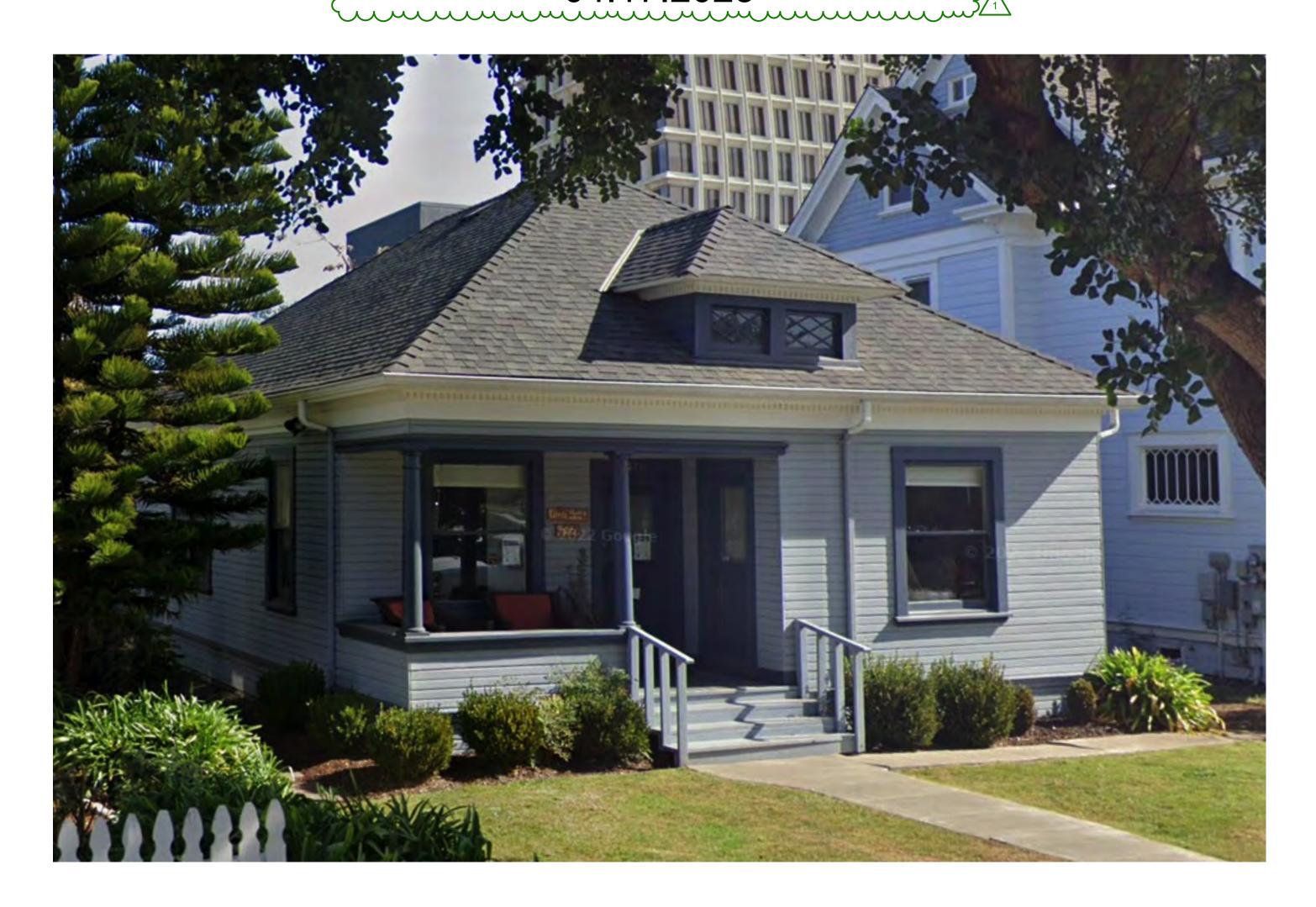
# 411 KIPLING STREET PALO ALTO, CALIFORNIA

PLANNING SUBMISSION REV. #1 04.17.2025



	OWNER: MR. JOHN SHENK THOITS BROS., INC.					APN:	120-15-023	PROJECT DI
	629 EMERSON STREET				ZONING:	CD-C (P)		
	PALO ALTO, CA, 94301 650.323.4868 PH					FLOOD ZONE:	X	
	ARCHITECT: HAYES GROUP ARCHITECTS, INC.					HISTORIC:	CATEGORY 2	
	2657 SPRING STREET REDWOOD CITY, CA 94063					OCCUPANCY:	В	
		.365.0600 PH .365.0670 FAX				CONSTRUCTION TYPE:	V-B	
	GENERAL ZONING COMPLIANCE						2022 CALIFORNIA HISTORIC BUILDING CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING CODE ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS & REGULATIONS	
-	DEVELOPMENT STANDARDS SUMMARY					GREEN BUILDING:	PROJECT VALUATION <\$200,000 - CALGREEN MANDATORY EXEMPT. ENERGY STAR PORTFOLIO MANAGER PROFILE	
-		EXISTING	PROPOSED	ALLOWED	COMPLIES		CREATED. SEE SHEET A0.05 FOR MORE INFORMATION.	}
<b>-</b>	SITE AREA:	4,500 SF	-	-	-	FIRE SPRINKLERS:	NON SPRINKLERED	3
<b>.</b>	FLOOR AREA (F.A.R.):	1,533 SF (0.34:1)	1,533 SF (0.34:1)	4,500 SF (1.0:1)	YES	TRASH/RECYCLING:	EXISTING (NO CHANGE)	}
<b>-</b>	SITE COVERAGE:	1,459 SF (32%)	1,692 SF (38%)	4,500 SF (100%)	YES	PARKING:	NONE PROVIDED OR REQUIRED.	3
		EXISTING	PROPOSED	REQUIRED	COMPLIES			3
	FRONT YARD:	21'-6"	21'-6"	NONE	YES			3
0.1	REAR YARD:	35'-5 1/2"	27'-4 1/2"	NONE	YES			}
3	SIDE YARD:	4'-2"	4'-2"	NONE	YES			2

PROJECT INFORMATION

PROJECT TEAM

PROJECT DESCRIPTION F DESCRIPTION ACCESSIBILITY UPGRADES AND REHABILITATION OF EXISTING CATEGORY 2 HISTORIC STRUCTURE. ACCESSIBLE UPGRADES INCLUDE: 1. ACCESSIBLE PATH FROM PUBLIC SIDEWALK TO NEW LIFT FOR ACCESS TO THE MAIN FLOOR. COMPLIES WITH CALIFORNIA HISTORIC BUILDING CODE §8-603 ALTERNATIVES, §8-603.2 ENTRY. 2. ACCESSIBLE HANDRAILS AND STAIRS AT FRONT 3. ACCESSIBLE HANDRAILS AND STAIRS AT NEW REAR THE WORK INCLUDES INSPECTION OF WINDOWS, DOORS, SIDING, ARCHITECTURAL DETAILS SUCH AS BELT COURSES, DECORATIVE COLUMNS, CASINGS, PORCHES, EXTERIOR STAIRS, SHINGLES AND SIDING, IDENTIFICATION OF ROTTED OR DAMAGED FEATURES AND REPLACEMENT IN KIND TO MATCH THE EXISTING CONSTRUCTION. THE BUILDING WILL BE ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS (36 CFR §67.7). PURSUANT TO PAMC 18.18.070(a)(3) REGARDING FLOOR AREA BONUSES FOR HISTORIC REHABILITATION, THIS IS ALSO AN APPLICATION FOR BONUS FLOOR AREA. NO EXPANSION OF FLOOR AREA IS PROPOSED.

**VICINITY MAP** 

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	_	
Y	GENERAL	
	A0.01	COVER SHEET
	A0.02	GENERAL PROJECT NOTES, SYMBOLS AND LIST OF ABBREVIATIONS
	A0.03	PROJECT REQUIREMENTS
	<b>C</b> A0.04	NOT USED
X	A0.05	GREEN BUILDING
	A0.06	PALO ALTO POLLUTION PREVENTION
ģ.	A0.07	PALO ALTO T-1 TREE PROTECTION
	A0.08	EXISTING SITE PHOTOS
	ARCHITECTUR	<u>AL</u>
À	A1.01	SITE & FIRST FLOOR PLAN - EXISTING & DEMOLITION
Y	A1.02	ROOF PLAN - EXISTING
	A2.01	SITE & FIRST FLOOR PLAN - PROPOSED
1	A3.00	ARCHITECTURAL MATERIAL BOARD & PRODUCT DATA SHEET
	A3.01	EXTERIOR ELEVATIONS - NORTH & SOUTH - EXISTING & PROPOSED

EXTERIOR ELEVATIONS - WEST - EXISTING & PROPOSED

EXTERIOR ELEVATIONS - EAST - EXISTING & PROPOSED

BUILDING SECTIONS

BUILDING REFERENCE PHOTOS

PROPOSED PERSPECTIVES

A4.01

SCALE: AS NOTED

JOB NUMBER: 2314.03

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1\ PLANNING REV. #1

DRAWING CONTENT COVER SHEET; DRAWING INDEX, VICINITY MAP, PROJECT INFORMATION & PROJECT TEAM

HAYES

GROUP

ARCHI

TECTS

HAYES GROUP ARCHITECTS,

2657 SPRING STREET REDWOOD CITY, CA 94063 P. 650.365.0600 F. 650.365.0670

**411 KIPLING STREET** 

CALIFORNIA 94301

HRB PLANNING SUBMISSION

SHEET REVISIONS:

04.17.2025

www.thehayesgroup.com

PROJECT ADDRESS:

PALO ALTO,

ISSUANCE:



