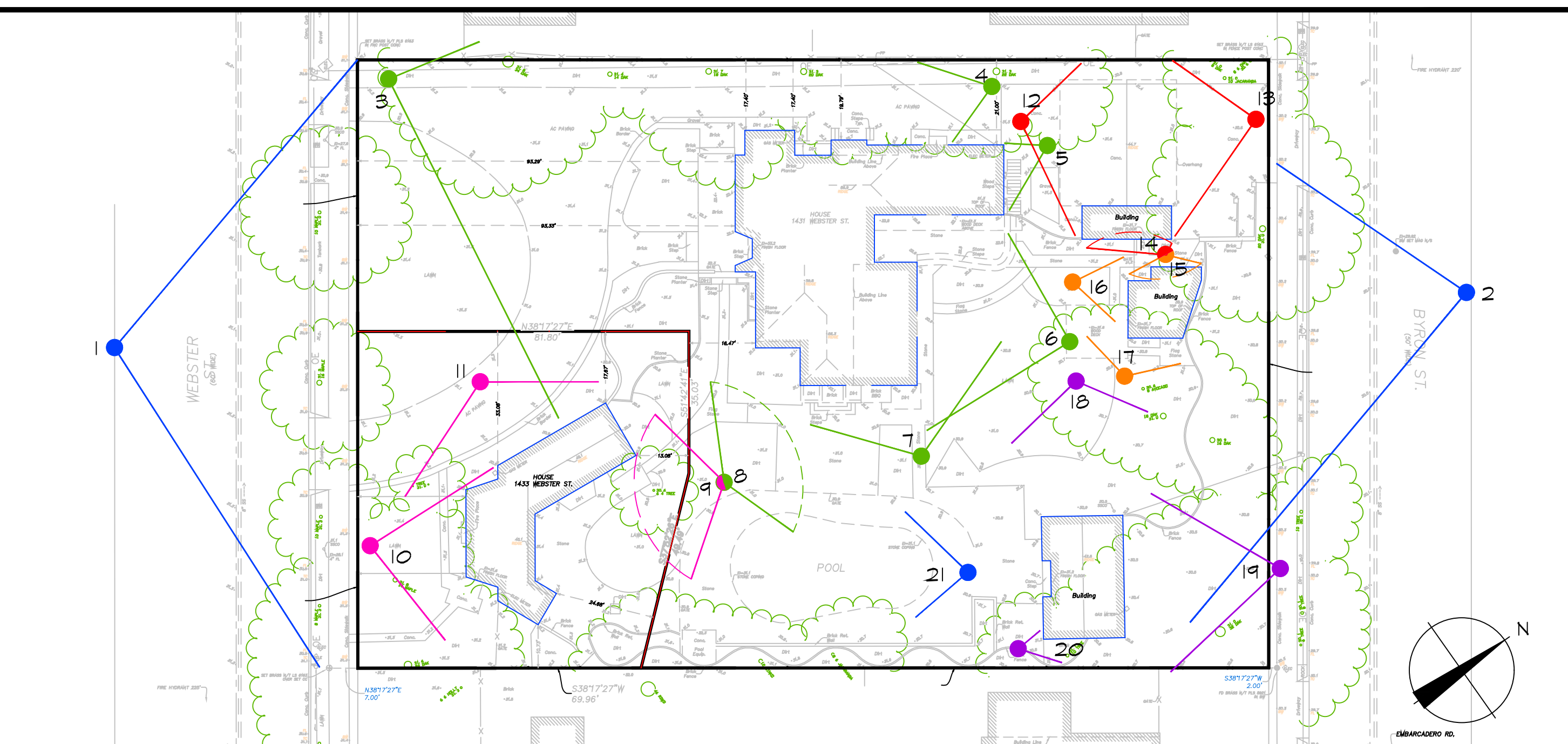
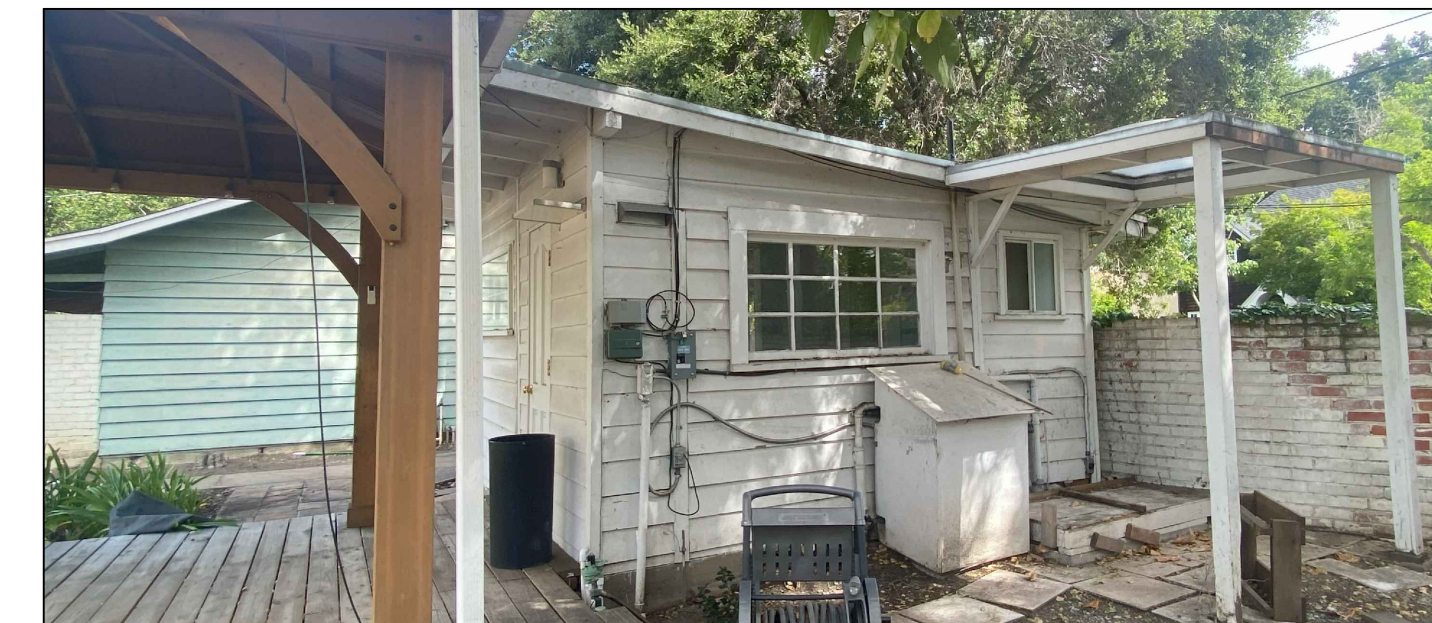
