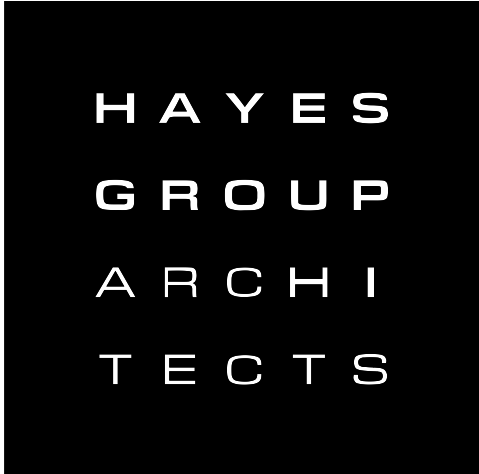


411 KIPLING STREET
PALO ALTO, CALIFORNIA

PLANNING SUBMISSION REV. #1
04.17.2025



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ISSUANCE:
HRB PLANNING SUBMISSION 01.26.2024
PLANNING SUBMISSION 08.15.2024

SHEET REVISIONS:		
NO.	DESCRIPTION	DATE
1	PLANNING REV. #1	04.17.2025

DRAWING CONTENT
COVER SHEET; DRAWING
INDEX, VICINITY MAP,
PROJECT INFORMATION
& PROJECT TEAM

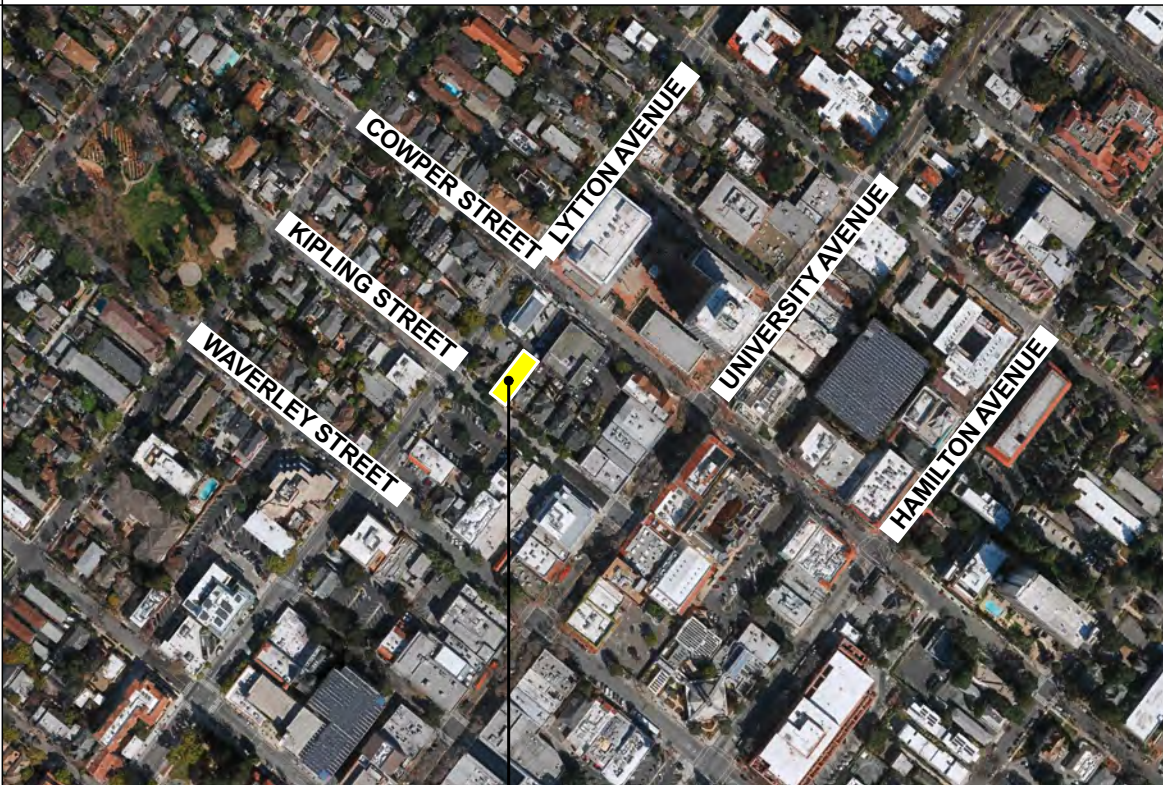


JOB NUMBER:
2314.03
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A0.01

PROJECT TEAM					PROJECT INFORMATION					PROJECT DESCRIPTION					VICINITY MAP					DRAWING INDEX				
OWNER:		MR. JOHN SHENK THOITS BROS., INC. 629 EMERSON STREET PALO ALTO, CA, 94301 650.323.4868 PH			APN:		120-15-023			PROJECT DESCRIPTION		1 ACCESSIBILITY UPGRADES AND REHABILITATION OF EXISTING CATEGORY 2 HISTORIC STRUCTURE. ACCESSIBLE UPGRADES INCLUDE: 1. ACCESSIBLE PATH FROM PUBLIC SIDEWALK TO NEW LIFT FOR ACCESS TO THE MAIN FLOOR. COMPLIES WITH CALIFORNIA HISTORIC BUILDING CODE §8-603 ALTERNATIVES, §8-603.2 ENTRY. 2. ACCESSIBLE HANDRAILS AND STAIRS AT FRONT PORCH. 3. ACCESSIBLE HANDRAILS AND STAIRS AT NEW REAR DECK. THE WORK INCLUDES INSPECTION OF WINDOWS, DOORS, SIDING, ARCHITECTURAL DETAILS SUCH AS BELT COURSES, DECORATIVE COLUMNS, CASINGS, PORCHES, EXTERIOR STAIRS, SHINGLES AND SIDING, IDENTIFICATION OF ROTTED OR DAMAGED FEATURES AND REPLACEMENT IN KIND TO MATCH THE EXISTING CONSTRUCTION. THE BUILDING WILL BE REPAINTED. ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS (36 CFR §67.7). PURSUANT TO PAMC 18.18.070(a)(3) REGARDING FLOOR AREA BONUSES FOR HISTORIC REHABILITATION, THIS IS ALSO AN APPLICATION FOR BONUS FLOOR AREA. NO EXPANSION OF FLOOR AREA IS PROPOSED.								GENERAL A0.01 COVER SHEET A0.02 GENERAL PROJECT NOTES, SYMBOLS AND LIST OF ABBREVIATIONS A0.03 PROJECT REQUIREMENTS A0.04 NOT USED A0.05 GREEN BUILDING A0.06 PALO ALTO POLLUTION PREVENTION A0.07 PALO ALTO T-1 TREE PROTECTION A0.08 EXISTING SITE PHOTOS ARCHITECTURAL A1.01 SITE & FIRST FLOOR PLAN - EXISTING & DEMOLITION A1.02 ROOF PLAN - EXISTING A2.01 SITE & FIRST FLOOR PLAN - PROPOSED A3.00 ARCHITECTURAL MATERIAL BOARD & PRODUCT DATA SHEET A3.01 EXTERIOR ELEVATIONS - NORTH & SOUTH - EXISTING & PROPOSED A3.02 EXTERIOR ELEVATIONS - WEST - EXISTING & PROPOSED A3.03 EXTERIOR ELEVATIONS - EAST - EXISTING & PROPOSED A3.04 BUILDING SECTIONS A4.01 BUILDING REFERENCE PHOTOS A4.02 PROPOSED PERSPECTIVES 1				
ARCHITECT:		HAYES GROUP ARCHITECTS, INC. 2657 SPRING STREET REDWOOD CITY, CA 94063 650.365.0600 PH 650.365.0670 FAX			HISTORIC:		CATEGORY 2			GREEN BUILDING:					PROJECT VALUATION <\$200,000 - CALGREEN MANDATORY EXEMPT. ENERGY STAR PORTFOLIO MANAGER PROFILE CREATED. SEE SHEET A0.05 FOR MORE INFORMATION.									
					ZONING:		CD-C (P)			FIRE SPRINKLERS:		NON SPRINKLERED												
					FLOOD ZONE:		X			TRASH/RECYCLING:		EXISTING (NO CHANGE)												
					OCCUPANCY:		B			PARKING:		NONE PROVIDED OR REQUIRED.												
					CONSTRUCTION TYPE:		V-B																	
					BUILDING CODES:		2022 CALIFORNIA HISTORIC BUILDING CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING CODE																	
GENERAL ZONING COMPLIANCE																								
DEVELOPMENT STANDARDS SUMMARY																								
	EXISTING	PROPOSED	ALLOWED	COMPLIES																				
SITE AREA:	4,500 SF	-	-	-																				
FLOOR AREA (F.A.R.):	1,533 SF (0.34:1)	1,533 SF (0.34:1)	4,500 SF (1.0:1)	YES																				
SITE COVERAGE:	1,459 SF (32%)	1,692 SF (38%)	4,500 SF (100%)	YES																				
	EXISTING	PROPOSED	REQUIRED	COMPLIES																				
FRONT YARD:	21'-6"	21'-6"	NONE	YES																				
REAR YARD:	35'-5 1/2"	27'-4 1/2"	NONE	YES																				
SIDE YARD:	4'-2"	4'-2"	NONE	YES																				

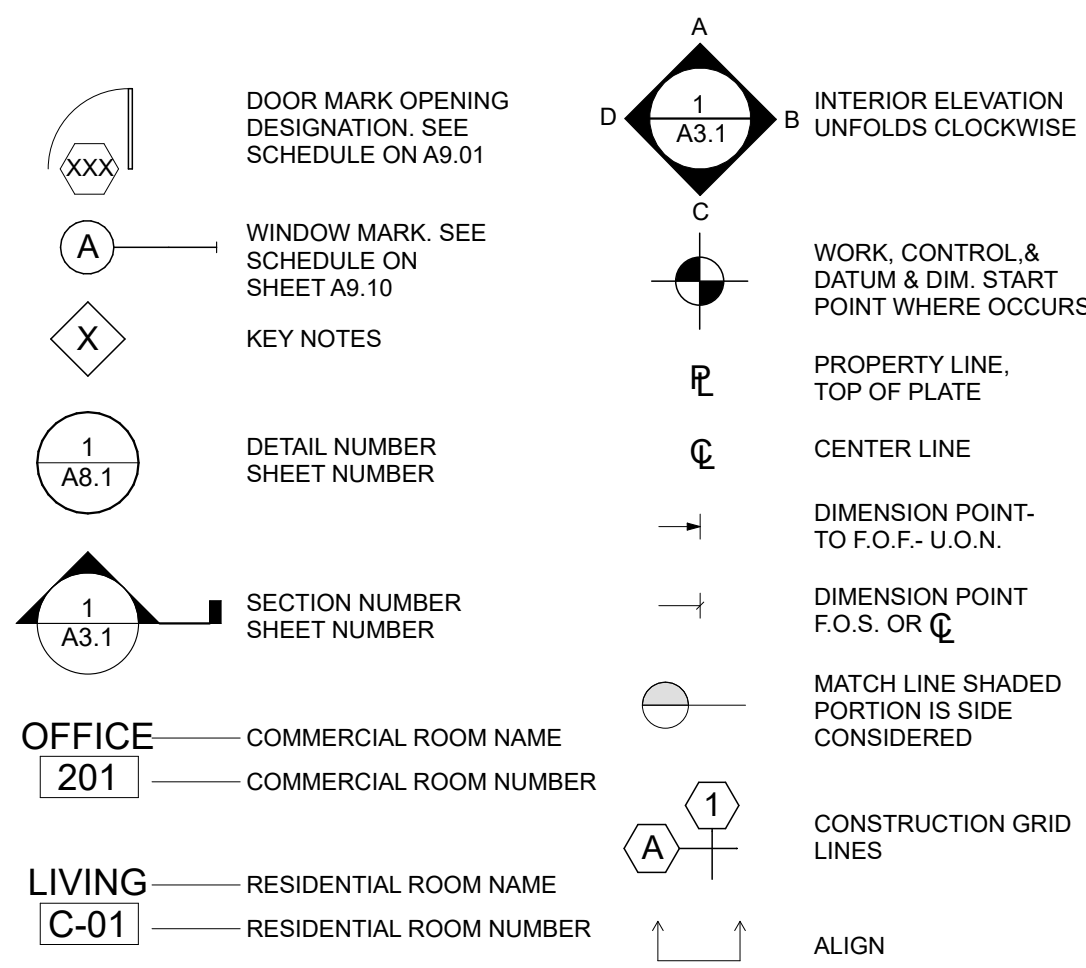
Date: 4/18/25
Drawn by: DH

CAL GREEN NOTES

1. **ADHESIVES, SEALANTS, CAULKS**. ADHESIVES AND SEALANTS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS.
 - a. **ADHESIVES**. ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULK SHALL COMPLY WITH LOCAL OR REGIONAL AIR QUALITY POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR **SCAQMD RULE 118 VOC LIMITS**, AS SHOWN IN **TABLES 5.504.4.1 AND 5.504.4.2**.
 - b. **AEROSOL ADHESIVES** AND SMALLER UNIT SIZES OF ADHESIVES AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF **CALIFORNIA CODE OF REGULATIONS, TITLE 17**, COMMENCING WITH **SECTION 94507**.
2. **PAINTS AND COATINGS**. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH **TABLE 5.504.4.3**.
3. **AEROSOL PAINTS AND COATINGS**. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR **ROC** IN **SECTION 94522.2(a)(3)** AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES (**CCR, TITLE 17, SECTION 94520 ET SEQ.**).
4. **VERIFICATION**. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.
5. **COMPOSITE WOOD PRODUCTS**. HARDWOOD PRODUCTS, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN **TABLE 5.504.4.5** SHALL COMPLY WITH **SECTION 5.504.4.7**.
6. **RECYCLED CONTENT**. USE MATERIALS W/RECYCLED CONTENT VALUE (15% MIN. BASED ON MATERIAL COST) PER **SECTION 5.405.4**.



SYMBOL LEGEND

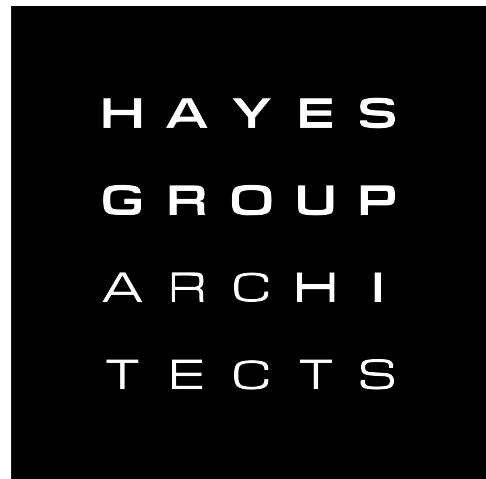


GENERAL NOTES

1. EXISTING CONSTRUCTION DATA WAS OBTAINED IN THE FIELD BY VISUAL MEANS ONLY. DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB SITE BY EACH CONTRACTOR. ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK BEGINS OR SUPPLIES ARE ORDERED.
2. SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN RELATING TO EXISTING CONSTRUCTION ARE APPROXIMATE. FIELD VERIFY ACTUAL DIMENSIONS.
3. THE CONTRACTOR SHALL VERIFY ELECTRICAL, MECHANICAL PLUMBING AND FIRE ALARM REQUIREMENTS BEFORE CONSTRUCTION BEGINS. ALL DISCREPANCIES BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS SHALL BE CLARIFIED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, OR DETAILED ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
5. WORK SHALL BE PERFORMED IN CONFORMANCE WITH LOCAL, COUNTY, STATE, AND FEDERAL CODES, LAWS AND REGULATIONS APPLICABLE TO THIS WORK.
6. DEFERRED SUBMITTALS WHERE REQUIRED, SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND OR ENGINEER FOR REVIEW AND COORDINATION. SEE COVER SHEET FOR REQUIRED DEFERRED SUBMITTALS. FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.
7. ANY ITEM OR WORK NOT NOTED AS "EXISTING" (E) SHALL BE NEW.
8. THE CONTRACTOR SHALL PROTECT THE AREA AND ALL NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND ALL DAMAGE SHALL BE TEMPORARY BARRICADES, CLOSURE, WAIVER, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNERS DURING THE PERIOD OF CONSTRUCTION. SECURE THE HOME WHEN THE SITE IS UNATTENDED. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, OR EQUIPMENT SHALL BE REPAIRS OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE GENERAL CONTRACTOR.
9. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT WRITTEN PERMISSION OF THE BUILDING DEPARTMENT. STAMPING OF THESE PLANS AND SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR TO APPROVE THE VIOLATION OF ANY LAW OR ORDINANCE.
10. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY OF THE OIL OR GREASE FROM ACCUMULATING IN ANY WAY FINISHED AREAS IN OR OUTSIDE JOB SITE. THE CONTRACTOR SHALL LEAVE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOVE IN.
11. THE CONTRACTOR OR SUBCONTRACTORS SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE WORK. THE CONTRACTORS SHALL REQUEST ALL INSPECTIONS REQUIRED BY LOCAL GOVERNMENT AGENCIES AND COORDINATE THEIR WORK ACCORDINGLY.
12. THE CONTRACTOR SHALL COORDINATE ACCESS DOOR LOCATIONS (FOR CONCEALED ITEMS) WITH APPROPRIATE TRADES AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL PROVIDE BLOCKING, BACKING AND MISCELLANEOUS FRAMING FOR ATTACHMENT OF EQUIPMENT ACCESSORIES AND OTHER ELEMENTS TO ENSURE COMPLETE CONSTRUCTION.
14. THE CONTRACTOR SHALL COMPLY WITH MUNICIPAL CODE NOISE ORDINANCE REQUIREMENTS FOR WORK HOURS.
15. TREE PROTECTION MEASURES, WHEN REQUIRED, SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE TREE PROTECTION PLAN AND ARBORIST REPORT WHEN PROVIDED. SEE **A0.07**
16. SPECIAL INSPECTION, WHEN REQUIRED, IS IN ADDITION TO ALL REQUIRED CITY / COUNTY INSPECTION. SEE STRUCTURAL DRAWINGS FOR SPECIAL INSPECTION REQUIREMENTS. STRUCTURAL OBSERVATION BY THE ENGINEER OF RECORD, WHEN REQUIRED, SHALL BE COMPLETED PRIOR TO CITY / COUNTY INSPECTION. NOTIFY OWNER AT LEAST 48 HOURS IN ADVANCE.
18. UPON PROJECT CLOSEOUT CONTRACTOR SHALL FURNISH ALL PRODUCT LITERATURE AND WARRANTY INFORMATION TO THE OWNERS.
19. ANY WOOD IN CONTACT W/ CONCRETE SLAB, & CONCRETE WALLS SHALL BE PRESSURE TREATED PER CODE REQUIREMENTS