	CAL GREEN NOTES	SYMBOL LEGEND	TYPICAL ABBREVIATIONS	
	FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH SECTION 5.504.4.1 THROUGH 5.504.4.8 OF 2022 CALGREEN CODE.  1. ADHESIVES, SEALANTS, CAULKS. ADHESIVES AND SEALANTS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS.  2. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2.  3. AEROSOL ADHESIVES AND SMALLER UNIT SIZES OF ADHESIVES AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.  4. PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH TABLE 5.504.4.3.  5. AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES (CCR, TITLE 17, SECTION 94520 ET SEQ).  6. VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.	DOOR MARK OPENING DESIGNATION. SEE SCHEDULE ON A9.01  A WINDOW MARK. SEE SCHEDULE ON SHEET A9.10  KEY NOTES  P PROPERTY LINE, TOP OF PLATE  DETAIL NUMBER SHEET NUMBER  DIMENSION POINT-TO F.O.F U.O.N.  DIMENSION POINT-TO F.O.S. OR C  MATCH LINE SHADED PORTION IS SIDE CONSIDERED	A.C.         ASPHALTIC CONCRETE         M.B.         MA           ACOUS.         ACOUSTICAL         M.C.         ME           A.D.         AREA DRAIN         MECH.         ME           ADJ.         ADJUSTABLE         MED.         ME           A.F.F.         ABOVE FINISHED FLOOR         MEMB.         ME           A.F.F.         ABOVE FINISHED FLOOR         MEMB.         ME           AGGR.         AGGREGATE         MEZZ.         ME           AL.         ALUMINUM         MFR.         MA           ALT.         ALTERNATE         M.H.         MA           APPROX.         APPROXIMATE         M.I.         MA           ARCH.         ARCHITECTURAL         MIN.         MIR.           ASPHALT         MIR.         MIR.         MIR.           BD.         BOARD         M.O.         MA           BET.         BETWEEN         MTD.         MC           BITUM.         BITUMINOUS         MTL.         ME           BLK.         BLOCK         MUL.         MUL.           BLK.         BLOCKING         N         N         NO           BN.         BULINOSE         NO. OR #         NU <th>CHINE BOLT DICINE CABINET CHANICAL DIUM MBRANE ZZANINE NUFACTURER NHOLE LLEABLE IRON MIMUM RROR SCELLANEOUS SONRY OPENING JUNTED LILION IRTH W T IN CONTRACT MBER MINAL IT TO SCALE  ER ERALL SCURE I CENTER TSIDE DIAMETER (DIM.) FICE POSITE HAND ERHEAD  HAY E S  G R O U P  A R C H I  T E C T S  HAYES GROUP ARCHITECTS, INC. 2657 SPRING STREET REDWOOD CITY, CA 94063 P. 650.365.0600 F. 650.365.0600 F. 650.365.0670 www.thehayesgroup.com  PROJECT ADDRESS: 411 KIPLING STREET PALO ALTO, CALLEOPNIA 04301</th>	CHINE BOLT DICINE CABINET CHANICAL DIUM MBRANE ZZANINE NUFACTURER NHOLE LLEABLE IRON MIMUM RROR SCELLANEOUS SONRY OPENING JUNTED LILION IRTH W T IN CONTRACT MBER MINAL IT TO SCALE  ER ERALL SCURE I CENTER TSIDE DIAMETER (DIM.) FICE POSITE HAND ERHEAD  HAY E S  G R O U P  A R C H I  T E C T S  HAYES GROUP ARCHITECTS, INC. 2657 SPRING STREET REDWOOD CITY, CA 94063 P. 650.365.0600 F. 650.365.0600 F. 650.365.0670 www.thehayesgroup.com  PROJECT ADDRESS: 411 KIPLING STREET PALO ALTO, CALLEOPNIA 04301
	7. COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 5.504.4.5 SHALL COMPLY WITH SECTION A5.504.4.7  8. RECYCLED CONTENT. USE MATERIALS W/RECYCLED CONTENT VALUE (15% MIN. BASED ON MATERIAL COST.) PER SECTION A5.405.4.	LIVING—RESIDENTIAL ROOM NUMBER  C-01—RESIDENTIAL ROOM NUMBER  CONSTRUCTION GRID LINES  ALIGN  CONSTRUCTION GRID LINES  ALIGN	CONTROL JOINT OPNG. OP  CKT. CIRCUIT OPP. OP  CLG. CEILING  CLKG. CAULKING P.D.S. PO  CLR. CLEAR P.E.N. PL.  C.M.P. CORRUGATED METAL PIPE PERF. PE  C.M.U. CONCRETE MASONRY UNIT PL. PL.  C.O. CLEANOUT OR CASED OPENING P.LAM. PL.  COL. COLUMN PLAS. PL.  CONC. CONCRETE PLYWD. PL.  CONC. CONCRETE PLYWD. PL.  CONST. CONSTRUCTION P.M.E. PA'  CONT. CONTINUOUS PR. PAI  CORR. CORRIDOR PRCST. PR  C.O.T.G. CLEAN OUT TO GRADE PREFAB. PR  CCW. COUNTERCLOCKWISE PROJ.	ENING POSITE  WER DRIVEN STUD WOOD EDGE NAILING RFORATED ATE OR PROPERTY LINE ASTIC LAMINATE ASTER WOOD TCH TO MATCH EXISTING NEL IR E-CAST EFABRICATED OJECT  OALII OINIA 94301  OALII OINIA 94301
		<ol> <li>EXISTING CONSTRUCTION DATA WAS OBTAINED IN THE FIELD BY VISUAL MEANS ONLY. DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB SITE BY EACH CONTRACTOR. ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK BEGINS OR SUPPLIES ARE ORDERED.</li> <li>SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN RELATING TO EXISTING CONSTRUCTION ARE APPROXIMATE. FIELD VERIFY ACTUAL DIMENSIONS.</li> <li>THE CONTRACTOR SHALL VERIFY ELECTRICAL, MECHANICAL PLUMBING AND FIRE ALARM REQUIREMENTS BEFORE CONSTRUCTION BEGINS. ALL DISCREPANCIES BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS SHALL BE CLARIFIED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.</li> </ol>	C.T. COLLAR TIE PT. PO C.W. COLD WATER P.T.D. PAI P.T.D.F. PR D. DRYER PTN. PAI DBL. DOUBLE P.T.R. PAI DEPT. DEPARTMENT DET. DETAIL Q.T. QU D.F. DOUGLAS FIR OR QTR. QU DIA. DIAMETER DIM. DIMENSION R. RA DISP. DISPENSER R.B. RO DN. DOWN R.C.P. RE D.O. DO OVER (DITTO) R.D. RO DR.	OPERTY INT PER TOWEL DISPENSER ESSURE TREATED DOUGLAS FIR RITITION PER TOWEL RECEPTACLE  ARRY TILE ARTER ALITY  DIUS OR RISER OF BEAM INFORCED CONCRETE PIPE OF DRAIN FERENCE FERENCE SHEET REVISIONS:
		<ol> <li>IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN OR DETAILED ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.</li> <li>WORK SHALL BE PERFORMED IN CONFORMANCE WITH LOCAL, COUNTY, STATE, AND FEDERAL CODES, LAWS AND REGULATIONS APPLICABLE TO THIS WORK,</li> <li>DEFERRED SUBMITTALS WHERE REQUIRED, SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND OR ENGINEER FOR REVIEW AND COORDINATION. SEE COVER SHEET FOR REQUIRED DEFERRED SUBMITTALS. FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND</li> </ol>	DS.         DOWNSPOUT         REFR.         RE           D.S.P.         DRY STANDPIPE         REINF.         RE           DW.         DISHWASHER         REQ'D.         RE           DWG.         DRAWING         RESIL.         RE           DWR.         DRAWER         RGTR.         RE           E.         EAST         R.H.W.S         RO           EA.         EACH         RM.         RO           EJ.         EXPANSION JOINT         R.O.         RO           EL.         ELEVATION         R.O.W.         RIC           ELCT.         ELECTRICAL         RWD.         RE           ELVR.         ELEVATOR         R.W.L.         RA           EMER.         EMERGENCY         ENCL.         ENCLOSURE         S.         SO           E.O.S         EDGE OF SLAB         S.4.S.         SU	FRIGERATOR INFORCE QUIRED SILIENT GISTER BE HOOK UND HEAD WOOD SCREW OM UGH OPENING SHT OF WAY DWOOD IN WATER LEADER  UTH RFACED 4 SIDES
		CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.  7. ANY ITEM OR WORK NOT NOTED AS "EXISTING" (E) SHALL BE NEW.  8. THE CONTRACTOR SHALL PROTECT THE AREA AND ALL NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNERS DURING THE PERIOD OF CONSTRUCTION. SECURE THE HOME WHEN THE SITE IS UNATTENDED. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, OR EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE GENERAL CONTRACTOR.	EQ.         EQUAL         S.C.         SO           EQUIP.         EQUIPMENT         S.C.D.         SE           EST.         ESTIMATE         SCHED.         SC           EXC.         EXCAVATE         S.D.         SO           EXH.         EXHAUST         SM           EXIST.OR (E)         EXISTING         SDG.         SIE           EXP.         EXPOSED OR EXPANSION         S.E.D.         SE           EXT.         EXTERIOR         SECT.         SE           SEL.         SE         SEL.         SE           FA.         FIRE ALARM         S.F.D.         SE           FAB.         FABRICATE         SH.         SH           F.A.U.         FORCED AIR UNIT         SH           F.B.         FLAT BAR         S.G.R.         SE           F.C         FACE OF CURB         SHR.         SH	EEVE ANCHOR LID CORE E CIVIL DRAWINGS HEDULE AP DISPENSER OR OKE DETECTOR DING E ELECTRICAL DRAWINGS CTION LECT E FIRE PROTECTION DRAWINGS ELF OR ELVING E GEOTECHNICAL REPORT OWER EET
		<ol> <li>THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES, AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT WRITTEN PERMISSION OF THE BUILDING DEPARTMENT. STAMPING OF THESE PLANS AND SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR TO APPROVE THE VIOLATION OF ANY LAW OR ORDINANCE.</li> <li>THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE JOB SITE. THE CONTRACTOR SHALL LEAVE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOVE IN.</li> </ol>	FDN.         FOUNDATION         SHTH.         SH           F.E.         FIRE EXTINGUISHER         SIM.         SIM.           F.E.C.         FIRE EXTINGUISHER CABINET         SL.         SK           F.F.         FINISH FLOOR         S.L.D.         SE           F.G.         FLOOR GIRDER         S.M.D.         SE           F.H.C.         FIRE HOSE CABINET         S.M.S.         SH           F.H.W.S.         FLAT HEAD WOOD SCREW         S.N.D.         SA           FIN.         FINISH         S.N.R.         SA           FIXT.         FIXTURE         S.P.D.         SE           FLASH.         FLASHING         S.P.D.         SE           FLR.         FLOOR(ING)         SPEC.         SP           FLUOR.         FLUORESCENT         SQ.         SQ           F.O.C.         FACE OF CONCRETE         S.S.D.         SE           F.O.F.         FACE OF FINISH         S.SK.         SE           F.O.H.C.         FREE OF HEART CENTER         S.STL.         ST/L	EATHING MILAR YLIGHT E LANDSCAPE DRAWINGS E MECHANICAL DRAWINGS EET METAL SCREW NITARY NAPKIN DISPENSER NITARY NAPKIN RECEPTACLE IL PIPE E PLUMBING DRAWINGS ECIFICATION(S) UARE E STRUCTURAL DRAWINGS RVICE SINK AINLESS STEEL
		<ol> <li>THE CONTRACTOR OR SUBCONTRACTORS SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE WORK. THE CONTRACTORS SHALL REQUEST ALL INSPECTIONS REQUIRED BY LOCAL GOVERNMENT AGENCIES AND COORDINATE THEIR WORK ACCORDINGLY.</li> <li>THE CONTRACTOR SHALL COORDINATE ACCESS DOOR LOCATIONS (FOR CONCEALED ITEMS) WITH APPROPRIATE TRADES AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.</li> <li>THE CONTRACTOR SHALL PROVIDE BLOCKING, BACKING AND MISCELLANEOUS FRAMING FOR ATTACHMENT OF EQUIPMENT ACCESSORIES AND OTHER ELEMENTS TO ENSURE COMPLETE CONSTRUCTION.</li> </ol>	FP.         FIREPLACE         STD.         ST           FPRF.         FIREPROOF         STL.         ST           FRMG.         FRAMING         STOR         ST           F.S.         FULL SIZE         STRUCT.         ST           (') OR FT.         FEET OR FOOT         SURF.         SU           FTG.         FOOTING         SUSP.         SU           FURN.         FURNACE         SYM.         SY           FURR.         FURRING         SYS.         SY           FUT.         FUTURE         T&B         TO           GA.         GAUGE         T&G         TO           GALV.         GALVANIZED         T.         TR           GB.         GRAB BAR         T.B.         TO           G.D.         GARBAGE DISPOSAL         T.B.D.         TO	GENERAL NOTES, SYMBOLS & LIST OF ANDARD BELL  GRAGE RUCTURAL RFACE SPEND MBOL OR SYMMETRICAL STEM  P AND BOTTOM NGUE AND GROOVE EAD WEL BAR BE DETERMINED  STAMP  GENERAL NOTES, SYMBOLS & LIST OF ABBREVIATIONS  STAMP  STAMP
		<ol> <li>THE CONTRACTOR SHALL COMPLY WITH MUNICIPAL CODE NOISE ORDINANCE REQUIREMENTS FOR WORK HOURS.</li> <li>TREE PROTECTION MEASURES, WHEN REQUIRED, SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE TREE PROTECTION PLAN AND ARBORIST REPORT WHEN PROVIDED, SEE A0.07</li> <li>SPECIAL INSPECTION, WHEN REQUIRED, IS IN ADDITION TO ALL REQUIRED CITY / COUNTY INSPECTION. SEE STRUCTURAL DRAWINGS FOR SPECIAL INSPECTION REQUIREMENTS. STRUCTURAL OBSERVATION BY THE ENGINEER OF RECORD, WHEN REQUIRED, SHALL BE COMPLETED PRIOR TO CITY / COUNTY INSPECTION. NOTIFY OWNER AT LEAST 48 HOURS IN ADVANCE.</li> </ol>	G.L.B. GLUED LAMINATED BEAM THK. TH GND. GROUND THRU TH GR. GRADE T.O.C. TO G.S.M. GALVANIZED SHEET METAL T.O.P. TO GYP. BD. GYPSUM BOARD T.P.H. TO HB HOSE BIB T.P.D TO H.C. HOLLOW CORE TV TEI HD. HEAD TYP. TYP. HDR. BD. HEADERBOARD HDWR. HARDWARE U.L. UN H.M. HOLLOW METAL UNFIN. UN HORIZ. HORIZONTAL U.N.O. UN HR. HOUR	LEPHONE ICK(NESS) ROUGH P OF CURB P OF PAVEMENT P OF WALL ILET PAPER HOLDER ILET PAPER DISPENSER LEVISION PICAL  DERWRITER'S LABORATORIES FINISHED LESS OTHERWISE NOTED LESS OTHERWISE NOTED
		<ul> <li>18. UPON PROJECT CLOSEOUT CONTRACTOR SHALL FURNISH ALL PRODUCT LITERATURE AND WARRANTY INFORMATION TO THE OWNERS.</li> <li>19. ANY WOOD IN CONTACT W/ CONCRETE SLAB, &amp; CONCRETE WALLS SHALL BE PRESSURE TREATED PER CODE REQUIREMENTS</li> </ul>	HT. HEIGHT HTR. HEATER V.C.T. VIN H.W. HOT WATER VERT. VE HWD. HARDWOOD VEST VE I.D. INSIDE DIAMETER (DIM.) V.G. VE I.G.U. INSULATED GLAZING UNIT V.P. VE IN.OR (") INCH V.W.A. VE INCL. INCLUDE INSUL. INSULATION W. WA INT. INTERIOR INV. INVERT W/IN JAN. JANITOR W/O WI	JOB NUMBER:  2314.03  SCALE: AS NOTED  RTICAL GRAIN NT PIPE RIFY WITH ARCHITECT  ASHING MACHINE OR WEST OR DTH TH TH THIN THOUT THOUT  INCHES AND HOR  DOB NUMBER: 2314.03  SCALE: AS NOTED  DRAWN BY: DH All drawings and written materials contained herein constitute the original & unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect.
:: 4/18/25 Name: 2314,03 411 Kipling			J.H.       JOIST HANGER       W.A.       WE         JST.       JOIST       W.C.       WA         JT.       JOINT       WD.       WC         W.H.       WA         KD.       KILN-DRIED       W.O.       WF         KIT.       KITCHEN       WP.       WA         K.O       KNOCK OUT       WR.       WA         K.P.       KICK PLATE       RE         LAM.       LAMINATE(D)       WSCT.       WA         LAV.       LAVATORY       WT.       WE         LKR.       LOCKER       W.W.F.       WE         L.S.       LAG SCREW	© Hayes Group Architects, Inc.  © Hayes Group Architects, Inc.  DRAWING NUMBER  DRAWING NUMBER   DRAWING NUMBER  ANSFORMER

The Work consists of the following:

This is an application to repair and rehabilitate a Category 2 Historic Resource pursuant to PAMC 18.18.030 b). These improvements are not considered "Alterations" as that term is defined in California Historic . Búilding Code Chapter 8-2 section 8-201 and California Building Code Chapter 2, section 202 "Alteration" These improvements are considered "Repairs" as that term is defined in California Building Code Chapter 2, section 202, section 202 "Repair". CBC 11B-101.1 says that requirements of the chapter do not apply as these improvements are not considered Alterations.

The work includes inspection of windows, doors, siding, architectural details such as belt courses, decorative columns, casings, porches, exterior stairs and exterior shingles and siding, identification of rotted or damaged features and replacement in kind to match existing construction. Buildings will be repainted.

Pursuant to PAMC 18.18.070(a)(3) regarding floor area bonuses for historic rehabilitation, this is also an application for Bonus Floor Area. No expansion of the building is proposed.

All work shall comply with the Secretary of the Interior's Standards for rehabilitation and Guidelines for Rehabilitating Historic Buildings (36 CFR§67,7)

#### **OWNER'S OCCUPANCY REQUIREMENTS**

Partial Owner Occupancy: Owner will occupy the premises during entire construction period, with the exception of areas under construction. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's operations. Maintain existing exits, unless otherwise

Owner Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed areas of building, before Substantial Completion, provided such occupancy does not interfere with completion of the Work. Such placement of equipment and partial occupancy shall not constitute acceptance of the total Work.

#### PROPOSAL REQUESTS

Contractor-Initiated Proposals: If latent or unforeseen conditions require modifications to the Contract, Contractor may propose changes by submitting a request for a change to Architect.

Include a statement outlining reasons for the change and the effect of the change on the Work. Provide a complete description of the proposed change. Indicate the effect of the proposed change on the Contract Sum and the Contract

#### PAYMENT PROCEDURES

#### **SCHEDULE OF VALUES**

<u>Coordination:</u> Coordinate preparation of the Schedule of Values with preparation of Contractor's Construction

Correlate line items in the Schedule of Values with other required administrative forms and schedules, including Application for Payment forms with Continuation Sheets Submittals Schedule and Contractor's Construction Schedule.

Submit the Schedule of Values to Architect at earliest possible date but no later than seven days before the date scheduled for submittal of initial Applications for Payment.

#### **APPLICATIONS FOR PAYMENT**

Each Application for Payment shall be consistent with previous applications and payments as certified by Architect Initial Application for Payment, Application for Payment at time of Substantial Completion, and final Application for

Payment involve additional requirements. Payment Application Times: The date for each progress payment is indicated in the Agreement between Owner and Contractor. The period of construction Work covered by each Application for Payment is the period indicated in the

Payment Application Forms: Use AIA Document G702 and AIA Document G703 Continuation Sheets as form for Applications for Payment. Waivers of Mechanic's Lien: With each Application for Payment, submit waivers of mechanic's lien from every entity who is lawfully entitled to file a mechanic's lien arising out of the Contract and related to the Work covered by the

#### PROJECT MANAGEMENT AND COORDINATION

#### COORDINATION

Coordinate construction operations to ensure efficient and orderly installation of each part of the Work.

#### PROJECT MEETINGS

Meetings: Schedule and conduct meetings and conferences at Project site, unless otherwise indicated at intervals

appropriate to the stage of construction and as agreed to by all parties. The general contractor shall request Project meetings, at a minimum, at these milestones:

. Review each buildings' repairs 2. Wall finishes siding / wood detail repairs

Window repairs 4. Review of building prior to painting

Attendees: Inform participants and others involved, and individuals whose presence is required, of date and time of each meeting. Notify Owner and Architect of scheduled meeting dates and times.

Agenda: Prepare the meeting agenda. Distribute the agenda to all invited attendees. The agenda of each meeting shall include a) Construction Schedule: recent progress, expected completion dates, schedule risks and ways to mitigate risks or expedite work, b) status of RFIs and Submittals, c) correction of items noted as deficient in past meetings, d) confirm all parties are using current and correct Contract Documents.

Minutes: Record significant discussions and agreements achieved. Distribute the meeting minutes to everyone concerned, including Owner and Architect, within three days of the meeting.

