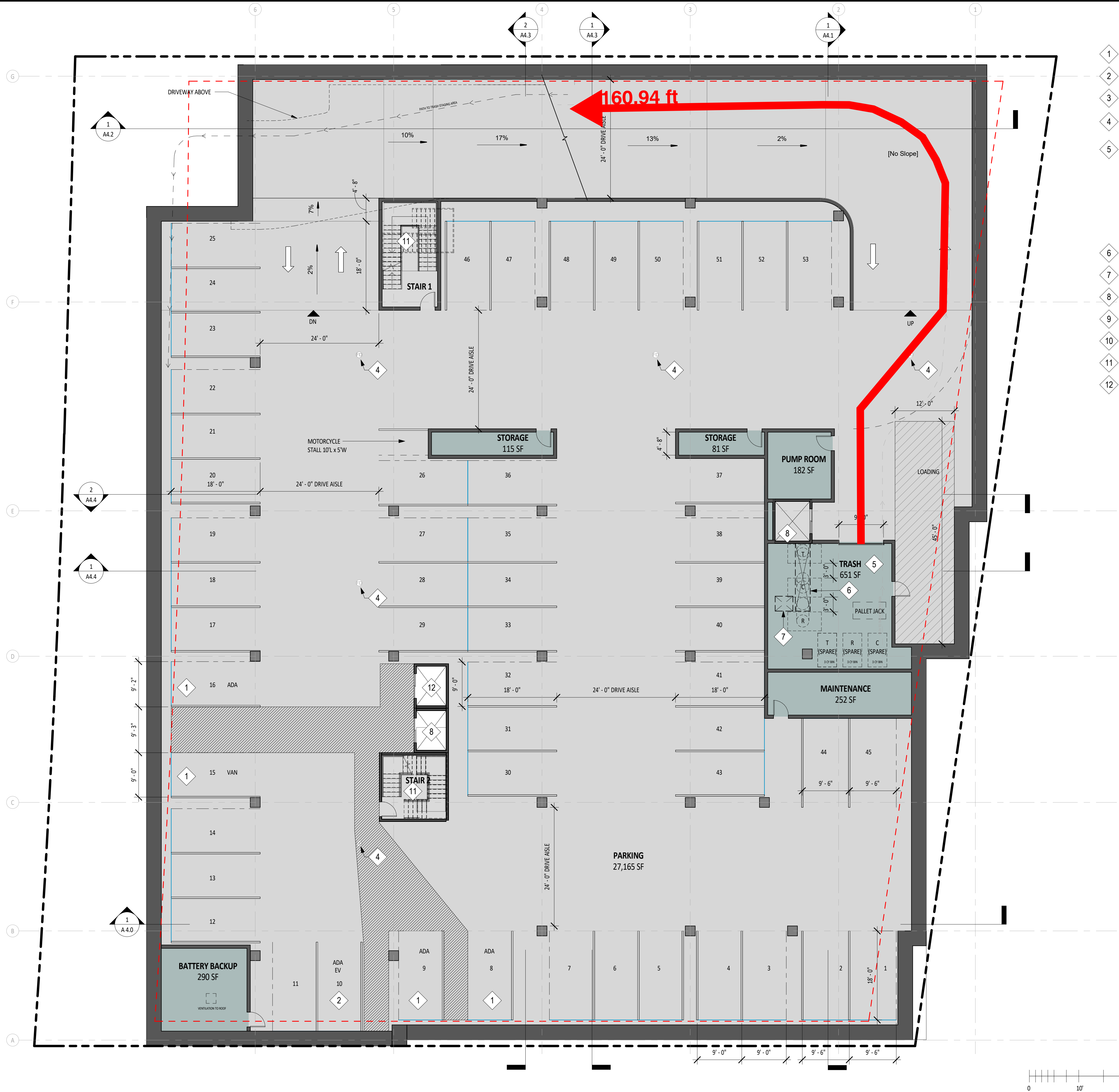






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## KEY NOTES

- 1 PARKING - ACCESSIBLE / VAN ACCESSIBLE
- 2 PARKING - EV CHARGING
- 3 PARKING - STACKER SYSTEM (8'-10" W X 18' STALL) DEPAK DE-61
- 4 12"X12" FLOOR DRAIN (CONNECTED TO SAND OIL SEPARATOR)
- 5 TRASH ROOM DESIGN TO BE PROVIDED BY WASTE MANAGEMENT CONSULTANT INCLUDING CHUTES, BIN, COMPACTORS, VENTILATION, MEP REQ, VOLUME AND FREQUENCY CALCULATIONS. DESIGN TO INCLUDE REQUIRED DRAINAGE, DRAIN INTERCEPTOR, AND HOSE BIB FOR CLEANING. TRASH ROOM WALLS TO COMPRISE SEALED CONCRETE OR CMU BLOCK.
- 6 OPENING ABOVE FOR TRASH, RECYCLING AND COMPOST CHUTE
- 7 VENTILATION OPENING ABOVE
- 8 2 HR RATED CONSTRUCTION
- 9 SAND OIL SEPARATOR, 100 GALLONS MIN
- 10 VISITOR PARKING
- 11 EMERGENCY EGRESS STAIR, CBC 2022 1009
- 12 EGRESS ELEVATOR IN 2HR SHAFT CBC 2022-3001.4, 11B407, 1009

## SHEET NOTES

1. PARKING IN COMPLIANCE W/ CBC 2022 1109A, CALGREEN PER PAMC AND ALL APPLICABLE CODE
2. MECHANICAL PARKING LIFT SYSTEM SHALL NOT REQUIRE REMOVAL OF PARKED VEHICLE FOR ACCESS
3. MECHANICAL PARKING SYSTEM TO BE EVSE READY PER PAMC 16.14.420, A4106.8.2
4. SURFACE PARKING STALLS ARE 9'W X 18'L U.O.N.
5. VEHICLE RAMP SLOPE NOT TO EXCEED SLOPES PER PAMC 18.54 FIGURE 5
6. COVERED PARKING DRAIN PLUMBING TO BE CONNECTED TO OIL/WATER SEPARATE AND TO SANITARY SEWER SYSTEM PER PAMC 16.09.180(b)(9)
7. EMERGENCY POWER SYSTEM SHALL PROVIDE POWER DURATION NOT LESS THAN 90MIN; CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR ON-SITE GENERATOR INSTALLED PER CBC 2702 SECTION 1008.3

### PARKING COUNTS:

BASEMENT LEVEL 1: 53 SPACES  
BASEMENT LEVEL 2: 95 SPACES  
(9 SURFACE / 86 STACKERS)