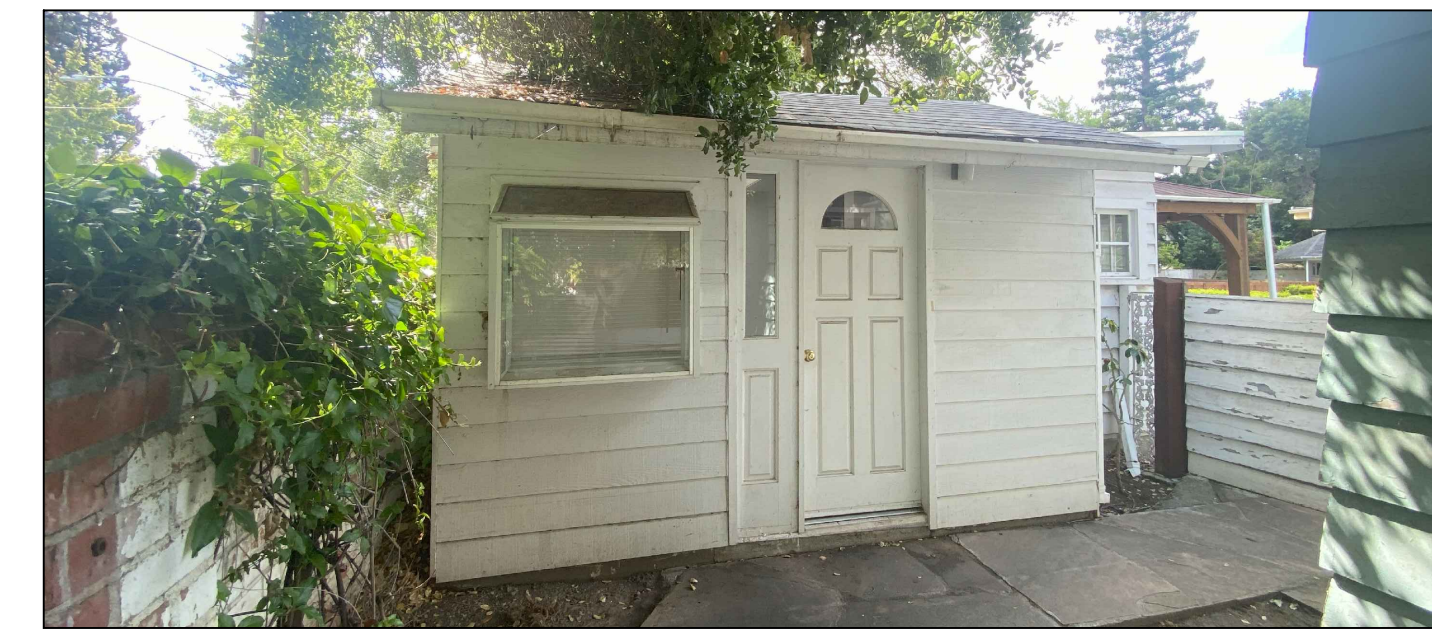
SCALE	1" = 20'
DATE	03-05-2025
JOB#	5565
APN	120-08-035 120-08-044