# CONTRACTOR'S CONSTRUCTION SCHEDULE

Schedule submittal: Submit a comprehensive, fully developed, horizontal Gantt-chart-type, Contractor's Construction Schedule within 10 days of date established for the Notice to Proceed to the Architect and the Owner. Base schedule on the Preliminary Construction Schedule and whatever updating and feedback was received since the start of Project. Contractor's Construction Schedule Updating: At intervals consistent with project meetings, update schedule to reflect actual construction progress and activities. Issue schedule at each regularly scheduled construction meeting.

# REQUESTS FOR INFORMATION (RFI)

Content: An RFI shall include a detailed description of the item needing information, a sequential RFI number, the contractor's proposed resolution with cost and time (if applicable), and any attachments needed to fully describe the items needing interpretation.

Architect's Action: Allow seven (7) working days for Architect's response for each RF. These RFIs will be returned without action: Requests for approval of submittals, requests for approval of substitutions, requests for information already included in the Contract Documents, incomplete RFIs. If Contractor believes the RFI response warrants change in the Contract Time or the Contract Sum, notify the Architect in writing within 10 days of receipt of the RFI response.

# DIGITAL PROJECT MANAGEMENT PROCEDURES

<u>Use of Architect's Data Files:</u> Architect will not provide Architect's BIM Model or CAD Drawing digital data files for Contractor's use during construction, except as follows:

- Floor Plans and Reflected Ceiling Plans for consultant discipline backgrounds.

Architect makes no representations as to the accuracy or completeness of digital data files as they relate to Contract Drawings.

# SUBMITTAL PROCEDURES

Schedule: Submit schedule indicating required submittals and date of each submittal taking into consideration the progress of the work and lead times associated with each portion of the work described in the submittal so as to not

Review: Allow enough time for submittal review, including time for resubmittals, as follows. Time for review shall commence on Architect's receipt of submittal. No extension of the Contract Time will be authorized because of failure to transmit submittals enough in advance of the Work to permit processing, including resubmittals. Allow Architect ten (10) days to review initial submittal. Any submittal requiring review of other design professionals shall allow an additional **seven (7) days** for review.

<u>Coordination:</u> Coordinate preparation and processing of submittals with performance of construction activities. Coordinate each submittal with fabrication, purchasing, testing, delivery, other submittals, and related activities that require sequential activity. Coordinate transmittal of different types of submittals for related parts of the Work so processing will not be delayed because of need to review submittals concurrently for coordination.

Shop Drawings: Prepare Project-specific information, drawn accurately to scale. Do not base Shop Drawings on oductions of the Contract Documents or standard printed data.

Samples: Submit Samples for review of kind, color, pattern, and texture for a check of these characteristics with other elements and for a comparison of these characteristics between submittal and actual component as delivered and

Contractors Review: Review each submittal and check for coordination with other Work of the Contract and for compliance with the Contract Documents. Note corrections and field dimensions. Mark with approval stamp before

Action Submittals: Architect will review each submittal. make marks to indicate corrections or modifications required. and return it. Architect will stamp each submittal with an action stamp and will mark stamp appropriately to indicate action taken, as follows: "APPROVED" - approved. No resubmittal required.

"Approved as corrected" - Before ordering of materials or construction make corrections noted. Resubmittal required for documentation not for Architect's review. "Revise and resubmit" - Revise drawings incorporating mark ups and resubmit to Architect for review. "Not Approved" Resubmit in accordance with contract documents.

#### DELEGATED DESIGN SUBMITTALS

See a list of required delegated design submittals in the Architectural Drawings. Delegated Design submittals shall first be submitted to the project architect and or engineer for review and coordination; following the completion of project architect/engineer review and coordination, a submittal to the city shall be made (for city review and approval), which shall include a letter stating this review and coordination has been performed and completed and plans and calculations for the deferred items are found to be acceptable (e.g. with regard to geometry, load

#### SPECIAL TESTS AND INSPECTIONS

Special Tests and Inspections: Owner will engage a qualified testing agency to conduct special tests and inspections equired by authorities having jurisdiction as the responsibility of Owner. Inspections by testing companies and by design professionals shall be coordinated and scheduled by the general contractor. Provide at least seven (7) days

conditions, etc.) with no exceptions. Submittals shall include the professional's stamp and signature.

#### CONSTRUCTION PROGRESS DOCUMENTATION

<u>Daily Log:</u> General Contractor shall record subcontractors on site, material delivered and work completed. weather. meetings and significant decisions, work stoppages, inspections and requests of authorities having jurisdiction, etc.

Photographs: General Contractor shall take photographs and videos of existing conditions, work in progress, and work completed to document that work is in conformance with Contract Documents. Give particular attention to backing, firestopping, conduit or other items that will be concealed by finish materials. Provide Owner and Architect access to

#### PRODUCT REQUIREMENTS

Compatibility of Options: If Contractor is given option of selecting between two or more products for use on Project, product selected shall be compatible with products previously selected, even if previously selected products were also Deliver, store, and handle products using means and methods that will prevent damage, deterioration, and loss,

<u>Warranties:</u> Warranties specified or provided with products and systems shall be in addition to and run concurrent with other warranties. Manufacturer's disclaimers and limitations on product warranties do not relieve Contractor of obligations under requirements of the Contract Documents.

General Product Requirements: Provide products that comply with the Contract Documents, that are undamaged and, unless otherwise indicated, that are new at time of installation

Provide products complete with accessories, trim, finish, fasteners, and other items needed for a complete installation and indicated use and effect.

If available, and unless custom products or nonstandard options are specified, provide standard products of types that have been produced and used successfully in similar situations on other projects.

Owner reserves the right to limit selection to products with warranties not in conflict with requirements of the Contract

Where products are accompanied by the term "as selected," Architect will make selection.

Where products are accompanied by the term "match sample," sample to be matched is Architect's. Descriptive, performance, and reference standard requirements in these Specifications establish "salient

characteristics" of products.

including theft. Comply with manufacturer's written instructions.

#### PRODUCT SUBSTITUTIONS

Timing: Architect will consider requests for substitution if received within 30 days after the Notice to Proceed. Requests received after that time may be considered or rejected at discretion of Architect.

Conditions: Architect will consider Contractor's request for substitution when the following conditions are satisfied. If the following conditions are not satisfied, Architect will return requests without action, except to record noncompliance with

Requested substitution offers Owner a substantial advantage in cost, time, energy conservation, or other considerations, after deducting additional responsibilities Owner must assume. Owner's additional responsibilities may include compensation to Architect for redesign and evaluation services, increased cost of other construction by Owner, and similar considerations.

Requested substitution does not require extensive revisions to the Contract Documents.

Requested substitution is consistent with the Contract Documents and will produce indicated results.

Substitution request is fully documented and properly submitted.

Requested substitution will not adversely affect Contractor's Construction Schedule.

Requested substitution has received necessary approvals of authorities having jurisdiction

Requested substitution is compatible with other portions of the Work.

Requested substitution has been coordinated with other portions of the Work.

Requested substitution provides specified warranty.

### COMPARABLE PRODUCTS

Conditions: Architect will consider Contractor's request for comparable product when the following conditions are satisfied. If the following conditions are not satisfied, Architect will return requests without action, except to record noncompliance with these requirements:

Evidence that the proposed product does not require extensive revisions to the Contract Documents, that it is consistent with the Contract Documents and will produce the indicated results, and that it is compatible with other portions of the Work.

Detailed comparison of significant qualities of proposed product with those named in the Specifications. Significant qualities include attributes such as performance, weight, size, durability, visual effect, and specific features and

Evidence that proposed product provides specified warranty.

List of similar installations for completed projects with project names and addresses and names and addresses of architects and owners, if requested.

#### **EXECUTION REQUIREMENTS** EXAMINATION

Samples, if requested

Existing Conditions: The existence and location of site improvements, utilities, and other construction indicated as existing are not guaranteed. Before beginning work, investigate and verify the existence and location of mechanical and electrical systems and other construction affecting the Work.

Before construction, verify the location and points of connection of utility services.

Existing Utilities: The existence and location of underground and other utilities and construction indicated as existing are not guaranteed. Before beginning sitework, investigate and verify the existence and location of underground utilities and other construction affecting the Work.

Acceptance of Conditions: Examine substrates, areas, and conditions, with Installer or Applicator present where indicated, for compliance with requirements for installation tolerances and other conditions affecting performance. Record observations

Verify compatibility with and suitability of substrates, including compatibility with existing finishes or primers. Examine roughing-in for mechanical and electrical systems to verify actual locations of connections before equipment

and fixture installation. Examine walls, floors, and roofs for suitable conditions where products and systems are to be installed.

Proceed with installation only after unsatisfactory conditions have been corrected.

Proceeding with the Work indicates acceptance of surfaces and conditions.

# PREPARATION

Field Measurements: Take field measurements as required to fit the Work properly. Recheck measurements before installing each product. Where portions of the Work are indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication. Coordinate fabrication schedule with construction progress to

Space Requirements: Verify space requirements and dimensions of items shown diagrammatically on Drawings including Owner's equipment and furniture systems.

Review of Contract Documents and Field Conditions: Immediately on discovery of the need for clarification of the Contract Documents, submit a request for information to Architect. Include a detailed description of problem encountered, together with recommendations for changing the Contract Documents. Submit requests on CSI Form 13.2A, "Request for Interpretation" or one acceptable to all parties.

# CONSTRUCTION LAYOUT

<u>Verification</u>: Before proceeding to lay out the Work, verify layout information shown on Drawings, in relation to the existing conditions. If discrepancies are discovered, notify Architect promptly.

General: Lay out the Work using accepted layout or surveying practices. Establish benchmarks and control points to set lines and levels at each story of construction and elsewhere as needed

to locate each element of Project. Establish dimensions within tolerances indicated. Do not scale Drawings to obtain required dimensions.

Inform installers of lines and levels to which they must comply.

Check the location, level and plumb, of every major element as the Work progresses.

Notify Architect when deviations from required lines and levels exceed allowable tolerances and schedule a time for Architect to review layout before construction proceeds further.

General: Locate the Work and components of the Work accurately, in correct alignment and elevation, as indicated.

Make vertical work plumb and make horizontal work level.

Where space is limited, install components to maximize space available for maintenance and ease of removal for

Conceal pipes, ducts, and wiring in finished areas, unless otherwise indicated.

Provide & coordinate access door locations for concealed items with appropriate contractor. Review with Architect

Comply with manufacturer's written instructions and recommendations for installing products in applications indicated. Install products at the time and under conditions that will ensure the best possible results. Maintain conditions required for product performance until Substantial Completion Conduct construction operations so no part of the Work is subjected to damaging operations or loading in excess of that expected during normal conditions of occupancy.

Templates: Obtain and distribute to the parties involved templates for work specified to be factory prepared and field installed. Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing products to comply with indicated requirements.

Anchors and Fasteners: Provide anchors and fasteners as required to anchor each component securely in place, accurately located and aligned with other portions of the Work.

Mounting Heights: Where mounting heights are not indicated, mount components at heights directed by Architect. Allow for building movement, including thermal expansion and contraction.

Coordinate installation of anchorages. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors, that are to be embedded in concrete or masonry. Deliver such items to Project site in time for installation.

#### CORRECTION OF THE WORK

Repair or remove and replace defective construction. Restore damaged substrates and finishes.

#### **CUTTING AND PATCHING**

prior to installation

Structural Elements: Do not cut and patch structural elements in a manner that could change their load-carrying

Operational Elements: Do not cut and patch operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational life or

Miscellaneous Elements: Do not cut and patch miscellaneous elements or related components in a manner that could change their load-carrying capacity, that results in reducing their capacity to perform as intended, or that results in increased maintenance or decreased operational life or safety

<u>Visual Requirements:</u> Do not cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not cut and patch construction exposed on the exterior or in occupied spaces in a manner that would, in Architect's opinion, reduce the building's aesthetic qualities. Remove and replace construction that has been cut and patched in a visually unsatisfactory manner

In-Place Materials: Use materials identical to in-place materials. For exposed surfaces, use materials that visually match in-place adjacent surfaces to the fullest extent possible. If identical materials are unavailable or cannot be used, use materials that, when installed, will match the visual and functional performance of in-place materials.

Cutting: Cut in-place construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. If possible, review proposed procedures with original Installer; comply with original Installer's written recommendations.

Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of

other Work. Patch with durable seams that are as invisible as possible. Provide materials and comply with installation

### **SELECTIVE DEMOLITION**

requirements specified.

General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Jse methods required to complete the Work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and

watch and portable fire-suppression devices during flame-cutting operations. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on

pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain fire

supporting walls, floors, or framing. Dispose of demolished items and materials promptly.

# Removed and Reinstalled Items:

Clean and repair items to functional condition adequate for intended reuse. Paint equipment to match new

Pack or crate items after cleaning and repairing. Identify contents of containers.

Protect items from damage during transport and storage.

Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.

Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete. Temporary Shoring: Provide and maintain shoring, bracing, and structural supports as required to preserve stability and

prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or

# PROGRESS CLEANING

General: Clean Project site and work areas daily, including common areas. Coordinate progress cleaning for joint-use areas where more than one installer has worked. Enforce requirements strictly. Dispose of materials lawfully

#### CLOSEOUT PROCEDURES SUBSTANTIAL COMPLETION

<u>Preliminary Procedures:</u> Before requesting inspection for determining date of Substantial Completion, complete the following. List items below that are incomplete in request. Prepare a list of items to be completed and corrected (punch list), the value of items on the list, and reasons why the

Advise Owner of pending insurance changeover requirements.

uncontrolled movement or collapse of construction being demolished.

Submit specific warranties, workmanship bonds, maintenance service agreements, final certifications, and similar

Obtain and submit releases permitting Owner unrestricted use of the Work and access to services and utilities.

Deliver tools, spare parts, extra materials, and similar items to location designated by Owner. Label with

Include occupancy permits, operating certificates, and similar releases. Prepare and submit Project Record Documents, operation and maintenance manuals, Final Completion construction photographs, damage or settlement surveys, property surveys, and similar final record information.

manufacturer's name and model number where applicable. Make final changeover of permanent locks and deliver keys to Owner. Advise Owner's personnel of changeover in security provisions.

Complete startup testing of systems. Submit test/adjust/balance records.

Terminate and remove temporary facilities from Project site, along with mockups, construction tools, and similar

Advise Owner of changeover in heat and other utilities.

Submit changeover information related to Owner's occupancy, use, operation, and maintenance. Complete final cleaning requirements, including touchup painting. Touch up and otherwise repair and restore marred exposed finishes to eliminate visual defects.

<u>Inspection:</u> Submit a written request for inspection for Substantial Completion. On receipt of request, Architect will either proceed with inspection or notify Contractor of unfulfilled requirements. Architect will prepare the Certificate of Substantial Completion after inspection or will notify Contractor of items, either on Contractor's list or additional items

Reinspection: Request reinspection when the Work identified in previous inspections as incomplete is completed or

Results of completed inspection will form the basis of requirements for Final Completion.

identified by Architect, that must be completed or corrected before certificate will be issued.

#### FINAL COMPLETION

<u>Preliminary Procedures:</u> Before requesting final inspection for determining date of Final Completion, complete the

Submit a final Application for Payment

Submit certified copy of Architect's Substantial Completion inspection list of items to be completed or corrected (punch list), endorsed and dated by Architect. The certified copy of the list shall state that each item has been completed or otherwise resolved for acceptance.

Submit evidence of final, continuing insurance coverage complying with insurance requirements.

Instruct Owner in operation, adjustment, and maintenance of products, equipment, and systems.

Inspection: Submit a written request for final inspection for acceptance. On receipt of request, Architect will either proceed with inspection or notify Contractor of unfulfilled requirements. Architect will review a final Certificate for Payment after inspection or will notify Contractor of construction that must be completed or corrected before certificate will be issued

Reinspection: Request reinspection when the Work identified in previous inspections as incomplete is completed or corrected.