**TOTAL: 148 SPACES (143 REQUIRED)**

5 ACCESSIBLE PARKING (INCL. 1 VAN AND 1 EV)  
75 EVSE READY OUTLETS

### WASTE & RECYCLE:

1 WASTE CHUTE  
1 RECYCLE CHUTE  
1 COMPOST CHUTE

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arch

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## SAN ANTONIO ROAD HOUSING TS 800 SA LLC 800/808 SAN ANTONIO ROAD

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Phone: 408.781.7866

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Phone: 408.487.2200

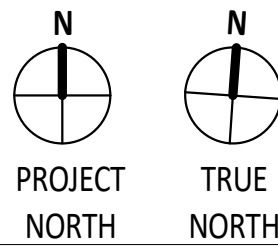
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E	03/21/24	C6 RESPONSE	



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SHEET ISSUE DATE: 11/06/23  
SHEET TITLE:

**BASEMENT LEVEL 1**

SHEET NUMBER

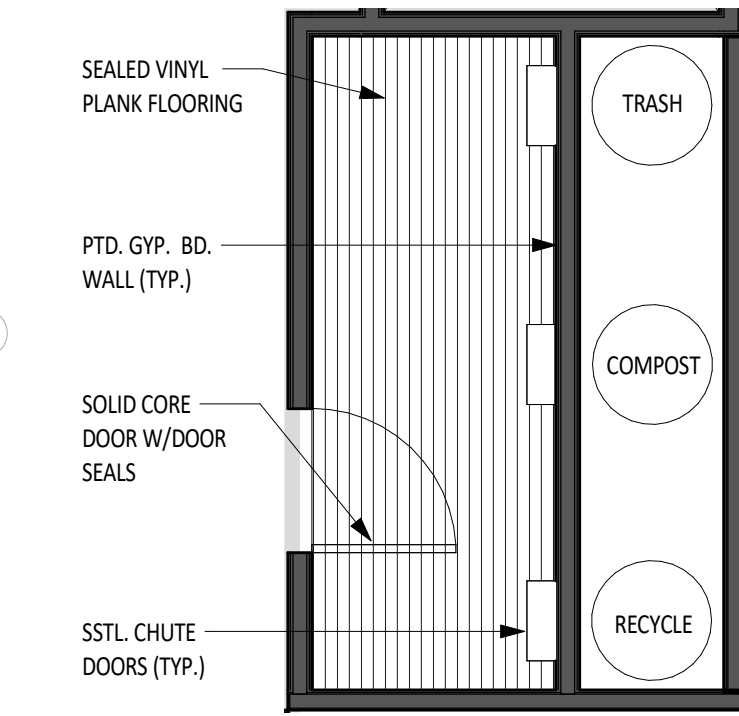
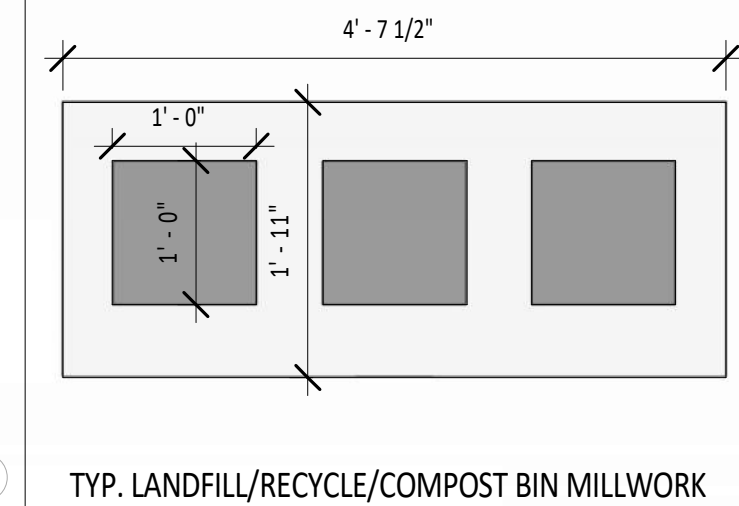
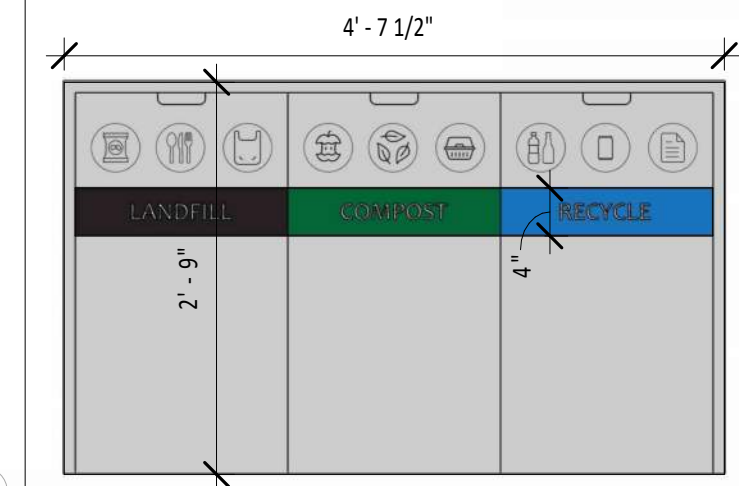
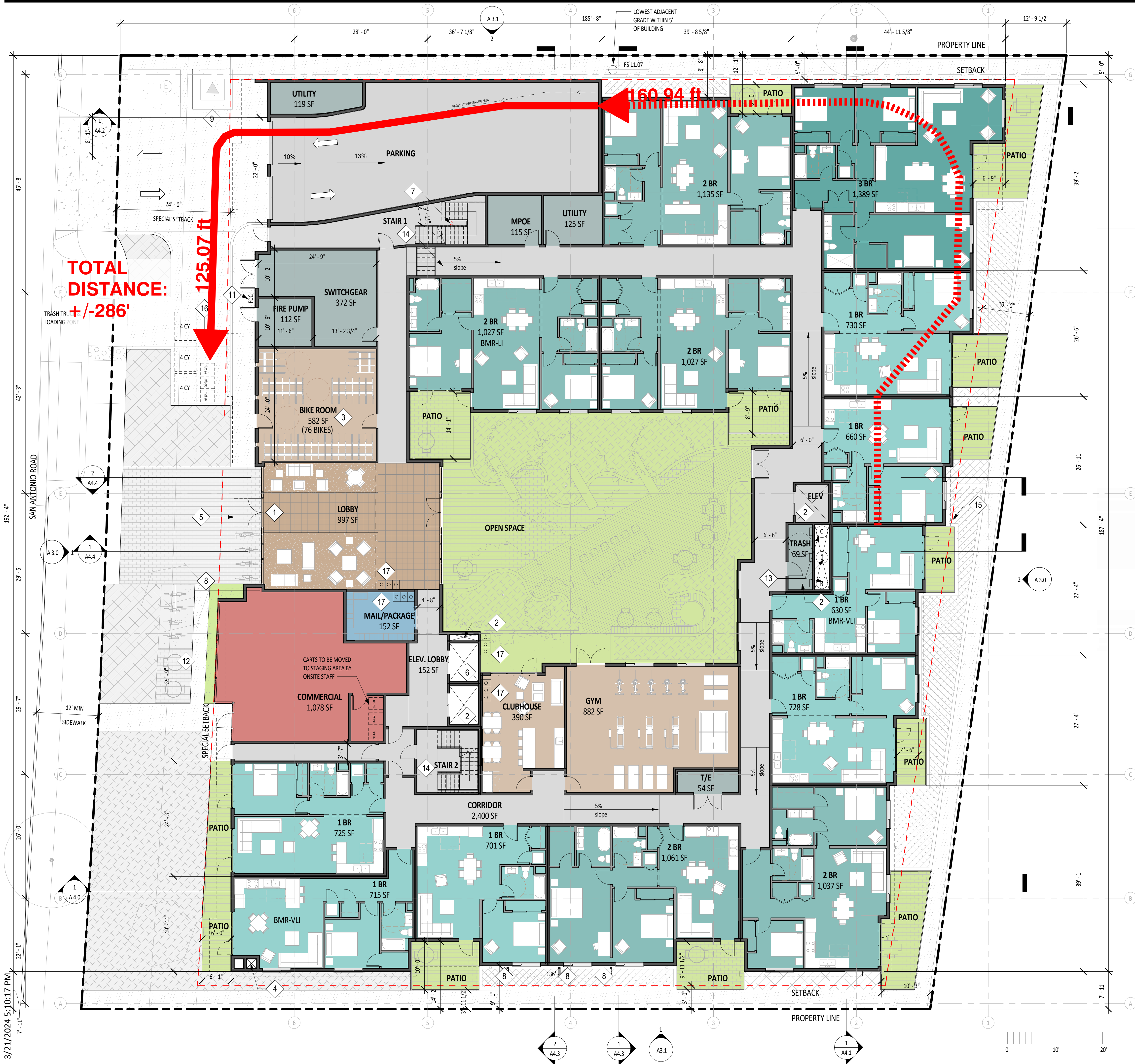
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## SHEET NOTES

