

2100 - 2400 GENG ROAD

PALO ALTO CA

MAJOR ARB APPLICATION



COVER SHEET

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

DAHLIN GROUP ARCHITECTURE | PLANNING

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A.1

DAHLIN GROUP
5365 Owens Drive
Pleasanton, California 94588
925-251-7200



1214-009 | 17 DECEMBER 2024

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2100 - 2400 GENG ROAD

PALO ALTO CA

MAJOR ARB APPLICATION

VICINITY MAP:



PROJECT SITE

PROJECT TEAM INFO:

APPLICANT:

STRADA INVESTMENT GROUP
201 SPEAR STREET, SUITE 1650
SAN FRANCISCO, CA 94105
CONTACT : THEODORE CONRAD
TCONRAD@STRADASF.COM

ARCHITECT:

DAHLIN
5865 OWENS DRIVE
PLEASANTON, CA 94588
CONTACT : RITU RAJ SHARMA
RITURAJ.SHARMA@DAHLINGROUP.COM

CIVIL:

CBG
2633 CAMINO RAMON, SUITE 50
SAN RAMON, CA 94583
CONTACT : JASON NERI
JNERI@CGANDG.COM

LANDSCAPE:

THE GUZZARDO PARTNERSHIP, INC.
PIER 9, THE EMBARCADERO, SUITE 115
SAN FRANCISCO, CA 94111
CONTACT : DANIEL RAYMOND
DRAYMOND@TGP-INC.COM

PROJECT DATA TABLE

		Required / Existing		Proposed		Notes
Total Lot Area (SF)		8,500		478,727		+/- 11 AC
Net site area (sf)				354,414		+/- 8.14 ac
Site Coverage (SF.)		167,554	35%	144150	30%	
	FAR	0.5:1		1.02:1		
Setbacks						
	Front	20'		20'		
	Side	10'		10'		
	Rear	10'		10'		
Height		30'		42'-2"		
Required Parking						
	Vehicle Spaces	272		317		2 garage spaces per unit + on-site guest spaces
Tandem Parking Percentage				21%		
Bicycle Long Term Spaces		272		272		Min. one space provided in garage
Bicycle Short Term Spaces		14		14		
	Building Occupancy					
	Pull apart townhomes	R3				
	Attached Townhomes	R2				
		Count				Notes
Number of Units						
	Existing	0				
	Demolished	0				
	New	137				
Proposed Residential Density (units / acre)		12.5				
		Required		Proposed		Notes
BMR Units		17.8		18		
Landscaped Open Space area		167,554	35%	215,000	45%	
Usable Open Space area		20,550		56,980		Reqd. @ 150 per unit,
Min. Common Usable Open Space area		10,275		22,730		Reqd. @ 75 per unit,
Min. Private Usable Open Space area		6,850		34,250		Reqd. @ 50 per unit ,
						Each unit will have a min. 250 sf of roof decks
Unit Mix						
		# of units	% of units	Bedrooms	Baths	Garage type
Pull Apart Towns Front Loaded Townhomes		21	15%	4	3.5	2 car standard
Pull Apart Towns Alley Loaded Townhomes		26	19%	4	3.5	2 car standard
Row townhomes - Interlock tandem		28	20%	3	2.5	2 car tandem
Rowtown homes - Interlock - interior unit		28	20%	3	2.5	2 car standard
Rowhome townnhomes - Standard end unit		34	25%	4	3.5	2 car standard
		137	100%			

TITLE SHEET

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

DAHLIN GROUP ARCHITECTURE | PLANNING

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A.2

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DAHLIN



1



4



2



5



3



6

NEIGHBORHOOD CONTEXT

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

DAHLIN GROUP ARCHITECTURE | PLANNING

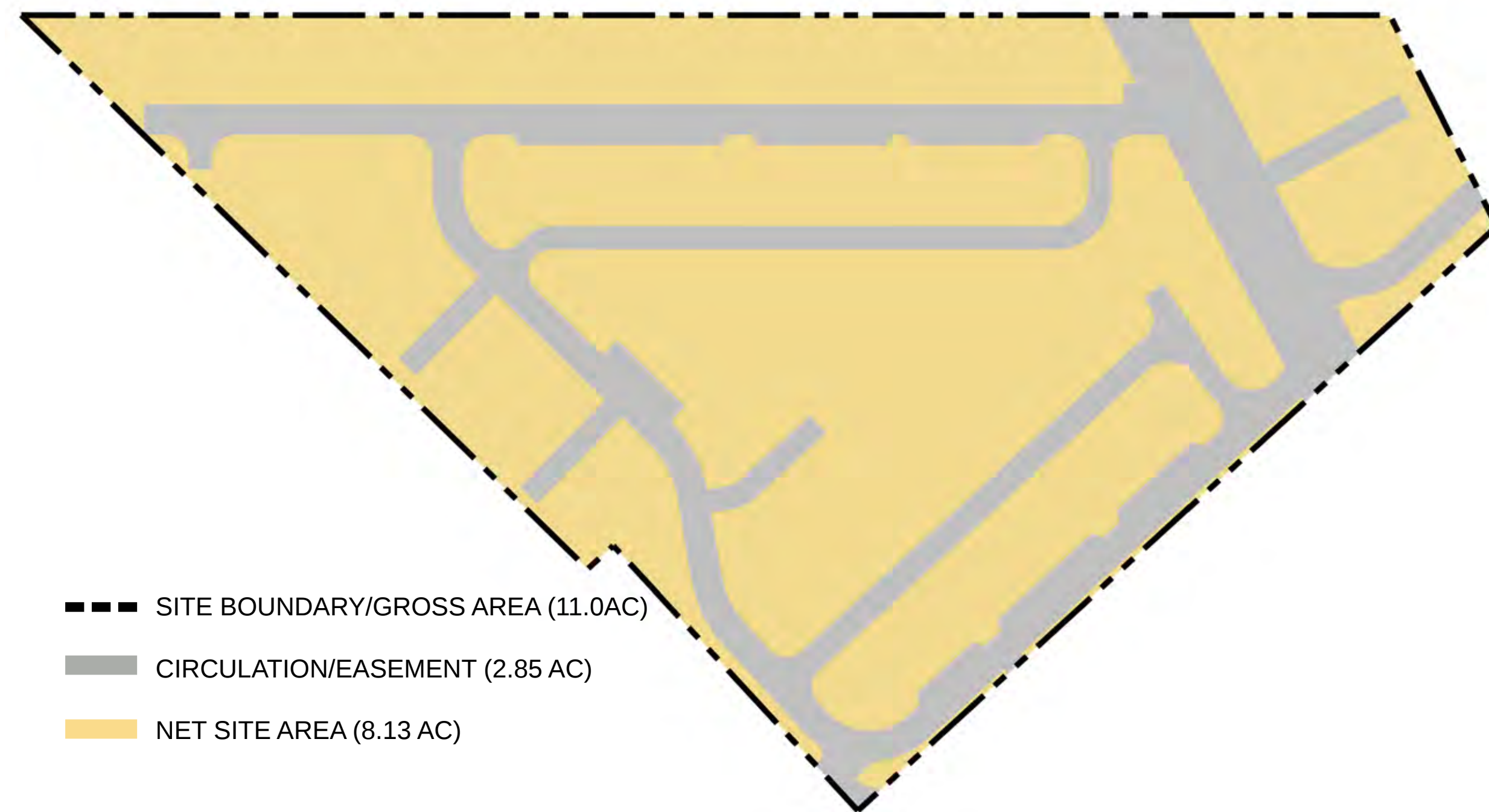
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A.3

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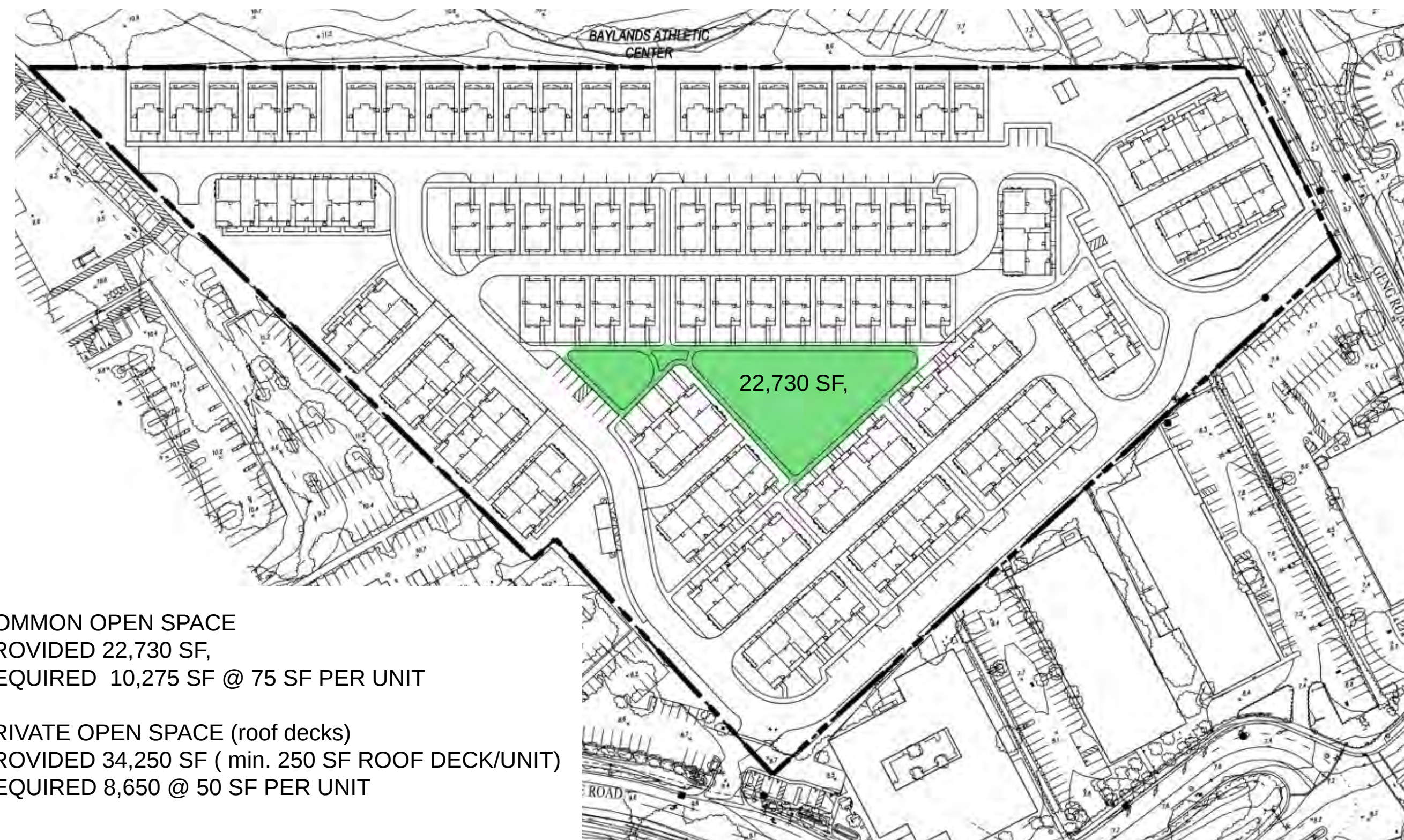




GROSS AND NET SITE AREA



BIKE AND PEDESTRIAN CIRCULATION



COMMON OPEN SPACE



LANDSCAPE AREA



■	PULL APART TOWNHOMES (FRONT LOADED)	21 UNITS
■	PULL APART TOWNHOMES (ALLEY LOADED)	26 UNITS
■	ROW TOWNHOMES	90 UNITS
■	ADA UNITS	9 UNITS (10% OF 90)



■	4 BEDROOM UNITS	81 UNITS (59%)
■	3 BEDROOM UNITS	56 UNITS (41%)
■	4 BEDROOM BMR UNITS	16 UNITS (59%)
■	3 BEDROOM BMR UNITS	11 UNITS (41%)

UNIT MIX AND BMR ALLOCATION

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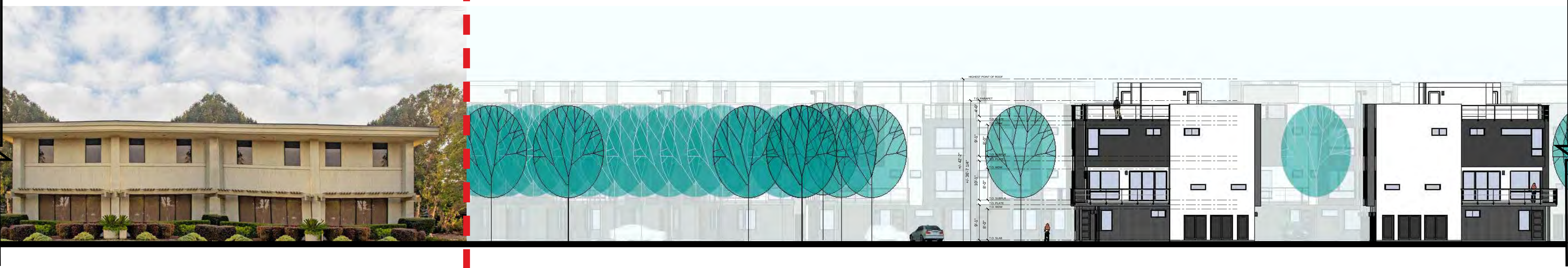
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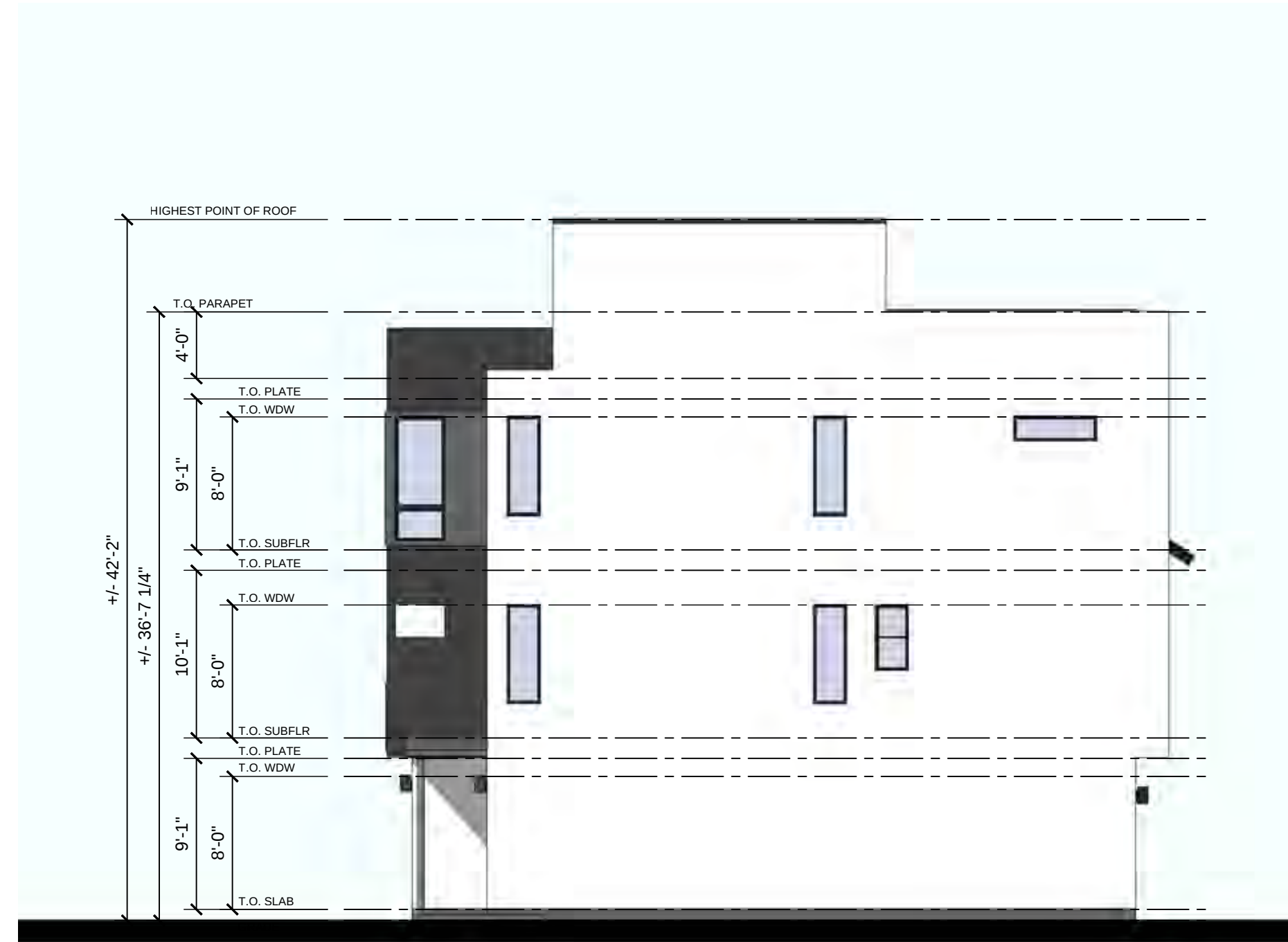


EXISTING BUILDINGS

PROPOSED GENG ROAD PROJECT



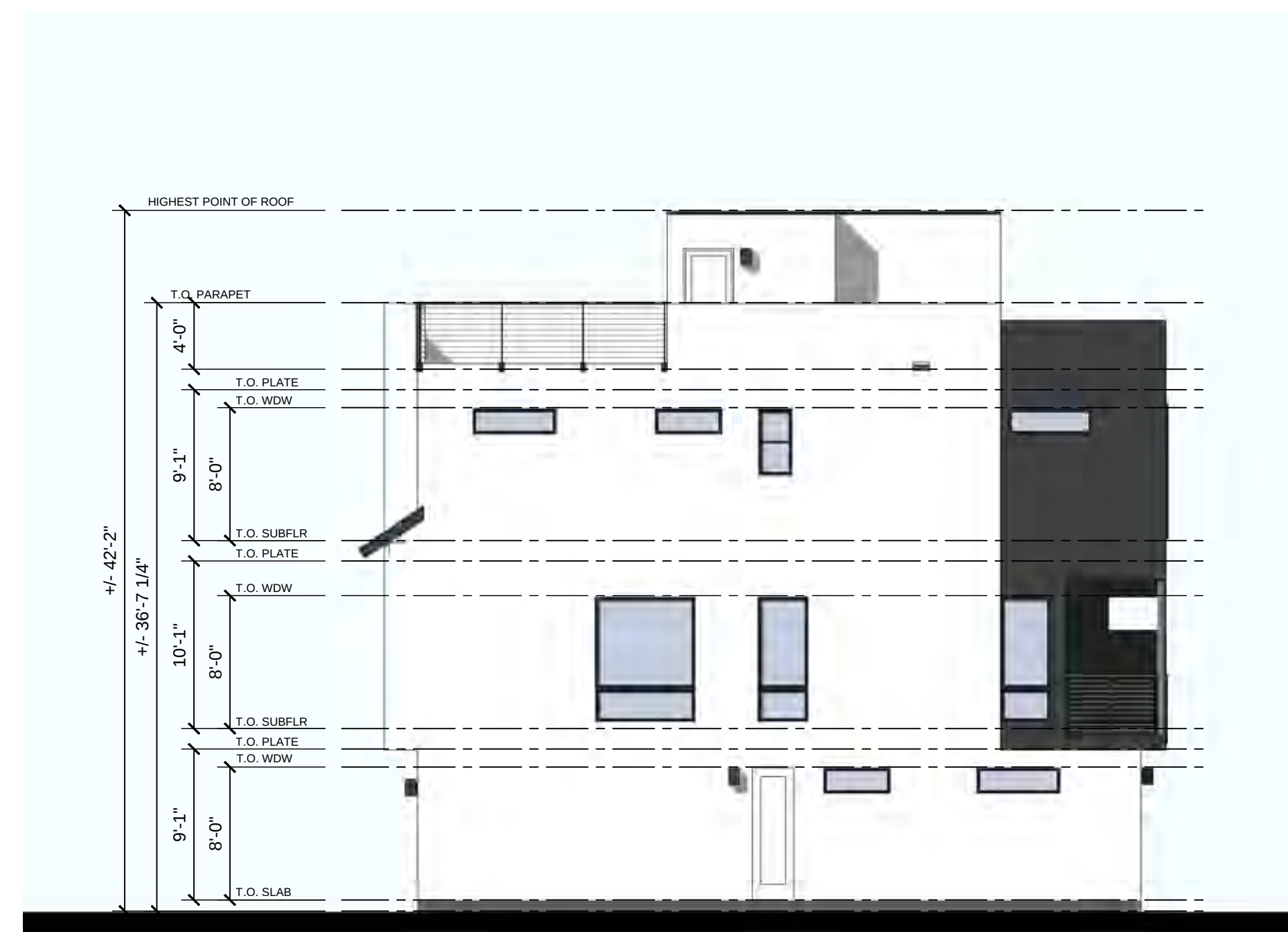
GENG ROAD STREETSCAPE



RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

ALLEY LOADED DETACHED TOWNS - ELEVATION A

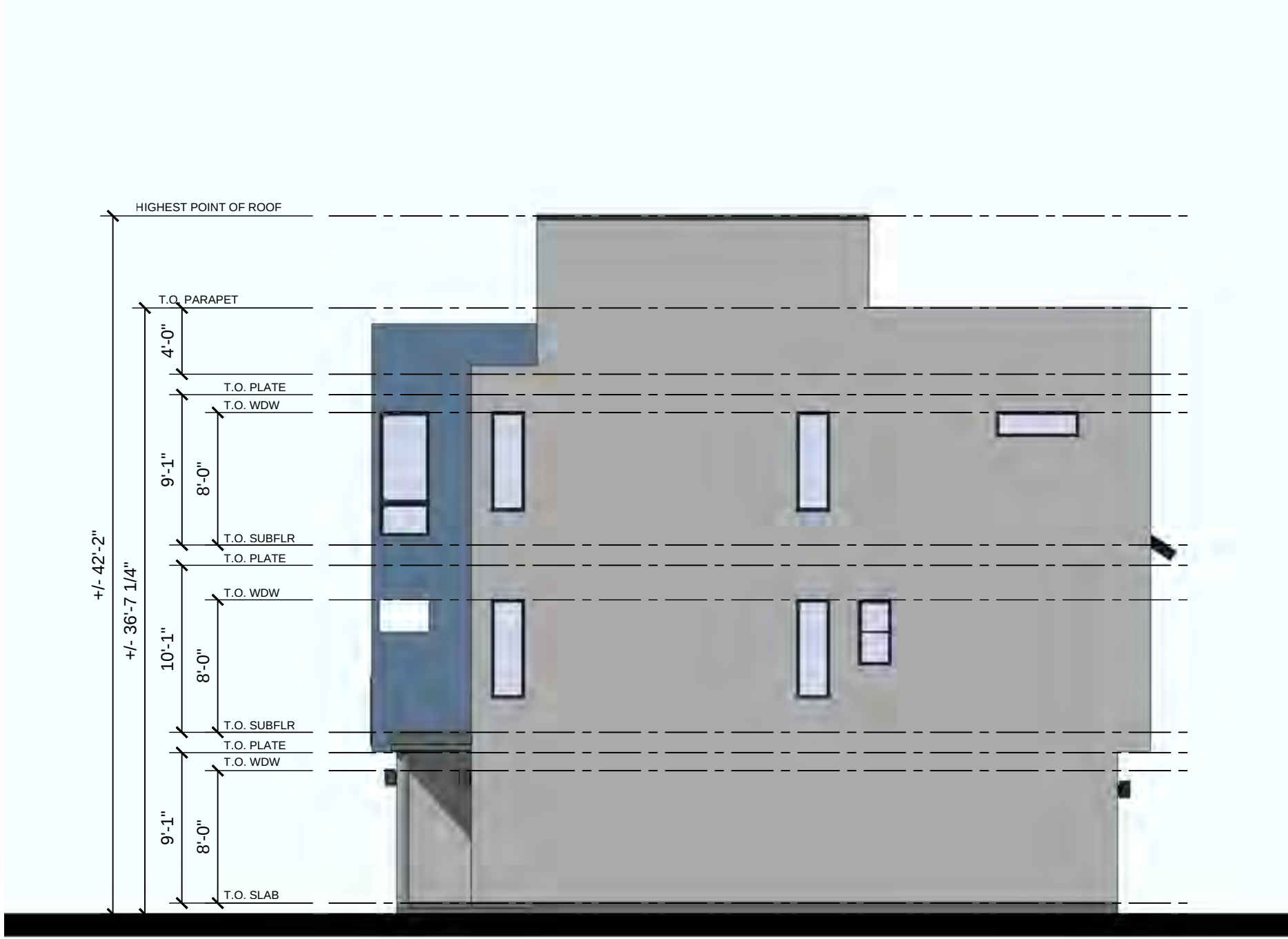
GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP



A.7

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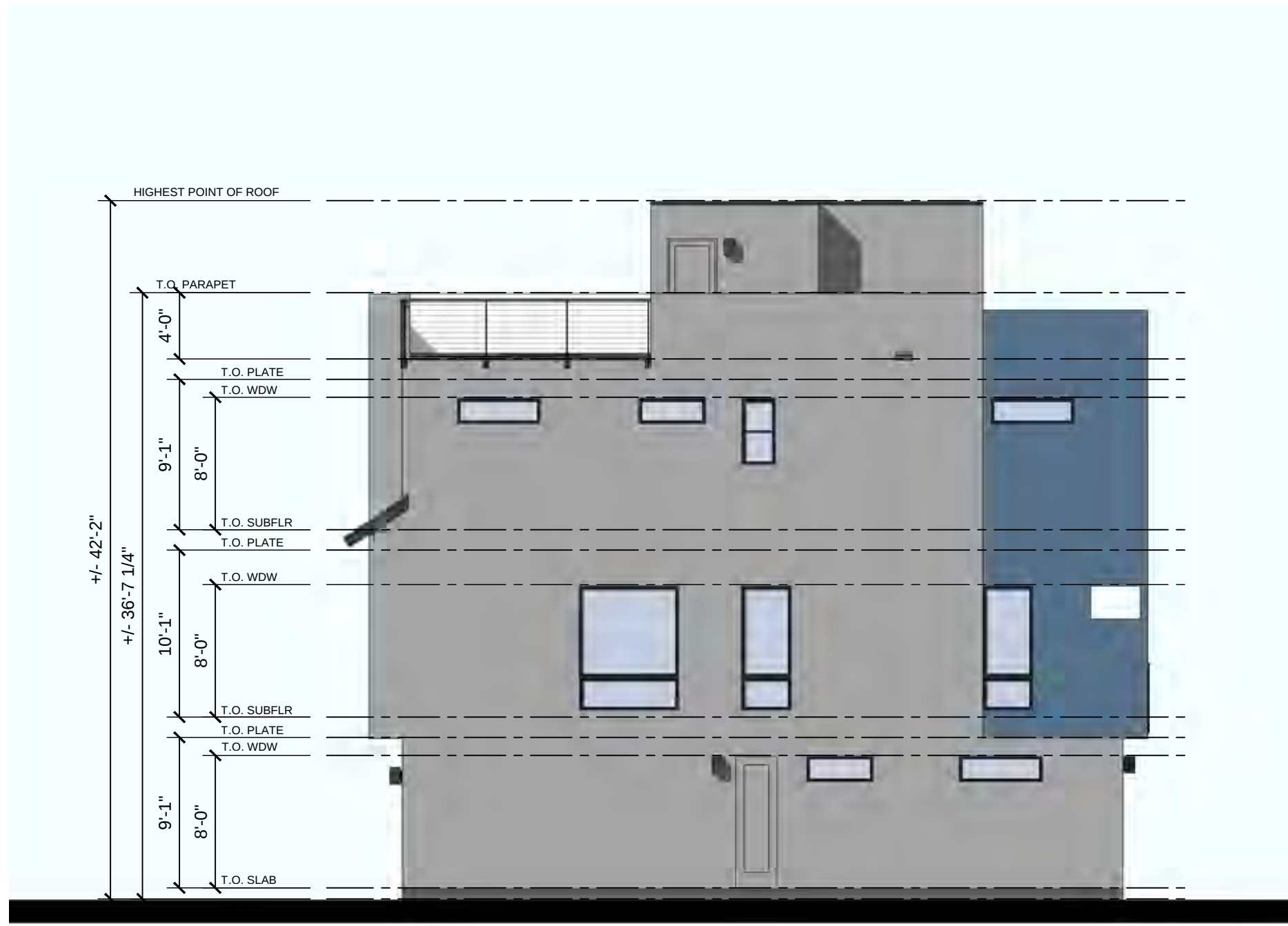




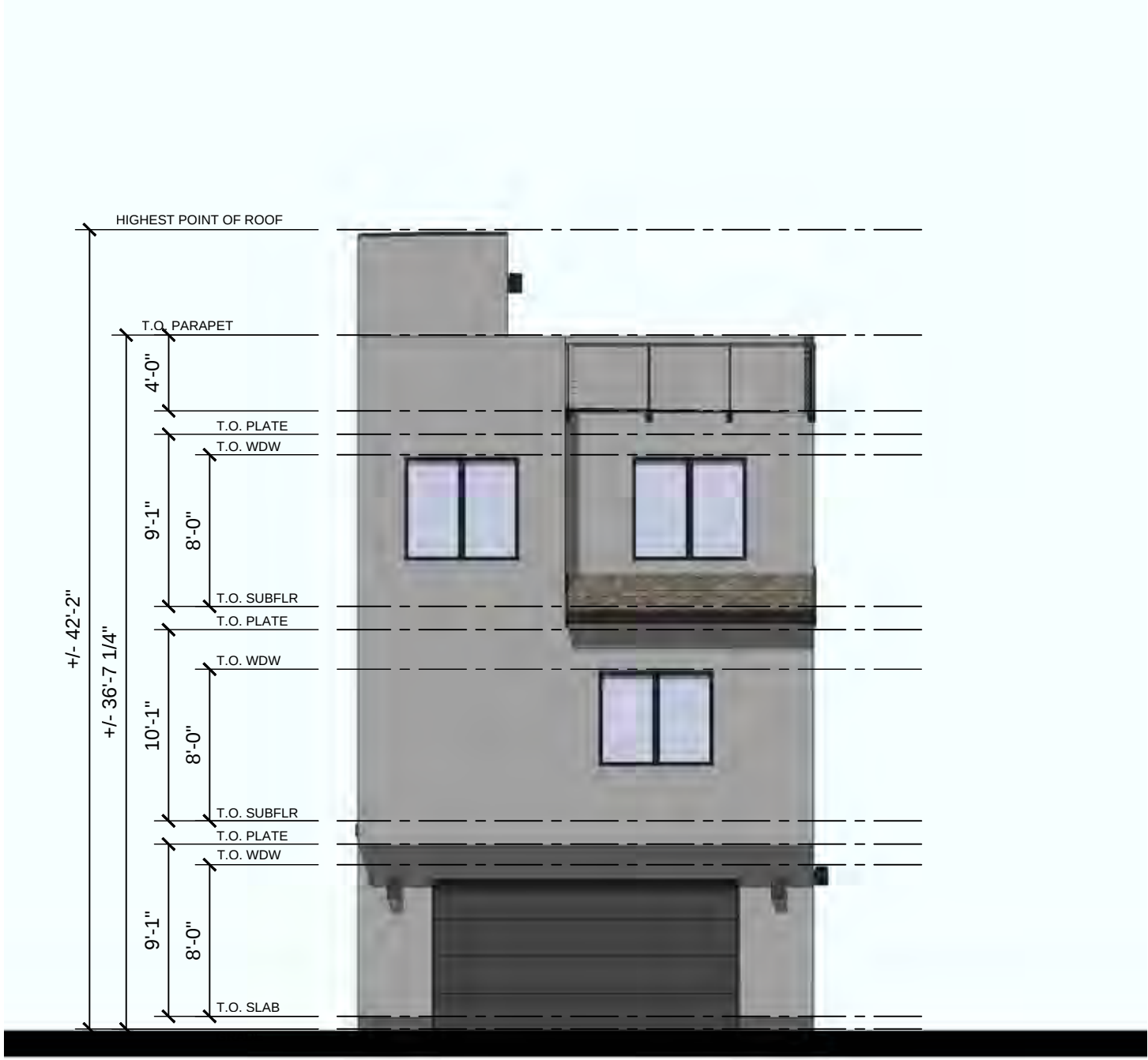
RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

ALLEY LOADED DETACHED TOWNS - ELEVATION B

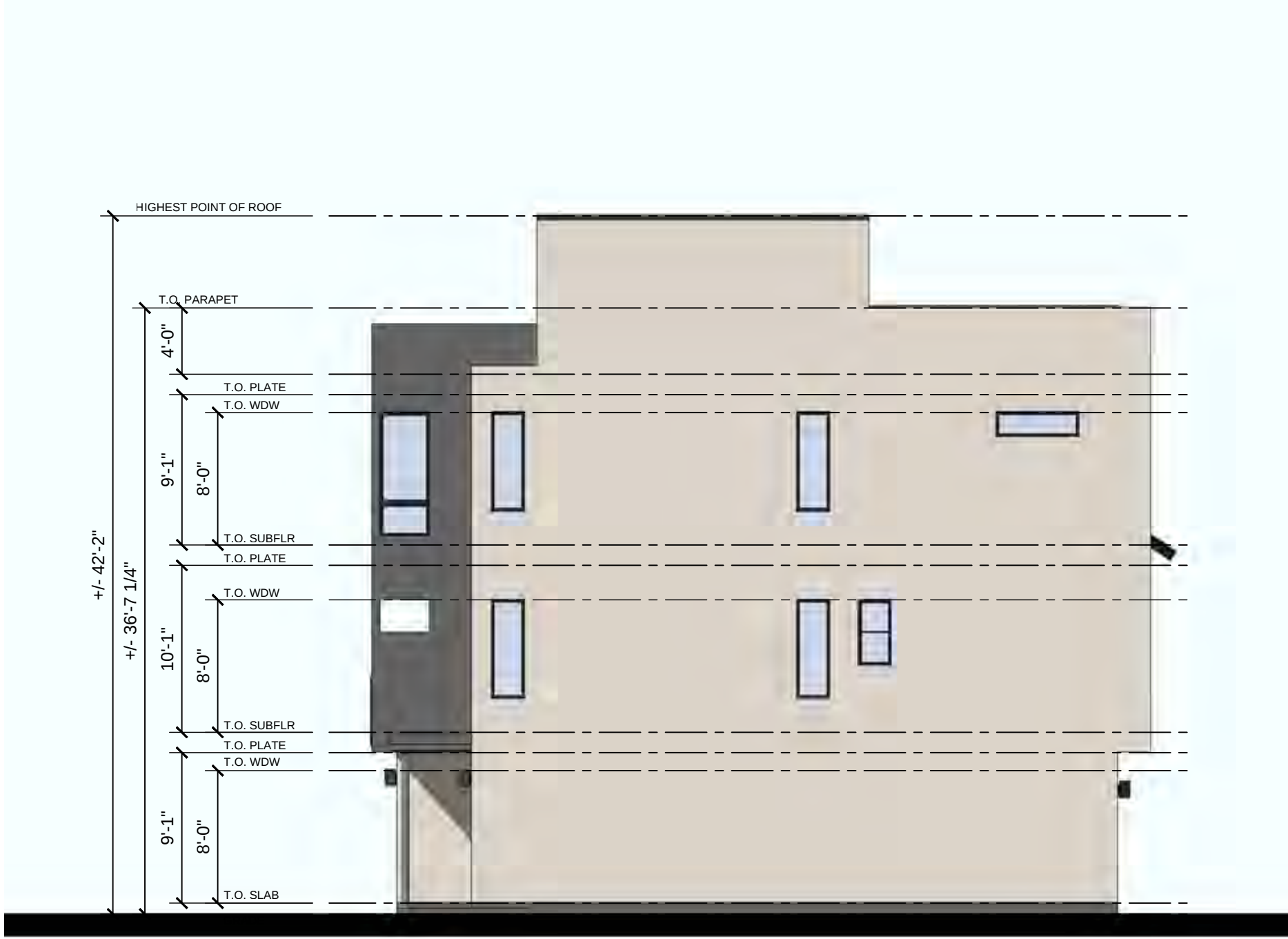
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RIGHT ELEVATION



FRONT ELEVATION



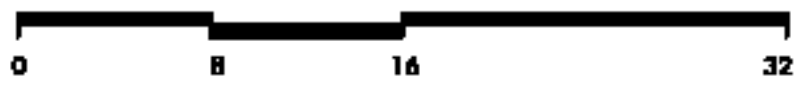
LEFT ELEVATION



REAR ELEVATION

ALLEY LOADED DETACHED TOWNS - ELEVATION C

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A.9

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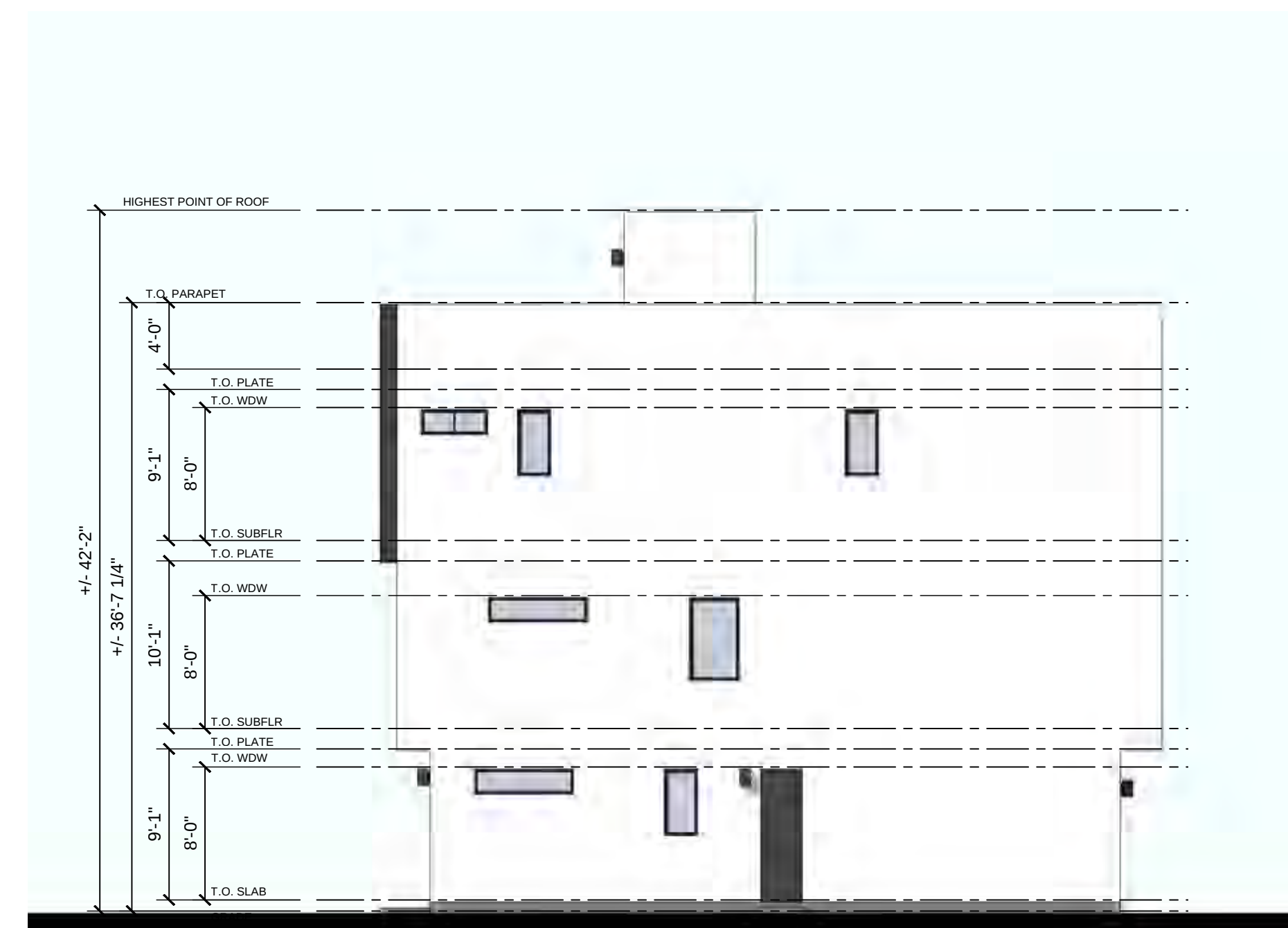




RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

FRONT LOADED DETACHED TOWNS - ELEVATION A

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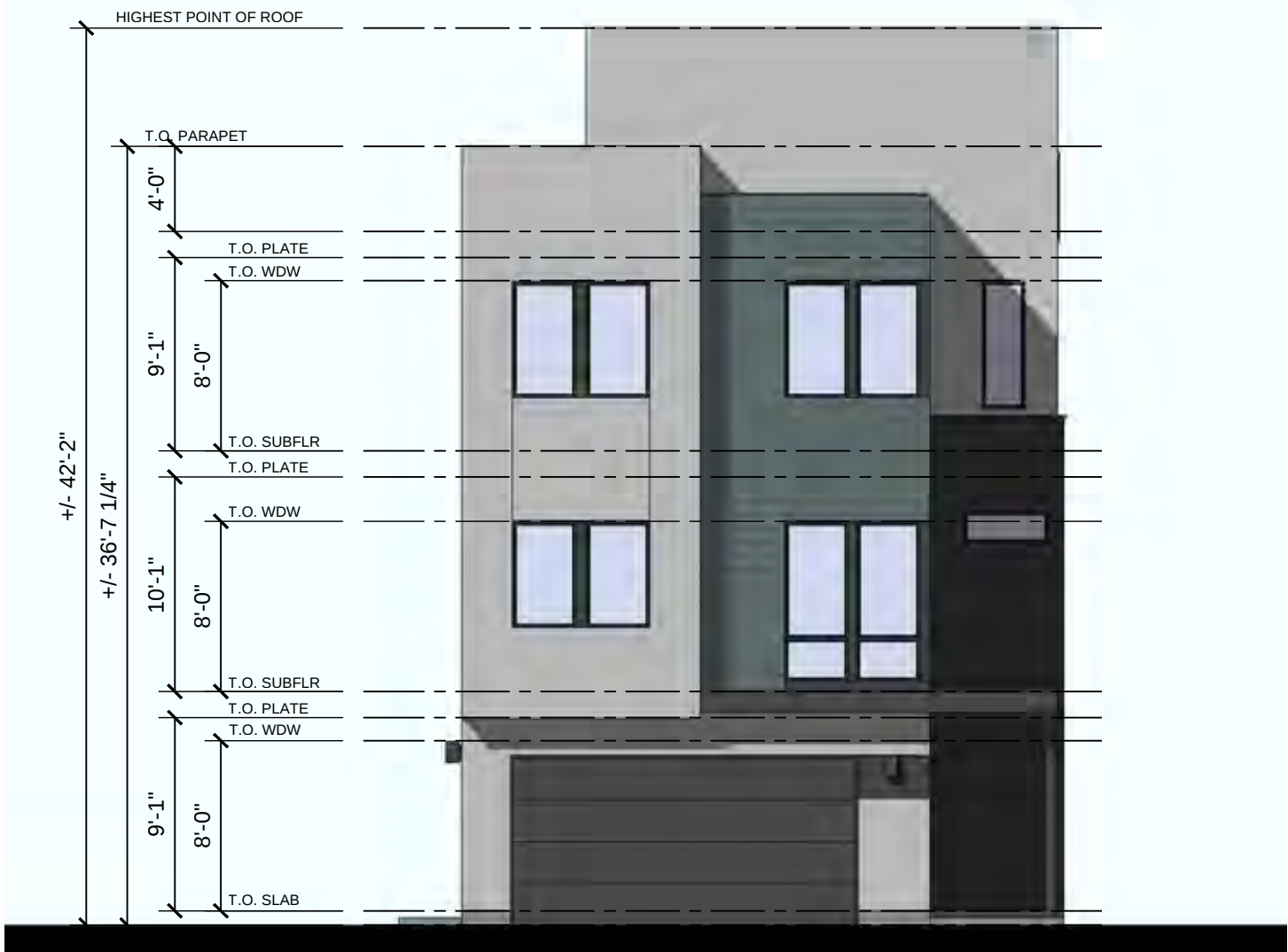
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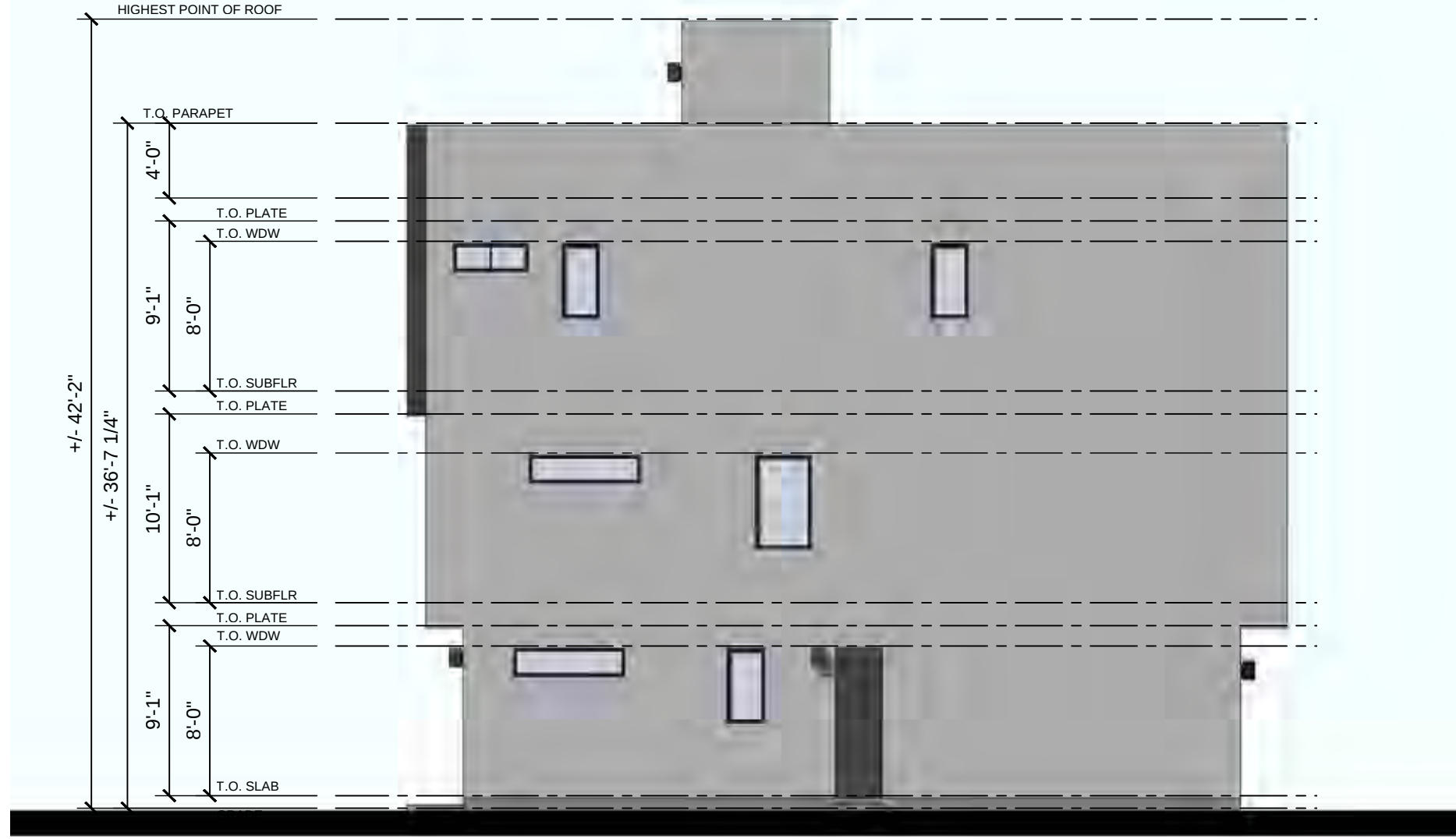




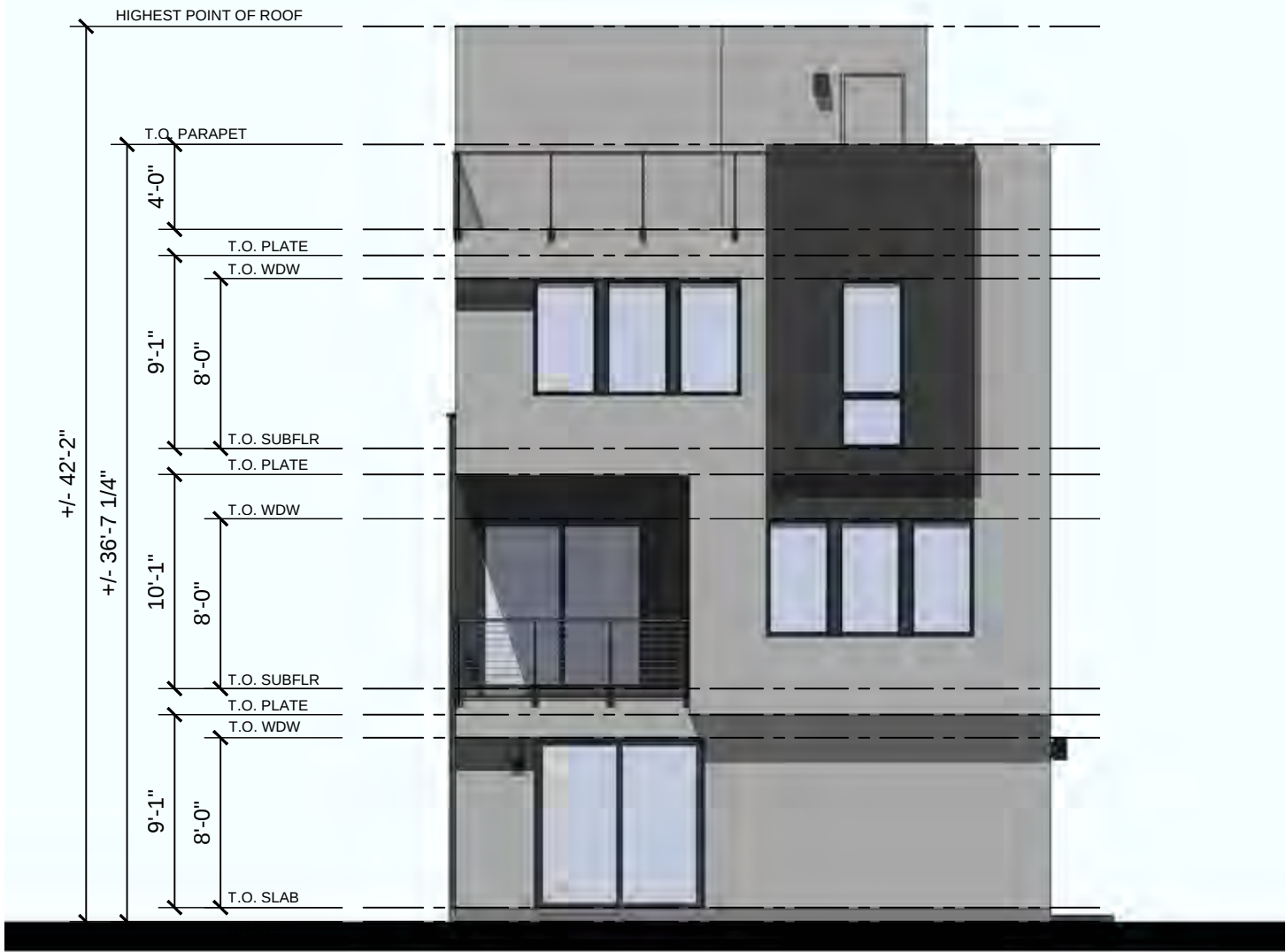
RIGHT ELEVATION



FRONT ELEVATION



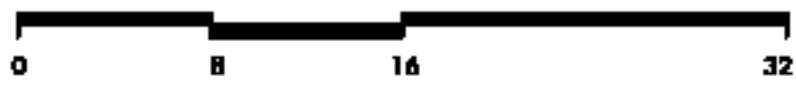
LEFT ELEVATION



REAR ELEVATION

FRONT LOADED DETACHED TOWNS - ELEVATION B

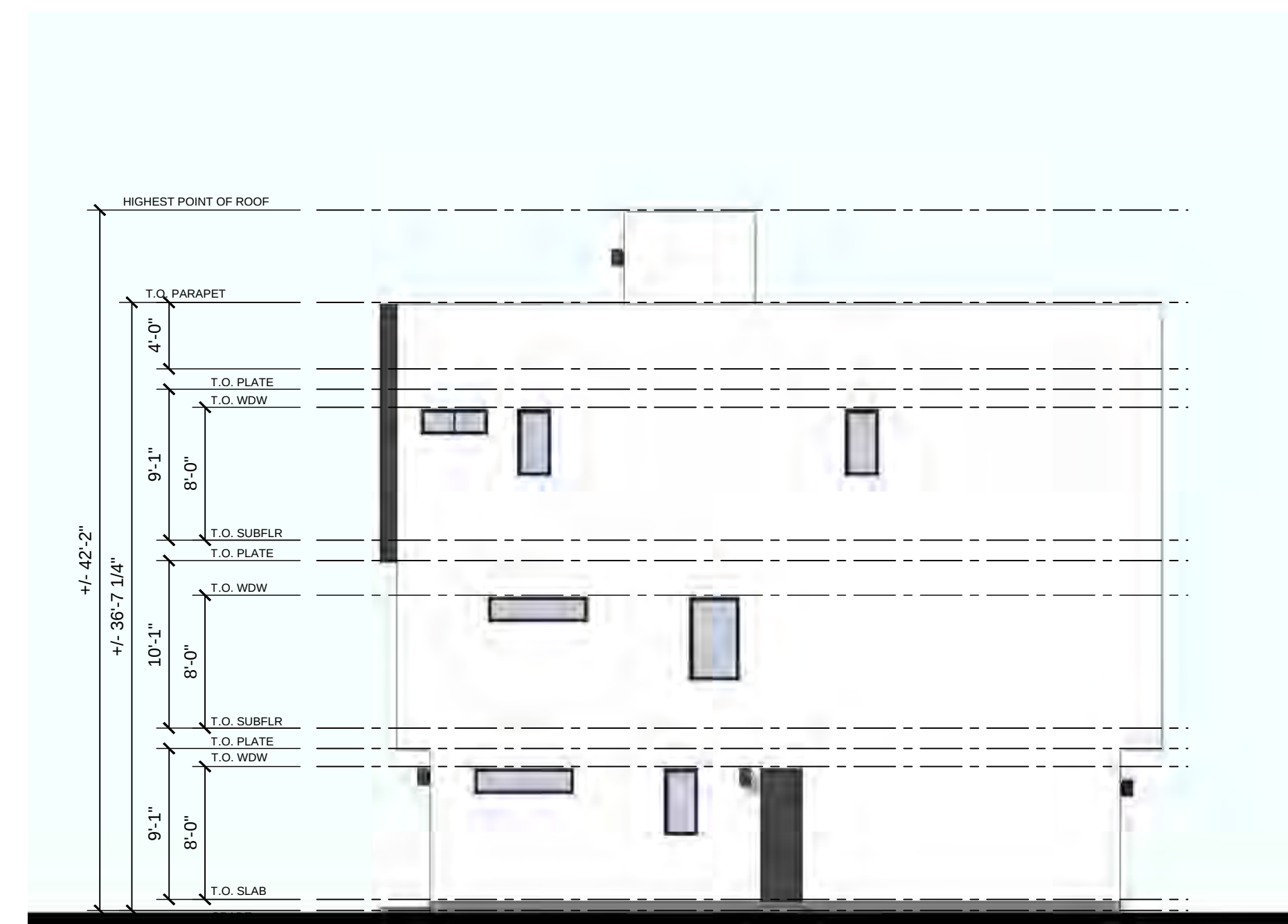
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DAHLIN



RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

TOWNHOUSE BUILDING 401 - EXTERIOR ELEVATIONS

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A.13

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RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

TOWNHOUSE BUILDING 601 - EXTERIOR ELEVATIONS

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A.14

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RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

TOWNHOUSE BUILDING 801 - EXTERIOR ELEVATIONS

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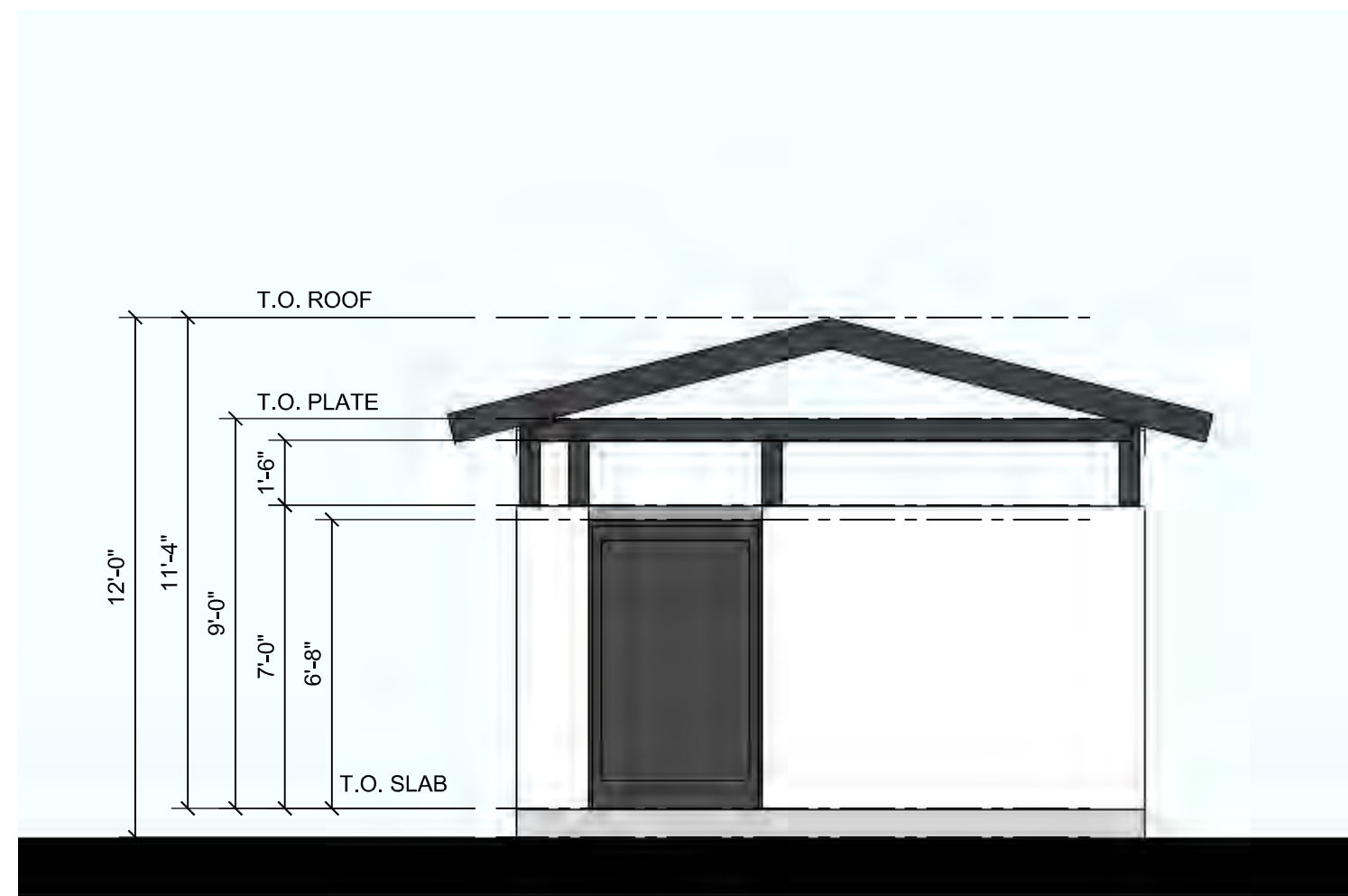


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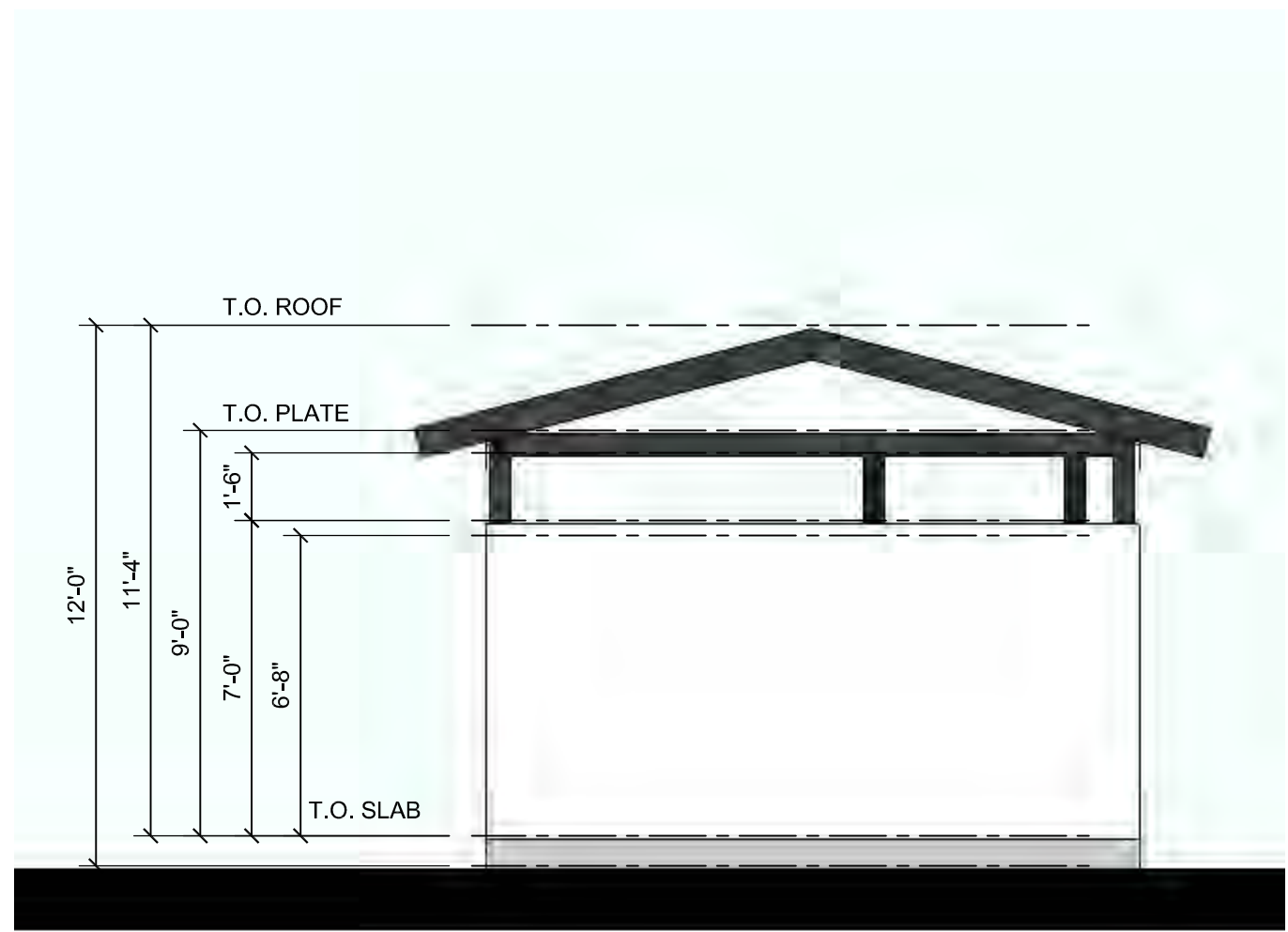
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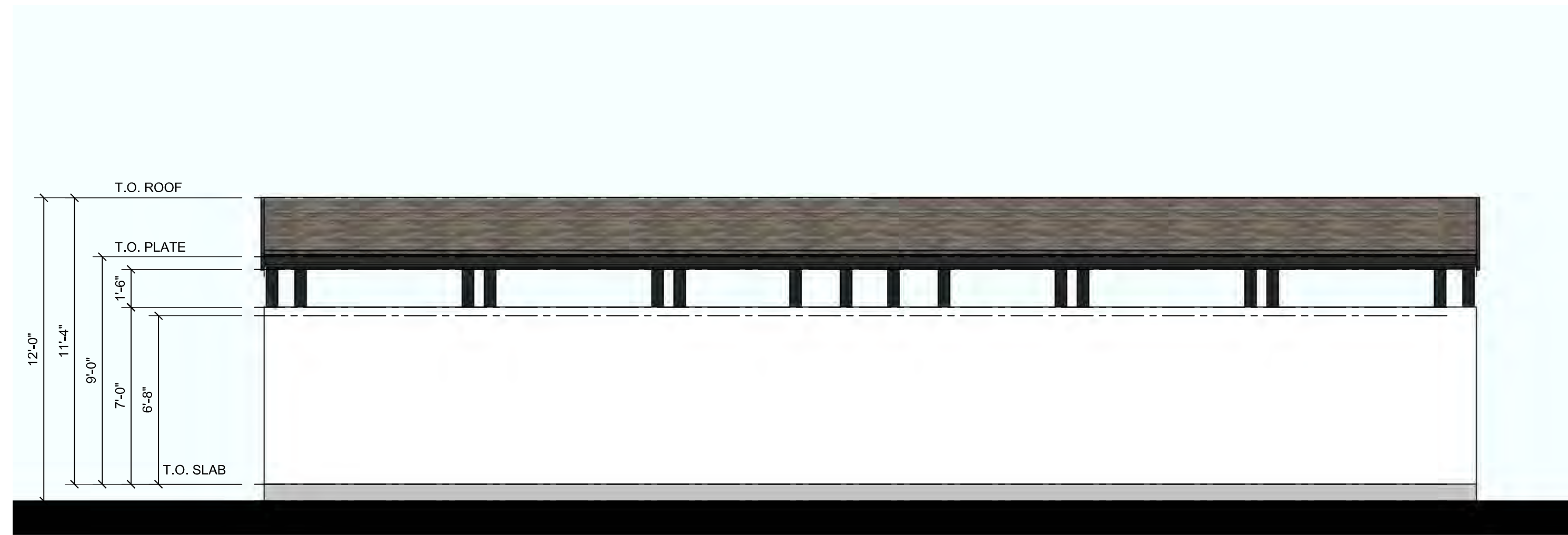
RIGHT ELEVATION



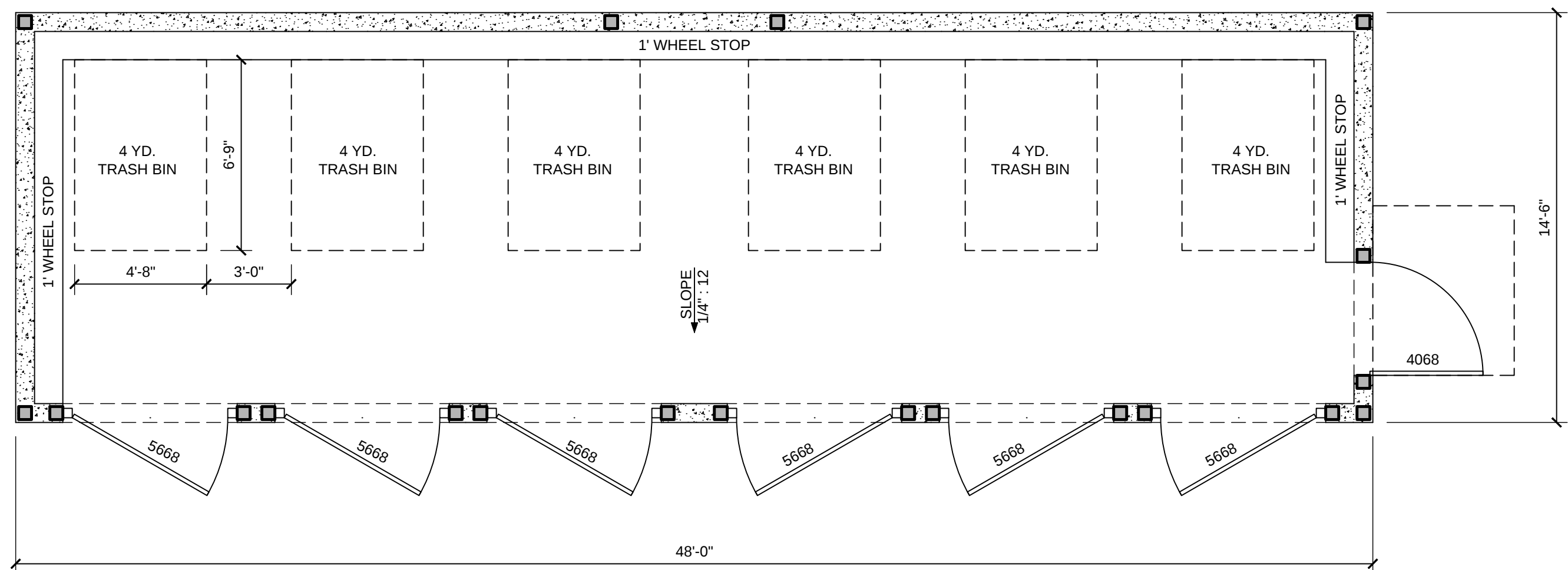
LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION

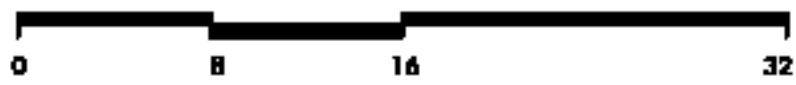


TRASH ENCLOSURE - 696 SQFT

SCALE: 1/4" = 1'-0"

TRASH ENCLOSURE - PLAN & EXTERIOR ELEVATIONS

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SITE SECTION - A

SITE SECTION
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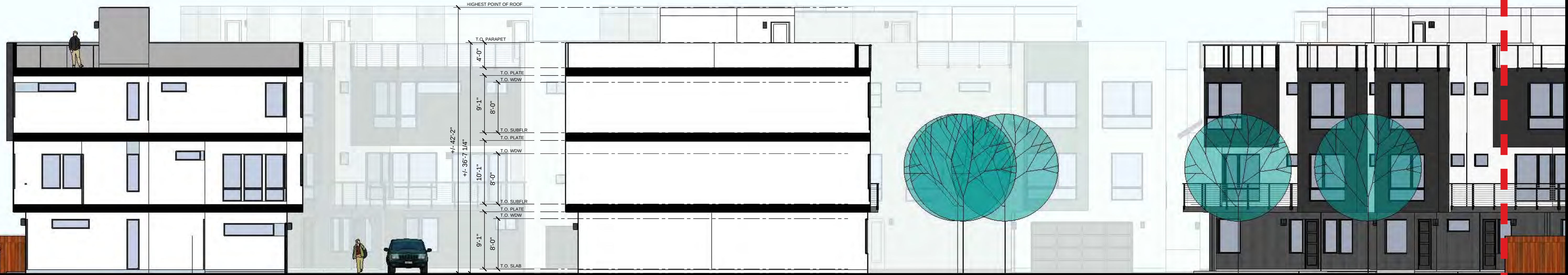


BAYLANDS ATHLETIC CENTER

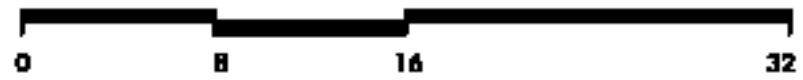
PROPOSED PROJECT

PROPOSED PROJECT

EXISTING E BAYSHORE RD



SITE SECTION - B



SITE SECTION

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A FLAT ROOF
TPO ROOF
BY G.A.F. ROOF
COMPANY OR EQUAL



B VINYL WINDOW
BLACK
BY PLYGEM OR
EQUAL



C ENTRY DOOR
SMOOTH STAR
COLLECTION
THERMA-TRU FIBER
GLASS OR EQUAL



D GARAGE DOOR
FLAT PANEL
CONTEMPORARY



E METAL RAILING
HORIZONTAL CABLE RAILING
SYSTEM
BY ULTRALOX INTERLOCKING
TECHNOLOGY OR EQUAL



F COACHLIGHT
RAINE 8" TALL
RETANGULAR OUTDOOR
WALL SCENCE
(DOWNLIGHT)



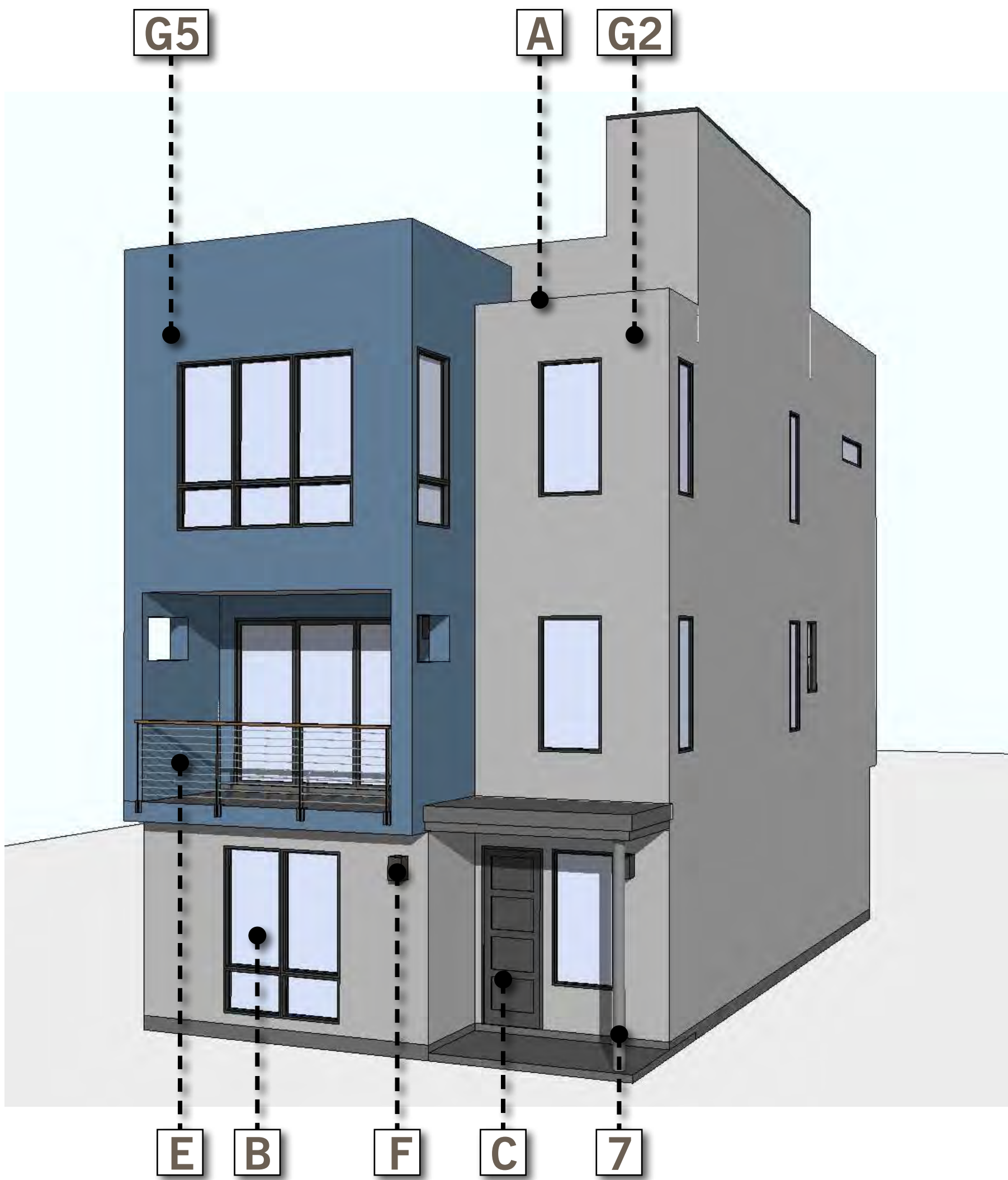
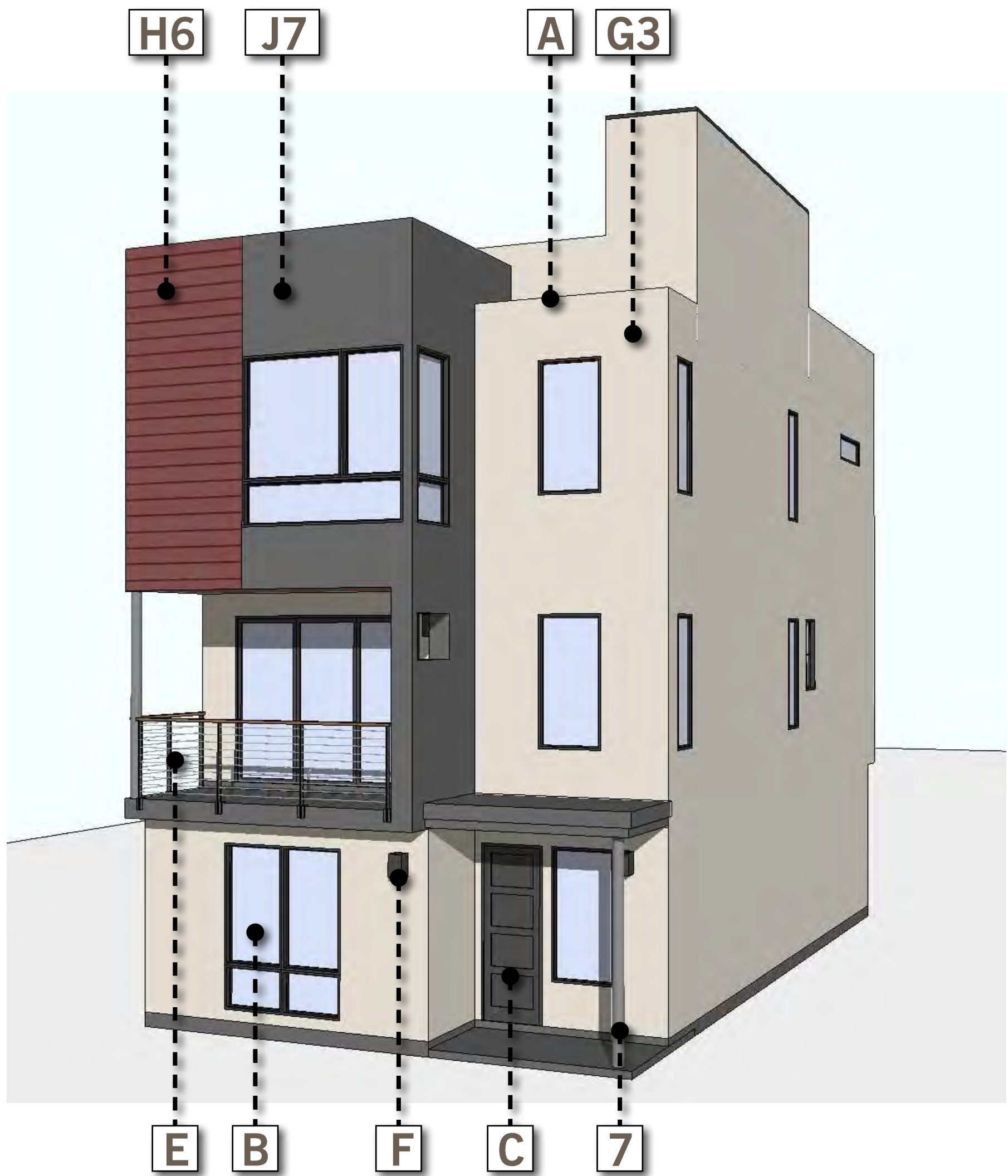
G STUCCO
SMOOTH STUCCO
FINISH



H LAP SIDING
6" SMOOTH HARDIE-
LAP
BY JAMES HARDIE
OR EQUAL



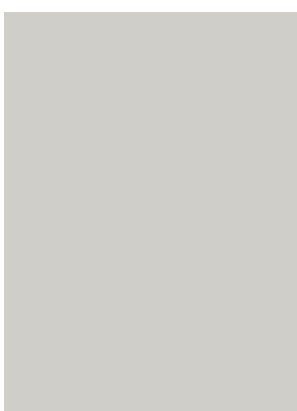
J CEMENTITIOUS PANELS
SMOOTH PANEL
BY JAMES HARDIE
OR EQUAL



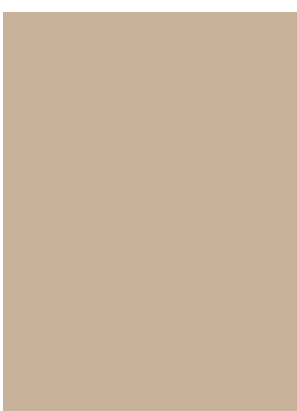
1 BODY COLOR 1
SMOOTH STUCCO
FINISH
SW 7004 -
SNOWBOUND
BY SHERWIN
WILLIAMS OR EQUAL



2 BODY COLOR 2
SMOOTH STUCCO
FINISH
SW 7654 - LATTICE
BY SHERWIN
WILLIAMS OR EQUAL



3 BODY COLOR 3
SMOOTH STUCCO
FINISH
SW 7533- KHAKI
SHADE
BY SHERWIN
WILLIAMS OR EQUAL



4 BODY COLOR 4
SMOOTH STUCCO
FINISH
SW 6989 - DOMINO
BY SHERWIN
WILLIAMS OR EQUAL



5 BODY COLOR 5
SMOOTH STUCCO
FINISH
SW 7607 -
SANTORINI BLUE
BY SHERWIN
WILLIAMS OR EQUAL



6 BODY COLOR 6
SW 6286 - MATURE
GRAPE
BY SHERWIN
WILLIAMS OR
EQUAL



7 ACCENT COLOR
DOOR & WINDOW
TRIM, DOORS, FASCIA
& RAFTER TAILS,
GUTTERS, SMOOTH
PANEL.
SW 2740 - MINERAL
GRAY
BY SHERWIN WILLIAMS
OR EQUAL



ALLEY LOADED DETACHED TOWNS - COLORS & MATERIALS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

NOTE: PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN OR PRINTED, MAY NOT ACCURATELY REPRESENT ACTUAL COLORS AND TEXTURES. REFER TO MANUFACTURERS ACTUAL MATERIALS FOR REFERENCE.
DOWNSPOUTS: PAINT ALL EXPOSED SIDES ADJACENT COLOR
TRIM: PAINT ALL EXPOSED SIDES TRIM COLOR
VINYL WINDOWS AND DOOR FRAMES: BLACK (FACTORY FINISH)
EXTERIOR LIGHTING: RECESSED DOWNLIGHTING AT PORCH AND PATIO LOCATIONS, WHERE POSSIBLE. DOWNLIGHT COACHLIGHT PROVIDED IN AREAS WHERE NEEDED. SEE COACHLIGHT SPEC ABOVE.