**FOUR-PARCEL
 PRELIMINARY PARCEL MAP**
 1431 & 1433 WEBSTER ST
 PALO ALTO, CA 94301
 SANTA CLARA COUNTY



REVISIONS	DATE
#1	NO.25PLN-00880 07/30/2025
#2	NO.25PLN-00880 10/16/2025

SHEET NUMBER
PMAP-9
 9 OF 9



City of Palo Alto

Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage, canopy, and branching structure clear from contact by equipment, materials, and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree preservation report must be added to this sheet when project activity occurs within the TPZ of a protected tree.** For detailed information on Palo Alto's protected trees and tree protection during development, review the **City's Tree and Landscape Technical Manual (TLTM)** found at www.cityofpaloalto.org/trees *



TREE DISCLOSURE STATEMENT
THIS FORM MUST BE COMPLETED BY A CERTIFIED ARBORIST
For ADU only & EVSE only projects, this form may be filled out by applicant.
For OTC permits, a City Staff Arborist may assist the applicant if needed.

CITY OF PALO ALTO
Urban Forestry Section
Development Review
trees@cityofpaloalto.org 650-496-5953

Palo Alto Municipal Code, Chapter [8.10.040](#), requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed tree disclosure statement must accompany all applications for development that include exterior work, all demolition or grading permit applications, or other development activity that may impact protected trees.

PROPERTY ADDRESS: 1431 Webster St.

1. Are there any trees over 4" in trunk diameter being proposed for removal? ☐ YES ☒ NO

2. Are there Protected trees on the property or on adjacent property within 30 feet of the proposed building footprint/ area of work? ☒ YES (continue form) ☐ NO (proceed to question 6)

3. Where are the trees located? Check all that apply. (Plans submitted must show all trees over 4" in diameter)

☒ On the property or in the adjacent public right-of-way** and within 30 feet of the proposed building footprint or

☐ On adjacent property within 30 feet of proposed building footprint/area of work or

☐ Close enough that its canopy overhangs the project site

**Street trees on the property or within 30ft of proposed work require special protection by a fenced enclosure per the instructions on the T-1 Sheet. Prior to beginning any work, you must schedule a Street Tree Protection Verification inspection by calling Public Works Operations at 650-496-5953 for an inspection of any required type I, II or III fencing (see attached Detail #605). NOTE: ADU only projects (including Table 1/5B9) are not exempt.

4. Are there any Protected Native Species Trees, Protected Mature Trees, Heritage Trees, or Designated Trees ? ☒ YES (Check below) ☐ NO

☒ Protected Native Species Trees - *Acer macrophyllum*, *Calocedrus decurrens*, *Quercus agrifolia*, *Quercus douglasii*, *Quercus kelloggii*, or *Quercus lobata* 11.5" DBH or more or *Sequoia sempervirens* 18" DBH or more

☐ Protected Mature Trees - Any tree equal to or greater than 15" DBH (Excluding *invasive species* and *high water users*)

☐ Designated Trees - Mitigation trees or commercial and non-residential property trees, which are part of a previously approved landscape plan

☐ Heritage Trees - Specific individual trees designated by Council. See the [Heritage Tree List](#)

5. Is there activity or grading within the TPZ of these trees? TPZ= radius of 10 times the diameter. ☒ YES ☐ NO

If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TLTM, Section 5.03.3). Attach this report to Sheet T-2, "Tree Protection, its Part of the Plan!", per Site Plan Requirements.*

6. Are the Site Plan Requirements completed? (See below) ☒ YES ☐ NO

*For ADU Only & EVSE Projects: this form may be filled out by the applicant instead of by a certified arborist. A "Yes" answer to question 5 for Table 1 ADU projects, garage conversions, or EVSE projects will not require a Tree Preservation Report. Table 1/5B9 projects are not exempt from tree disclosure.

For All Projects the following is required: Plans (drawn by architect, contractor, or arborist) must show the tree species, measured trunk DBH, canopy dripline, and TPZ of each tree 4" DBH or larger. ADU only & EVSE projects may indicate tree species and tree diameter sizes are estimated/approximate.

For Projects with Trees Requiring Tree Protection: the following is required: 1) Plans (drawn by architect, contractor, or arborist) must show the measured trunk DBH and TPZ of each Protected Tree; 2) Plans must denote, as a bold dashed line, a fenced enclosure containing the TPZ per Sheet T-1 and Detail #605 (See also TLTM 2, Section 3.03 for additional information).

For Projects with Activity or Grading Within the TPZ of a Protected Tree, A Tree Preservation Report is required and must be included in the T-1 set.

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action. (Note: Applicants signing for ADU only & EVSE projects will not be penalized for incorrect reporting of tree size or miss-identification of tree species.)

Signature: Harmonie Lau Print: Harmonie Lau ISA#: _____ Date: 5/27/25

1 Protected Trees - Includes any trees belonging to the following categories: a) Public Trees (Street Trees) - Trees growing in the city right of way or on public property; b) Protected Native Species Trees - Bigleaf Maples, Incense Cedars, Coast Live Oaks, Blue Oaks, CA Black Oaks or Valley Oaks which are 11.5" in diameter or larger and Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; c) Protected Mature Trees - All other species of trees with DBH of 15" or larger when measured 54" above natural grade (Excluding *invasive species* and *high water users*); d) Heritage Trees - Individual trees designated by City Council (See [Heritage Tree List](#)); and e) Designated Trees - mitigation trees or commercial and non-residential property trees, which are/were part of an approved landscape plan.

2 Palo Alto Tree and Landscape Technical Manual (TLTM) contains instructions for all requirements on this form. It is available on our website at: <https://www.cityofpaloalto.org/treed ordinance>

Revised 03/31/2025

PROJECT SPECIFIC REQUIREMENTS

TO BE FILLED OUT BY APPLICANT AT DIRECTION OF URBAN FORESTRY STAFF

The following conditions, inspection schedules or reporting requirements will be required when checked by city staff during Urban Forestry Review of development applications.

☐ PSR1 - TREE PROTECTION VERIFICATION INSPECTION REQUIRED: Prior to any site work, contractor must call Urban Forestry at 650-496-5953 to schedule an inspection of any required protective fencing. The fencing shall contain required warning signs and remain in place until completion of urban forestry final inspection.