- SEE CIVIL DRAWINGS FOR ON/OFF SITE UTILITY PLANS, GRADING, DRAINAGE & STORM WATER TREATMENT
- SEE LANDSCAPE DRAWINGS FOR FINE GRADING, PAVING, PLANING AND IRRIGATION PLAN
- ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL
- DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI)
- ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
- ELEVATORS PER CBC 1009, 3001.4, 11B-407
- PROVIDE PVC CONDUIT FROM TRANSFORMER AND SWITCH PAD TO (E) ELECTRICAL BOX

## KEY NOTES

- MAIN BUILDING ENTRY
- 2 HR RATED SHAFT CONSTRUCTION
- DERO DECKER LIFT ASSIST BIKE RACK OR SIM, PER PAMC 18.54.060
- BATTERY ROOM 2 HR VENTILATION SHAFT
- AWNING ABOVE, SEE SECTION 2/A4.1.
- EGRESS ELEVATOR IN 2HR SHAFT CBC 2022-3001.4, 11B407, 1009
- FIRE STANDPIPE HOSE VALVE
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- PATIO WITH NO FENCE
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- EMERGENCY EGRESS STAIR
- DOWNSPOUTS, TYP.
- TRASH STAGING
- TRASH/RECYCLING/COMPOST BIN

Name	Count
1 BR	7
2 BR	5
3 BR	1
Grand total:	13

**lowney**  
arch

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**SAN ANTONIO ROAD**  
**HOUSING**  
**TS 800 SA LLC**  
800/808 SAN ANTONIO ROAD

**OWNER**  
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**LANDSCAPE ARCHITECT**  
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E	03/21/24	C6 RESPONSE	

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PROJECT NORTH

N

TRUE NORTH

DRAWN BY:

PROJECT NUMBER:

SHEET ISSUE DATE:

SHEET TITLE:

21-041

11/06/23

**GROUND FLOOR PLAN**

SHEET NUMBER

**A2.1**

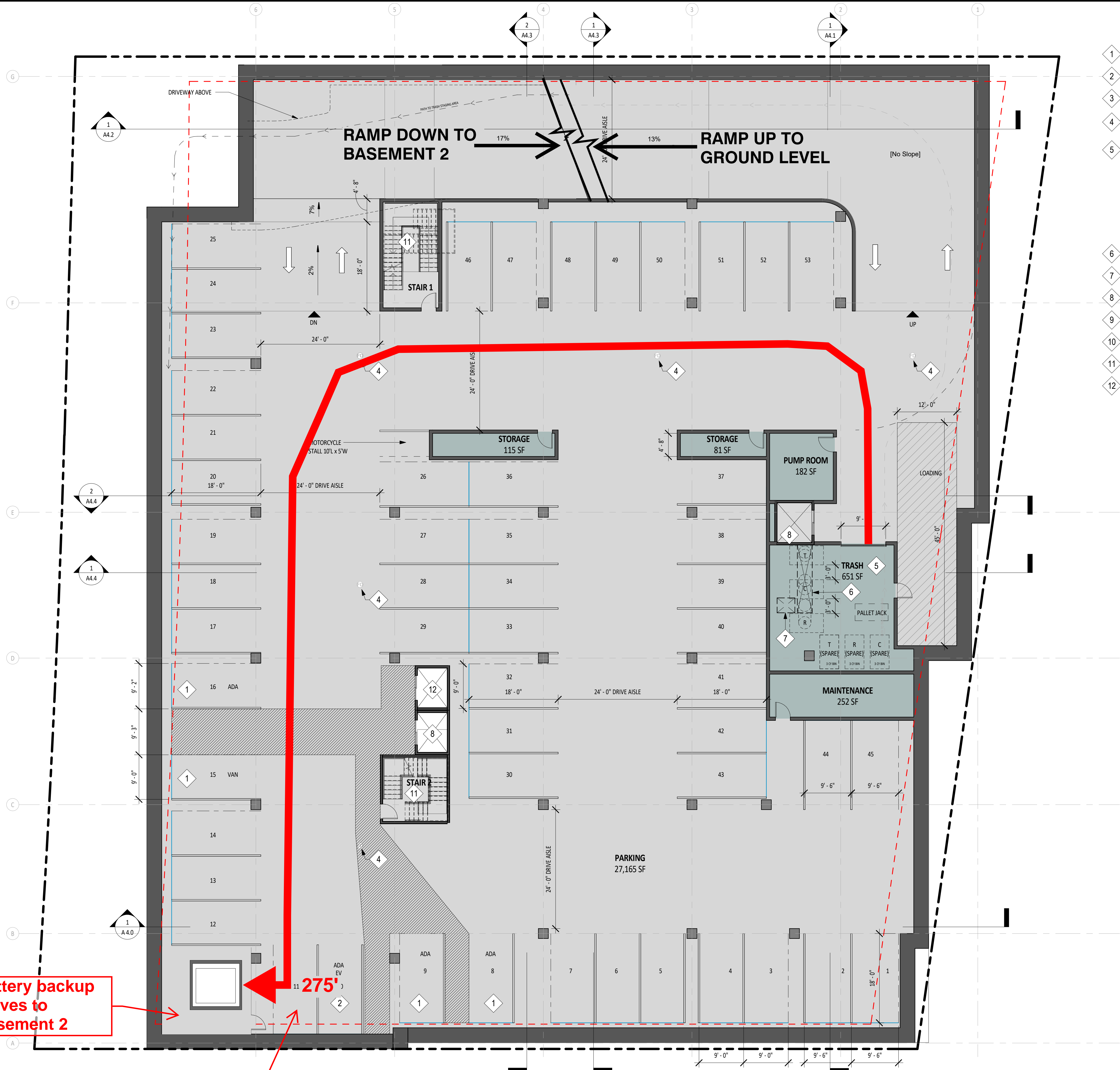
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Battery backup moves to Basement 2