A.19

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A FLAT ROOF
TPO ROOF
BY G.A.F. ROOF
COMPANY OR EQUAL



B VINYL WINDOW
BLACK
BY PLYGEM OR
EQUAL



C ENTRY DOOR
SMOOTH STAR
COLLECTION
THERMA-TRU FIBER
GLASS OR EQUAL



D GARAGE DOOR
FLAT PANEL
CONTEMPORARY



E METAL RAILING
HORIZONTAL CABLE RAILING
SYSTEM
BY ULTRALOX INTERLOCKING
TECHNOLOGY OR EQUAL



F COACHLIGHT
RAINE 8" TALL
RETANGULAR OUTDOOR
WALL SCONCE
(DOWNLIGHT)



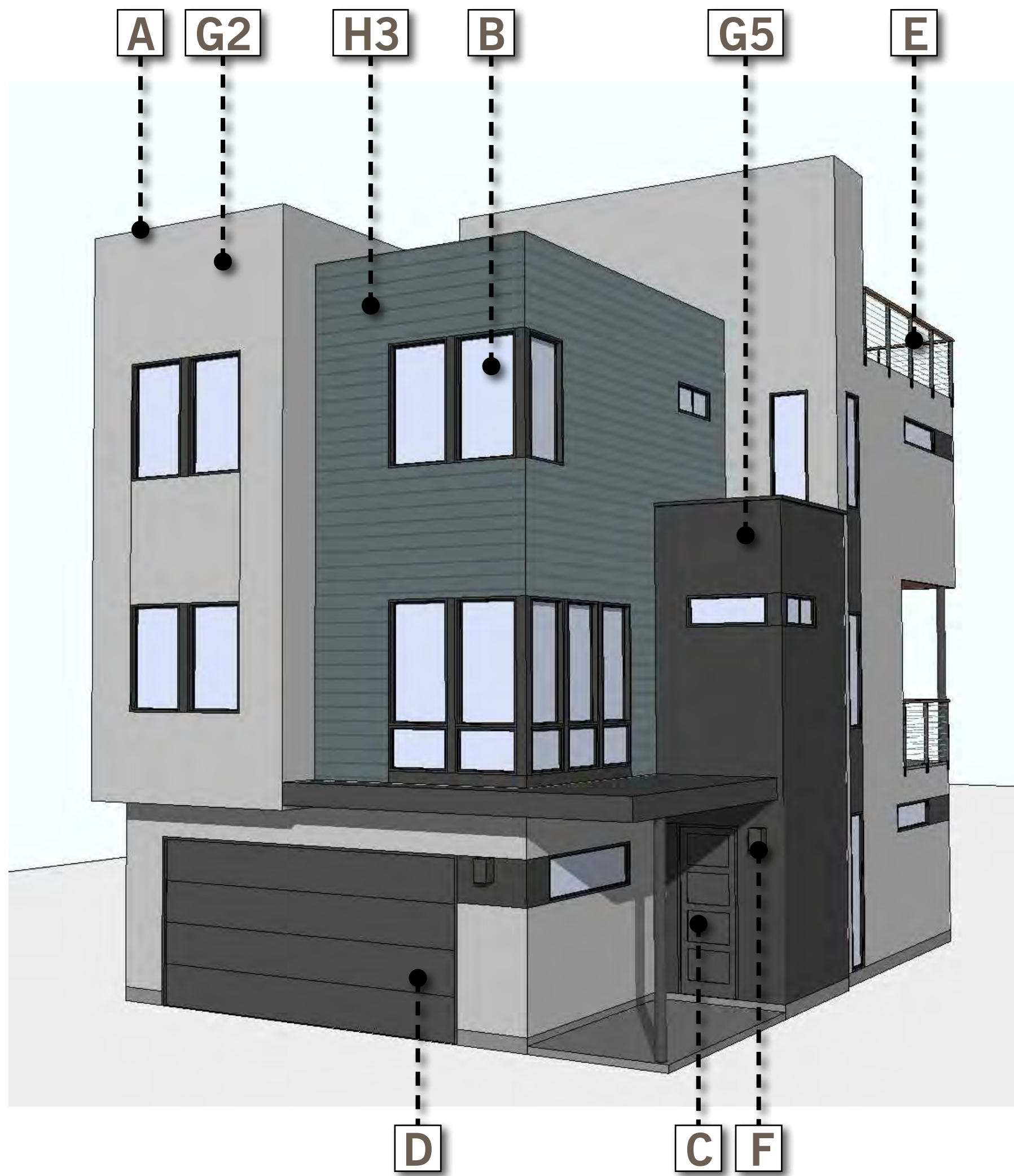
G STUCCO
SMOOTH STUCCO
FINISH



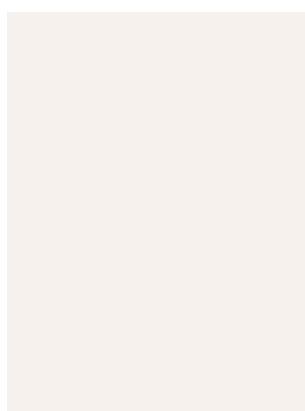
H LAP SIDING
6" SMOOTH HARDIE-
LAP
BY JAMES HARDIE
OR EQUAL



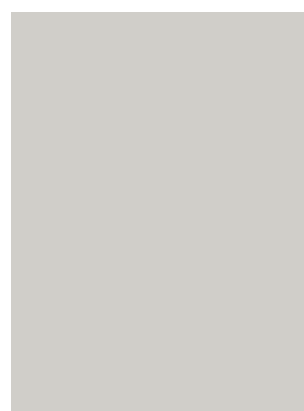
J WOOD SIDING
HORIZONTAL WOOD
SIDING BY TRESPA
OR EQUAL



1 BODY COLOR 1
SMOOTH STUCCO
FINISH
SW 7004 -
SNOWBOUND
BY SHERWIN
WILLIAMS OR EQUAL



2 BODY COLOR 2
SMOOTH STUCCO
FINISH
SW 7654 - LATTICE
BY SHERWIN
WILLIAMS OR EQUAL



3 BODY COLOR 3
SMOOTH STUCCO
FINISH
SW 6215 - ROCKY
RIVER
BY SHERWIN
WILLIAMS OR EQUAL



4 BODY COLOR 4
SW 6286 - MATURE
GRAPE
BY SHERWIN
WILLIAMS OR
EQUAL



5 ACCENT COLOR
DOOR & WINDOW
TRIM, DOORS, FASCIA
& RAFTER TAILS,
GUTTERS, SMOOTH
PANEL.
SW 6989 - DOMINO
BY SHERWIN WILLIAMS
OR EQUAL



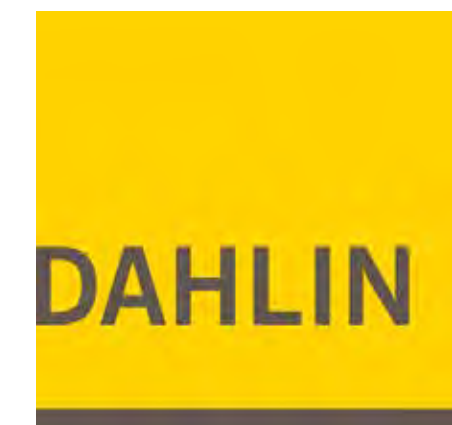
FRONT LOADED DETACHED TOWNS - COLORS & MATERIALS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

NOTE: PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN OR PRINTED, MAY NOT ACCURATELY REPRESENT ACTUAL COLORS AND TEXTURES. REFER TO MANUFACTURERS ACTUAL MATERIALS FOR REFERENCE.
DOWNSPOUTS: PAINT ALL EXPOSED SIDES ADJACENT COLOR
TRIM: PAINT ALL EXPOSED SIDES TRIM COLOR
VINYL WINDOWS AND DOOR FRAMES: BLACK (FACTORY FINISH)
EXTERIOR LIGHTING: RECESSED DOWNLIGHTING AT PORCH AND PATIO LOCATIONS, WHERE POSSIBLE. DOWNLIGHT COACHLIGHT PROVIDED IN AREAS WHERE NEEDED. SEE COACHLIGHT SPEC ABOVE.

A.20

DAHLIN GROUP
5865 Owens Drive
Pleasanton, California 94588
925-251-7200



A FLAT ROOF
TPO ROOF
BY G.A.F. ROOF
COMPANY OR EQUAL



B VINYL WINDOW
BLACK
BY PLYGEM OR
EQUAL



C ENTRY DOOR
SMOOTH STAR
COLLECTION
THERMA-TRU FIBER
GLASS OR EQUAL



D GARAGE DOOR
FLAT PANEL
CONTEMPORARY



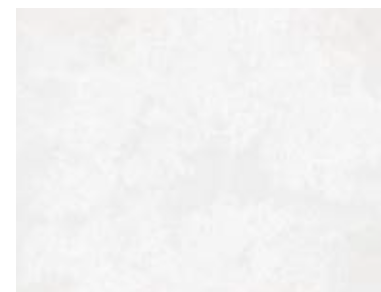
E METAL RAILING
HORIZONTAL CABLE RAILING
SYSTEM
BY ULTRALOX INTERLOCKING
TECHNOLOGY OR EQUAL



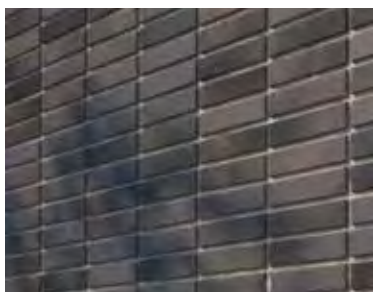
F COACHLIGHT
RAINE 8" TALL
RECTANGULAR OUTDOOR
WALL SCONCE
(DOWNLIGHT)



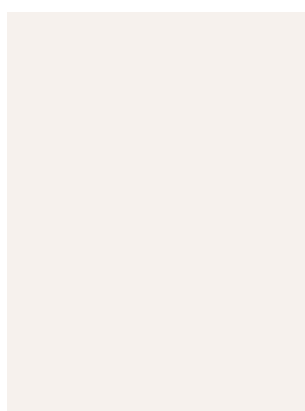
G STUCCO
SMOOTH STUCCO
FINISH



H THIN BRICK VENEER
BLACK VERTICAL
BOND THIN BRICK
MASONRY VENEER



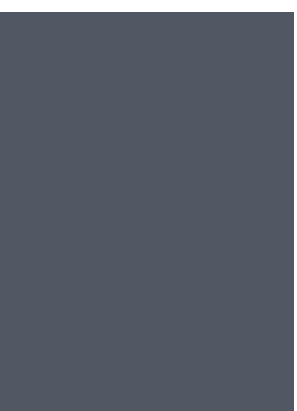
1 BODY COLOR 1
SMOOTH STUCCO
FINISH
SW 7004 -
SNOWBOUND
BY SHERWIN
WILLIAMS OR EQUAL



2 BODY COLOR 2
SMOOTH STUCCO
FINISH
SW 6989 - DOMINO
BY SHERWIN
WILLIAMS OR EQUAL



3 ACCENT COLOR
DOOR & WINDOW
TRIM, DOORS, FASCIA
& RAFTER TAILS,
GUTTERS, SMOOTH
PANEL.
SW 2740 - MINERAL
GRAY
BY SHERWIN WILLIAMS
OR EQUAL



TOWNHOMES - COLORS & MATERIALS

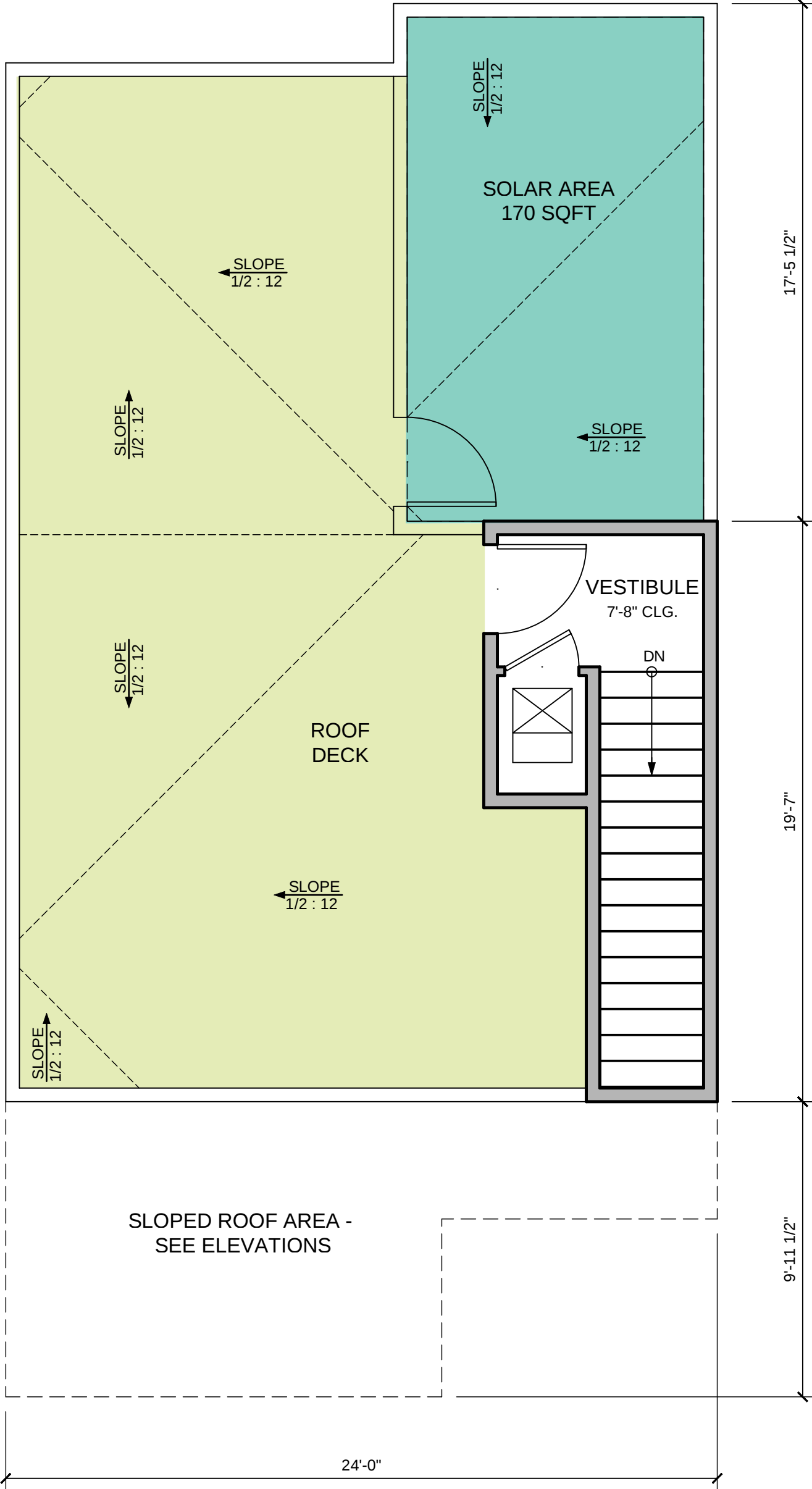
GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

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DOWNSPOUTS: PAINT ALL EXPOSED SIDES ADJACENT COLOR
TRIM: PAINT ALL EXPOSED SIDES TRIM COLOR
VINYL WINDOWS AND DOOR FRAMES: BLACK (FACTORY FINISH)
EXTERIOR LIGHTING: RECESSED DOWNLIGHTING AT PORCH AND PATIO LOCATIONS, WHERE POSSIBLE. DOWNLIGHT COACHLIGHT PROVIDED IN AREAS WHERE NEEDED. SEE COACHLIGHT SPEC ABOVE.

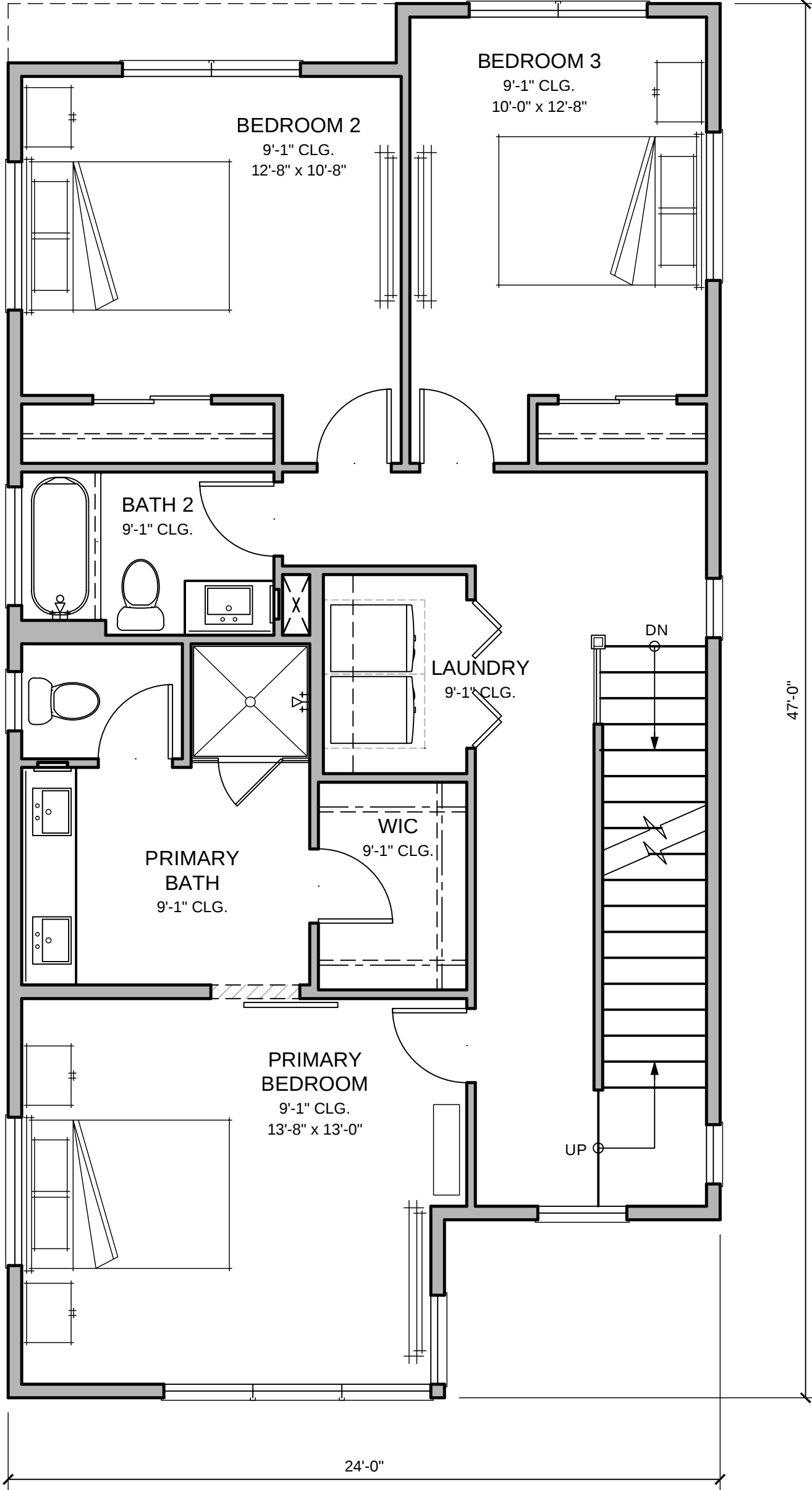
A.21

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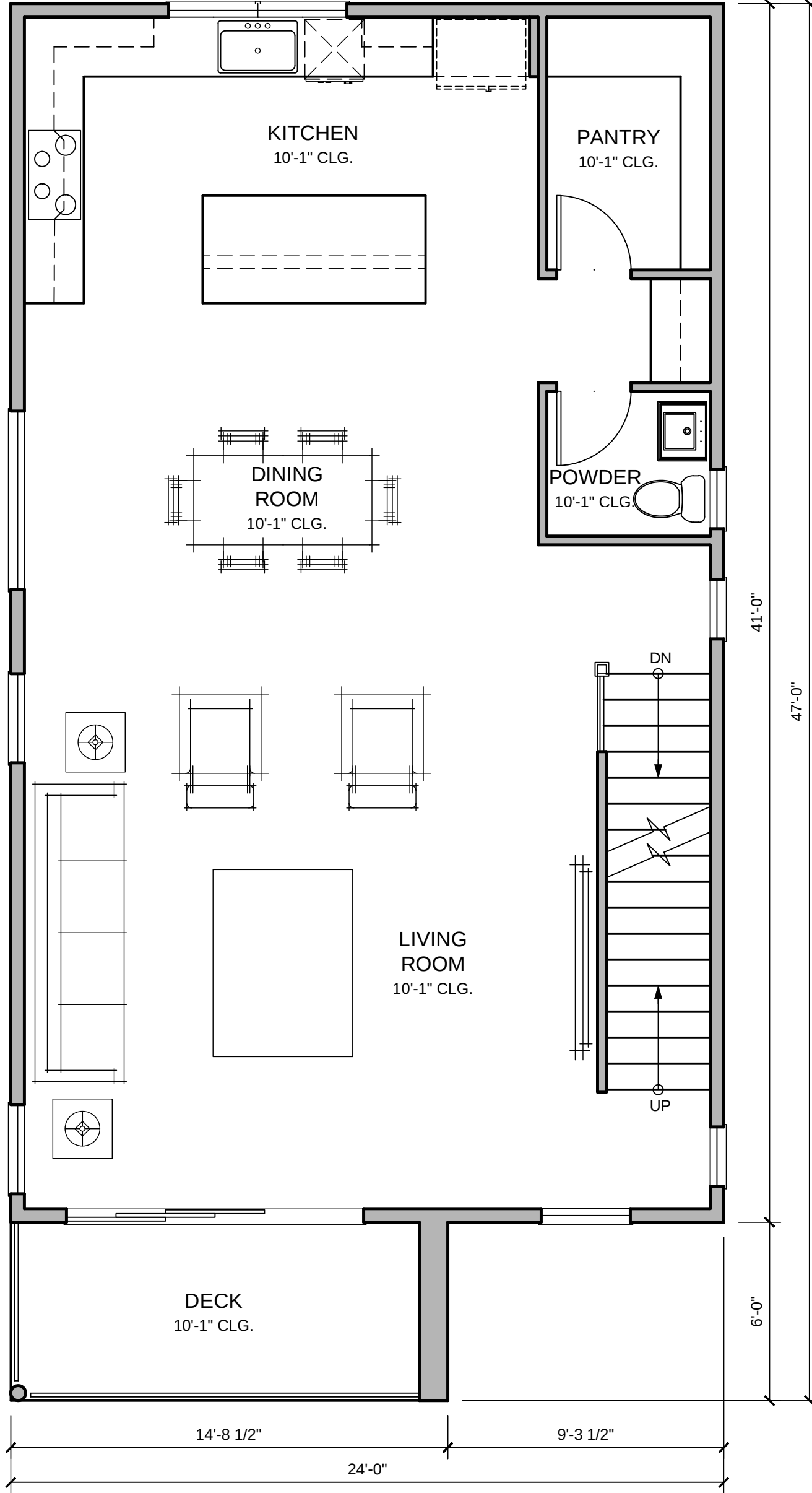




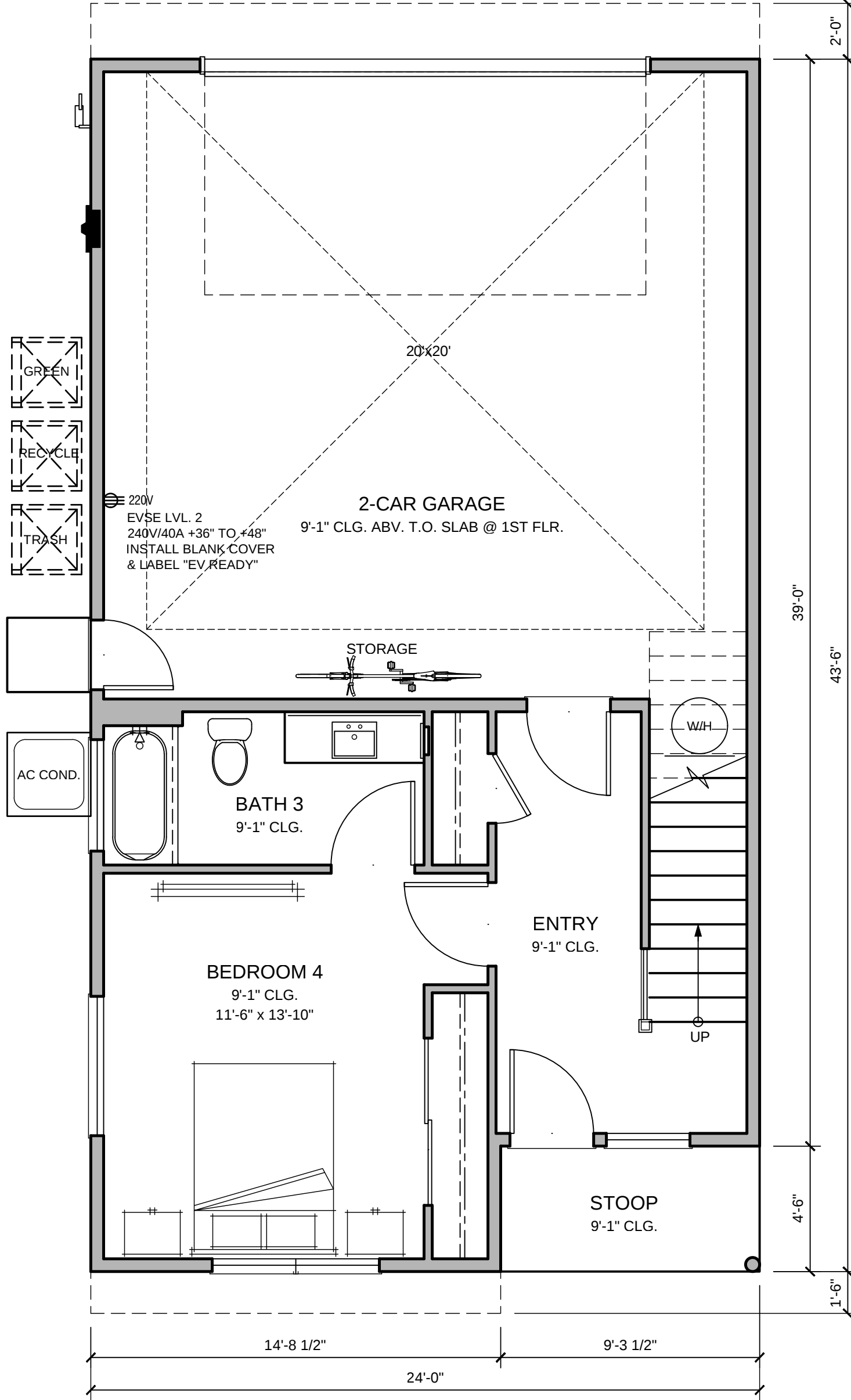
PLAN 1 - ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



PLAN 1 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



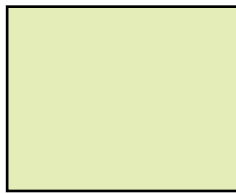
PLAN 1 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLAN 1 - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SOLAR/AC AREA



USEABLE ROOF DECK AREA

PLAN 1 - ALLEY LOADED DETACHED TOWNS PLANS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

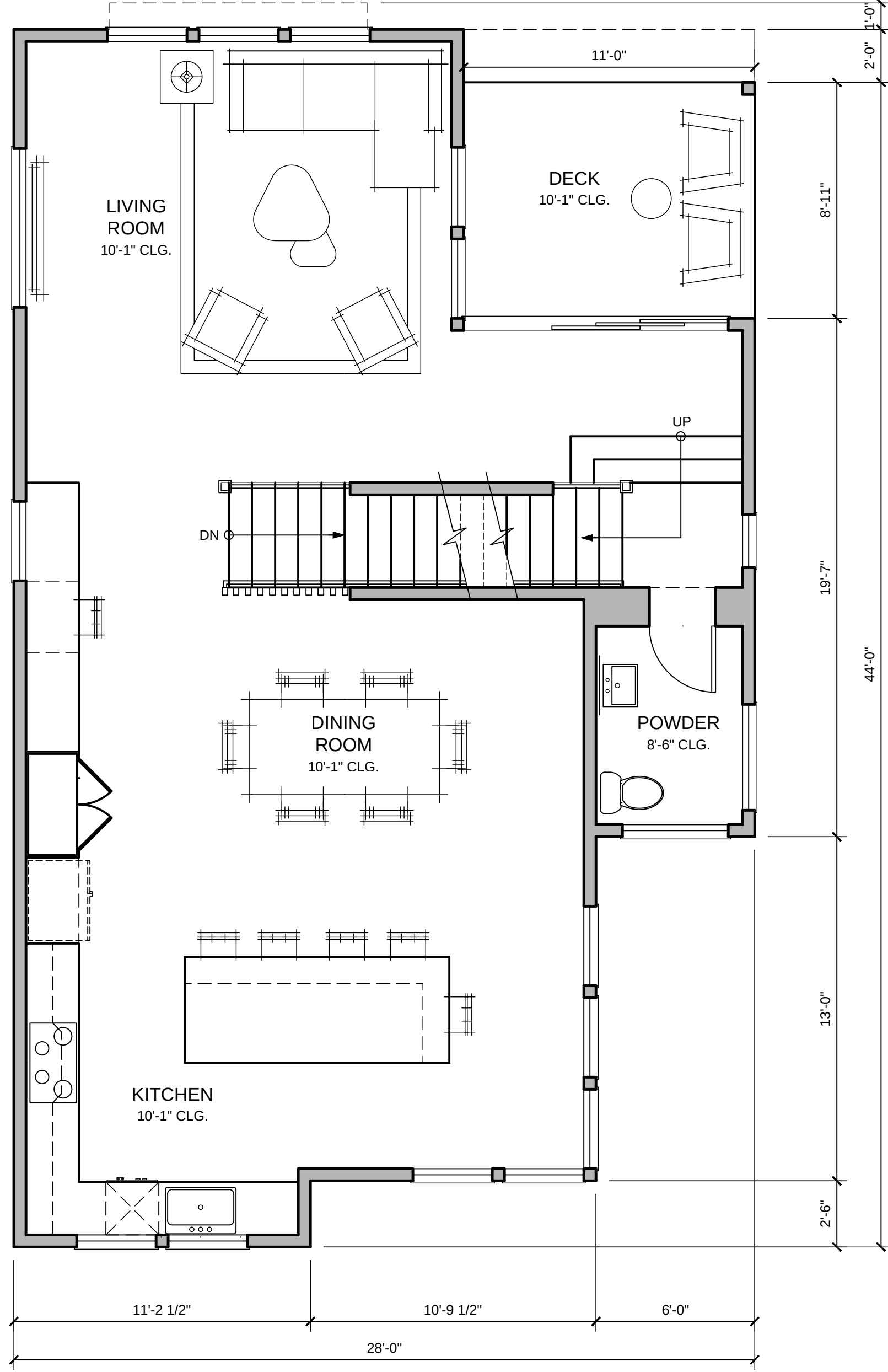


FLOOR AREA TABLE - PLAN 1 (ALLEY LOAD)		
VB - R3 - SFD - 2022 CRC		NFPA-13D SPRINKLERS
*GROSS SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM OUTSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	440	SQ. FT.
SECOND FLOOR PLAN	984	SQ. FT.
THIRD FLOOR PLAN	969	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	120	SQ. FT.
TOTAL	2513	SQ. FT.
2-CAR GARAGE	562	SQ. FT.
FRONT PORCH	42	SQ. FT.
2ND FLOOR DECK	83	SQ. FT.
USABLE ROOF DECK	559	SQ. FT.
4 BEDROOM / 3.5 BATHROOM		

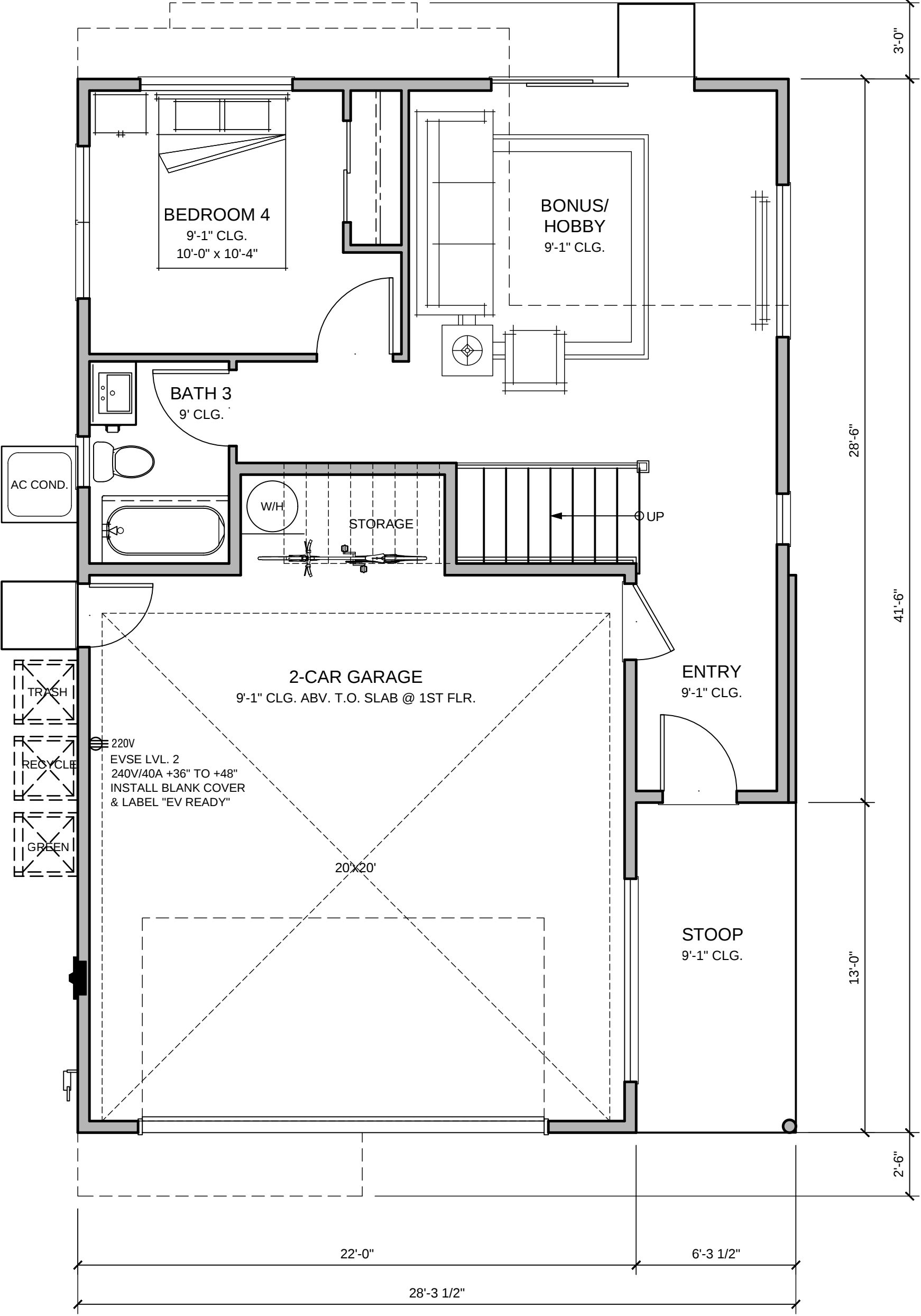
A.22

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925-251-7200





PLAN 2 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLAN 2 - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN 2 - FRONT LOADED DETACHED TOWNS PLANS
GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