TYPICAL ABBREVIATIONS

A.B.	ANCHOR BOLT	MAX.	MAXIMUM
A.C.	ASPHALTIC CONCRETE	M.C.	MACHINE TOOL
A.C.O.U.S.	ACoustical	M.C.	MEDICINE CABINET
A.D.	AREA DRAIN	MECH.	MEDICAL
A.D.J.	ADJUSTABLE	MECH.	MEDIAN
A.F.F.	ABOVE FINISHED FLOOR	MEM.B.	MEMBER
AGGR.	AGGREGATE	MEZZ.	MEZZANINE
ALU.	ALUMINUM	MFR.	MANUFACTURER
ALT.	ALTERNATE	M.H.	MANHOLE
APPROX.	APPROXIMATE	M.I.	MALLEABLE IRON
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
ASPH.	ASPHALT	MIR.	MIRROR
		MISC.	MISCELLANEOUS
BD.	BOARD	M.O.	MASONRY OPENING
BET.	BETWEEN	MTD.	MOUNTED
BITUM.	BITUMINOUS	MTL.	METAL
BLDG.	BUILDING	MUL.	MULLION
BLK.	BLACK		
BLKG.	BLOCKING	N	NORTH
BLW.	BELOW	N	NEW
BM.	BELM	N.C.	NOT IN CONTRACT
BN.	BULLNOSE	NO. OR #	NUMBER
BOT.	BOTTOM	N.O.	NOMINAL
BYND.	BEYOND	N.T.	NOT TO SCALE
		O/S.	OVER
CAB.	CABINET	O.A.	OVERALL
C.B.	CARRIAGE BOLT OR CEILING BEAM OR CATCH BASIN	OBS.	OBSCURE
CEM.	CEMENT	O.C.	ON CENTER
CER.	CERAMIC	O.D.	OUTSIDE DIAMETER (DIM.)
CER.	CORNER GUARD	OFF.	OFFICE
C.I.	CAST IRON	O.H.	OPPOSITE HAND
C.J.	CEILING JOIST OR CONTROL JOINT	OHV.	OVERHEAD
C.K.T.	CIRCUIT	OPNG.	OPENING
CLG.	CEILING	OPP.	OPPOSITE
CLK.	CAULKING		
CLR.	CLEAR	P.D.S.	POWER DRIVEN STUD
C.M.P.	CORRUGATED METAL PIPE	P.E.N.	PLYWOOD EDGE NAILING
C.M.U.	CONCRETE MASONRY UNIT	PERF.	PERFORATED
C.O.	CLEANOUT OR CASSED OPENING	P.	PLATE OR PROPERTY LINE
COL.	COLUMN	PLAM.	PLASTIC LAMINATE
CONC.	CONCRETE	PLAS.	PLASTER
CONN.	CONNECTION	PLYWD.	PLYWOOD
CONST.	CONSTRUCTION	P.M.E.	PATCH TO MATCH EXISTING
CONT.	CONTINUOUS	PNL.	PANEL
CORR.	CORRIDOR	PR.	PAIR
C.O.T.G.	CLEAN OUT TO GRADE	PRCST.	PRE-CAST
COW.	COUNTERLOCKWORK	PREFAB.	PREFABRICATED
CSK.	CUTTER/SINK	PROP.	PROPERTY
C.T.	COLLAR TIE	P.T.	POINT
C.W.	COLD WATER	P.T.D.	PAPER TOWEL DISPENSER
		P.T.	PRESSURE TREATED DOUGLAS FIR
		PTN.	PARTITION
		P.T.R.	PAPER TOWEL RECEPTACLE
D.	DRYER		
DBL.	DOUBLE	Q.T.	QUARRY TILE
DEPT.	DEPARTMENT	QTR.	QUARTER
DET.	DETAIL	QUAL.	QUALITY
D.F.	DOUGLAS FIR OR DRINKING FOUNTAIN		
DISP.	DIAMETER	R.	RADIUS OR RISER
DM.	DIMENSION	R.B.	ROOF BEAM
DN.	DOWN	R.C.P.	REINFORCED CONCRETE PIPE
DO.	DO OVER (DITTO)	R.O.D.	ROOF DRAIN
DOOR.	DOOR	REF.	REFERENCE
DS.	DOWNSPOUT	REFR.	REFRIGERATOR
D.S.P.	DRY STANDPIPE	REINF.	REINFORCEMENT
DW.	DISHWASHER	REQ'D.	REQUIRED
DWG.	DRAWING	RESIL.	RESILIENT
DWR.	DRAWER	ROTR.	REGISTER
		R.H.	ROBE HOOK
E.	EAST	R.H.W.S.	ROUND HEAD WOOD SCREW
EACH.	EACH	R.M.	ROOM
E.J.	EXPANSION JOINT	R.O.	ROUGH OPENING
EL.	ELEVATION	R.O.W.	RIGHT OF WAY
ELECT.	ELECTRICAL	RWD.	REDWOOD
ELVR.	ELEVATOR	R.W.L.	RAIN WATER LEADER
EMER.	EMERGENCY		
ENCL.	ENCLOSURE	S	SOUTH
E.O.S.	EDGE OF SLAB	S.A.S.	SURFACED 4 SIDES
E.P.	ELECTRICAL PANELBOARD	S.A.	SOLID ANCHOR
EQU.	EQUA.	S.C.	SLEEVE CURB
EQUIP.	EQUIPMENT	S.C.D.	SEE CIVIL DRAWINGS
EST.	ESTIMATE	SCHED.	SCHEDULE
EXC.	EXCAVATE	S.D.	SOAP DISPENSER OR SMOKE DETECTOR
EXH.	EXHAUST		
EXIST OR (E)	EXISTING	SGD.	SIDING
EXT.	EXPANDED OR EXPANSION	S.E.P.	SEE ELECTRICAL DRAWINGS
		SECT.	SECTION
		SEL.	SEE FIRE PROTECTION DRAWINGS
FA.	FIRE ALARM	S.F.D.	SHELF OR SHELVE
FAB.	FABRICATE	SH.	SHOWER
F.A.U.	FORCED AIR UNIT	S.G.R.	SEE GEOTECHNICAL REPORT
F.B.	FLAT BAR	SHT.	SHEET
F.C.	FACE OF CURB	SHT.	SHEATHING
F.DN.	FLOOR DRAIN	SMILAR.	SIMILAR
FDN.	FOUNDATION	S.L.	SKYLIGHT
F.F.	FIRE EXTINGUISHER	S.L.D.	SEE LANDSCAPE DRAWINGS
F.F.C.	FIRE EXTINGUISHER CABINET	S.M.D.	SEE MECHANICAL DRAWINGS
F.F.	FINISH FLOOR	S.M.S.	SHEET METAL SCREW
F.F.	FLOOR FINISH	S.N.D.	SANITARY NAPKIN DISPENSER
F.H.W.S.	FIRE HOSE CABINET	S.N.P.	SANITARY NAPKIN RECEPTACLE
FIN.	FINISH	S.O.	SOIL PIPE
FIXT.	FIXTURE	S.P.	SEE PLUMBING DRAWINGS
FLASH.	FLASHING	SPEC.	SPECIFICATION(S)
FLR.	FLOORING	S.Q.	SQUARE
F.L.O.C.	FLUORESCENT	S.S.	SEE STRUCTURAL DRAWINGS
F.O.C.	FACE OF CONCRETE	S.S.K.	SINK
F.O.F.	FACE OF FINISH	S.S.L.	STAINLESS STEEL
F.O.S.	FACE OF STUD	STA.	STATION
F.O.S.	FIREFALL	STD.	STANDARD
FFRF.	FIREPROOF	STL.	STEEL
FRMG.	FRAMING	STOR.	STORAGE
F.S.	FEET SIZE	STRUCT.	STRUCTURAL
(F)	FEET OR FOOT	SURF.	SURFACE
FTG.	FOOTING	SUSP.	SUSPEND
FURN.	FURNITURE	SYM.	SYMBOL OR SYMMETRICAL
FURR.	FURRING	SYST.	SYSTEM
FUT.	FUTURE		
		T&B.	TOP AND BOTTOM
GA.	GAUGE	T&G.	TONGUE AND GROOVE
GALV.	GALVANIZED	T.	TREAD
GB.	GRAB BAR	T.B.	TOWEL BAR
G.D.	GARBAGE DISPOSAL	T.B.D.	TO BE DETERMINED
GL.	GLASS	T.E.L.	TELEPHONE
G.L.B.	GLUED LAMINATED BEAM	T.H.	THICKNESS
GND.	GROUND		
GR.	GRADE	THRU	THROUGH
G.R.	GRADE	T.O.C.	TOP OF CURB
G.S.M.	GRADED SHEET METAL	T.O.P.	TOP OF PAVEMENT
GP.BD.	GYPSUM BOARD	T.O.W.	TOP OF WALL
		T.P.H.	TOILET PAPER HOLDER
HB	HOLE BSB	T.P.D.	TOILET PAPER DISPENSER
H.C.	HOLLOW CORE	T.V.	TELEVISION
HD.	HEAD	TV	TYPICAL
HDR.BD.	HEADER BOARD		
HDR.	HARDWARE	U.L.	UNDERWRITER'S LABORATORIES
H.M.	HOLLOW METAL	UNFIN.	UNFINISHED
HORIZ.	HORIZONTAL	U.N.O.	UNLESS OTHERWISE NOTED
H.R.	HOUR	UNLESS	UNLESS OTHERWISE NOTED
H.S.B.	HIGH STRENGTH BOLTS	UR.	URNAL
HT.	HEIGHT		
HTR.	HEATER	V.C.T.	VINYL COMPOSITION TILE
H.W.	HOT WATER	VERT.	VERTICAL
HWD.	HARDWOOD	VEST.	VESTIBULE
		V.F.	VERIFY IN FIELD
		V.G.	VERTICAL GRAIN
		V.P.	VENT PIPE
		V.W.A.	VERIFY WITH ARCHITECT
		W.	WASHING MACHINE OR WEST OR WIDTH
		W/O	WITHOUT
JAN.	JANITOR	W/O	WITHOUT
J.H.	JOIST HANGER	W/A	WEDGE ANCHOR
JST.	JOIST	W.C.	WALL COVERING OR WATER CLOSET
JNT.	JOINT	WD.	WOOD
KD.	KILN-DRIED	WH.	WATER HEATER
KICH.	KITCHEN	W/O	WHERE OCCURS
K.O.	KNOCK OUT	WR.	WATERPROOF
K.P.	KICK PLATE	W.R.	WASTE RECEPTACLE OR WATER RESISTANT
		WS.	WEATHERSTRIPPING
LAM.	LAMINATE(D)	WST.	WAINSCOT
LAV.	LAVATORY	W.	WEIGHT
LKR.	LOCKER	W.F.	WELDED WIRE FABRIC
L.S.	LUG SCREW		
L.T.	LIGHT	XFMR.	TRANSFORMER
L.V.T.	LUXURY VINYL TILE		
		YD.	YARD



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PALO ALTO,
CALIFORNIA 94301

ISSUANCE:

HRB PLANNING SUBMISSION	01.26.
PLANNING SUBMISSION	08.15.

SHEET REVISIONS:

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1	PLANNING REV. #1	04.17.2025

DRAWING CONTENT

GENERAL NOTES, SYMBOLS & LIST OF ABBREVIATIONS

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DRAWING NUMBER

A0.02

Date: 4/18/25
File Name: 2314.03 411 Kipling



PROJECT ADDRESS:
411 KIPLING STREET
PALO ALTO,
CALIFORNIA 94301

ISSUANCE:

HRB PLANNING SUBMISSION	01.26.2015
PLANNING SUBMISSION	08.15.2015

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PROJECT REQUIREMENTS

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NO.	DESCRIPTION	DATE
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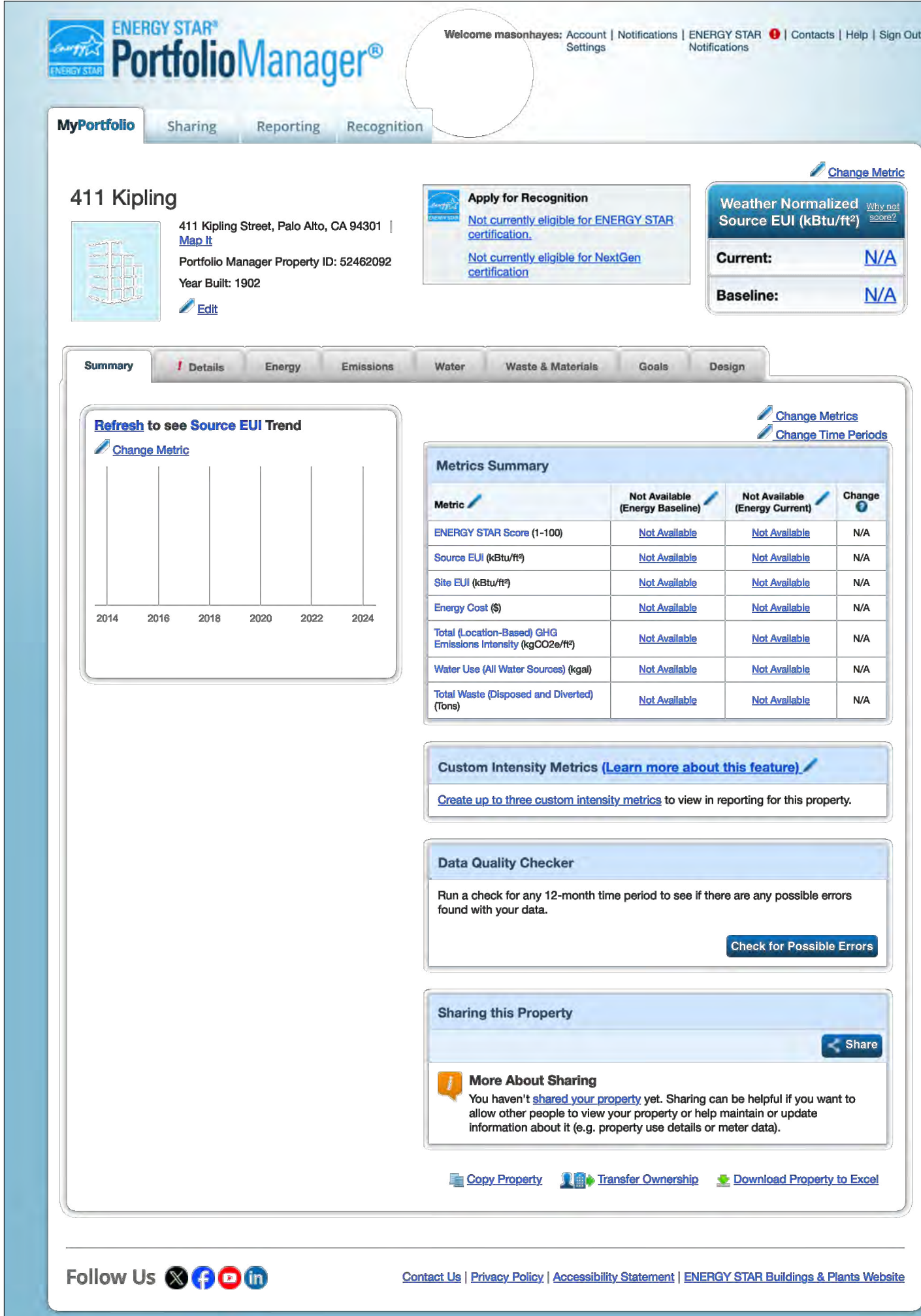
DRAWING CONTENT
GREEN BUILDING



JOB NUMBER:
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A0.05



ENERGY STAR PORTFOLIO MANAGER PROFILE
SCALE: NTS

1

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ARCHI
TECTS

PROJECT ADDRESS:
411 KIPLING STREET
PALO ALTO,
CALIFORNIA 94301

ISSUANCE:	
HRB PLANNING SUBMISSION	01.26.2024
PLANNING SUBMISSION	08.15.2024

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Date: 4/18/25
File Name: 2314.03 411 Kipling



CITY OF
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ALTO**

Make sure your crews and subs do the job right!

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual** (TTM) found at www.cityofpaloalto.org/trees/.