Parking space to be removed



## KEY NOTES

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## SHEET NOTES

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**TOTAL: 148 SPACES (143 REQUIRED)**

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### WASTE & RECYCLE:

1 WASTE CHUTE  
1 RECYCLE CHUTE  
1 COMPOST CHUTE

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arch

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**SAN ANTONIO ROAD**  
**HOUSING**  
**TS 800 SA LLC**  
800/808 SAN ANTONIO ROAD

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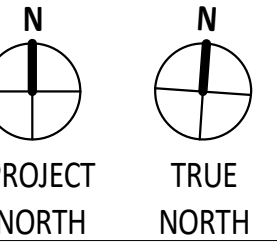
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DRAWN BY:  
PROJECT NUMBER: 21-041  
SHEET ISSUE DATE: 11/06/23  
SHEET TITLE:

**BASEMENT LEVEL 1**

SHEET NUMBER

**A2.0B**

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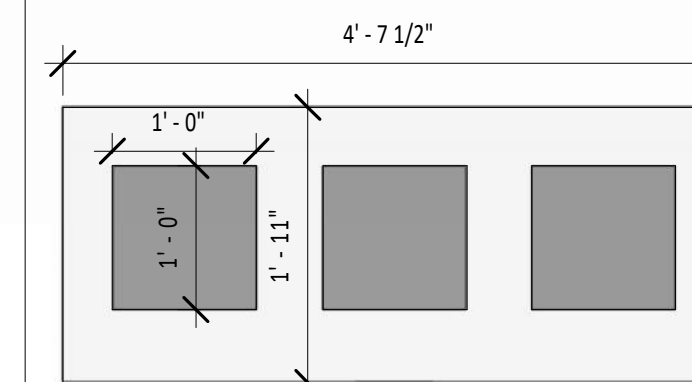
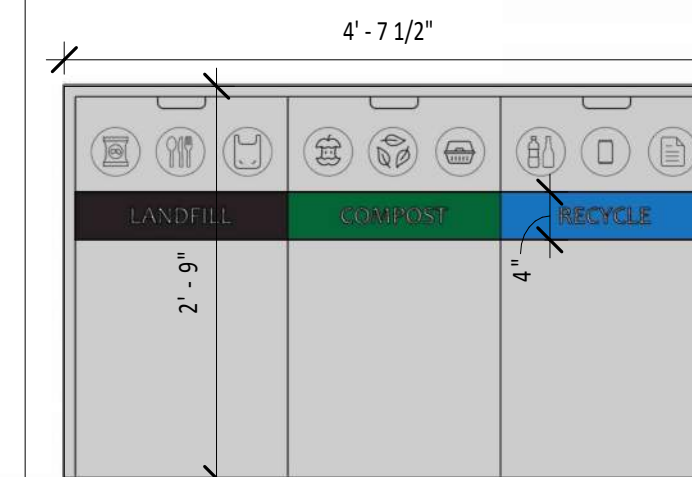
**TOTAL DISTANCE:**  
**+/-297'**

**61-sf residential open space displaced**

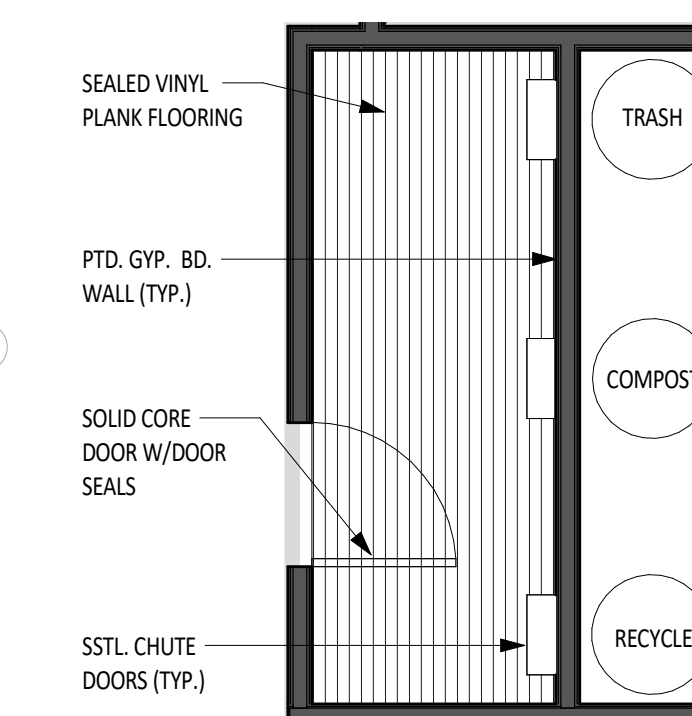
**105 sf residential program displaced in below-market-rate unit**