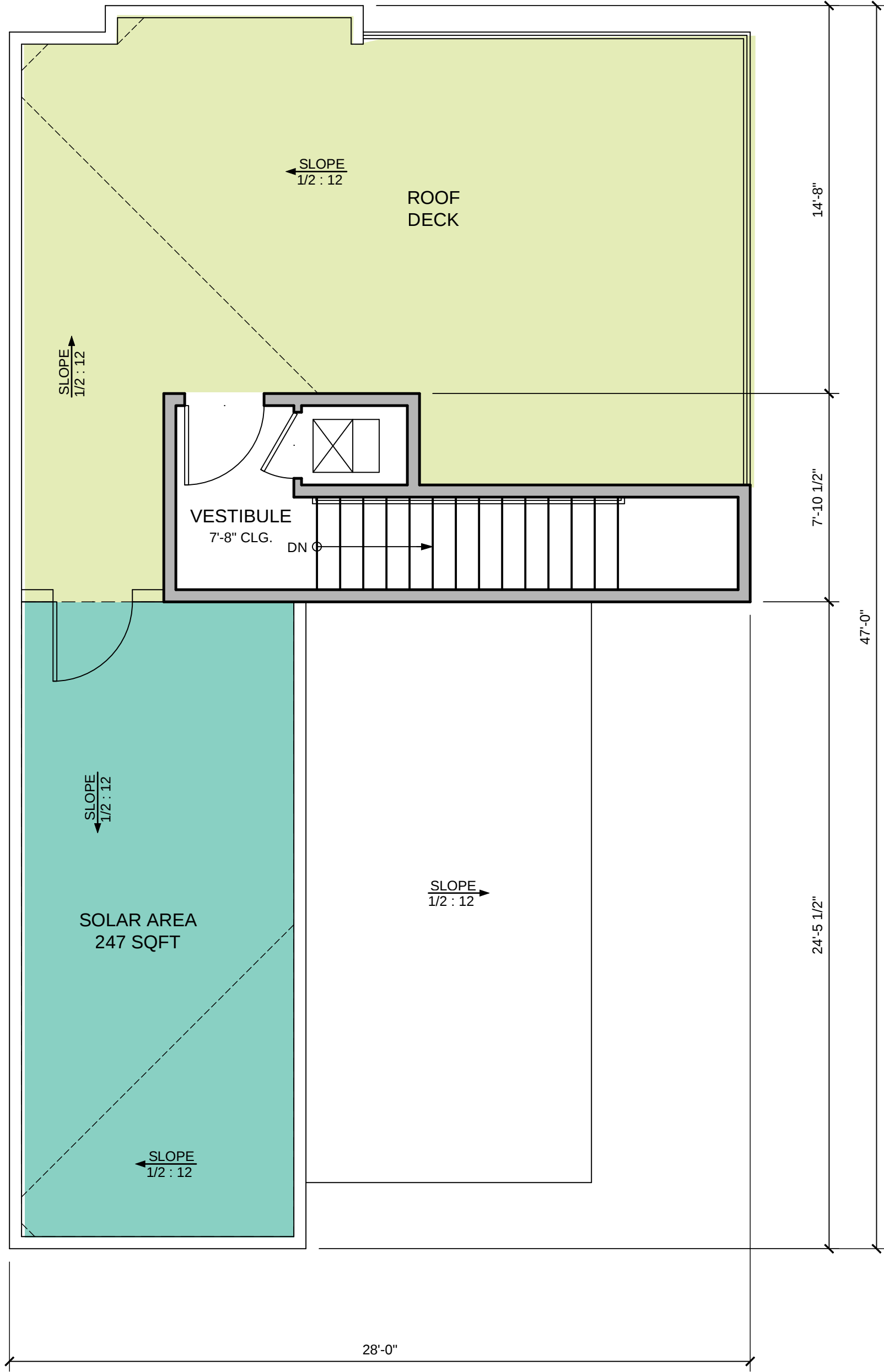


FLOOR AREA TABLE - PLAN 2 (FRONT LOAD)		
VB - R3 - SFD - 2022 CRC		NFPA-13D SPRINKLERS
*GROSS SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM OUTSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	573	SQ. FT.
SECOND FLOOR PLAN	1048	SQ. FT.
THIRD FLOOR PLAN	1028	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	131	SQ. FT.
TOTAL	2780	SQ. FT.
2-CAR GARAGE	511	SQ. FT.
FRONT PORCH	82	SQ. FT.
2ND FLOOR DECK	98	SQ. FT.
USABLE ROOF DECK	482	SQ. FT.
4 BEDROOM / 3.5 BATHROOM		

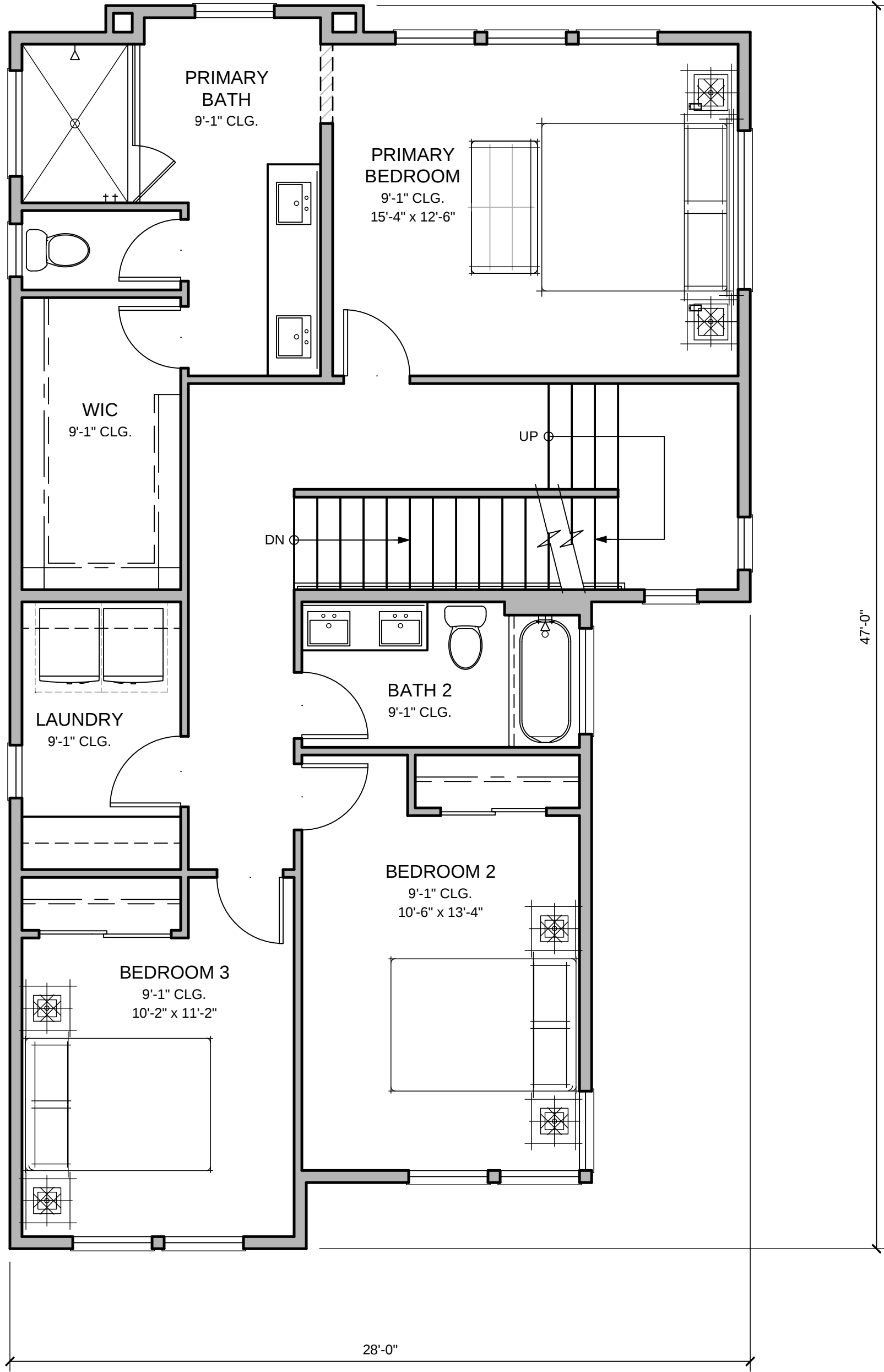
A.23

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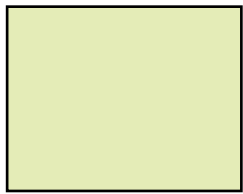
PLAN 2 - ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



PLAN 2 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



SOLAR/AC AREA



USEABLE ROOF DECK AREA

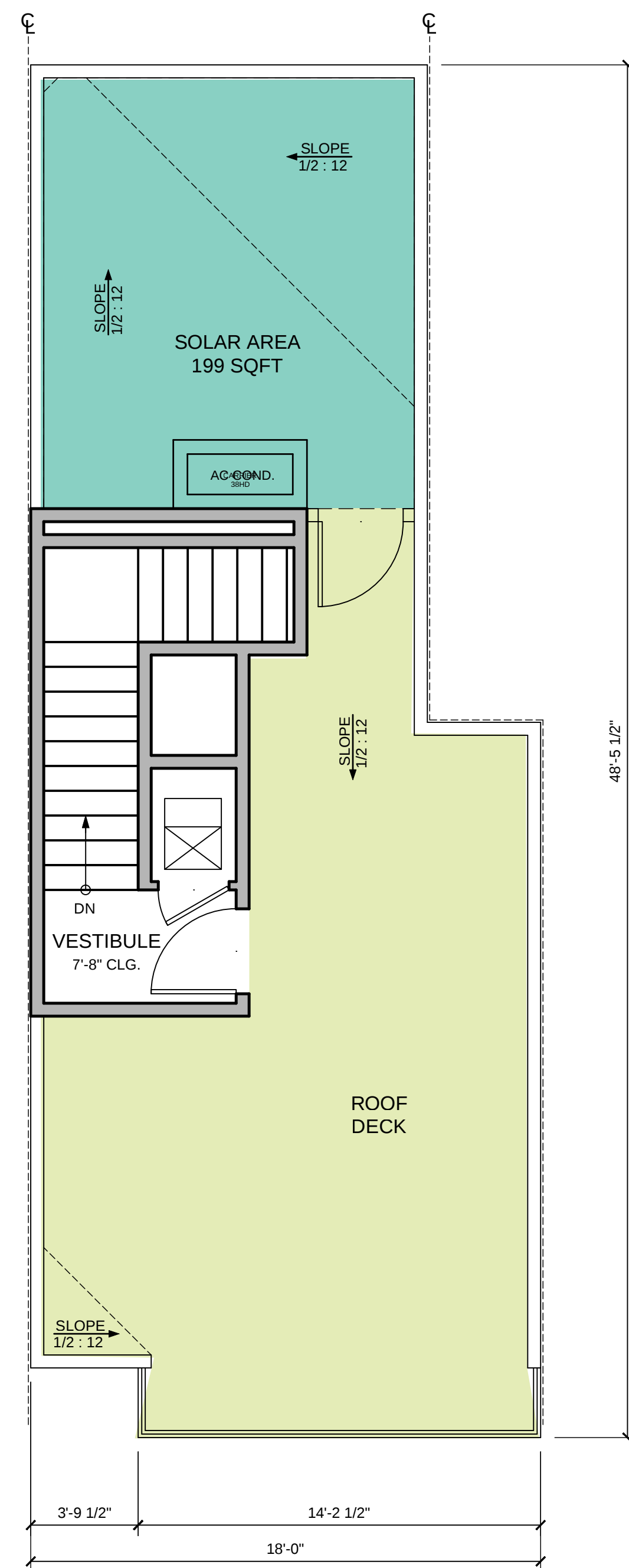
PLAN 2 - FRONT LOADED DETACHED TOWNS PLANS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

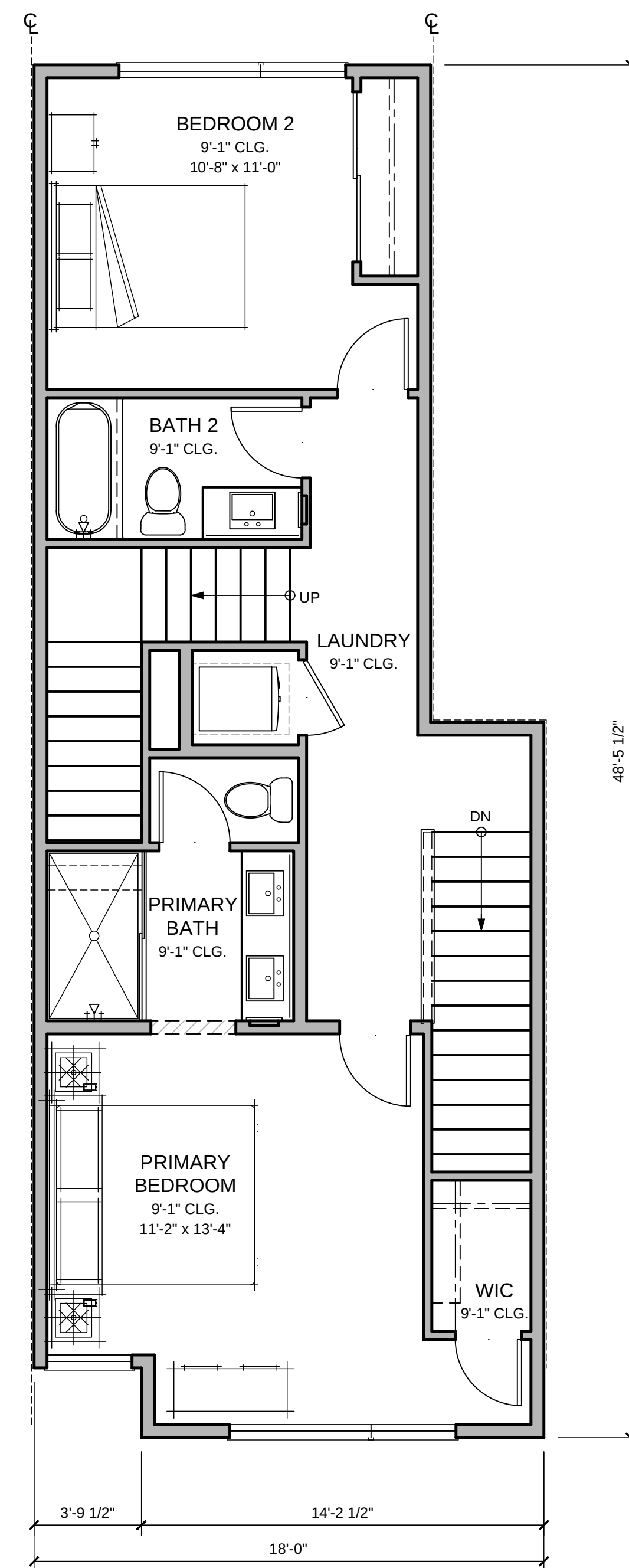


FLOOR AREA TABLE - PLAN 2 (FRONT LOAD)		
VB - R3 - SFD - 2022 CRC	NFPA-13D SPRINKLERS	
*GROSS SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM OUTSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	573	SQ. FT.
SECOND FLOOR PLAN	1048	SQ. FT.
THIRD FLOOR PLAN	1028	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	131	SQ. FT.
TOTAL	2780	SQ. FT.
2-CAR GARAGE	511	SQ. FT.
FRONT PORCH	82	SQ. FT.
2ND FLOOR DECK	98	SQ. FT.
USABLE ROOF DECK	482	SQ. FT.
4 BEDROOM / 3.5 BATHROOM		

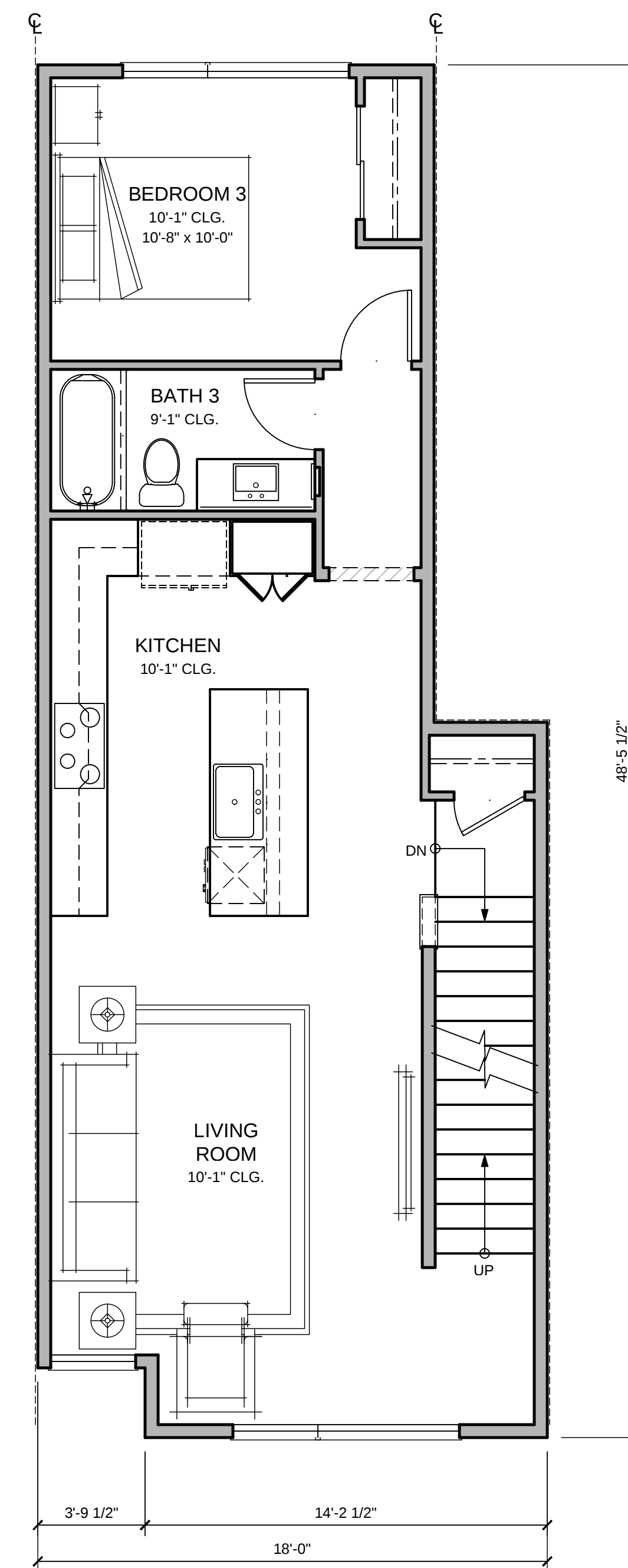




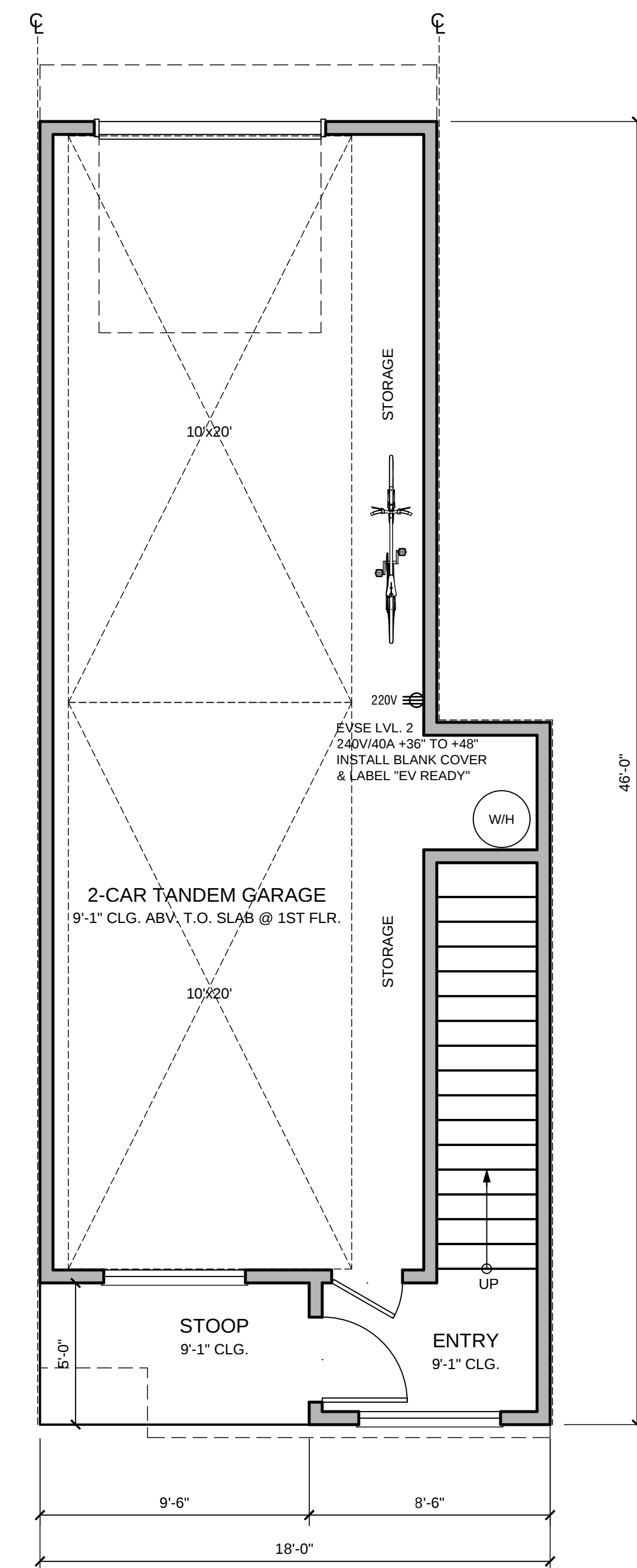
UNIT 11 - ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



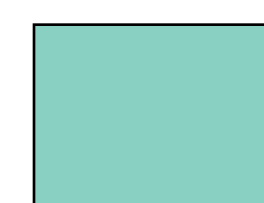
UNIT 11 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



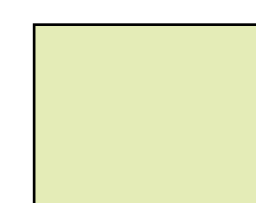
UNIT 11 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



UNIT 11 - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SOLAR/AC AREA



USEABLE ROOF DECK AREA

UNIT 11 - TANDEM INTERLOCK TOWNS PLANS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

DAHLIN GROUP ARCHITECTURE | PLANNING

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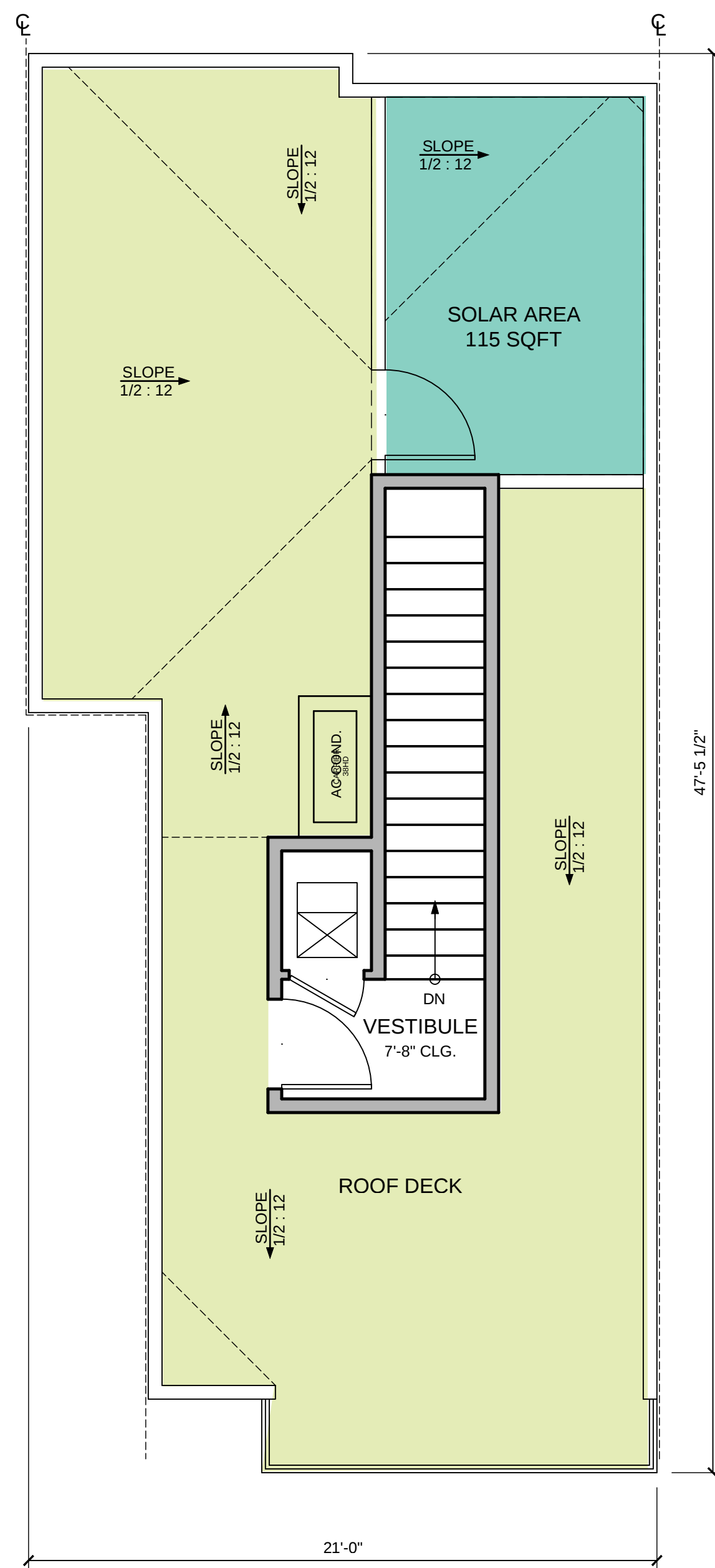
1214.009 | 17 DECEMBER 2024

FLOOR AREA TABLE - UNIT 11		
VB - R2 - CONDOS - 2022 CBC		NFPA-13 SPRINKLERS
*GROSS SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM OUTSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	113	SQ. FT.
SECOND FLOOR PLAN	770	SQ. FT.
THIRD FLOOR PLAN	665	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	140	SQ. FT.
TOTAL	1688	SQ. FT.
2 CAR TANDEM GARAGE	583	SQ. FT.
PORCH	48	SQ. FT.
USABLE ROOF DECK	402	SQ. FT.
*NET SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM INSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	87	SQ. FT.
SECOND FLOOR PLAN	710	SQ. FT.
THIRD FLOOR PLAN	604	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	101	SQ. FT.
TOTAL	1502	SQ. FT.
2 CAR TANDEM GARAGE	541	SQ. FT.
PORCH	48	SQ. FT.
USABLE ROOF DECK	373	SQ. FT.
3 BEDROOM / 2.5 BATH		

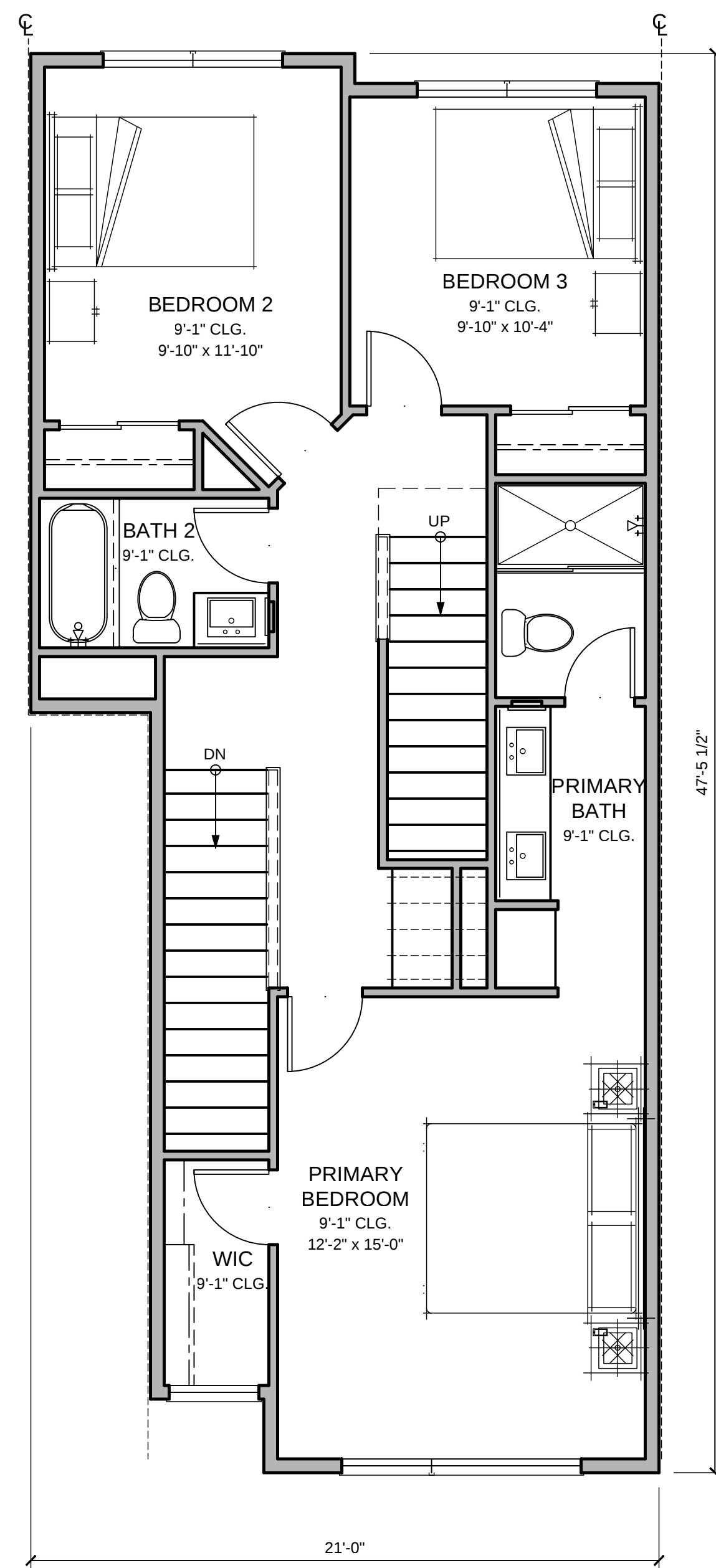
A.25

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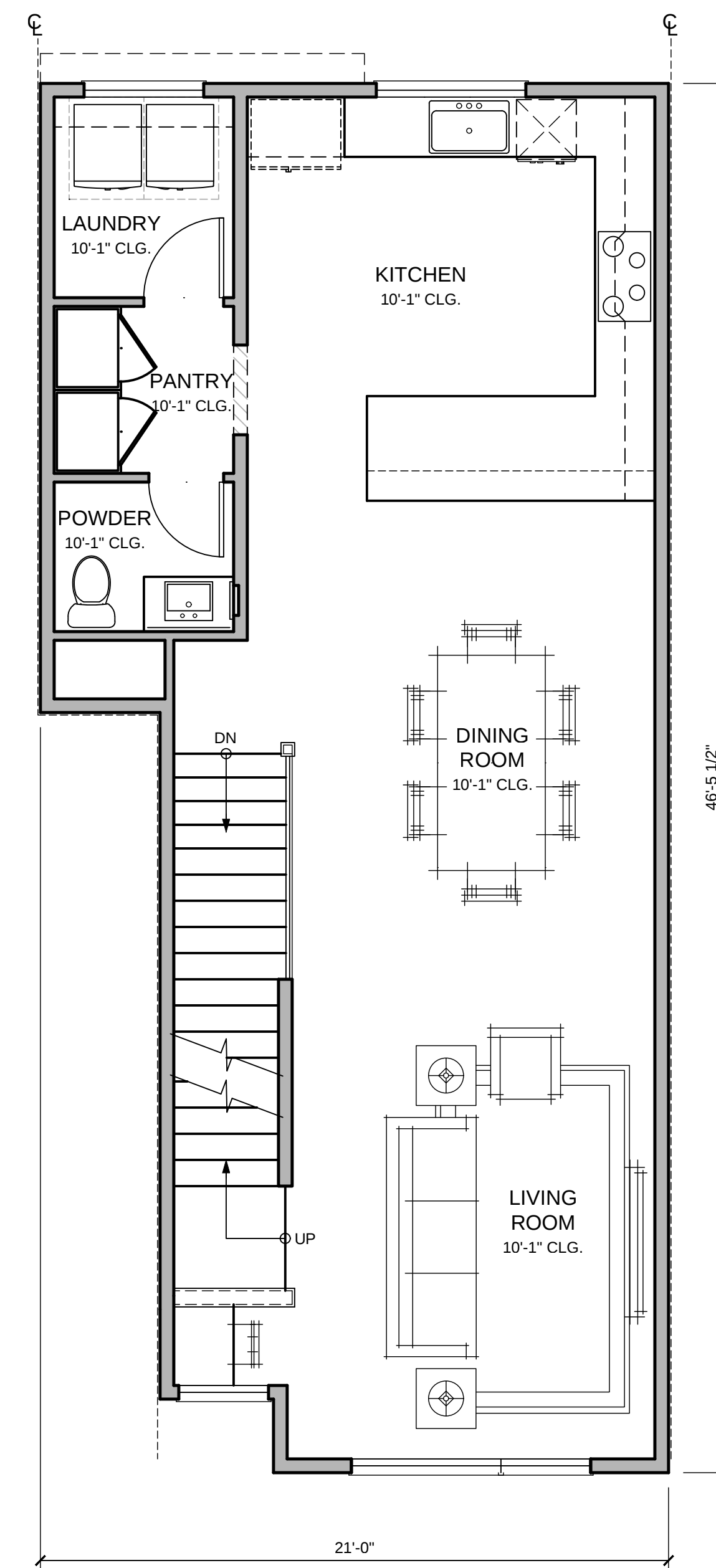




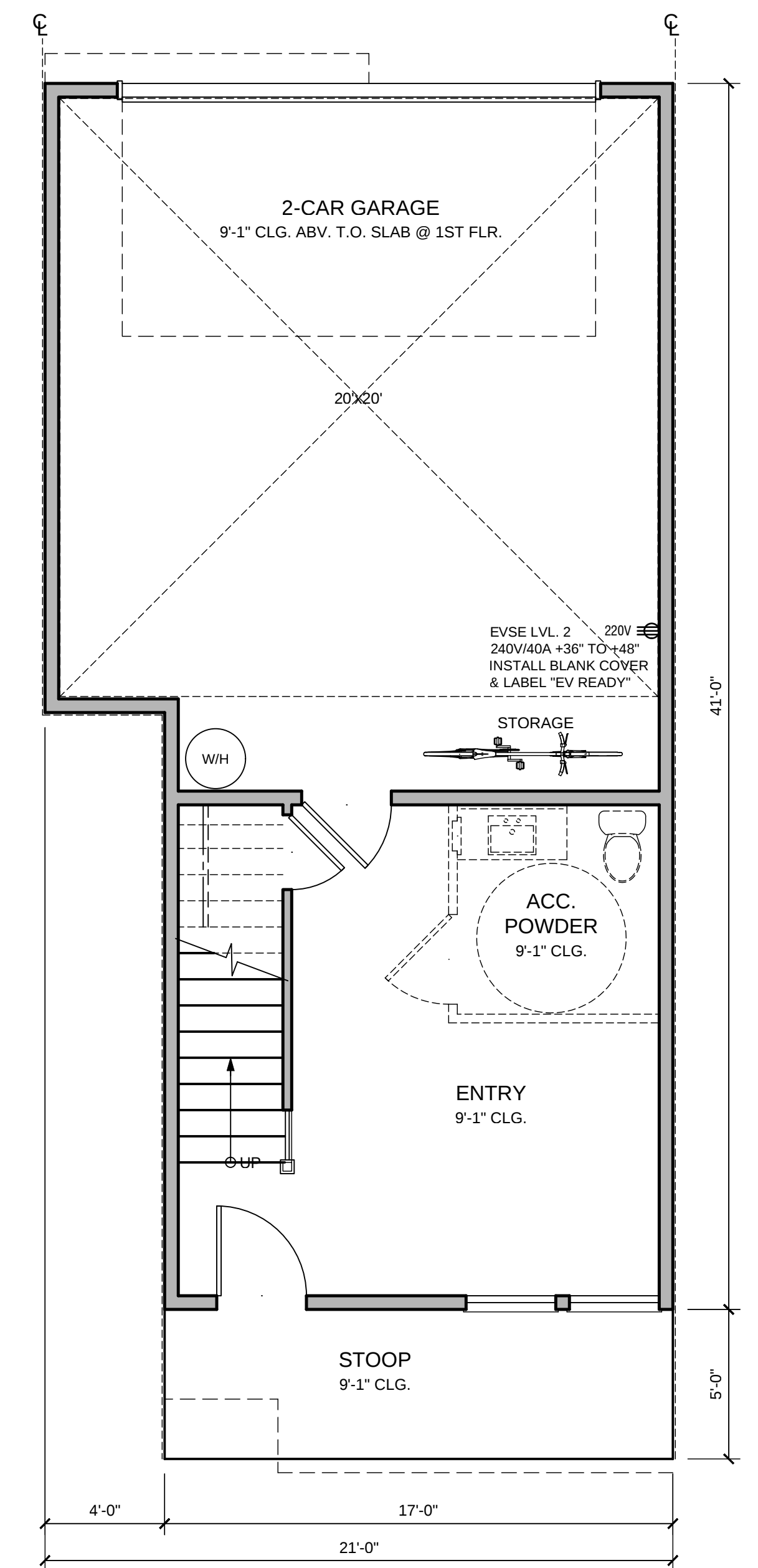
UNIT 22 - ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



UNIT 22 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



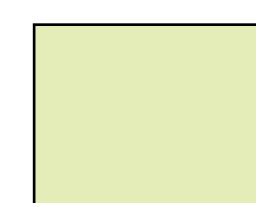
UNIT 22 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



UNIT 22 - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SOLAR/AC AREA



USEABLE ROOF DECK AREA

UNIT 22 - INTERLOCK TOWNS PLANS

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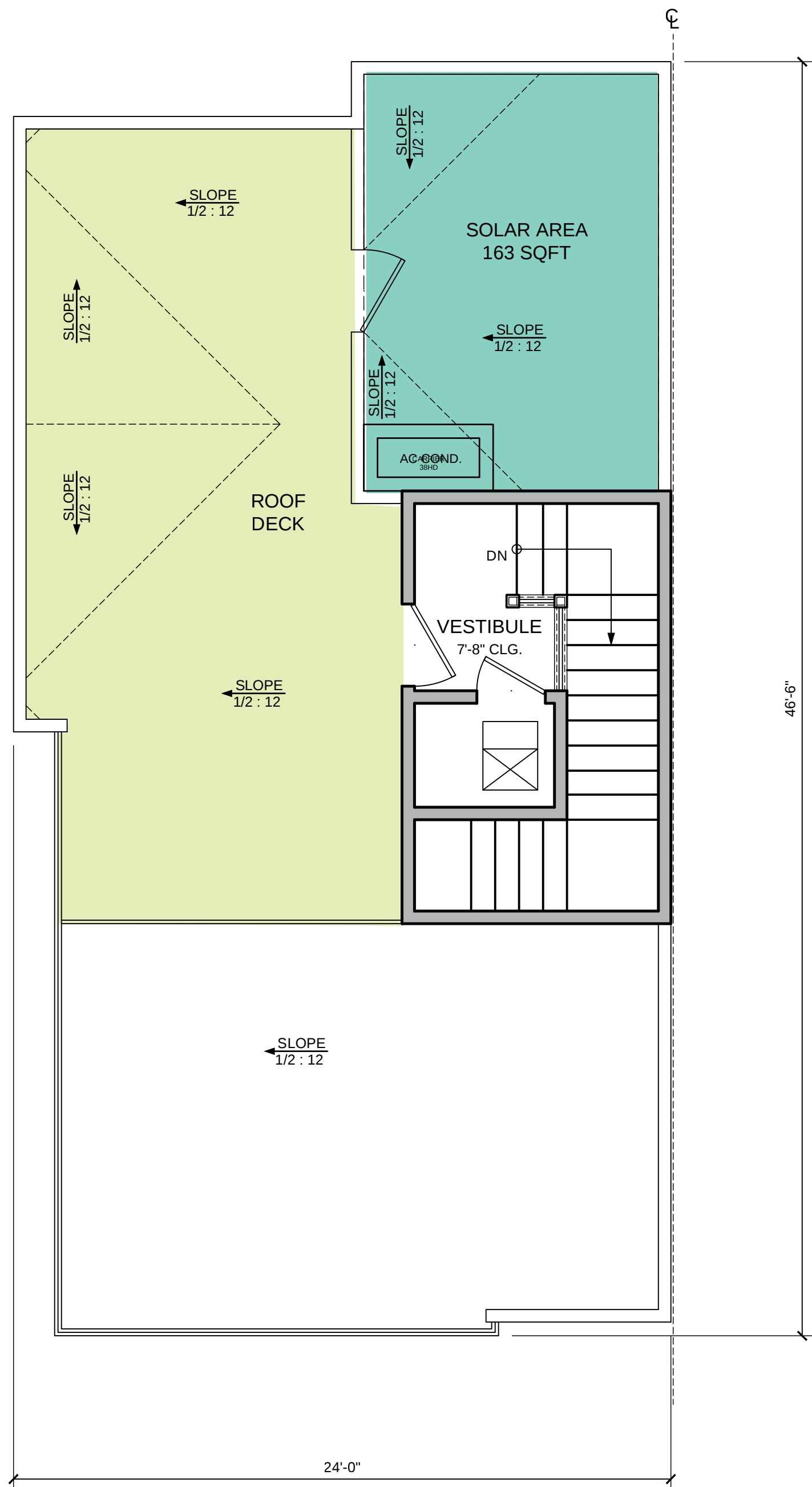