### LIST OF INCOMPLETE ITEMS (PUNCH LIST)

Preparation: Submit three copies of list. Include name and identification of each space and area affected by construction operations for incomplete items and items needing correction including, if necessary, areas disturbed by Contractor that are outside the limits of construction.

Organize list of spaces in sequential order.

Substantial Completion is indicated

equipment, and building systems WARRANTIES

Submittal Time: Submit written warranties for the Work where commencement of warranties other than date of

Organize items applying to each space by major element, including categories for ceiling, individual walls, floors,

**FINAL CLEANING** General: Provide final cleaning. Conduct cleaning and waste-removal operations to comply with local laws and

ordinances and Federal and local environmental and antipollution regulations. Cleaning: Employ experienced workers or professional cleaners for final cleaning. Clean each surface or unit to condition expected in an average commercial building cleaning and maintenance program. Comply with manufacturer's written instructions.

#### PROJECT RECORD DOCUMENTS

#### **RECORD DRAWINGS**

Record Prints: Maintain one set of blue- or black-line white prints of the Contract Drawings and Shop Drawings.

Preparation: Mark Record Prints to show the actual installation where installation varies from that shown originally. Require individual or entity who obtained record data, whether individual or entity is Installer, subcontractor, or similar entity, to prepare the marked-up Record Prints.

Give particular attention to information on concealed elements that would be difficult to identify or

Record data as soon as possible after obtaining it. Record and check the markup before enclosing

Mark record sets with erasable, red-colored pencil. Use other colors to distinguish between changes for different

Mark the Contract Drawings or Shop Drawings, whichever is most capable of showing actual physical conditions, completely and accurately. If Shop Drawings are marked, show cross-reference on the Contract Drawings.

#### categories of the Work at same location. RECORDING AND MAINTENANCE

Recording: Maintain one copy of each submittal during the construction period for Project Record Document purposes. Post changes and modifications to Project Record Documents as they occur; do not wait until the end of Project.

<u>Maintenance of Record Documents and Samples:</u> Store Record Documents and Samples in the field office apart from the Contract Documents used for construction. Do not use Project Record Documents for construction purposes. Maintain Record Documents in good order and in a clean, dry, legible condition, protected from deterioration and loss. Provide access to Project Record Documents for Architect's reference during normal working hours

HAYES GROUP ARCHI TECTS

HAYES GROUP ARCHITECTS, 2657 SPRING STREET REDWOOD CITY, CA 94063 P. 650.365.0600

F. 650.365.0670 www.thehayesgroup.com

**PROJECT ADDRESS:** 411 KIPLING STREET PALO ALTO, CALIFORNIA 94301

**ISSUANCE:** 

HRB PLANNING SUBMISSION

**PLANNING SUBMISSION** 

01.26.2024

08.15.2024

NO. DESCRIPTION

SHEET REVISIONS:

DRAWING CONTENT

REQUIREMENTS

**PROJECT** 



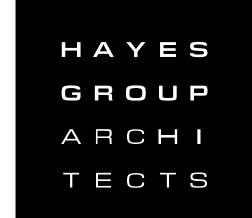
JOB NUMBER: 2314.03

AS NOTED

SCALE:

DRAWN BY: All drawings and written materials contained herein constitute the original & unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect.

© Hayes Group Architects, Inc. DRAWING NUMBER



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PROJECT ADDRESS: **411 KIPLING STREET** PALO ALTO, CALIFORNIA 94301

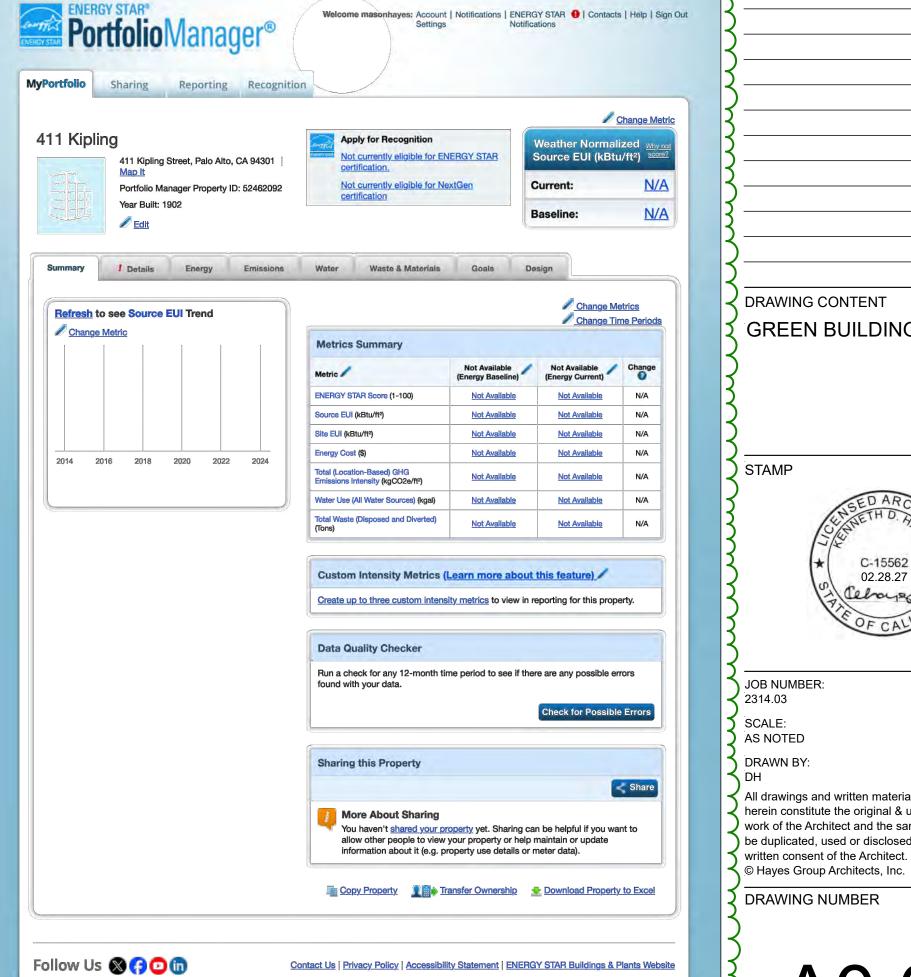
ISSUANCE:

HRB PLANNING SUBMISSION 01.26.2024 **PLANNING** SUBMISSION

08.15.2024

SHEET REVISIONS:

1\ PLANNING REV. #1 04.17.2025



ENERGY STAR PORTFOLIO MANAGER PROFILE

SCALE: NTS

GREEN BUILDING

STAMP



JOB NUMBER: 2314.03

SCALE: AS NOTED DRAWN BY:

✓ All drawings and written materials contained herein constitute the original & unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect.

DRAWING NUMBER

# POLLUTION PREVENTION—IT'S PART OF THE PLAN

Construction projects are required to implement year-round stormwater BMPs, as they apply to your project.

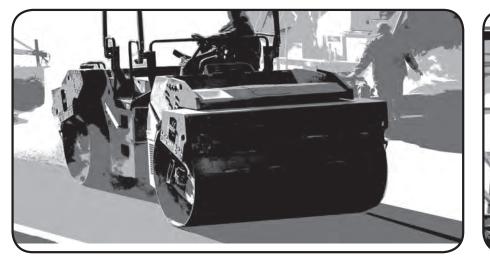
Runoff from streets and other paved areas is a major source of pollution to San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep construction dirt, debris, and other pollutants out of storm drains and local creeks. Following these guidelines will ensure your compliance with City of Palo Alto Ordinance requirements.













# MATERIALS & WASTE **MANAGEMENT**

### **Non-Hazardous Materials**

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ☐ Use (but don't overuse) reclaimed water for dust control.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains.

# **Hazardous Materials**

- (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

# **Waste Management**

- ☐ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ☐ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ☐ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ☐ Keep site clear of litter (e.g. lunch items, cigarette butts). ☐ Prevent litter from uncovered loads by covering loads that
- Construction Entrances and Perimeter

are being transported to and from site.

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

# **EQUIPMENT MANAGEMENT EARTHMOVING** & SPILL CONTROL

# **Maintenance and Parking**

- ☐ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

# Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ☐ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ☐ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report any hazardous materials spills immediately! Call City of Palo Alto Communications, (650) 329-2413. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

# **Grading and Earthwork**

- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (e.g., silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

# Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells.
- Buried barrels, debris, or trash.
- ☐ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not distrurbed by construction activities.

# Landscaping

- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet

# **CONCRETE MANAGEMENT** & DEWATERING

# **Concrete Management**

- ☐ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ☐ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

# **Dewatering**

- ☐ Reuse water for dust control, irrigation or another on-site purpose to the greatest extent possible.
- ☐ Be sure to obtain a Permit for Construction in the Public Street from Public Works Engineering before discharging water to a street, gutter, or storm drain. Call the Regional Water Quality Control Plant (RWQCP) at (650) 329-2598 for an inspection prior to commencing discharge. Use filtration or diversion through a basin, tank, or sediment trap as required by the approved dewatering plan. Dewatering is not permitted from October to April.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the City inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

# PAVING/ASPHALT WORK

# **Paving**

- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into

# **Sawcutting & Asphalt/Concrete** Removal

- ☐ Protect storm drain inlets during saw cutting.
- ☐ If saw cut slurry enters a catch basin, clean it up
- ☐ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

# **PAINTING & PAINT REMOVAL**

# **Painting Cleanup and Removal**

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Sweep up or collect paint chips and dust from nonhazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state certified contractor.





STAMP

**DRAWING CONTENT** 

PREVENTION

PALO ALTO POLLUTION



HAYES

GROUP

ARCHI

TECTS

HAYES GROUP ARCHITECTS,

**411 KIPLING STREET** 

**CALIFORNIA 94301** 

HRB PLANNING SUBMISSION

SHEET REVISIONS:

01.26.2024

2657 SPRING STREET REDWOOD CITY, CA 94063

www.thehayesgroup.com

PROJECT ADDRESS:

PALO ALTO.

**ISSUANCE**:

P. 650.365.0600

F. 650.365.0670

JOB NUMBER: 2314.03

SCALE: AS NOTED DRAWN BY:

CITY OF

**PALO** 

**ALTO** 

All drawings and written materials contained herein constitute the original & unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect. © Hayes Group Architects, Inc.

DRAWING NUMBER

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

250 Hamilton Avenue Palo Alto, CA 94301 650.329.2211 cityofpaloalto.org

# City of Palo Alto

# Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual** (TTM) found at www.cityofpaloalto.org/trees/.

Palo Alto Tree Technical Manual

(See TTM, Verification of Tree Protection, Section 1.39).

involved, the Parks Manager (Contact 650-496-6962).

the project arborist at least 24 hours advance notice of such activity.

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

Inspection of Protective Tree Fencing. For Public Trees, the Street Tree Verification Form shall be

designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit

Pre-Construction Meeting. Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent,

grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is

Inspection of Rough Grading or Trenching. Contractor shall ensure the project site arborist

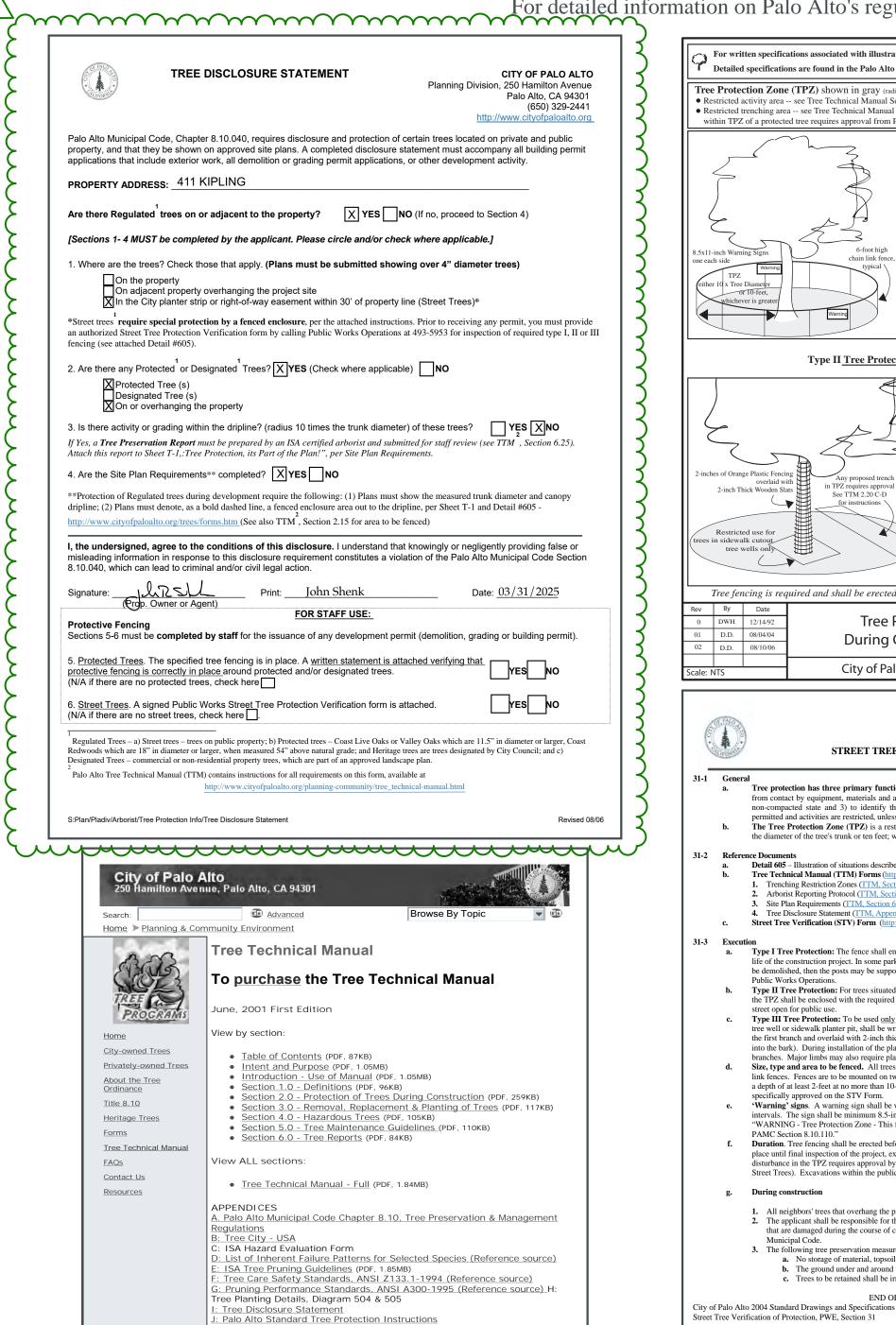
performs an inspection during the course of rough grading or trenching adjacent to or within the

TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if

required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide

signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial

Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the



• Rest • Rest with	nch Warnside TPZ TPZ	activity area se renching area c of a protected tr	e Tree Technical Manual Se see Tree Technical Manual S	Sec 2.20(C-D), any proposed trench or ublic Works Operations. Call 650-496  Type I Tree Protection  For all (	form wor i-5953. Ordinance Pr trees, as der vation repor	
with	nin TPZ	of a protected tr		Type I Tree Protection  Type I Tree Protection  Tree preser applicant's project  Note: Ordinance Protected & Des	ordinance Protection report	·K
one each	TPZ 10 x Tree			Type I Tree Protection tree preser applicant's project Note: Ordinance Protected & Des	trees, as det vation repor	
one each	TPZ 10 x Tree			tree preser applicant's project  Note: Ordinance Protected & Des	vation repor	rotected and Designated
ne each	TPZ 10 x Tree			Note: Ordinance Protected & Des	t arborist as	tailed in the site specific t (TPR) prepared by the
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ne each	TPZ 10 x Tree					
ne each	TPZ 10 x Tree		5	written verification Type I is according to the plans and	s installed	d correctly
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either	0	<u> </u>	typical		nadvertant si	
<b>—</b>	whichey	r 10-feet, ver is greater			es approval	theneming
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	_			Fence distance to outer branches or TPZ		
			Type II Tree Protect	4	] [	
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7				Sidewalk		
_	7	_ 5	$\leq \leq \leq$			provide public passage ng all other land in TPZ.
2-inches	s of Oran	ge Plastic Fencing overlaid with	Any proposed trench			
	2-inch Th	nick Wooden Slats	in TPZ requires approval See TTM 2.20 C-D for instructions	Note: Street Trees. Issuance of Public Works Operations		
			is institutions	approval on the Street Tr		
		ed use for		form provided.		
	tree v	wells only		Type III Tree Protection		
				(to be used only with approval of Public V	Vorks Opera	tions)
T	ree fer	ıcing is requir	ed and shall be erected	before demolition, grading or co	onstruct	ion begins.
ev 0	By DWH	Date 12/14/92	Tree P	Protection	Approv	ved by: Dave Dockter
)1	D.D.	08/04/04		Construction	PE No.	
02	D.D.	08/10/06		Ale Ce I I	Date Dwg	2006
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link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to

a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless

'Warning' signs. A warning sign shall be weather proof and prominently displayed on each fence at 20-foot

"WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to

**Duration.** Tree fencing shall be erected before demolition; grading or construction begins and remain in

All neighbors' trees that overhang the project site shall be protected from impact of any kind.