DERO DECKER LIFT ASSIST BIKE RACK OR SIM



TYP. LANDFILL/RECYCLE/COMPOST BIN MILLWORK



ENLARGED TRASH ROOM PLAN  
1/4" = 1'-0"

## SHEET NOTES

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- ELEVATORS PER CBC 1009, 3001.4, 11B-407
- PROVIDE PVC CONDUIT FROM TRANSFORMER AND SWITCH PAD TO (E) ELECTRICAL BOX

## KEY NOTES

- MAIN BUILDING ENTRY
- 2 HR RATED SHAFT CONSTRUCTION
- DERO DECKER LIFT ASSIST BIKE RACK OR SIM, PER PAMC 18.54.060
- BATTERY ROOM 2 HR VENTILATION SHAFT
- AWNING ABOVE, SEE SECTION 2/A4.1.
- EGRESS ELEVATOR IN 2HR SHAFT CBC 2022-3001.4, 11B407, 1009
- FIRE STANDPIPE HOSE VALVE
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- PATIO WITH NO FENCE
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- EMERGENCY EGRESS STAIR
- DOWNSPOUTS, TYP.
- TRASH STAGING
- TRASH/RECYCLING/COMPOST BIN

Name	Count
1 BR	7
2 BR	5
3 BR	1

Grand total:  
13

## SAN ANTONIO ROAD HOUSING TS 800 SA LLC 800/808 SAN ANTONIO ROAD

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Phone: 510.836.5400

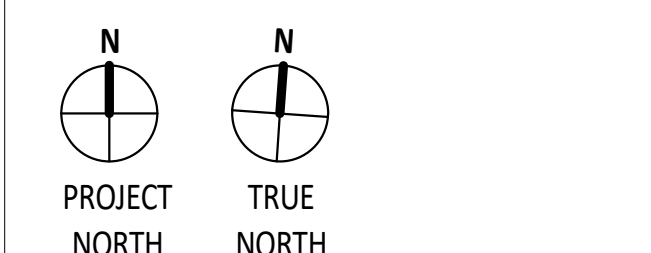
**CIVIL ENGINEERING**  
HMH  
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DRAWN BY:  
PROJECT NUMBER: 21-041  
SHEET ISSUE DATE: 11/06/23  
SHEET TITLE:

## GROUND FLOOR PLAN

SHEET NUMBER

**A2.1**

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SAN ANTONIO ROAD



90 sf residential program lost Level 2 unit for elevator overrun (14'-6" vs. 11'-4" floor to floor). Balcony displaced.

### SHEET NOTES

- ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL.
- DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI)
- ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
- ELEVATORS PER CBC 1009, 3001.4, 11B-407
- BALCONY DIMENSIONS TO PROPERTY LINE SAME FOR LEVELS 2, 3, AND 4

### KEY NOTES

- 1 EMERGENCY EGRESS STAIR CBC 2022 1009
- 2 2 HR RATED SHAFT
- 3 COVERED SOFFIT UNDER AWNING/ ARCHITECTURAL PROJECTION, 4' MIN. DEPTH
- 4 ROOF BELOW
- 5 BATTERY ROOM 2 HR VENTILATION SHAFT
- 6 EGRESS ELEVATOR IN 2HR SHAFT CBC 2022-3001.4, 11B407, 1009
- 7 FIRE STANDPIPE HOSE VALVE
- 8 DECORATIVE METAL FIN
- 9 TRASH, RECYCLING, COMPOST CHUTE IN 2HR RATED SHAFT

Name	Count
2 BR	11
3 BR	4

Grand total: 15

**lowney**  
arch

TEL 510.836.5400 URL lowneyarch.com  
350 seveneenth street | suite 200 | oakland, california 94612

**SAN ANTONIO ROAD  
HOUSING  
TS 800 SA LLC**  
800/808 SAN ANTONIO ROAD

#### OWNER

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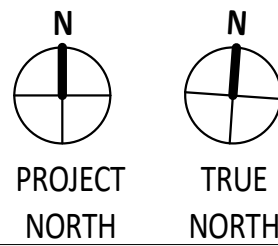
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PROJECT NUMBER: 21-041  
SHEET ISSUE DATE: 11/06/23  
SHEET TITLE:

**LEVEL 2 FLOOR PLAN**

SHEET NUMBER

**A2.2**

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REVISED DESIGN

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800/808 SAN ANTONIO ROAD

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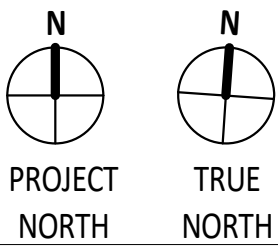
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PROJECT NUMBER: 21-041  
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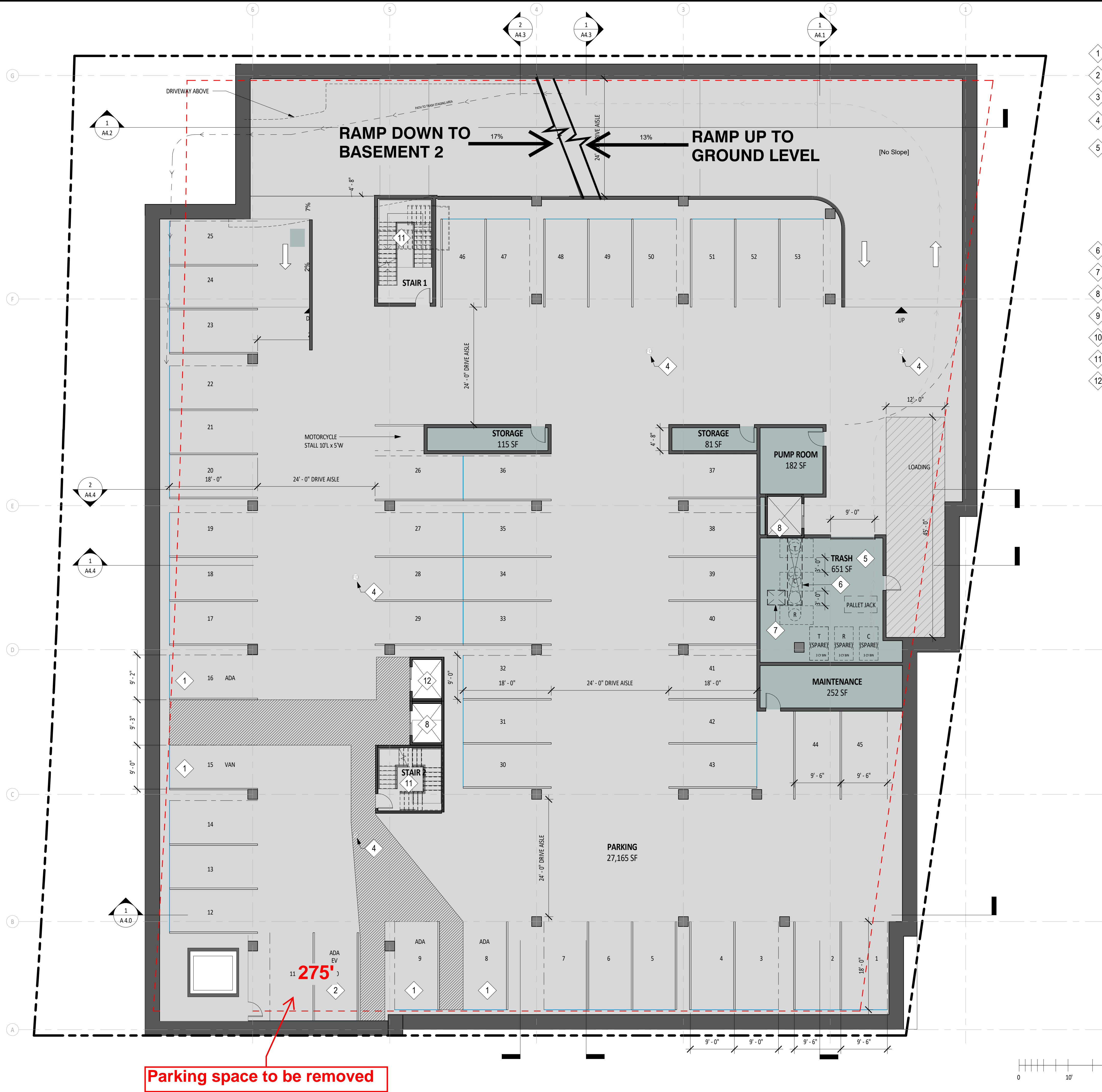
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BASEMENT LEVEL 1: 53 SPACES  
BASEMENT LEVEL 2: 95 SPACES  
(9 SURFACE / 86 STACKERS)

TOTAL: 148 SPACES (143 REQUIRED)

5 ACCESSIBLE PARKING (INCL. 1 VAN AND 1 EV)  
75 EVSE READY OUTLETS

### WASTE & RECYCLE:

1 WASTE CHUTE  
1 RECYCLE CHUTE  
1 COMPOST CHUTE

lowney  
arch

TEL 510.836.5400 URL lowneyarch.com  
350 seveneenth street | suite 200 | oakland, california 94612

## SAN ANTONIO ROAD HOUSING TS 800 SA LLC 800/808 SAN ANTONIO ROAD

### OWNER

TS 800 SA, LLC  
12230 Saratoga Sunnyvale Road  
Saratoga, CA 95070  
Phone: 408.781.7866

### ARCHITECT

LOWNEY ARCHITECTURE  
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Phone: 510.836.5400

### CIVIL ENGINEERING

HMH  
1570 Oakland Road  
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Phone: 408.487.2200

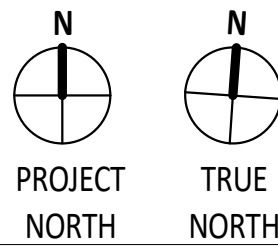
### LANDSCAPE ARCHITECT

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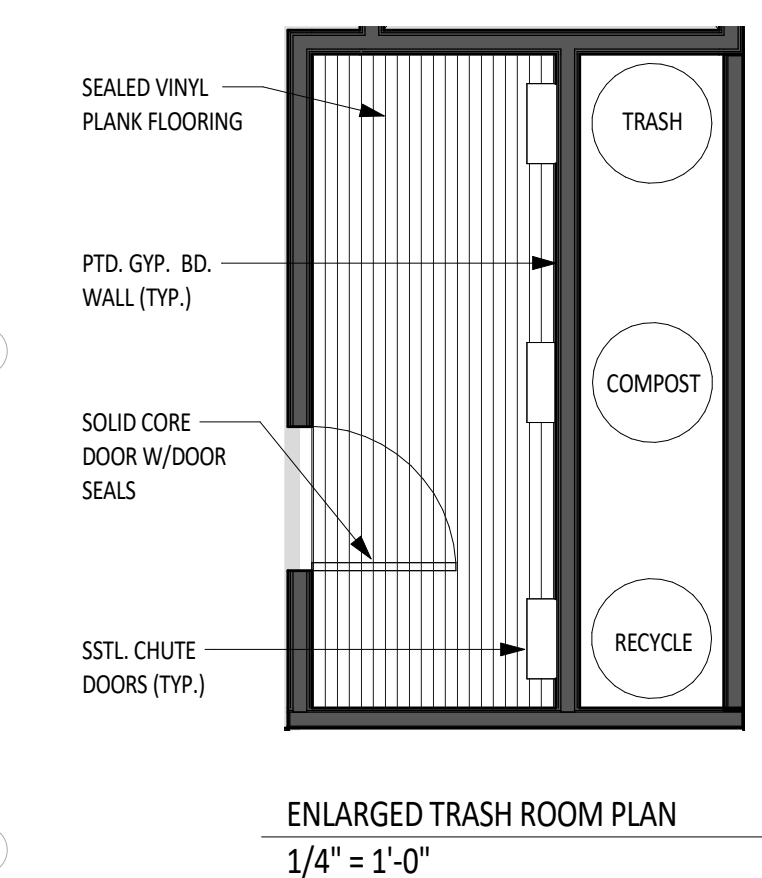
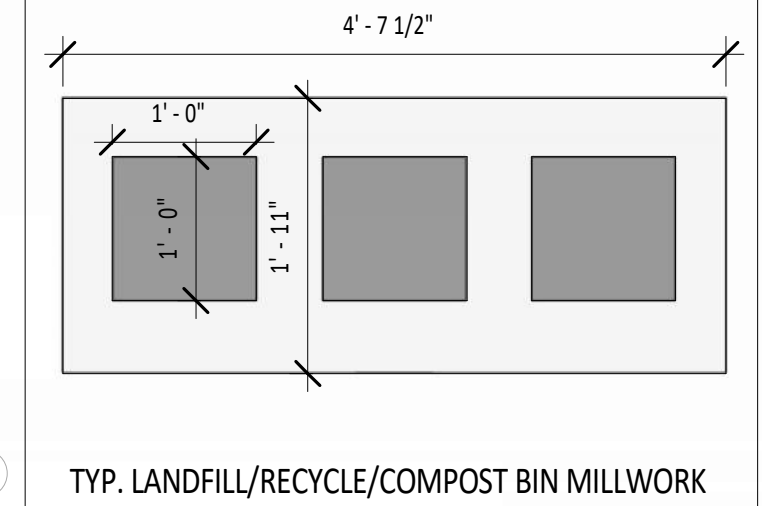
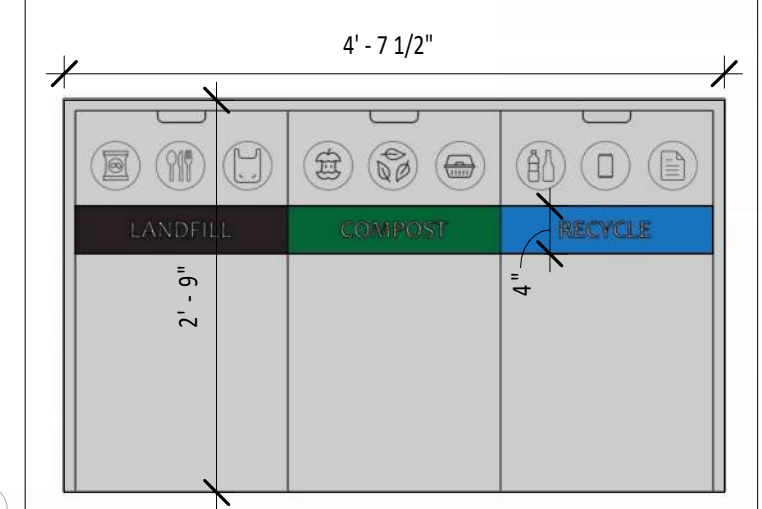
BASEMENT LEVEL 1