For written specifications associated with illustrations below, see Public Works Specifications Section 31
Detailed specifications are found in the **Palo Alto Tree Technical Manual (TTM)** (www.cityofpaloalto.org/trees)

Tree Protection Zone (TPZ) shown in gray (radius or offset 10' to 15' above the base of the tree to 10' to 15', whichever is greater)
• Restricted activity area – see Tree Technical Manual Sec 2.10(3)
• Restricted trenching area – see Tree Technical Manual Sec 2.20(C)-(D), any proposed trench or work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-3593.

Type I Tree Protection

For all Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's arborist as diagramed on the plan.

Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification TTY is installed correctly according to the plans and Tree Preservation Report

8-5/16" x 8' wooden sign for each side
TPZ (either 10' Tree Diameter or 10' offset)
6-foot high chain link fence, 100% x 4"
Any inadvertent sidewalk or curb replacement or trenching requires approval

Type II Tree Protection

Fence extends to outer boundary of TPZ
Parkway
Sidewalk
Yard
Fencing must provide public passage while protecting all other listed trees

2' section of Orange Plastic Fencing overlaid with 2-inch Thick Wooden Sign
Any proposed trench in TPZ requires approval See TTM 2.20 (C) for Installation
Restricted use for green to sustainable energy use wells only

Note: Street Trees. Issuance of a permit requires Public Works Operations review and signed approval on the Street Tree Verification (STV) form provided.

Type III Tree Protection

to be used only with approval of Public Works Operations)

Tree fencing is required and must be erected before demolition, grading or construction begins.

No.	Tree	Tree Protection
01	090513	0104042
01	01421	0124584
01	01423	0810306

Scale: NTS

City of Palo Alto Standard

Approved by: **Dave Dockter**
Date: **2006**
Dwg No: **605**

Table 2-2 Palo Alto Tree Technical Manual

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- ☒ **1. Verification of Protective Tree Fencing.** For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 3.9.9.)
- ☒ **2. Pre-Construction Meeting.** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree preservation with the job site superintendent, grading/architect, project site arborist, City Arborist, and if a city maintained arborist system is involved, the Parks Manager (contact 650-406-6962).
- ☒ **3. Verification of Rough Grading or Trenching.** Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut and fill, draining and trenching, and if required, inspect irrigation systems, tree wells, drain covers, and other drainage. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- ☒ **4. Monthly Tree Activity Report Inspections.** The project site arborist shall perform a minimum monthly inspection of the project site and trees on conditions, tree health and protection or immediately if there are *any* revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report form shall be used and sent to the Planning Dept. Landscape review will be no later than 14 days after issuance of building permit date. Fax to: (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 11.1.)
- ☒ **5. Special activity within Tree Protection Zone.** Work in the TPZ areas (see also #7 below) requires the direct active supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- ☐ **6. Landscape Architect Inspection.** For discretionary development projects, prior to temporary or final construction the applicant shall submit a landscape architect to perform an on site inspection of all plant stock, quality of the materials, and planning (see TTM, Planning, Section 5.20.1.a) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. Landscape review staff will be as receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- ☐ **7. Liar Other** (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

Arborist Firm Name Here		City of Palo Alto Tree Activity Report		ADDENDUM 11	
				amati ECA/ISA Certified Arborist #193-200 Cypress Hill #	
Monthly Tree Activity Report- Construction Site					
Date: _____ Inspection # _____	Site address: Palo Alto, CA	Contractor- Main Site Contact Information Also present: _____	#1: Job site superintendent Company: _____ Email: _____ Job site Office: _____ Cell: _____ Mail: _____	_____ _____ _____	
Distribution:	1. City of Palo Alto 2. Others _____	Attn: Dave Dockter	dave.dockter@cityofpaloalto.org 650-329-2440		
Provide the requested minimum information with each report, customer as necessary. To be completed by project site arboreal. Send monthly to city arboreal as above address until project completion. Use additional sheets as needed.					
1. Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits) a. Pre-construction meeting requirement with sub-contractors b. Inspect to verify that tree protection measures are in place c. Determine if field adjustments, watering or plan revisions may be needed 2. Field Observations (general site-wide and list by individual tree number) a. Tree Protection Features (TPF) are ... b. Trenching has/will occur ... 3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due a. Tree Protection Feature (TPF) needs adjusting (see P. 8, X, 3) b. Root zone buffer material (wood chip) can be installed next c. Schedule sewer trench, foundation dig with ... 4. Photographs (use often) 5. Tree Location Map (mandatory 8.5 x 11 sheet) 6. Recommendations, notes or monitor items for project/staff/schedule • 7. Past visits (list carry-over items satisfied/nil outstanding) • Respectfully submitted, Project site arboreal Consultant contact information (Include email, cell#, and mailing) Cc: _____					
Enter Date		CPA Monthly Tree Activity Report: Type site address here		Page #1 of 1	

	City of Palo Alto Tree Management Public Works Operations PO Box 10250 Palo Alto, CA 94303 650-946-0862 FAX: 650-950-2008 treeprotection@CityOfPaloAlto.org
<i>Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept., Public Works Tree Staff will inspect and notify applicant.</i>	
APPLICATION DATE:	
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:	
APPLICANT'S NAME:	
APPLICANT'S ADDRESS:	
APPLICANT'S PHONE & FAX NUMBERS:	
<i>This section to be filled out by City Tree Staff</i>	
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:	YES ☐ NO* ☐ * If NO, go to #2 below
Inspected by:	
Date of inspection:	
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:	
Indicate how the required modifications were communicated to the applicant.	
_____ _____ _____ _____ _____	
<u>Subsequent inspection</u>	
Street trees at above address were found to be adequately protected:	YES ☐ NO* ☐ * If NO, indicate in "Notes" below the disposition of case.
Inspected by:	
Date of inspection:	
Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.	
_____ _____ _____ _____ _____	

---WARNING--- Tree Protection Zone	
This fencing shall not be removed without City Arborist approval (650-496-5953) Removal without permission is subject to a \$500 fine per day* <i>*Palo Alto Municipal Code Section 8.10.110</i> City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.html	
SPECIAL INSPECTIONS	PLANNING DEPARTMENT
TREE PROTECTION INSPECTIONS MANDATORY	
PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE. BUILDING PERMIT DATE: _____ DATE OF 1ST TREE ACTIVITY REPORT: _____ CITY STAFF: _____ REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.	
Apply Tree Protection Report on sheet(s) T-2 Use additional “T” sheets as needed	

City of Palo Alto
 295 Hamilton Avenue, Palo Alto, CA 94301

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Tree Technical Manual

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June, Second First Edition

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APPENDICES

- A. Palo Alto Municipal Code Chapter 8.10, Tree Identification & Management Regulations
- B. Tree City - USA
- C. ISA Hazard Evaluation Form
- D. List of Inherent Failure Patterns for Selected Species (Reference source)
- E. ISA Tree Pruning Guidelines (PDF, 1.854MB)
- F. Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)
- G. Pruning Performance Standards, ANSI A300-1995 (Reference source)
- H. Tree Planting Details, Diagram 504 & 505
 - 1. Tree Disclosure Statement
- J. Palo Alto Standard Tree Protection Instructions

APPENDIX J

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS SECTION 31.1

31.1 General	Tree protection has three primary functions: (1) to keep the foliage canopy and branching structure clear of structures by requiring minimum clearances; (2) to protect the trunk and root system conditions in an intact and non-compacted state; and (3) to identify the Tree Protection Zone (TPZ) of the tree with no soil disturbance is permitted and activities are restricted to the TPZ. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the trunk's neck or root, whichever is greater, enclosed by fencing.
31.2 Reference Documents	Detail 001 – Illustration of situations described in Section 31.1 Tree Technical Manual (TTM) Forms (http://www.cityofpaloalto.gov/tree) 1. Treeing Request Form (TTM, Section 3.1) 2. Arborist Reporting Protocol (TTM, Section 3.3) 3. Site-Specific Requirements (TTM, Section 3.4) 4. Tree Site Requirements Statement (TTM, Appendix J) 5. Street Tree Disclosure (STV) Form (http://www.cityofpaloalto.gov/tree/stv)
31.3 Execution	Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is installed on paving or concrete that will not be disturbed, then the posts may be installed by an approved grade-level concrete base, if approved by Public Works Operations. Type II Tree Protection: For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to protect the sidewalk and be open for public use. Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a sidewalk planting strip or a sidewalk planting strip with a tree trunk adjacent to the sidewalk shall be protected in the first branch and overlaid with 2-inch thick wooden slat board enclosures (slats) shall be allowed to dig into the banks. During plantations of the plastic fencing, enclosures shall be used to avoid damaging trees. Branches, major limbs may also require plastic fencing enclosures by the City Arborist. Size and type of fence are as listed. All trees to be preserved shall be protected with (a) foot high chain link fencing. Fences are to be mounted on two-foot high galvanized metal posts. Fences may be ground to a depth of at least 2-feet or a more than 10-foot spacing. Fencing shall extend to other branches, unless specifically approved on the STV. Warning Signs: A warning sign shall be weather proof and prominently displayed on each corner at 20-foot intervals. The sign shall be minimum 8.5-inches by 11-inches and shall contain the following information: WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to Section 31.1.0115" Disturbance: Tree fencing shall be erected before demolishing, grading or construction begins and remain in place until it may be removed. Fencing shall be removed only in accordance with the TPZ. Visual soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.
31.4 During construction	1. All neighbors' trees (over the project site) shall be protected from impacts of any kind. 2. The applicant shall be responsible for the repair or replacement plus guarantee of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.010 of the Palo Alto Municipal Code. 3. The following tree preservation measures apply to all trees to be retained: a. No storage of material, equipment or vehicles shall be permitted within the TPZ. b. The ground under and around the tree canopy shall not be altered. c. Trees to be retained shall be irrigated, drained and maintained as necessary to ensure survival.

City of Palo Alto 2004 Standards Documents and Specifications
Street Tree Verification of Protection, PWSL Section 31.1

END OF SECTION

Revised 08/06

All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
 Include this sheet(s) on Project Sheet Index or Legend Page.
 A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460>

T-1

Date: 4/18/25
File Name: 2314.03 411 Kipling



BASEMENT FLOOR
SCALE: N.T.S.

9



REAR VIEW
SCALE: N.T.S.

8



EXISTING SKYLIGHT
SCALE: N.T.S.

7



SIDE STAIRS
SCALE: N.T.S.

6



VIEW FROM KIPLING ST.
SCALE: N.T.S.

5



BASEMENT ENTRY
SCALE: N.T.S.

4



FRONT STAIRS AND PORCH
SCALE: N.T.S.

3



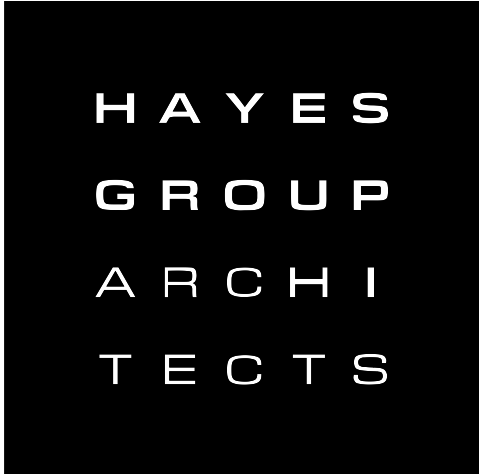
FRONT PORCH ROOF
SCALE: N.T.S.

2



BACK STAIRS AND BASEMENT ENTRY
SCALE: N.T.S.

1



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ISSUANCE:
PLANNING REV. #1 04.17.2025

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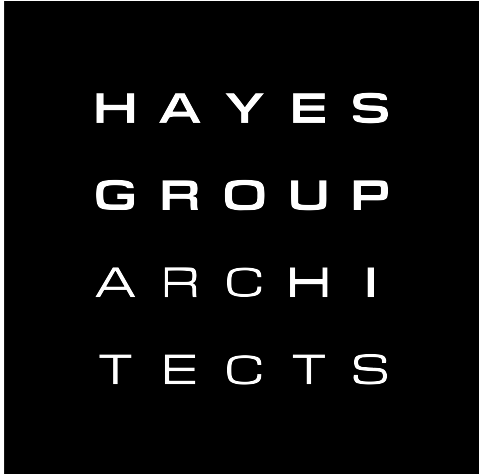
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EXISTING SITE PHOTOS



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ISSUANCE:
HRB PLANNING SUBMISSION 01.26.2024
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SITE & FIRST FLOOR PLAN - EXISTING & DEMOLITION

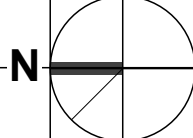
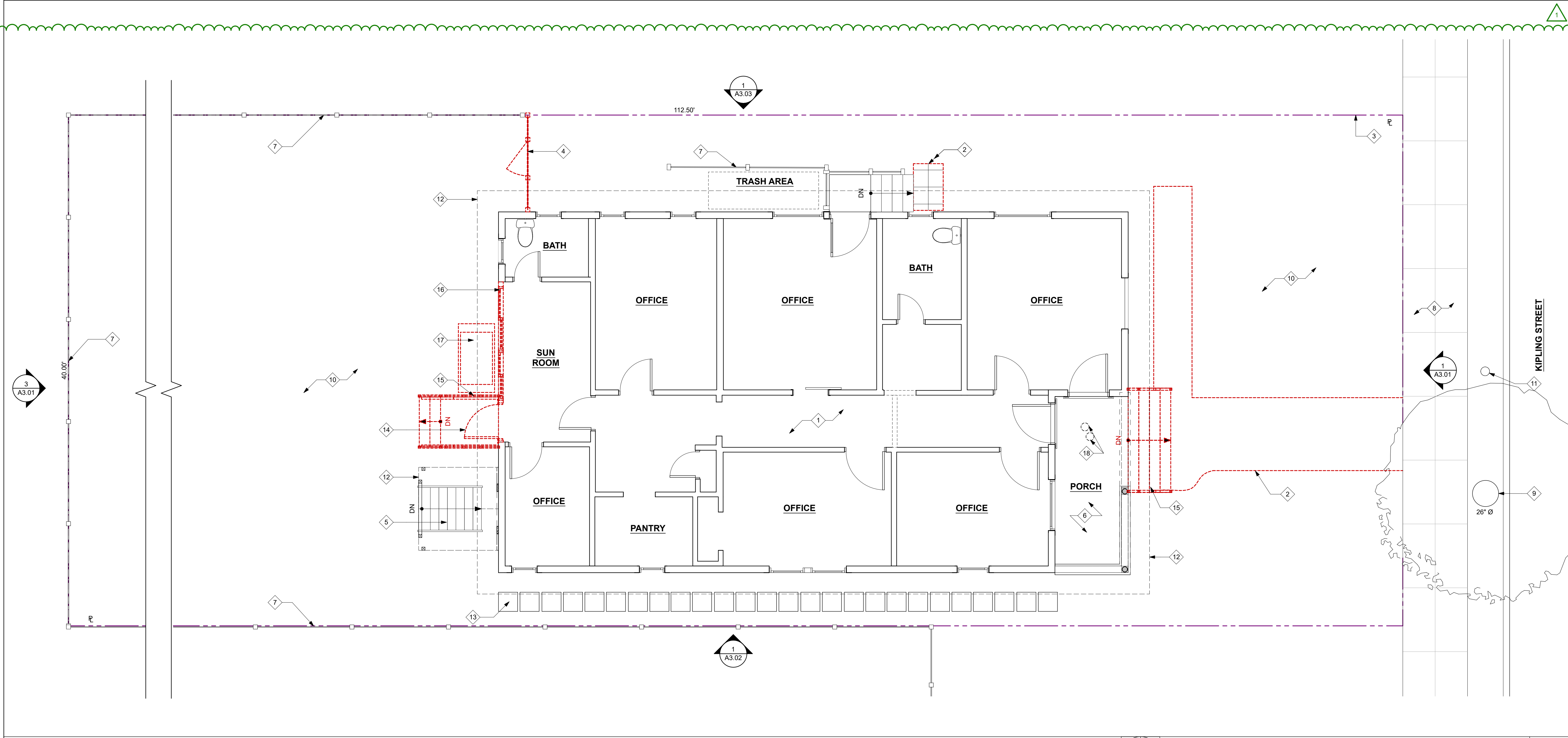


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SITE & FIRST FLOOR PLAN - EXISTING & DEMOLITION

SCALE: 1/4" = 1'-0"

1

DEMOLITION PLAN KEY NOTES

- 1 NO WORK AT INTERIOR AREAS TYP. U.O.N.
- 2 (E) CONCRETE SIDEWALK TO BE DEMOLISHED SHOWN DASHED
- 3 PROPERTY LINE
- 4 DEMOLISH (E) FENCE AND GATE
- 5 STAIR DOWN TO BASEMENT/ CRAWL SPACE
- 6 SEE A2.01 FOR ENTRY PORCH REHABILITATION REQUIREMENTS
- 7 EXISTING WOOD FENCE TO REMAIN
- 8 EXISTING SIDEWALK TO REMAIN
- 9 EXISTING STREET TREE, SEE A0.07 FOR TREE PROTECTION
- 10 EXISTING LANDSCAPE TO REMAIN U.O.N.
- 11 EXISTING STREET LIGHT TO REMAIN
- 12 ROOF OVERHANG ABOVE SHOWN DASHED
- 13 EXISTING PAVER OR OTHER WALKING SURFACE TO REMAIN
- 14 DEMOLISH (E) NON-HISTORIC DOOR
- 15 DEMOLISH (E) NON-HISTORIC STAIRCASE AND RAILINGS
- 16 DEMOLISH (E) NON-HISTORIC ALUMINUM WINDOWS & SIDING
- 17 DEMOLISH (E) HVAC UNIT
- 18 (E) LIGHT FIXTURES ABOVE, SEE A2.01