**b.** The ground under and around the tree canopy area shall not be altered.

3. The following tree preservation measures apply to all trees to be retained:

that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto

a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.

c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

Revised 08/06

place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil

disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

monthly a immediate Technical landscape	ctivity inspection to morely if there are any revisi Manual Monthly Tree A review staff no later that	aspections. The project site arborast shall perform a minimum intor and advise on conditions, tree health and retention or, ions to the approved plans or protection measures. The Tree Activity Report format shall be used and sent to the Planning De in 14 days after issuance of building permit date. Fax to (650) 30 ctivity Inspection Report, Addendum 11 & section 1.17).			
requires th			Zone. Work in the TPZ area (see also #7 below) roject arborist (see TTM, Trenching, Excavation &		
final occup on site ins Quality, S construction verification otherwise	pancy the applicant or co pection of all plant stock ection 5,20,1 A) and that on plans. The Planning I in of Landscape Architect approved.	ontractor sh c. quality of t the irrigat Dept. landso t approval	tionary development projects, prior to temporary or all arrange for the Landscape Architect to perform a f the materials and planting (see TTM, Planting ion is functioning consistent with the approved cape review staff shall be in receipt of written prior to scheduling the final inspection, unless		
7. List Othe	r (please describe as cal	led out in th	he site Tree Preservation Report, Sheet T-1, T-2, etc.		
*	· · · · · · · · · · · · · · · · · · ·				
*					
The state of the s	City of Palo Al Tree Department Public Works Operations PO Box 10250 Palo Alto, C/ 650/496-5953 FAX: 650/85	A 94303 2-9289	Verification of Street Tree Protection		
		tion of this fo	orm. Mail or FAX this form along with signed Tree rks Tree Staff will inspect and notify applicant.		
APPLICATION		T UDIIC VVOI	ns Tree Stair will inspect and notify applicant.		
ADDRESS/LOC TREES TO BE	CATION OF STREET PROTECTED:				
APPLICANT'S	NAME:				
APPLICANT'S	ADDRESS:				
APPLICANT'S					
This section to I	be filled out by City Tree St	aff			
1. The Street	The Street Trees at the above		YES		
	address(es) are adequately protected. The type of protection				
used is:			* If NO, go to #2 below		
Inspected by	Inspected by:				
Date of Inspe	ection:				
address are protected. T	Trees at the above NOT adequately he following as are required:				

\* If NO, indicate in "Notes" below the disposition of case

Arborist F	Firm Data Here		RCA/I	SA Certified Arborist #W Contact
	Monthly Tree	Activity Repo	ort- Construction	
Inspection Date: Inspection	address:	Contractor- Main Site Contact Information	#1: Job site superinte Company: Email: Job site Office: Cell: Mail:	endent
		Also present:	•	
Distribution	n: 1. City of Palo Alto 2. Others	Attn: Dave Dockter	Dave.dockter@cityofp 650-329-2440	aloalto.org
	equested minimum informa		customize as necessary. To b il project completion. Use ac	
a. Tree Local Street Local Street Local Tree Local Street Local Street Local Street Local Treet Local Street	servations (general site-we e Protection Fences (TPF nching has/will occur ems (list site-wide, by tree Protection Fence (TPF) of zone buffer material (viedule sewer trench, found phs (use often) ation Map (mandatory 8 endations, notes or moni	ee number and date to the needs adjusting (tree twood chips) can be in idation dig with	b be satisfied) and Date Due # x, x, x) stalled next	ie
•				
7. Past visit	s (list carry-over items s	atisfied/still outstandi	ng)	
Respectfully	y submitted,			
Project site : Consultant of Cc:	arborist contact information (Incl	lude email, cell#, and	mailing)	
Cc.				

# ---WARNING---**Tree Protection Zone**

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day\*

\*Palo Alto Municipal Code Section 8.10.110 City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.htm

SPECIAL INSPECTIONS	PLANNING DEPARTMENT				
TREE PROTECTION INSPECTIONS MA	NDATORY				
PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.					
BUILDING PERMIT DATE:					
DATE OF 1ST TREE ACTIVITY REPORT:					
CITY STAFF:					
REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLIMENTED AT ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTI IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO SECTION 2.00 AND ADDENDUM 11.	ND WILL INCLUDE ALL CONTRACTOR ON ROOT ZONE. NON-COMPLIANCE				

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed) Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at

http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460

cifically approved on the STV Form.

Subsequent Inspection

Inpsected by:

Date of Inspection:

Street trees at above address were found

Notes: List City street trees by species

site, condition and type of tree protection installed. Also note if pictures were

taken. Use back of sheet if necessary

Return approved sheet to Applicant for demolition or building permit issuance.

Special Tree Protection Instruction Sheet City of Palo Alto



HAYES GROUP ARCHI TECTS

HAYES GROUP ARCHITECTS, 2657 SPRING STREET REDWOOD CITY, CA 94063 P. 650.365.0600 F. 650.365.0670

**PROJECT ADDRESS:** 

www.thehayesgroup.com

411 KIPLING STREET PALO ALTO, CALIFORNIA 94301

**ISSUANCE:** HRB PLANNING SUBMISSION

01.26.2024 **PLANNING SUBMISSION** 08.15.2024

SHEET REVISIONS:

$\sqrt{1}$	PLANNING REV. #1	04.17.202

**DRAWING CONTENT** PALO ALTO T-1 TREE **PROTECTION** 

STAMP

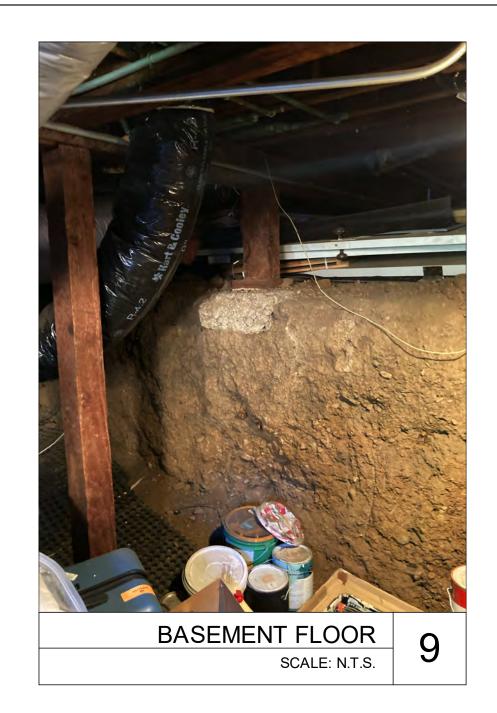


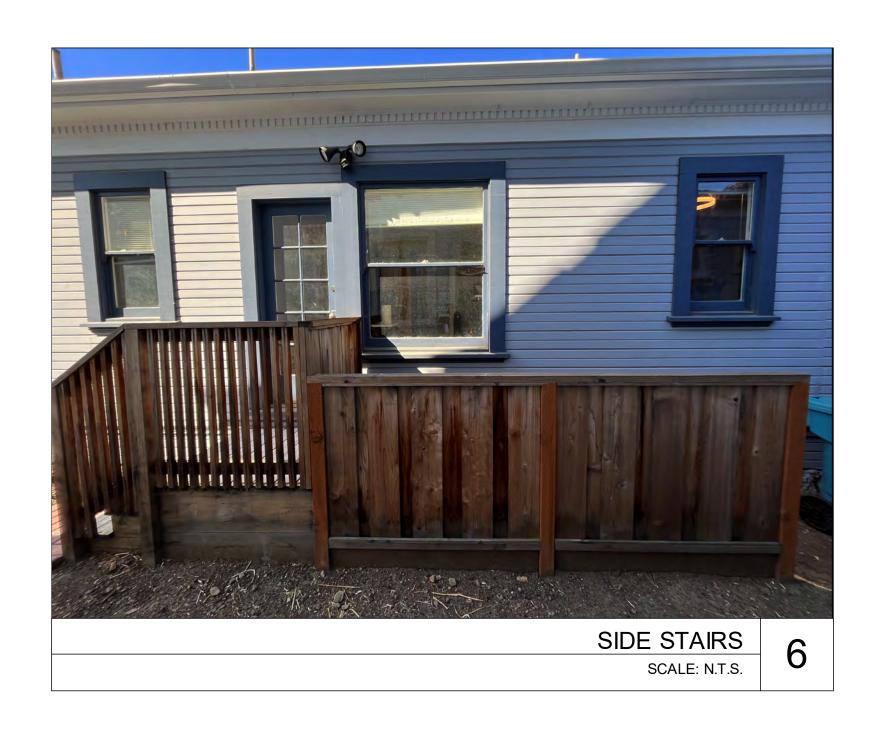
JOB NUMBER: 2314.03

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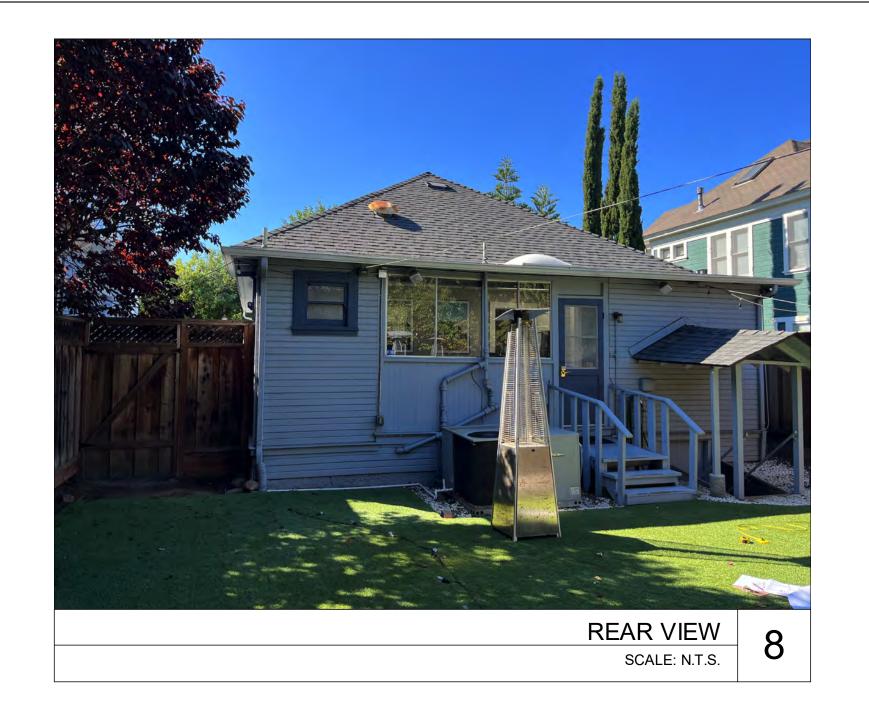
> All drawings and written materials contained herein constitute the original & unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect.

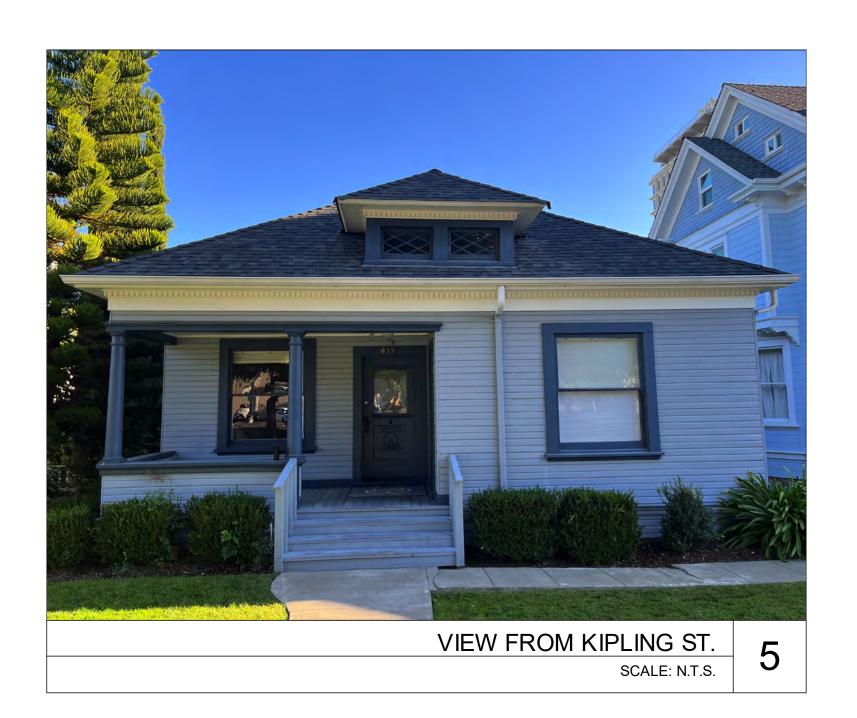
© Hayes Group Architects, Inc. DRAWING NUMBER









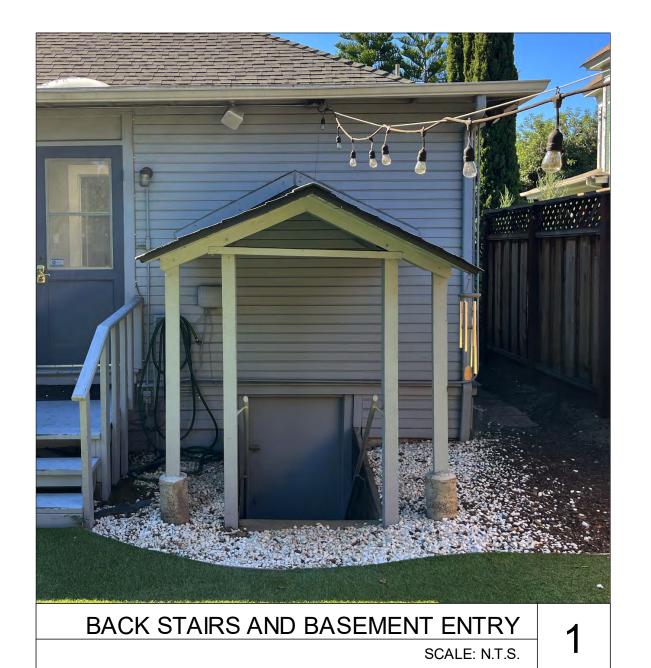














HAYES GROUP ARCHITECTS, INC. 2657 SPRING STREET REDWOOD CITY, CA 94063 P. 650.365.0600 F. 650.365.0670 www.thehayesgroup.com