SHEET NUMBER

A2.0B

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## SHEET NOTES

- SEE CIVIL DRAWINGS FOR ON/OFF SITE UTILITY PLANS, GRADING, DRAINAGE & STORM WATER TREATMENT
- SEE LANDSCAPE DRAWINGS FOR FINE GRADING, PAVING, PLANING AND IRRIGATION PLAN
- ALL AREAS DISPLAYED ARE NET SQUARE FOOTAGES TAKEN FROM INTERIOR WALL TO WALL
- DESIGNATED BELOW MARKET RATE UNITS ARE INDICATED ON PLAN AS MEDIUM INCOME (MI), LOW INCOME (LI), VERY LOW INCOME (VLI)
- ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
- ELEVATORS PER CBC 1009, 3001.4, 11B-407
- PROVIDE PVC CONDUIT FROM TRANSFORMER AND SWITCH PAD TO (E) ELECTRICAL BOX

## KEY NOTES

- MAIN BUILDING ENTRY
- 2 HR RATED SHAFT CONSTRUCTION
- DERO DECKER LIFT ASSIST BIKE RACK OR SIM, PER PAMC 18.54.060
- BATTERY ROOM 2 HR VENTILATION SHAFT
- AWNING ABOVE, SEE SECTION 2/A4.1.
- EGRESS ELEVATOR IN 2HR SHAFT CBC 2022-3001.4, 11B407, 1009
- FIRE STANDPIPE HOSE VALVE
- EXTERIOR INVERTED 'U' BIKE RACK PER PALO ALTO STDS.
- PAD-MOUNTED TRANSFORMER PER CPAU REQUIREMENTS
- FIRE STANDPIPE HOSE VALVE
- FIRE DEPARTMENT CONNECTION
- PATIO WITH NO FENCE
- TRASH, RECYCLING, COMPOST CHUTE IN 2HR RATED SHAFT
- EMERGENCY EGRESS STAIR
- DOWNSPOUTS, TYP.
- TRASH STAGING
- TRASH/RECYCLING/COMPOST BIN

Name	Count
1 BR	7
2 BR	5
3 BR	1
Grand total:	13

## SAN ANTONIO ROAD HOUSING TS 800 SA LLC 800/808 SAN ANTONIO ROAD

**OWNER**  
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**ARCHITECT**  
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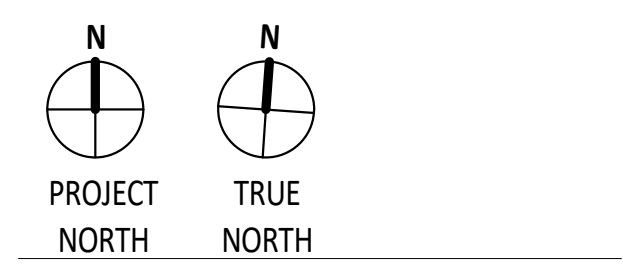
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**GROUND FLOOR PLAN**

SHEET NUMBER  
**A2.1**

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3. ALL INTERIOR STAIRWAYS PER CBC 1023, 11B-210
4. ELEVATORS PER CBC 1009, 3001.4, 11B-407
5. BALCONY DIMENSIONS TO PROPERTY LINE SAME FOR LEVELS 2, 3, AND 4

## KEY NOTES

- 1 EMERGENCY EGRESS STAIR  
CBC 2022 1009
- 2 2 HR RATED SHAFT
- 3 COVERED SOFFIT UNDER AWNING/  
ARCHITECTURAL PROJECTION, 4' MIN. DEPTH
- 4 ROOF BELOW
- 5 BATTERY ROOM 2 HR VENTILATION SHAFT
- 6 EGRESS ELEVATOR IN 2HR SHAFT  
CBC 2022-3001.4, 11B407, 1009
- 7 FIRE STANDPIPE HOSE VALVE
- 8 DECORATIVE METAL FIN
- 9 TRASH, RECYCLING, COMPOST  
CHUTE IN 2HR RATED SHAFT

Name	Count
2 BR	13
3 BR	3

Grand total:	16
16	

lowney  
arch

**TEL** 510.836.5400 **URL** [lowneyarch.com](http://lowneyarch.com)  
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**SAN ANTONIO ROAD**

## HOUSING

TS 800 SA LLC

800/808 SAN ANTONIO ROAD

## OWNER

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## ARCHITECT

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## CIVIL ENGINEERING

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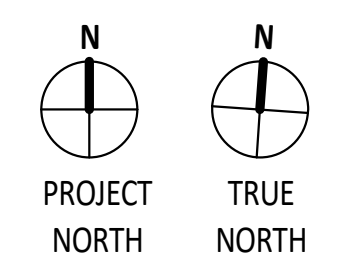
## LANDSCAPE ARCHITECT