FLOOR AREA TABLE - UNIT 22		
VB - R2 - CONDOS - 2022 CBC		NFPA-13 SPRINKLERS
*GROSS SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM OUTSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	295	SQ. FT.
SECOND FLOOR PLAN	865	SQ. FT.
THIRD FLOOR PLAN	789	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	123	SQ. FT.
TOTAL	2072	SQ. FT.
2 CAR GARAGE	487	SQ. FT.
PORCH	85	SQ. FT.
USABLE ROOF DECK	628	SQ. FT.
*NET SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM INSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	264	SQ. FT.
SECOND FLOOR PLAN	795	SQ. FT.
THIRD FLOOR PLAN	708	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	97	SQ. FT.
TOTAL	1864	SQ. FT.
2 CAR GARAGE	454	SQ. FT.
PORCH	85	SQ. FT.
USABLE ROOF DECK	578	SQ. FT.
3 BEDROOM / 2.5 BATH		

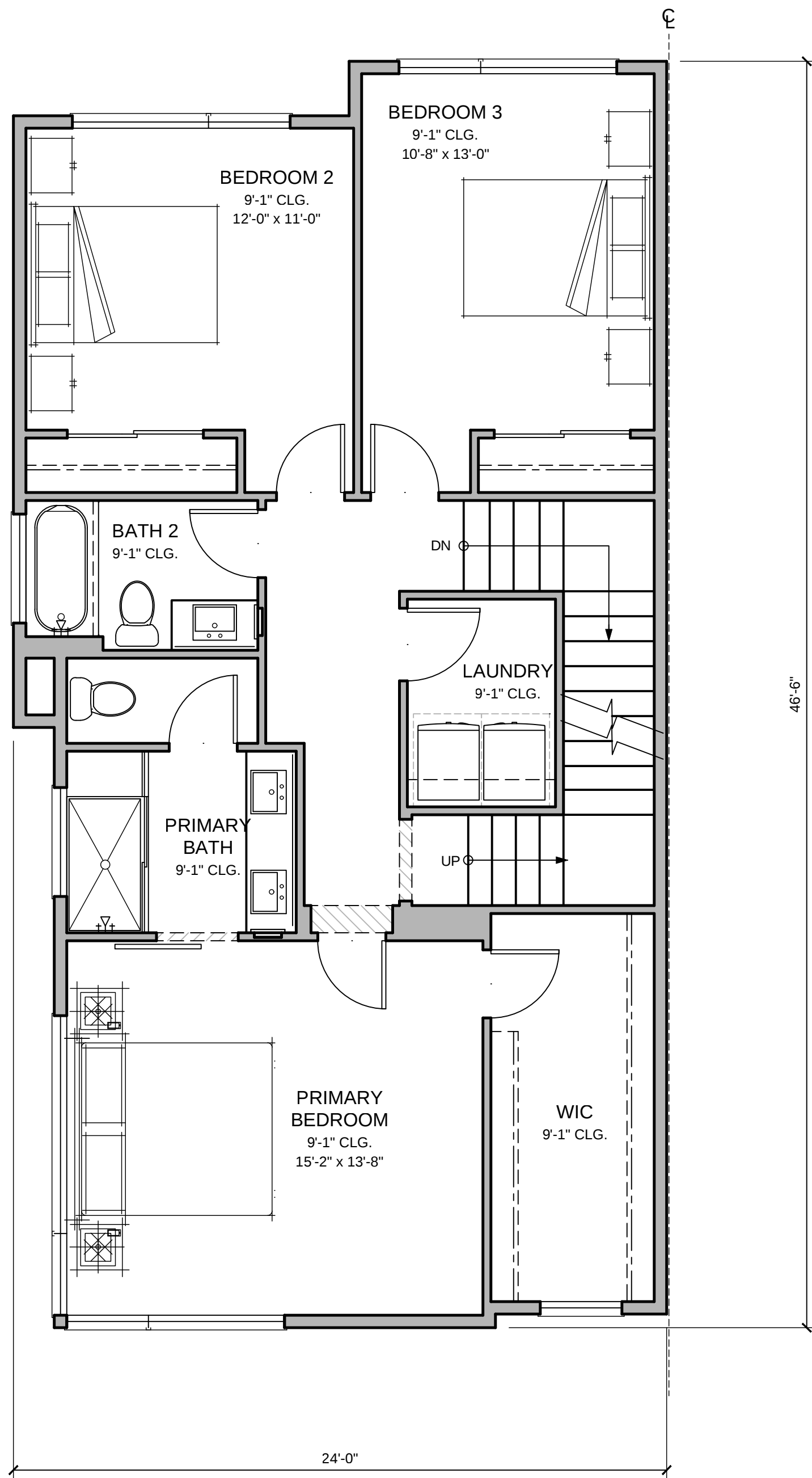
A.26

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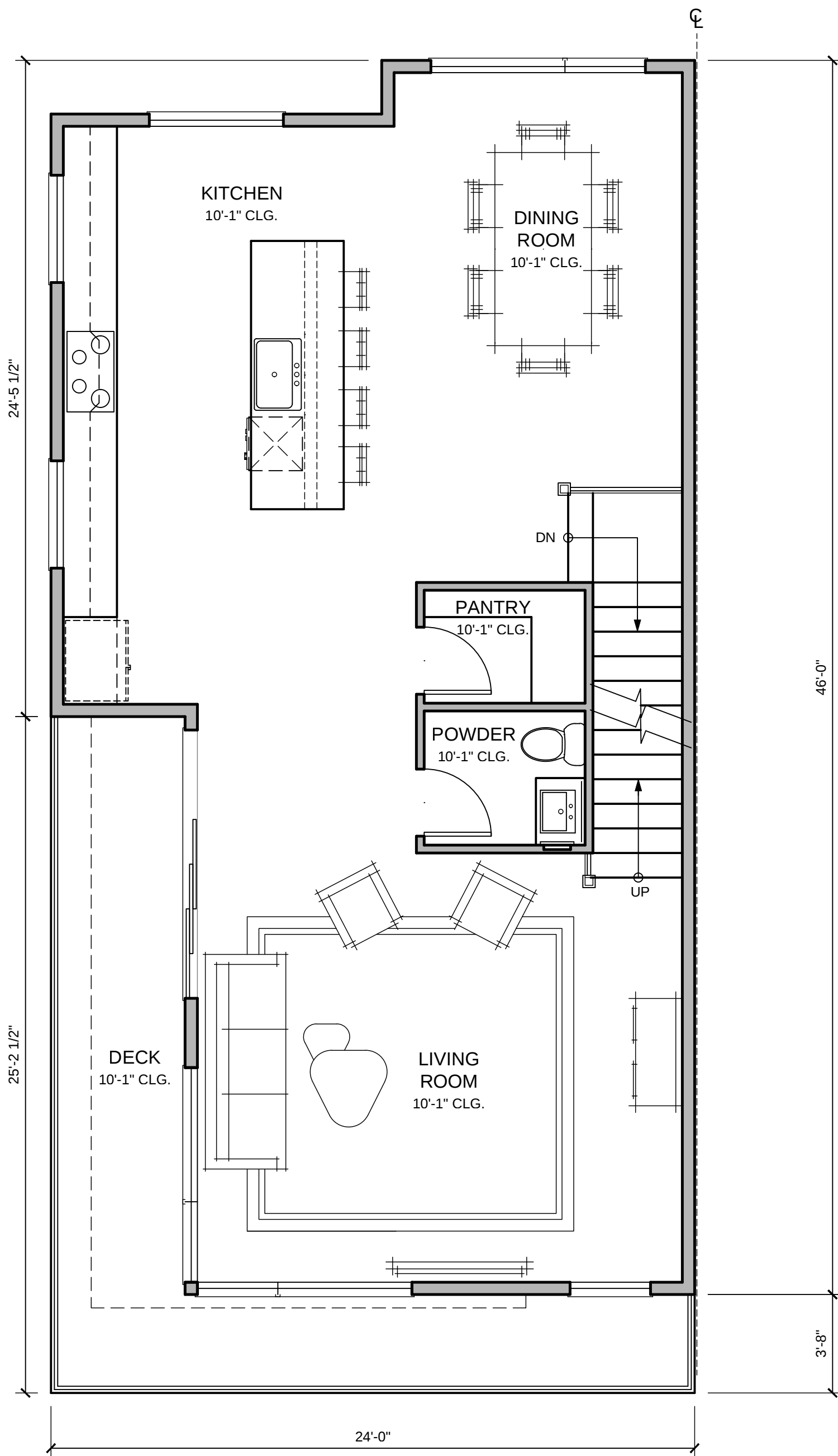




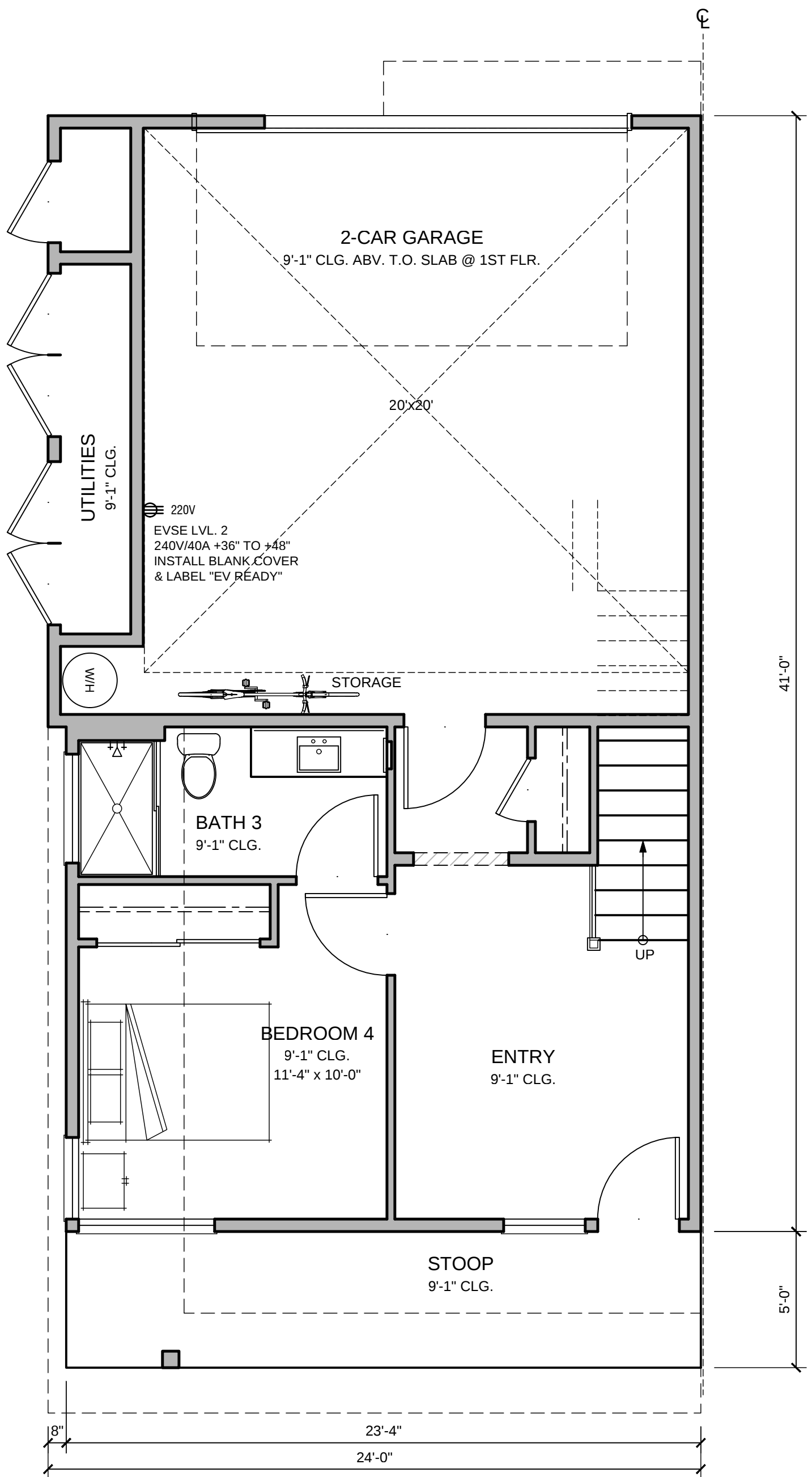
UNIT 31 - ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



UNIT 31 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



UNIT 31 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



UNIT 31 - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SOLAR/AC AREA



USEABLE ROOF DECK AREA

UNIT 31 - END UNIT TOWNS PLANS

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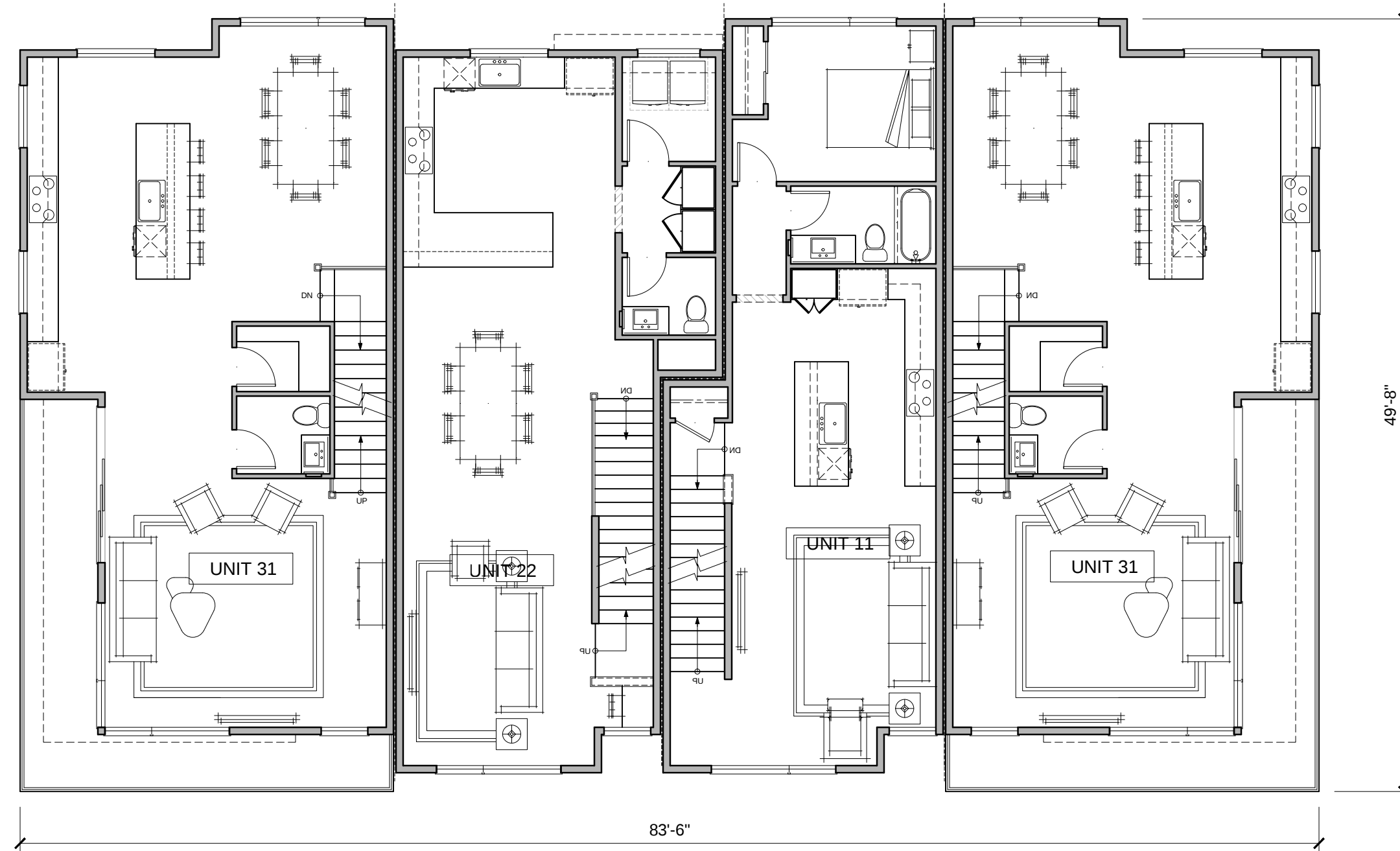


FLOOR AREA TABLE - UNIT 31		
VB - R2 - CONDOS - 2022 CBC	NFPA-13 SPRINKLERS	
*GROSS SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM OUTSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	444	SQ. FT.
SECOND FLOOR PLAN	972	SQ. FT.
THIRD FLOOR PLAN	975	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	155	SQ. FT.
TOTAL	2546	SQ. FT.
2 CAR GARAGE	470	SQ. FT.
UTILITY CLOSET	58	SQ. FT.
PORCH	117	SQ. FT.
2ND FLOOR DECK	196	SQ. FT.
USABLE ROOF DECK	381	SQ. FT.
*NET SQ. FOOTAGE		
*SQUARE FOOTAGE TAKEN FROM INSIDE FACE OF STUD AT EXTERIOR WALL		
FIRST FLOOR PLAN	404	SQ. FT.
SECOND FLOOR PLAN	908	SQ. FT.
THIRD FLOOR PLAN	905	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	132	SQ. FT.
TOTAL	2349	SQ. FT.
2 CAR GARAGE	439	SQ. FT.
UTILITY CLOSET	48	SQ. FT.
PORCH	117	SQ. FT.
2ND FLOOR DECK	183	SQ. FT.
USABLE ROOF DECK	361	SQ. FT.
4 BEDROOM / 3.5 BATH		

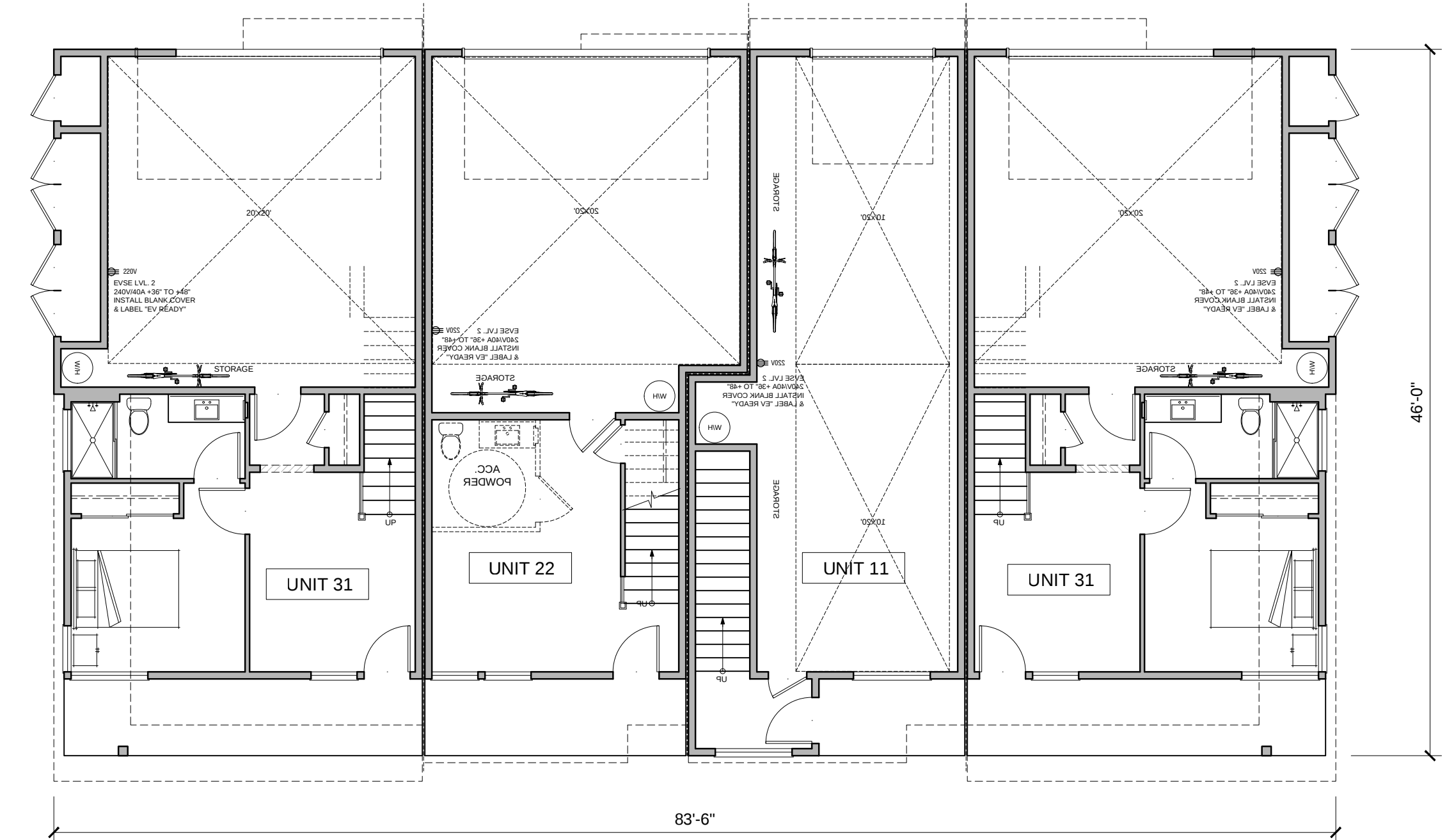
A.27

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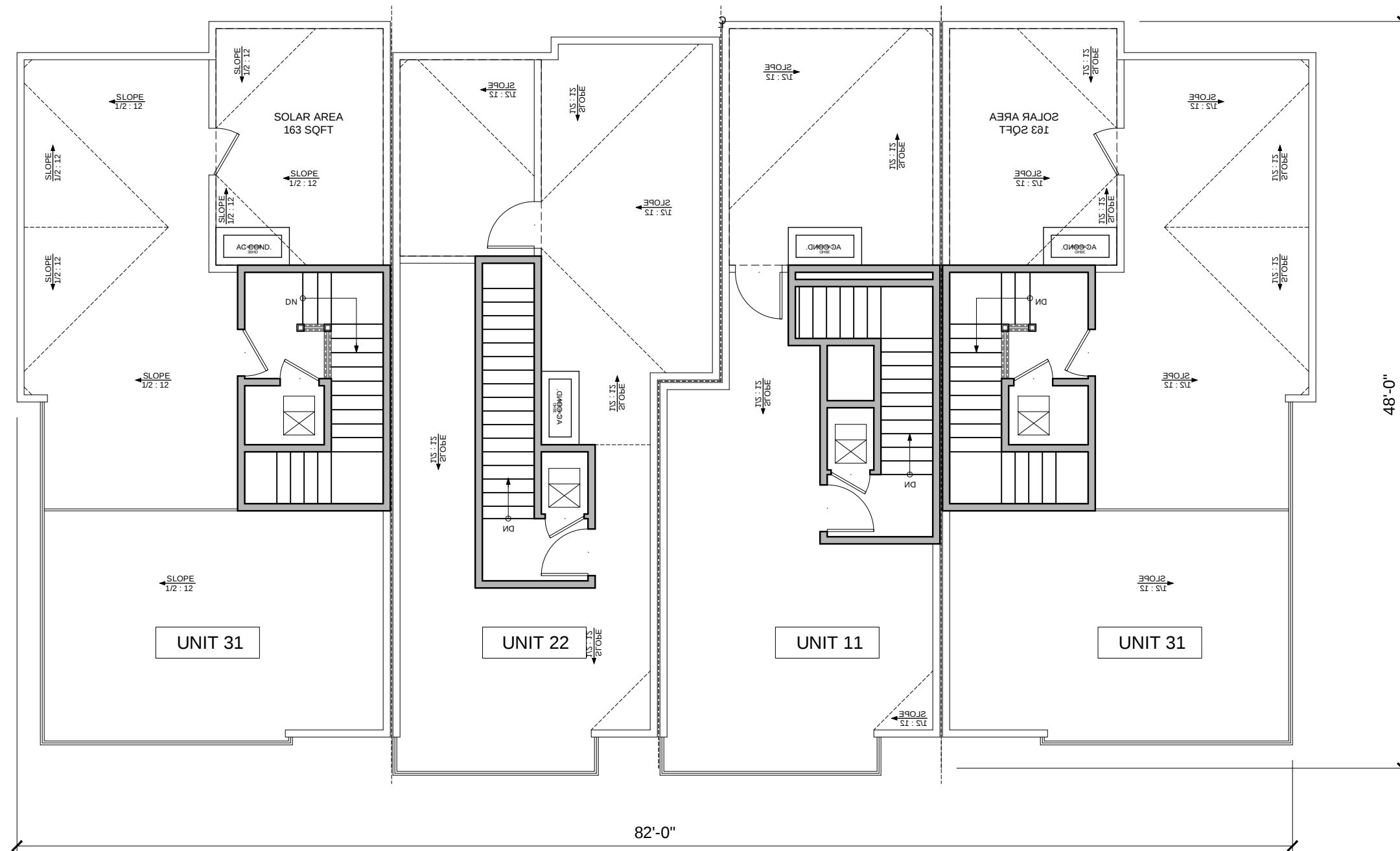




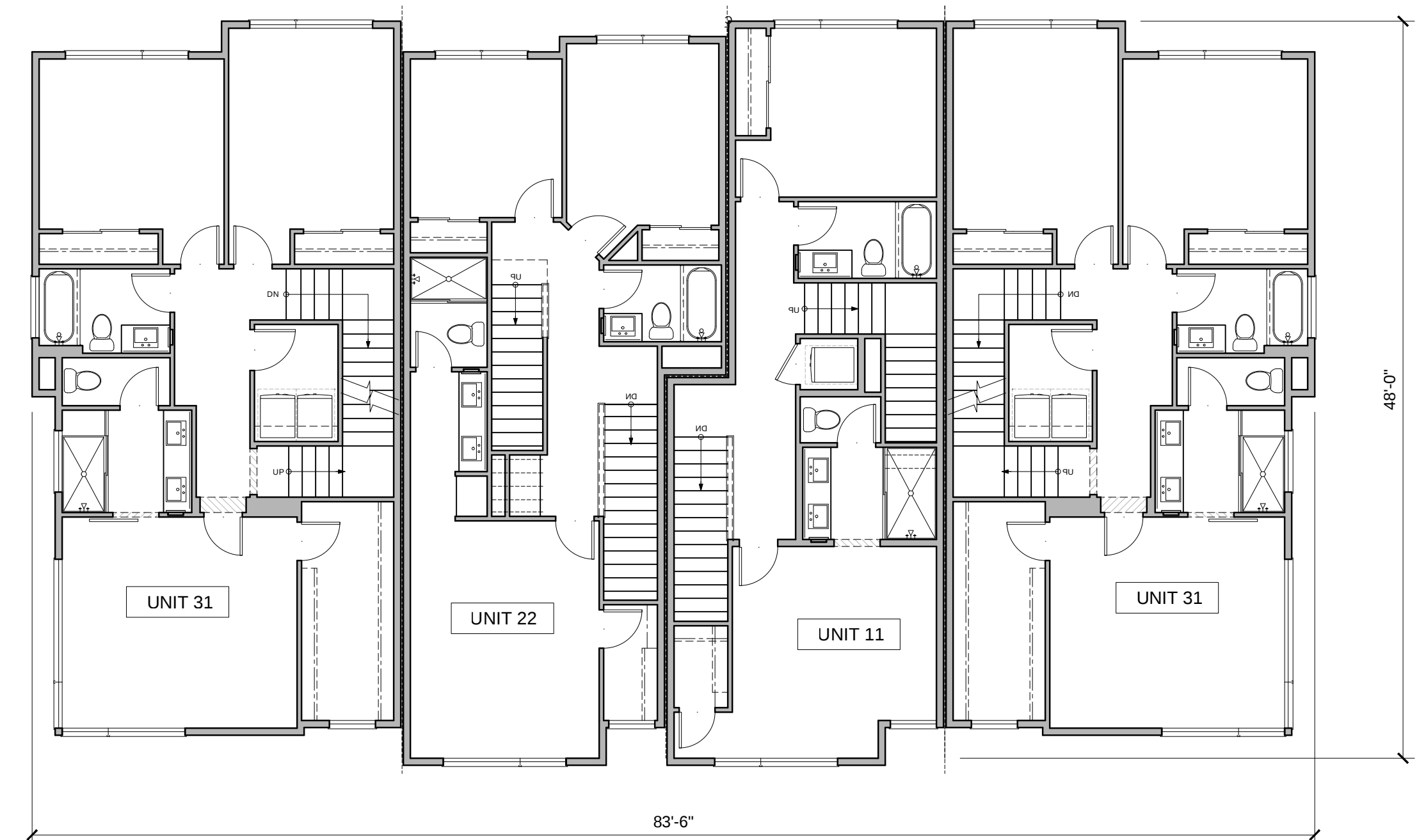
BUILDING 401 - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 401 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 401 - ROOF DECK PLAN
SCALE: 1/8" = 1'-0"

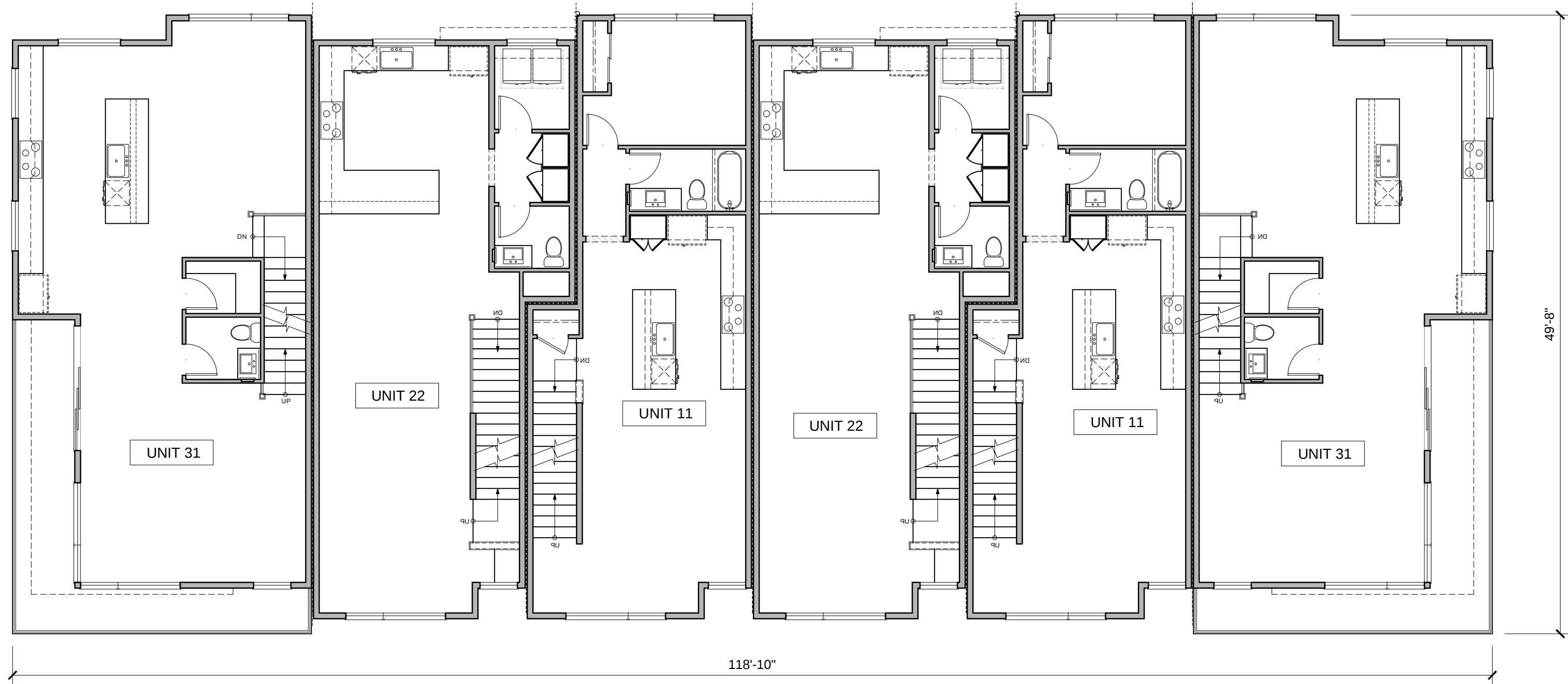


BUILDING 401 - THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

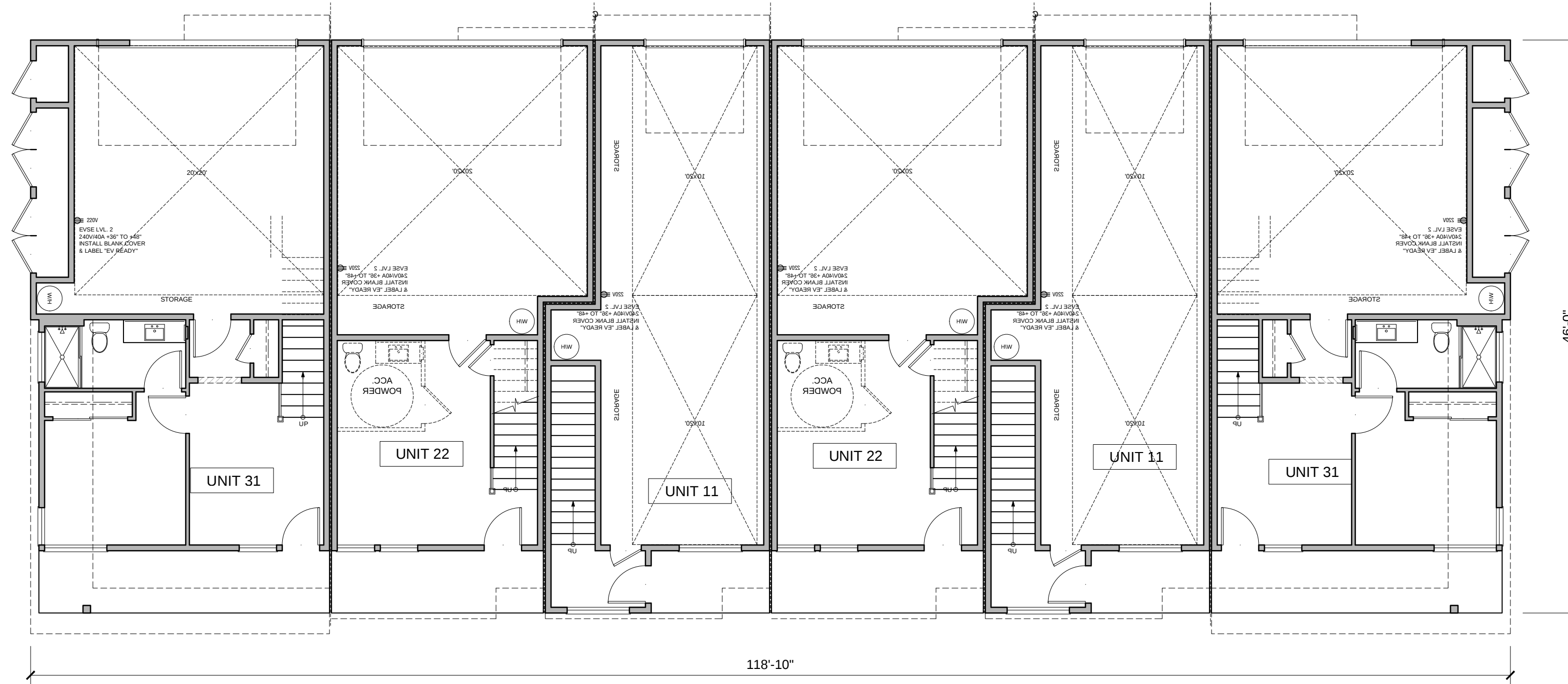
TOWNHOUSE BUILDING 401 - FLOOR PLANS

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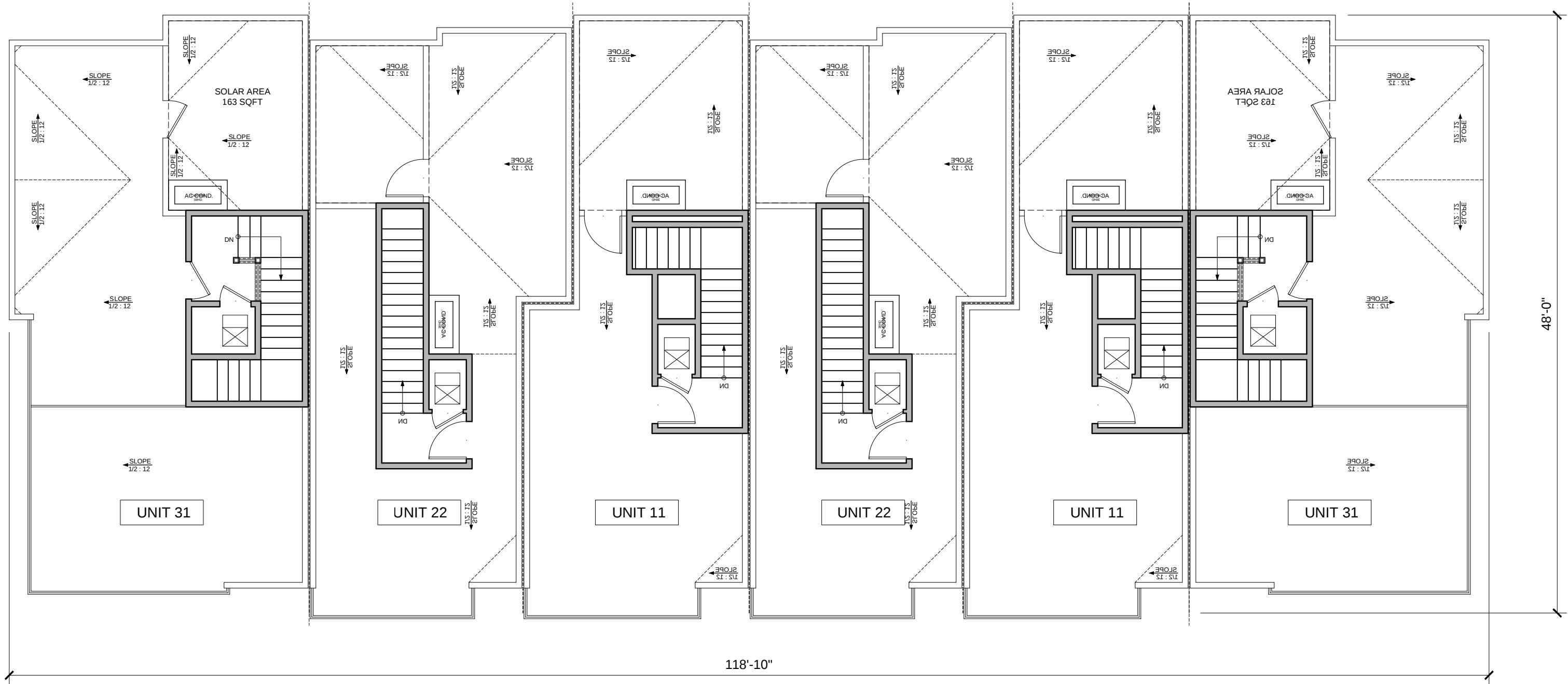




BUILDING 601 - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 601 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 601 - ROOF DECK PLAN
SCALE: 1/8" = 1'-0"