PROJECT ADDRESS: **411 KIPLING STREET** PALO ALTO, CALIFORNIA 94301

ISSUANCE:

PLANNING REV. #1

SHEET REVISIONS: 1\ PLANNING REV. #1 04.17.2025

04.17.2025

DRAWING CONTENT **EXISTING SITE PHOTOS** 

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JOB NUMBER: 2314.03

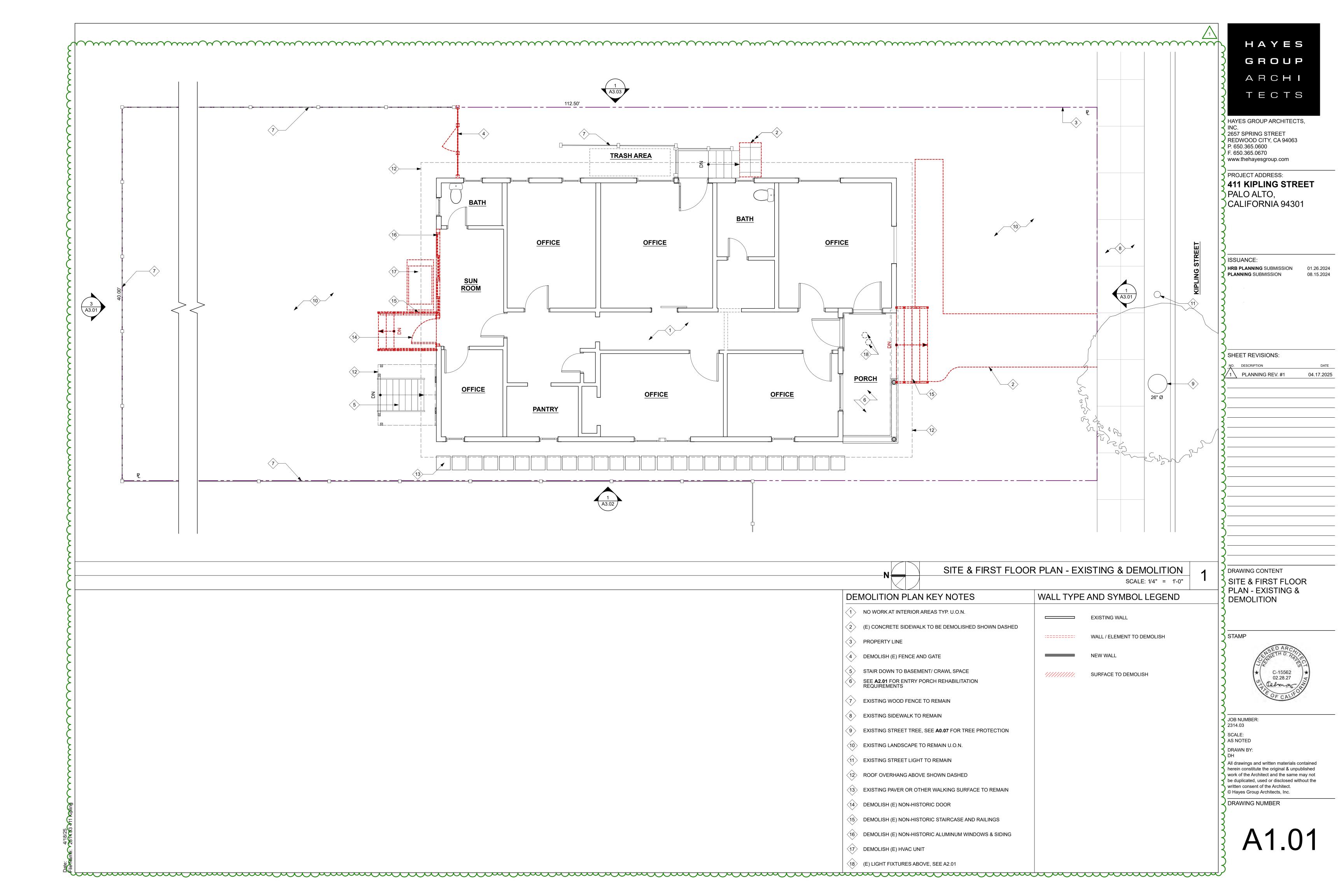
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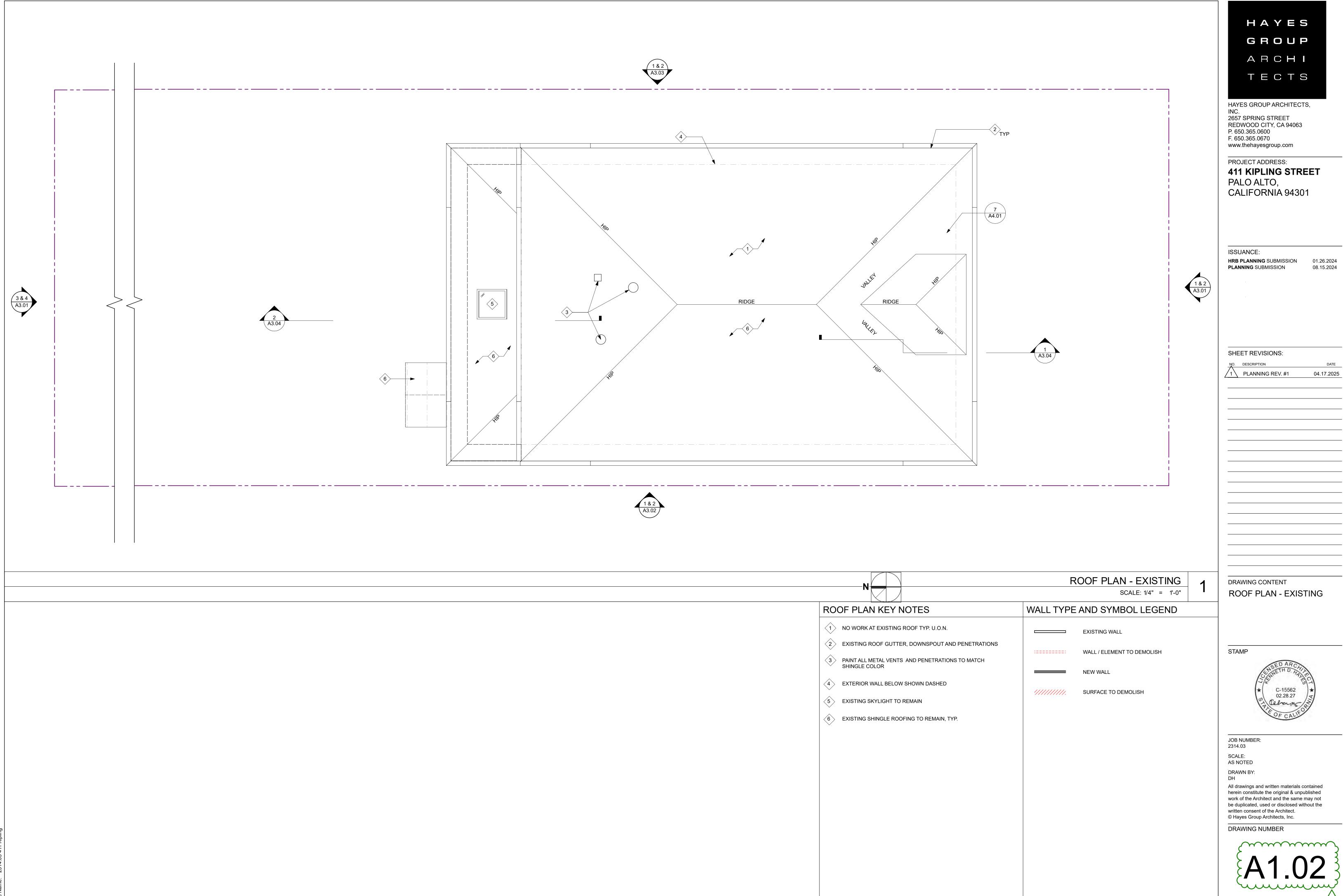
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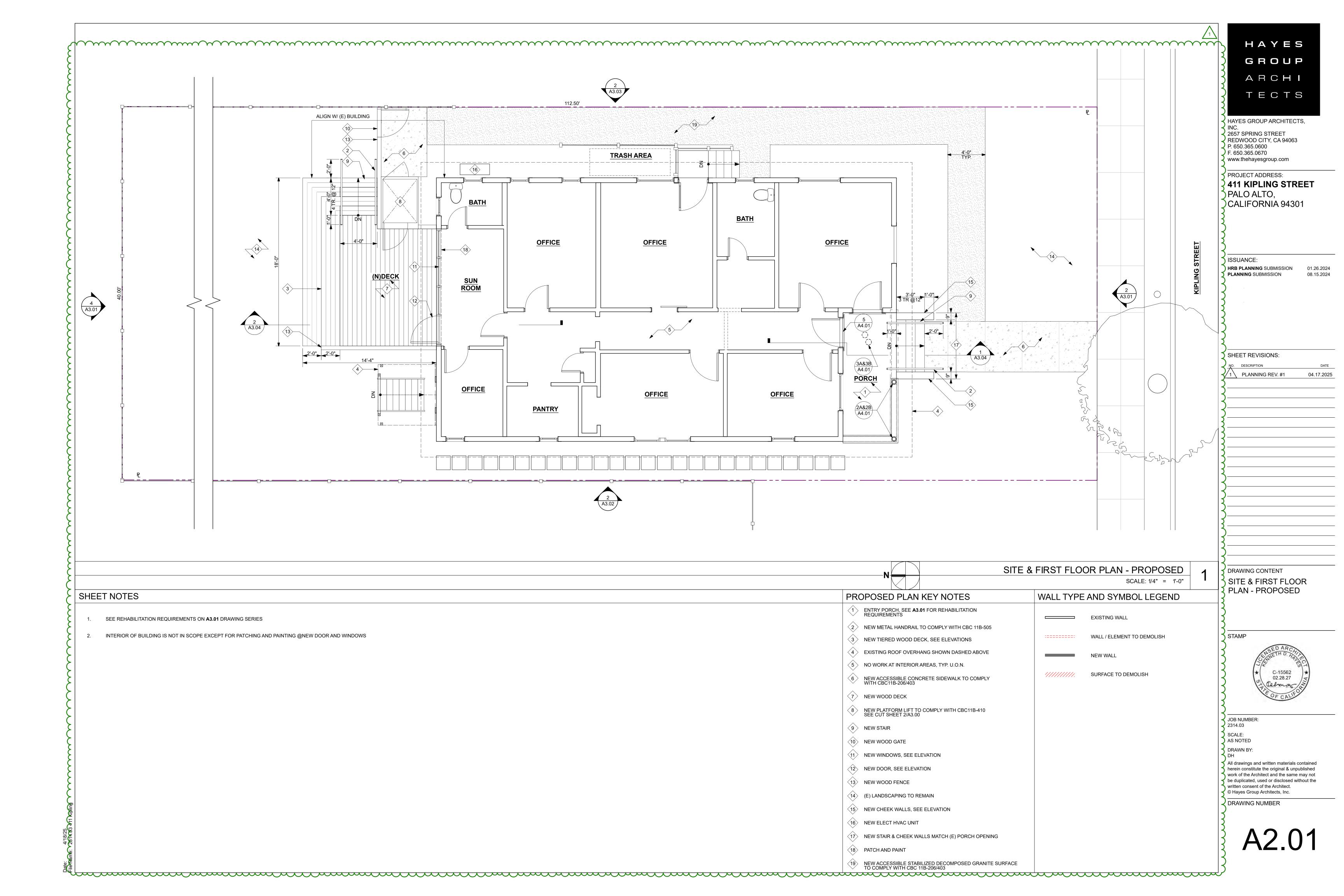
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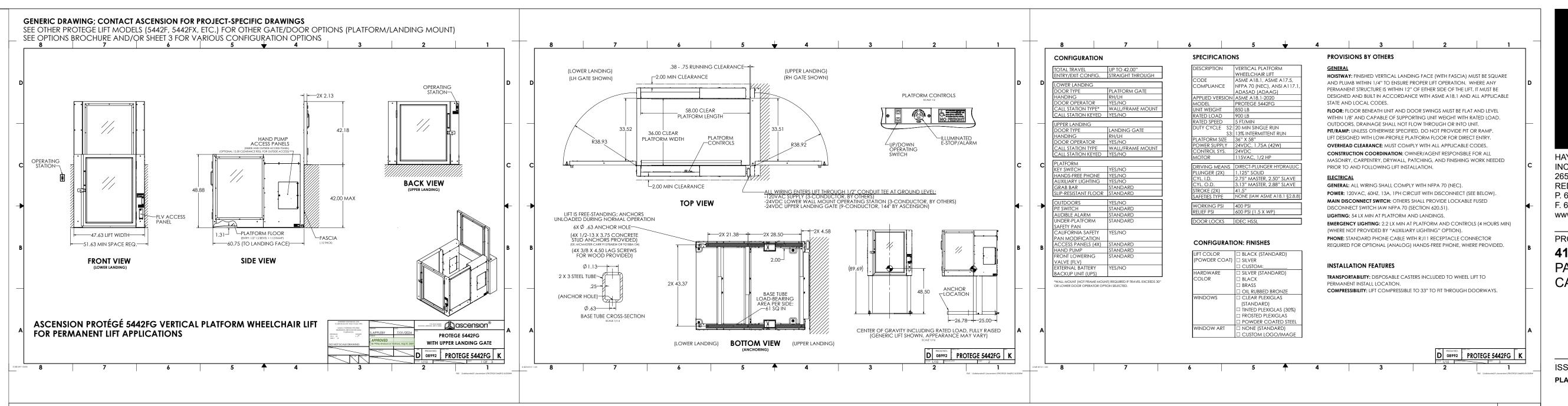
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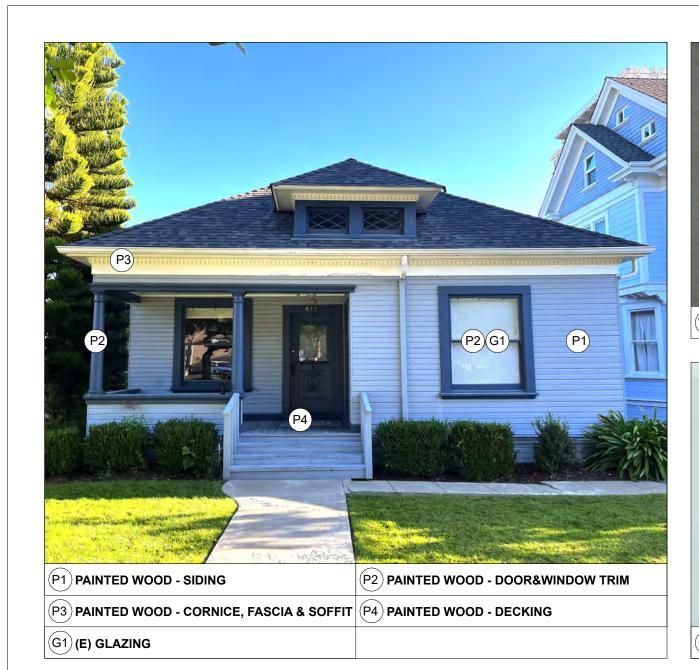