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21-041

1/06/23

### LEVEL 3 FLOOR PLAN

SHEET NUMBER

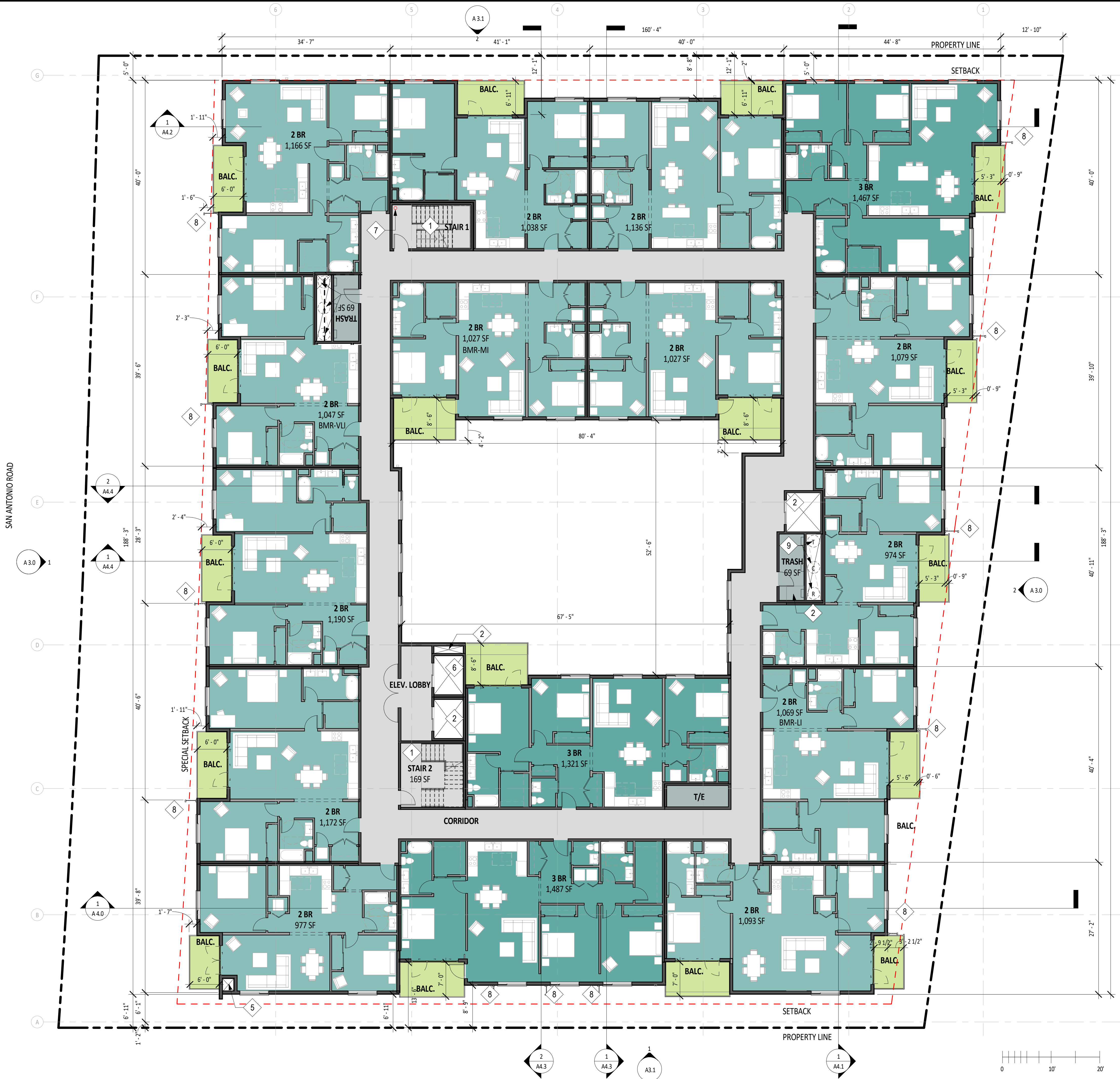
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KEY NOTES

- 1 EMERGENCY EGRESS STAIR  
CBC 2022 1009
- 2 2 HR RATED SHAFT
- 3 COVERED SOFFIT UNDER AWNING/  
ARCHITECTURAL PROJECTION, 4' MIN. DEPTH
- 4 ROOF BELOW
- 5 BATTERY ROOM 2 HR VENTILATION SHAFT
- 6 EGRESS ELEVATOR IN 2HR SHAFT  
CBC 2022-3001.4, 11B407, 1009
- 7 FIRE STANDPIPE HOSE VALVE
- 8 DECORATIVE METAL FIN
- 9 TRASH, RECYCLING, COMPOST  
CHUTE IN 2HR RATED SHAFT

Name	Count
2 BR	13
3 BR	3

Grand total:  
16



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HOUSING  
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800/808 SAN ANTONIO ROAD

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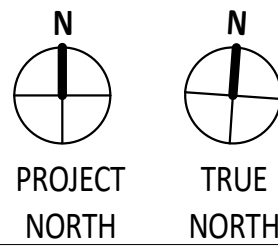
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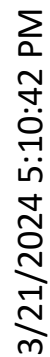
LEVEL 4 FLOOR PLAN

SHEET NUMBER

A2.4

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- 1 EMERGENCY EGRESS STAIR  
CBC 2022 1009
- 2 2 HR RATED SHAFT
- 3 COVERED SOFFIT UNDER AWNING/  
ARCHITECTURAL PROJECTION, 4' MIN. DEPTH
- 4 ROOF BELOW
- 5 BATTERY ROOM 2 HR VENTILATION SHAFT
- 6 EGRESS ELEVATOR IN 2HR SHAFT  
CBC 2022-3001.4, 11B407, 1009
- 7 FIRE STANDPIPE HOSE VALVE
- 8 DECORATIVE METAL FIN
- 9 TRASH, RECYCLING, COMPOST  
CHUTE IN 2HR RATED SHAFT

Name	Count
2 BR	10
3 BR	5

Grand total:	15
15	

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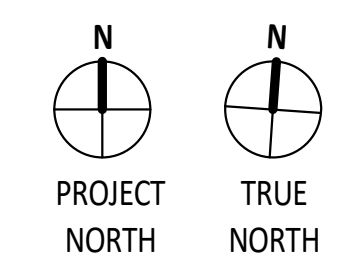
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### LEVEL 5 FLOOR PLAN

SHEET NUMBER

## A2.5

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