☐ PSR2 - MWEL0 INSPECTION REQUIRED: Prior to building final, applicant must contact Urban Forestry at trees@cityofpaloalto.org for landscape final (MWEL0 Inspection). Schedule inspection once irrigation and landscaping are installed to plan, and irrigation controller schedule is programed. See MWEL0 guidelines for details on any required third-party water audits.

☐ PSR3 - TREE PERMIT REQUIRED: Plans indicate that protected trees will be removed as part of this project. Please contact the Urban Forestry review staff for the project or email trees@cityofpaloalto.org to obtain a Protected Tree Removal Permit to ensure that the project complies with PAMC 8.10.050.

☐ PSR4 - PROJECT ARBORIST: The property owner or contractor shall hire a designated arborist to ensure the project conforms to all Planning and Urban Forestry conditions related to landscaping/trees. The project arborist must be included in a mandatory pre-construction meeting and be present during any rough grading and trenching activities occurring within 10-feet of a TPZ and any approved activities inside the TPZ.

☐ PSR5 - PROJECT ARBORIST CERTIFICATION FORM: When required, project arborists must submit an online form [<https://us.openforms.com/Form/2262bf1a-c26f-4c04-8daa-15dbd9c8e08e>] certifying that they have reviewed the building permit plan set with regards to trees as well as any Urban Forestry Conditions of Approval, and that all requirements have been met. The letter also confirms that any required site monitoring inspections and reporting have been arranged in advance with the contractor or owner. Project Arborist Certification Forms should be included as supporting documents when submitting an application for a building permit that required prior approval through Planning (See Project Arborist Certification Form, TLTM Section 5.03.5).

☐ PSR6 - MONTHLY ARBORIST INSPECTIONS: The project arborist shall perform monthly inspections to monitor changing conditions and tree health. The Urban Forester shall be in receipt of an inspection summary during the first week of each calendar month or, immediately if there are any changes to the approved plans or protection measures. Reports should be submitted via the online form [<https://us.openforms.com/Form/ca5003f1-6836-4789-b534-b4dff1d457b1>] (see Tree Monitoring Reports, TLTM Section 5.03.6).

☐ PSR7 - SPECIAL ACTIVITY WITHIN THE TREE PROTECTION ZONE: Work in this area (TPZ) of a protected tree requires the direct on-site supervision by the project arborist (see Trenching and Excavation, TLTM Section 3.03.6-B5,6).

☐ PSR8 - SPECIAL ACTIVITY WITHIN STREET TREE TREE PROTECTION ZONE: Work in this area (TPZ) of a city tree requires an inspection by a city staff arborist before cutting of any roots greater than 2 inches in diameter. It is highly recommended that the project arborist provides the direct on-site supervision (see Trenching and Excavation, TLTM Section 3.03.6-B5,6).

URBAN FORESTRY STANDARD CONDITIONS

The following conditions and/or standard Municipal Code requirements apply to all projects unless otherwise specified in project specific checklists or conditions of approval. Any applicable items shall be addressed in any permit application such as a Building Permit, Excavation and Grading Permit, Certificate of Compliance, Street Work Permit, Encroachment Permit, etc.

URBAN FORESTRY GENERAL: The following general tree preservation measures apply to all trees to be retained: No storage of material, topsoil, vehicles or equipment shall be permitted within the Tree Protection Zone (TPZ). The ground under and around the tree canopy area shall not be altered. No waste material or construction byproducts are allowed within the TPZ. Trees to be retained shall be irrigated, aerated, and maintained as necessary to ensure survival.

TREE DAMAGE: Tree Damage, Injury Mitigation, and Inspections apply to the Contractor. Reporting, injury mitigation measures, and arborist inspection schedule may apply pursuant to TLTM, Section 5.03.6. Contractor shall be responsible for the repair or replacement of any publicly owned or protected trees that are damaged during the course of construction, pursuant to Title 8 of the Palo Alto Municipal Code, and City of Palo Alto Tree and Landscape Technical Manual, Section 3.02.

TPZ EXCAVATION RESTRICTIONS APPLY - TLTM, Sec. 3.03.6 - B5,6: Any approved grading, digging, potholing, or trenching within the TPZ of a protected tree shall be performed using 'air-spade' method as a preference, with manual hand shovel as a backup. (TPZ= 10x the tree diameter at 54" above grade) For utility trenching, including sewer line, roots exposed with a diameter of 2 inches and greater shall remain intact and not be damaged. If directional boring method is used to tunnel beneath roots, then CPA Standard Detail #504 shall be printed on the final plans and the buffer distances in TLTM Table 3-4, Trenching and Tunneling Distance, shall be implemented by Contractor. Contractor must notify the Urban Forestry Section at (650) 496-5953 in advance of conducting any approved excavation within 10-feet of any street trees (or for any protected tree on EVSE projects). Urban Forestry may choose to monitor or review the work for compliance with the City's Tree Protection Zone (TPZ) excavation standards.

TREE PROTECTION COMPLIANCE: The owner and contractor shall implement all protection and inspection schedule measures, design recommendations, and construction scheduling as stated in the Tree Preservation Report and/or T-1 Sheet Set and is subject to code compliance action pursuant to PAMC 8.10.080. The required protective fencing shall remain in place until the final landscaping or Urban Forestry inspection of the project is completed.