WALL TYPE AND SYMBOL LEGEND

- EXISTING WALL
- WALL / ELEMENT TO DEMOLISH
- NEW WALL
- SURFACE TO DEMOLISH

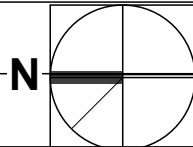
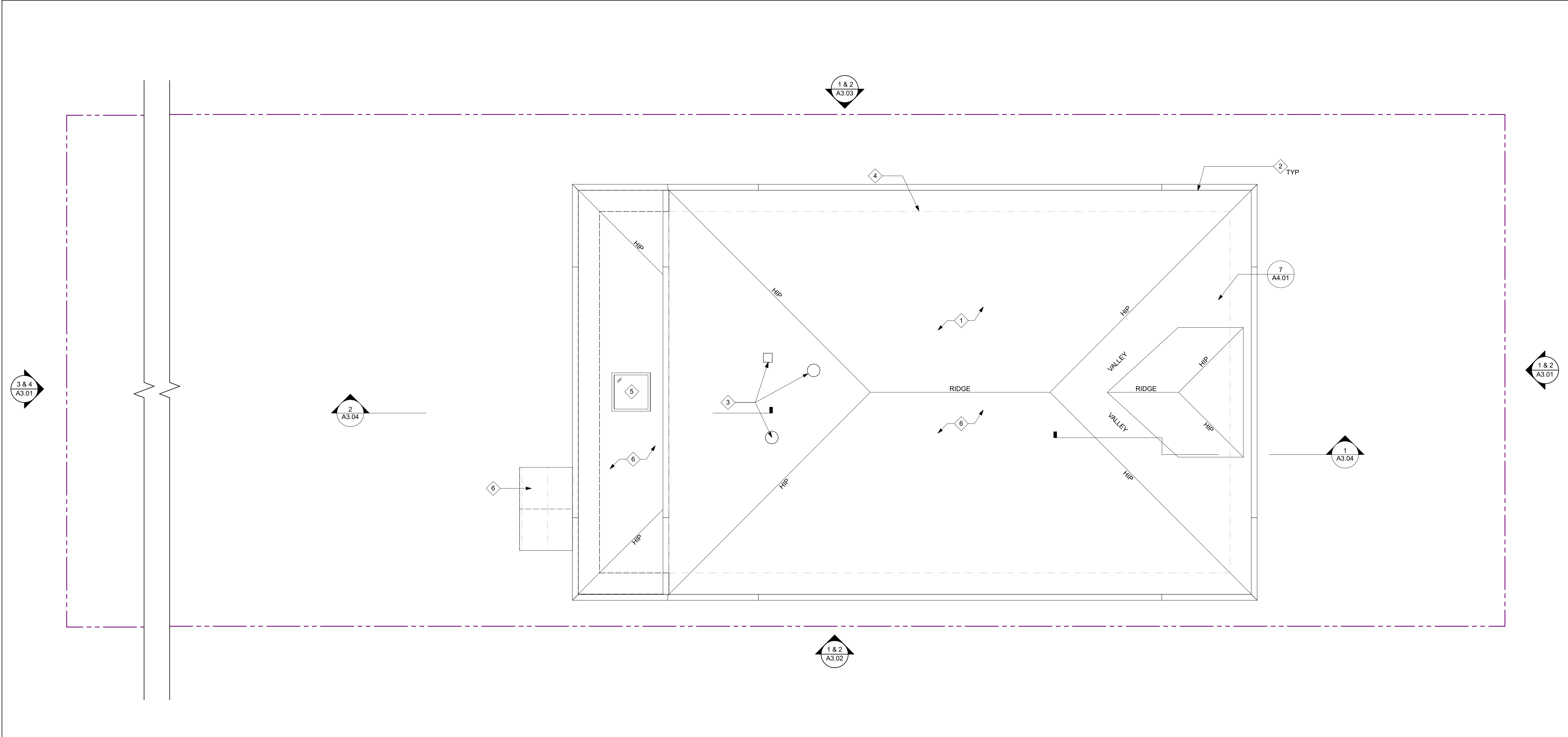
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DRAWING CONTENT
ROOF PLAN - EXISTING



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ROOF PLAN - EXISTING
SCALE: 1/4" = 1'-0"

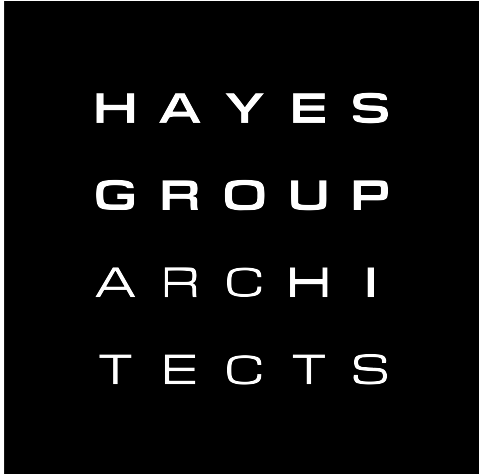
1

ROOF PLAN KEY NOTES

- 1 NO WORK AT EXISTING ROOF TYP. U.O.N.
- 2 EXISTING ROOF GUTTER, DOWNSPOUT AND PENETRATIONS
- 3 PAINT ALL METAL VENTS AND PENETRATIONS TO MATCH SHINGLE COLOR
- 4 EXTERIOR WALL BELOW SHOWN DASHED
- 5 EXISTING SKYLIGHT TO REMAIN
- 6 EXISTING SHINGLE ROOFING TO REMAIN, TYP.

WALL TYPE AND SYMBOL LEGEND

- EXISTING WALL
- WALL / ELEMENT TO DEMOLISH
- NEW WALL
- SURFACE TO DEMOLISH



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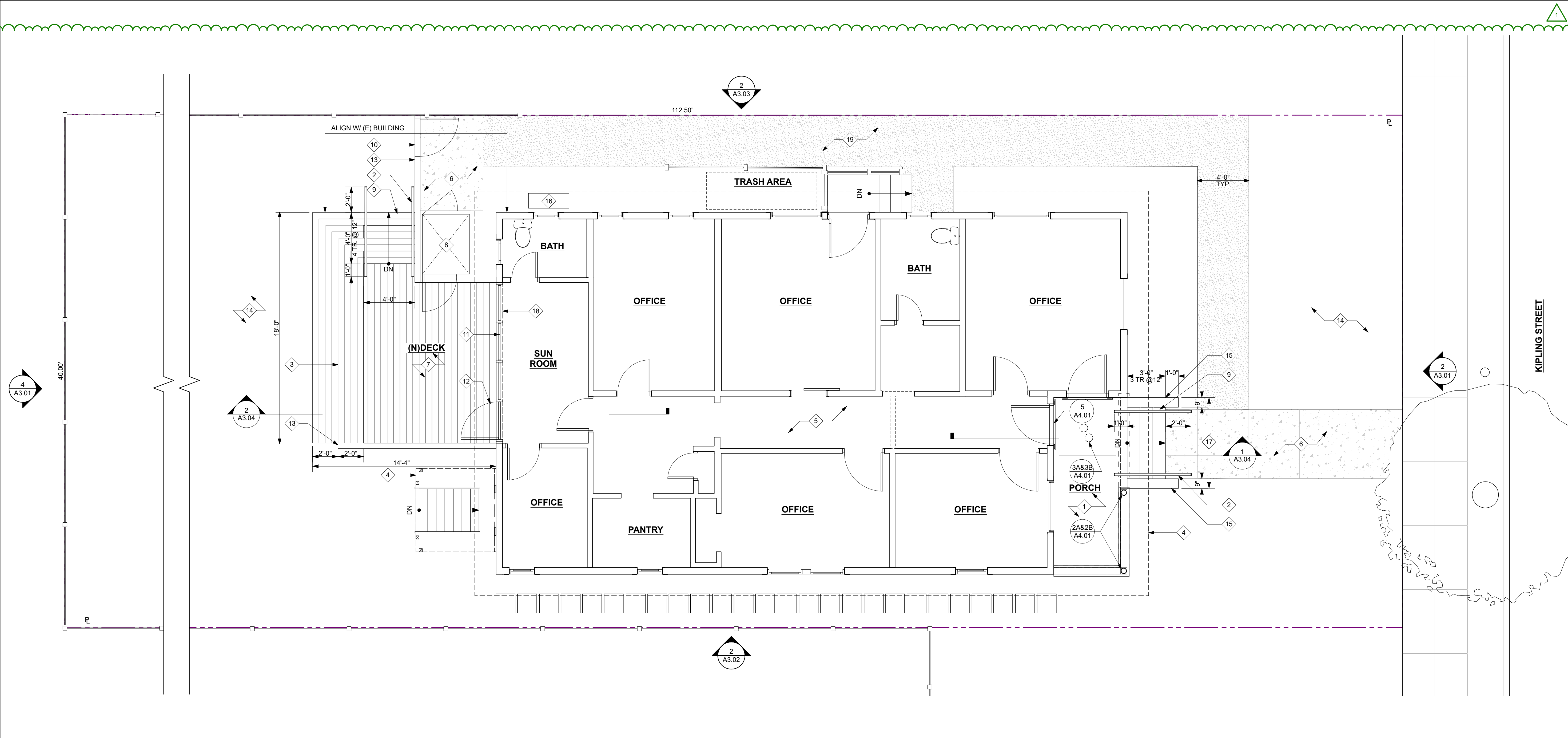
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DRAWING CONTENT
SITE & FIRST FLOOR
PLAN - PROPOSED



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A2.01



SITE & FIRST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"
1

SHEET NOTES		PROPOSED PLAN KEY NOTES	WALL TYPE AND SYMBOL LEGEND
1. SEE REHABILITATION REQUIREMENTS ON A3.01 DRAWING SERIES		1 ENTRY PORCH. SEE A3.01 FOR REHABILITATION REQUIREMENTS	EXISTING WALL
2. INTERIOR OF BUILDING IS NOT IN SCOPE EXCEPT FOR PATCHING AND PAINTING @NEW DOOR AND WINDOWS		2 NEW METAL HANDRAIL TO COMPLY WITH CBC 11B-505	WALL / ELEMENT TO DEMOLISH
		3 NEW TIERED WOOD DECK. SEE ELEVATIONS	NEW WALL
		4 EXISTING ROOF OVERHANG SHOWN DASHED ABOVE	SURFACE TO DEMOLISH
		5 NO WORK AT INTERIOR AREAS. TYP. U.O.N.	
		6 NEW ACCESSIBLE CONCRETE SIDEWALK TO COMPLY WITH CBC11B-206/403	
		7 NEW WOOD DECK	
		8 NEW PLATFORM LIFT TO COMPLY WITH CBC11B-410 SEE CUT SHEET 2/A3.00	
		9 NEW STAIR	
		10 NEW WOOD GATE	
		11 NEW WINDOWS. SEE ELEVATION	
		12 NEW DOOR. SEE ELEVATION	
		13 NEW WOOD FENCE	
		14 (E) LANDSCAPING TO REMAIN	
		15 NEW CHEEK WALLS. SEE ELEVATION	
		16 NEW ELECT HVAC UNIT	
		17 NEW STAIR & CHEEK WALLS MATCH (E) PORCH OPENING	
		18 PATCH AND PAINT	
		19 NEW ACCESSIBLE STABILIZED DECOMPOSED GRANITE SURFACE TO COMPLY WITH CBC 11B-206/403	

2



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DRAWING CONTENT
SOUTH & NORTH
EXTERIOR ELEVATIONS -
EXISTING & PROPOSED

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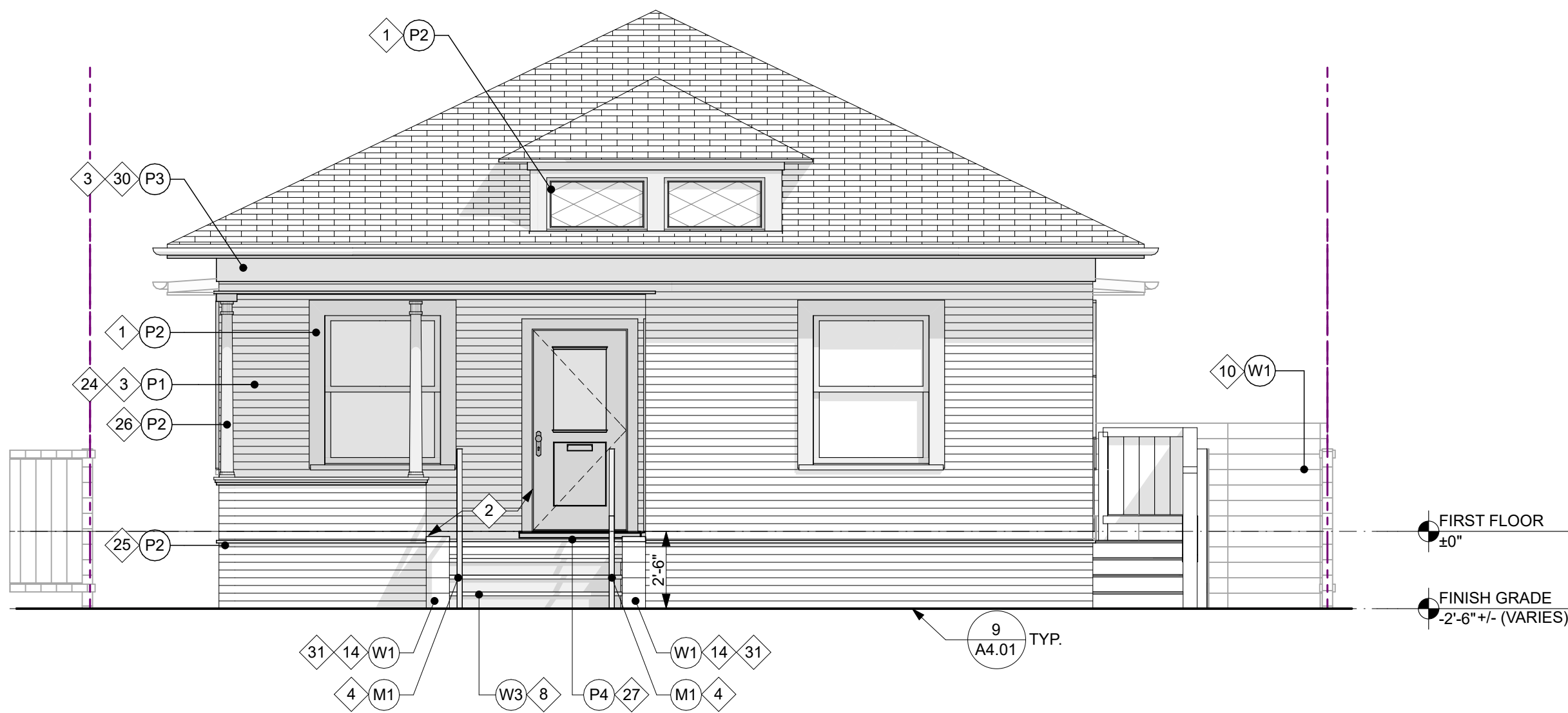


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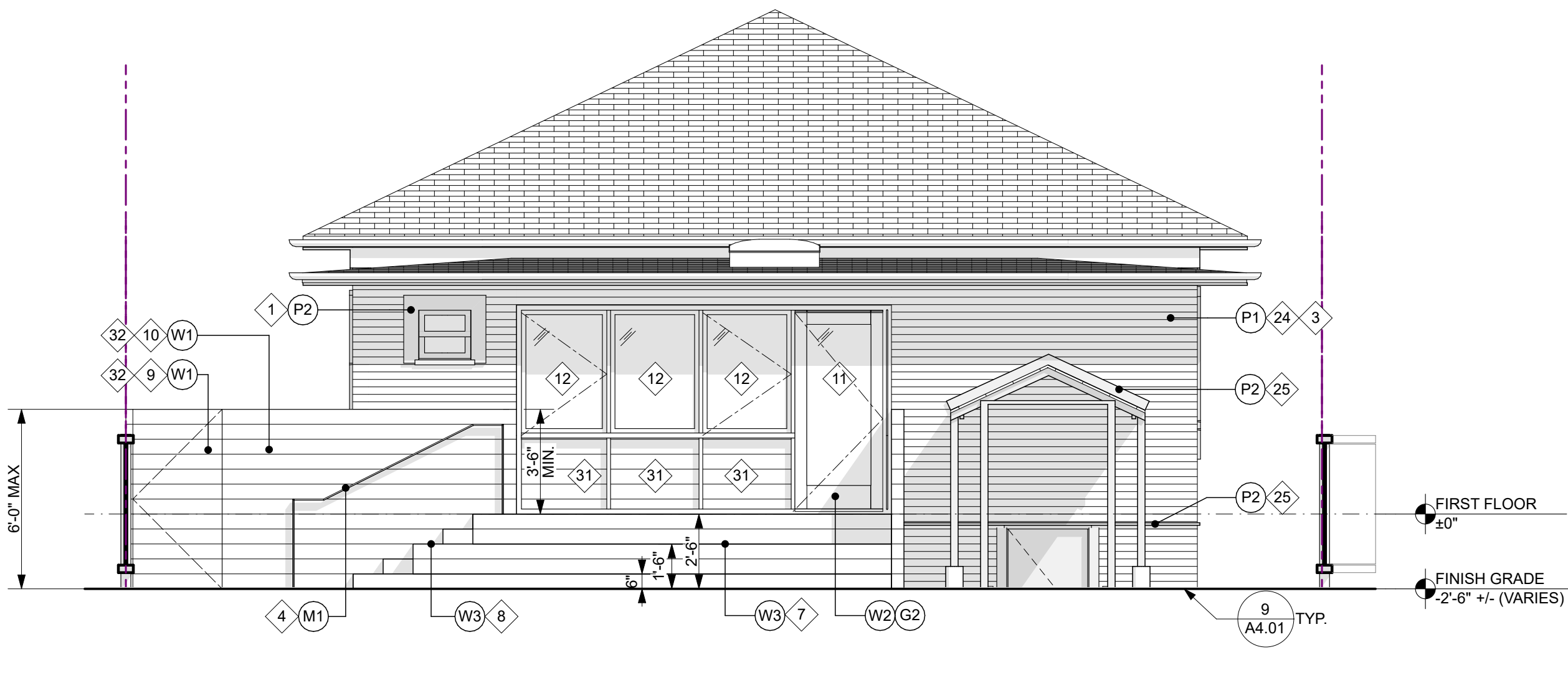