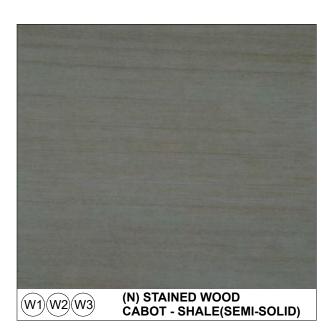


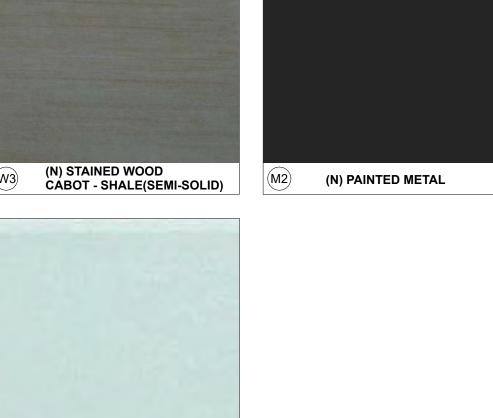












(N) GLAZING

ARCHITECTURAL MATERIAL BOARD

PLATFORM LIFT DATA SHEET

SCALE: NTS

HAYES GROUP ARCHI TECTS

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04.17.2025

ISSUANCE:

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SHEET REVISIONS:

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DRAWING CONTENT ARCHITECTURAL MATERIAL BOARD & PRODUCT DATA SHEET

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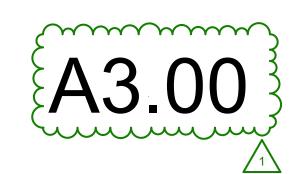
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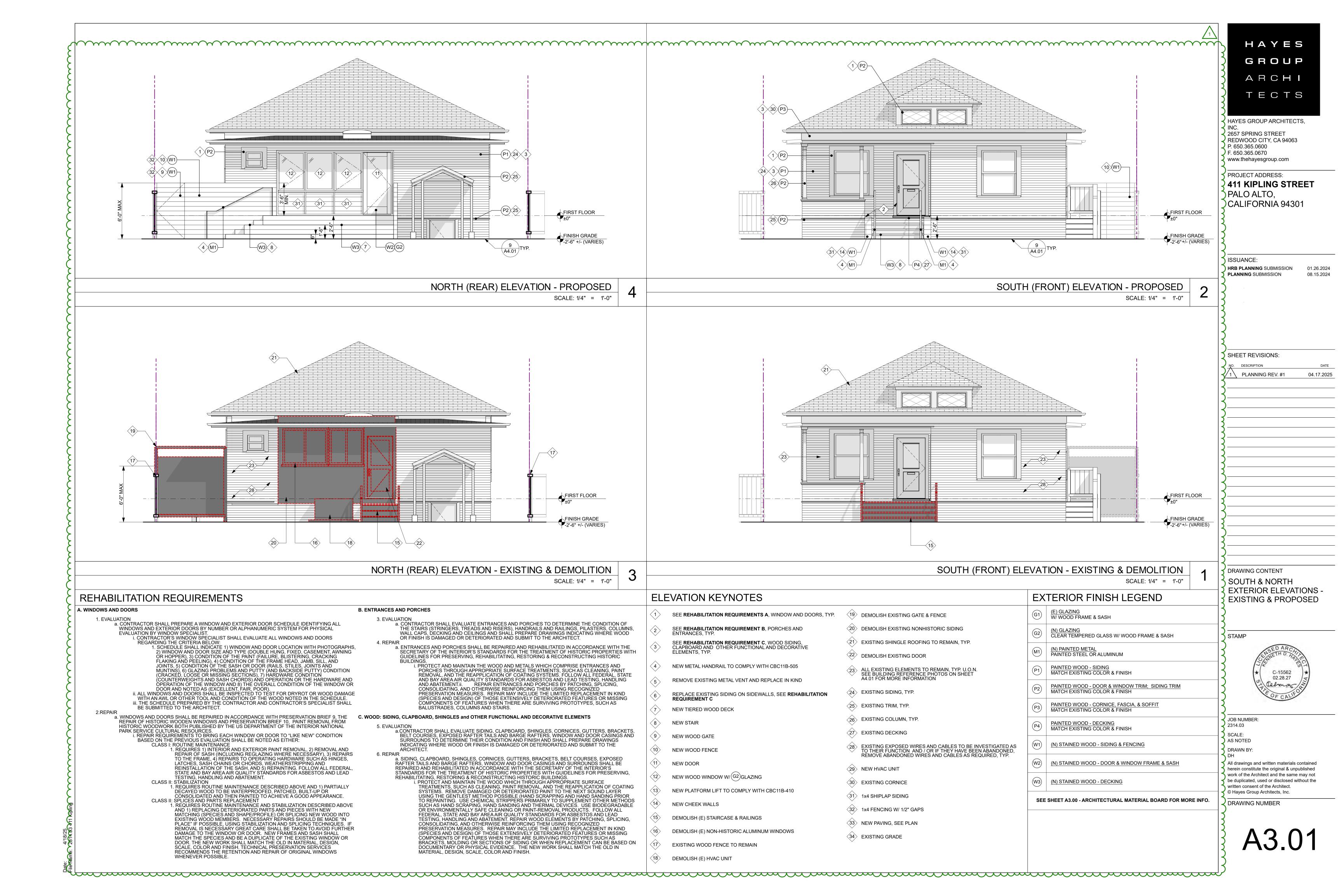
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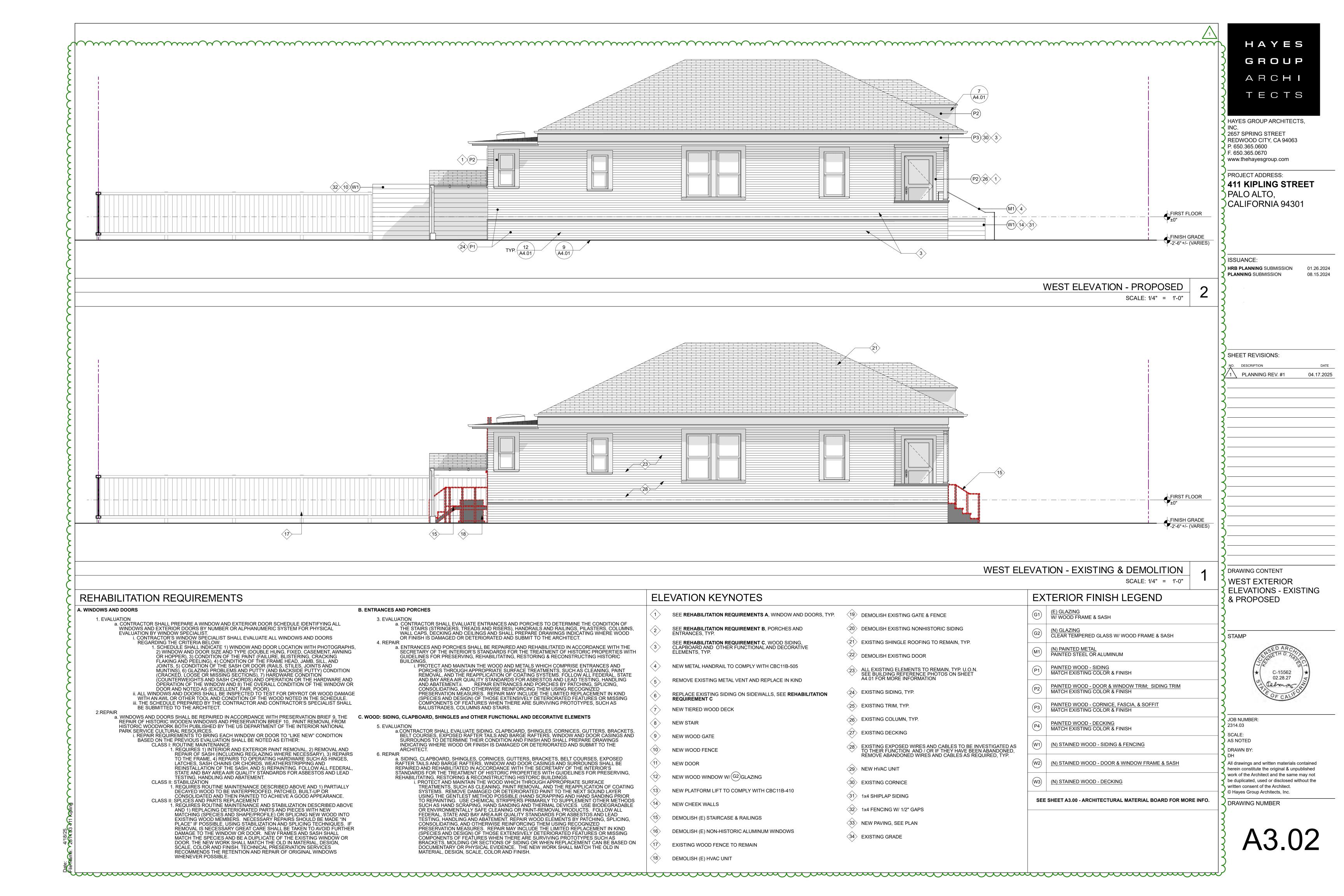
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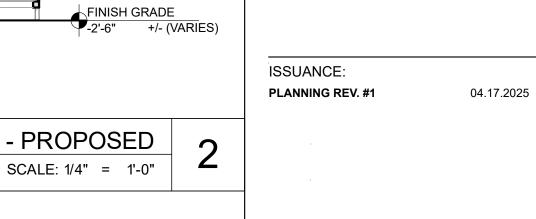
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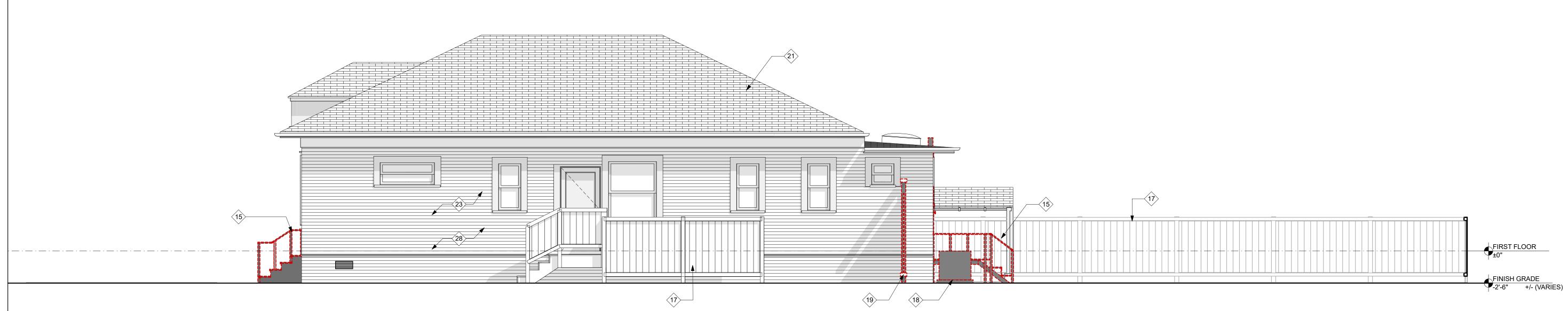
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#### **EAST ELEVATION - EXISTING & DEMOLITION** SCALE: 1/4" = 1'-0" **ELEVATION KEYNOTES** EXTERIOR FINISH LEGEND (E) GLAZING W/ WOOD FRAME & SASH SEE **REHABILITATION REQUIREMENTS A**, WINDOW AND DOORS, TYP. (19) DEMOLISH EXISTING GATE & FENCE SEE **REHABILITATION REQUIREMENT B**, PORCHES AND (20) DEMOLISH EXISTING NONHISTORIC SIDING (N) GLAZING CLEAR TEMPERED GLASS W/ WOOD FRAME & SASH (21) EXISTING SHINGLE ROOFING TO REMAIN, TYP. SEE REHABILITATION REQUIREMENT C, WOOD SIDING, CLAPBOARD AND OTHER FUNCTIONAL AND DECORATIVE (N) PAINTED METAL PAINTED STEEL OR ALUMINUM $\langle 22 \rangle$ DEMOLISH EXISTING DOOR NEW METAL HANDRAIL TO COMPLY WITH CBC11B-505 PAINTED WOOD - SIDING MATCH EXISTING COLOR & FINISH ALL EXISTING ELEMENTS TO REMAIN, TYP. U.O.N. SEE BUILDING REFERENCE PHOTOS ON SHEET A4.01 FOR MORE INFORMATION REMOVE EXISTING METAL VENT AND REPLACE IN KIND PAINTED WOOD - DOOR & WINDOW TRIM; SIDING TRIM MATCH EXISTING COLOR & FINISH (24) EXISTING SIDING, TYP. REPLACE EXISTING SIDING ON SIDEWALLS, SEE REHABILITATION REQUIREMENT C PAINTED WOOD - CORNICE, FASCIA, & SOFFIT MATCH EXISTING COLOR & FINISH (25) EXISTING TRIM, TYP. NEW TIERED WOOD DECK 26 EXISTING COLUMN, TYP. **NEW STAIR** PAINTED WOOD - DECKING MATCH EXISTING COLOR & FINISH (27) EXISTING DECKING NEW WOOD GATE (N) STAINED WOOD - SIDING & FENCING EXISTING EXPOSED WIRES AND CABLES TO BE INVESTIGATED AS TO THEIR FUNCTION AND / OR IF THEY HAVE BEEN ABANDONED, REMOVE ABANDONED WIRES AND CABLES AS REQUIRED, TYP. NEW WOOD FENCE (N) STAINED WOOD - DOOR & WINDOW FRAME & SASH **NEW DOOR** (29) NEW HVAC UNIT NEW WOOD WINDOW W/(G2)GLAZING (N) STAINED WOOD - DECKING (30) EXISTING CORNICE NEW PLATFORM LIFT TO COMPLY WITH CBC11B-410 (31) 1x4 SHIPLAP SIDING SEE SHEET A3.00 - ARCHITECTURAL MATERIAL BOARD FOR MORE INFO. **NEW CHEEK WALLS** (32) 1x4 FENCING W/ 1/2" GAPS DEMOLISH (E) STAIRCASE & RAILINGS (33) NEW PAVING, SEE PLAN DEMOLISH (E) NON-HISTORIC ALUMINUM WINDOWS (34) EXISTING GRADE EXISTING WOOD FENCE TO REMAIN

**DRAWING CONTENT EAST EXTERIOR ELEVATIONS - EXISTING** & PROPOSED

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# REHABILITATION REQUIREMENTS

a. CONTRACTOR SHALL PREPARE A WINDOW AND EXTERIOR DOOR SCHEDULE IDENTIFYING ALL WINDOWS AND EXTERIOR DOORS BY NUMBER OR ALPHANUMERIC SYSTEM FOR PHYSICAL **EVALUATION BY WINDOW SPECIALIST.** . CONTRACTOR'S WINDOW SPECIALIST SHALL EVALUATE ALL WINDOWS AND DOORS REGARDING THE CRITERIA BELOW 1. SCHEDULE SHALL INDICATE 1) WINDOW AND DOOR LOCATION WITH PHOTOGRAPHS 2) WINDOW AND DOOR SIZE AND TYPE (DOUBLE HUNG, FIXED, CASEMENT, AWNING OR HOPPER), 3) CONDITION OF THE PAINT (FAILURE, BLISTERING, CRACKING