NO NET LOSS OF CANOPY: In order to comply with the City's no net loss of canopy policy (PAMC 8.10.055; Urban Forest Master Plan Goals 6.A, 6.B, & 6.C; Comprehensive Plan, Natural Environment Chapter Goal N-2) all trees 4 inches DBH and larger are subject to replacement to avoid a loss of canopy at the neighborhood level. Replacement ratios are determined by table 3-1 in the Tree and Landscape Technical Manual, Section 3.02. New landscape tree plantings (24 inch box or larger) count towards the replacement total. Screening trees may also count toward the total depending on size and species selected. If unable to plant the required number of trees on site (our preferred solution) there is the option of paying in-lieu fees per each 24 inch box tree into the forestry fund. [Note: A replacement at ratio of 1:1 for trees listed as exempt species under PAMC 8.10.020 is recommended. Exempt trees may require full replacement on parcels zoned other than R1, RE, R-2, or RMD]

PLAN CHANGES: Revisions and/or changes to plans before or during construction shall be reviewed and responded to by the (a) project site arborist, or (b) landscape architect with written letter of acceptance before submitting the revision to Planning and Development Services Department for review by Planning, Public Works, or Urban Forestry.

PLAN SET REQUIREMENTS: The final Plans submitted for a building permit shall include the location, DBH, canopy drip-line, and TPZ of all trees 4 inches DBH or greater as well as the following information and notes on relevant plan sheets:

a. T-1 SHEET SET, The building permit plan set will include the City's full-sized, T-1 Sheet Set (Tree Protection-it's Part of the Plan!), available on the Development Center website. A certified arborist shall complete and sign the Tree Disclosure Statement.

b. TREE PRESERVATION REPORT (TPR), if indicated by Tree Disclosure Statement, All sheets of the Applicant's TPR approved by the City for full implementation by Contractor, shall be printed on numbered T-1 Sheets (T-3, T-4, etc.) and added to the sheet index.

c. TREE PROTECTION FENCING, The Plan Set (esp. site, demolition, grading & drainage, foundation, irrigation, tree disposition, utility sheets, etc.) must delineate/show the correct configuration of Type I, Type II or Type III fencing around each Protected Tree, using a bold dashed line enclosing the Tree Protection Zone (CPA Standard Detail #605).

WEBSTER REAL LLC
1431 WEBSTER STREET
PALO ALTO, CA 94301

Project Data

T-1



All other tree-related reports shall be added to the space provided starting on sheet T3, adding sheets as needed. Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of the T-1 Sheet Set can be downloaded at <http://www.cityofpaloalto.org/trees>
* Please note: Until the new TLTM is published the city's updated Tree Protection Ordinance takes precedence over TTM if conflict exists.

Special Tree Protection Instruction Sheet Set
City of Palo Alto



T-1

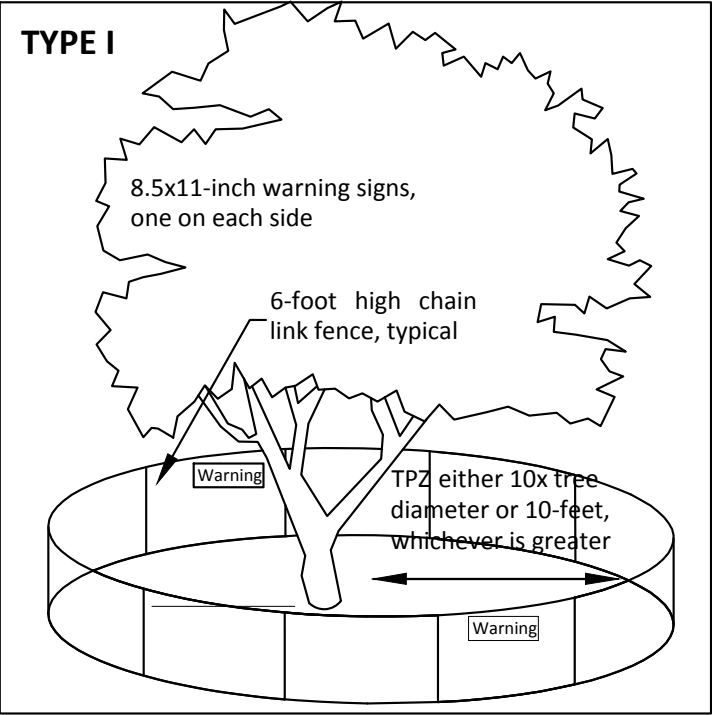
Updated 03/31/2025

City of Palo Alto - Tree Protection - It's Part of the Plan!

For written specifications associated with illustrations below, see Public Works Specifications Section 31. Detailed specifications are found in the Palo Alto Tree & Landscape Technical Manual (TLTM) (www.cityofpaloalto.org/trees)

Tree Protection Zone (TPZ) shown by circle at grade (radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater).