SOUTH (FRONT) ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

2

4

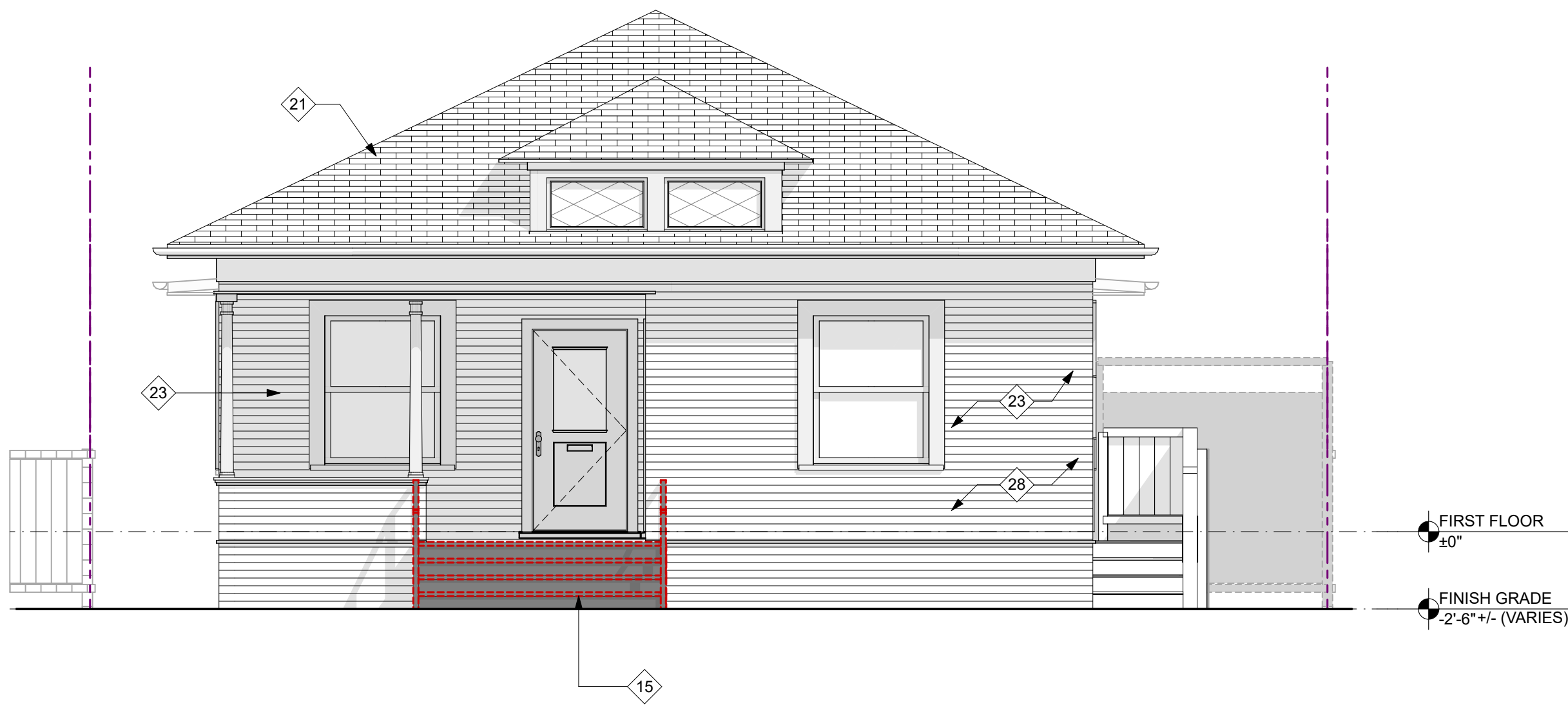


NORTH (REAR) ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

4

1

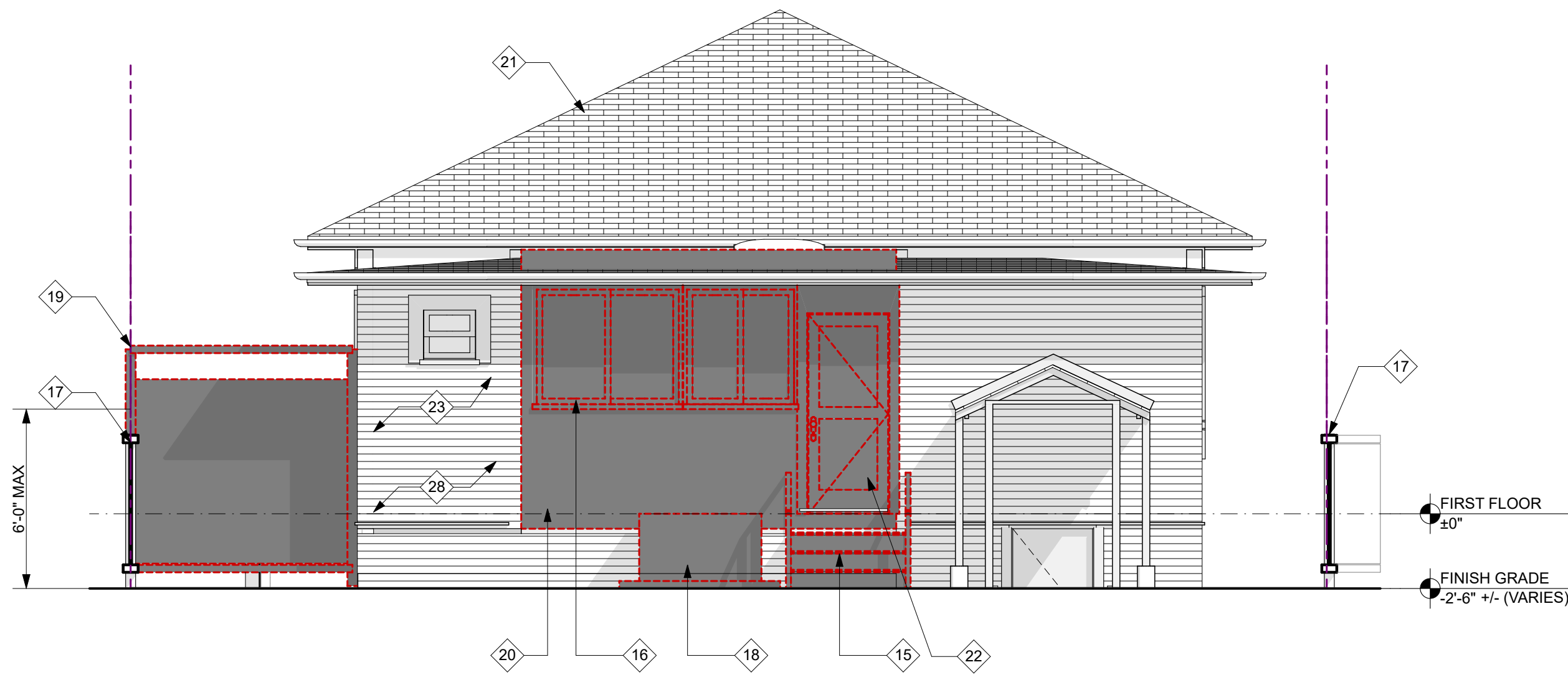


SOUTH (FRONT) ELEVATION - EXISTING & DEMOLITION

SCALE: 1/4" = 1'-0"

1

4



NORTH (REAR) ELEVATION - EXISTING & DEMOLITION

SCALE: 1/4" = 1'-0"

3

REHABILITATION REQUIREMENTS

A. WINDOWS AND DOORS

- EVALUATION
 - CONTRACTOR SHALL PREPARE A WINDOW AND EXTERIOR DOOR SCHEDULE IDENTIFYING ALL WINDOWS AND EXTERIOR DOORS BY NUMBER OR ALPHANUMERIC SYSTEM FOR PHYSICAL EVALUATION BY WINDOW SPECIALIST.
 - CONTRACTOR'S WINDOW SPECIALIST SHALL EVALUATE ALL WINDOWS AND DOORS REGARDING THE CRITERIA BELOW.
 - SCHEDULE SHALL INDICATE 1) WINDOW AND DOOR LOCATION WITH PHOTOGRAPHS, 2) WINDOW AND DOOR SIZE AND TYPE (DOUBLE HUNG, FIXED, CASEMENT, AWNING OR HOPPER), 3) CONDITION OF THE PAINT (FAILURE, BULSTERING, CRACKING, FLAKING AND PEELING), 4) CONDITION OF THE FRAME HEAD, JAMB, SILL, AND MUNTINS), 5) GLAZING PROBLEMS AND PUTTY (AND BACKSIDE PUTTY) CONDITION (CRACKED, LOOSE OR MISSING SECTIONS), 7) HARDWARE CONDITION (COUNTERWEIGHTS AND SASH CHORDS) AND OPERATION OR THE HARDWARE AND OPERATION OF THE WINDOW AND 8) THE OVERALL CONDITION OF THE WINDOW OR DOOR AND NOTED AS (EXCELLENT, FAIR, POOR).
 - ALL WINDOWS AND DOORS SHALL BE INSPECTED TO TEST FOR DRYROT OR WOOD DAMAGE WITH AN AWL OR OTHER TOOL AND CONDITION OF THE WOOD NOTED IN THE SCHEDULE.
 - THE SCHEDULE PREPARED BY THE CONTRACTOR AND CONTRACTOR'S SPECIALIST SHALL BE SUBMITTED TO THE ARCHITECT.
- REPAIR
 - WINDOWS AND DOORS SHALL BE REPAIRED IN ACCORDANCE WITH PRESERVATION BRIEF 9, THE REPAIR OF HISTORIC WOODEN WINDOWS AND PRESERVATION BRIEF 10, PAINT REMOVAL FROM HISTORIC WOODWORK BOTH PUBLISHED BY THE US DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE CULTURAL RESOURCES.
 - REPAIR REQUIREMENTS TO BRING EACH WINDOW OR DOOR TO "LIKE NEW" CONDITION BASED ON THE PREVIOUS EVALUATION SHALL BE NOTED AS EITHER:
 - ROUTINE MAINTENANCE
 - REPAIR OF SASH (INCLUDING REGLAZING WHERE NECESSARY), 3) REPAIRS TO THE FRAME, 4) REPAIRS TO OPERATING HARDWARE SUCH AS HINGES, LATCHES, SASH CHAINS OR CHORDS, WEATHERSTRIPPING AND REINSTALLATION OF THE SASH, AND 5) REPAINTING. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING, HANDLING AND ABATEMENT.
 - STABILIZATION
 - REQUIRES ROUTINE MAINTENANCE DESCRIBED ABOVE AND 1) PARTIALLY DECAYED WOOD TO BE WATERPROOFED, PATCHED, BUILT-UP OR CONSOLIDATED AND THEN PAINTED TO ACHIEVE A GOOD APPEARANCE.
 - SPLICING AND PARTS REPLACEMENT
 - REQUIRES ROUTINE MAINTENANCE AND STABILIZATION DESCRIBED ABOVE AND 1) REPLACING DETERIORATED PARTS AND PIECES WITH NEW MATCHING (SPECIES AND SHAPE/PROFILE) OR SPLICING NEW WOOD INTO EXISTING WOOD MEMBERS. NECESSARY REPAIRS SHOULD BE MADE "IN PLACE" IF POSSIBLE, USING STABILIZATION AND SPLICING TECHNIQUES. IF REMOVAL IS NECESSARY GREAT CARE SHALL BE TAKEN TO AVOID FURTHER DAMAGE TO THE WINDOW OR DOOR. NEW FRAMES AND SASH SHALL MATCH THE SPECIES AND BE A DUPLICATE OF THE EXISTING WINDOW OR DOOR. THE NEW WORK SHALL MATCH THE OLD IN MATERIAL, DESIGN, SCALE, COLOR AND FINISH. TECHNICAL PRESERVATION SERVICES RECOMMENDS THE RETENTION AND REPAIR OF ORIGINAL WINDOWS WHENEVER POSSIBLE.

B. ENTRANCES AND PORCHES

- EVALUATION
 - CONTRACTOR SHALL EVALUATE ENTRANCES AND PORCHES TO DETERMINE THE CONDITION OF THE STAIRS (STRINGERS, TREADS AND RISERS), HANDRAILS AND RAILINGS, PILASTERS, COLUMNS, WALL CAPS, DECKING AND CEILINGS AND SHALL PREPARE DRAWINGS INDICATING WHERE WOOD OR FINISH IS DAMAGED OR DETERIORATED AND SUBMIT TO THE ARCHITECT.
- REPAIR
 - ENTRANCES AND PORCHES SHALL BE REPAIRED AND REHABILITATED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS.
 - PROTECT AND MAINTAIN THE WOOD AND METALS WHICH COMPRISE ENTRANCES AND PORCHES THROUGH APPROPRIATE SURFACE TREATMENTS, SUCH AS CLEANING, PAINT REMOVAL, AND THE REAPPLICATION OF COATING SYSTEMS. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING, HANDLING AND ABATEMENT.
 - REPAIR ENTRANCES AND PORCHES BY PATCHING, SPLICING, CONSOLIDATING, AND OTHERWISE REINFORCING THEM USING RECOGNIZED PRESERVATION MEASURES. REPAIR MAY INCLUDE THE LIMITED REPLACEMENT IN KIND (SPECIES AND DESIGN) OF THOSE EXTENSIVELY DETERIORATED FEATURES OR MISSING COMPONENTS OF FEATURES WHEN THERE ARE SURVIVING PROTOTYPES, SUCH AS BALUSTRADES, COLUMNS AND STAIRS.

C. WOOD: SIDING, CLAPBOARD, SHINGLES and OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

- EVALUATION
 - CONTRACTOR SHALL EVALUATE SIDING, CLAPBOARD, SHINGLES, CORNICES, GUTTERS, BRACKETS, BELT COURSES, EXPOSED RAFTER TAILS AND BARGE RAFTERS, WINDOW AND DOOR CASINGS AND SURROUNDS TO DETERMINE THEIR CONDITION AND FINISH AND SHALL PREPARE DRAWINGS INDICATING WHERE WOOD OR FINISH IS DAMAGED OR DETERIORATED AND SUBMIT TO THE ARCHITECT.
- REPAIR
 - SIDING, CLAPBOARD, SHINGLES, CORNICES, GUTTERS, BRACKETS, BELT COURSES, EXPOSED RAFTER TAILS AND BARGE RAFTERS, WINDOW AND DOOR CASINGS AND SURROUNDS SHALL BE REPAIRED AND REHABILITATED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS.
 - PROTECT AND MAINTAIN THE WOOD WHICH THROUGH APPROPRIATE SURFACE TREATMENTS, SUCH AS CLEANING, PAINT REMOVAL, AND THE REAPPLICATION OF COATING SYSTEMS. REMOVE DAMAGED OR DETERIORATED PAINT TO THE NEXT SOUND LAYER USING THE GENTLEST METHOD POSSIBLE (HAND SCRAPPING AND HAND SANDING PRIOR TO REPAINTING). USE CHEMICAL STRIPPERS PRIMARILY TO SUPPLEMENT OTHER METHODS SUCH AS HAND SCRAPPING, HAND SANDING AND THERMAL DEVICES. USE BIODEGRADABLE OR ENVIRONMENTALLY SAFE CLEANING OR PAINT-REMOVAL PRODUCTS. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING, HANDLING AND ABATEMENT. REPAIR DAMAGED ELEMENTS BY PATCHING, SPLICING, CONSOLIDATING, AND OTHERWISE REINFORCING THEM USING RECOGNIZED PRESERVATION MEASURES. REPAIR MAY INCLUDE THE LIMITED REPLACEMENT IN KIND (SPECIES AND DESIGN) OF THOSE EXTENSIVELY DETERIORATED FEATURES OR MISSING COMPONENTS OF FEATURES WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS BRACKETS, MOLDING OR SECTIONS OF SIDING OR WHEN REPLACEMENT CAN BE BASED ON DOCUMENTARY OR PHYSICAL EVIDENCE. THE NEW WORK SHALL MATCH THE OLD IN MATERIAL, DESIGN, SCALE, COLOR AND FINISH.