FLAKING AND PEELING), 4) CONDITION OF THE PAINT (FAILURE, BLISTERING, CRACKING FLAKING AND PEELING), 4) CONDITION OF THE FRAME HEAD, JAMB, SILL, AND JOINTS, 5) CONDITION OF THE SASH OR DOOR (RAILS, STILES, JOINTS AND MUNTINS), 6) GLAZING PROBLEMS AND PUTTY (AND BACKSIDE PUTTY) CONDITION (CRACKED, LOOSE OR MISSING SECTIONS), 7) HARDWARE CONDITION (COUNTERWEIGHTS AND SASH CHORDS) AND OPERATION OR THE HARDWARE AND OPERATION OF THE WINDOW OR DOOR AND NOTED AS (FYOTH ENT. PAINT FAIR POOR) DOOR AND NOTED AS (EXCELLENT, FAIR, POOR). ii. ALL WINDOWS AND DOORS SHALL BE INSPECTED TO TEST FOR DRYROT OR WOOD DAMAGE WITH AN AWL OR OTHER TOOL AND CONDITION OF THE WOOD NOTED IN THE SCHEDULE.
iii. THE SCHEDULE PREPARED BY THE CONTRACTOR AND CONTRACTOR'S SPECIALIST SHALL BE SUBMITTED TO THE ARCHITECT.

a. WINDOWS AND DOORS SHALL BE REPAIRED IN ACCORDANCE WITH PRESERVATION BRIEF 9, THE REPAIR OF HISTORIC WOODEN WINDOWS AND PRESERVATION BRIEF 10, PAINT REMOVAL FROM HISTORIC WOODWORK BOTH PUBLISHED BY THE US DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE CULTURAL RESOURCES.

i. REPAIR REQUIREMENTS TO BRING EACH WINDOW OR DOOR TO "LIKE NEW" CONDITION BASED ON THE PREVIOUS EVALUATION SHALL BE NOTED AS EITHER:

CLASS I: ROUTINE MAINTENANCE 1: ROUTINE MAINTENANCE
1. REQUIRES 1) INTERIOR AND EXTERIOR PAINT REMOVAL, 2) REMOVAL AND REPAIR OF SASH (INCLUDING REGLAZING WHERE NECESSARY), 3) REPAIRS TO THE FRAME, 4) REPAIRS TO OPERATING HARDWARE SUCH AS HINGES, LATCHES, SASH CHAINS OR CHORDS, WEATHERSTRIPPING AND REINSTALLATION OF THE SASH, AND 5) REPAINTING. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING. HANDLING AND ARATEMENT TESTING, HANDLING AND ABATEMENT.

1. REQUIRES ROUTINE MAINTENANCE DESCRIBED ABOVE AND 1) PARTIALLY DECAYED WOOD TO BE WATERPROOFED, PATCHED, BUILT-UP OR CONSOLIDATED AND THEN PAINTED TO ACHIEVE A GOOD APPEARANCE.

CLASS II: STABILIZATION DESCRIBED ABOVE II: SPLICES AND PARTS REPLACEMENT

1. REQUIRES ROUTINE MAINTENANCE AND STABILIZATION DESCRIBED ABOVE AND 1) REPLACING DETERIORATED PARTS AND PIECES WITH NEW MATCHING (SPECIES AND SHAPE/PROFILE) OR SPLICING NEW WOOD INTO EXISTING WOOD MEMBERS. NECESSARY REPAIRS SHOULD BE MADE "IN PLACE" IF POSSIBLE, USING STABILIZATION AND SPLICING TECHNIQUES. IF REMOVAL IS NECESSARY GREAT CARE SHALL BE TAKEN TO AVOID FURTHER DAMAGE TO THE WINDOW OR DOOR. NEW FRAMES AND SASH SHALL MATCH THE SPECIES AND BE A DUPLICATE OF THE EXISTING WINDOW OR DOOR. THE NEW WORK SHALL MATCH THE OLD IN MATERIAL, DESIGN, SCALE, COLOR AND FINISH. TECHNICAL PRESERVATION SERVICES RECOMMENDS THE RETENTION AND REPAIR OF ORIGINAL WINDOWS WHENEVER POSSIBLE.

# **B. ENTRANCES AND PORCHES**

REPAIR

3. EVALUATION a. CONTRACTOR SHALL EVALUATE ENTRANCES AND PORCHES TO DETERMINE THE CONDITION OF THE STAIRS (STRINGERS, TREADS AND RISERS), HANDRAILS AND RAILINGS, PILASTERS, COLUMNS, WALL CAPS, DECKING AND CEILINGS AND SHALL PREPARE DRAWINGS INDICATING WHERE WOOD OR FINISH IS DAMAGED OR DETERIORATED AND SUBMIT TO THE ARCHITECT. a. ENTRANCES AND PORCHES SHALL BE REPAIRED AND REHABILITATED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC

i. PROTECT AND MAINTAIN THE WOOD AND METALS WHICH COMPRISE ENTRANCES AND PORCHES THROUGH APPROPRIATE SURFACE TREATMENTS, SUCH AS CLEANING, PAINT REMOVAL, AND THE REAPPLICATION OF COATING SYSTEMS. FOLLOW ALL FEDERAL, STATE AND BAY AREA ATT. STATE THE PROPERTY OF ASSESTOR AND LEAD TESTING, HANDLING AND ABATEMENT.ii. REPAIR ENTRANCES AND PORCHES BY PATCHING, SPLICING, CONSOLIDATING, AND OTHERWISE REINFORCING THEM USING RECOGNIZED PRESERVATION MEASURES. REPAIR MAY INCLUDE THE LIMITED REPLACEMENT IN KIND (SPECIES AND DESIGN) OF THOSE EXTENSIVELY DETERIORATED FEATURES OR MISSING COMPONENTS OF FEATURES WHEN THERE ARE SURVIVING PROTOTYPES, SUCH AS BALUSTRADES, COLUMNS AND STAIRS.

# C. WOOD: SIDING, CLAPBOARD, SHINGLES and OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

a.CONTRACTOR SHALL EVALUATE SIDING, CLAPBOARD, SHINGLES, CORNICES, GUTTERS, BRACKETS, BELT COURSES, EXPOSED RAFTER TAILS AND BARGE RAFTERS, WINDOW AND DOOR CASINGS AND SURROUNDS TO DETERMINE THEIR CONDITION AND FINISH AND SHALL PREPARE DRAWINGS INDICATING WHERE WOOD OR FINISH IS DAMAGED OR DETERIORATED AND SUBMIT TO THE ARCHITECT.

a. SIDING, CLAPBOARD, SHINGLES, CORNICES, GUTTERS, BRACKETS, BELT COURSES, EXPOSED RAFTER TAILS AND BARGE RAFTERS, WINDOW AND DOOR CASINGS AND SURROUNDS SHALL BE

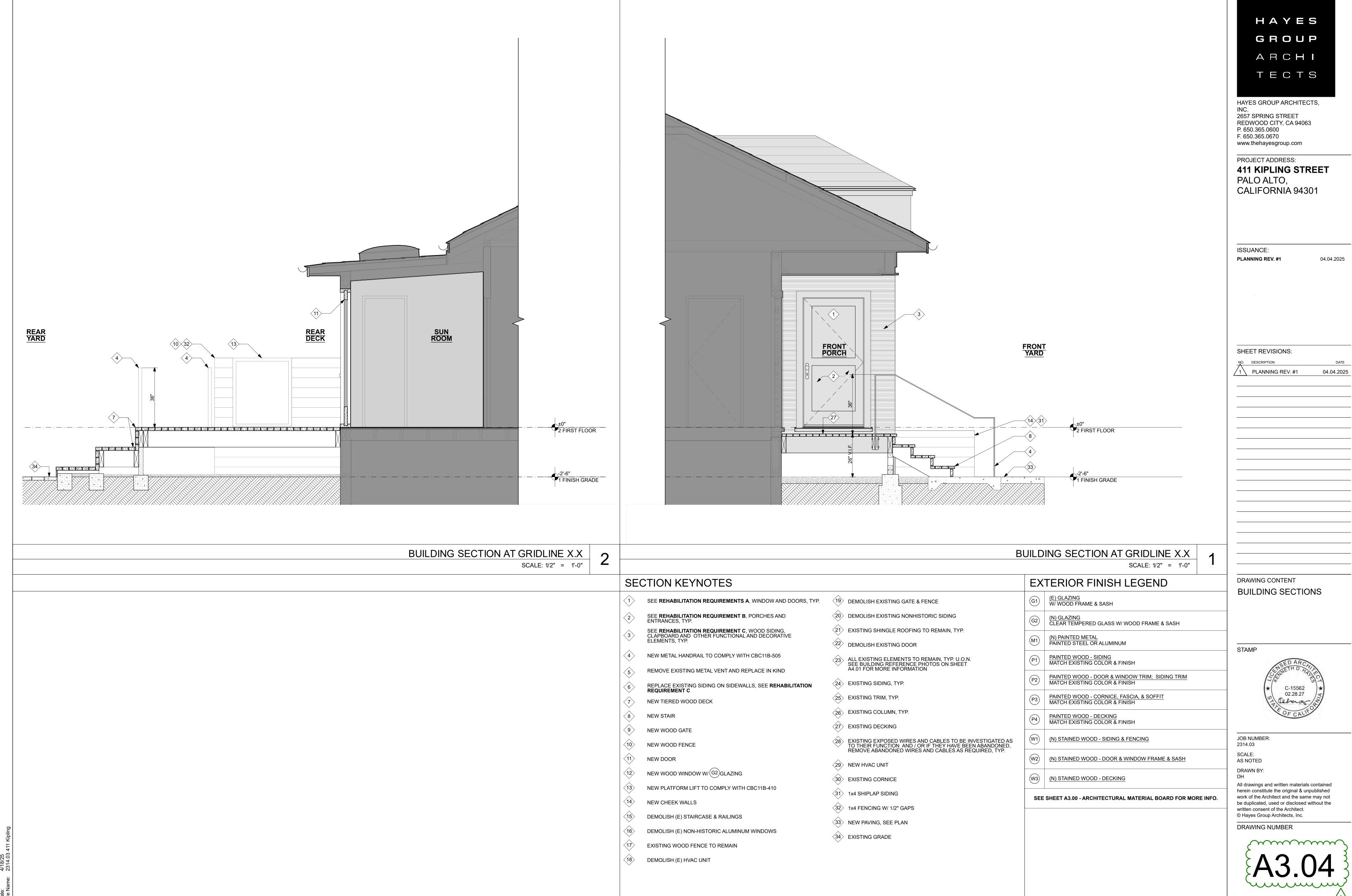
REPAIRED AND REHABILITATED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS.

i. PROTECT AND MAINTAIN THE WOOD WHICH THROUGH APPROPRIATE SURFACE TREATMENTS, SUCH AS CLEANING, PAINT REMOVAL, AND THE REAPPLICATION OF COATING SYSTEMS. REMOVE DAMAGED OR DETERIORATED PAINT TO THE NEXT SOUND LAYER USING THE GENTLEST METHOD POSSIBLE (HAND SCRAPPING AND HAND SANDING PRIOR TO REPAINTING. USE CHEMICAL STRIPPERS PRIMARILY TO SUPPLEMENT OTHER METHODS SUCH AS HAND SCRAPING, HAND SANDING AND THERMAL DEVICES. USE BIODEGRADABLE OR ENVIRONMENTALLY SAFE CLEANING OR PAINT-REMOVAL PRODUCTS. FOLLOW ALL FEDERAL, STATE AND BAY AREA AIR QUALITY STANDARDS FOR ASBESTOS AND LEAD TESTING, HANDLING AND ABATEMENT. REPAIR WOOD ELEMENTS BY PATCHING, SPLICING, CONSOLIDATING, AND OTHERWISE REINFORCING THEM USING RECOGNIZED PRESERVATION MEASURES. REPAIR MAY INCLUDE THE LIMITED REPLACEMENT IN KIND (SPECIES AND DESIGN) OF THOSE EXTENSIVELY DETERIORATED FEATURES OR MISSING COMPONENTS OF FEATURES WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS BRACKETS, MOLDING OR SECTIONS OF SIDING OR WHEN REPLACEMENT CAN BE BASED ON DOCUMENTARY OR PHYSICAL EVIDENCE. THE NEW WORK SHALL MATCH THE OLD IN MATERIAL, DESIGN, SCALE, COLOR AND FINISH. STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING,

DEMOLISH (E) HVAC UNIT

A. WINDOWS AND DOORS

CLASS II: STABILIZÁTION



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ISSUANCE:

HRB PLANNING SUBMISSION 01.26.2024 PLANNING SUBMISSION 08.15.2024

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BUILDING REFERENCE

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**PHOTOS** 



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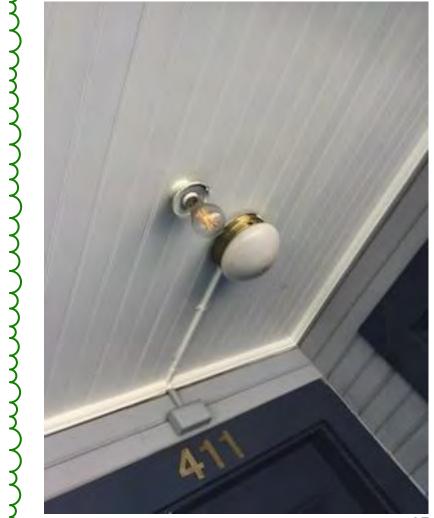
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A4.01



REMOVE LARGER UNORIGINAL LIGHT FIXTURE & REPLACE GLOBE OF SMALLER ORIGINAL LIGHT FIXTURE



REMOVE LARGER UNORIGINAL LIGHT FIXTURE & REPLACE GLOBE OF SMALLER ORIGINAL LIGHT **FIXTURE**  $^{\prime\prime}$ 

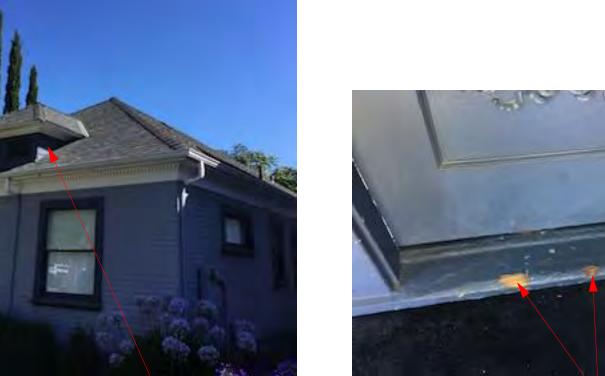


REPAIR /REMOVE/ REPLACE DAMAGED AND/ REPAIR /REMOVE/ REPLACE DAMAGED AND/ OR UNORIGINAL SIDING, TRIM & DECKING OR UNORIGINAL SIDING, TRIM & DECKING



REPAIR CHIPS IN WOOD DOOR SILL

m



REPAIR / REPLACE IN KIND ORIGINAL SIDING, BOTH SIDES OF DORMER, SEE C/A3.01 FOR REHABILITATION REQUIREMENTS

REPAIR /PATCH ANY DEFECTS IN ORIGINAL



PATCH AND SACK EXPOSED CONCRETE

**FOUNATION** 

REPAIR /PATCH ANY DEFECTS IN ORIGINAL SIDING ADD CORNER TRIM WHERE NECESSARY



MODIFY GRADE FROM CONTACTING ANY WOOD BUILDING SURFACE, TYP





PATCH AND SACK EXPOSED CONCRETE

FOUNATION

REMOVE UNORIGINAL SIDING, REPLACE TO MATCH ORIGINAL, TYP



FRONT VIEW

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