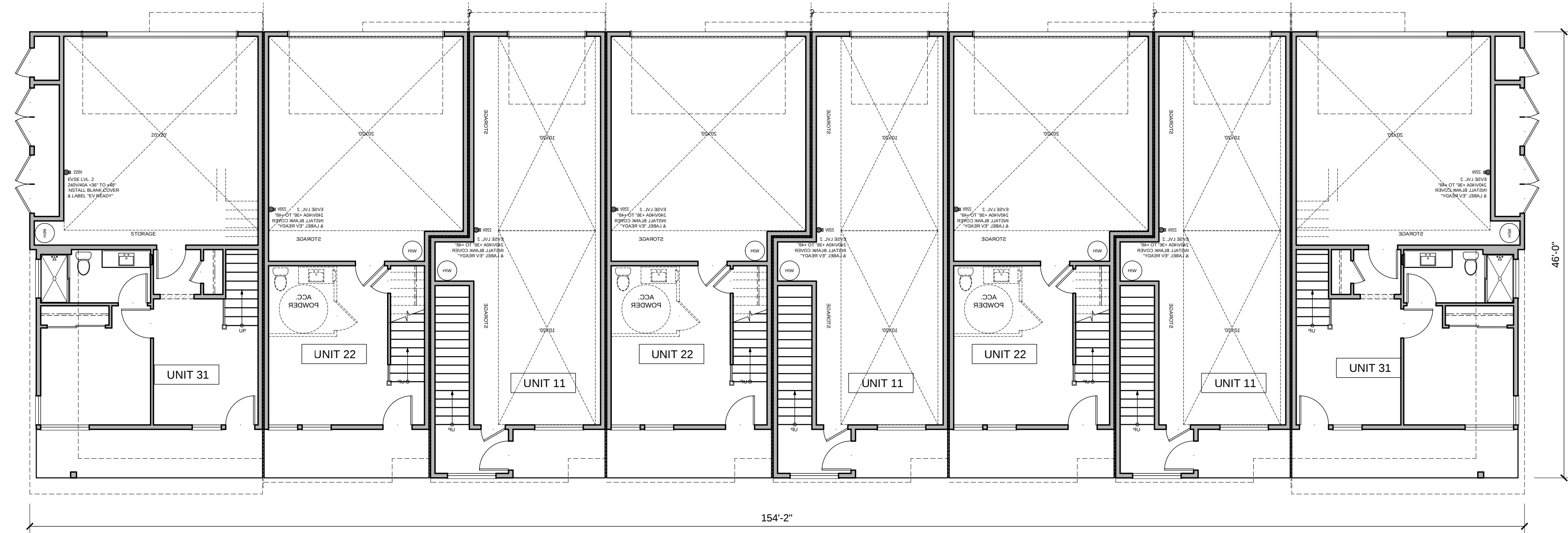


BUILDING 601 - THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

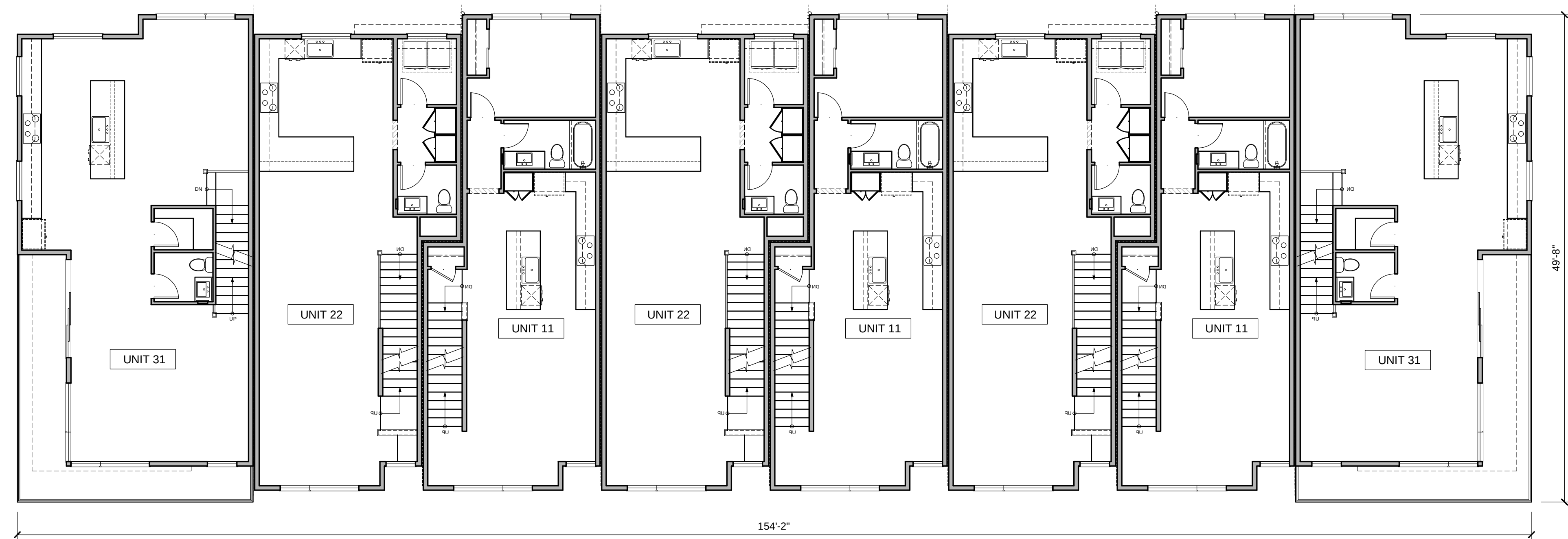
TOWNHOUSE BUILDING 601 - FLOOR PLANS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP





BUILDING 801 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

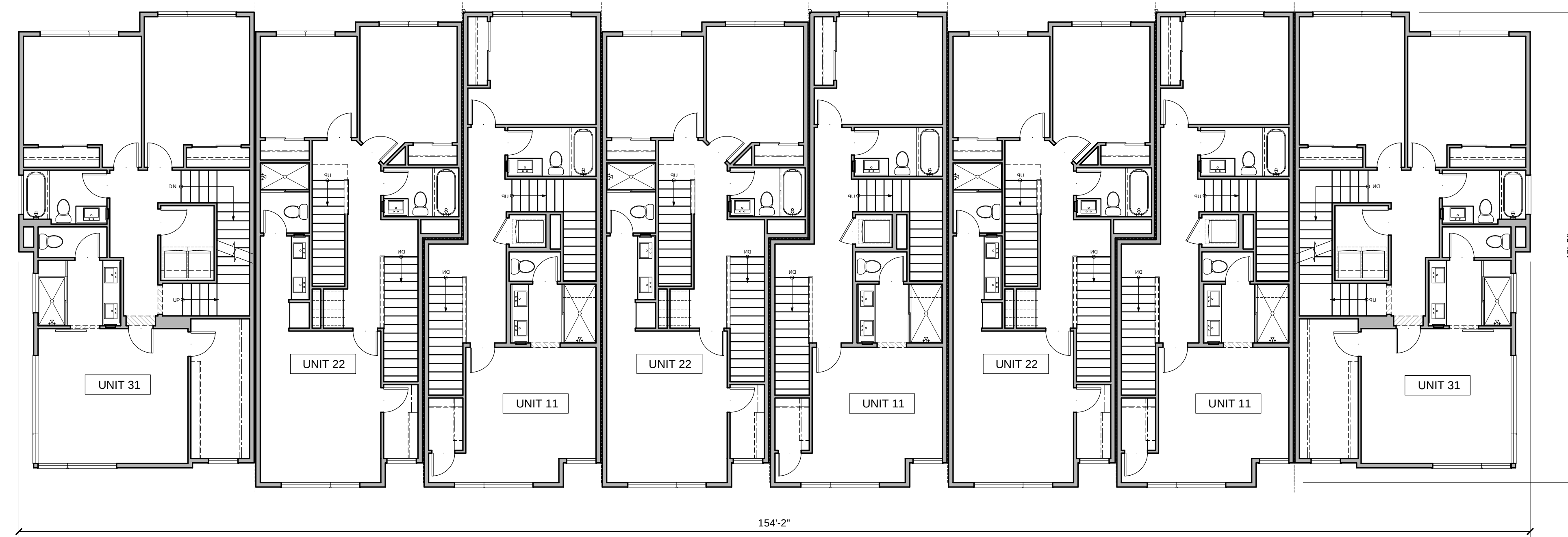


BUILDING 801 - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

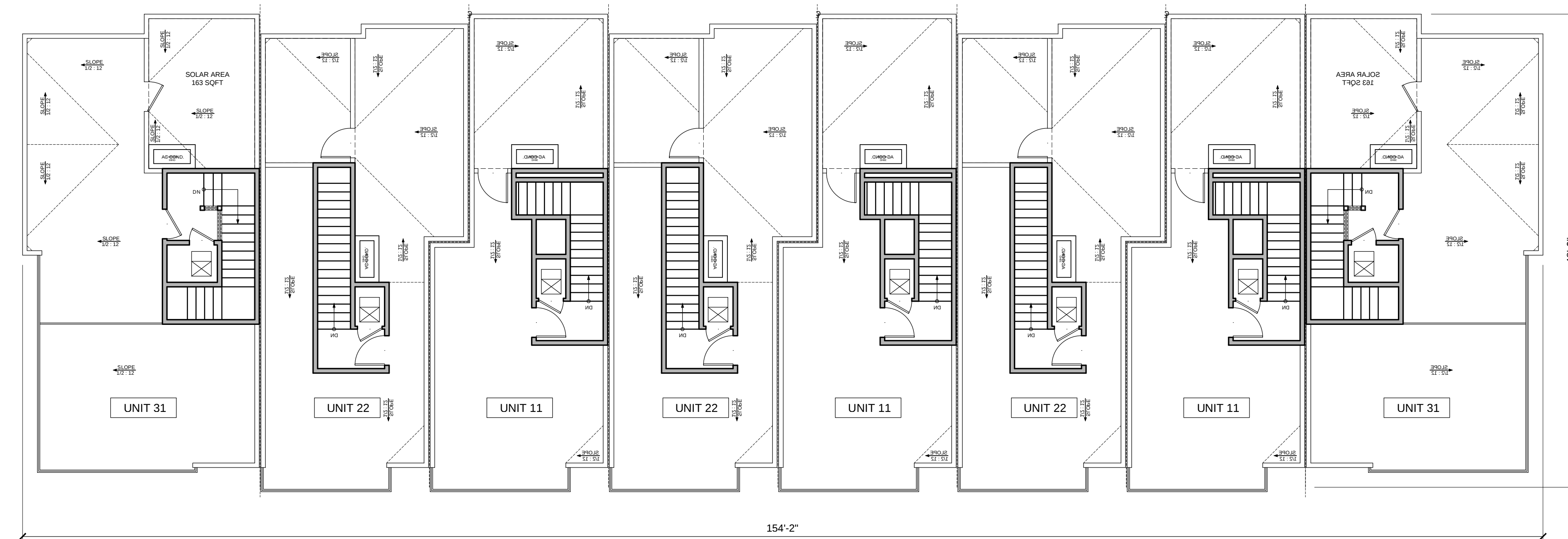
TOWNHOUSE BUILDING 801 - FLOOR PLANS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP





BUILDING 801 - THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 801 - ROOF DECK PLAN
SCALE: 1/8" = 1'-0"

TOWNHOUSE BUILDING 801 - FLOOR PLANS

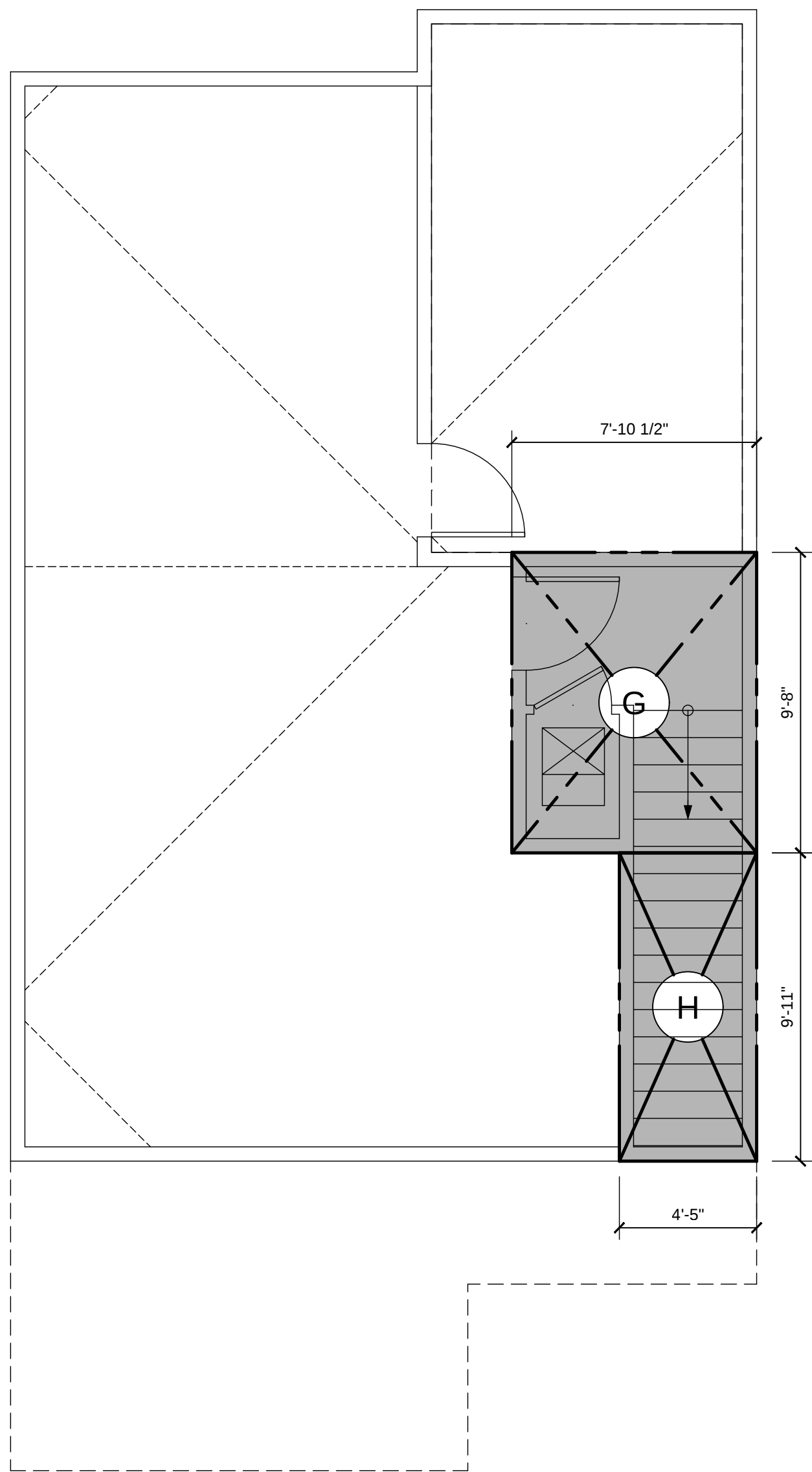
GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP



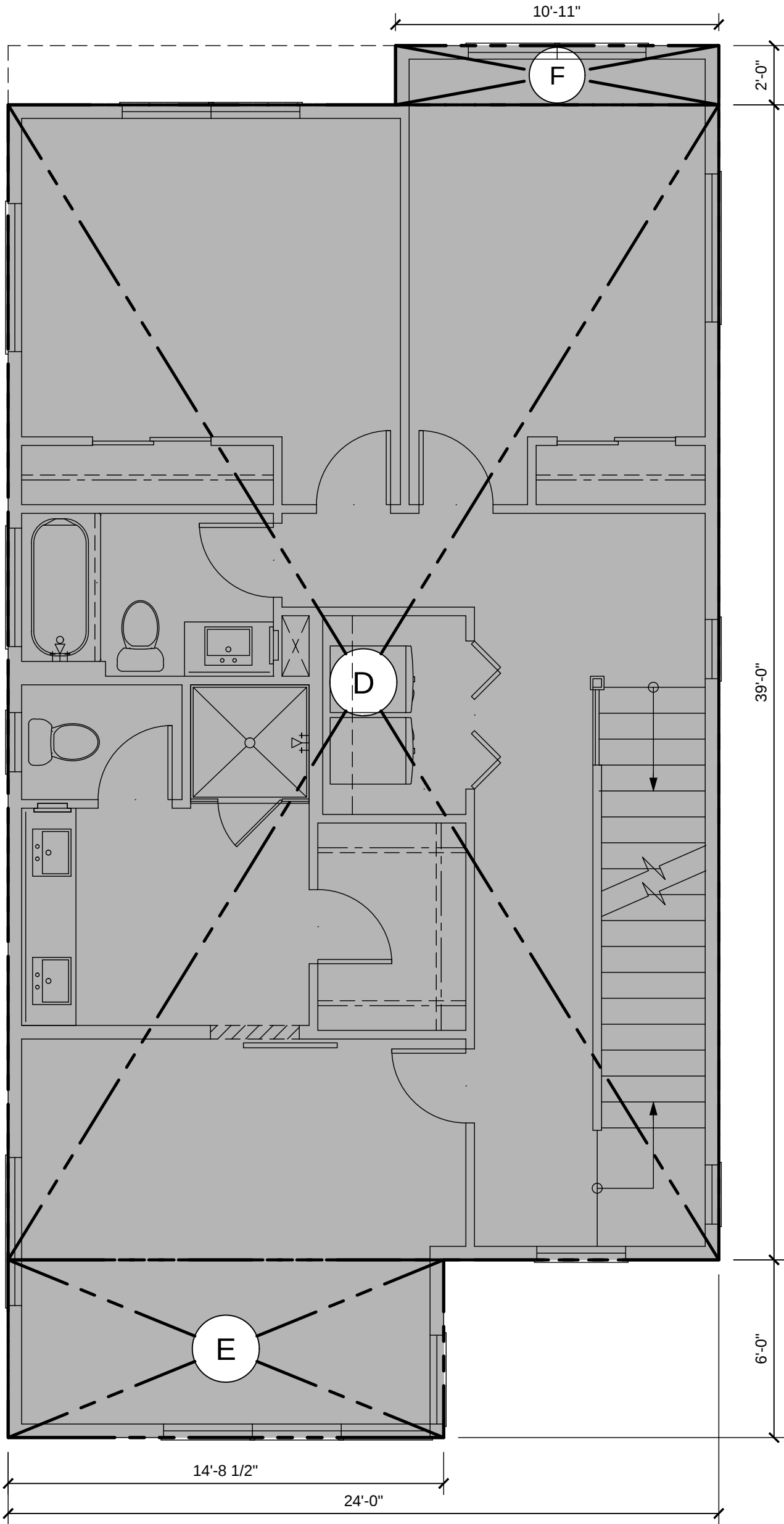
A.31

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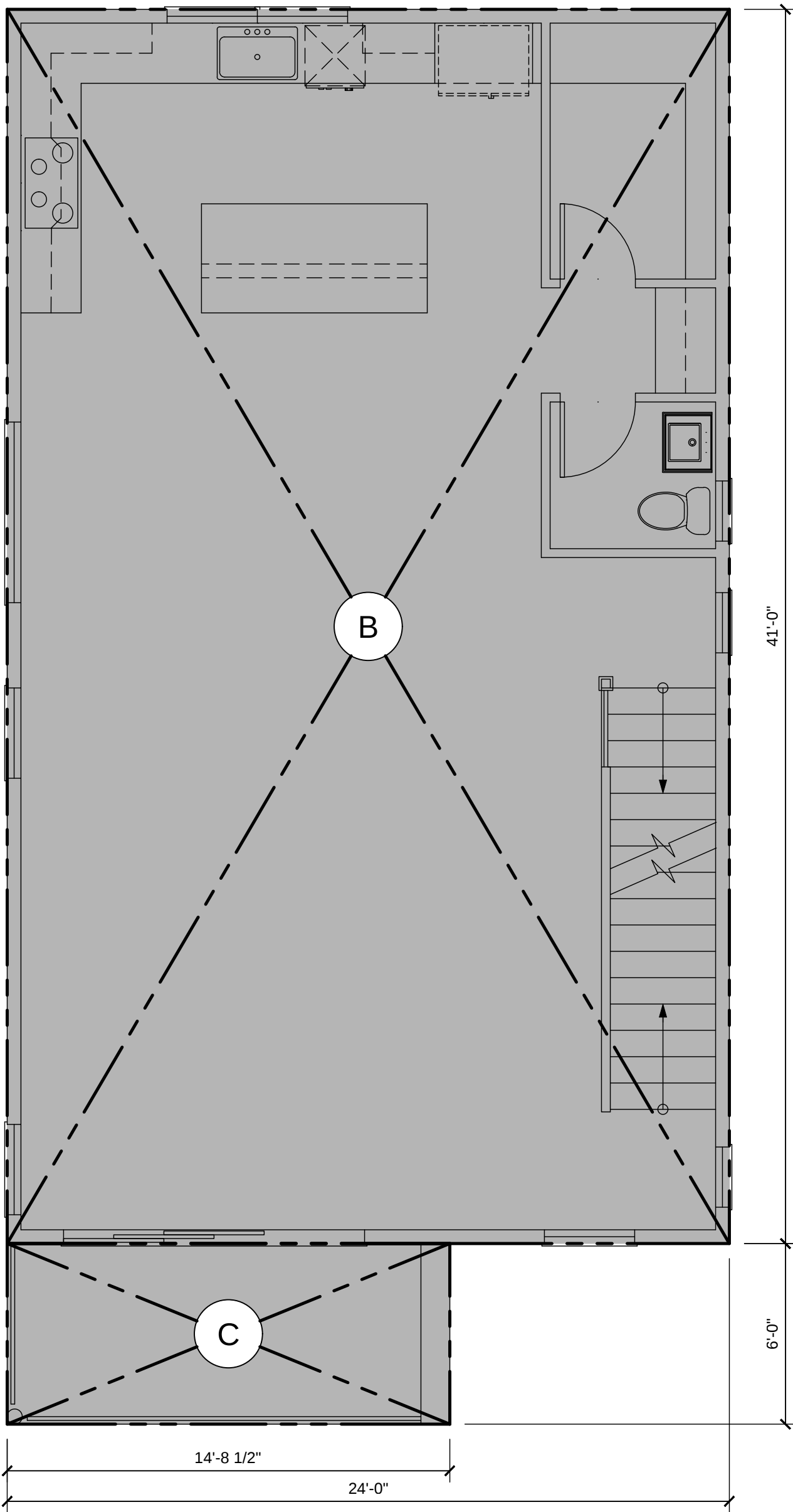




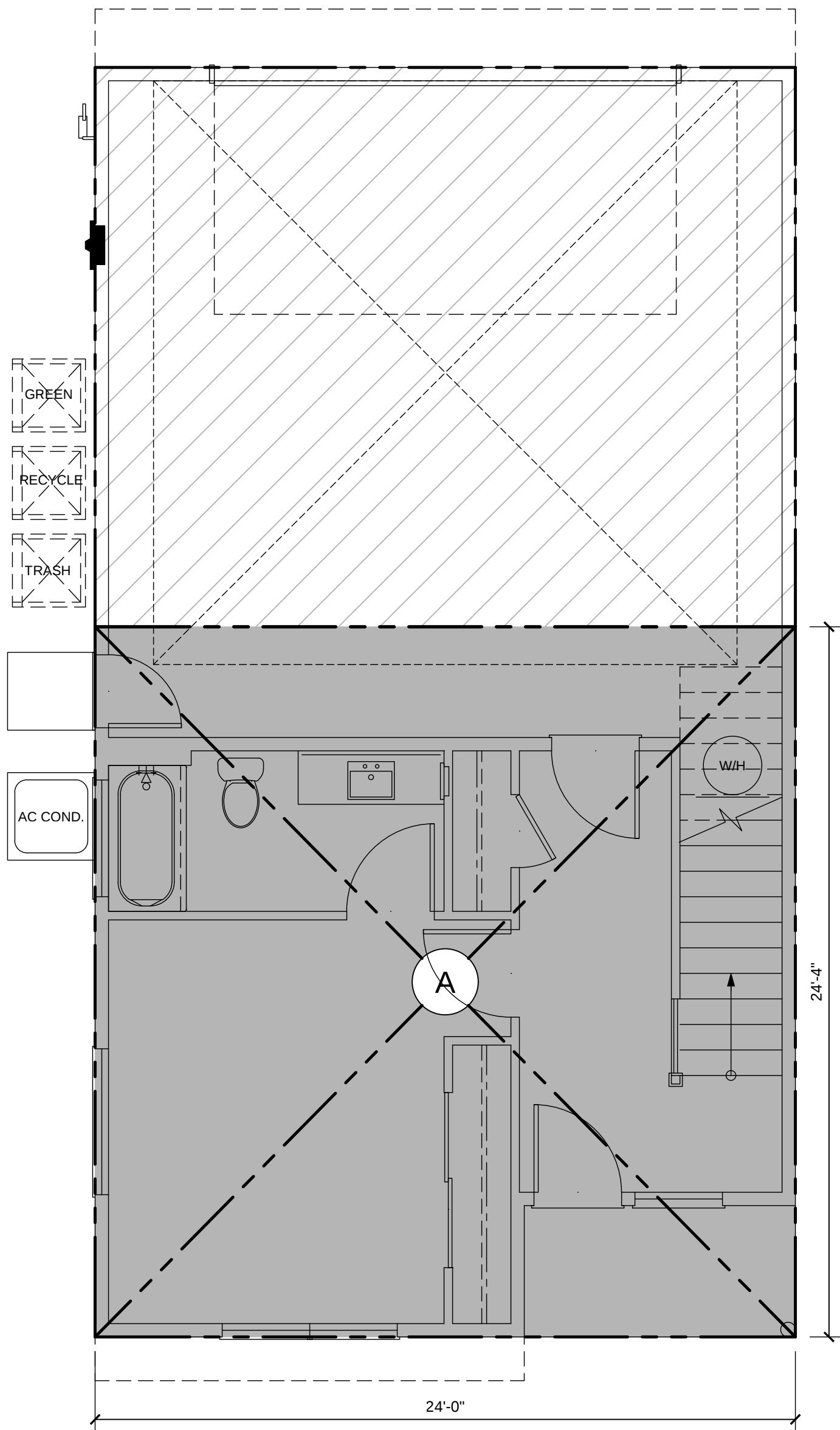
PLAN 1 - ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



PLAN 1 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLAN 1 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLAN 1 - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

INCLUDED IN GROSS FLOOR AREA

AREA EXCLUDED FROM GROSS FLOOR AREA PER APPLICABLE ZONING EXCLUSIONS

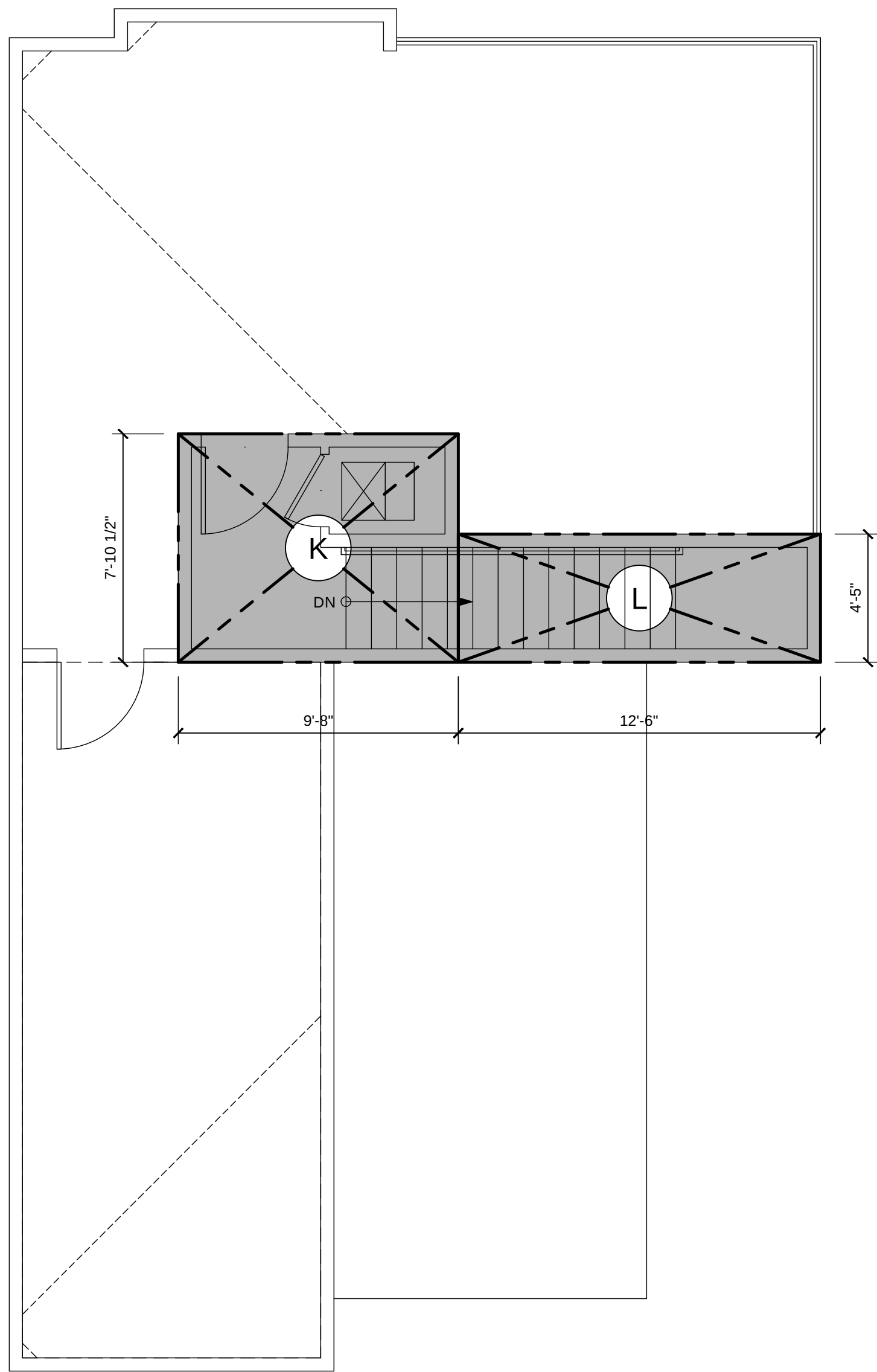
NOTE: AREAS EXCLUDED FROM GROSS AREA CALCULATIONS PURSUANT TO PALO ALTO MUNICIPAL CODE 18.13.010 FOOTNOTE (4):
COVERED PARKING IS NOT INCLUDED AS FLOOR AREA IN MULTIFAMILY DEVELOPMENT, UP TO A MAXIMUM OF 230 SQUARE FEET PER REQUIRED PARKING SPACE THAT IS COVERED.
COVERED PARKING SPACES IN EXCESS OF THE REQUIRED PARKING SPACES COUNT AS FLOOR AREA.

PLAN 1 - ALLEY LOADED - FAR DIAGRAMS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

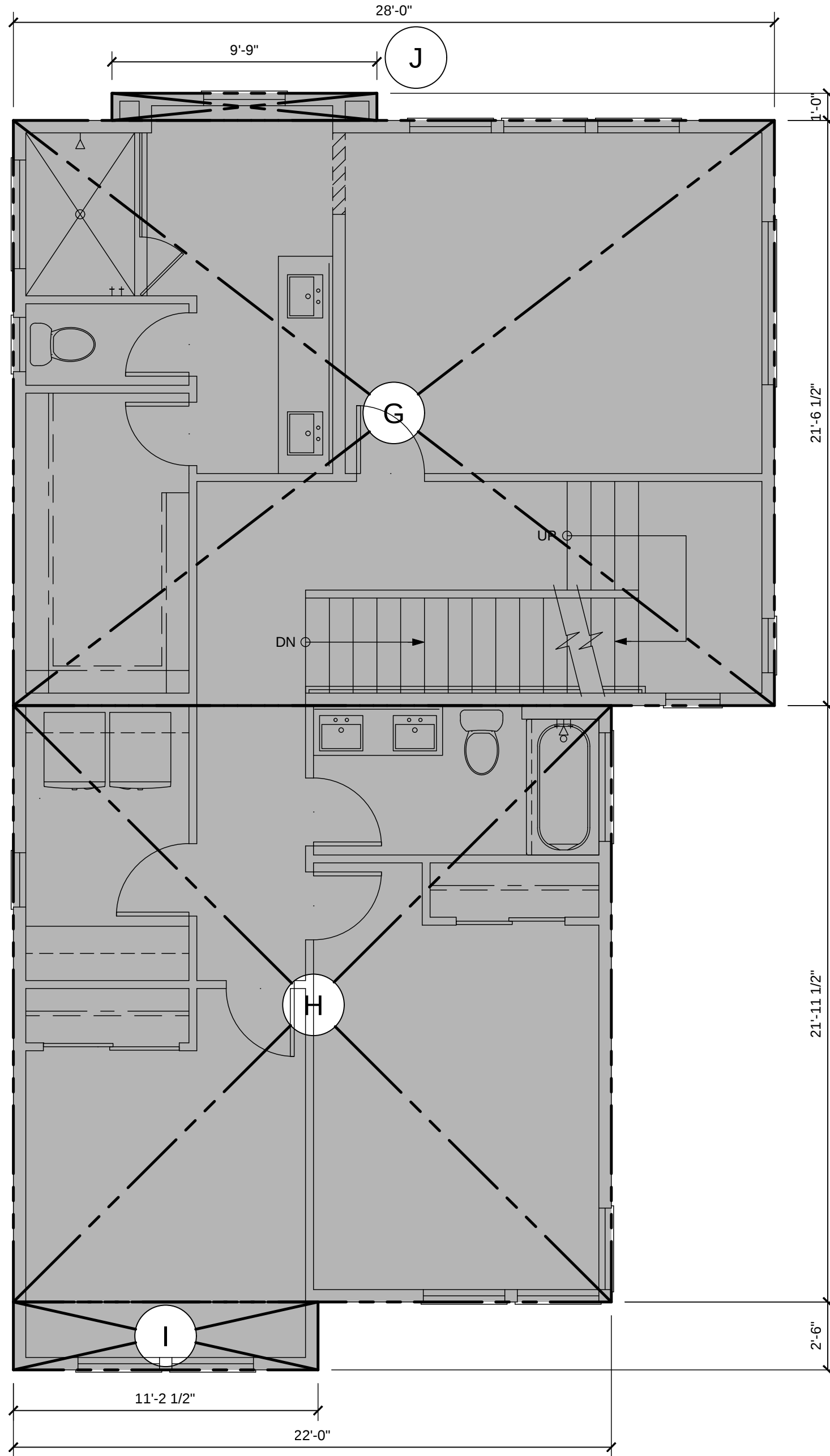
FAR CALCULATIONS - PLAN 1 (ALLEY LOAD)		
FIRST FLOOR		
A	24'-0" x 24'-4"	
SECOND FLOOR		
B	24'-0" x 41'-0"	
C	14'-8 1/2" x 6'-0"	
THIRD FLOOR		
D	24'-0" x 39'-0"	
E	14'-8 1/2" x 6'-0"	
F	10'-11" x 2'-0"	
ROOF DECK		
G	7'-10 1/2" x 9'-8"	
H	4'-5" x 9'-11"	
GROSS FLOOR AREA - TOTALS		
FIRST FLOOR PLAN	584	SQ. FT.
SECOND FLOOR PLAN	1072	SQ. FT.
THIRD FLOOR PLAN	1046	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	120	SQ. FT.
TOTAL	2822	SQ. FT.





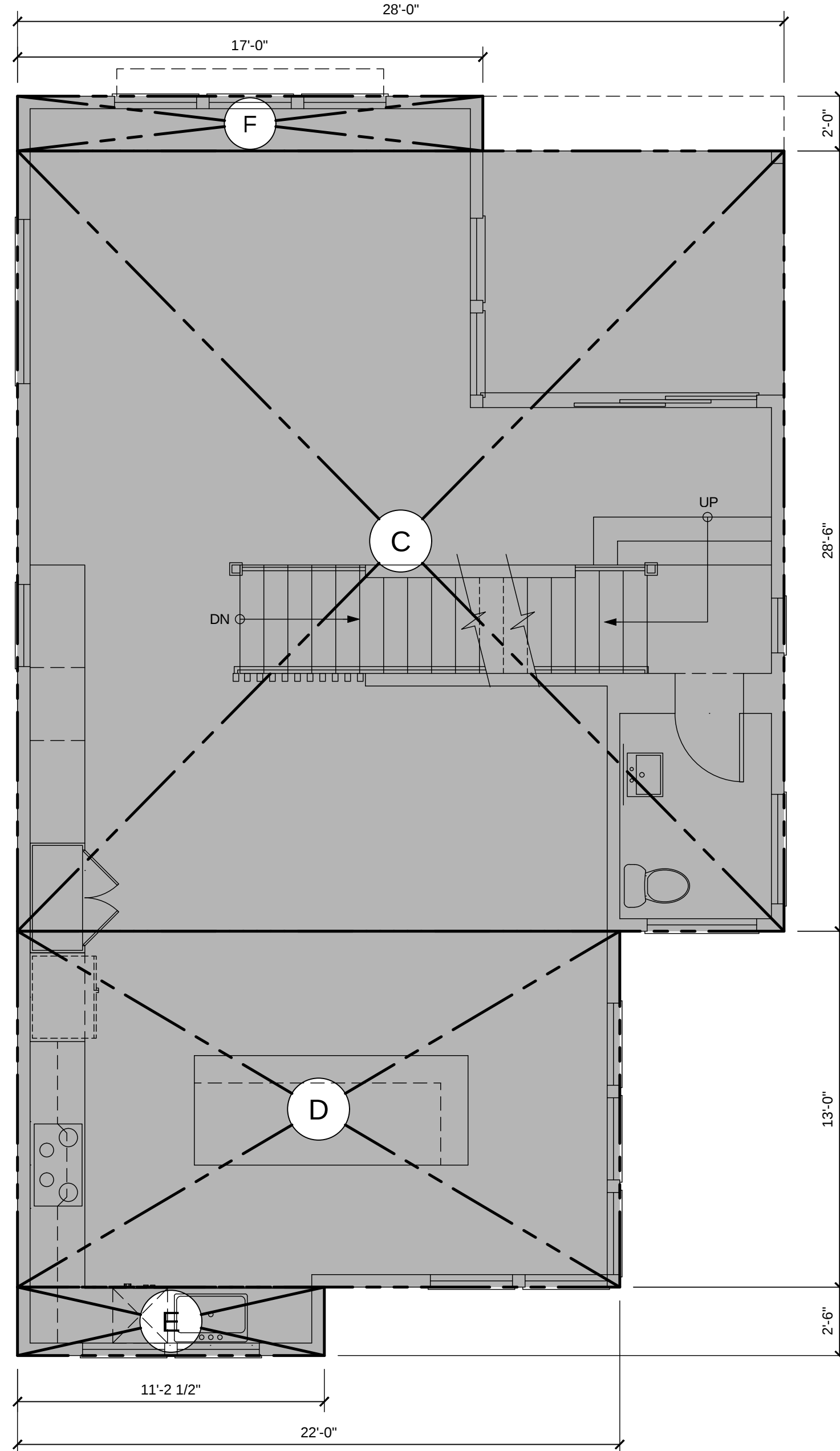
PLAN 2 - ROOF DECK PLAN

SCALE: 1/4" = 1'-0"



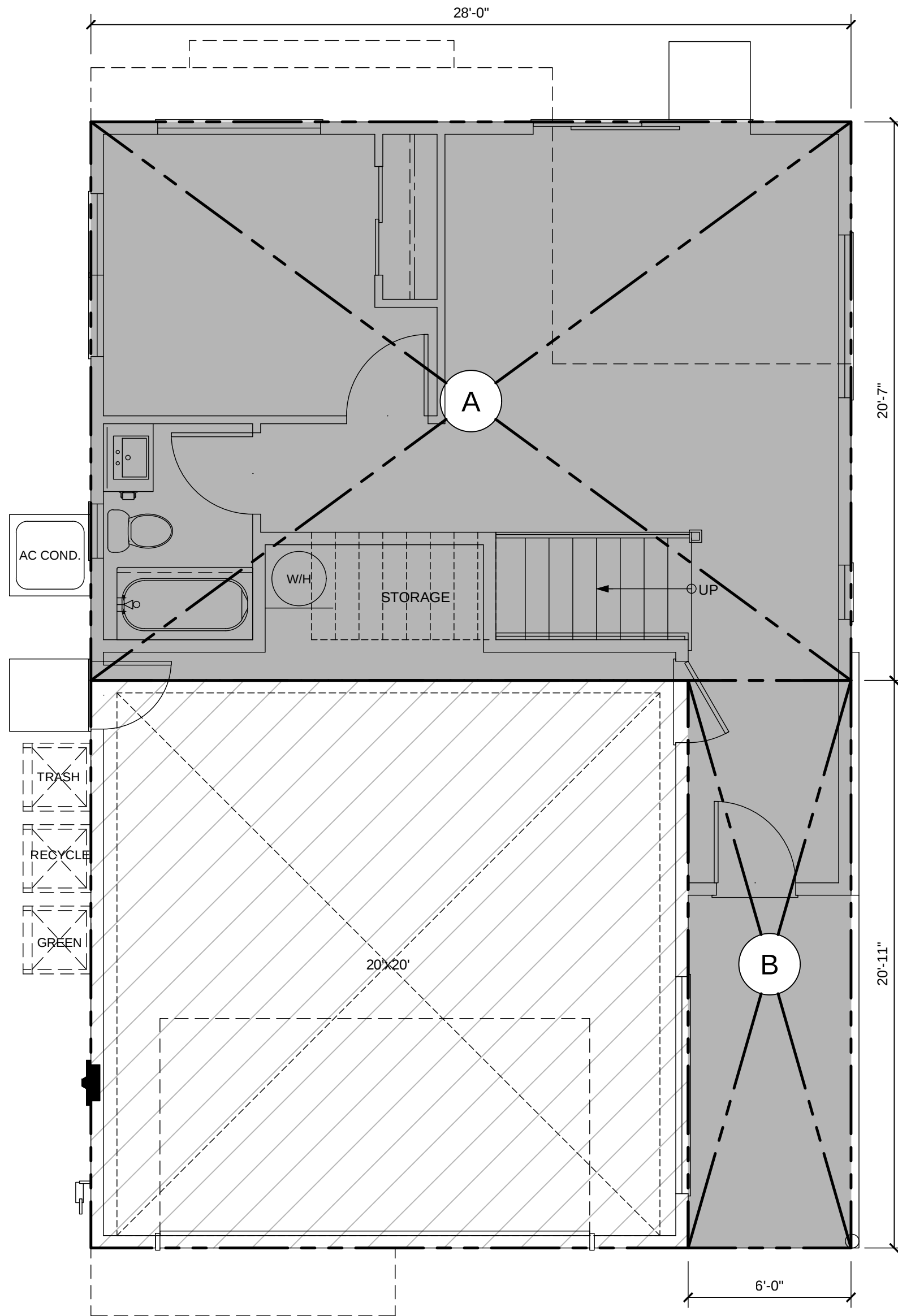
PLAN 2 - THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



PLAN 2 - SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PLAN 2 - FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

INCLUDED IN GROSS FLOOR AREA

AREA EXCLUDED FROM GROSS FLOOR AREA PER APPLICABLE ZONING EXCLUSIONS

NOTE: AREAS EXCLUDED FROM GROSS AREA CALCULATIONS PURSUANT TO PALO ALTO MUNICIPAL CODE 18.13.010 FOOTNOTE (4):

COVERED PARKING IS NOT INCLUDED AS FLOOR AREA IN MULTIFAMILY DEVELOPMENT, UP TO A MAXIMUM OF 230 SQUARE FEET PER REQUIRED PARKING SPACE THAT IS COVERED. COVERED PARKING SPACES IN EXCESS OF THE REQUIRED PARKING SPACES COUNT AS FLOOR AREA.