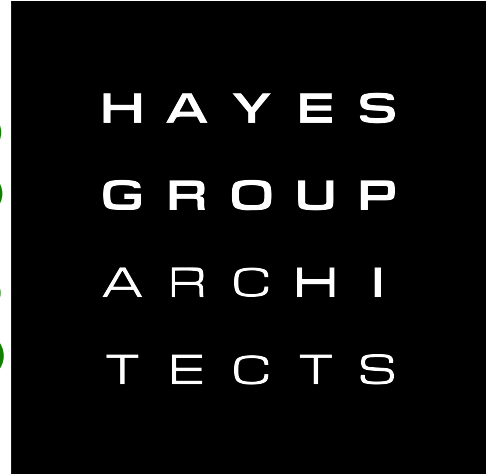
ELEVATION KEYNOTES

- | | | | |
|----|---|----|---|
| 1 | SEE REHABILITATION REQUIREMENTS A, WINDOW AND DOORS, TYP. | 19 | DEMOLISH EXISTING GATE & FENCE |
| 2 | SEE REHABILITATION REQUIREMENT B, PORCHES AND ENTRANCES, TYP. | 20 | DEMOLISH EXISTING NONHISTORIC SIDING |
| 3 | SEE REHABILITATION REQUIREMENT C, WOOD SIDING, CLAPBOARD AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS, TYP. | 21 | EXISTING SHINGLE ROOFING TO REMAIN, TYP. |
| 4 | NEW METAL HANDRAIL TO COMPLY WITH CBC11B-505 | 22 | DEMOLISH EXISTING DOOR |
| 5 | REMOVE EXISTING METAL VENT AND REPLACE IN KIND | 23 | ALL EXISTING ELEMENTS TO REMAIN, TYP. U.O.N. SEE BUILDING REFERENCE PHOTOS ON SHEET A4.01 FOR MORE INFORMATION |
| 6 | REPLACE EXISTING SIDING ON SIDEWALLS, SEE REHABILITATION REQUIREMENT C | 24 | EXISTING SIDING, TYP. |
| 7 | NEW TIERED WOOD DECK | 25 | EXISTING TRIM, TYP. |
| 8 | NEW STAIR | 26 | EXISTING COLUMN, TYP. |
| 9 | NEW WOOD GATE | 27 | EXISTING DECKING |
| 10 | NEW WOOD FENCE | 28 | EXISTING EXPOSED WIRES AND CABLES TO BE INVESTIGATED AS TO THEIR FUNCTION AND / OR IF THEY HAVE BEEN ABANDONED, REMOVE ABANDONED WIRES AND CABLES AS REQUIRED, TYP. |
| 11 | NEW DOOR | 29 | NEW HVAC UNIT |
| 12 | NEW WOOD WINDOW W/ G2 GLAZING | 30 | EXISTING CORNICE |
| 13 | NEW PLATFORM LIFT TO COMPLY WITH CBC11B-410 | 31 | 1x4 SHIPLAP SIDING |
| 14 | NEW CHEEK WALLS | 32 | 1x4 FENCING W/ 1/2" GAPS |
| 15 | DEMOLISH (E) STAIRCASE & RAILINGS | 33 | NEW PAVING, SEE PLAN |
| 16 | DEMOLISH (E) NON-HISTORIC ALUMINUM WINDOWS | 34 | EXISTING GRADE |
| 17 | EXISTING WOOD FENCE TO REMAIN | | |
| 18 | DEMOLISH (E) HVAC UNIT | | |

EXTERIOR FINISH LEGEND

- | | |
|----|---|
| G1 | (E) GLAZING
W/ WOOD FRAME & SASH |
| G2 | (N) GLAZING
CLEAR TEMPERED GLASS W/ WOOD FRAME & SASH |
| M1 | (N) PAINTED METAL
PAINTED STEEL OR ALUMINUM |
| P1 | PAINTED WOOD - SIDING
MATCH EXISTING COLOR & FINISH |
| P2 | PAINTED WOOD - DOOR & WINDOW TRIM; SIDING TRIM
MATCH EXISTING COLOR & FINISH |
| P3 | PAINTED WOOD - CORNICE, FASCIA, & SOFFIT
MATCH EXISTING COLOR & FINISH |
| P4 | PAINTED WOOD - DECKING
MATCH EXISTING COLOR & FINISH |
| W1 | (N) STAINED WOOD - SIDING & FENCING |
| W2 | (N) STAINED WOOD - DOOR & WINDOW FRAME & SASH |
| W3 | (N) STAINED WOOD - DECKING |

SEE SHEET A3.00 - ARCHITECTURAL MATERIAL BOARD FOR MORE INFO.



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PALO ALTO,
CALIFORNIA 94301

ISSUANCE:
HRB PLANNING SUBMISSION 01.26.2024
PLANNING SUBMISSION 08.15.2024

SHEET REVISIONS:		
NO.	DESCRIPTION	DATE
1	PLANNING REV. #1	04.17.2025

DRAWING CONTENT
**WEST EXTERIOR
ELEVATIONS - EXISTING
& PROPOSED**

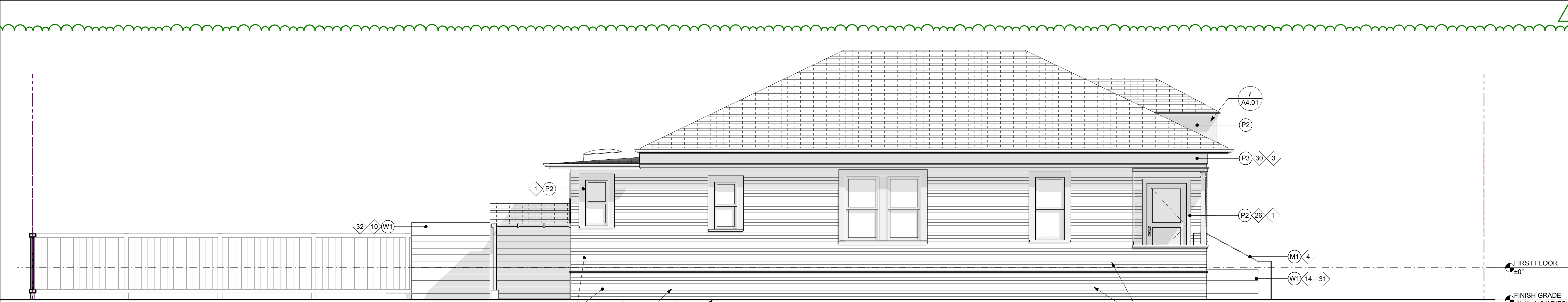
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2314.03
SCALE:
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DH
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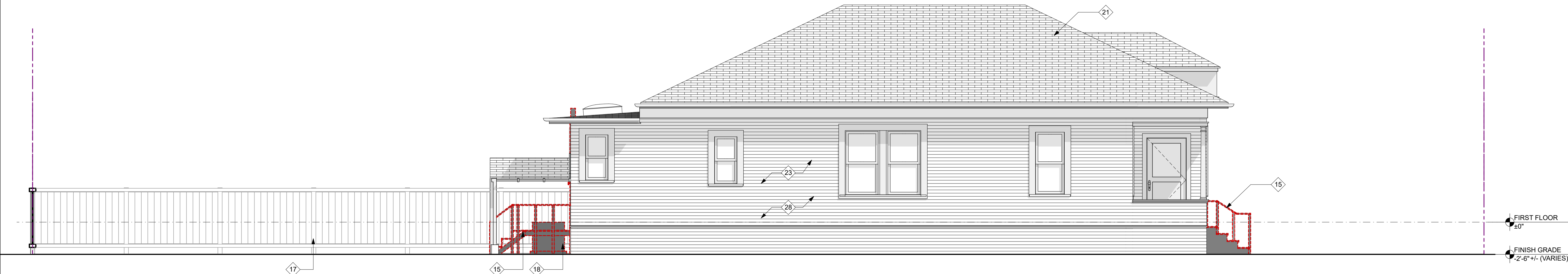
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WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

2



WEST ELEVATION - EXISTING & DEMOLITION
SCALE: 1/4" = 1'-0"

1

REHABILITATION REQUIREMENTS

A. WINDOWS AND DOORS

- EVALUATION
 - CONTRACTOR SHALL PREPARE A WINDOW AND EXTERIOR DOOR SCHEDULE IDENTIFYING ALL WINDOWS AND EXTERIOR DOORS BY NUMBER OR ALPHANUMERIC SYSTEM FOR PHYSICAL EVALUATION BY WINDOW SPECIALIST.
 - CONTRACTOR'S WINDOW SPECIALIST SHALL EVALUATE ALL WINDOWS AND DOORS REGARDING THE CRITERIA BELOW.
 - SCHEDULE SHALL INDICATE 1) WINDOW AND DOOR LOCATION WITH PHOTOGRAPHS, 2) WINDOW AND DOOR SIZE AND TYPE (DOUBLE HUNG, FIXED, CASEMENT, AWNING OR HOPPER), 3) CONDITION OF THE PAINT (FAILURE, BULSTERING, CRACKING, FLAKING AND PEELING), 4) CONDITION OF THE FRAME HEAD, JAMB, SILL, AND JOINTS, 5) CONDITION OF THE SASH OR DOOR (RAILS, STILES, JOINTS AND MUNTINS), 6) GLAZING PROBLEMS AND PUTTY (AND BACKSIDE PUTTY) CONDITION (CRACKED, LOOSE OR MISSING SECTIONS), 7) HARDWARE CONDITION (COUNTERWEIGHTS AND SASH CHORDS) AND OPERATION OF THE HARDWARE AND OPERATION OF THE WINDOW AND 8) THE OVERALL CONDITION OF THE WINDOW OR DOOR AND NOTED AS (EXCELLENT, FAIR, POOR).
 - ALL WINDOWS AND DOORS SHALL BE INSPECTED TO TEST FOR DRYROT OR WOOD DAMAGE WITH AN AWL OR OTHER TOOL AND CONDITION OF THE WOOD NOTED IN THE SCHEDULE.
 - THE SCHEDULE PREPARED BY THE CONTRACTOR AND CONTRACTOR'S SPECIALIST SHALL BE SUBMITTED TO THE ARCHITECT.
- REPAIR
 - WINDOWS AND DOORS SHALL BE REPAIRED IN ACCORDANCE WITH PRESERVATION BRIEF 9, THE REPAIR OF HISTORIC WOODEN WINDOWS AND PRESERVATION BRIEF 10, PAINT REMOVAL FROM HISTORIC WOODWORK BOTH PUBLISHED BY THE US DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE CULTURAL RESOURCES.
 - REPAIR REQUIREMENTS TO BRING EACH WINDOW OR DOOR TO "LIKE NEW" CONDITION BASED ON THE PREVIOUS EVALUATION SHALL BE NOTED AS EITHER:
 - CLASS I: ROUTINE MAINTENANCE
 - REPAIR OF SASH (INCLUDING REGLAZING WHERE NECESSARY), 3) REPAIRS TO THE FRAME, 4) REPAIRS TO OPERATING HARDWARE SUCH AS HINGES, LATCHES, SASH CHAINS OR CHORDS, WEATHERSTRIPPING AND REINSTALLATION OF THE SASH, AND 5) REPAINTING. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING, HANDLING AND ABATEMENT.
 - CLASS II: STABILIZATION
 - REQUIRES ROUTINE MAINTENANCE DESCRIBED ABOVE AND 1) PARTIALLY DECAYED WOOD TO BE WATERPROOFED, PATCHED, BUILT-UP OR CONSOLIDATED AND THEN PAINTED TO ACHIEVE A GOOD APPEARANCE.
 - CLASS III: SPLICES AND PARTS REPLACEMENT
 - REQUIRES ROUTINE MAINTENANCE AND STABILIZATION DESCRIBED ABOVE AND 1) REPLACING DETERIORATED PARTS AND PIECES WITH NEW MATCHING (SPECIES AND SHAPE/PROFILE) OR SPLICING NEW WOOD INTO EXISTING WOOD MEMBERS. NECESSARY REPAIRS SHOULD BE MADE "IN PLACE" IF POSSIBLE, USING STABILIZATION AND SPLICING TECHNIQUES. IF REMOVAL IS NECESSARY GREAT CARE SHALL BE TAKEN TO AVOID FURTHER DAMAGE TO THE WINDOW OR DOOR. NEW FRAMES AND SASH SHALL MATCH THE SPECIES AND BE A DUPLICATE OF THE EXISTING WINDOW OR DOOR. THE NEW WORK SHALL MATCH THE OLD IN MATERIAL, DESIGN, SCALE, COLOR AND FINISH. TECHNICAL PRESERVATION SERVICES RECOMMENDS THE RETENTION AND REPAIR OF ORIGINAL WINDOWS WHENEVER POSSIBLE.

B. ENTRANCES AND PORCHES

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 - CONTRACTOR SHALL EVALUATE ENTRANCES AND PORCHES TO DETERMINE THE CONDITION OF THE STAIRS (STRINGERS, TREADS AND RISERS), HANDRAILS AND RAILINGS, PILASTERS, COLUMNS, WALL CAPS, DECKING AND CEILINGS AND SHALL PREPARE DRAWINGS INDICATING WHERE WOOD OR FINISH IS DAMAGED OR DETERIORATED AND SUBMIT TO THE ARCHITECT.
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C. WOOD: SIDING, CLAPBOARD, SHINGLES and OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

- EVALUATION
 - CONTRACTOR SHALL EVALUATE SIDING, CLAPBOARD, SHINGLES, CORNICES, GUTTERS, BRACKETS, BELT COURSES, EXPOSED RAFTER TAILS AND BARGE RAFTERS, WINDOW AND DOOR CASINGS AND SURROUNDS TO DETERMINE THEIR CONDITION AND FINISH AND SHALL PREPARE DRAWINGS INDICATING WHERE WOOD OR FINISH IS DAMAGED OR DETERIORATED AND SUBMIT TO THE ARCHITECT.
- REPAIR
 - SIDING, CLAPBOARD, SHINGLES, CORNICES, GUTTERS, BRACKETS, BELT COURSES, EXPOSED RAFTER TAILS AND BARGE RAFTERS, WINDOW AND DOOR CASINGS AND SURROUNDS SHALL BE REPAIRED AND REHABILITATED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS.
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ELEVATION KEYNOTES

- | | | | |
|----|---|----|---|
| 1 | SEE REHABILITATION REQUIREMENTS A, WINDOW AND DOORS, TYP. | 19 | DEMOLISH EXISTING GATE & FENCE |
| 2 | SEE REHABILITATION REQUIREMENT B, PORCHES AND ENTRANCES, TYP. | 20 | DEMOLISH EXISTING NONHISTORIC SIDING |
| 3 | SEE REHABILITATION REQUIREMENT C, WOOD SIDING, CLAPBOARD AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS, TYP. | 21 | EXISTING SHINGLE ROOFING TO REMAIN, TYP. |
| 4 | NEW METAL HANDRAIL TO COMPLY WITH CBC11B-505 | 22 | DEMOLISH EXISTING DOOR |
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| 17 | EXISTING WOOD FENCE TO REMAIN | | |
| 18 | DEMOLISH (E) HVAC UNIT | | |

EXTERIOR FINISH LEGEND

- | | |
|----|---|
| G1 | (E) GLAZING
W/ WOOD FRAME & SASH |
| G2 | (N) GLAZING
CLEAR TEMPERED GLASS W/ WOOD FRAME & SASH |
| M1 | (N) PAINTED METAL
PAINTED STEEL OR ALUMINUM |
| P1 | PAINTED WOOD - SIDING
MATCH EXISTING COLOR & FINISH |
| P2 | PAINTED WOOD - DOOR & WINDOW TRIM; SIDING TRIM
MATCH EXISTING COLOR & FINISH |
| P3 | PAINTED WOOD - CORNICE, FASCIA, & SOFFIT
MATCH EXISTING COLOR & FINISH |
| P4 | PAINTED WOOD - DECKING
MATCH EXISTING COLOR & FINISH |
| W1 | (N) STAINED WOOD - SIDING & FENCING |
| W2 | (N) STAINED WOOD - DOOR & WINDOW FRAME & SASH |
| W3 | (N) STAINED WOOD - DECKING |

SEE SHEET A3.00 - ARCHITECTURAL MATERIAL BOARD FOR MORE INFO.