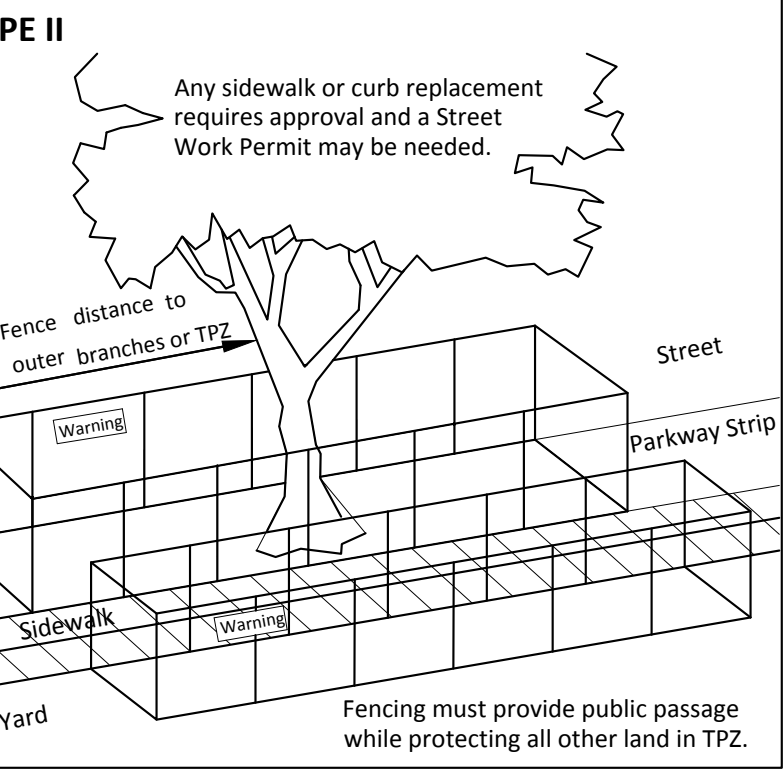
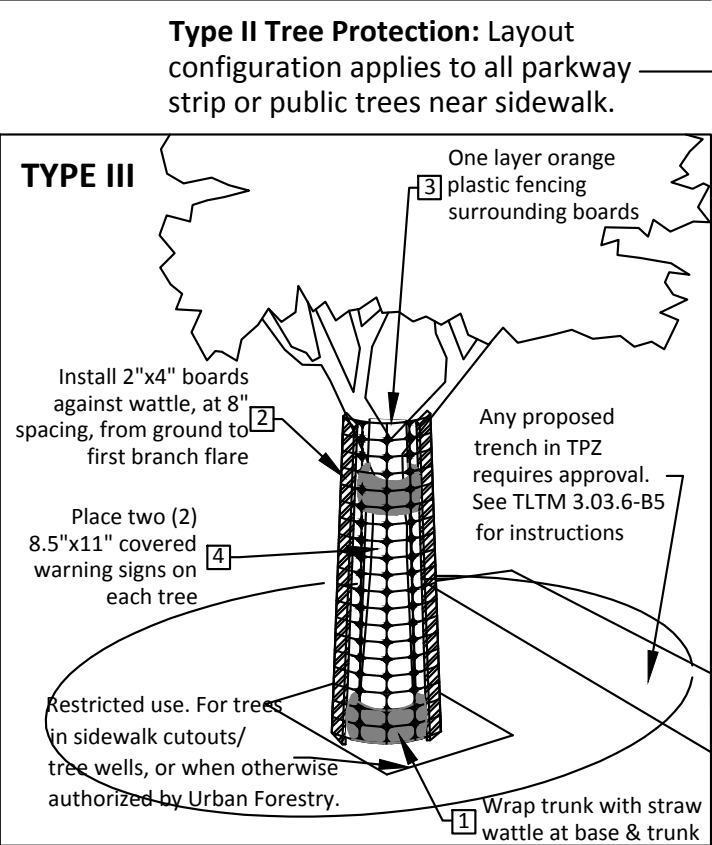
The TPZ is a restricted activity and restricted trenching area - see Tree & Landscape Technical Manual Sec 3.03.6(A1,B1,B5,6), any proposed trench or form work within TPZ of a protected tree requires approval from Urban Forestry. Call 650-496-5953.



Type I Tree Protection: Layout configuration applies to all Protected Trees, matching the site diagram with the tree preservation report (TPR) distances written for the project. Fencing should be shown on plans as it will be installed. A curved fence for a TPZ is generally not practical.

Fencing Inspection pass/fail is dependent on correct layout and mounted sign placard.