PLAN 2 - FRONT LOADED - FAR DIAGRAMS

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

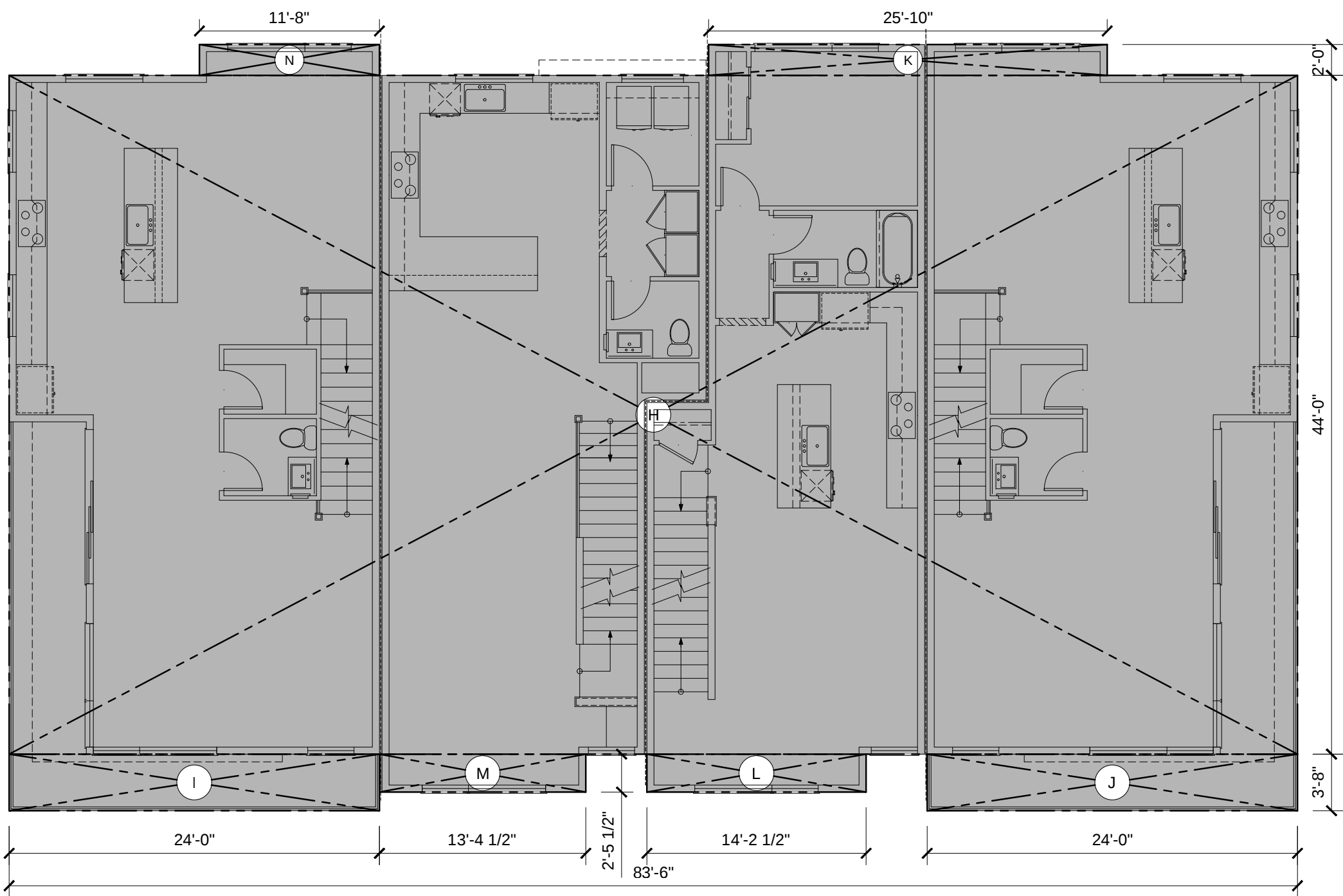
FAR CALCULATIONS - PLAN 2 (FRONT LOAD)		
FIRST FLOOR		
A	28'-0" x 20'-7"	
B	6'-0" x 20'-11"	
SECOND FLOOR		
C	28'-0" x 28'-6"	
D	22'-0" x 13'-0"	
E	11'-2 1/2" x 2'-6"	
F	17'-0" x 2'-0"	
THIRD FLOOR		
G	28'-0" x 21'-6 1/2"	
H	22'-0" x 21'-11 1/2"	
I	11'-2 1/2" x 2'-6"	
J	9'-9" x 1'-0"	
ROOF DECK		
K	9'-8" x 7'-10 1/2"	
L	12'-6" x 4'-5"	

GROSS FLOOR AREA - PLAN 2 (FRONT LOAD)		
FIRST FLOOR PLAN	694	SQ. FT.
SECOND FLOOR PLAN	1146	SQ. FT.
THIRD FLOOR PLAN	1124	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	131	SQ. FT.
TOTAL	3095	SQ. FT.

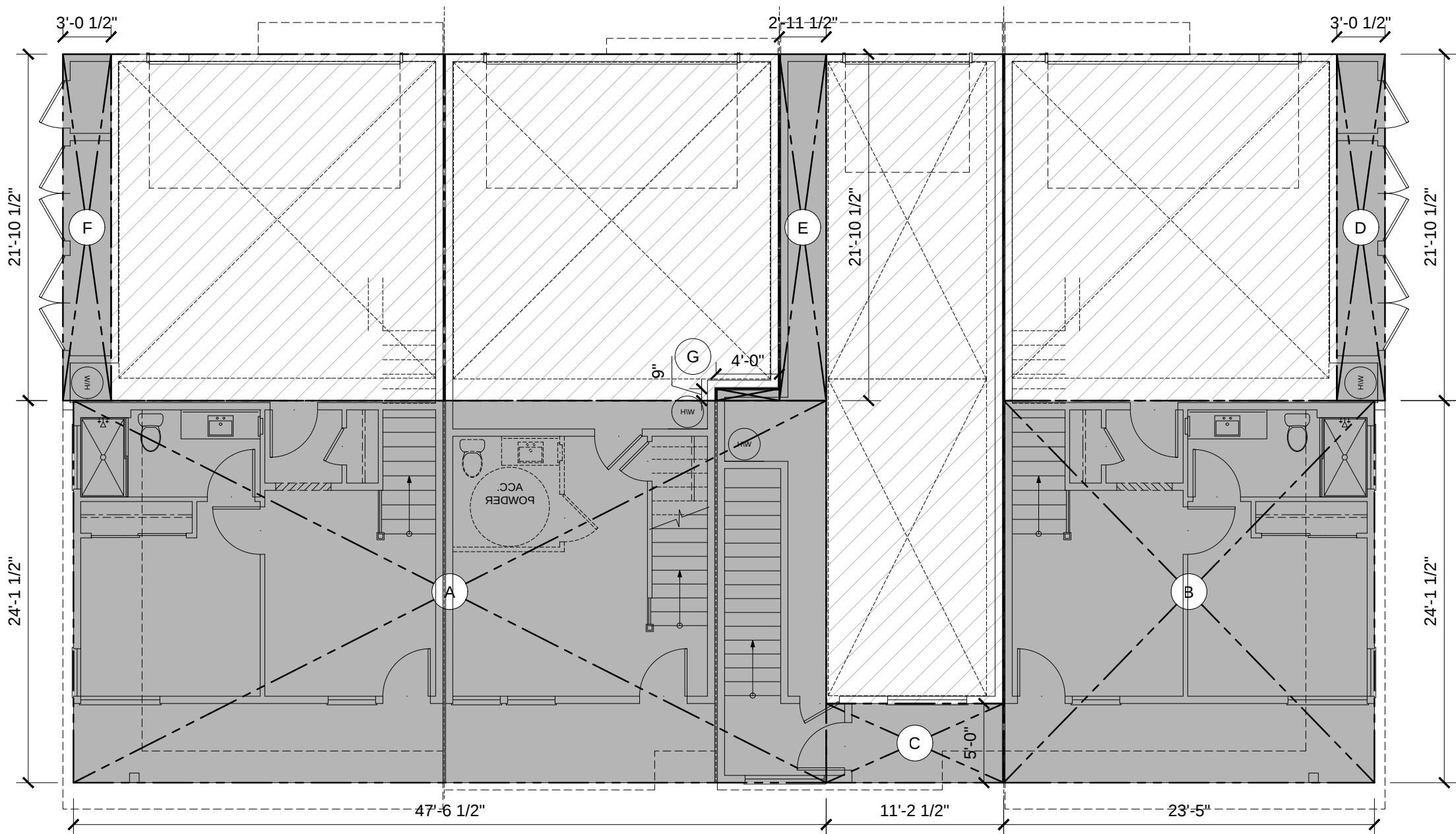
A.33

DAHLIN GROUP
5865 Owens Drive
Pleasanton, California 94588
925-251-7200

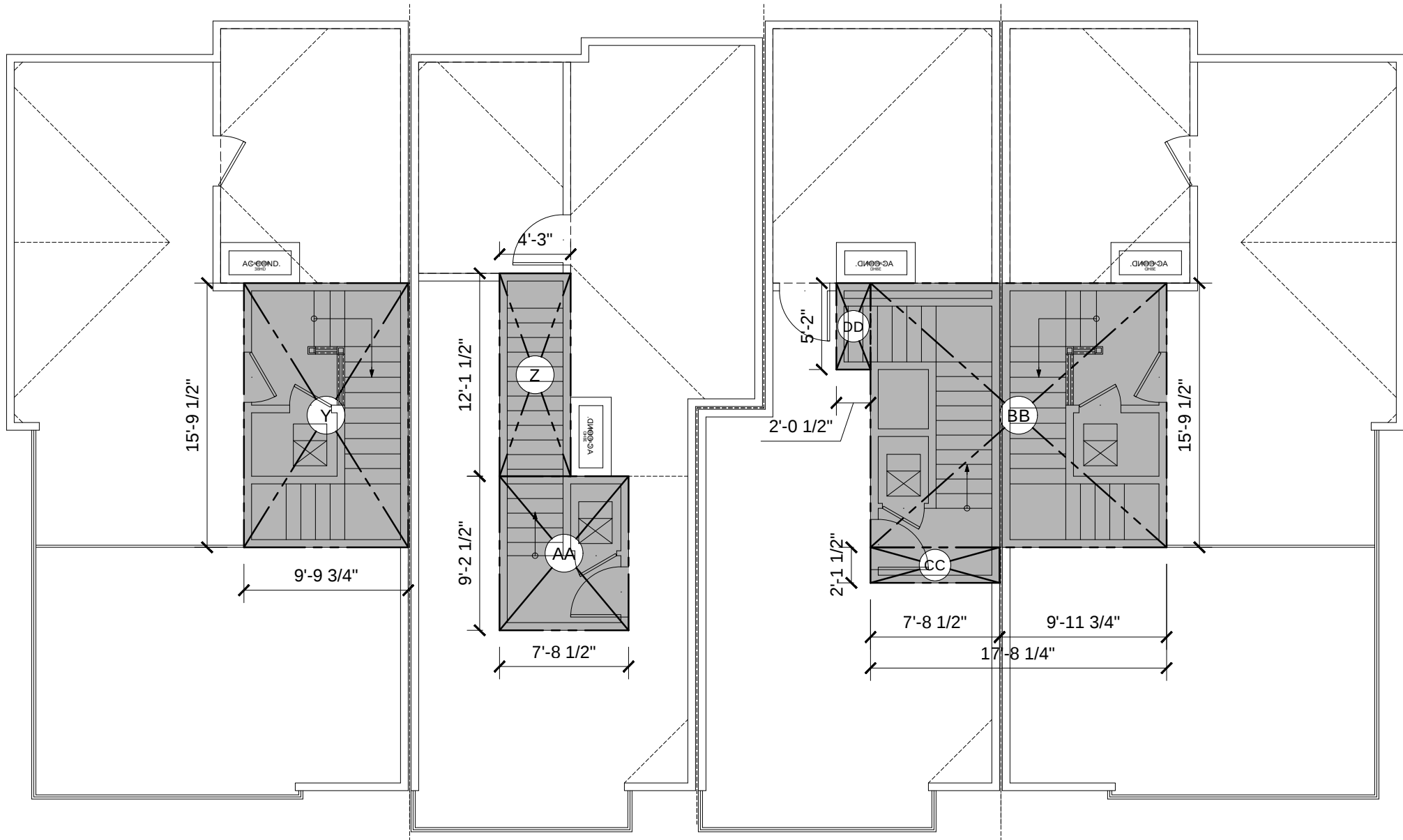




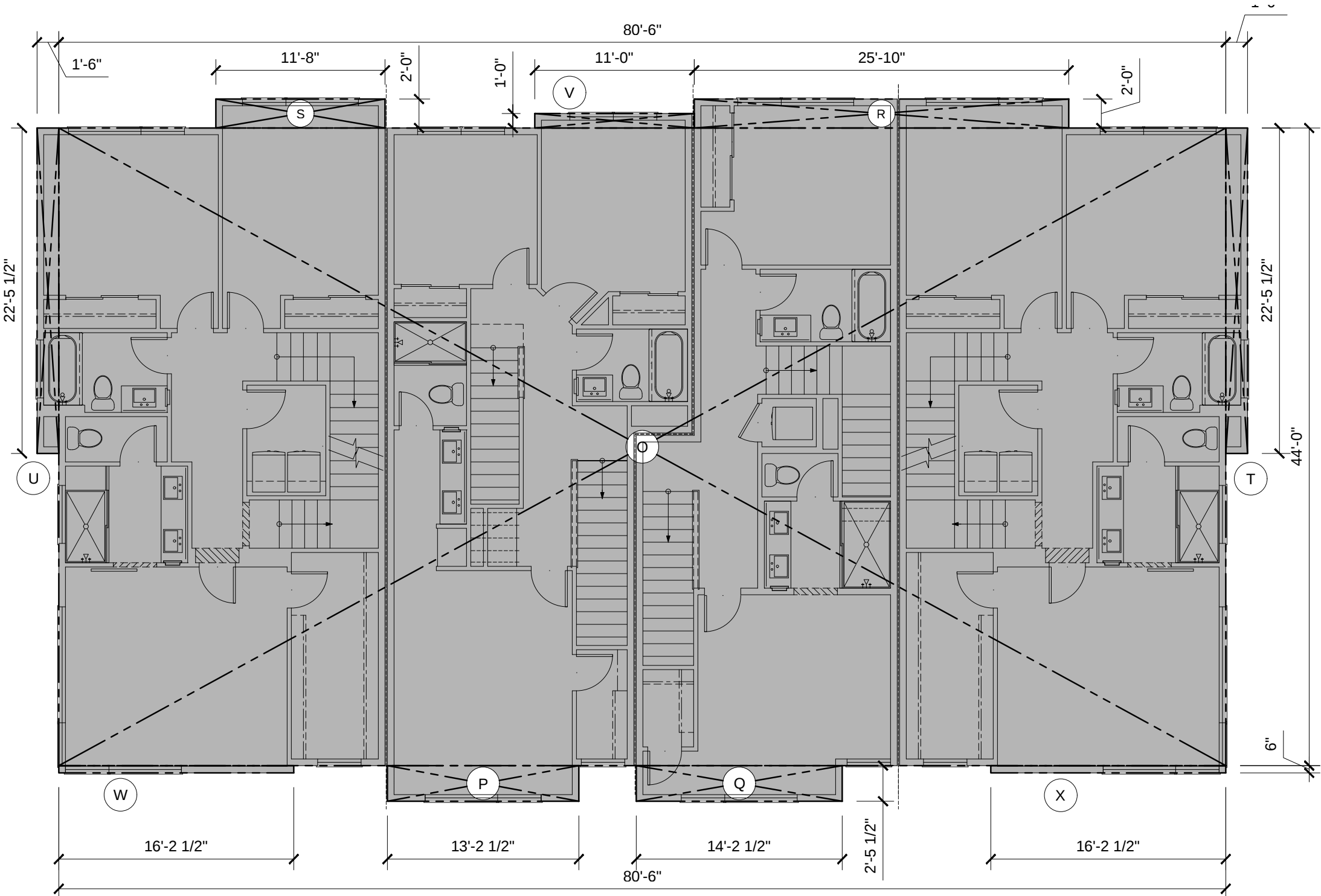
BUILDING 401 - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 401 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 401 - ROOF DECK PLAN
SCALE: 1/8" = 1'-0"



BUILDING 401 - THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

INCLUDED IN GROSS FLOOR AREA

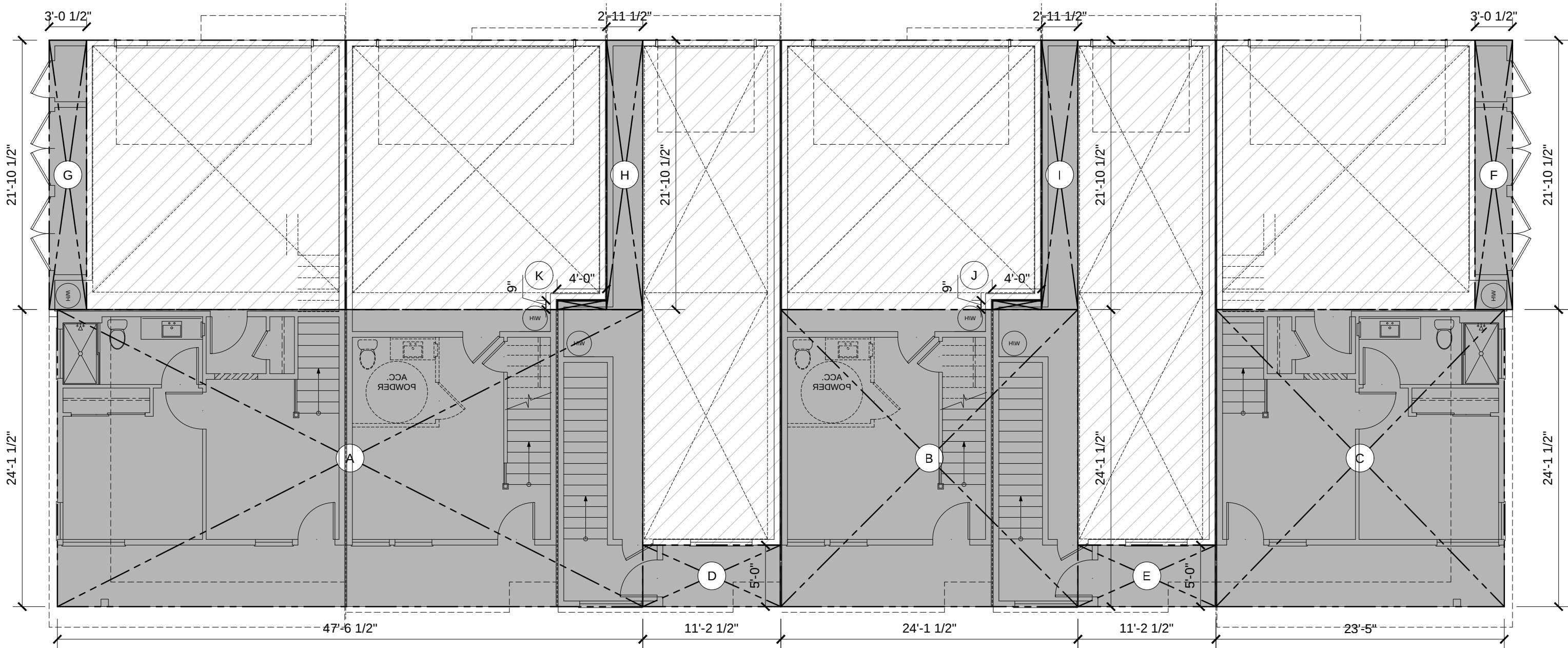
AREA EXCLUDED FROM GROSS FLOOR AREA PER APPLICABLE ZONING EXCLUSIONS

NOTE: AREAS EXCLUDED FROM GROSS AREA CALCULATIONS PURSUANT TO PALO ALTO MUNICIPAL CODE 18.13.010 FOOTNOTE (4):
COVERED PARKING IS NOT INCLUDED AS FLOOR AREA IN MULTIFAMILY DEVELOPMENT, UP TO A MAXIMUM OF 230 SQUARE FEET PER REQUIRED PARKING SPACE THAT IS COVERED.
COVERED PARKING SPACES IN EXCESS OF THE REQUIRED PARKING SPACES COUNT AS FLOOR AREA.

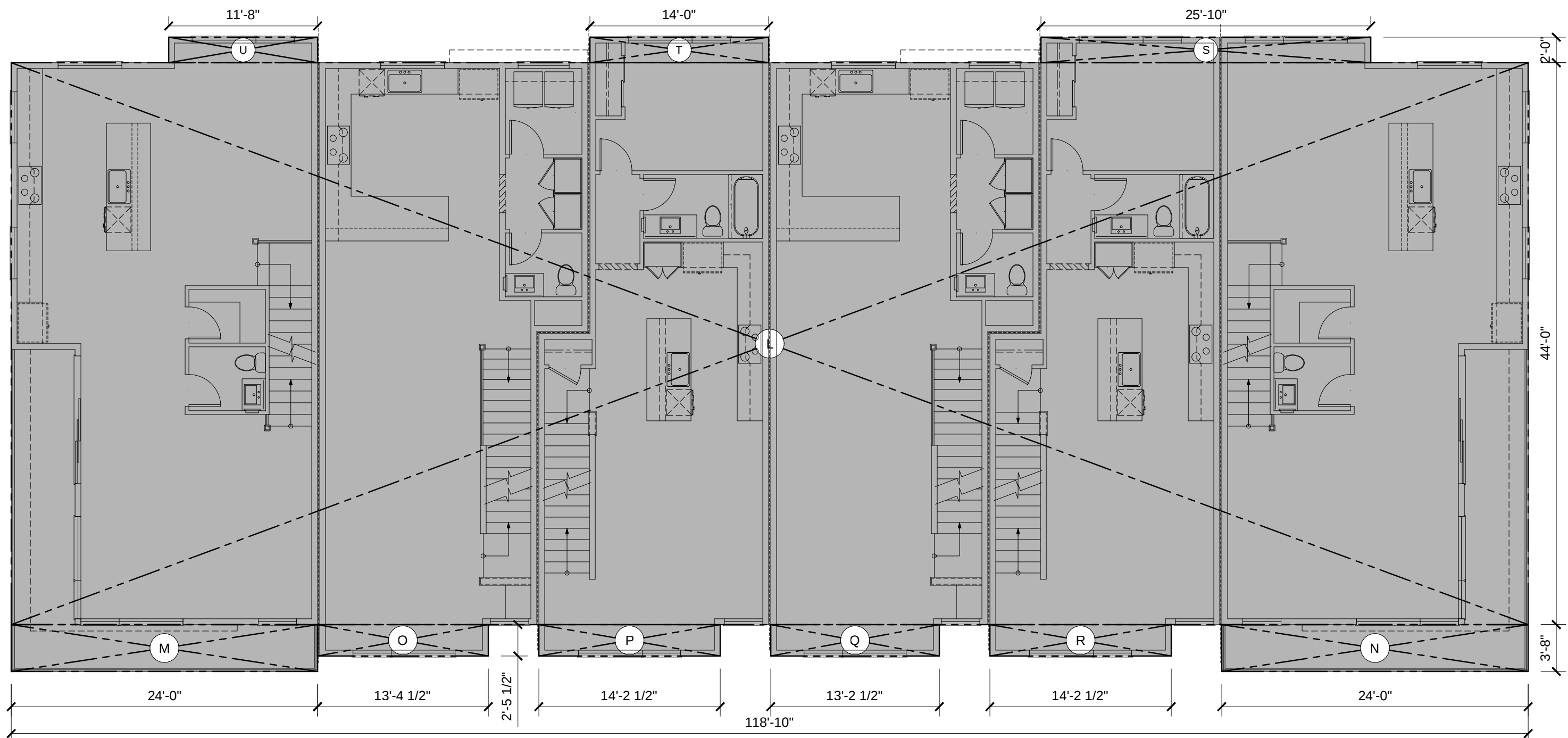
FAR CALCULATIONS - BUILDING 401		
FIRST FLOOR		
A	47'-6 1/2" x 24'-1 1/2"	
B	23'-6" x 24'-1 1/2"	
C	11'-2 1/2" x 5'-0"	
D	3'-0 1/2" x 21'-10 1/2"	
E	2'-11 1/2" x 21'-10 1/2"	
F	3'-0 1/2" x 21'-10 1/2"	
G	4'-0" x 0'-9"	
SECOND FLOOR		
H	83'-6" x 44'-0"	
I	24'-0" x 3'-8"	
J	24'-0" x 3'-8"	
K	25'-10" x 2'-0"	
L	14'-2 1/2" x 2'-5 1/2"	
M	13'-4 1/2" x 2'-5 1/2"	
N	11'-8" x 2'-0"	
THIRD FLOOR		
O	80'-6" x 44'-0"	
P	13'-2 1/2" x 2'-5 1/2"	
Q	14'-2 1/2" x 2'-5 1/2"	
R	25'-10" x 2'-0"	
S	11'-8" x 2'-0"	
T	22'-5 1/2" x 1'-6"	
U	22'-5 1/2" x 1'-6"	
V	11'-0" x 1'-0"	
W	16'-2 1/2" x 0'-6"	
X	16'-2 1/2" x 0'-6"	
ROOF DECK		
Y	9'-9 3/4" x 15'-9 1/2"	
Z	12'-1 1/2" x 4'-3"	
AA	9'-2 1/2" x 7'-8 1/2"	
BB	17'-8 1/4" x 15'-9 1/2"	
CC	7'-8 1/2" x 2'-1 1/2"	
DD	2'-0 1/2" x 5'-2"	

GROSS FLOOR AREA - BUILDING 401		
FIRST FLOOR PLAN	1969	SQ. FT.
SECOND FLOOR PLAN	3993	SQ. FT.
THIRD FLOOR PLAN	3779	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	584	SQ. FT.
TOTAL	10325	SQ. FT.

TOWNHOUSE BUILDING 401 - FAR DIAGRAM
GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP



BUILDING 601 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 601 - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



INCLUDED IN GROSS FLOOR AREA



AREA EXCLUDED FROM GROSS FLOOR AREA PER APPLICABLE ZONING EXCLUSIONS

NOTE: AREAS EXCLUDED FROM GROSS AREA CALCULATIONS PURSUANT TO PALO ALTO MUNICIPAL CODE 18.13.010 FOOTNOTE (4):
COVERED PARKING IS NOT INCLUDED AS FLOOR AREA IN MULTIFAMILY DEVELOPMENT, UP TO A MAXIMUM OF 230 SQUARE FEET PER REQUIRED PARKING SPACE THAT IS COVERED.
COVERED PARKING SPACES IN EXCESS OF THE REQUIRED PARKING SPACES COUNT AS FLOOR AREA.

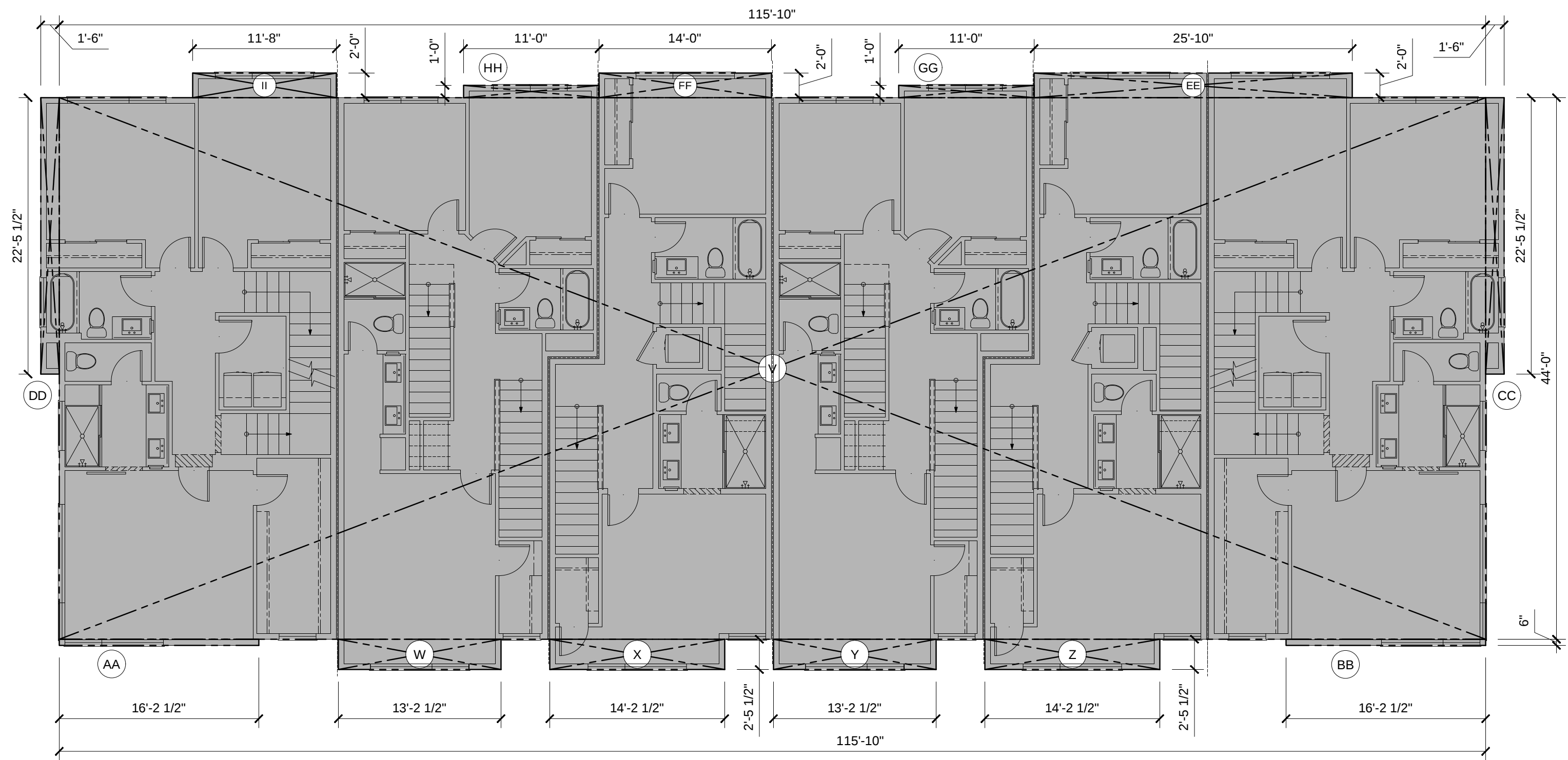
FAR CALCULATIONS - BUILDING 601	
FIRST FLOOR	
A	47'-6 1/2" x 24'-1 1/2"
B	24'-1 1/2" x 24'-1 1/2"
C	23'-5" x 24'-1 1/2"
D	11'-2 1/2" x 5'-0"
E	11'-2 1/2" x 5'-0"
F	3'-0 1/2" x 21'-10 1/2"
G	3'-0 1/2" x 21'-10 1/2"
H	2'-11 1/2" x 21'-10 1/2"
I	2'-11 1/2" x 21'-10 1/2"
J	4'-0" x 0'-9"
K	4'-0" x 0'-9"
SECOND FLOOR	
L	118'-10" x 44'-0"
M	24'-0" x 3'-8"
N	24'-0" x 3'-8"
O	13'-4 1/2" x 2'-5 1/2"
P	14'-2 1/2" x 2'-5 1/2"
Q	13'-2 1/2" x 2'-5 1/2"
R	14'-2 1/2" x 2'-5 1/2"
S	25'-10" x 2'-0"
T	14'-0" x 2'-0"
U	11'-8" x 2'-0"
THIRD FLOOR	
V	115'-10" x 44'-0"
W	13'-2 1/2" x 2'-5 1/2"
X	14'-2 1/2" x 2'-5 1/2"
Y	13'-2 1/2" x 2'-5 1/2"
Z	14'-2 1/2" x 2'-5 1/2"
AA	16'-2 1/2" x 0'-6"
BB	16'-2 1/2" x 0'-6"
CC	22'-5 1/2" x 1'-6"
DD	22'-5 1/2" x 1'-6"
EE	25'-10" x 2'-0"
FF	14'-0" x 2'-0"
GG	11'-0" x 1'-0"
HH	11'-0" x 1'-0"
II	11'-8" x 1'-0"
ROOF DECK	
JJ	9'-9 3/4" x 15'-9 1/2"
KK	12'-1 1/2" x 4'-3"
LL	9'-2 1/2" x 7'-8 1/2"
MM	5'-2" x 2'-0 1/2"
NN	7'-8 1/2" x 17'-11"
OO	12'-1 1/2" x 4'-3"
PP	9'-2 1/2" x 7'-8 1/2"
QQ	2'-0 1/2" x 5'-2"
RR	7'-8 1/2" x 2'-1 1/2"
SS	17'-8 1/4" x 15'-9 1/2"

GROSS FLOOR AREA - BUILDING 601		
FIRST FLOOR PLAN	2675	SQ. FT.
SECOND FLOOR PLAN	5643	SQ. FT.
THIRD FLOOR PLAN	5440	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	856	SQ. FT.
TOTAL	14614	SQ. FT.

TOWNHOUSE BUILDING 601 - FAR DIAGRAM

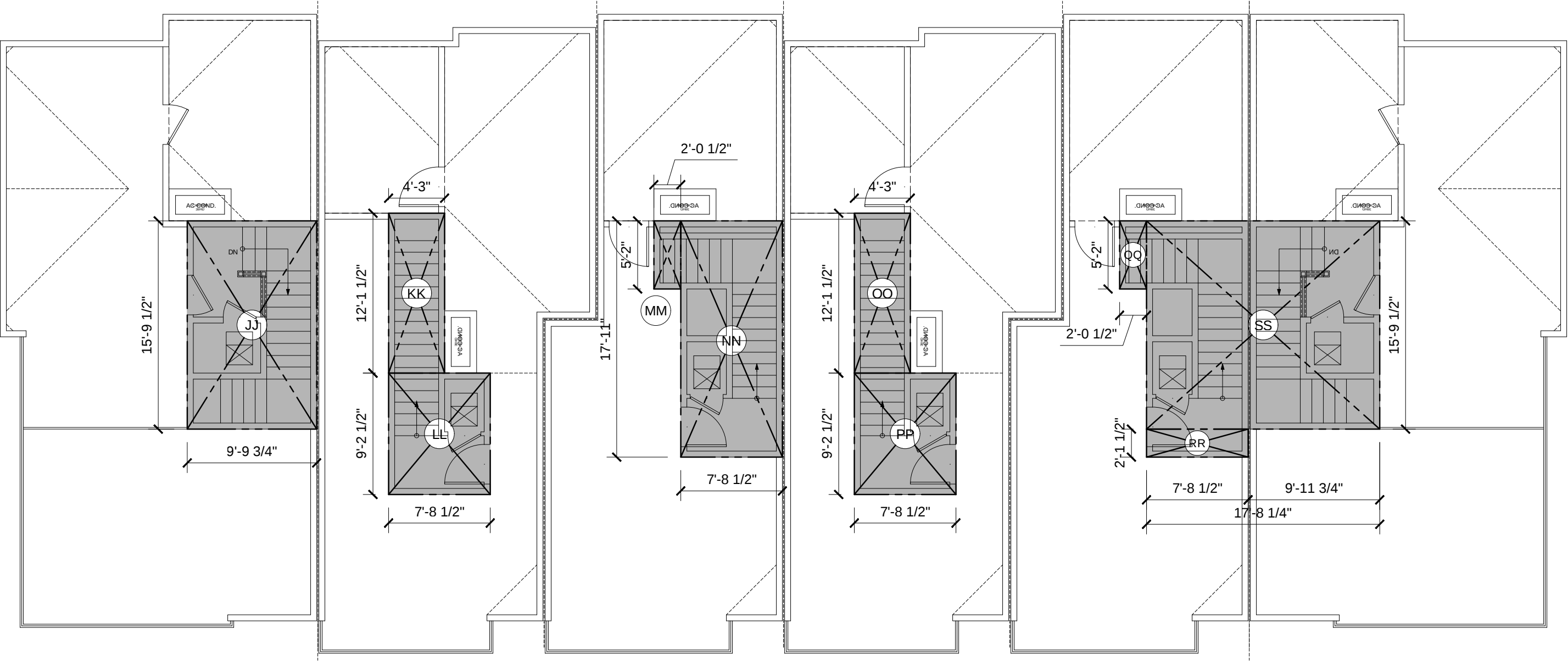
GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP





BUILDING 601 - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



BUILDING 601 - ROOF DECK PLAN

SCALE: 1/8" = 1'-0"



INCLUDED IN GROSS
FLOOR AREA



AREA EXCLUDED FROM GROSS FLOOR AREA PER
APPLICABLE ZONING EXCLUSIONS

NOTE: AREAS EXCLUDED FROM GROSS AREA CALCULATIONS PURSUANT TO PALO ALTO MUNICIPAL CODE 18.13.010 FOOTNOTE (4):

COVERED PARKING IS NOT INCLUDED AS FLOOR AREA IN MULTIFAMILY DEVELOPMENT, UP TO A MAXIMUM OF 230 SQUARE FEET PER REQUIRED PARKING SPACE THAT IS COVERED.
COVERED PARKING SPACES IN EXCESS OF THE REQUIRED PARKING SPACES COUNT AS FLOOR AREA.