Date: 4/18/25
Filename: 251403-411.kipling

SHEET REVISIONS:		
NO.	DESCRIPTION	DATE
1	PLANNING REV. #1	04.17.2025

DRAWING CONTENT
**EAST EXTERIOR
ELEVATIONS - EXISTING
& PROPOSED**

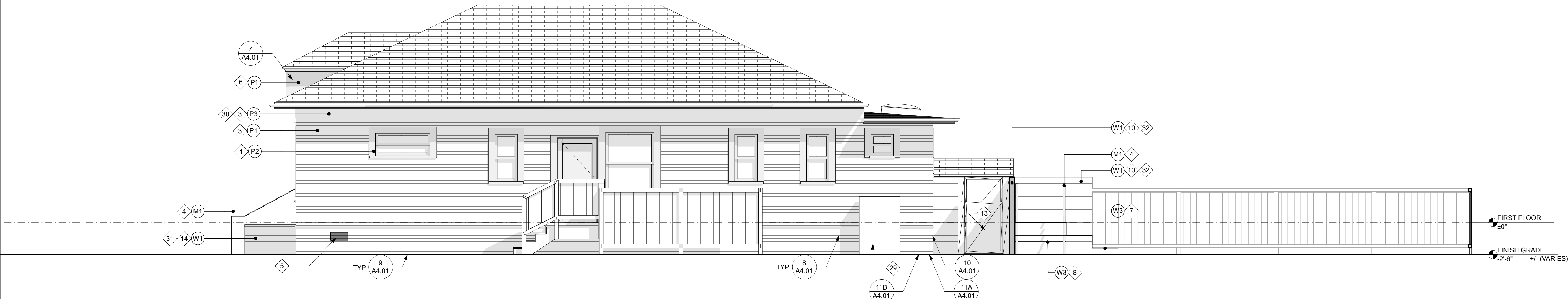
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JOB NUMBER:
2314.03
SCALE:
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DRAWN BY:
DH
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DRAWING NUMBER

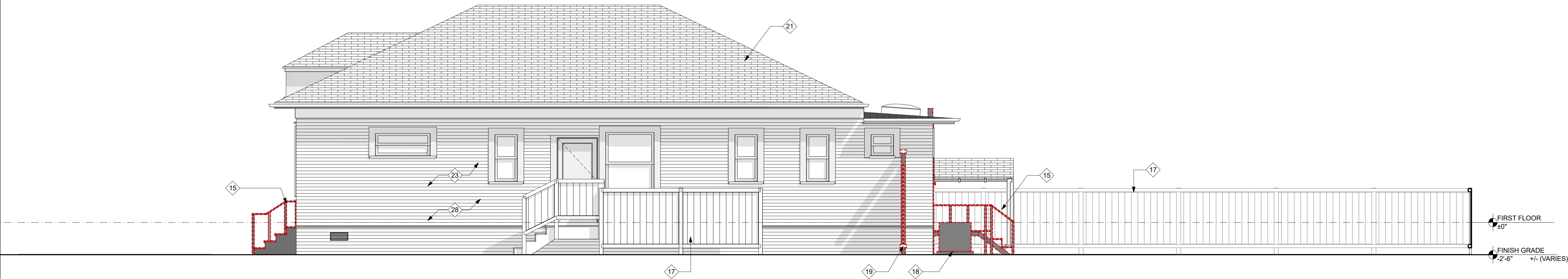
A3.03



EAST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

2



EAST ELEVATION - EXISTING & DEMOLITION

SCALE: 1/4" = 1'-0"

1

REHABILITATION REQUIREMENTS

A. WINDOWS AND DOORS

- EVALUATION
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 - REPAIR REQUIREMENTS TO BRING EACH WINDOW OR DOOR TO "LIKE NEW" CONDITION BASED ON THE PREVIOUS EVALUATION SHALL BE NOTED AS EITHER:
 - ROUTINE MAINTENANCE
 - REPAIR OF SASH (INCLUDING REGLAZING WHERE NECESSARY), 3) REPAIRS TO THE FRAME, 4) REPAIRS TO OPERATING HARDWARE SUCH AS HINGES, LATCHES, SASH CHAINS OR CHORDS, WEATHERSTRIPPING AND REINSTALLATION OF THE SASH AND 5) REPAINTING. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING, HANDLING AND ABATEMENT.
 - STABILIZATION
 - REQUIRES ROUTINE MAINTENANCE DESCRIBED ABOVE AND 1) PARTIALLY DECAYED WOOD TO BE WATERPROOFED, PATCHED, BUILT-UP OR CONSOLIDATED AND THEN PAINTED TO ACHIEVE A GOOD APPEARANCE.
 - SPLICING AND PARTS REPLACEMENT
 - REQUIRES ROUTINE MAINTENANCE AND STABILIZATION DESCRIBED ABOVE AND 1) REPLACING DETERIORATED PARTS AND PIECES WITH NEW MATCHING (SPECIES AND SHAPE/PROFILE) OR SPLICING NEW WOOD INTO EXISTING WOOD MEMBERS. NECESSARY REPAIRS SHOULD BE MADE "IN PLACE" IF POSSIBLE, USING STABILIZATION AND SPLICING TECHNIQUES. IF REMOVAL IS NECESSARY GREAT CARE SHALL BE TAKEN TO AVOID FURTHER DAMAGE TO THE WINDOW OR DOOR. NEW FRAMES AND SASH SHALL MATCH THE SPECIES AND BE A DUPLICATE OF THE EXISTING WINDOW OR DOOR. THE NEW WORK SHALL MATCH THE OLD IN MATERIAL, DESIGN, SCALE, COLOR AND FINISH. TECHNICAL PRESERVATION SERVICES RECOMMENDS THE RETENTION AND REPAIR OF ORIGINAL WINDOWS WHENEVER POSSIBLE.

B. ENTRANCES AND PORCHES

- EVALUATION
 - CONTRACTOR SHALL EVALUATE ENTRANCES AND PORCHES TO DETERMINE THE CONDITION OF THE STAIRS (STRINGERS, TREADS AND RISERS), HANDRAILS AND RAILINGS, PILASTERS, COLUMNS, WALL CAPS, DECKING AND CEILINGS AND SHALL PREPARE DRAWINGS INDICATING WHERE WOOD OR FINISH IS DAMAGED OR DETERIORATED AND SUBMIT TO THE ARCHITECT.
- REPAIR
 - ENTRANCES AND PORCHES SHALL BE REPAIRED AND REHABILITATED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS.
 - PROTECT AND MAINTAIN THE WOOD AND METALS WHICH COMPRISE ENTRANCES AND PORCHES THROUGH APPROPRIATE SURFACE TREATMENTS, SUCH AS CLEANING, PAINT REMOVAL, AND THE REAPPLICATION OF COATING SYSTEMS. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING, HANDLING AND ABATEMENT.
 - REPAIR ENTRANCES AND PORCHES BY PATCHING, SPLICING, CONSOLIDATING, AND OTHERWISE REINFORCING THEM USING RECOGNIZED PRESERVATION MEASURES. REPAIR MAY INCLUDE THE LIMITED REPLACEMENT IN KIND (SPECIES AND DESIGN) OF THOSE EXTENSIVELY DETERIORATED FEATURES OR MISSING COMPONENTS OF FEATURES WHEN THERE ARE SURVIVING PROTOTYPES, SUCH AS BALUSTRADES, COLUMNS AND STAIRS.

C. WOOD: SIDING, CLAPBOARD, SHINGLES and OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

- EVALUATION
 - CONTRACTOR SHALL EVALUATE SIDING, CLAPBOARD, SHINGLES, CORNICES, GUTTERS, BRACKETS, RAFTER TAILS AND BARGE RAFTERS. WINDOW AND DOOR CASINGS AND SURROUNDS SHALL BE REPAIRED AND REHABILITATED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS.
 - PROTECT AND MAINTAIN THE WOOD WHICH THROUGH APPROPRIATE SURFACE TREATMENTS, SUCH AS CLEANING, PAINT REMOVAL, AND THE REAPPLICATION OF COATING SYSTEMS. REMOVE DAMAGED OR DETERIORATED PAINT TO THE NEXT SOUND LAYER USING THE GENTLEST METHOD POSSIBLE (HAND SCRAPPING AND HAND SANDING PRIOR TO REPAINTING. USE CHEMICAL STRIPPERS PRIMARILY TO SUPPLEMENT OTHER METHODS SUCH AS HAND SCRAPPING, HAND SANDING AND THERMAL DEVICES. USE BIODEGRADABLE OR ENVIRONMENTALLY SAFE CLEANING OR PAINT-REMOVAL PRODUCTS. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING, HANDLING AND ABATEMENT.
 - REPAIR ENTRANCES AND PORCHES BY PATCHING, SPLICING, CONSOLIDATING, AND OTHERWISE REINFORCING THEM USING RECOGNIZED PRESERVATION MEASURES. REPAIR MAY INCLUDE THE LIMITED REPLACEMENT IN KIND (SPECIES AND DESIGN) OF THOSE EXTENSIVELY DETERIORATED FEATURES OR MISSING COMPONENTS OF FEATURES WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS BRACKETS, MOLDING OR SECTIONS OF SIDING OR WHEN REPLACEMENT CAN BE BASED ON DOCUMENTARY OR PHYSICAL EVIDENCE. THE NEW WORK SHALL MATCH THE OLD IN MATERIAL, DESIGN, SCALE, COLOR AND FINISH.

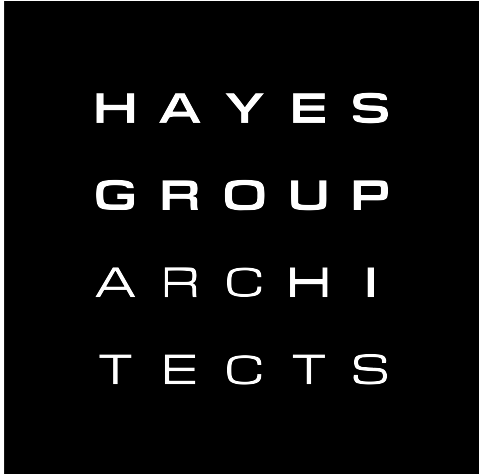
ELEVATION KEYNOTES

- | | | | |
|----|---|----|---|
| 1 | SEE REHABILITATION REQUIREMENTS A, WINDOW AND DOORS, TYP. | 19 | DEMOLISH EXISTING GATE & FENCE |
| 2 | SEE REHABILITATION REQUIREMENT B, PORCHES AND ENTRANCES, TYP. | 20 | DEMOLISH EXISTING NONHISTORIC SIDING |
| 3 | SEE REHABILITATION REQUIREMENT C, WOOD SIDING, CLAPBOARD AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS, TYP. | 21 | EXISTING SHINGLE ROOFING TO REMAIN, TYP. |
| 4 | NEW METAL HANDRAIL TO COMPLY WITH CBC11B-505 | 22 | DEMOLISH EXISTING DOOR |
| 5 | REMOVE EXISTING METAL VENT AND REPLACE IN KIND | 23 | ALL EXISTING ELEMENTS TO REMAIN, TYP. U.O.N. SEE BUILDING REFERENCE PHOTOS ON SHEET A4.01 FOR MORE INFORMATION |
| 6 | REPLACE EXISTING SIDING ON SIDEWALLS, SEE REHABILITATION REQUIREMENT C | 24 | EXISTING SIDING, TYP. |
| 7 | NEW TIERED WOOD DECK | 25 | EXISTING TRIM, TYP. |
| 8 | NEW STAIR | 26 | EXISTING COLUMN, TYP. |
| 9 | NEW WOOD GATE | 27 | EXISTING DECKING |
| 10 | NEW WOOD FENCE | 28 | EXISTING EXPOSED WIRES AND CABLES TO BE INVESTIGATED AS TO THEIR FUNCTION AND / OR IF THEY HAVE BEEN ABANDONED, REMOVE ABANDONED WIRES AND CABLES AS REQUIRED, TYP. |
| 11 | NEW DOOR | 29 | NEW HVAC UNIT |
| 12 | NEW WOOD WINDOW W/ (G2) GLAZING | 30 | EXISTING CORNICE |
| 13 | NEW PLATFORM LIFT TO COMPLY WITH CBC11B-410 | 31 | 1x4 SHIPLAP SIDING |
| 14 | NEW CHEEK WALLS | 32 | 1x4 FENCING W/ 1/2" GAPS |
| 15 | DEMOLISH (E) STAIRCASE & RAILINGS | 33 | NEW PAVING, SEE PLAN |
| 16 | DEMOLISH (E) NON-HISTORIC ALUMINUM WINDOWS | 34 | EXISTING GRADE |
| 17 | EXISTING WOOD FENCE TO REMAIN | | |
| 18 | DEMOLISH (E) HVAC UNIT | | |

EXTERIOR FINISH LEGEND

- | | |
|----|---|
| G1 | (E) GLAZING
W/ WOOD FRAME & SASH |
| G2 | (N) GLAZING
CLEAR TEMPERED GLASS W/ WOOD FRAME & SASH |
| M1 | (N) PAINTED METAL
PAINTED STEEL OR ALUMINUM |
| P1 | PAINTED WOOD - SIDING
MATCH EXISTING COLOR & FINISH |
| P2 | PAINTED WOOD - DOOR & WINDOW TRIM; SIDING TRIM
MATCH EXISTING COLOR & FINISH |
| P3 | PAINTED WOOD - CORNICE, FASCIA, & SOFFIT
MATCH EXISTING COLOR & FINISH |
| P4 | PAINTED WOOD - DECKING
MATCH EXISTING COLOR & FINISH |
| W1 | (N) STAINED WOOD - SIDING & FENCING |
| W2 | (N) STAINED WOOD - DOOR & WINDOW FRAME & SASH |
| W3 | (N) STAINED WOOD - DECKING |

SEE SHEET A3.00 - ARCHITECTURAL MATERIAL BOARD FOR MORE INFO.



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ISSUANCE:
PLANNING REV. #1 04.04.2025

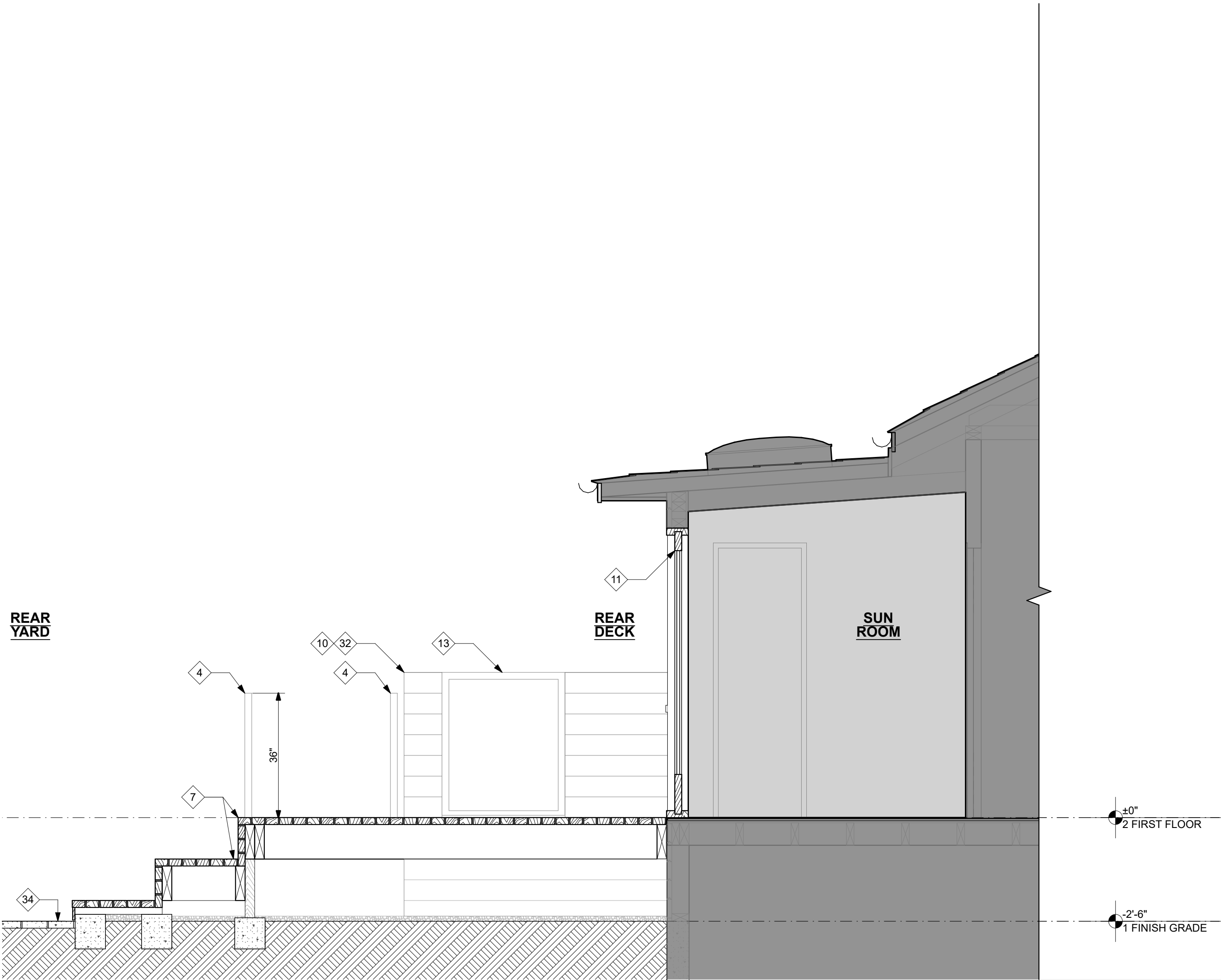
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NO.	DESCRIPTION	DATE
1	PLANNING REV. #1	04.04.2025