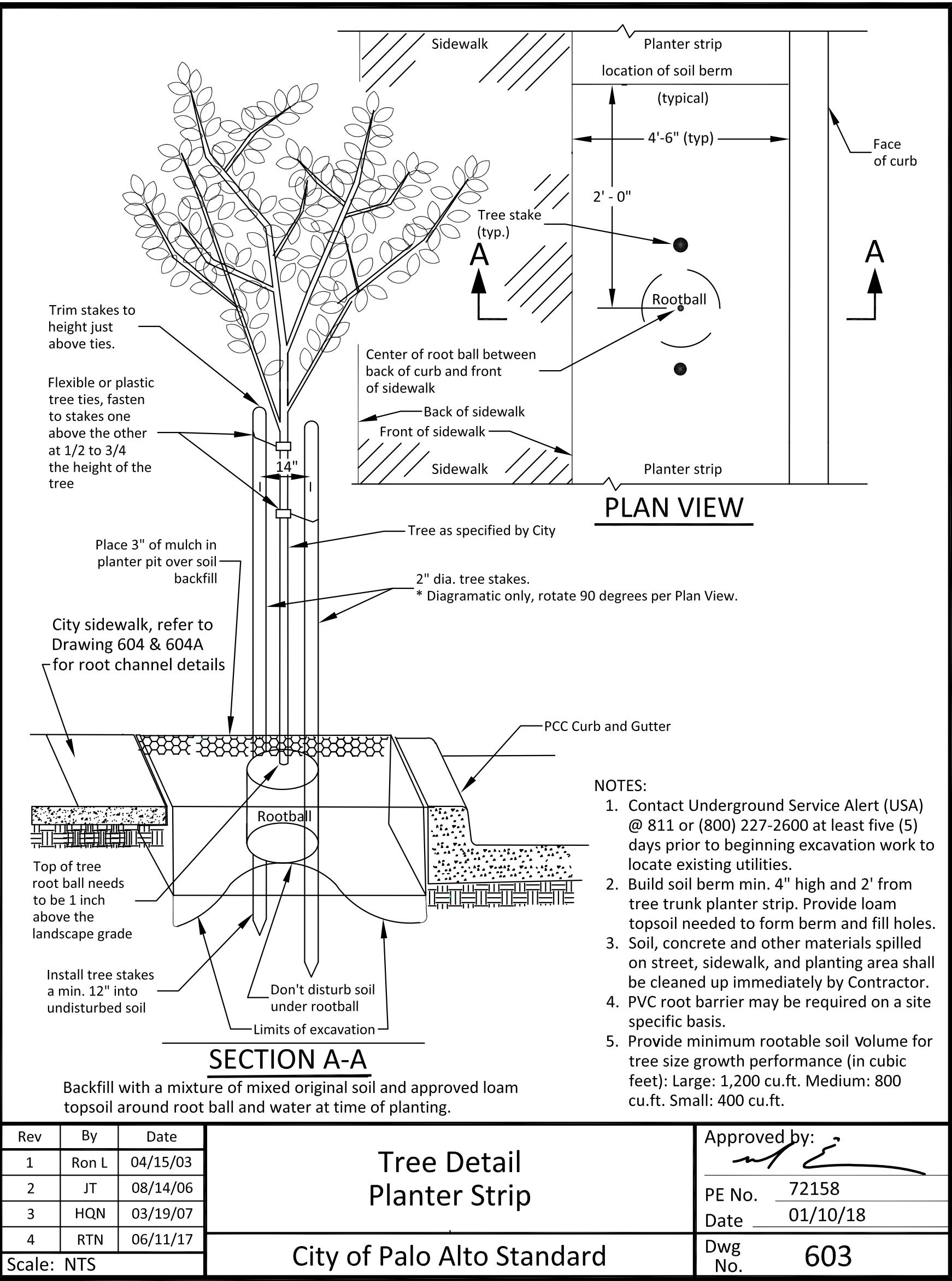
Place two (2) 8.5"x11" covered warning signs at each tree.



Type III Tree Protection: Layout for trunk protection applies to all Protected Trees when exclusively authorized for sidewalk cut-out. To be used only with approval from Urban Forestry.

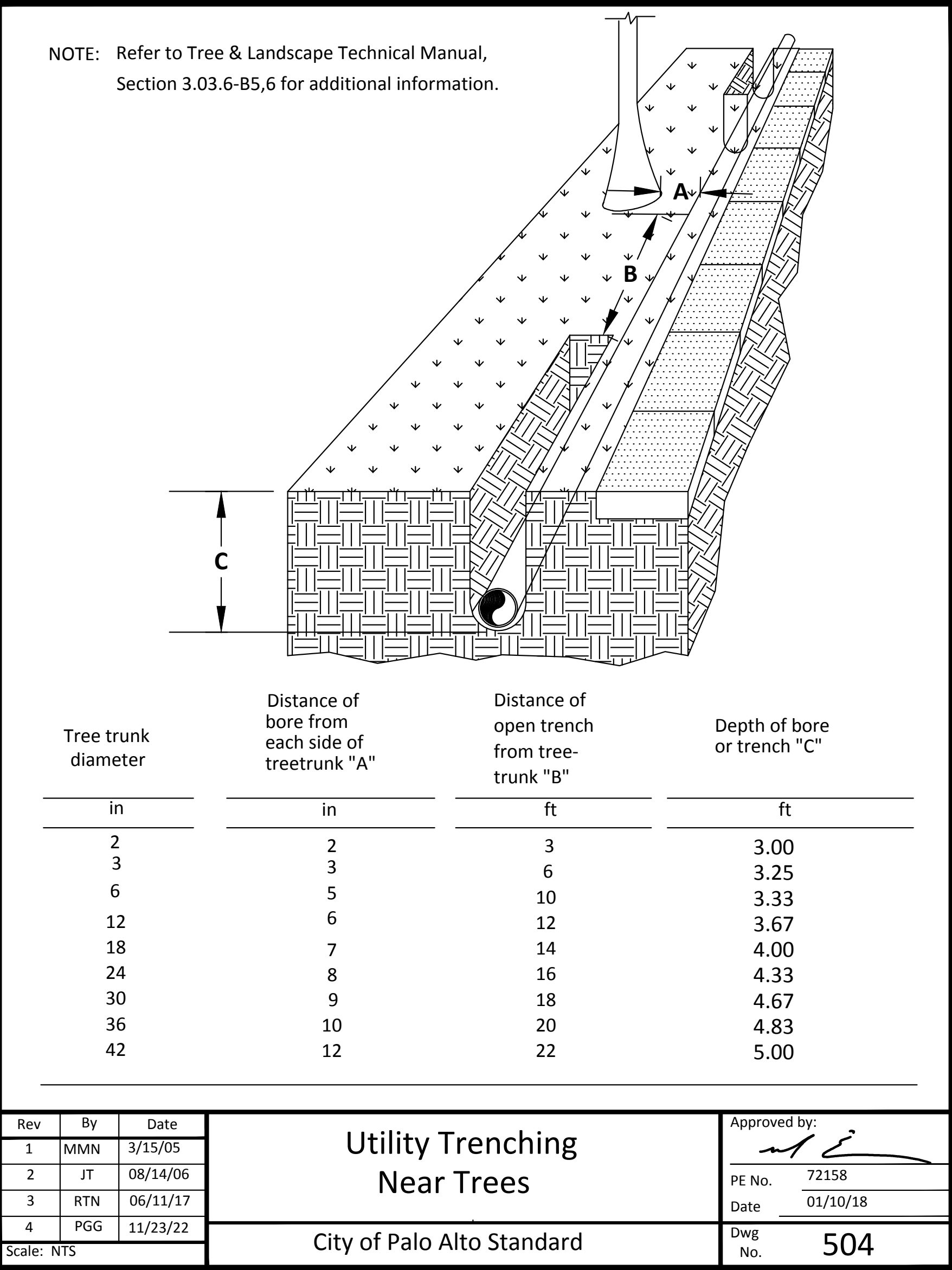
Required tree protection shall be installed **before** demolition, excavation, or site work occurs.