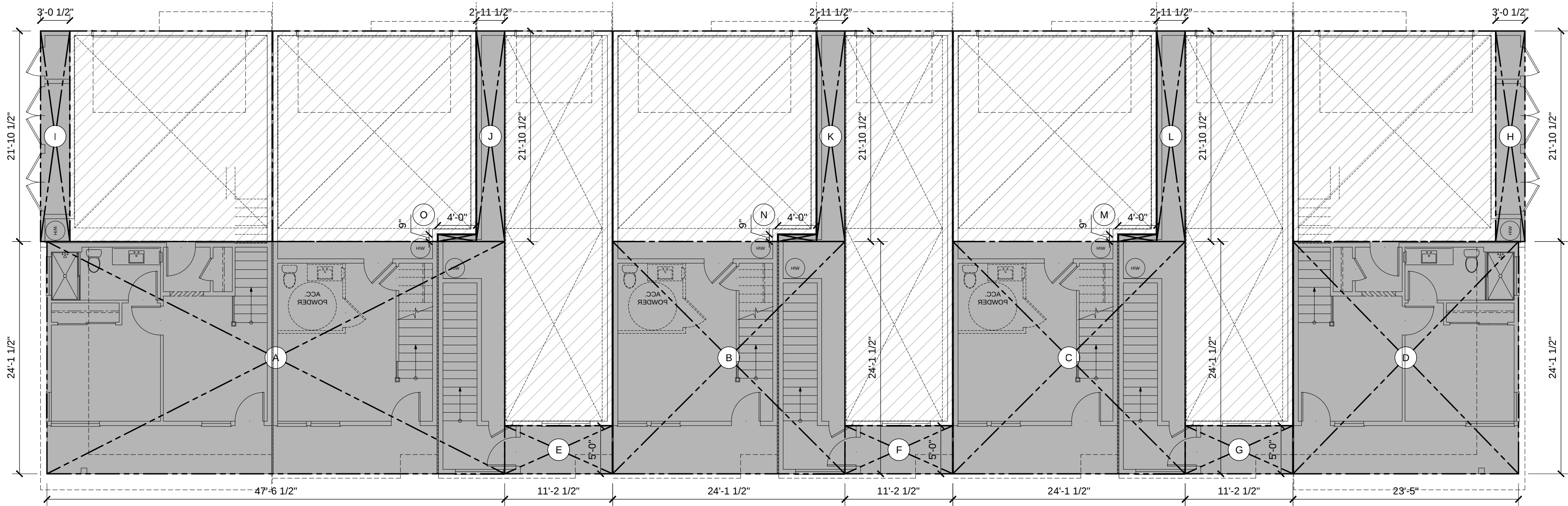
FAR CALCULATIONS - BUILDING 601	
FIRST FLOOR	
A	47'-6 1/2" x 24'-1 1/2"
B	24'-1 1/2" x 24'-1 1/2"
C	23'-5" x 24'-1 1/2"
D	11'-2 1/2" x 5'-0"
E	11'-2 1/2" x 5'-0"
F	3'-0 1/2" x 21'-10 1/2"
G	3'-0 1/2" x 21'-10 1/2"
H	2'-11 1/2" x 21'-10 1/2"
I	2'-11 1/2" x 21'-10 1/2"
J	4'-0" x 0'-9"
K	4'-0" x 0'-9"
SECOND FLOOR	
L	118'-10" x 44'-0"
M	24'-0" x 3'-8"
N	24'-0" x 3'-8"
O	13'-4 1/2" x 2'-5 1/2"
P	14'-2 1/2" x 2'-5 1/2"
Q	13'-2 1/2" x 2'-5 1/2"
R	14'-2 1/2" x 2'-5 1/2"
S	25'-10" x 2'-0"
T	14'-0" x 2'-0"
U	11'-8" x 2'-0"
THIRD FLOOR	
V	115'-10" x 44'-0"
W	13'-2 1/2" x 2'-5 1/2"
X	14'-2 1/2" x 2'-5 1/2"
Y	13'-2 1/2" x 2'-5 1/2"
Z	14'-2 1/2" x 2'-5 1/2"
AA	16'-2 1/2" x 0'-6"
BB	16'-2 1/2" x 0'-6"
CC	22'-5 1/2" x 1'-6"
DD	22'-5 1/2" x 1'-6"
EE	25'-10" x 2'-0"
FF	14'-0" x 2'-0"
GG	11'-0" x 1'-0"
HH	11'-0" x 1'-0"
II	11'-8" x 1'-0"
ROOF DECK	
JJ	9'-9 3/4" x 15'-9 1/2"
KK	12'-1 1/2" x 4'-3"
LL	9'-2 1/2" x 7'-8 1/2"
MM	5'-2" x 2'-0 1/2"
NN	7'-8 1/2" x 17'-11"
OO	12'-1 1/2" x 4'-3"
PP	9'-2 1/2" x 7'-8 1/2"
QQ	2'-0 1/2" x 5'-2"
RR	7'-8 1/2" x 2'-1 1/2"
SS	17'-8 1/4" x 15'-9 1/2"

GROSS FLOOR AREA - BUILDING 601		
FIRST FLOOR PLAN	2675	SQ. FT.
SECOND FLOOR PLAN	5643	SQ. FT.
THIRD FLOOR PLAN	5440	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	856	SQ. FT.
TOTAL	14614	SQ. FT.

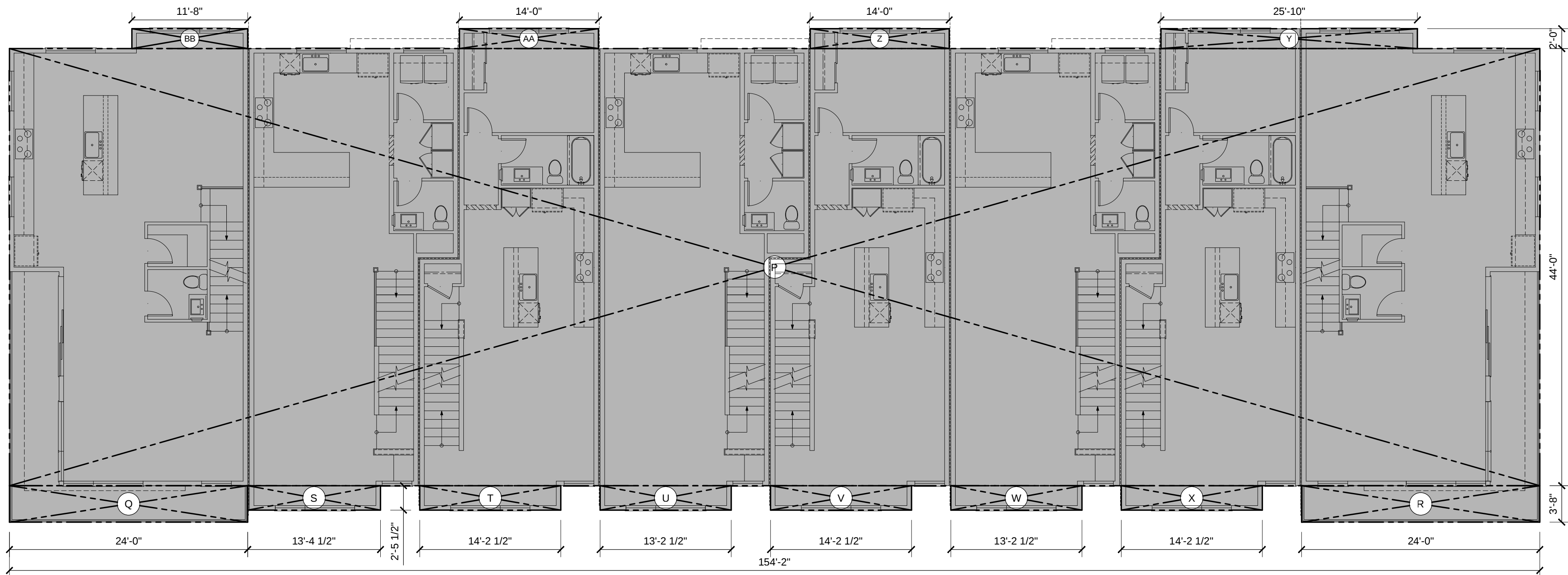
TOWNHOUSE BUILDING 601 - FAR DIAGRAM

GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP





BUILDING 801 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING 801 - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

INCLUDED IN GROSS FLOOR AREA

AREA EXCLUDED FROM GROSS FLOOR AREA PER APPLICABLE ZONING EXCLUSIONS

NOTE: AREAS EXCLUDED FROM GROSS AREA CALCULATIONS PURSUANT TO PALO ALTO MUNICIPAL CODE 18.13.010 FOOTNOTE (4):

COVERED PARKING IS NOT INCLUDED AS FLOOR AREA IN MULTIFAMILY DEVELOPMENT, UP TO A MAXIMUM OF 230 SQUARE FEET PER REQUIRED PARKING SPACE THAT IS COVERED. COVERED PARKING SPACES IN EXCESS OF THE REQUIRED PARKING SPACES COUNT AS FLOOR AREA.

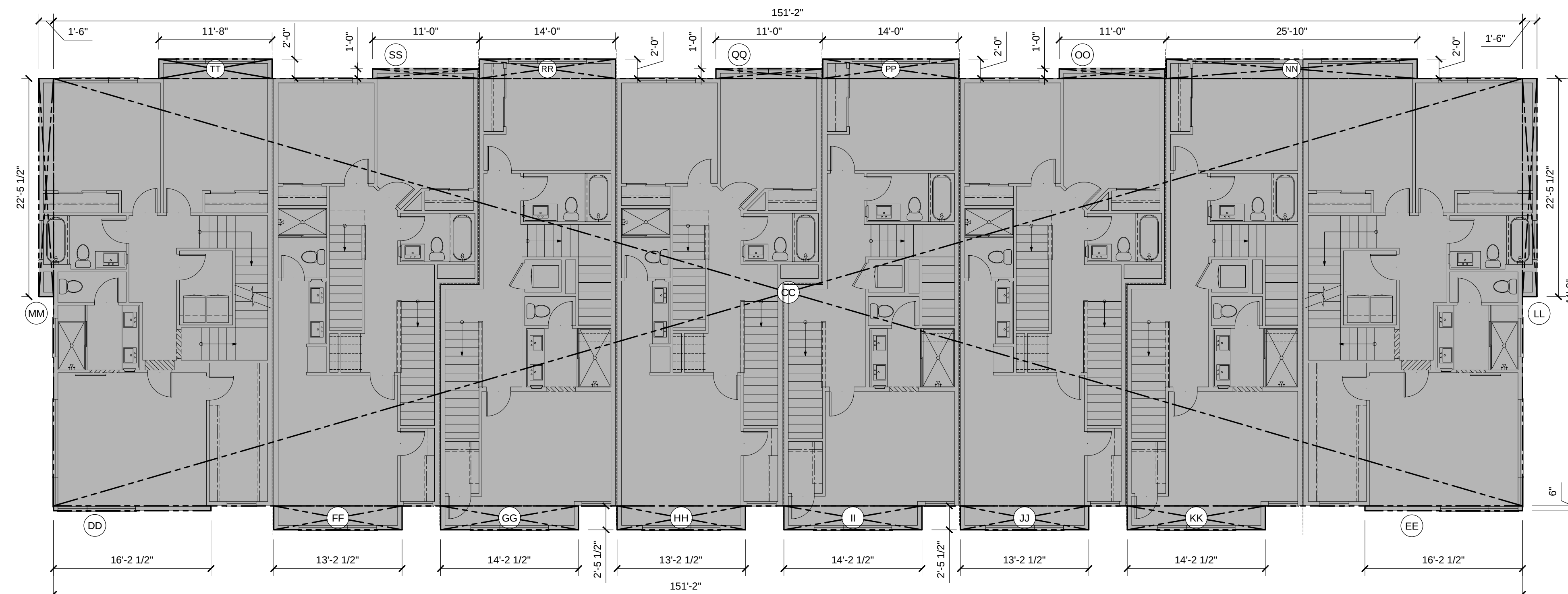
FAR CALCULATIONS - BUILDING 801		
FIRST FLOOR		
A	47'-6 1/2" x 24'-1 1/2"	
B	24'-1 1/2" x 24'-1 1/2"	
C	24'-1 1/2" x 24'-1 1/2"	
D	23'-5" x 24'-1 1/2"	
E	11'-2 1/2" x 5'-0"	
F	11'-2 1/2" x 5'-0"	
G	11'-2 1/2" x 5'-0"	
H	3'-0 1/2" x 21'-10 1/2"	
I	3'-0 1/2" x 21'-10 1/2"	
J	2'-11 1/2" x 21'-10 1/2"	
K	2'-11 1/2" x 21'-10 1/2"	
L	2'-11 1/2" x 21'-10 1/2"	
M	4'-0" x 0'-8"	
N	4'-0" x 0'-8"	
O	4'-0" x 0'-8"	
SECOND FLOOR		
P	154'-2" x 44'-0"	
Q	24'-0" x 3'-8"	
R	24'-0" x 3'-8"	
S	13'-4 1/2" x 2'-5 1/2"	
T	14'-2 1/2" x 2'-5 1/2"	
U	13'-2 1/2" x 2'-5 1/2"	
V	14'-2 1/2" x 2'-5 1/2"	
W	13'-2 1/2" x 2'-5 1/2"	
X	14'-2 1/2" x 2'-5 1/2"	
Y	25'-10" x 2'-0"	
Z	14'-0" x 2'-0"	
AA	14'-0" x 2'-0"	
BB	11'-8" x 2'-0"	
THIRD FLOOR		
CC	151'-2" x 44'-0"	
DD	16'-2 1/2" x 0'-6"	
EE	16'-2 1/2" x 0'-6"	
FF	13'-2 1/2" x 2'-5 1/2"	
GG	14'-2 1/2" x 2'-5 1/2"	
HH	13'-2 1/2" x 2'-5 1/2"	
II	14'-2 1/2" x 2'-5 1/2"	
JJ	13'-2 1/2" x 2'-5 1/2"	
KK	14'-2 1/2" x 2'-5 1/2"	
LL	22'-5 1/2" x 1'-6"	
MM	22'-5 1/2" x 1'-6"	
NN	25'-10" x 2'-0"	
OO	11'-0" x 1'-0"	
PP	14'-0" x 2'-0"	
QQ	11'-0" x 1'-0"	
RR	14'-0" x 2'-0"	
SS	11'-0" x 1'-0"	
TT	11'-8" x 2'-0"	
ROOF DECK		
UU	9'-9 3/4" x 15'-9 1/2"	
VV	12'-1 1/2" x 4'-3"	
WW	9'-2 1/2" x 7'-8 1/2"	
XX	5'-2" x 2'-0 1/2"	
YY	7'-8 1/2" x 17'-11"	
ZZ	12'-1 1/2" x 4'-3"	
A	9'-2 1/2" x 7'-8 1/2"	
B	5'-2" x 2'-0 1/2"	
C	7'-8 1/2" x 17'-11"	
D	12'-1 1/2" x 4'-3"	
E	9'-2 1/2" x 7'-8 1/2"	
F	2'-0 1/2" x 5'-2"	
G	7'-8 1/2" x 2'-1 1/2"	
H	17'-8 1/4" x 15'-9 1/2"	

GROSS FLOOR AREA - BUILDING 801		
FIRST FLOOR PLAN	3381	SQ. FT.
SECOND FLOOR PLAN	7293	SQ. FT.
THIRD FLOOR PLAN	7101	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	1128	SQ. FT.
TOTAL	18903	SQ. FT.

TOWNHOUSE BUILDING 801 - FAR DIAGRAM

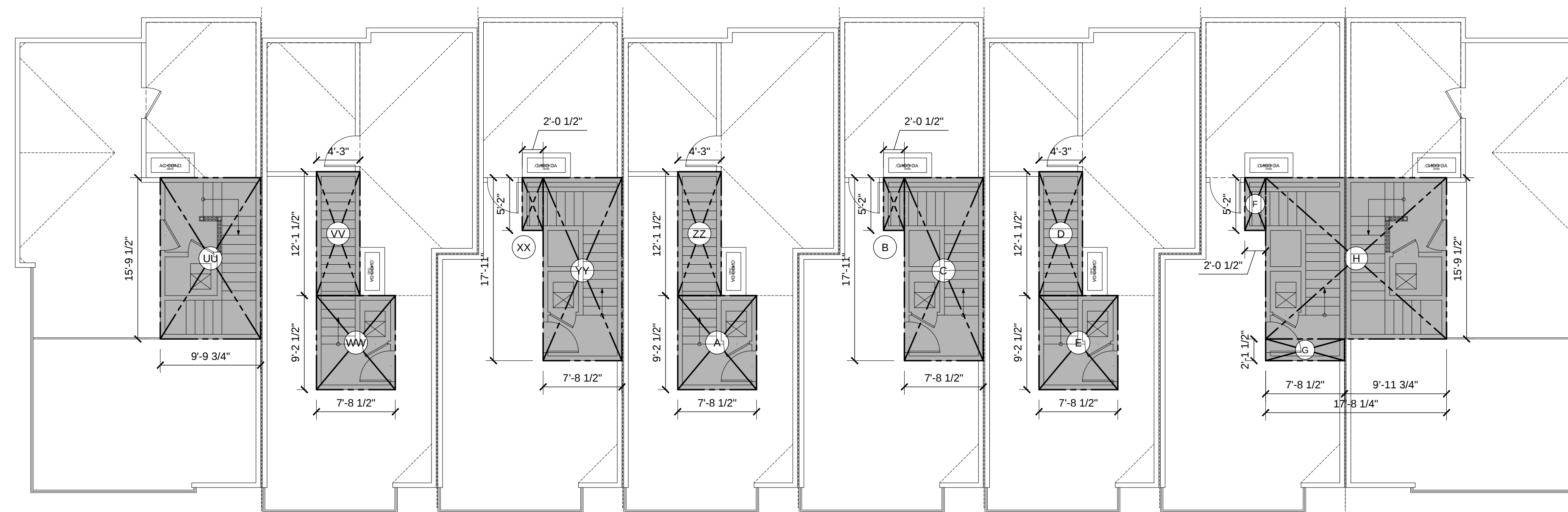
GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP





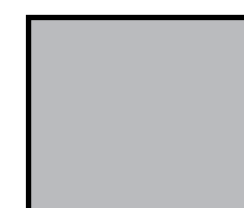
BUILDING 801 - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

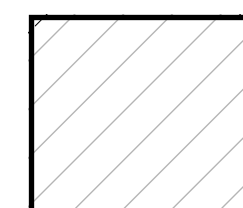


BUILDING 801 - ROOF DECK PLAN

SCALE: 1/8" = 1'-0"



INCLUDED IN GROSS
FLOOR AREA



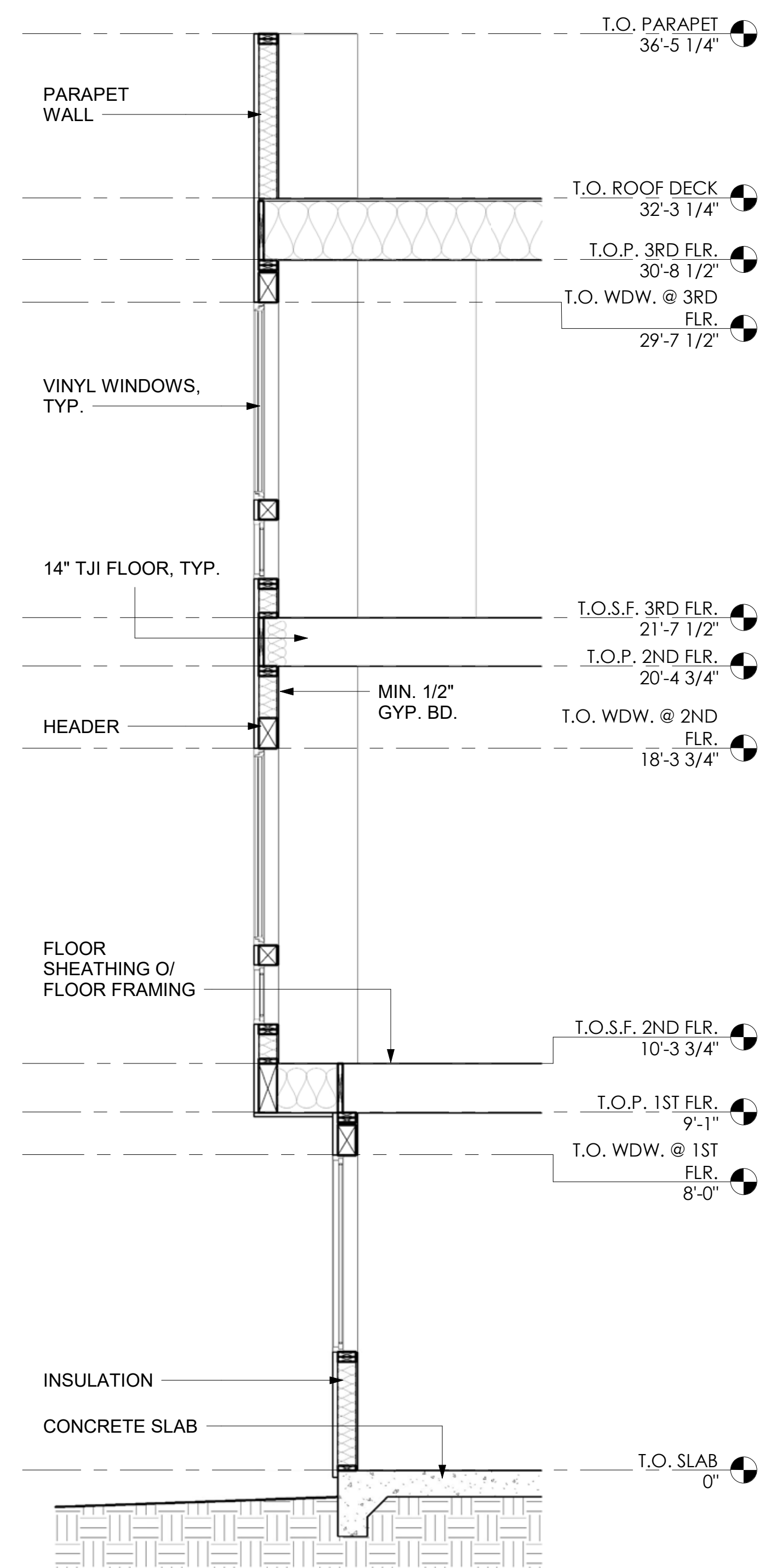
AREA EXCLUDED FROM GROSS FLOOR AREA PER
APPLICABLE ZONING EXCLUSIONS

NOTE: AREAS EXCLUDED FROM GROSS AREA CALCULATIONS PURSUANT TO PALO ALTO MUNICIPAL CODE 18.13.010 FOOTNOTE (4):

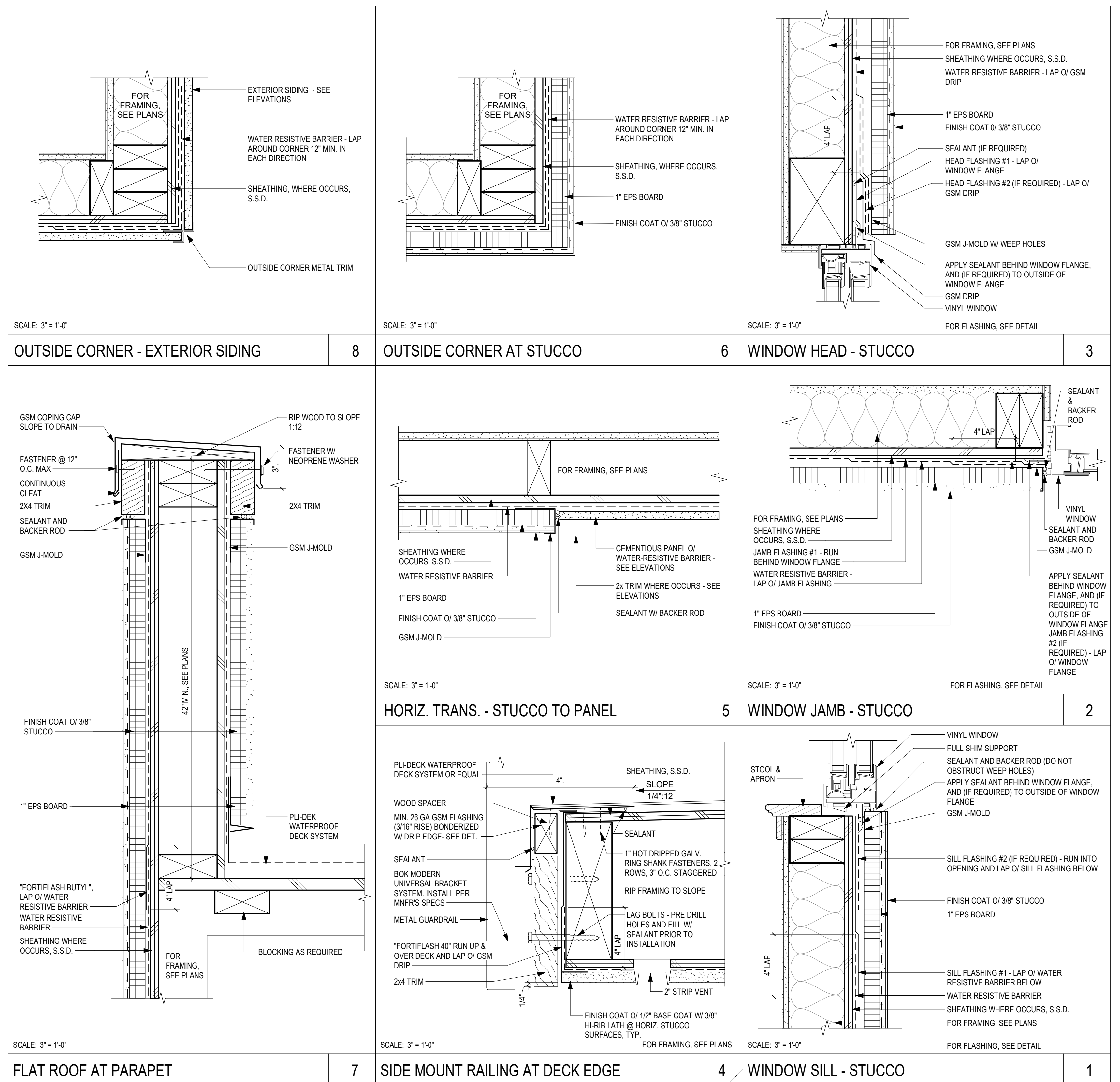
COVERED PARKING IS NOT INCLUDED AS FLOOR AREA IN MULTIFAMILY DEVELOPMENT, UP TO A MAXIMUM OF 230 SQUARE FEET PER REQUIRED PARKING SPACE THAT IS COVERED. COVERED PARKING SPACES IN EXCESS OF THE REQUIRED PARKING SPACES COUNT AS FLOOR AREA.

FAR CALCULATIONS - BUILDING 801	
FIRST FLOOR	
A	47'-6 1/2" x 24'-1 1/2"
B	24'-1 1/2" x 24'-1 1/2"
C	24'-1 1/2" x 24'-1 1/2"
D	23'-5" x 24'-1 1/2"
E	11'-2 1/2" x 5'-0"
F	11'-2 1/2" x 5'-0"
G	11'-2 1/2" x 5'-0"
H	3'-0 1/2" x 21'-10 1/2"
I	3'-0 1/2" x 21'-10 1/2"
J	2'-11 1/2" x 21'-10 1/2"
K	2'-11 1/2" x 21'-10 1/2"
L	2'-11 1/2" x 21'-10 1/2"
M	4'-0" x 0'-9"
N	4'-0" x 0'-9"
O	4'-0" x 0'-9"
SECOND FLOOR	
P	154'-2" x 44'-0"
Q	24'-0" x 3'-8"
R	24'-0" x 3'-8"
S	13'-4 1/2" x 2'-5 1/2"
T	14'-2 1/2" x 2'-5 1/2"
U	13'-2 1/2" x 2'-5 1/2"
V	14'-2 1/2" x 2'-5 1/2"
W	13'-2 1/2" x 2'-5 1/2"
X	14'-2 1/2" x 2'-5 1/2"
Y	25'-10" x 2'-0"
Z	14'-0" x 2'-0"
AA	14'-0" x 2'-0"
BB	11'-8" x 2'-0"
THIRD FLOOR	
CC	151'-2" x 44'-0"
DD	16'-2 1/2" x 0'-6"
EE	16'-2 1/2" x 0'-6"
FF	13'-2 1/2" x 2'-5 1/2"
GG	14'-2 1/2" x 2'-5 1/2"
HH	13'-2 1/2" x 2'-5 1/2"
II	14'-2 1/2" x 2'-5 1/2"
JJ	13'-2 1/2" x 2'-5 1/2"
KK	14'-2 1/2" x 2'-5 1/2"
LL	22'-5 1/2" x 1'-6"
MM	22'-5 1/2" x 1'-6"
NN	25'-10" x 2'-0"
OO	11'-0" x 1'-0"
PP	14'-0" x 2'-0"
QQ	11'-0" x 1'-0"
RR	14'-0" x 2'-0"
SS	11'-0" x 1'-0"
TT	11'-8" x 2'-0"
ROOF DECK	
UU	9'-9 3/4" x 15'-9 1/2"
VV	12'-1 1/2" x 4'-3"
WW	9'-2 1/2" x 7'-8 1/2"
XX	5'-2" x 2'-0 1/2"
YY	7'-8 1/2" x 17'-11"
ZZ	12'-1 1/2" x 4'-3"
A	9'-2 1/2" x 7'-8 1/2"
B	5'-2" x 2'-0 1/2"
C	7'-8 1/2" x 17'-11"
D	12'-1 1/2" x 4'-3"
E	9'-2 1/2" x 7'-8 1/2"
F	2'-0 1/2" x 5'-2"
G	7'-8 1/2" x 2'-1 1/2"
H	17'-8 1/4" x 15'-9 1/2"

GROSS FLOOR AREA - BUILDING 801		
FIRST FLOOR PLAN	3381	SQ. FT.
SECOND FLOOR PLAN	7293	SQ. FT.
THIRD FLOOR PLAN	7101	SQ. FT.
ROOF DECK STAIRS/VESTIBULE	1128	SQ. FT.
TOTAL	18903	SQ. FT.



A TYPICAL WALL EXTERIOR SECTION
3/8" = 1'-0"



				Plan Sheet, Spec or Attachment	Y	N	Reference	Compliance Path Verification							
								Plan Check	Rough GB Inspection	Final Inspection				IVR # 153	
								CORR	INITIAL	CORR	INITIAL	CORR	INITIAL	Part 1	Part 2
4.1 Planning and Design															
Mandatory	Storm water drainage and retention during construction (less than one acre)		4.106.2	X											
Mandatory	Grading and paving		4.106.3	X											
Mandatory	EV Charging for additions and alterations of parking facilities serving existing multifamily buildings [AA] [MF]		4.106.4.3	X	NA										
Mandatory	Full electrification: Full electrification is required for outdoor grills, stoves, and barbecues.		PAMC 16.14.090/ 4.106.5	X											
Mandatory	Bicycle Parking (locally amended) When an addition or change of use results in increased parking [MF]		PAMC 16.14.170/ A4.106.9	X											
Mandatory	PAMC16.14.090/4.106.5 - Full electrification: Full electrification is required for outdoor grills, stoves, and barbecues.		PAMC16.14.090/4.106.5	X											
4.2 PAMC 16.17 Energy Reach Code															
Mandatory	Effective Date 10/4/2024: Electric-Readiness		PAMC 16.17.120 Section 150.0 / 2022 Title 24, Part 6	X											
	The electric readiness requirements of Sections 150.0 (n) HPWH-ready, (t) HP Space Heater-ready, (u) Electric Cooktop-ready and (v) Electric clothes dryer-ready apply to residential remodels or additions when the applicable system is included in the remodel.														
4.3 Water Efficiency and Conservation															
Mandatory	Indoor Water Use: Water closets (1.28 gpf)		4.303.1.1	X											
Mandatory	Indoor Water Use: Urinals (Wall Mounted 0.125 gpf, all others 0.5 gpf)		4.303.1.2	X											
Mandatory	Indoor Water Use: Single showerhead (1.8 gpm at 80 psi)		4.303.1.3.1	X											
Mandatory	Indoor Water Use: Multiple showerheads serving one shower (1.8 gpm at 80 psi)		4.303.1.3.2	X											
Mandatory	Indoor Water Use: Residential lavatory faucets (1.2 gpm at 60 psi at maximum and no less than 0.8 gpm at 20 psi)		4.303.1.4.1	X											
Mandatory	Indoor Water Use: Multi-Family Lavatory faucets in common and public use areas (0.5 gpm at 60 psi) [MF]		4.303.1.4.2	X											
Mandatory	Indoor Water Use: Metering faucets (0.2 gallons per cycle)		4.303.1.4.3	X											
Mandatory	Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi as default but may temporarily reach a max of 2.2 gpm at 60psi)		4.303.1.4.4	X											
Mandatory	Indoor Water Use: Standards for plumbing fixtures and fittings (Meet 2022 Plumbing Code)		4.303.3	X											
Mandatory	Outdoor potable water use in landscape area (MWEL0)		Title 23, Chapter 2.7/ 4.304.1	X											
Mandatory	Swimming pool and spa covers (Provide vapor retardant cover)		PAMC 16.14.100/ Section 4.306	X											
4.4 Material Conservation and Resource Efficiency															
Mandatory	Rodent proofing, fill annular spaces around pipes, cables, conduits or other openings to protect against rodents		4.406.1	X											
Mandatory	Enhanced construction waste reduction (80% Diversion w/ job valuation >\$25,000, less than \$25,000 must meet state standards of 65%)		PAMC 16.14.250/ A4.408.1	X											
Mandatory	Construction waste management plan in Green Halo		PAMC 16.14.250/ 4.408.2	X											
Mandatory	Waste management company		4.408.3	X											
Mandatory	Documentation		4.408.5	X											
Mandatory	Operation and maintenance manual provided to the building owner		4.410.1	X											
Mandatory	Recycling by occupants (≥ 5 dwelling units) [MF only]		4.410.2	X											
4.5 Environmental Quality															
Mandatory	Fireplaces, shall be direct-vent sealed combustion type		4.503.1	X	NA										
Mandatory	Covering of duct openings and protection of mechanical equipment during construction		4.504.1	X											
Mandatory	Adhesives, sealants and caulks - Table 4.504.1 and 4.504.2 for VOC limits		4.504.2.1	X											
Mandatory	Paints and coatings - Table 4.504.3 for VOC limits		4.504.2.2	X											
Mandatory	Aerosol paints and coatings		4.504.2.3	X											
Mandatory	Verification - documentation to verify complaint VOC limit on finish materials		4.504.2.4	X											
Mandatory	Carpet systems compliant with VOC limits		4.504.3	X											
Mandatory	Carpet systems: Carpet cushion		4.504.3.1	X											
Mandatory	Carpet systems: Carpet adhesive - Table 4.504.1 for VOC limits		4.504.3.2	X											
Mandatory	Resilient flooring systems for 80% of the floor area shall comply with VOC criteria		4.504.4	X											
Mandatory	Composite wood products		4.504.5	X											
Mandatory	Composite wood products: documentation		4.504.5.1	X											
Mandatory	Concrete slab foundations - vapor retarder required		4.505.2	X											
Mandatory	Capillary break for slab-on-grade foundations		4.505.2.1	X											
Mandatory	Moisture content of building materials ≤ 19% for wall and floor framing		4.505.3	X											
Mandatory	Bathroom exhaust fans shall be provided with the following:		4.506.1	X											
	1. ENERGY STAR fans ducted to outside of building.			X											
	2. Humidity controlled OR functioning as a component of a whole-house ventilation system			X											
	3. Humidity controls with manual or automatic means of adjustment for relative humidity range of ≤ 50% to 80% max			X											
Mandatory	Heating and air conditioning system design		4.507.2	X											
Mandatory	Indoor Air Quality Management Plan [MF only]		PAMC 16.14.390	X											

Legend:

Y - Yes; the measure is in the scope of work
N - No; the measure is not in the scope of work
PAMC - Palo Alto Municipal Code; locally amended
[N] - New Construction
[MF] - Multi-family dwellings
[AA] - Additions and alterations
[HR] - High-rise building

The [Green Building Survey](#) is a required project submittal. The survey can be found at the following [link](#). The online survey shall be completed and a Green Building Survey Report will be sent in an email. Include a copy of the survey report on a separate page in this plan set. Please indicate the reference page here _____.

Special Inspector Acknowledgement

The project will be verified by a
RESIDENTIAL GREEN BUILDING SPECIAL INSPECTOR

I have reviewed the project plans and specifications, and they are in conformance with the CALGreen mandatory and elective measures claimed. I have reviewed and understand the after-construction requirements below.

Signature (Green Building Special Inspector)

Print Name

Phone or Email

Date

SECTION TO BE COMPLETED
AFTER CONSTRUCTION

I certify that:

CALGreen inspections were performed throughout construction.

All mandatory CALGreen measures and required electives noted in the checklist have been implemented, unless a new checklist is provided along with support for alternative electives claimed.

The home has met the CALGreen measures as claimed on this sheet. Those required for landscaping may be excluded from this confirmation if verified within 6 months of final inspection.

I have thoroughly reviewed these plans and ensured all Green Building Code requirements are addressed during construction implementation and prior to signing the plans (Code of Conduct Section B1).

I have completed field inspections diligently and accurately to ensure compliance with applicable Green Building Code requirements throughout the project (Code of Conduct Section B2).

I have maintained open and effective communication with City staff, clients, and stakeholders (Code of Conduct Section D).

I have maintained timely reports and furnished detailed records to the City of Palo alto Building Inspector during the Green Building Final Inspection (Code of Conduct Section C1).

Signature (Green Building Special Inspector)

Sign only after project is complete

Print Name

CITY STAMPS ONLY



Title 24, Part 11, California Green Building Code (CALGreen)
City of Palo Alto Green Building Program and Resources
City of Palo Alto Green Building Ordinance 5570 (PAMC 16.14 Amendments)

<http://www.bac.ca.gov/home/CALGreen.aspx>
<https://www.cityofpaloalto.org/Departments/Planning-Development-Services/Development-Services/Green-Building/Compliance>
https://codeoflibrary.amegail.com/codes/paloalto/latest/paloalto_ca0-C-0-72369

2022 RESIDENTIAL GREEN BUILDING APPLICATION CALGREEN MANDATORY

Version 10/24

Application: This plan sheet is for alterations and additions of multi-family or single-family construction projects where the addition and/or alteration increases the building's conditioned area, volume, or size.

Project Address:

2022 RESIDENTIAL CHECKLIST- CALGREEN MANDATORY

GB-1

MANDATORY





CONCEPTUAL RENDERING
GENG ROAD TOWNHOMES | STRADA INVESTMENT GROUP

DAHLIN GROUP ARCHITECTURE | PLANNING

WWW.DAHLINGROUP.COM

1214.009 | 17 DECEMBER 2024



A.41

DAHLIN GROUP
5865 Owens Drive
Pleasanton, California 94588
925-251-7200