DRAWING CONTENT
BUILDING SECTIONS



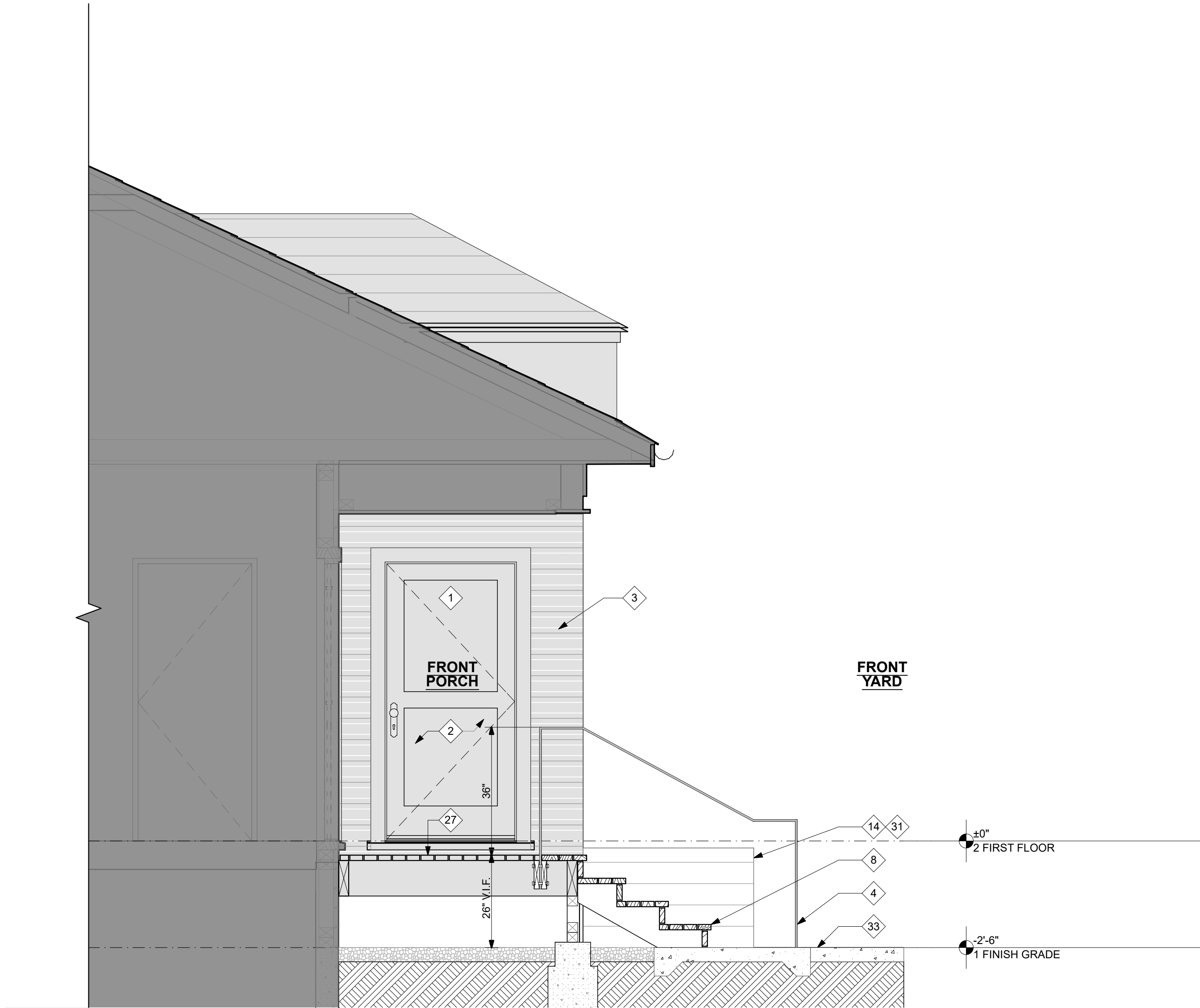
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2314.03
SCALE:
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BUILDING SECTION AT GRIDLINE X.X
SCALE: 1/2" = 1'-0"

2



BUILDING SECTION AT GRIDLINE X.X
SCALE: 1/2" = 1'-0"

1

SECTION KEYNOTES

- | | |
|---|---|
| 1 SEE REHABILITATION REQUIREMENTS A , WINDOW AND DOORS, TYP. | 19 DEMOLISH EXISTING GATE & FENCE |
| 2 SEE REHABILITATION REQUIREMENT B , PORCHES AND ENTRANCES, TYP. | 20 DEMOLISH EXISTING NONHISTORIC SIDING |
| 3 SEE REHABILITATION REQUIREMENT C , WOOD SIDING, CLAPBOARD AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS, TYP. | 21 EXISTING SHINGLE ROOFING TO REMAIN, TYP. |
| 4 NEW METAL HANDRAIL TO COMPLY WITH CBC11B-505 | 22 DEMOLISH EXISTING DOOR |
| 5 REMOVE EXISTING METAL VENT AND REPLACE IN KIND | 23 ALL EXISTING ELEMENTS TO REMAIN, TYP. U.O.N. SEE BUILDING REFERENCE PHOTOS ON SHEET A4.01 FOR MORE INFORMATION |
| 6 REPLACE EXISTING SIDING ON SIDEWALLS, SEE REHABILITATION REQUIREMENT C | 24 EXISTING SIDING, TYP. |
| 7 NEW TIERED WOOD DECK | 25 EXISTING TRIM, TYP. |
| 8 NEW STAIR | 26 EXISTING COLUMN, TYP. |
| 9 NEW WOOD GATE | 27 EXISTING DECKING |
| 10 NEW WOOD FENCE | 28 EXISTING EXPOSED WIRES AND CABLES TO BE INVESTIGATED AS TO THEIR FUNCTION, AND / OR IF THEY HAVE BEEN ABANDONED, REMOVE ABANDONED WIRES AND CABLES AS REQUIRED, TYP. |
| 11 NEW DOOR | 29 NEW HVAC UNIT |
| 12 NEW WOOD WINDOW W/ (G2) GLAZING | 30 EXISTING CORNICE |
| 13 NEW PLATFORM LIFT TO COMPLY WITH CBC11B-410 | 31 1x4 SHIPLAP SIDING |
| 14 NEW CHEEK WALLS | 32 1x4 FENCING W/ 1/2" GAPS |
| 15 DEMOLISH (E) STAIRCASE & RAILINGS | 33 NEW PAVING, SEE PLAN |
| 16 DEMOLISH (E) NON-HISTORIC ALUMINUM WINDOWS | 34 EXISTING GRADE |
| 17 EXISTING WOOD FENCE TO REMAIN | |
| 18 DEMOLISH (E) HVAC UNIT | |

EXTERIOR FINISH LEGEND

- | | |
|------|--|
| (G1) | (E) GLAZING
W/ WOOD FRAME & SASH |
| (G2) | (N) GLAZING
CLEAR TEMPERED GLASS W/ WOOD FRAME & SASH |
| (M1) | (N) PAINTED METAL
PAINTED STEEL OR ALUMINUM |
| (P1) | PAINTED WOOD - SIDING
MATCH EXISTING COLOR & FINISH |
| (P2) | PAINTED WOOD - DOOR & WINDOW TRIM; <u>SIDING TRIM</u>
MATCH EXISTING COLOR & FINISH |
| (P3) | PAINTED WOOD - CORNICE, FASCIA, & SOFFIT
MATCH EXISTING COLOR & FINISH |
| (P4) | PAINTED WOOD - DECKING
MATCH EXISTING COLOR & FINISH |
| (W1) | (N) STAINED WOOD - <u>SIDING & FENCING</u> |
| (W2) | (N) STAINED WOOD - DOOR & WINDOW FRAME & SASH |
| (W3) | (N) STAINED WOOD - DECKING |

SEE SHEET A3.00 - ARCHITECTURAL MATERIAL BOARD FOR MORE INFO.

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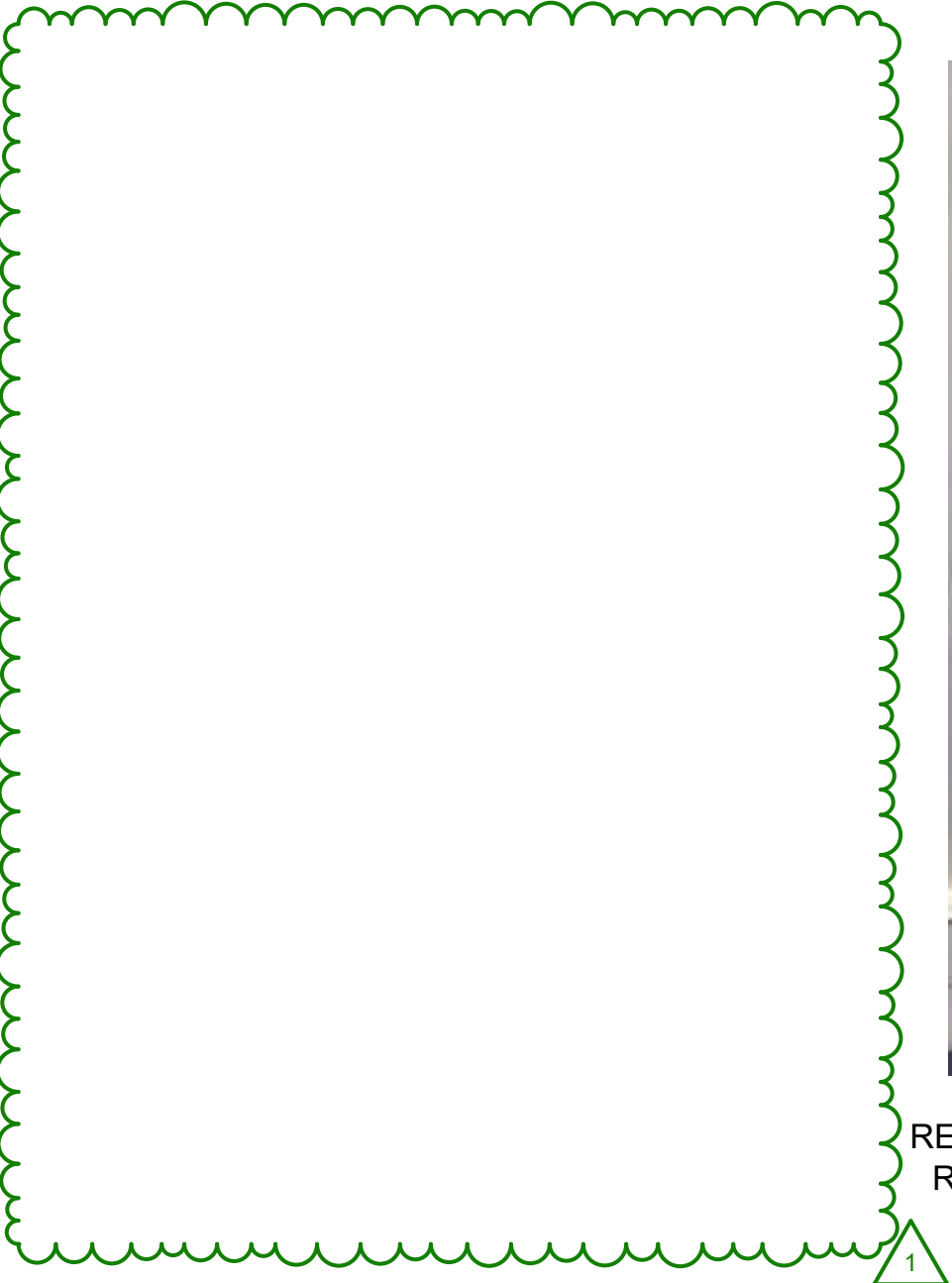
11B
PATCH AND SACK EXPOSED CONCRETE
FOUNDATION



11A
PATCH AND SACK EXPOSED CONCRETE
FOUNDATION



8
REPAIR /PATCH ANY DEFECTS IN ORIGINAL
SIDING



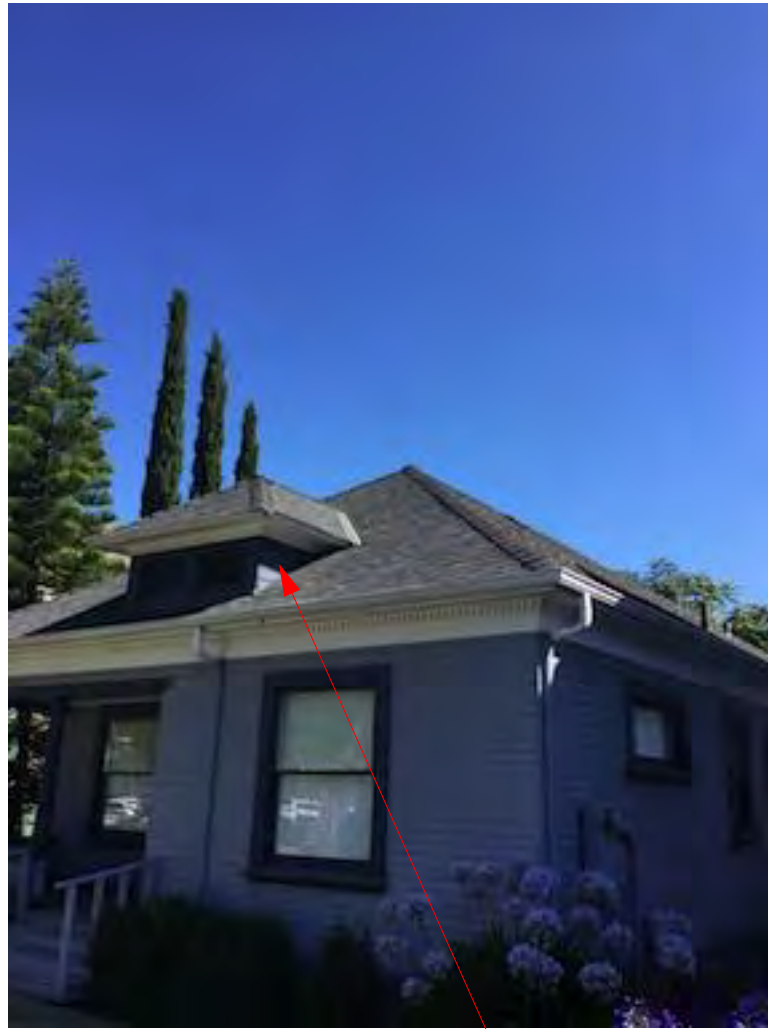
3B
REMOVE LARGER UNORIGINAL LIGHT FIXTURE &
REPLACE GLOBE OF SMALLER ORIGINAL LIGHT
FIXTURE



3A
REMOVE LARGER UNORIGINAL LIGHT FIXTURE &
REPLACE GLOBE OF SMALLER ORIGINAL LIGHT
FIXTURE



10
REPAIR /PATCH ANY DEFECTS IN ORIGINAL SIDING
ADD CORNER TRIM WHERE NECESSARY



7
REPAIR / REPLACE IN KIND ORIGINAL SIDING,
BOTH SIDES OF DORMER, SEE C/A3.01 FOR
REHABILITATION REQUIREMENTS



5
REPAIR CHIPS IN WOOD DOOR SILL



2B
REPAIR /REMOVE/ REPLACE DAMAGED AND/
OR UNORIGINAL SIDING, TRIM & DECKING



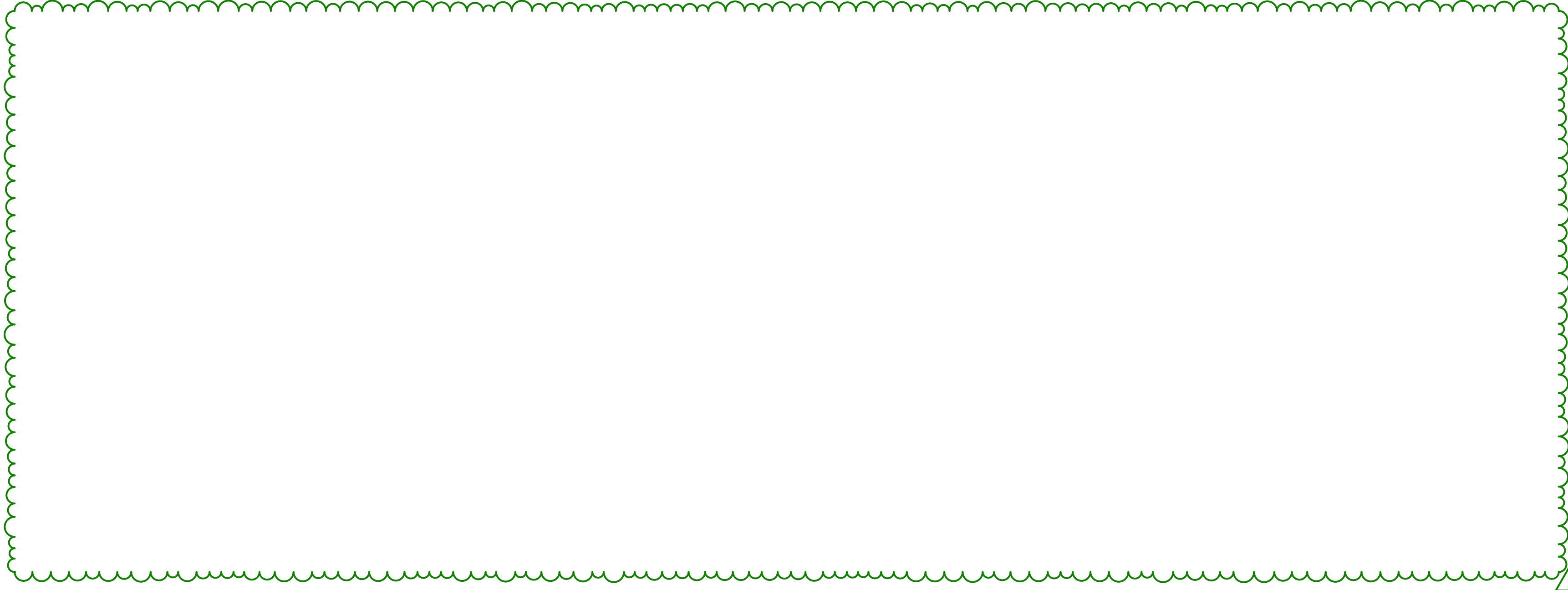
2A
REPAIR /REMOVE/ REPLACE DAMAGED AND/
OR UNORIGINAL SIDING, TRIM & DECKING



12
REMOVE UNORIGINAL SIDING, REPLACE TO
MATCH ORIGINAL, TYP



9
MODIFY GRADE FROM CONTACTING ANY
WOOD BUILDING SURFACE, TYP



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PERSPECTIVES**

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REAR VIEW
SCALE: NTS

4



FRONT VIEW
SCALE: NTS

2



REAR VIEW
SCALE: NTS

3



FRONT VIEW
SCALE: NTS

1