Rev	By	Date	Tree Protection During Construction	City of Palo Alto Standard	Approved by:	
1	DD	08/10/06			P. GOLLINGER	
2	JGH	06/02/16			PE No.	ISA-WE: 7320BM
3	RTN	05/22/17			Date	10/24/2024
4	PGG	10/24/24			Dwg No.	605
Scale: NTS						



- NOTES:
- Contact Underground Service Alert (USA) @ 811 or (800) 227-2600 at least five (5) days prior to beginning excavation work to locate existing utilities.
 - Build soil berm min. 4" high and 2' from tree trunk planter strip. Provide loam topsoil needed to form berm and fill holes.
 - Soil, concrete and other materials spilled on street, sidewalk, and planting area shall be cleaned up immediately by Contractor.
 - PVC root barrier may be required on a site specific basis.
 - Provide minimum rootable soil volume for tree size growth performance (in cubic feet): Large: 1,200 cu.ft. Medium: 800 cu.ft. Small: 400 cu.ft.

Rev	By	Date	Tree Detail Planter Strip	Approved by:
1	Ron L	04/15/03		
2	JT	08/14/06		
3	HQN	03/19/07		
4	RTN	06/11/17		
Scale: NTS			City of Palo Alto Standard	PE No. 72158 Date 01/10/18 Dwg No. 603



NOTE: Refer to Tree & Landscape Technical Manual, Section 3.03.6-B5,6 for additional information.

Tree trunk diameter	Distance of bore from each side of tree trunk "A"	Distance of open trench from tree-trunk "B"	Depth of bore or trench "C"
in	in	ft	ft
2	2	3	3.00
3	3	6	3.25
6	5	10	3.33
12	6	12	3.67
18	7	14	4.00
24	8	16	4.33
30	9	18	4.67
36	10	20	4.83
42	12	22	5.00

Rev	By	Date	Utility Trenching Near Trees	City of Palo Alto Standard	Approved by:
1	MMN	3/15/05			
2	JT	08/14/06			
3	RTN	06/11/17			
4	PGG	11/23/22			
Scale: NTS			PE No.		72158
			Date	01/10/18	
			Dwg No.	504	



CITY OF PALO ALTO

LANDSCAPE DISCLOSURE STATEMENT

CITY OF PALO ALTO

Urban Forestry Section

Development Review

trees@cityofpaloalto.org

THIS FORM MUST BE COMPLETED FOR ALL PROJECTS THAT INCLUDE LANDSCAPING

Palo Alto Municipal Codes, Chapters 12.32.040, 16.14, and 18.40.130 requires compliance with the State Model Water Efficient Landscape Ordinance (MWEL0). Disclosure of square footage of landscaped area for all projects will assist the applicant and the City with compliance and reporting requirements. Refer to the City's [MWEL0 Submittal & Guidelines](#) document for further details.

PROPERTY ADDRESS: _____

1. Is there any new or rehabilitated landscape area included in this project?

☐ YES (continue form) ☐ NO (form requirements complete)

2. If new landscape is included, enter the square footage: New Landscape square footage* = _____

*If the square footage of new landscaping is greater than 500 square feet, the project will need to submit MWEL0 documentation.

3. If rehabilitated landscape is included, enter the square footage: Rehabilitated Landscape**= _____

**If the square footage of rehabilitated landscaping is greater than 2500 square feet the project will need to submit MWEL0 documentation.

4. Enter the total combined square footage of all landscaping included in the project***= _____

***If the total square footage of all landscaping is greater than 2500 square feet the project will need to submit MWEL0 documentation.

I, the undersigned, agree that the above information is accurate and complete. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement may delay project approval.

Signature: _____ Print: _____ Date: _____

Revised 03/05/2025

SAMPLE WARNING SIGN FOR TREE PROTECTION FENCING

Each fenced tree enclosure should have a minimum of two warning signs containing the same information as the sample sign on right. Signs should be laminated, printed on waterproof material or be otherwise protected from the elements.

Apply Tree Preservation Report starting on sheet T-3 when required

Use additional "T" sheets as needed

---WARNING---
Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

Project Data
WEBSTER REAL LLC
1431 WEBSTER STREET
PALO ALTO, CA 94301

T-2



All other tree-related reports shall be added to the space provided starting on sheet T3, adding sheets as needed. Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of the T-1 Sheet Set can be downloaded at <http://www.cityofpaloalto.org/trees>

Special Tree Protection Instruction Sheet Set
City of Palo Alto



T-2